



# Detached Garages & Accessory Buildings Permit Application Checklist:

(Including portable sheds, driveways,  
play structures, dog runs, lighting, etc.)

Email application to: [bi@wdm.iowa.gov](mailto:bi@wdm.iowa.gov)

(Effective 7-1-24 through 6-30-25)

Address: \_\_\_\_\_

Proposed Structure: \_\_\_\_\_

Check one:  Single Family Res.  Multifamily/Commercial (See item Q on checklist)

Permit Fees: Garages & accessory structures \$57 Small utility type sheds that require a permit \$46

### When permits are NOT required:

-**Portable sheds** less than 200 square feet in size and that are *NOT* placed on a permanent foundation.

-**Dog runs, dog pens, playhouses, play structures, swing sets, etc.** do not require building permits.

However, these structures must meet the same setback and height requirements as all accessory structures & buildings, and they shall not be placed within the front yard setback (which includes both street frontages on a corner lot).

-**Driveways, parking areas, patios, or similar hard surfaces**, may be located within 1 foot of the property line, if constructed at grade level. If the surface is elevated above the natural grade by retaining walls or similar, the retaining wall must be setback from the property line a distance equal to its height (For example: A three foot (3') retaining wall must be at least 3' from the property line). Existing drainage shall be maintained or improved and shall not force water flowage onto adjoining property.

### Required Documents for Permit Application:

- 1) A completed **Building Permit** form.
- 2) A **Site Plan** is required showing all dimensions of the proposed project:
- 3) A **Wall Section plan** showing the building materials that will be utilized for footings, foundation, stud size & spacing, rafter size or trusses, etc. You must indicate material size, depth, spacing, spans, etc.
- 4) **Elevation drawings** that confirm the project will be residential in character and comply with the requirements listed in the checklist below (specifically L through O). The elevations should also indicate the style of roof (gable, hip, flat, slope, overhang, etc.).

**Required Checklist:** Review the following list and check each box indicating that you understand and will comply with all applicable requirements. Show all dimensions & details on site plan.

- A) A minimum **5 foot** setback from the side lot line and the rear lot line (measured to foundation).  
*Exceptions:* a) Utility and overland flowage easements may increase your required setback.  
b) Existing structures with a side or rear yard setback of at least 3 feet, which meet all other requirements, may be repaired or reconstructed with the same setback.
- B) On corner lots, no structure shall be in the front yard setback areas, which are located along each street frontage.
- C) Increased setback based on wall height: When the exterior wall next to the property line exceeds 8'6" in height, including the foundation or retaining wall, the setback shall be equal to the wall height.
- D) Increased setback requirements based on wall length. When the exterior wall, next to the property line, exceeds 24 feet in length, the setback shall be equal to the wall height.
- E) Minimum 5 foot setback from the house or other structures. Exception: The new structure meets the house or main structure setback requirements (fire rated walls may be needed).

- F) For garages, if the overhead garage door faces an alley, the minimum setback from the alley is 20 feet. Side load garages require a minimum 5' setback to the alley.
- G) The combined square footage of all detached structures may cover up to **10%** of the total lot, not to exceed 1,000 square feet. Exception: Open porches or similar architectural features, which reduce the size and height impact, will not be counted towards the maximum square footage.
  - a) What is the square footage of your lot? (We can help you find the dimensions). \_\_\_\_\_
  - b) What is the square footage of your proposed structure? \_\_\_\_\_
  - c) What is the total square footage of all detached structures on your lot, including this proposed structure? \_\_\_\_\_
  - d) Percentage of total lot covered by detached structures ("c" divided by "a") \_\_\_\_\_ %
- H) Structures less than or equal to 1,024 square feet may be constructed with a slab on grade foundation, with the perimeter of the slab thickened to at least 12 inches deep and 12 inches wide, with all vegetation and sod removed below.
- I) Structures greater than 1,024 square feet require 42" deep frost footings (trench or spread footing). All vegetation and sod shall be removed beneath the floor slab.
- J) Wood siding, sheathing and wall framing along the exterior of a building requires a minimum of 6 inches clearance to finished grade or 2 inches to concrete slabs, unless preservative treated.
- K) Driveway and parking areas for vehicles, trailers, boats, campers, etc. shall be concrete, asphalt, or a similar paved surface, and shall not exceed 7% of the lot square footage. New gravel driveways and parking areas are prohibited.
- L) The maximum roof height is 20 feet measured to the peak. Some allowance may be made for sloping grade.
- M) The exterior wall height shall not exceed 12 feet in height. The height shall be measured from grade and shall include the foundation or retaining walls.
- N) Residential\single family detached garages and accessory buildings should be residential in character, with similar architectural features as the principal structure including roof slope, overhangs, accent colors, etc. Exterior surfaces which are metal clad shall be pre-finished colored steel or similar (galvanized metal is prohibited).
- O) All lighting and light fixtures located on or around residential property shall be downcast or shielded to eliminate glare and spillover lighting beyond the property line.
- P) This structure can be used for private residential type activities only and not for business operations unless specifically requested by owner and approved for such use by the Planning Division.
- Q) Proposed structures on commercial or multifamily properties may require additional zoning review by the Planning Division.
- R) Required Inspections:
  - 1-Footings:** after area is dug and reinforcement is in place (if required) but prior to the placement of any concrete.
  - 2- Framing/Electrical:** rough-in framing & electrical, if it will be covered before final inspection.
  - 3-Final:** after all framing, finish, concrete and electrical work is completed.

I agree to the above listed provisions and this project will be constructed to meet these and all other applicable codes and ordinances.

X \_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date



# Building Permit Application

4200 Mills Civic Parkway Suite 1D West Des Moines, Iowa 50265 Phone: 515-222-3630

**Email Applications to: [bi@wdm.iowa.gov](mailto:bi@wdm.iowa.gov) Effective 7/1/2024-6/30/25**

**Incomplete applications or plan submittal packets will delay plan review and permit approval.**

**Project Address:** \_\_\_\_\_ **Suite\Unit #** \_\_\_\_\_ **WDM, IA 5026** \_\_\_\_\_

Plat Name (City can help find this information): \_\_\_\_\_ Lot #: \_\_\_\_\_ Zoning: \_\_\_\_\_

**Description of Project:** \_\_\_\_\_

Is this project for an existing Single Family\Townhome property? Yes: \_\_\_ No: \_\_\_ If yes, is it owner occupied? Yes: \_\_\_ No: \_\_\_

**Project Schedule and/or Approximate Completion Date:** \_\_\_\_\_

**Total Valuation of the Work for this Project** (Do not include land costs): \$ \_\_\_\_\_

**Commercial & Multifamily** project square footage: \_\_\_\_\_ Shell Building Sq. ft. (if applicable): \_\_\_\_\_

**Single Family and Town Home** project square footage for 1st and 2nd floor: \_\_\_\_\_ Garage: \_\_\_\_\_

Basement Finished area: \_\_\_\_\_ Unfinished Basement area: \_\_\_\_\_ Deck: \_\_\_\_\_

Enclosed Deck or Porch (with windows and walls): \_\_\_\_\_ Roof Covered Deck or Porch: \_\_\_\_\_

**Demolition Projects:** Building Structure Only? Yes: \_\_\_ No: \_\_\_ Grading land? Yes: \_\_\_ No: \_\_\_ Clearing trees? Yes: \_\_\_ No: \_\_\_

**Property Owner:** \_\_\_\_\_

Street Address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Email: \_\_\_\_\_ Phone # (\_\_\_\_\_) \_\_\_\_\_

**Contractor** (if different than the property owner): \_\_\_\_\_

Street Address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Email: \_\_\_\_\_ Phone # (\_\_\_\_\_) \_\_\_\_\_

**Architect/Engineer** (if applicable): \_\_\_\_\_

Street Address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Email: \_\_\_\_\_ Phone # (\_\_\_\_\_) \_\_\_\_\_

**Applicant Print Name** \_\_\_\_\_ Phone # (\_\_\_\_\_) \_\_\_\_\_

**Applicant's Email** \_\_\_\_\_

**Applicants, owners, and contractors submitting this application agree to comply with City Ordinances regulating building construction, accessibility and energy, including applicable State and Federal Laws.**

\* Separate Electrical, Mechanical, & Plumbing permits are required (The Contractor shall be licensed by the State of Iowa).

\* Permits will expire if the work is not started within 6 months, or if the applicant does not schedule an inspection for 6 months.

\* Permits may also expire if the project schedule or completion date is not met (Extensions may be granted by the Building Official).

\* It is the applicant, owner, & contractor's responsibility to comply with restrictive covenants, easements, and to locate property lines.

**Office Use Only:** Received by: \_\_\_\_\_ Date: \_\_\_\_\_ Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

City calculated valuation: \$ \_\_\_\_\_ Permit Fee: \$ \_\_\_\_\_

Fee Receipt No: \_\_\_\_\_ Date: \_\_\_\_\_ Permit #: \_\_\_\_\_

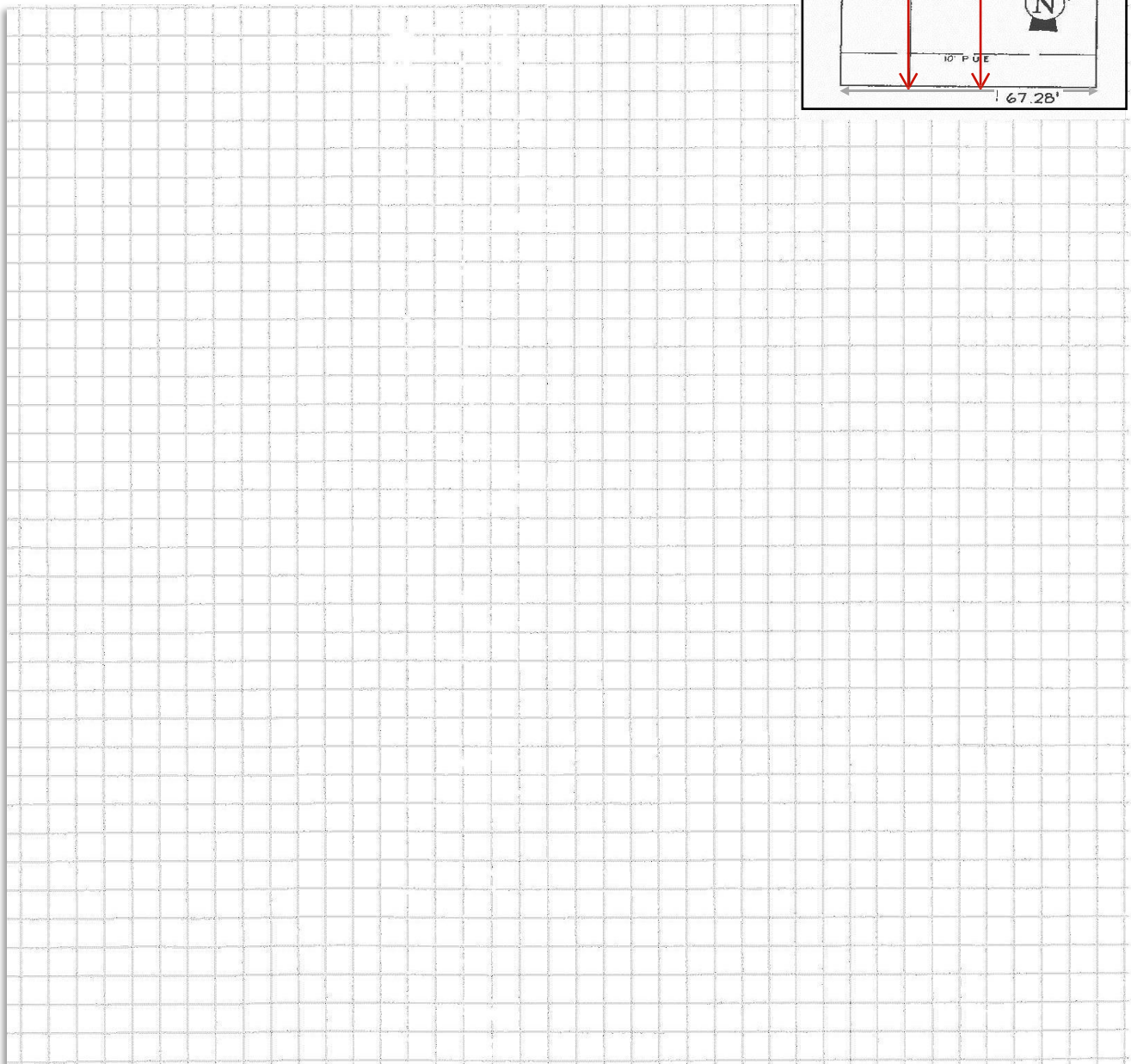
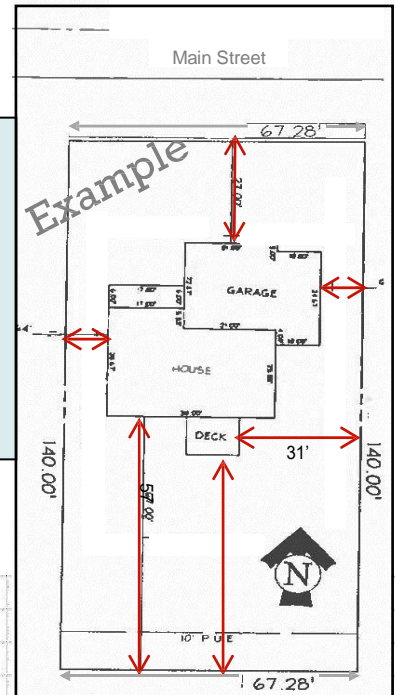
# Site Plan – Required

An aerial view from the county or on-line website works well for showing proposed project locations and is acceptable in lieu of a drawn site plan.

## You *must* show these items:

- ❖ the proposed alteration *i.e.*: addition, deck, porch, pool, fence.
- ❖ Address including streets and street names.
- ❖ Property Lines and dimensions of the property.
- ❖ Setbacks: the distance to the property lines (front, rear & sideyards) of the proposed alteration or existing buildings.
- ❖ North directional arrow.

Address: \_\_\_\_\_



Wall Section: Include size and type of material to be utilized on your project

RAFTERS: SIZE AND SPACING

INSULATION: TYPE AND THICKNESS

WINDOWS: TYPE

DOORS: TYPE

ROOF COVERING: TYPE

INTERIOR FINISH: TYPE AND THICKNESS

INSULATION: TYPE AND THICKNESS

STUDS: SIZE AND SPACING

BRICK VENEER  
OR

SIDING: TYPE AND THICKNESS

SHEATHING: TYPE AND THICKNESS

RIM JOIST: SIZE

RIM INSULATION: TYPE AND THICKNESS

MAXIMUM FOUNDATION EXPOSURE

FOUNDATION: MATERIAL AND THICKNESS

EXTERIOR FOUNDATION INSULATION: TYPE, THICKNESS

INTERIOR FOUNDATION INSULATION: TYPE AND THICKNESS