



Development Services
4200 Mills Civic Parkway #1D
P.O. Box 65320
West Des Moines, IA 50265-0320

Building Division
515-222-3630
FAX 515-273-0602
TDD/TTY 515-222-3334

Deck & Covered Porch Permit Application Checklist

Email application to: bi@wdm.iowa.gov (Effective 7-1-24 through 6-30-25)

ADDRESS: _____

Project (check one): Deck Covered Porch Covered Patio (no deck)

- 1. **Submit a site-plan** showing all dimensions of the proposed project. Include rear yard and side yard set-back dimensions (an aerial map may be utilized for the site plan).
 - Decks that do not exceed 30 inches in height may follow the detached accessory structure setback, no matter the proximity to principal structure (5-foot setback is typical).
 - Decks that exceed 30 inches in height and Covered Porches shall be setback a minimum of 20 feet from the rear property line and must meet the side and front yard setback of the principal structure.
 - Minimum 10-foot setback from detached structures.
 - Confirming property lines, buried utilities, easements, restrictive covenants, or association requirements are strictly the responsibility of the owner and/or contractor.
- 2. **Provide footing/foundation details:** Frost depth is 42 inches; post hole or footing size and post dimensions. Structures with a roof require min. 12 inch posthole footings & 6"x6" posts.
 - Decks which are less than 30 inches above grade and not connected to the house ("platform decks") do not require frost depth footings.
 - A post and beam system may be utilized for decks connected to the house. Seasonal porches may utilize this system also, *if* the existing house wall and a door separate the porch from the existing house. But if the seasonal porch is essentially an open room to the house, with no separation, the foundation shall match the house foundation.
- 3. **Provide framing details and/or drawings:** Beam & joist sizes and spans, stud and rafter size and spacing, trusses. For vaulted ceiling provide and show rafter ties.
 - **Guardrails** are required for decks, porches & screen porches which are more than 30 inches above grade. Minimum height is 36 inches and the maximum space between the spindles is 4 inches. Commercial\ multifamily guards shall be 42 inches high.
 - **Stair requirements:** maximum riser height is 7-3/4" and the minimum tread depth is 10".
 - The riser must be "closed in" meaning there are no gaps larger than 4 inches.
 - Handrails 34 to 38 inches above the nose of tread required on stairs w/ four or more risers.
 - The handgrip portion of the handrail shall have a maximum width of 2 5/8 inches.
 - The minimum headroom is 6 foot 8 inches measured vertically from the nose of the tread.
 - Platforms **exceeding 5 feet in height** above grade shall be supported by than 6"x6" posts.
 - **Ledger boards** shall be positively anchored (bolted) to the primary structure.
 - **Insulation** for enclosed porches must show R-values given for floors, walls and attics.
 - **Operable windows** opening to a height of more than 6 feet above exterior grade must have a minimum sill height of 24 inches above finished floor.
- 4. **Inspections required:** **Footings** prior to concrete being placed. **Framing & Elec. rough-in** if enclosed or covered before final inspection. **Final** when completed including stairs, railings and electrical.

Permit Fees: **Decks - \$45** **Covered Porch or Screened Porch - \$57**

State Law requires you notify **Iowa One Call** before digging: **811** or **1-800-292-8989** or www.iowaonecall.com



Building Permit Application

4200 Mills Civic Parkway Suite 1D West Des Moines, Iowa 50265 Phone: 515-222-3630

Email Applications to: bi@wdm.iowa.gov Effective 7/1/2024-6/30/25

Incomplete applications or plan submittal packets will delay plan review and permit approval.

Project Address: _____ **Suite\Unit #** _____ **WDM, IA 5026** _____

Plat Name (City can help find this information): _____ Lot #: _____ Zoning: _____

Description of Project: _____

Is this project for an existing Single Family\Townhome property? Yes: ___ No: ___ If yes, is it owner occupied? Yes: ___ No: ___

Project Schedule and/or Approximate Completion Date: _____

Total Valuation of the Work for this Project (Do not include land costs): \$ _____

Commercial & Multifamily project square footage: _____ Shell Building Sq. ft. (if applicable): _____

Single Family and Town Home project square footage for 1st and 2nd floor: _____ Garage: _____

Basement Finished area: _____ Unfinished Basement area: _____ Deck: _____

Enclosed Deck or Porch (with windows and walls): _____ Roof Covered Deck or Porch: _____

Demolition Projects: Building Structure Only? Yes: ___ No: ___ Grading land? Yes: ___ No: ___ Clearing trees? Yes: ___ No: ___

Property Owner: _____

Street Address _____ City/State/Zip _____

Email: _____ Phone # (_____) _____

Contractor (if different than the property owner): _____

Street Address _____ City/State/Zip _____

Email: _____ Phone # (_____) _____

Architect/Engineer (if applicable): _____

Street Address _____ City/State/Zip _____

Email: _____ Phone # (_____) _____

Applicant Print Name _____ Phone # (_____) _____

Applicant's Email _____

Applicants, owners, and contractors submitting this application agree to comply with City Ordinances regulating building construction, accessibility and energy, including applicable State and Federal Laws.

* Separate Electrical, Mechanical, & Plumbing permits are required (The Contractor shall be licensed by the State of Iowa).

* Permits will expire if the work is not started within 6 months, or if the applicant does not schedule an inspection for 6 months.

* Permits may also expire if the project schedule or completion date is not met (Extensions may be granted by the Building Official).

* It is the applicant, owner, & contractor's responsibility to comply with restrictive covenants, easements, and to locate property lines.

Office Use Only: Received by: _____ Date: _____ Reviewed by: _____ Date: _____

City calculated valuation: \$ _____ Permit Fee: \$ _____

Fee Receipt No: _____ Date: _____ Permit #: _____

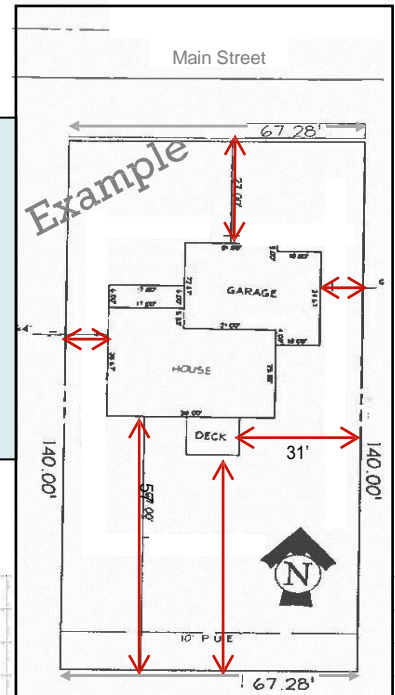
Site Plan – Required

An aerial view from the county or on-line website works well for showing proposed project locations and is acceptable in lieu of a drawn site plan.

You *must* show these items:

- ❖ the proposed alteration *i.e.*: addition, deck, porch, pool, fence.
- ❖ Address including streets and street names.
- ❖ Property Lines and dimensions of the property.
- ❖ Setbacks: the distance to the property lines (front, rear & sideyards) of the proposed alteration or existing buildings.
- ❖ North directional arrow.

Address: _____





SMOKE & CARBON MONOXIDE ALARM REQUIREMENTS

For Residential Additions, Alterations and Repairs

The International Residential Code (IRC) requires that Smoke Alarms and Carbon Monoxide (CO) Alarms shall be installed within a dwelling unit *per current code requirements* when an Addition, Alteration or Repair requiring a Building Permit is issued for a property including Seasonal and Screened Porches. Exceptions to this requirement include roofing, siding, windows, decks and plumbing or mechanical work.

Smoke Alarms shall comply with NFPA 72, be listed in accordance with UL 217 and installed per the manufacturer's installation instructions. Alarms must be "dual sensor type" as required by the State of Iowa (ionization\photoelectric).

The required locations for are as follows:

- 1) In each sleeping room.
- 2) Outside each separate sleeping area in the immediate vicinity of bedrooms.
- 3) On each story of the dwelling, including basements and habitable attics.
- 4) At least 3' horizontally from the doorway of a bathroom with a shower\tub.

Carbon Monoxide Alarms shall be listed in accordance with UL 2034. Combination CO and smoke alarms shall be listed in accordance with UL 2034 and UL 217. Alarms shall be installed per the manufacturer's installation instructions. The required locations are as follows:

- 1) Outside each separate sleeping area in the immediate vicinity of bedrooms.
- 2) Where a fuel-burning appliance (i.e.: fireplace) is located in a bedroom or its attached bathroom, a CO alarm shall be installed within the bedroom.

Alarms should receive their primary power from the building wiring when possible. New alarms are permitted to be battery powered when installed in conjunction with Additions, Modifications or Repairs to an existing dwelling structure.

I hereby acknowledge that I have read the requirements outlined above and agree to comply with all City Ordinances regulating said requirements on this project.

Signature

Date

Print Name

The City of
West Des Moines

www.wdm.iowa.gov

Development Services
Department

4200 Mills Civic Pkwy
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50265

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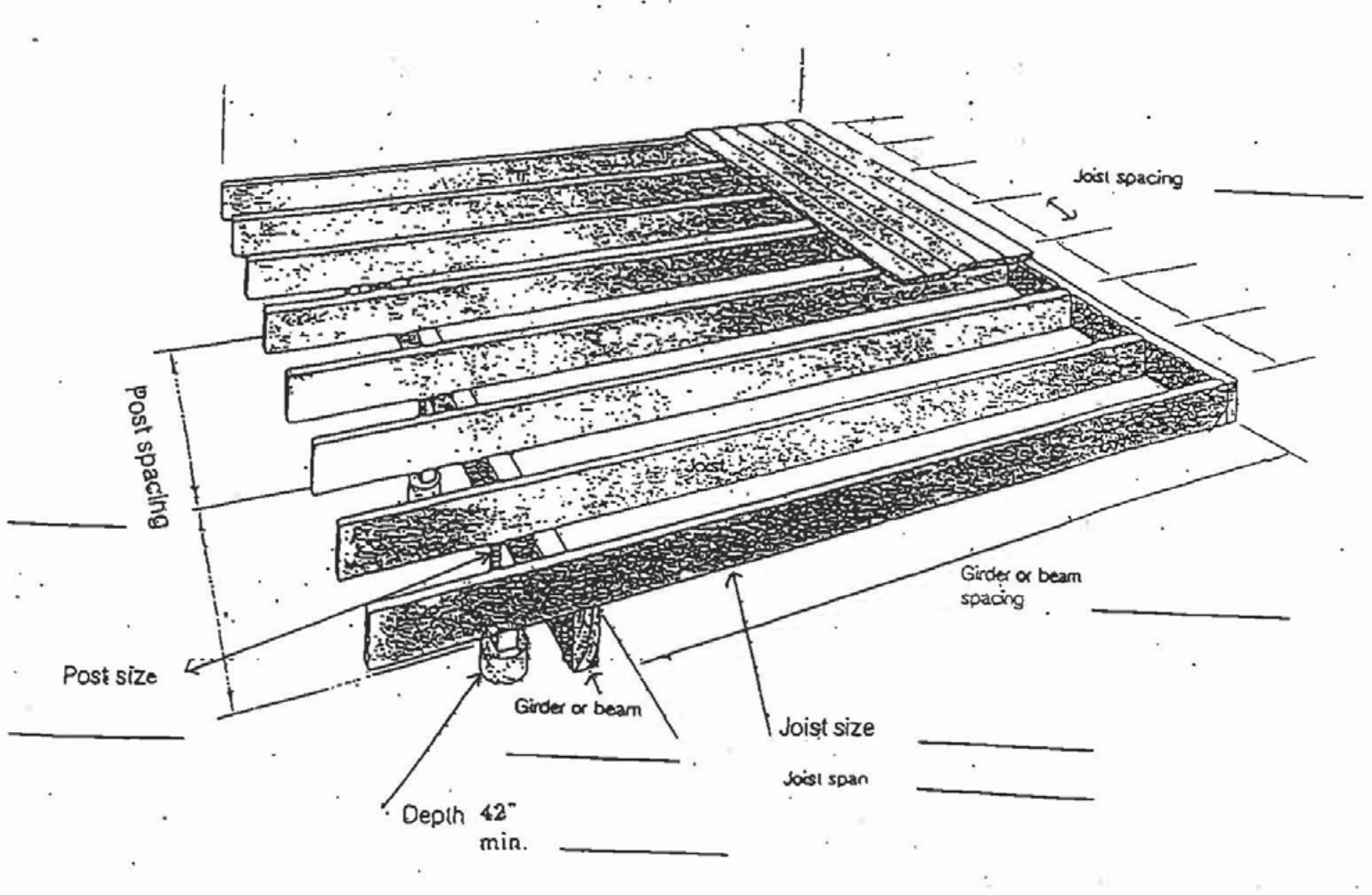
Planning Division
515-222-3620

Fire Marshal
515-222-3420

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Deck Framing Detail

Fill in all blanks for your project or submit custom design documents.



Wall Section: Include size and type of material to be utilized on your project

The diagram illustrates a cross-section of a building's exterior wall and roof assembly. Key components include:

- Roof:** Rafters, insulation, and roof covering.
- Wall:** Studs, insulation, sheathing, and exterior finish (brick veneer or siding).
- Foundation:** Rim joist, rim insulation, and foundation material with exterior and interior insulation.

 The drawing uses various hatching patterns to represent different materials like insulation, wood studs, and concrete foundation.

WINDOWS: TYPE	_____

DOORS: TYPE	_____

ROOF COVERING: TYPE	_____

INTERIOR FINISH: TYPE AND THICKNESS	_____

INSULATION: TYPE AND THICKNESS	_____

STUDS: SIZE AND SPACING	_____

BRICK VENEER OR	_____
SIDING: TYPE AND THICKNESS	_____

SHEATHING: TYPE AND THICKNESS	_____

RIM JOIST: SIZE	_____

RIM INSULATION: TYPE AND THICKNESS	_____

MAXIMUM FOUNDATION EXPOSURE	_____

FOUNDATION: MATERIAL AND THICKNESS	_____

EXTERIOR FOUNDATION INSULATION: TYPE, THICKNESS	_____

INTERIOR FOUNDATION INSULATION: TYPE AND THICKNESS	_____