

# CITY OF WEST DES MOINES

## COUNCIL AGENDA

**date:** May 4, 2015

**time:** 5:30 P.M.

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MAYOR .....	STEVEN K. GAER	CITY MANAGER.....	TOM HADDEN
COUNCILMEMBER AT LARGE .....	RICK MESSERSCHMIDT	CITY ATTORNEY.....	RICHARD SCIESZINSKI
COUNCILMEMBER AT LARGE .....	JIM SANDAGER	CITY CLERK.....	RYAN JACOBSON
COUNCILMEMBER 1 <sup>ST</sup> WARD .....	KEVIN L. TREVILLYAN		
COUNCILMEMBER 2 <sup>ND</sup> WARD .....	JOHN MICKELSON		
COUNCILMEMBER 3 <sup>RD</sup> WARD.....	RUSS TRIMBLE		

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### STUDENT GOVERNMENT DAY

1. **Call to Order/Pledge of Allegiance/Roll Call/Approval of Agenda**
2. **Citizen Forum** (Pursuant to City Council Procedural Rules citizen remarks are limited to five minutes under this agenda category - if additional time is desired the Mayor/Council may allow continuation as part of the Other Matters portion of the agenda)
3. **Mayor/Council/Manager Report/Other Entities Update**
  - a. Swearing in of Police Officers Blake Mills, Tim McConnell, and Clint Ray
  - b. ITS Heartland Award - Public Works
4. **Consent Agenda**
  - a. Motion - Approval of Minutes of April 20, 2015 Meeting
  - b. Motion - Approval of Bill Lists
  - c. Motion - Approval of Liquor Licenses:
    1. Biaggi's Ristorante Italiano, LLC d/b/a Biaggi's Ristorante Italiano, 5990 University Avenue - Class LC Liquor License with Carryout Wine, Sunday Sales and Catering Privileges - Renewal
    2. China Jade, Inc. d/b/a China Jade, 5002 EP True Parkway - Class BB Beer Permit with Sunday Sales - Renewal
    3. Fareway Stores, Inc. d/b/a Fareway Store #153, 329 Grand Avenue - Class LE Liquor License with Carryout Wine and Carryout Beer - New
    4. Kineth Hotel Corporation d/b/a Hampton Inn, 6160 Mills Civic Parkway - Class BW Permit with Carryout Wine, Sunday Sales, Living Quarters, and Outdoor Service - New
    5. Kineth Hotel Corporation d/b/a Homewood Suites, 6220 Stagecoach Drive - Class BW Permit with Carryout Wine, Sunday Sales, Living Quarters, and Outdoor Service - New
    6. Hy-Vee, Inc. d/b/a Hy-Vee Ankeny #2, 1415 28th Street (Simpson College Continuing Education Event) - 5-Day Class BW Permit - Effective May 14-18, 2015

Council Agenda

May 4, 2015

7. Hy-Vee, Inc., d/b/a Hy-Vee Clubroom, 555 South 51<sup>st</sup> Street, Clubroom Area - Class BW Permit with Sunday Sales - Renewal
  8. Hy-Vee, Inc. d/b/a Hy-Vee Meeting Room, 1725 Jordan Creek Parkway - Transfer Location Temporarily to 1236 Jordan Creek Parkway (SpringHill Suites) - May 20-21, 2015
  9. St. Francis of Assisi Roman Catholic Church d/b/a St. Francis of Assisi Church, 7075 Ashworth Road - Class BW Permit with Sunday Sales - New
  10. T-Bowl Investments Inc. d/b/a Val Lanes Recreation Center, 100 Ashworth Road - Class LC Liquor License with Sunday Sales - Renewal
  11. Willow Creek Golf Course, Inc. d/b/a Willow Creek Golf Course, 140 Army Post Road - Class LC Liquor License with Sunday Sales, Living Quarters, and Outdoor Service Privileges - Renewal
- d. Motion - Approval of Extended Sound Permit - Dowling Catholic High School Outdoor Concert, 1400 Buffalo Road
- e. Motion - Approval of Grant Application - BRAVO Greater Des Moines
- f. Motion - Approval of Agreement - Financial Software
- g. Motion - Approval of Consulting Services Agreement - Financial Software Implementation
- h. Motion - Approval of Equipment Sharing Agreement
- i. Resolution - Approval of 2015-16 FY Non-Union Pay Plan
- j. Resolution - Order Construction - Grand Avenue Improvements, Phase 5 - Raccoon River Park to South 35<sup>th</sup> Street
- k. Resolution - Approval of Professional Services Agreements:
  1. Alluvion Booster Station
  2. South Area Trunk Sewer - Western Extension
- l. Resolution - Acceptance of Public Improvements:
  1. Rogers Farm
  2. South Maple Grove Plat 13
- m. Resolution - Authorize Construction of Public Improvements - West Lakes Office Park Plat 3, Lot 16 (Sanitary Sewer)
- n. Resolution - Establish Public Hearing Regarding the Final Design, Site Selection and Consideration of Acquiring Agricultural Property - South 8<sup>th</sup> Street - County Line Road to Pine Avenue
- o. Resolution - Approval of License Agreement for Installation of Optical Fiber - West Des Moines Water Works
- p. Resolution - Approval of 28E Agreement Regarding Funding and Operation of Aquifer Storage and Recovery Facility - West Des Moines Water Works
- q. Resolution - Approval of Amendment to Alluvion RISE Agreement
- r. Resolution - Approval of Phased Landscaping Plan - Alluvion
- s. Proclamation - Approval of Proclamations:
  1. Drinking Water Week, May 3-9, 2015
  2. Police Officers Week, May 10-16, 2015
  3. Bike Month, May 2015

**5. Old Business**

- a. Platinum Pointe Townhomes (f/k/a Whisper Ridge Townhomes), southwest corner of Bridgewood Boulevard and South 88<sup>th</sup> Street - Rezone approximately 13.3 acres from Residential Medium Density to a Planned Unit Development (PUD) to Allow Construction of a Townhome Development - Hale Development Company, LLC
  - 1. Ordinance - Approval of Second, Third Readings and Final Adoption
- b. Alluvion Urban Renewal Area TIF Ordinance - City Initiated
  - 1. Ordinance - Approval of Second, Third Readings and Final Adoption

**6. Public Hearings (5:35 p.m.)**

- a. Aspire, south side of Stagecoach Drive approximately 680 feet west of South 68<sup>th</sup> Street - Vacate a Portion of Public Street Right-of-Way Associated with the Driveway Turnouts Constructed along the South Side of Stagecoach Drive - Aspire Residential, LLC
  - 1. Ordinance - Approval of First Reading
- b. Barnes Heights Sanitary Sewer Connection Fee District, generally located south of Ashworth Road and west of 60<sup>th</sup> Street - City Initiated
  - 1. Ordinance - Approval of First Reading
- c. Amendment #3 to the Westtown V Urban Renewal Area - City Initiated
  - 1. Resolution - Approval of Urban Renewal Plan Amendment
- d. Grand Avenue Improvements Project - Phase 6, South 35<sup>th</sup> Street to South 50<sup>th</sup> Street - City Initiated
  - 1. Resolution - Approval of Plans and Specifications
  - 2. Motion - Receive and File Report of Bids
  - 3. Resolution - Award Contract Subject to Concurrence from the Iowa Department of Transportation
- e. Alluvion Blue Fiber Route - City Initiated
  - 1. Resolution - Approval of Plans and Specifications
  - 2. Motion - Receive and File Report of Bids
  - 3. Resolution - Award Contract
- f. 2015 PCC Reconstruction Program - City Initiated
  - 1. Resolution - Approval of Plans and Specifications
  - 2. Motion - Receive and File Report of Bids
  - 3. Resolution - Award Contract
- g. 2015 Sewer Rehabilitation Program - City Initiated
  - 1. Resolution - Approval of Plans and Specifications
  - 2. Motion - Receive and File Report of Bids
  - 3. Resolution - Award Contract

**7. New Business**

- a. Village of Ponderosa Plat 6, northeast corner of South Ridgefield Way and Flagstone Way - Replat Lot 46, Village of Ponderosa Plat 1 into Seven Single-Family Detached Lots - Homes by DePhillips
  - 1. Resolution - Approval and Release of Final Plat
- b. Village of Ponderosa Plat 7, northeast corner of Stagecoach Drive and South Crescent Way - Subdivide Property into 14 Lots and One Outlot - East Towne, LLC
  - 1. Resolution - Approval and Release of Final Plat
- c. Village of Ponderosa Plat 8, 419, 423, 437, 439, 441, 443, and 445 South Crescent Way - Replat Lot 21, Village of Ponderosa Plat 1 into Seven Single-Family Detached Lots and One Private Driveway Lot - Home by DePhillips
  - 1. Resolution - Approval and Release of Final Plat
- d. Lindsey Farm Plat 1, 1001 Timberbrook Avenue - Subdivide Property into Nine Single Family Lots - Frank Lindsey
  - 1. Resolution - Approval of Preliminary Plat
- e. Tallyn's Reach, generally located at the southwest corner of Cascade Avenue and South 91<sup>st</sup> Street - Subdivide Property into 19 Lots for Construction of a Detached Townhome Development - Jerry Bussanmas
  - 1. Resolution - Approval of Preliminary Plat/Site Plan
- f. Aspire, south side of Stagecoach Drive approximately 680 feet west of South 68<sup>th</sup> Street - Construction of a 222-unit Condominium Development - Aspire Residential, LLC
  - 1. Resolution - Approval of Site Plan

**8. Receive, File and/or Refer**

- a. Village of Ponderosa, east of South 60<sup>th</sup> Street at Village View Drive - Amend Village of Ponderosa Specific Plan Ordinance to Modify Land Uses, Development Regulations, and Proposed Architectural Concepts - LENC, LLC and LEWF, LLC (Refer to Plan and Zoning Commission)
- b. Jordan West, southwest corner of EP True Parkway and Jordan Creek Parkway - Amend the Specific Plan Ordinance to Allow Mix of Uses Including Retail, Office, Restaurants, Hotel, Convenience Store, and Medium Density Residential - Ryan Companies (Refer to Plan and Zoning Commission)
- c. WDM Water Works Audit - 2014

**9. Other Matters**



## **CITY COUNCIL WORKSHOP**

(immediately follows Council meeting)

1. Raccoon River Quarries Planned Unit Development (PUD)
2. Other Matters

The City of West Des Moines is pleased to provide accommodations to disabled individuals or groups and encourages their participation in city government. Should special accommodations be required please contact the Clerk's office at least 48 hours in advance, at 222-3600 to have accommodations provided.

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**Date: May 4, 2015**

**ITEM:** Village of Ponderosa Plat 6, Homes by DePhillips – NE corner of South Ridgefield Way and Flagstone Way – Replat Lot 46, Village of Ponderosa Plat 1 into 7 single-family detached lots (FP-002633-2015)

**RESOLUTION: Approval and Release of Final Plat**

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** Joel Jackson, Bishop Engineering, on behalf of the applicant, Michael DePhillips, Homes by DePhillips, is requesting approval of a Final Plat for that approximately 1.99 acre parcel located at the northeast corner of S Ridgefield Way and Flagstone Way within the Village of Ponderosa development. The applicant proposes to replat existing Lot 46, Village of Ponderosa Plat 1 into 7 single-family detached residential lots. The subject property was originally intended to be developed with large single-family detached townhomes on one common lot. The proposed re-platting has been determined to be consistent with the original Village of Ponderosa intent of providing detached single-family dwellings, only now to be typical single family detached homes provided on individual lots versus multiple dwelling on one common lot.

**CITY COUNCIL SUBCOMMITTEE:** This item was presented to the Development and Planning City Council Subcommittee on February 26, 2015, as an informational item only. No discussion was had and no disagreement with the proposal was expressed.

**OUTSTANDING ISSUES:** There are no outstanding issues. Staff would note the following item of interest:

- **Approval of Existing Homeowners:** The subject parcel (Lot 46) was intended to be developed in the same manner as Lot 21 (detached townhomes on common lot) and thus a common condominium regime, subservient to the Master Owner's Association, was established. The condominium regime documents allows for property to be removed from the regime with the consent of any included property owner and their mortgagee. With the preliminary plat approval of this property the City Council required a Condition of Approval requiring the obtainment of all necessary signatures prior to the associated Final Plat proceeding to the City Council for approval. The applicant has provided formal written consent from each property owner and their mortgagee to be recorded with Polk County.

**COMPREHENSIVE PLAN CONSISTENCY:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**TOWN CENTER OVERLAY DISTRICT CONSISTENCY:** The proposed project has been reviewed for consistency with the proposed Town Center Overlay District Guidelines. Based upon that review, a finding has been made that the proposed project is consistent with the Town Center Overlay District Guidelines in that the plan is consistent with the overall objective and intents of the Town Center Overlay District Guidelines.

**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the City Council approve the Village of Ponderosa Plat 6 Final Plat to establish seven (7) lots for residential development, subject to the applicant complying with all applicable City Code requirements.

Lead Staff Member: Brian Portz, AICP

**Staff Reviews:**

Department Director
Appropriations/Finance
Legal
Agenda Acceptance

*Handwritten initials and signature:*  
JH  
KTO

**PUBLICATION(S) (if applicable)**

Published In	n/a
Date(s) Published	n/a
Letter sent to surrounding property owners	n/a

**SUBCOMMITTEE REVIEW (if applicable)**

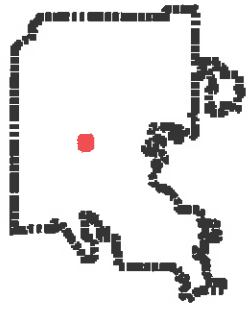
Committee	Development & Planning		
Date Reviewed	February 26, 2015		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Exhibit I - Location Map
- Exhibit II - Final Plat
- Exhibit III - Resolution: Approval and Release of Final Plat
- Exhibit A - Conditions of Approval

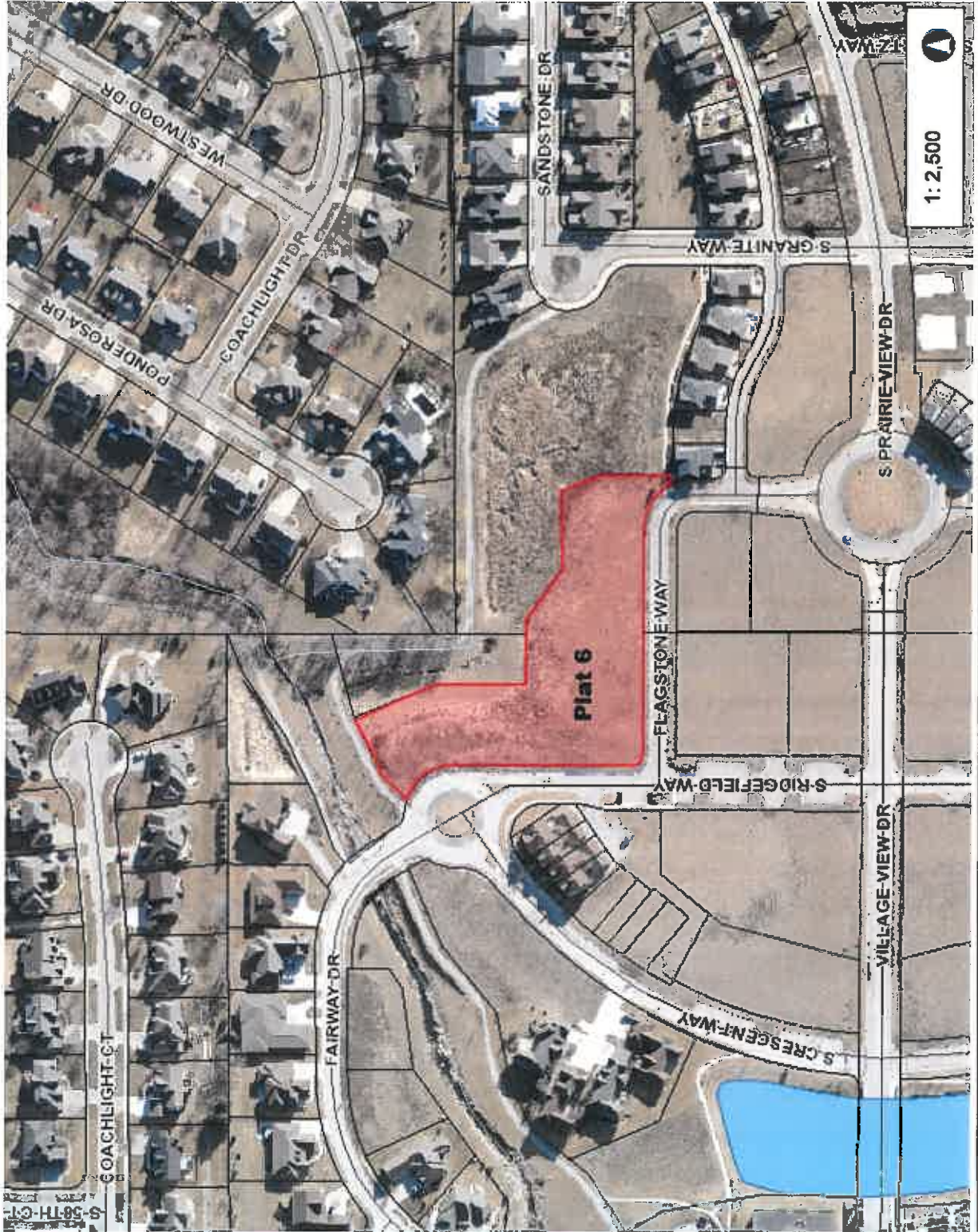


# Village of Ponderosa Plat 6



Legend  
□ Parcels

## EXHIBIT I



1: 2,500

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

416.7 0 208.33 416.7 Feet

NAD\_1983\_StatePlane\_Iowa\_South\_FIPS\_1402\_Feet  
© City of West Des Moines, Iowa

# VILLAGE OF PONDEROSA PLAT 6 FINAL PLAT

EXHIBIT II

**PROPERTY DESCRIPTION:**  
ALL OF LOT 46, THE VILLAGE OF PONDEROSA, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA CONTAINING APPROXIMATELY 1.99 ACRES.

**OWNER:**  
HOMES BY DEPHILLIPS  
ATTN: MICHAEL DEPHILLIPS  
1111 S 45TH CT  
WEST DES MOINES, IA 50265  
PH: (515) 249-7400

**APPLICANT:**  
NEIGHBORHOOD BUILDERS, LLC  
ATTN: JAKE RIED  
6285 MILLS CIVIC PKWY  
WEST DES MOINES, IA 50266  
PH: (515) 267-9061 EXT 3

**COMPREHENSIVE PLAN:** SF  
SINGLE FAMILY RESIDENTIAL

**ZONING:** PUD-SF  
PLANNED UNIT DEVELOPMENT

**BENCHMARK:**  
WDM BM #119 - ALUMINUM DISC AT THE NORTHEAST CORNER OF 60TH STREET & MILLS CIVIC PARKWAY, 18.5' SOUTHEAST OF SIGNAL POLE, 1.5' SOUTHEAST OF FACE OF WALK, 31' WEST OF FIRE HYDRANT.  
ELEVATION = 201.57

WDM BM # 10 - ALUMINUM DISC AT THE INTERSECTION OF 60TH AND BEECH TREE DRIVE. 31' WEST OF THE CENTERLINE OF 60TH STREET.  
ELEVATION = 178.99

**PREPARED BY:**  
BISHOP ENGINEERING  
ATTN: JOEL JACKSON  
3501 104TH STREET  
URBANDALE, IA 50222  
PH: (515) 276-0467

**FLOOD HAZARD CERTIFICATION:**  
THIS SITE IS LOCATED IN A ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP 190231-0004-C, WITH AN EFFECTIVE DATE OF FEBRUARY 16, 2005, IN WEST DES MOINES, IOWA, FOR WHICH THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.

**BULK REGULATIONS:**

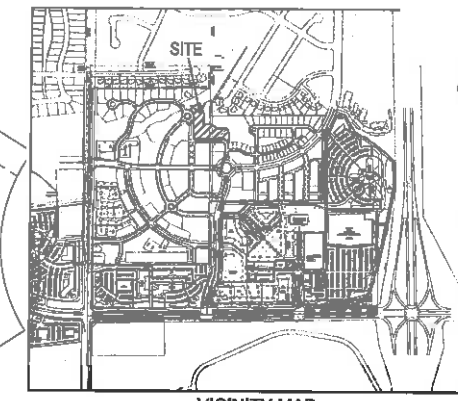
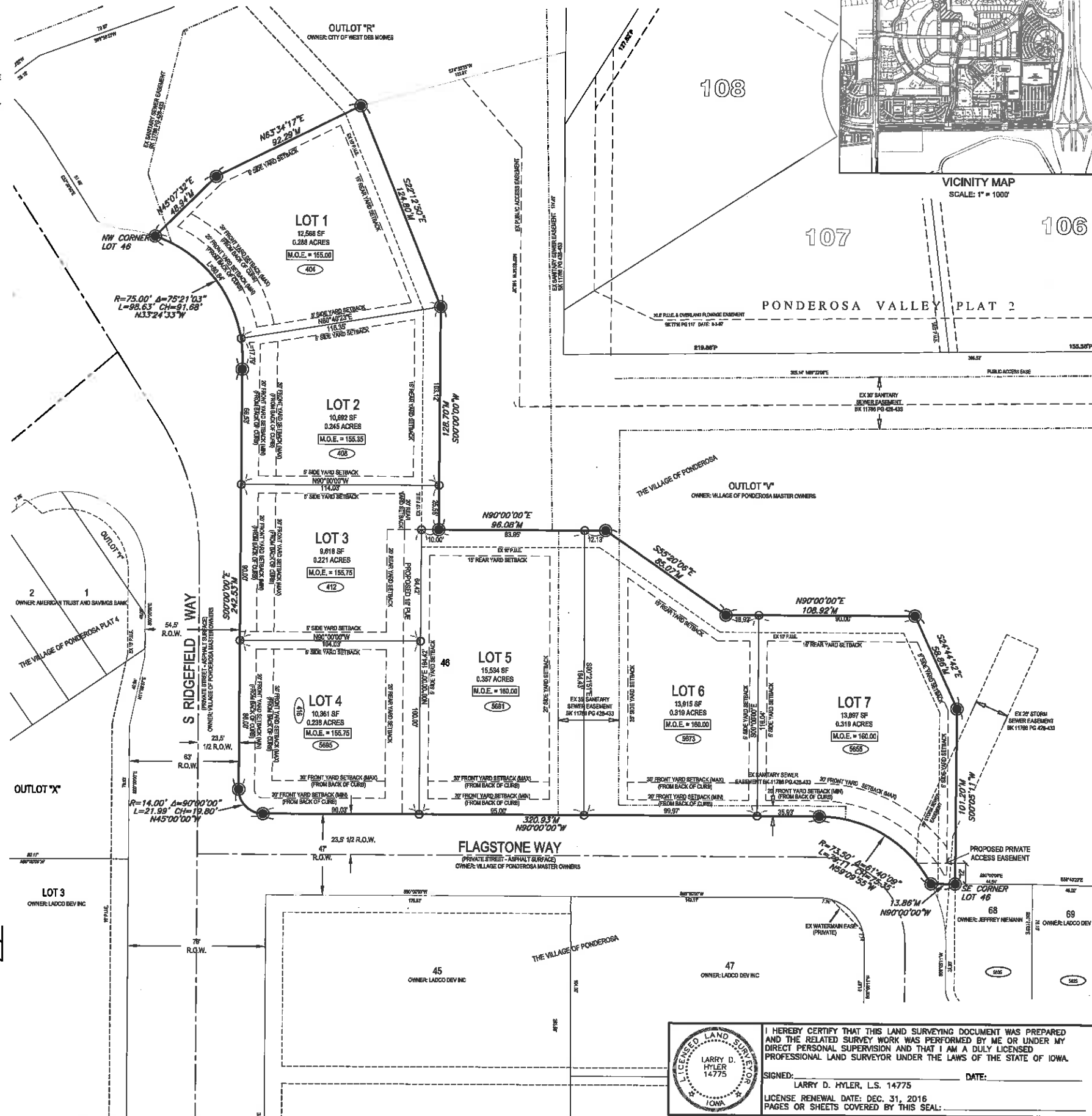
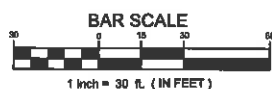
- MINIMUM STREET FRONTAGE = 35 FEET
- LOTS SHALL RANGE BETWEEN 9,000 SF TO 17,300 SF
- MAXIMUM BUILDING HEIGHT = 40 FEET
- GARAGE ORIENTATION: GARAGES SHALL BE SITED TO MINIMIZE THE VISUAL PRESENCE TO THE STREET. ACCEPTABLE GARAGE ORIENTATIONS INCLUDE:
  - STREET ORIENTED GARAGE - GARAGES THAT OPEN TO THE STREET MUST BE RECESSED BEHIND THE FRONT PLANE OF THE HOUSE A MINIMUM OF FIVE FEET (5'). HOWEVER, UP TO ONE-FIFTH (1/5) OF THE TOTAL NUMBER OF DWELLINGS MAY HAVE STREET-FACING GARAGES WHICH ARE LOCATED LESS THAN FIVE FEET (5') OF THE FRONT PLANE OF THE DWELLING. IN SITUATIONS WHERE THE GARAGE IS LOCATED LESS THAN FIVE FEET (5'), THE THIRD CAR GARAGE, IF APPLICABLE, MUST BE STEPPED-BACK A MINIMUM OF FOUR FEET (4') FROM THE FRONT OF THE TWO CAR GARAGE WITH ALL GARAGE DOORS TO BE INDIVIDUAL ONE CAR DOORS.
  - SIDE LOADED GARAGE - GARAGE IS ENTERED FROM THE SIDE BY A MOTOR COURT. THIS GARAGE ORIENTATION CAN BE LOCATED IN FRONT OF THE HOUSE EQUAL TO THE BUILDING SETBACK FOR THE HOUSE. SIDE LOADED GARAGES SHOULD INCORPORATE ARCHITECTURAL DETAILS SUCH AS WINDOWS, DOORS, AND OTHER DETAILING ON THE STREET FACADE IN ORDER TO PRESENT A HOUSE APPEARANCE THUS DISGUISSING THE GARAGE FUNCTION.
- DEDICATED RESIDENTIAL DRIVEWAYS: VEHICLE DRIVEWAYS DEDICATED AND ADJACENT TO A COVERED PARKING SPACE SHALL MEASURE TEN FEET (10') OR LESS IN LENGTH OR NINETEEN FEET (19') OR GREATER IN LENGTH AS MEASURED PERPENDICULARLY FROM THE GARAGE OPENING TO THE CLOSEST POINT OF THE BACK OF CURB OF INTERSECTING PRIVATE STREET OR DRIVE. DRIVES THAT ARE INTENDED TO PROVIDE FOR A VEHICLE TO BE PARKED PARALLEL TO THE COVERED SPACE SHALL MEASURE A MINIMUM OF NINE FEET (9') IN LENGTH. DRIVES INTENDED TO ALLOW A VEHICLE TO BE PARKED PERPENDICULAR TO THE COVERED SPACE SHALL MEASURE A MINIMUM OF NINETEEN FEET (19') IN LENGTH.
- BUILDING SETBACKS:
  - FRONT YARD = 20 FEET MINIMUM (FROM BACK OF CURB) AND 30 FEET MAXIMUM (FROM BACK OF CURB)
  - REAR YARD = 15 FEET (LOTS 1-3, 5-7), 20 FEET (LOT 4)
  - SIDE YARD = 5 FEET EXCEPT WHEN ADJACENT TO SANITARY SEWER EASEMENT, THEN 6 FOOT SETBACK FROM EDGE OF SAID EASEMENT
  - SIDE YARD SETBACKS SHALL BE TO THE CLOSEST ELEMENT, INCLUDING WINDOW WELLS, WINDOW, AND/OR FIREPLACE BUMP-OUTS, OVERHANGS, STAIRS ETC.
- NO DETACHED ACCESSORY STRUCTURES ALLOWED.
- NO FENCES OVER FOUR FEET (4') IN HEIGHT, EXCEPT THOSE REQUIRED TO MEET MINIMUM SWIMMING POOL FENCING REQUIREMENTS ARE ALLOWED. NO FENCES ARE ALLOWED ALONG THOSE PROPERTY BOUNDARIES WHICH ABUT A COMMON OPEN SPACE.
- ARCHITECTURE SHALL COMPLY WITH THE VILLAGE OF PONDEROSA SPECIFIC PLAN. HOUSE PLANS MUST BE REVIEWED AND APPROVED BY THE VILLAGE OF PONDEROSA DESIGN REVIEW BOARD. INDICATION FROM THE DESIGN REVIEW BOARD OF THEIR APPROVAL OF THE HOUSE DESIGN AND MATERIALS MUST BE PROVIDED IN CONJUNCTION WITH THE BUILDING PERMIT REQUEST. HOMES ARE INTENDED TO BE CUSTOM HOMES, NOT SPEC HOMES UTILIZING THE SAME PLAN WITH MINOR DEVIATIONS.

**NOTES:**

- STREETS ADJOINING THIS PLAT (S RIDGEFIELD WAY & FLAGSTONE WAY) ARE PRIVATE STREETS. THE CITY OF WEST DES MOINES DOES NOT REPAIR OR MAINTAIN (INCLUDING THE PLOWING OF SNOW) THESE STREETS.
- HOMES OVER 8,000 SF IN SIZE, INCLUDING GARAGE SPACE, ARE REQUIRED TO BE FIRE SPRINKLED.
- ALL PRIVATE STREET LOTS ARE ALSO PUBLIC SANITARY SEWER EASEMENTS, PUBLIC ACCESS EASEMENTS, AND PUBLIC UTILITY EASEMENTS.
- THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN ONE FOOT IN 10,000 FEET. EACH LOT HAS AN ERROR CLOSURE OF LESS THAN ONE FOOT IN 5,000 FEET.
- LOT CORNERS WILL BE SET WITHIN ONE YEAR OF THE APPROVAL OF THIS PLAT.
- ALL EASEMENTS ARE PUBLIC UNLESS NOTED AS PRIVATE.
- BEARINGS ARE BASED ON AN ASSUMED MERIDIAN.

**SURVEY LEGEND:**

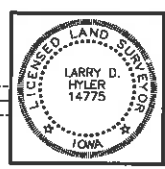
- SECTION CORNER - FOUND AS NOTED
- PROPERTY CORNER - FOUND IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
- PLAT CORNER - FOUND IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
- PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775
- M MEASURED DISTANCE
- P PLATTED DISTANCE
- D DEEDED DISTANCE
- P.R.A. PREVIOUSLY RECORDED AS
- R.O.W. RIGHT-OF-WAY
- P.U.E. PUBLIC UTILITY
- M.O.E. MINIMUM OPENING ELEVATION
- S.F. SQUARE FEET
- INDICATES STREET ADDRESS



VILLAGE OF PONDEROSA PLAT 6  
WEST DES MOINES, IOWA  
FINAL PLAT

**Bishop Engineering**  
"Planning Your Successful Development"  
3501 104th Street  
Des Moines, Iowa 50322-3625  
Phone: (515) 276-0467 Fax: (515) 276-0417  
Civil Engineering & Land Surveying  
Established 1959

REFERENCE NUMBER:	050420-25
050116	040616
DRAWN BY:	JMR
CHECKED BY:	JEL
REVISION DATE:	1ST CITY SUBMITTAL 2-3-16
	REV PER CITY 3-31-16
PROJECT NUMBER:	120199
SHEET NUMBER:	1 OF 1



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: LARRY D. HYLER, L.S. 14775  
DATE: \_\_\_\_\_  
LICENSE RENEWAL DATE: DEC. 31, 2016  
PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_

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Prepared by: B. Portz, City of West Des Moines Development Services, P.O. Box 65320, West Des Moines, IA 50265-0320, 515-222-3620  
When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

### RESOLUTION

#### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING AND RELEASING THE FINAL PLAT, VILLAGE OF PONDEROSA PLAT 6 (FP-002633-2015) FOR THE PURPOSE OF CREATING SEVEN (7) LOTS FOR RESIDENTIAL DEVELOPMENT**

WHEREAS, pursuant to the provisions of Title 10, Subdivision Regulations and Title 9, Zoning Chapter 1 et seq, of the West Des Moines Municipal Code, Homes By DePhillips, has requested approval for a Final Plat (FP-002633-2015) for that approximately 1.99 acre site located at the northeast corner of S Ridgefield Way and Flagstone Way within the Village of Ponderosa development and legally described below for the purpose of subdividing the property into 7 lots for residential development;

#### Legal Description

ALL OF LOT 46, THE VILLAGE OF PONDEROSA, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA. SAID PARCEL CONTAINING APPROXIMATELY 1.99 ACRES

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, the West Des Moines Plan and Zoning Commission has reviewed the Preliminary Plat for Village of Ponderosa Plat 6 and recommended approval on April 13, 2015, and;

WHEREAS, the Final Plat that was submitted for review was determined to be generally consistent with the Preliminary Plat for Village of Ponderosa Plat 6 that was reviewed and approved by the City Council on April 20, 2015, and;

WHEREAS, on May 4, 2015, this City Council held a duly-noticed meeting to consider the application for Final Plat (FP-002633-2015) and;

WHEREAS, the West Des Moines City Council adopted a resolution which approved the Final Plat for Village of Ponderosa Plat 6 at their meeting on May 4, 2015, subject to any conditions of approval, and;

WHEREAS, the necessary easements have been established for storm water and sanitary sewer, and;

WHEREAS, the City Council approves of the following address assignments;

- Lot 1 = 404 S. Ridgefield Way
- Lot 2 = 408 S. Ridgefield Way
- Lot 3 = 412 S. Ridgefield Way

Lot 4 = 416 S. Ridgefield Way and 5695 Flagstone Way  
Lot 5 = 5691 Flagstone Way  
Lot 6 = 5673 Flagstone Way  
Lot 7 = 5655 Flagstone Way

**WHEREAS**, Village of Ponderosa Plat 6 is zoned Village of Ponderosa Planned Unit Development (PUD) and meets all requirements of the City's Zoning Code.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

**SECTION 1.** The findings of consistency with the Comprehensive Plan as stated in the staff report, dated May 4, 2015, or as amended orally at the City Council meeting of May 4, 2015, are adopted.

**SECTION 2.** Final Plat, Village of Ponderosa Plat 6 (FP-002633-2015) is approved, subject to compliance with all the conditions in the staff report, dated May 4, 2015, including conditions added at the meeting, if any, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

**SECTION 3.** This resolution does release the Final Plat (FP-002633-2015) for recordation. The City Council of West Des Moines, Iowa directs the City Clerk to release said plat for recordation in accordance with said City Council approval of the final plat on May 4, 2015 and Roll Call No. \_\_\_\_\_.

**CERTIFICATE**

I, Ryan T. Jacobson, City Clerk for said City, hereby certify that at a meeting of the City Council of said City of West Des Moines, held on May 4, 2015, among other proceedings, Roll Call No. \_\_\_\_\_ approved said plat on May 4, 2015, and released said Final Plat for recordation.

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk

**IN WITNESS WHEREOF**, I have hereunto set my hand this \_\_\_\_ day of May, 2015.

\_\_\_\_\_  
Steven K Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk

**EXHIBIT A:  
CONDITIONS OF APPROVAL**

1. No conditions of approval.



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**Date: May 4, 2015**

**ITEM:** Village of Ponderosa Plat 7, Northeast corner of Stagecoach Drive and S Crescent Way – Approval to subdivide property into 14 lots and one outlot – East Towne LLC – FP-002499-2014

**RESOLUTION: Approval and Release of Final Plat**

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** Joel Jackson, Bishop Engineering, on behalf of the applicant, Jim Bergman, East Towne, LLC., is requesting approval of a Final Plat to create 14 lots for the existing townhomes and one outlot for the shared vehicle drive, patio area and open space area.

**CITY COUNCIL SUBCOMMITTEE:** This item was presented to the Development & Planning City Council Subcommittee at their September 11, 2014, as an informational item only. No discussion was had and no disagreement with the proposal was expressed.

**OUTSTANDING ISSUES:** There are no outstanding issues.

**COMPREHENSIVE PLAN CONSISTENCY:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**TOWN CENTER OVERLAY DISTRICT CONSISTENCY:** The proposed project has been reviewed for consistency with the proposed Town Center Overlay District Guidelines. Based upon that review, a finding has been made that the proposed project is consistent with the Town Center Overlay District Guidelines in that the plan is consistent with the overall objective and intents of the Town Center Overlay District Guidelines.

**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the City Council approve the Village of Ponderosa Plat 7 Final Plat to establish 14 lots and one outlot, subject to the applicant meeting all City Code requirements.

Lead Staff Member: Brian Portz, AICP

**Staff Reviews:**

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

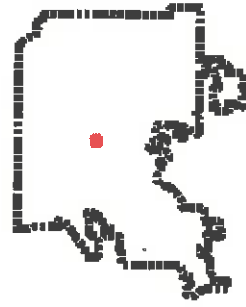
Published In	n/a
Date(s) Published	n/a
Letter sent to surrounding property owners	n/a

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Development & Planning		
Date Reviewed	September 11, 2014		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

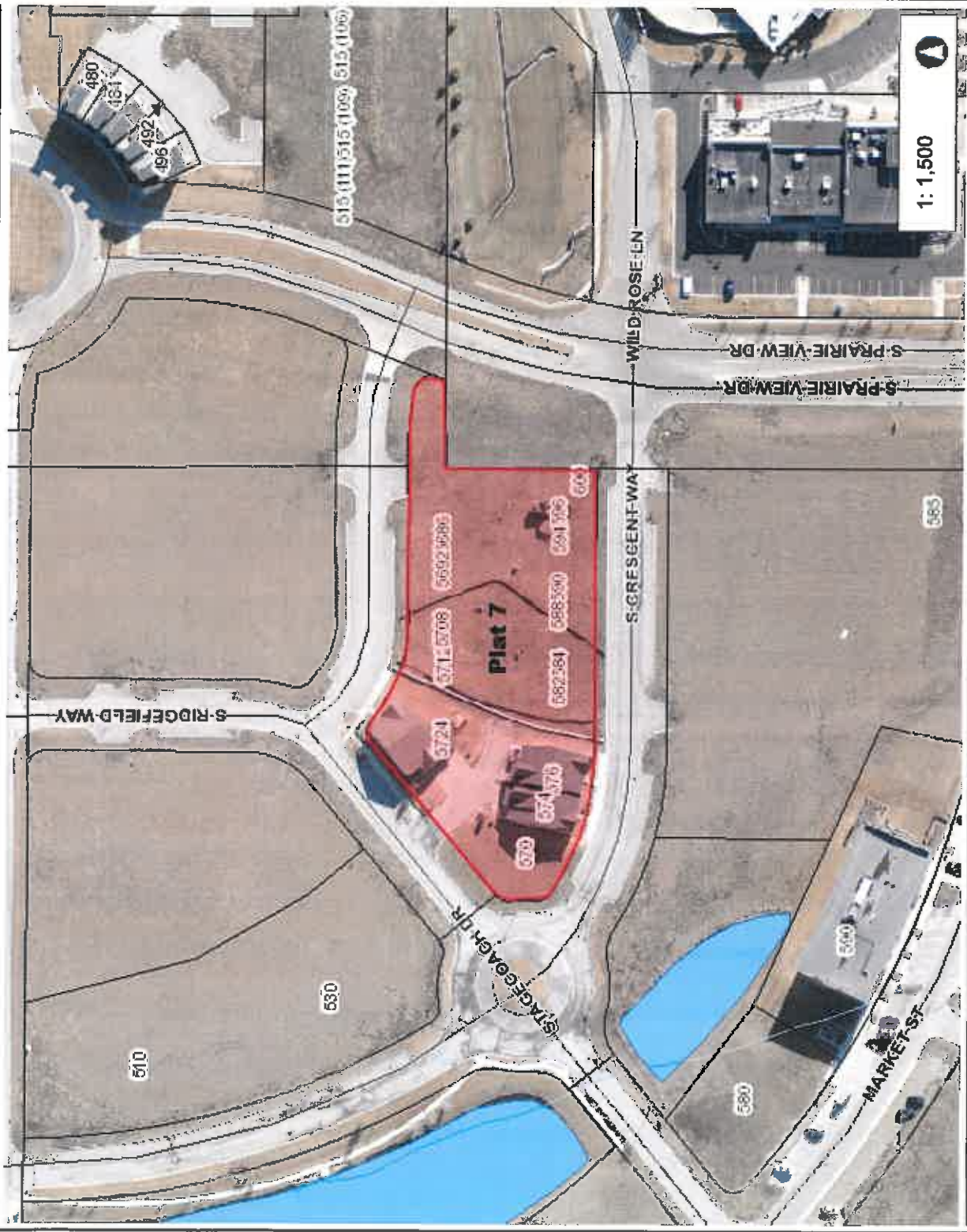
**ATTACHMENTS:**

- Exhibit I - Location Map
- Exhibit II - Final Plat
- Exhibit III - Resolution: Approval and Release of Final Plat
- Exhibit A - Conditions of Approval



Legend  
□ Parcels

# Village of Ponderosa Plat 7



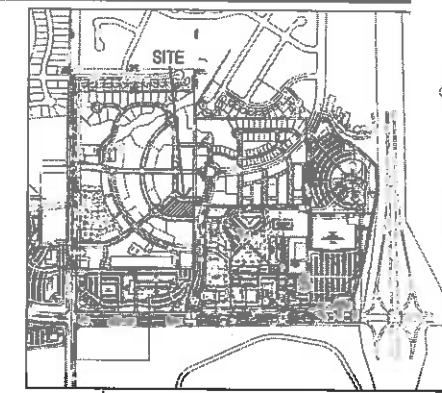
1: 1,500



Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

# VILLAGE OF PONDEROSA PLAT 7 FINAL PLAT

EXHIBIT II



**PROPERTY DESCRIPTION:**  
ALL OF LOT 40, THE VILLAGE OF PONDEROSA, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA CONTAINING APPROXIMATELY 1.35 ACRES. SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY ALL EASEMENTS OF RECORD.

**APPLICANT:**  
EAST TOWNE LLC  
ATTN: JIM BERGMAN  
20 SANDSTONE COURT  
LA CLAIR, IA 52783  
MOBILE: 563-505-9511

**EXISTING COMPREHENSIVE PLAN:** MD  
MEDIUM DENSITY RESIDENTIAL

**PROPOSED COMPREHENSIVE PLAN:** MD  
MEDIUM DENSITY RESIDENTIAL

**EXISTING ZONING:** PUD-MD  
PLANNED UNIT DEVELOPMENT

**PROPOSED ZONING:** PUD-MD  
PLANNED UNIT DEVELOPMENT

**BENCHMARK:**  
WDM BM #118 - ALUMINUM DISC AT THE NORTHEAST CORNER OF 80TH STREET & MILLS CIVIC PARKWAY, 18.5' SOUTHEAST OF SIGNAL POLE, 1.5' SOUTHEAST OF FACE OF WALK, 31' WEST OF FIRE HYDRANT.  
ELEVATION = 291.57

WDM BM #10 - ALUMINUM DISC AT THE INTERSECTION OF 80TH AND BEECH TREE DRIVE, 31' WEST OF THE CENTERLINE OF 80TH STREET.  
ELEVATION = 179.89

**PREPARED BY:**  
BISHOP ENGINEERING  
ATTN: LARRY HYLER  
3501 104TH STREET  
URBANDALE, IA 50322  
PH: (515) 278-0487

**OWNERS:**  
5724 STAGECOACH DR:  
ANTONIO W RIVAS  
5724 STAGECOACH DR  
WEST DES MOINES, IA 50266  
574 S CRESCENT WAY:  
HOT RUSH PROPERTIES LLC  
3100 101ST ST STE C  
URBANDALE, IA 50322  
576 S CRESCENT WAY:  
ALAN J ANDERSON  
576 S CRESCENT WAY  
WEST DES MOINES, IA 50266

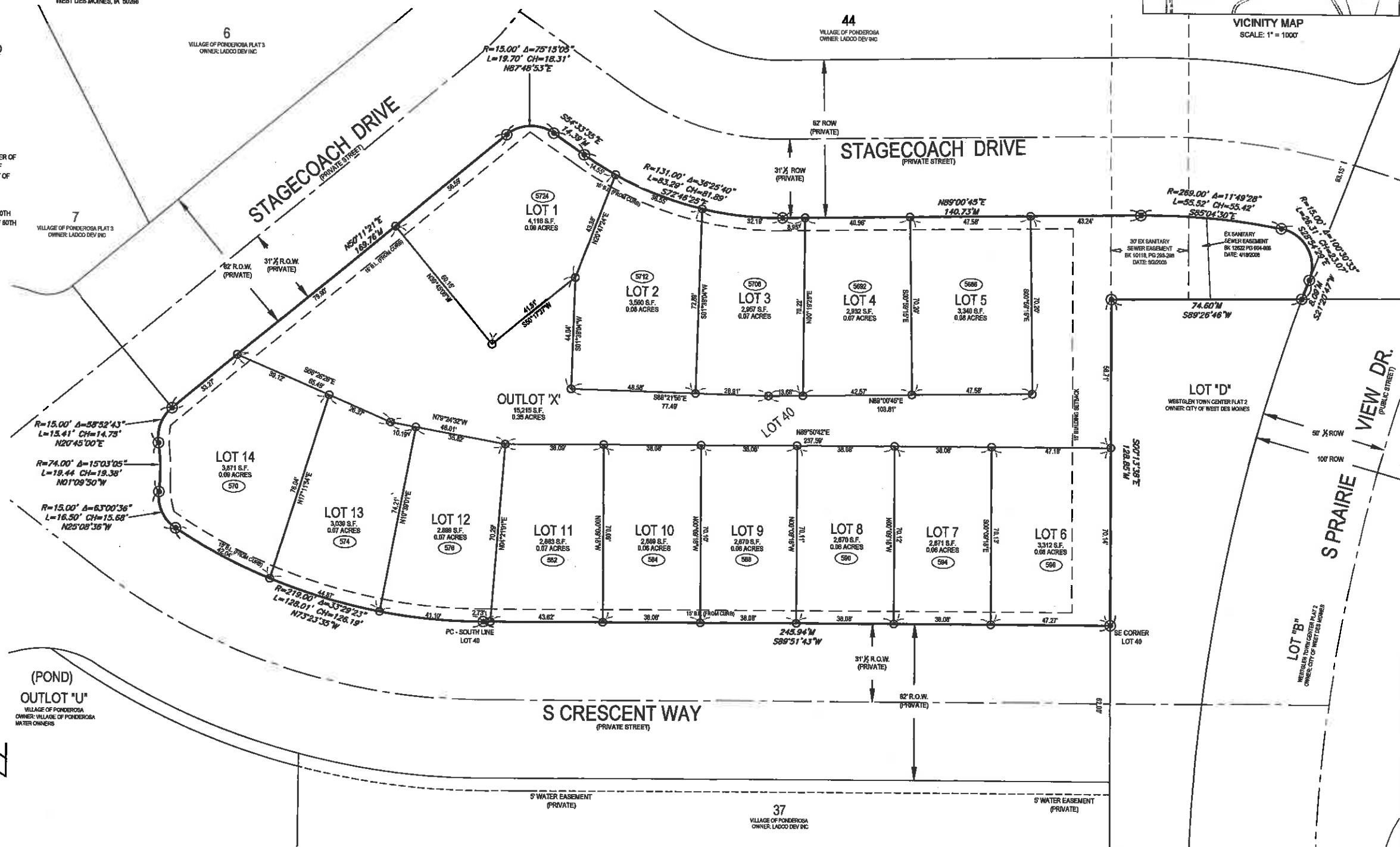
5896, 5892, 5708, 5712 STAGECOACH DR & 5716, 5892, 5894, 5896, 5898, 5894, 5896 S CRESCENT WAY:  
EAST TOWNE LLC  
ATTN: JIM BERGMAN  
20 SANDSTONE COURT  
LA CLAIR, IA 52783

**OUTLOT 'X':**  
PROPOSED OWNERSHIP WILL BE THE WESTBROOK RANCH TOWNHOME ASSOCIATION INC

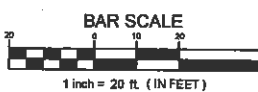
**SANITARY SEWER EASEMENTS:**  
ALL PRIVATE STREET RIGHT-OF-WAYS ARE ALSO EXISTING PUBLIC SANITARY SEWER EASEMENTS.

**PROPOSED SETBACKS:**  
FRONT YARD: 15' FROM CURB  
REAR YARD: NONE REQUIRED  
SIDEYARD: NONE REQUIRED

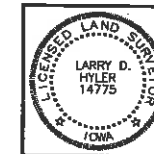
**NOTES:**  
THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1.0 FEET IN 10,000.0 FEET. EACH LOT WITHIN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1.0 FEET IN 5,000.0 FEET. ALL CORNERS HAVE BEEN PLACED WITH A 3/4" IRON PIPE UNLESS OTHERWISE NOTED. ALL CORNERS PLACED HAVE A YELLOW PLASTIC IDENTIFICATION CAP NO. 14775



- SURVEY LEGEND:**
- SECTION CORNER - FOUND AS NOTED
  - PROPERTY CORNER - FOUND AS NOTED
  - PLAT CORNER - FOUND IRON PIPE W/ YELLOW PLASTIC CAP ID #14775
  - PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
  - M MEASURED DISTANCE
  - P PLATTED DISTANCE
  - D DEEDED DISTANCE
  - P.R.A. PREVIOUSLY RECORDED AS
  - R.O.W. RIGHT-OF-WAY
  - P.O.C. POINT OF COMMENCEMENT
  - P.O.B. POINT OF BEGINNING
  - P.U.E. PUBLIC UTILITY EASEMENT
  - S.F. SQUARE FEET
  - INDICATES STREET ADDRESS



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I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.  
SIGNED: *Larry D. Hyler* DATE: 3-04-2015  
LARRY D. HYLER, L.S. 14775  
LICENSE RENEWAL DATE: DEC. 31, 2016  
PAGES OR SHEETS COVERED BY THIS SEAL: THIS PAGE ONLY

VILLAGE OF PONDEROSA PLAT 7  
WEST DES MOINES, IA  
FINAL PLAT

REFERENCE NUMBER:  
DS400-14  
DS0115  
DS0516  
DRAWN BY:  
JMR  
CHECKED BY:  
LDH  
REVISION DATE:  
10/9/14 1ST CITY SUBMITTAL  
3/4/15 FINAL

PROJECT NUMBER:  
120273  
SHEET NUMBER:  
1 OF 1

**Bishop Engineering**  
"Planning Your Successful Development"  
3501 104th Street  
Des Moines, Iowa 50322-3825  
Phone: (515) 276-0487 Fax: (515) 276-0717  
Civil Engineering & Land Surveying  
Established 1959

Prepared by: B. Portz, City of West Des Moines Development Services, P.O. Box 65320, West Des Moines, IA 50265-0320, 515-222-3620  
When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

### RESOLUTION

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING AND RELEASING THE FINAL PLAT, VILLAGE OF PONDEROSA PLAT 7 (FP-002499-2014) FOR THE PURPOSE OF CREATING FOURTEEN (14) LOTS FOR RESIDENTIAL DEVELOPMENT AND ONE (1) OUTLOT**

WHEREAS, pursuant to the provisions of Title 10, Subdivision Regulations and Title 9, Zoning Chapter 1 et seq, of the West Des Moines Municipal Code, East Towne, LLC, has requested approval for a Final Plat (FP-002499-2014) for that approximately 1.35 acre site located at the northeast corner of Stagecoach Drive and S Crescent Way within the Village of Ponderosa development and legally described below for the purpose of subdividing the property into 14 lots for residential development and 1 outlot

#### Legal Description

ALL OF LOT 40, THE VILLAGE OF PONDEROSA, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA. SAID PARCEL CONTAINING APPROXIMATELY 1.68 ACRES. SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS OF RECORD

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, the West Des Moines Plan and Zoning Commission has reviewed the Preliminary Plat for Village of Ponderosa Plat 7 and recommended approval on November 24, 2014, and;

**WHEREAS**, the Final Plat that was submitted for review was determined to be generally consistent with the Preliminary Plat for Village of Ponderosa Plat 7 that was reviewed and approved by the City Council on December 1, 2014, and;

**WHEREAS**, on May 4, 2015, this City Council held a duly-noticed meeting to consider the application for Final Plat (FP-002499-2014) and;

**WHEREAS**, the West Des Moines City Council adopted a resolution which approved the Final Plat for Village of Ponderosa Plat 7 at their meeting on May 4, 2015, subject to any conditions of approval, and;

**WHEREAS**, the City Council approves of the following address assignments;

Lot 1 = 5724 Stagecoach Drive

Lot 2 = 5712 Stagecoach Drive

Lot 3 = 5708 Stagecoach Drive  
Lot 4 = 5692 Stagecoach Drive  
Lot 5 = 5686 Stagecoach Drive  
Lot 6 = 596 S. Crescent Way  
Lot 7 = 594 S. Crescent Way  
Lot 8 = 590 S. Crescent Way  
Lot 9 = 588 S. Crescent Way  
Lot 10 = 584 S. Crescent Way  
Lot 11 = 582 S. Crescent Way  
Lot 12 = 576 S. Crescent Way  
Lot 13 = 574 S. Crescent Way  
Lot 14 = 570 S. Crescent Way

**WHEREAS**, Village of Ponderosa Plat 7 is zoned Village of Ponderosa Planned Unit Development (PUD) and meets all requirements of the City's Zoning Code.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

**SECTION 1.** The findings of consistency with the Comprehensive Plan as stated in the staff report, dated May 4, 2015, or as amended orally at the City Council hearing of May 4, 2015, are adopted.

**SECTION 2.** Final Plat, Village of Ponderosa Plat 7 (FP-002499-2014) is approved, subject to compliance with all the conditions in the staff report, dated May 4, 2015, including conditions added at the meeting, if any, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

**SECTION 3.** This resolution does release the Final Plat (FP-002499-2014) for recordation. The City Council of West Des Moines, Iowa directs the City Clerk to release said plat for recordation in accordance with said City Council approval of the final plat on May 4, 2015 and Roll Call No. \_\_\_\_\_.

### C E R T I F I C A T E

I, Ryan T. Jacobson, City Clerk for said City, hereby certify that at a meeting of the City Council of said City of West Des Moines, held on May 4, 2015, among other proceedings, Roll Call No. \_\_\_\_\_ approved said plat on May 4, 2015, and released said Final Plat for recordation.

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk

**IN WITNESS WHEREOF**, I have hereunto set my hand this \_\_\_\_ day of May, 2015.

\_\_\_\_\_  
Steven K Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk

**EXHIBIT A:  
CONDITIONS OF APPROVAL**

1. No conditions of approval.

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**Date: May 4, 2015**

**ITEM:** Village of Ponderosa Plat 8, Homes by DePhillips et al – 419, 423, 437, 439, 441, 443, & 445 S. Crescent Way – Replat Lot 21, Village of Ponderosa Plat 1 into seven (7) single-family detached lots and one (1) private driveway lot (FP-002635-2015)

**RESOLUTION: Approval and Release of Final Plat**

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** Joel Jackson, Bishop Engineering, on behalf of the applicant, Michael DePhillips, Homes by DePhillips et al, is requesting approval of a Final Plat for that approximately 1.68 acre parcel located at the northwest corner of S Crescent Way and S Ridgefield Way within the Village of Ponderosa development. The applicant proposes to replat the existing Lot 21, Village of Ponderosa Plat 1, into 7 single-family detached residential lots and 1 private driveway lot. There are 5 existing single family detached townhomes that will be placed on their own lots with two lots for the new construction of two typical detached single family homes. The subject property was originally intended to be developed with seven large single-family detached townhomes on one common lot. The proposed re-platting has been determined to be consistent with the original Village of Ponderosa intent of providing detached single-family dwellings, only now to be provided on individual lots versus multiple dwellings on one common lot.

**CITY COUNCIL SUBCOMMITTEE:** This item was presented to the Development and Planning City Council Subcommittee on February 26, 2015, as an informational item only. No discussion was had and no disagreement with the proposal was expressed.

**OUTSTANDING ISSUES:** There are no outstanding issues. Staff would note the following items of interest:

- **Approval of Existing Homeowners:** Lot 21 was intended to be developed with detached townhomes and thus a common condominium regime, subservient to the Master Owner's Association was established. The condominium regime documents allow for property to be removed from the regime with the consent of any included property owner and their mortgagee. With the preliminary plat approval of this property the City Council required a Condition of Approval requiring the obtainment of all necessary signatures prior to the associated Final Plat proceeding to the City Council for approval. The applicant has provided formal written consent from each property owner and their mortgagee to be recorded with Polk County. The townhome owners will maintain an agreement for the maintenance of the common drive that provides access to their homes.
- **Lot A:** Lot A, contains the private shared driveway to the existing detached townhomes. It will be designated as a private ingress/egress easement and a public sanitary sewer easement. The detached townhome owners will maintain the necessary agreements for maintenance and repair of the drive.

**COMPREHENSIVE PLAN CONSISTENCY:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**TOWN CENTER OVERLAY DISTRICT CONSISTENCY:** The proposed project has been reviewed for consistency with the proposed Town Center Overlay District Guidelines. Based upon that review, a finding has been made that the proposed project is consistent with the Town Center Overlay District Guidelines in that the plan is consistent with the overall objective and intents of the Town Center Overlay District Guidelines.



**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the City Council approve the Village of Ponderosa Plat 8 Final Plat to establish seven (7) lots for residential development and one (1) private driveway lot, subject to the applicant meeting all City Code requirements and the following:

1. Any new retaining walls constructed within any of the lots included within Village of Ponderosa Plat 8 will need to abide by City Code which requires one foot of setback from the lot line for every one foot of above-grade wall height.

Lead Staff Member: Brian Portz, AICP

**Staff Reviews:**

Department Director	<del>AK</del>
Appropriations/Finance	<del>AK</del>
Legal	<del>AK</del>
Agenda Acceptance	SRJ

**PUBLICATION(S) (if applicable)**

Published In	n/a
Date(s) Published	n/a
Letter sent to surrounding property owners	n/a

**SUBCOMMITTEE REVIEW (if applicable)**

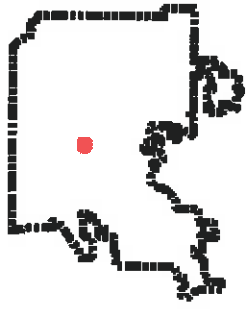
Committee	Development & Planning		
Date Reviewed	February 26, 2015		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Exhibit I - Location Map
- Exhibit II - Final Plat
- Exhibit III - Resolution: Approval and Release of Final Plat
- Exhibit A - Conditions of Approval



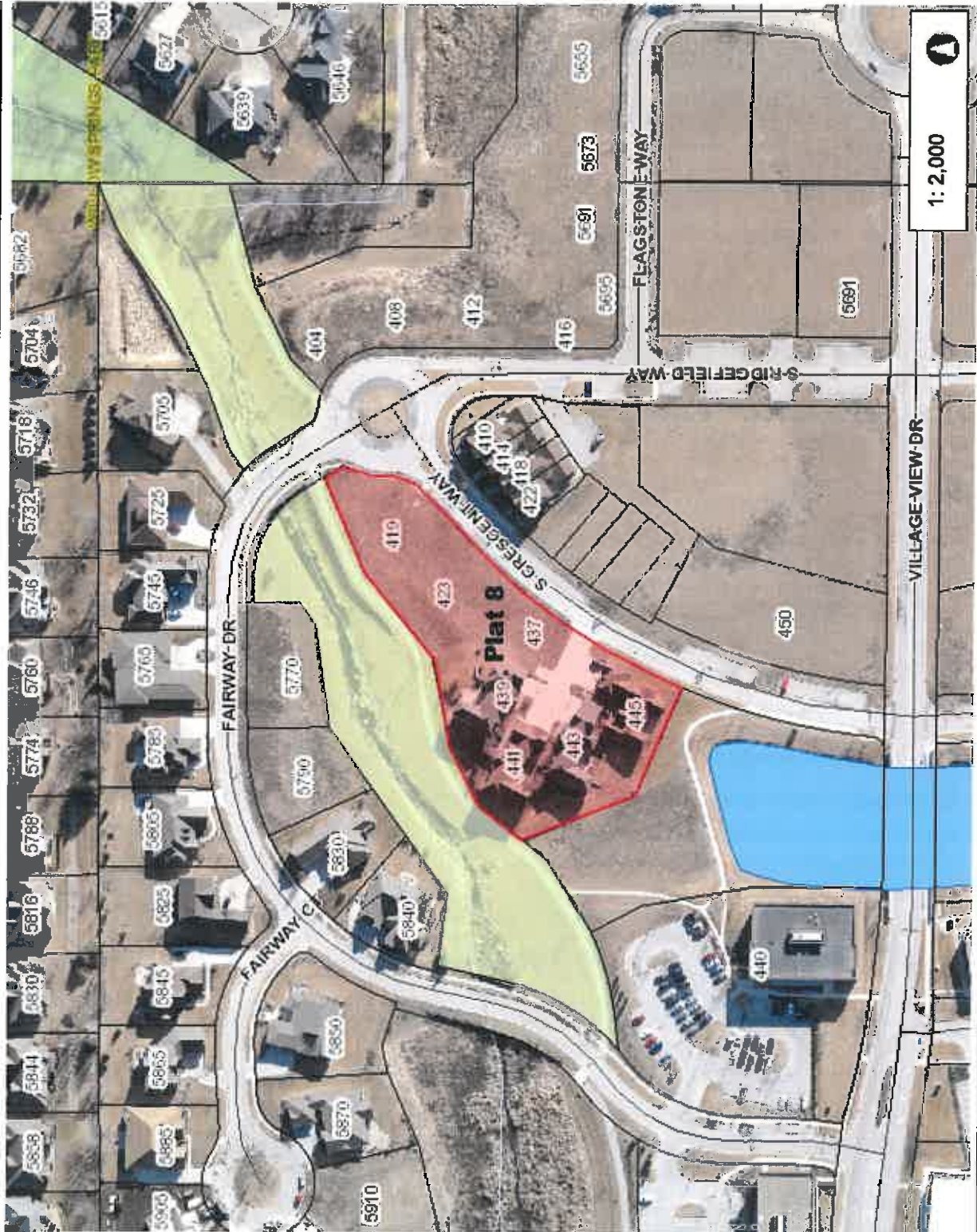
# Village of Ponderosa Plat 8



### Legend

- Parcels
- Parks
- Greenways

## EXHIBIT I



1:2,000



333.3

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

# VILLAGE OF PONDEROSA PLAT 8

## FINAL PLAT

**PROPERTY DESCRIPTION:**  
ALL OF LOT 21, THE VILLAGE OF PONDEROSA, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA CONTAINING APPROXIMATELY 1.88 ACRES.

**OWNERS:**  
410, 423 & 437 S CRESCENT WAY:  
HOMES BY PHILLIPS LLC

439 S CRESCENT WAY:  
BONNY M ELLISON TRUST

441 S CRESCENT WAY:  
JEFFREY & PEGGY CARPENTER

443 S CRESCENT WAY:  
STEVEN & KAREN EDDY

445 S CRESCENT WAY:  
MICHAEL ZUENDEL

**APPLICANT:**  
NEIGHBORHOOD BUILDERS, LLC  
ATTN: JAKE RIED  
6205 MILLS CIRC PKWY  
WEST DES MOINES, IA 50266  
PH: (515) 287-0011 EXT 3

**COMPREHENSIVE PLAN:** SF  
SINGLE FAMILY RESIDENTIAL

**ZONING:** PUD-SF  
PLANNED UNIT DEVELOPMENT

**BENCHMARK:**  
WDM BM #18 - ALUMINUM DISC AT THE NORTHEAST CORNER OF 60TH STREET & MILLS CIRC PARKWAY, 18.5' SOUTHEAST OF SIGNAL POLE, 1.9' SOUTHEAST OF FACE OF WALK, 31' WEST OF FIRE HYDRANT.  
ELEVATION = 201.57

WDM BM #10 - ALUMINUM DISC AT THE INTERSECTION OF 60TH AND BEECH TREE DRIVE, 31' WEST OF THE CENTERLINE OF 60TH STREET.  
ELEVATION = 179.98

**PREPARED BY:**  
BISHOP ENGINEERING  
ATTN: LARRY HYLER  
3501 104TH STREET  
URBANDALE, IA 50222  
PH: (515) 276-0467

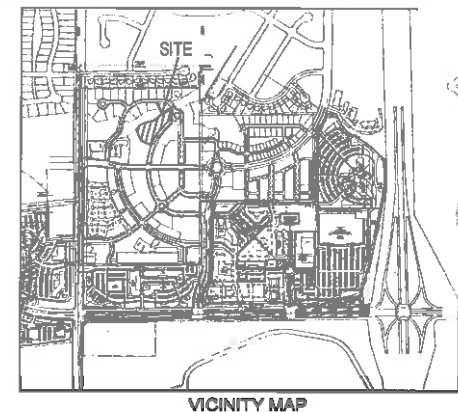
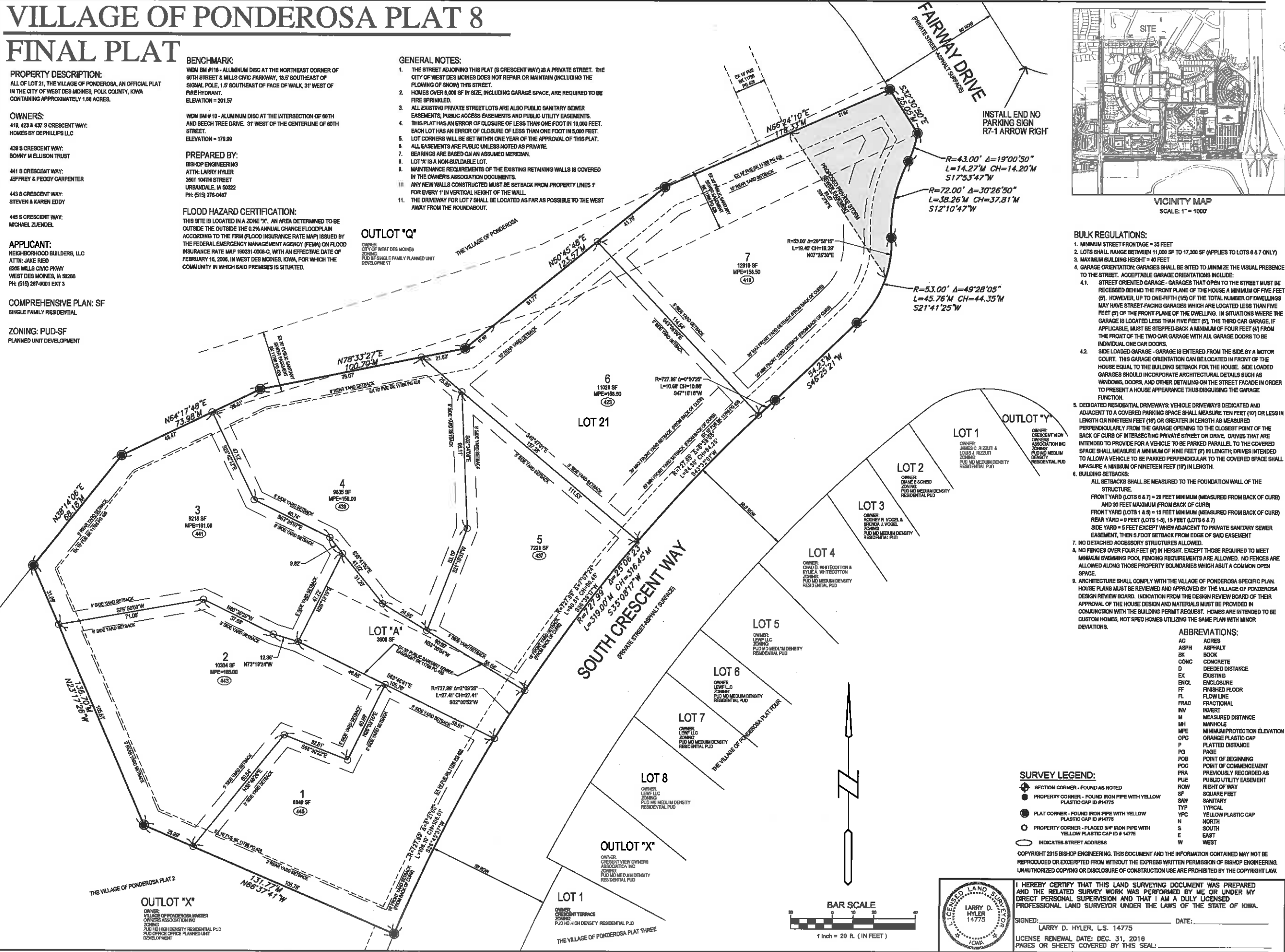
**FLOOD HAZARD CERTIFICATION:**  
THIS SITE IS LOCATED IN A ZONE "X". AN AREA DETERMINED TO BE OUTSIDE THE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP 190231-0008-C, WITH AN EFFECTIVE DATE OF FEBRUARY 16, 2006, IN WEST DES MOINES, IOWA, FOR WHICH THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.

**GENERAL NOTES:**

- THE STREET ADJOINING THIS PLAT (S CRESCENT WAY) IS A PRIVATE STREET. THE CITY OF WEST DES MOINES DOES NOT REPAIR OR MAINTAIN (INCLUDING THE FLOWING OF SNOW) THIS STREET.
- HOMES OVER 8,000 SF IN SIZE, INCLUDING GARAGE SPACE, ARE REQUIRED TO BE FIRE SPRINKLED.
- ALL EXISTING PRIVATE STREET LOTS ARE ALSO PUBLIC SANITARY SEWER EASEMENTS, PUBLIC ACCESS EASEMENTS AND PUBLIC UTILITY EASEMENTS. THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN ONE FOOT IN 10,000 FEET. EACH LOT HAS AN ERROR OF CLOSURE OF LESS THAN ONE FOOT IN 5,000 FEET.
- LOT CORNERS WILL BE SET WITHIN ONE YEAR OF THE APPROVAL OF THIS PLAT.
- ALL EASEMENTS ARE PUBLIC UNLESS NOTED AS PRIVATE.
- BEARINGS ARE BASED ON AN ASSUMED MERIDIAN.
- LOT 'X' IS A NON-BUILDABLE LOT.
- MAINTENANCE REQUIREMENTS OF THE EXISTING RETAINING WALLS IS COVERED IN THE OWNERS ASSOCIATION DOCUMENTS.
- ANY NEW WALLS CONSTRUCTED MUST BE SETBACK FROM PROPERTY LINES 1' FOR EVERY 1' IN VERTICAL HEIGHT OF THE WALL.
- THE DRIVEWAY FOR LOT 7 SHALL BE LOCATED AS FAR AS POSSIBLE TO THE WEST AWAY FROM THE ROUNDABOUT.

**OUTLOT 'Q'**

OWNER: CITY OF WEST DES MOINES  
ZONING: PUD SF SINGLE FAMILY PLANNED UNIT DEVELOPMENT



**BULK REGULATIONS:**

- MINIMUM STREET FRONTAGE = 35 FEET
- LOTS SHALL RANGE BETWEEN 11,000 SF TO 17,300 SF (APPLIES TO LOTS 6 & 7 ONLY)
- MAXIMUM BUILDING HEIGHT = 40 FEET
- GARAGE ORIENTATION: GARAGES SHALL BE SITED TO MINIMIZE THE VISUAL PRESENCE TO THE STREET. ACCEPTABLE GARAGE ORIENTATIONS INCLUDE:
  - STREET ORIENTED GARAGE - GARAGES THAT OPEN TO THE STREET MUST BE RECESSED BEHIND THE FRONT PLANE OF THE HOUSE A MINIMUM OF FIVE FEET (5'). HOWEVER, UP TO ONE-FIFTH (1/5) OF THE TOTAL NUMBER OF DWELLINGS MAY HAVE STREET-FACING GARAGES WHICH ARE LOCATED LESS THAN FIVE FEET (5') OF THE FRONT PLANE OF THE DWELLING. IN SITUATIONS WHERE THE GARAGE IS LOCATED LESS THAN FIVE FEET (5'), THE THIRD CAR GARAGE, IF APPLICABLE, MUST BE STEPPED-BACK A MINIMUM OF FOUR FEET (4') FROM THE FRONT OF THE TWO CAR GARAGE WITH ALL GARAGE DOORS TO BE INDIVIDUAL ONE CAR DOORS.
  - SIDE LOADED GARAGE - GARAGE IS ENTERED FROM THE SIDE BY A MOTOR COURT. THIS GARAGE ORIENTATION CAN BE LOCATED IN FRONT OF THE HOUSE EQUAL TO THE BUILDING SETBACK FOR THE HOUSE. SIDE LOADED GARAGES SHOULD INCORPORATE ARCHITECTURAL DETAILS SUCH AS WINDOWS, DOORS, AND OTHER DETAILING ON THE STREET FACADE IN ORDER TO PRESENT A HOUSE APPEARANCE THAT DISGUISES THE GARAGE FUNCTION.
- DEDICATED RESIDENTIAL DRIVEWAYS: VEHICLE DRIVEWAYS DEDICATED AND ADJACENT TO A COVERED PARKING SPACE SHALL MEASURE TEN FEET (10') OR LESS IN LENGTH OR NINETEEN FEET (19') OR GREATER IN LENGTH AS MEASURED PERPENDICULARLY FROM THE GARAGE OPENING TO THE CLOSEST POINT OF THE BACK OF CURB OF INTERSECTING PRIVATE STREET OR DRIVE. DRIVES THAT ARE INTENDED TO PROVIDE FOR A VEHICLE TO BE PARKED PARALLEL TO THE COVERED SPACE SHALL MEASURE A MINIMUM OF NINE FEET (9') IN LENGTH; DRIVES INTENDED TO ALLOW A VEHICLE TO BE PARKED PERPENDICULAR TO THE COVERED SPACE SHALL MEASURE A MINIMUM OF NINETEEN FEET (19') IN LENGTH.
- BUILDING SETBACKS: ALL SETBACKS SHALL BE MEASURED TO THE FOUNDATION WALL OF THE STRUCTURE. FRONT YARD (LOTS 6 & 7) = 20 FEET MINIMUM (MEASURED FROM BACK OF CURB) AND 30 FEET MAXIMUM (FROM BACK OF CURB) FRONT YARD (LOTS 1 & 5) = 15 FEET MINIMUM (MEASURED FROM BACK OF CURB) REAR YARD = 9 FEET (LOTS 1-5), 15 FEET (LOTS 6 & 7) SIDE YARD = 5 FEET EXCEPT WHEN ADJACENT TO PRIVATE SANITARY SEWER EASEMENT, THEN 5 FOOT SETBACK FROM EDGE OF SAID EASEMENT
- NO DETACHED ACCESSORY STRUCTURES ALLOWED.
- NO FENCES OVER FOUR FEET (4') IN HEIGHT, EXCEPT THOSE REQUIRED TO MEET MINIMUM SWIMMING POOL FENCING REQUIREMENTS ARE ALLOWED. NO FENCES ARE ALLOWED ALONG THOSE PROPERTY BOUNDARIES WHICH ABUT A COMMON OPEN SPACE.
- ARCHITECTURE SHALL COMPLY WITH THE VILLAGE OF PONDEROSA SPECIFIC PLAN. HOUSE PLANS MUST BE REVIEWED AND APPROVED BY THE VILLAGE OF PONDEROSA DESIGN REVIEW BOARD. INDICATION FROM THE DESIGN REVIEW BOARD OF THEIR APPROVAL OF THE HOUSE DESIGN AND MATERIALS MUST BE PROVIDED IN CONJUNCTION WITH THE BUILDING PERMIT REQUEST. HOMES ARE INTENDED TO BE CUSTOM HOMES, NOT SPEC HOMES UTILIZING THE SAME PLAN WITH MINOR DEVIATIONS.

**ABBREVIATIONS:**

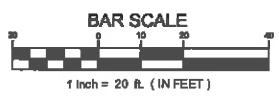
AC	ACRES
ASPH	ASPHALT
BOOK	BOOK
CONC	CONCRETE
D	DEEDED DISTANCE
EX	EXISTING
ENCL	ENCLOSURE
FF	FINISHED FLOOR
FL	FLOW LINE
FRACTIONAL	FRACTIONAL
INVERT	INVERT
M	MEASURED DISTANCE
MH	MANHOLE
MPE	MINIMUM PROTECTION ELEVATION
OPC	ORANGE PLASTIC CAP
PLATTED DISTANCE	PLATTED DISTANCE
PAGE	PAGE
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PRA	PREVIOUSLY RECORDED AS
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
SF	SQUARE FEET
SANITARY	SANITARY
SAW	SAW
TYP	TYPICAL
YPC	YELLOW PLASTIC CAP
N	NORTH
S	SOUTH
E	EAST
W	WEST

- SURVEY LEGEND:**
- SECTION CORNER - FOUND AS NOTED
  - PROPERTY CORNER - FOUND IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
  - PLAT CORNER - FOUND IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
  - PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775
  - INDICATES STREET ADDRESS

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I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: LARRY D. HYLER, L.S. 14775 DATE: \_\_\_\_\_  
LICENSE RENEWAL DATE: DEC. 31, 2016  
PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_



**EXHIBIT II**

**Bishop Engineering**  
"Planning Your Successful Development"

3501 104th Street  
Des Moines, Iowa 50322-3625  
Phone: (515) 276-0467 Fax: (515) 276-0217  
Established 1959  
Civil Engineering & Land Surveying

**VILLAGE OF PONDEROSA PLAT 8**  
**WEST DES MOINES, IOWA**  
**FINAL PLAT**

REFERENCE NUMBER: 040420-13  
060115  
040616

DRAWN BY: JSJR

CHECKED BY: JEJ

REVISION DATE: REV PER CITY 3-31-15

PROJECT NUMBER: 150090

SHEET NUMBER: 1 OF 1

Prepared by: B. Portz, City of West Des Moines Development Services, P.O. Box 65320, West Des Moines, IA 50265-0320, 515-222-3620  
When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

### RESOLUTION

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING AND RELEASING THE FINAL PLAT VILLAGE OF PONDEROSA PLAT 8 (FP-002635-2015) FOR THE PURPOSE OF CREATING SEVEN (7) LOTS FOR RESIDENTIAL DEVELOPMENT AND ONE (1) PRIVATE DRIVEWAY LOT**

WHEREAS, pursuant to the provisions of Title 10, Subdivision Regulations and Title 9, Zoning Chapter 1 et seq, of the West Des Moines Municipal Code, Homes By DePhillips, et al, has requested approval for a Final Plat (FP-002635-2015) for that approximately 1.68 acre site located at the northwest corner of S Crescent Way and S Ridgefield Way within the Village of Ponderosa development and legally described below for the purpose of subdividing the property into 7 lots for residential development and 1 private driveway lot

#### Legal Description

**ALL OF LOT 21, THE VILLAGE OF PONDEROSA, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA. SAID PARCEL CONTAINING APPROXIMATELY 1.68 ACRES**

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, the West Des Moines Plan and Zoning Commission has reviewed the Preliminary Plat for Village of Ponderosa Plat 8 and recommended approval on April 13, 2015, and;

WHEREAS, the Final Plat that was submitted for review was determined to be generally consistent with the Preliminary Plat for Village of Ponderosa Plat 8 that was reviewed and approved by the City Council on April 20, 2015, and;

WHEREAS, on May 4, 2015, this City Council held a duly-noticed meeting to consider the application for Final Plat (FP-002635-2015) and;

WHEREAS, the West Des Moines City Council adopted a resolution which approved the Final Plat for Village of Ponderosa Plat 8 at their meeting on May 4, 2015, subject to any conditions of approval, and;

WHEREAS, the City Council approves of the following address assignments;

- Lot 1 = 445 S. Crescent Way
- Lot 2 = 443 S. Crescent Way
- Lot 3 = 441 S. Crescent Way
- Lot 4 = 439 S. Crescent Way
- Lot 5 = 437 S. Crescent Way

Lot 6 = 423 S. Crescent Way  
Lot 7 = 419 S. Crescent Way

**WHEREAS**, Village of Ponderosa Plat 8 is zoned Village of Ponderosa Planned Unit Development (PUD) and meets all requirements of the City's Zoning Code.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

**SECTION 1.** The findings of consistency with the Comprehensive Plan as stated in the staff report, dated May 4, 2015, or as amended orally at the City Council hearing of May 4, 2015, are adopted.

**SECTION 2.** Final Plat, Village of Ponderosa Plat 8 (FP-002635-2015) is approved, subject to compliance with all the conditions in the staff report, dated May 4, 2015, including conditions added at the meeting, if any, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

**SECTION 3.** This resolution does release the Final Plat (FP-002635-2015) for recordation. The City Council of West Des Moines, Iowa directs the City Clerk to release said plat for recordation in accordance with said City Council approval of the final plat on May 4, 2015 and Roll Call No. \_\_\_\_\_.

**CERTIFICATE**

I, Ryan T. Jacobson, City Clerk for said City, hereby certify that at a meeting of the City Council of said City of West Des Moines, held on May 4, 2015, among other proceedings, Roll Call No. \_\_\_\_\_ approved said plat on May 4, 2015, and released said Final Plat for recordation.

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk

**IN WITNESS WHEREOF**, I have hereunto set my hand this \_\_\_\_ day of May, 2015.

\_\_\_\_\_  
Steven K Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk

**EXHIBIT A:**  
**CONDITIONS OF APPROVAL**

1. Any new retaining walls constructed within any of the lots included within Village of Ponderosa Plat 8 will need to abide by City Code which requires one foot of setback from the lot line for every one foot of above-grade wall height.



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

DATE: May 4, 2015

**ITEM:** Lindsey Farm Plat 1, 1001 Timberbrook Avenue — Subdivide property into nine (9) single family lots - Frank Lindsey – PP-002554-2014

**RESOLUTION: Approval of a Preliminary Plat**

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** Frank Lindsey, represented by Steve Venard, Bishop Engineering, is requesting approval of a Preliminary Plat for approximately 29.12 acres generally located at 1001 Timberbrook Avenue in rural Madison County. The applicant has master planned and submitted a preliminary plat for the subdivision of the property into nine lots for single family development (see Exhibit I, Attachment B – Location Map and Attachment C – Preliminary Plat). The forthcoming final plat is anticipated to plat three large lots; by master planning and preliminary platting for nine lots, the property owner has planned for potential further subdivision of the property at a later date.

**Plan and Zoning Commission Action:**

Vote: 7-0 approval

Date: April 27, 2015

Motion: Adopt a resolution recommending the City Council approve the Preliminary Plat

**OUTSTANDING ISSUES:** There are no outstanding issues. The applicant is in agreement with the recommended conditions of approval.

The following items of interest are noted in the attached Plan and Zoning Commission report (see Exhibit I):

- Applicant's Request
- History
- City Council Subcommittee – Development and Planning (*November 14, 2014 and March 26, 2015*)
  - Sanitary Sewer Fee District Fee
  - Dry Sewers/Sewer Easements
  - Right-of-Way
  - Master Planning Street and Sewer
  - Streetlights and Sidewalks
- Staff Review and Comments
- Comprehensive Plan Consistency
- Findings
- Staff Recommendation and Conditions of Approval
- Owner/Applicant/Applicant Representative Information

**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, the Plan and Zoning Commission recommends the City Council adopt a resolution to approve the Preliminary Plat subdivide the property nine (9) lots for single family detached homes, subject to the applicant meeting all City Code requirements and the following:

1. That a note be formulated by the property owner or representative of the property with regard to potential future assessments for public infrastructure improvements and placed on the preliminary and final plats, after City review of said note.
2. The applicant providing final drawings of the preliminary plat which addresses staff comments prior to the final plat proceeding to the City Council for approval.
3. That the City Council waive the requirement for an agreement and waiver for public improvements including but not limited to the reconstruction of Timberbrook Avenue, the installation of public sidewalks, and the installation of street lights along public streets adjacent to this development.

4. That the west roadway be allowed which exceeds the City's maximum dead end length until such time that the roadway can be extended to connect to a secondary roadway as shown on the City's Ultimate Streets Plan. In the interim, access roads should be 20 feet in width, constructed and surfaced with materials that will withstand 75,000 pounds of gross vehicle weight, and maintain a vertical clearance of 14 feet.
5. That the City Council waive the requirement for the installation of dry sewers.

Lead Staff Member: Kara Tragesser, AICP

**STAFF REVIEWS**

Department Director	[Signature]
Appropriations/Finance	
Legal	JBW RTG
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

Published In	N/A
Date(s) Published	
Letter sent to surrounding property owners	

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Development & Planning Subcommittee		
Date Reviewed	11/14/2013 and 3/26/2015		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Exhibit I - Plan and Zoning Commission Communication
  - Attachment A - Plan and Zoning Commission Resolution
  - Attachment B - Location Map
  - Attachment C - Preliminary Plat
- Exhibit II - City Council Resolution



**CITY OF WEST DES MOINES  
PLAN AND ZONING COMMISSION COMMUNICATION**

**Meeting Date:** April 27, 2015

**Item:** Lindsey Farm Plat 1, 1001 Timberbrook Avenue — Subdivide property into nine (9) single family lots - Frank Lindsey – PP-002554-2014

**Requested Action:** Approval of Preliminary Plat

**Case Advisor:** Kara Tragesser, AICP *Kara*

**Applicant's Request:** Frank Lindsey, represented by Steve Venard, Bishop Engineering, is requesting approval of a Preliminary Plat for approximately 29.12 acres generally located at 1001 Timberbrook Avenue in rural Madison County. The applicant has master planned and submitted a preliminary plat for the subdivision of the property into nine lots for single family development (see Attachment B – Location Map and Attachment C – Preliminary Plat). The forthcoming final plat is anticipated to plat three large lots; by master planning and preliminary platting for nine lots, the property owner has planned for potential further subdivision of the property at a later date.

**History:** This property has one house constructed on it, the property owner's home. The property is outside of the West Des Moines Corporate Limit, but within 2 miles of the corporate limit which the City has State-authorized review of subdivisions. Since it is outside of the corporate limits there is no West Des Moines zoning designated for the property. The property is included in the City's Comprehensive Plan Planning Area for long-range planning purposes. The Comprehensive Plan Land Use Map indicates a land use designation of Single Family Residential. A compatible zoning district to the Comprehensive Plan and the area itself is Residential Estate - Single Family, which is the zoning district standards under which the proposed subdivision was reviewed.

**City Council Subcommittee:** This item was presented to the Development and Planning City Council Subcommittee on November 14, 2013, and at their meeting on March 26, 2015. At the November 2013 meeting, Staff presented the Subcommittee with a number of subdivision requirements that are considered with all subdivisions, including subdivisions outside of current corporate limits (under the idea that the subdivision will be within the corporate limits in the future) and discussion ensued between the Lindseys, the Subcommittee, and Staff.

- **Sanitary Sewer Fee District Fee:** The City has established a sanitary sewer fee district which includes the Lindsey property. If the property was within the city corporate limits, the property would be charge the district fees in conjunction with platting. Staff recommended that the fee not be charged at this time, but to provide notice of the fee to current and future property owners that when the property is incorporated into the City, that the fees will be due regardless of whether the property is connected to public sanitary sewer. The Subcommittee and the Lindsey's concurred.
- **Dry Sewers/Sewer Easements:** It is unclear at this time where trunk and collector sewers would be located, therefore installing dry sewers or providing easement documents at this time is impractical. Staff recommended that an agreement between the City and the property owner be put in place that at the time public sewer is installed, that the property owner will provide the city with easements for the sewer at no cost. The property owner expressed a position that if the City wants easements now or in the future, they expect to be compensated for the easement. The Subcommittee recommended that the easements be shown on the plat but no easement documents will be required, nor dry sewer be installed at this time.
- **Right-of-way:** Typically, with a subdivision, the City requires the dedication of comprehensive plan right-of-way in conjunction with platting. The functional classification of Timberbrook Avenue is a minor collector, therefore requiring 70 feet of total right-of-way, or 35 feet (1/2 of the total) adjacent to the subject property. Staff recommended that the right-of-way be dedicated by the property owner. The property owner took the position that if the City wants to acquire right-of-way now or in the future, they expect to be compensated for that right-of-way. The Subcommittee did not recommend that the right-of-way be dedicated at the time of platting.

Staff also noted that property owners are typically required to improve the existing unimproved roads and/or construct any planned roads adjacent to the property being developed. To meet this requirement; the property

owner generally is required to either construct the road, provide surety for construction of the road, or to provide an agreement and waiver for future assessment of the road improvements. Staff recommended the property owner provide an agreement and waiver for the future construction of Timberbrook Avenue, since the location and timeframe for the road construction is unknown. The property owner indicated that they did not want to provide an agreement and waiver for future assessments. The Subcommittee was in agreement not to require the agreement and waiver for the roadway, but to instead provide notice to future property owners that public roadways adjacent to the property may be subject to assessment for the construction the roadway. The property owner was in general agreement with the proposal to place on the plat a notice of future assessment.

- **Master Planning Street and Sewer:** The City typically requires a master plan of the subdivision and area immediately adjacent to it to verify the locations of structures, drive, and streets do not interfere with future infrastructure or preclude the development of adjacent properties. Staff recommended that the property owner prepare a master plan for the plat and the area around the plat. The Subcommittee and the property owner concurred and the applicant has provided such a plan.
- **Streetlights and Sidewalks:** The City typically requires sidewalks and streetlights be installed on public streets adjacent to the area being platted. Staff recommended the property owner enter into an agreement with the City that streetlights be installed at the time the streets adjacent to the property are constructed. Staff also recommended that the required sidewalk be included in the agreement and waiver. The property owner indicated disagreement with these requirements. The Subcommittee did not recommend an agreement for the installation.

Overall, the Subcommittee was supportive of the property owner's engineer preparing a preliminary plat illustrating the easements and right-of-way locations. They also were supportive of recommending not requiring an agreement and waiver for the reconstruction of Timberbrook Avenue and the installation of sidewalks. The Subcommittee also agreed that language with regard to notifying future property owners that they could be assessed in the future for any public improvements be placed upon the plat after the City's review of the language.

At the March 26, 2015, Development and Planning Subcommittee, staff reviewed the preliminary plat with the Council member Mickelson. Staff noted elements of the proposed preliminary plat that did not meet City codes, regulations and standards such as dead end length and accessing some of the proposed lots through adjacent private property. Staff also noted that there would be no fire protection with no public water in the area and gravel accesses to the properties that are not set up for heavy vehicles or for rural firefighting. Staff noted that the proposed development did not meet the International Fire Code standards which the City has adopted.

Council member Mickelson was supportive of continuing to work with the project engineer to master plan the area and illustrate easements. Staff subsequently met with the applicant and explained the benefit for determining how the property could be developed in accordance with City Codes and identifying easement and access locations. Staff noted that given the potential number of homes that could be constructed, in the future the roadway along the west would need to be constructed to public street standards which would provide appropriate roadways for emergency response vehicles. Additionally, staff noted that the roadway should be planned to continue with development of adjacent properties with the intent to make a connection to future roadways, thus eliminating dead-end length and secondary access concerns.

**Staff Review and Comment:** This request was distributed to other City departments and other agencies for their review and comment. Staff has the following notes:

- The property owner has provided a master plan for streets and sewers.
- The lots shown on the western portion of the property derive access to a public street through another private subdivision and roadway. The access is not paved. Generally, the city requires paved public street access; the Subcommittee expressed no concern with these accesses not being paved and did not recommend an agreement and waiver for the future improvement of these accesses be put in place.
- The western access also greatly exceeds the City's maximum dead end length of 1,000 feet. The City's Subdivision Regulations provides for a dead end street length of 750 feet. The Fire Code also provides for a dead end length of 750 feet with an option to exceed that length by another 250 feet if the houses past 750 feet have fire sprinklers installed, regardless of home square footage. The City's Ultimate Street plan indicates a public street extending from the proposed road along the west boundary of the plat to another street northwest of the subject property as well as an east/west street along the south boundary of the plat to be constructed in the future as needed. The Fire Marshal has expressed concerns with the length of the proposed west road, limited access points, and suitability of the road to handle fire trucks. The Fire Marshal indicated that he understood the

applicant's desire to construct three homes (one or two possibly off the west road) and was in agreement with allowing their homes, but cautioned that allowing construction of multiple homes would cause great concerns. Staff recommends that the construction of the future roads shown on the plat be deferred until such time that multiple homes are anticipated to be constructed and requiring that when possible the west road be extended to connect to a secondary roadway eliminating the dead end length issue.

- The applicant has provided copies of the private access easements. Staff requested copies of these easements to demonstrate that all lots have legal access to a public street through private property until the master planned public roadways can be constructed.

**Comprehensive Plan Consistency:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**Findings:** This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan or has been conditioned to be consistent with the goals and policies of the Comprehensive Plan. The property was reviewed under extraterritorial review and is located in an area where the surrounding properties are not developed or developed under rural subdivision requirements. In some instances, the applicability of the all the goals and policies is not reasonable given the rural nature of the area and the lack of urban public infrastructure nearby to which the proposed project can be connected.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance. The proposed development is located outside of the City's corporate limits and therefore West Des Moines zoning has not been applied to the property. The Comprehensive Plan identifies Single Family Residential land use as the land use designation on the property, given the characteristic of the area and the nature of the intended development, the property was reviewed under and meets the zoning requirements for the City's Residential Estate zoning district.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. The project has been adequately conditioned given the characteristic of typical rural subdivisions and limitations due to the lack of urban public infrastructure nearby the project area.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities. This project has been conditioned to construct adequate public infrastructure to serve the development in the future when off-site public infrastructure has been constructed to the boundaries of the proposed development. A master plan of internal streets and sanitary sewer infrastructure has been provided by the property owner which appears to adequately support the proposed development in the future.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with, has been conditioned to comply with, or the City Council has deferred or waived City Code requirements. The property was reviewed under extraterritorial review and is located in an area where the surrounding properties are not developed or developed under rural subdivision requirements. In some instances, the applicability of some of the code requirements is not reasonable given the rural nature of the area and the lack of urban public infrastructure nearby to which the proposed project can be connected.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the City zoning designation derived from the Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

**Staff Recommendation And Conditions Of Approval:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Preliminary Plat to create nine (9) lots for single family development, subject to the following conditions:

1. That a note be formulated by the property owner or representative of the property with regard to potential future assessments for public infrastructure improvements and placed on the preliminary and final plats, after City review of said note.
2. The applicant providing final drawings of the preliminary plat which addresses staff comments prior to the final plat proceeding to the City Council for approval.
3. That the City Council waive the requirement for an agreement and waiver for public improvements including but not limited to the reconstruction of Timberbrook Avenue, the installation of public sidewalks, and the installation of street lights along public streets adjacent to this development.
4. That the west roadway be allowed which exceeds the City's maximum dead end length until such time that the roadway can be extended to connect to a secondary roadway as shown on the City's Ultimate Streets Plan. In the interim, access roads should be 20 feet in width, constructed and surfaced with materials that will withstand 75,000 pounds of gross vehicle weight, and maintain a vertical clearance of 14 feet.
5. That the City Council waive the requirement for the installation of dry sewers.

**Owner/Applicant:** Frank Lindsey  
3700 SE Beisser Drive  
Grimes IA 50111  
515-986-5566  
Fjames@monarchfoundations.com

**Applicant Rep:** Steven Venard  
Bishop Engineering  
3501 104<sup>th</sup> Street  
Urbandale IA 50322  
515-276-0467  
svenard@bishopengr.com

**ATTACHMENTS:**

Attachment A	±	Plan and Zoning Commission Resolution
Attachment B	±	Location Map
Attachment C	±	Preliminary Plat

RESOLUTION NO. PZC-15-025

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A PRELIMINARY PLAT TO SUBDIVIDE PROPERTY INTO NINE (9) LOTS FOR SINGLE FAMILY DEVELOPMENT**

WHEREAS, pursuant to the provisions of Title 10, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Frank Lindsey, has requested approval for a Preliminary Plat (PP-002554-2014) to create nine (9) lots for single family development at 1001 Timberbrook Avenue;

WHEREAS, studies and investigations were made and staff reports and recommendations were submitted which are made a part of this record and herein incorporated by reference;

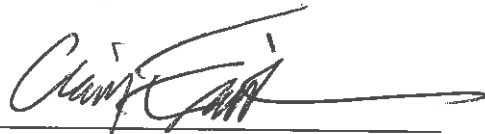
WHEREAS, on April 27, 2015, this Commission held a duly-noticed public meeting to consider the application for a Preliminary Plat;

**NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

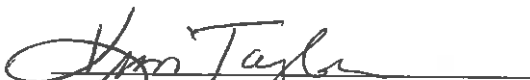
SECTION 1. The findings, for approval, in the staff report or as amended orally at the Plan and Zoning Commission meeting are adopted.

SECTION 2. The Preliminary Plat to subdivide the property into nine (9) single family lots is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report including conditions added at the meeting, and attached hereto as Exhibit "A." Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on April 27, 2015.

  
Craig Erickson, Chair  
Plan and Zoning Commission

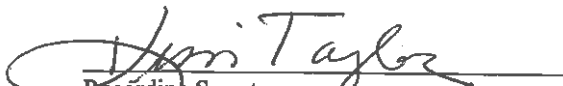
ATTEST:

  
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on April 27, 2015, by the following vote:

AYES: Andersen, Brown, Costa, Crowley, Erickson, Hatfield, Southworth  
NAYS: -0-  
ABSTENTIONS: -0-  
ABSENT: -0-

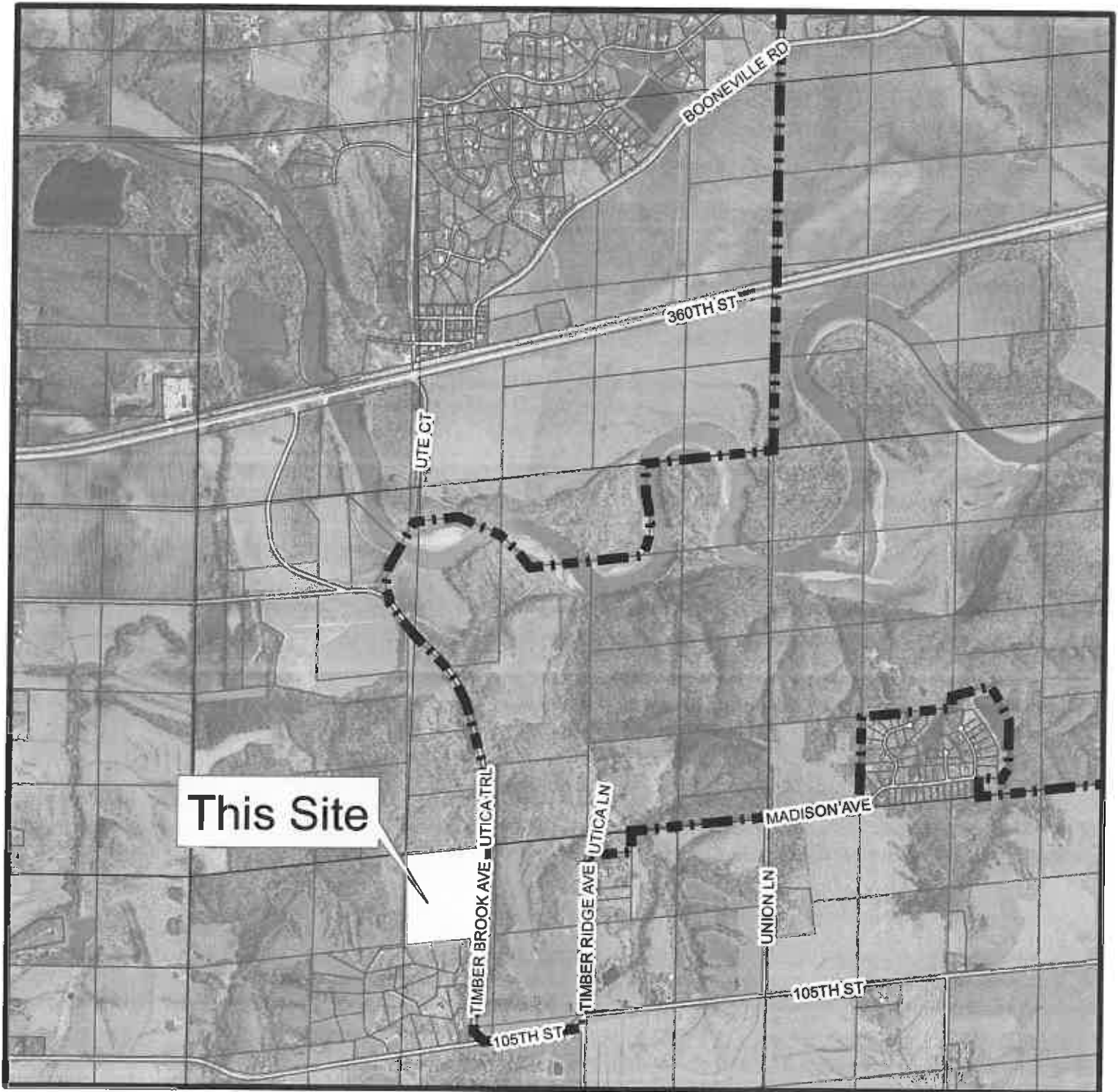
ATTEST:

  
Recording Secretary

**Exhibit A**  
**CONDITIONS OF APPROVAL**

1. That a note be formulated by the property owner or representative of the property with regard to potential future assessments for public infrastructure improvements and placed on the preliminary and final plats, after City review of said note.
2. The applicant providing final drawings of the preliminary plat which addresses staff comments prior to the final plat proceeding to the City Council for approval.
3. That the City Council waive the requirement for an agreement and waiver for public improvements including but not limited to the reconstruction of Timberbrook Avenue, the installation of public sidewalks, and the installation of street lights along public streets adjacent to this development.
4. That the west roadway be allowed which exceeds the City's maximum dead end length until such time that the roadway can be extended to connect to a secondary roadway as shown on the City's Ultimate Streets Plan. In the interim, access roads should be 20 feet in width, constructed and surfaced with materials that will withstand 75,000 pounds of gross vehicle weight, and maintain a vertical clearance of 14 feet.
5. That the City Council waive the requirement for the installation of dry sewers.

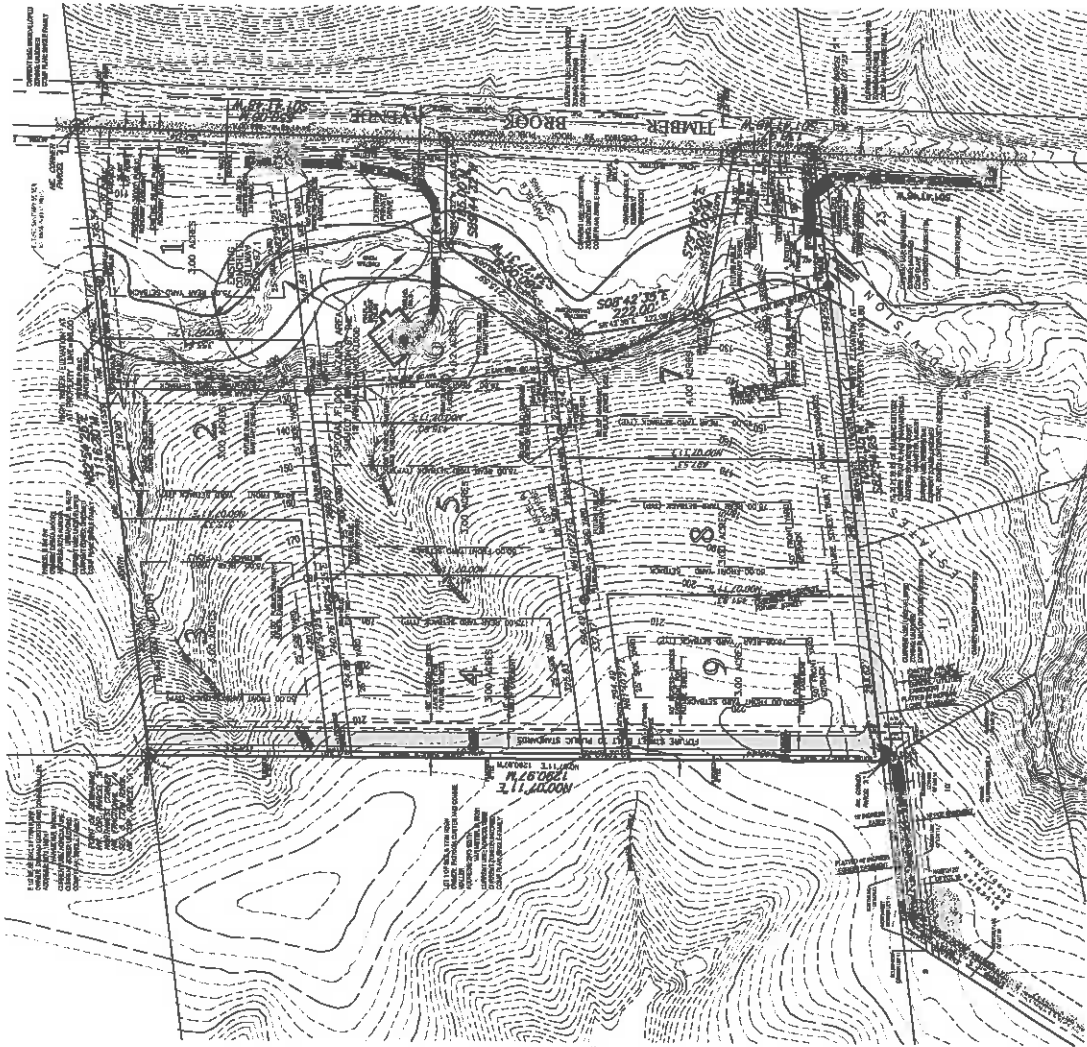
**General Location Map  
Lindsey Farm Plat 1  
1001 Timberbrook Avenue**





**OWNER/DEVELOPER:**  
 FRANK LINDSEY  
 3700 BESSER DRIVE  
 GRIMES, IA 50111  
 PH: 515.986.5566

**LINDSEY COMPOUND PLAT ONE**  
**PRELIMINARY PLAT**



**LEGEND:**  
 (C) INDICATES PLAT CORNER WITH SURVEY BEARING AND DISTANCE  
 (D) INDICATES PROPERTY CORNER  
 (O) INDICATES PLAT CORNER WITH BEARING AND DISTANCE  
 (M) INDICATES CALCULATED DISTANCE  
 (P) INDICATES RECORDED DISTANCE  
 (S) INDICATES DISTANCE TO THE CENTERLINE OF THE PUBLIC UTILITY FACILITY  
 (T) INDICATES DISTANCE TO THE CENTERLINE OF THE PUBLIC UTILITY FACILITY  
 (U) INDICATES DISTANCE TO THE CENTERLINE OF THE PUBLIC UTILITY FACILITY  
 (V) INDICATES DISTANCE TO THE CENTERLINE OF THE PUBLIC UTILITY FACILITY  
 (W) INDICATES DISTANCE TO THE CENTERLINE OF THE PUBLIC UTILITY FACILITY  
 (X) INDICATES DISTANCE TO THE CENTERLINE OF THE PUBLIC UTILITY FACILITY  
 (Y) INDICATES DISTANCE TO THE CENTERLINE OF THE PUBLIC UTILITY FACILITY  
 (Z) INDICATES DISTANCE TO THE CENTERLINE OF THE PUBLIC UTILITY FACILITY

**PLAT AREA:**  
 24.13 ACRES INCLUDING DRAINAGE  
 FOR PUBLIC RIGHT-OF-WAY EASEMENT

**ZONING:**  
 UNZONED

**BULK REGULATIONS:**  
 LOT SIZE - 150 SQUARE FEET  
 LOT WIDTH - 50 FEET  
 FRONT YARD - 50 FEET  
 SIDE YARD - 5 FEET  
 NOTE: MADISON COUNTY SETBACK REQUIREMENTS EITHER MATCH OR EXCEED THE CITY OF WEST DES MOINES SETBACK REQUIREMENTS FOR RESIDENTIAL EXISTING DISTRICT

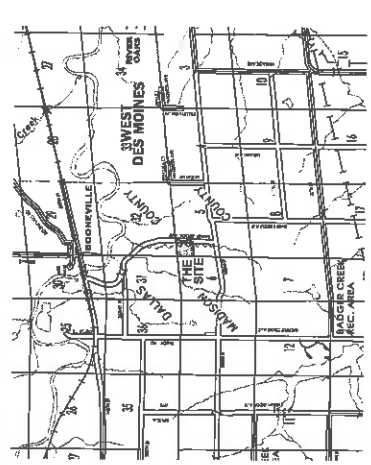
**WEST DES MOINES COMPREHENSIVE PLAN:**  
 SF SINGLE FAMILY RESIDENTIAL  
**EROSION CONTROL MAINTENANCE & INSPECTION:**  
 % DRAIN HYPER  
 3501 104th STREET  
 MADISON, IOWA 50222  
 PH: 515.227.7068

**BENCH MARKS:**  
 CITY OF WEST DES MOINES BENCHMARK No. 106  
 1/4 MILE SOUTH OF INTERSECTION, 4 FEET EAST OF  
 THE CENTERLINE OF PULVERHOPE ROAD EXTENDED,  
 2.18+148.85 (CITY OF WEST DES MOINES DATUM)  
 CITY OF WEST DES MOINES BENCHMARK No. 107  
 INTERSECTION OF 104th STREET AND WOODLAND  
 EXTENDED, 2.5 FEET SOUTH OF EAST/WEST FENCE  
 ELONG=211.45 (CITY OF WEST DES MOINES DATUM)

**UTILITY NOTE:**  
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS, AND ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF UTILITIES IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

**UTILITIES:**  
 WARREN WATER DISTRICT  
 1204 E. 2nd AVENUE  
 INDIANOLA, IOWA 50125

**ONE CALL**  
 CALL BEFORE YOU DIG  
 TOLL FREE  
 1-800-502-5866



**PROPERT DESCRIPTION:**  
 PARCELS A (TAKEN FROM PLAT OF SURVEY RECORDED AT BK 2001 PG 1828)  
 PART OF THE NW 1/4 OF THE NW QUARTER, 1/4 OF SECTION 5, TOWNSHIP 77 NORTH, RANGE 10 WEST, MERIDIAN 10 WEST, MADISON COUNTY, IOWA, BEING THE NW CORNER OF SECTION 5, T77N, R10W, THENCE N62°54'21" E ALONG THE CENTERLINE OF THE EXISTING COUNTY ROAD 1700' WIDE, 300.00 FEET TO THE CENTERLINE OF THE EXISTING COUNTY ROAD, THENCE S71°11'00" W ALONG SAID CENTERLINE 300.00 FEET, THENCE S89°41'32" W FOR 180.00 FEET, THENCE S77°15'45" E FOR 300.00 FEET TO THE SAID CORNER OF SECTION 5, T77N, R10W, THENCE S71°11'00" W ALONG SAID CENTERLINE 300.00 FEET TO THE SW CORNER OF SAID NW 1/4 OF THE NW 1/4, SAID LINE FOR 100.00 FEET TO THE SW CORNER OF SAID NW 1/4 OF THE NW 1/4, POINT OF BEGINNING. THIS PROJECT CONTAINS 24.13 ACRES FOR THE ROADWAY EASEMENT AND IS SUBJECT TO EASEMENTS OF RECORD.

**NOTES:**  
 1. FRONT YARD SETBACKS ARE MEASURED FROM THE EDGE OF THE PRIVATE DRIVEWAY EASEMENT.  
 2. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY, EASEMENTS AND OR CONNECTION TO CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MADISON COUNTY STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.  
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS CONSTRUCTION THROUGH AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION.  
 4. ANY PROPOSED PAVING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN SUBDIVISIONS WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.  
 5. CONTRACTOR SHALL MAINTAIN ALL NECESSARY ACCESS TO EACH DWELLING SERVED BY THE EXISTING PRIVATE DRAINAGE. CONTRACTOR SHALL MAINTAIN ALL NECESSARY ACCESS TO EXISTING PRIVATE DRAINAGE. CONTRACTOR SHALL MAINTAIN ALL NECESSARY ACCESS TO EXISTING PRIVATE DRAINAGE. CONTRACTOR SHALL MAINTAIN ALL NECESSARY ACCESS TO EXISTING PRIVATE DRAINAGE.  
 6. NO WORK SHALL BEGIN WITHOUT A VALID PERMIT FROM THE ENGINEER'S OFFICE.  
 7. ALL SERVICES TO UTILITIES LOCATED ON THE OPPOSITE SIDE OF THE ROADWAY MUST BE BORIED UNDER THE ROADWAY AT THE LOT OWNER'S EXPENSE.  
 8. ALL SERVICES TO UTILITIES LOCATED ON THE OPPOSITE SIDE OF THE ROADWAY MUST BE BORIED UNDER THE ROADWAY AT THE LOT OWNER'S EXPENSE.  
 9. WASTEWATER DISPOSAL FOR ALL LOTS WILL BE PROVIDED BY AN ON-SITE WASTEWATER TREATMENT SYSTEM.  
 10. FIRE HYDRANTS SHALL BE INSTALLED ONCE WARREN WATER DISTRICT CAN PROVIDE FLOW TESTS.  
 11. FIRE HYDRANTS SHALL BE INSTALLED ONCE WARREN WATER DISTRICT CAN PROVIDE FLOW TESTS.  
 12. FIRE HYDRANTS SHALL BE INSTALLED ONCE WARREN WATER DISTRICT CAN PROVIDE FLOW TESTS.  
 13. HOMES OF BLOCK 8 OR LARGER INCLUDING THE CHANGE AREA SHALL REQUIRE FIRE SPRINKLER SYSTEMS.  
 14. THIS PRELIMINARY PLAT ILLUSTRATES 3 LOTS SERVED AS A MASTER PLAN FOR THIS PROPERTY. THE FINAL PLAT WILL INCLUDE AT LEAST THREE LOTS WITH PRELIMINARY PLAT LOTS 1-3 FROM FINAL PLAT LOTS 1, 2, AND 3 RESPECTIVELY.

**FLOOD ZONE:**  
 A PORTION OF THIS SITE LIES WITHIN ZONE "X" SPECIAL FLOOD HAZARD AREAS SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. IN ACCORDANCE WITH THE FLOOD INSURANCE RATE ACT, THE FLOOD INSURANCE RATE MAP FOR MADISON COUNTY, IOWA, DATED OCTOBER 8, 2010 AND IS SHOWN ON THE PLAN. THE MAJORITY OF THE PROPERTY IS OUTSIDE THE SPECIAL FLOOD HAZARD AREA.



Prepared by: KTragesser City of West Des Moines Development Services, P.O. Box 65320, West Des Moines, IA 50265-0320, 515-222-3620  
When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

**RESOLUTION**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING THE PRELIMINARY PLAT (PP-002554-2014) TO SUBDIVIDE PROPERTY INTO NINE (9) LOTS FOR SINGLE FAMILY DEVELOPMENT**

**WHEREAS**, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, Frank Lindsey requests approval for a preliminary plat to subdivide property into nine (9) lots for single family development for the property described below:

**Legal Description of Property**

PARCEL A (TAKEN FROM PLAT OF SURVEY RECORDED IN BK 2001 PG 1965)

“THAT PART OF THE NW 1/4 OF THE NW FRACTIONAL 1/4 OF SECTION 5, TOWNSHIP 77 NORTH, RANGE 26 WEST OF THE 5TH P.M., MADISON COUNTY, IOWA, LYING WEST OF THE CENTERLINE OF THE EXISTING COUNTY ROAD MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NW CORNER OF SECTION 5, T77N, R26W, THENCE N82°54'25"E ALONG THE NORTH LINE OF THE NW FR 1/4 OF SAID SECTION 5 FOR 1116.53 FEET TO THE CENTERLINE OF THE EXISTING COUNTY ROAD; THENCE S1°41'48"W ALONG SAID CENTERLINE FOR 650.00 FEET; THENCE S89°44'32"W FOR 185.00 FEET; THENCE S34°27'31"W FOR 280.00 FEET; THENCE S8°42'35"E FOR 222.00 FEET; THENCE S79°18'45"E FOR 300.00 FEET TO THE SAID CENTERLINE OF EXISTING ROAD; THENCE S1°41'48"W ALONG SAID CENTERLINE FOR 138.97 FEET TO THE SOUTH LINE OF THE NW 1/4 OF THE NW FR 1/4; THENCE S82°54'25"W ALONG SAID LINE FOR 1080.58 FEET TO THE SW CORNER OF SAID NW 1/4 OF THE FR NW 1/4; THENCE N0°07'11"E ALONG THE WEST LINE OF SAID NW FR 1/4 FOR 1290.97 FEET TO THE POINT OF BEGINNING.”

THIS PARCEL CONTAINS 29.13 ACRES INCLUDING 0.60 ACRES FOR ROADWAY EASEMENT AND IS SUBJECT TO EASEMENTS OF RECORD

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, on April 27, 2015, the Plan and Zoning Commission recommend to the City Council approval of the Preliminary Plat; and

**WHEREAS**, on this date, this City Council held a duly-noticed hearing to consider the application for a preliminary plat

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

**SECTION 1.** The findings, for approval, in the staff report for the preliminary plat, or as amended orally at the City Council hearing on this date, are adopted.

**SECTION 2.** The Preliminary Plat to subdivide property into nine (9) lots for single family residential development, subject to compliance with all the conditions in the staff report, including conditions added at the Hearing, and attached hereto as Exhibit "A" is approved. Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

**PASSED AND ADOPTED** on May 4, 2015.

---

Steven K. Gaer, Mayor

ATTEST:

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Ryan T. Jacobson  
City Clerk

**EXHIBIT "A"**  
**CONDITIONS OF APPROVAL**

1. That a note be formulated by the property owner or representative of the property with regard to potential future assessments for public infrastructure improvements and placed on the preliminary and final plats, after City review of said note.
2. The applicant providing final drawings of the preliminary plat which addresses staff comments prior to the final plat proceeding to the City Council for approval.
3. That the City Council waive the requirement for an agreement and waiver for public improvements including but not limited to the reconstruction of Timberbrook Avenue, the installation of public sidewalks, and the installation of street lights along public streets adjacent to this development.
4. That the west roadway be allowed which exceeds the City's maximum dead end length until such time that the roadway can be extended to connect to a secondary roadway as shown on the City's Ultimate Streets Plan. In the interim, access roads should be 20 feet in width, constructed and surfaced with materials that will withstand 75,000 pounds of gross vehicle weight, and maintain a vertical clearance of 14 feet.
5. That the City Council waive the requirement for the installation of dry sewers.

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

Date: May 4, 2015

**ITEM:** Tallyn's Reach, Generally located at the southwest corner of Cascade Avenue and S. 91<sup>st</sup> Street  
– Subdivide the property into 19 lots for construction of a detached townhome development –  
Jerry Bussanmas – PP-002604-2015/SP-002605-2015

**ORDINANCE:** Approval of Preliminary Plat and Site Plan

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** Josh Trygstad with Civil Design Advantage, on behalf of the applicant, Jerry Bussanmas is requesting approval of a 5.76 acre Preliminary Plat to create 19 postage stamp lots and one outlot for common use and storm water detention. The applicant is also requesting approval of a Site Plan to allow construction of 19 detached townhomes.

**Plan and Zoning Commission Action:**

Vote: 7-0 approval.

Date: April 27, 2015

Motion: Adopt a resolution recommending the City Council approve the Preliminary Plat and Site Plan

**OUTSTANDING ISSUES:** There are no outstanding issues.

The following items of interest are noted in the attached Plan and Zoning Commission report (see Exhibit I):

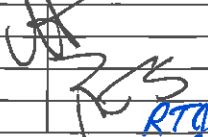
- Applicant's Request
- History
- City Council Subcommittee - Development & Planning: 3/26/2015
- Staff Review and Comments
  - Architecture
  - Postage Stamp Lots
- Comprehensive Plan Consistency
- Findings
- Staff Recommendations and Conditions of Approval
- Owner/Applicant/Applicant Representative Information

**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, the Plan and Zoning Commission recommends the City Council approve Woodland Hills of West Des Moines Plat 2 Preliminary Plat and Site Plan, subject to the applicant meeting all City Code requirements and the following conditions of approval:

1. The applicant acknowledging that there shall be consistency in architectural style and compatibility in materials and colors between all homes. At the time of Building Permit submittal, should a home design be determined by staff to be inconsistent to the approved images provided with this site plan, staff approval of a Level 1 Minor Modification Permit Application will be necessary prior to the issuance of a building permit, including footing and foundation permit; and
2. A minimum of five feet (5') as measured from the lot line of the postage stamp lot to the closest element of the dwelling building, including roof overhangs, bump-outs, bay windows, etc. shall be provided.

Lead Staff Member: J. Bradley Munford

**Staff Reviews:**

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

Published In	not required
Date(s) Published	N/A
Letter sent to surrounding property owners	N/A

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Development & Planning		
Date Reviewed	3/26/2015		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Exhibit I - Plan and Zoning Commission Communication
  - Attachment A - Commission Resolution
- Exhibit A - Conditions of Approval
  - Attachment B - Location Map
  - Attachment C - Preliminary Plat
  - Attachment D - Architecture concepts
- Exhibit II - City Council Resolution
  - Exhibit A - Conditions of Approval

CITY OF WEST DES MOINES  
PLAN AND ZONING COMMISSION COMMUNICATION

**Meeting Date:** April 27, 2015

**Item:** Tallyn's Reach, Generally located at the southwest corner of Cascade Avenue and S. 91<sup>st</sup> Street – Subdivide the property into 19 lots for construction of a detached townhome development – Jerry Bussanmas – PP-002604-2015/SP-002605-2015

**Requested Action:** Approval of Preliminary Plat and Site Plan

**Case Advisor:** J. Bradley Munford 

**Applicant's Request:** Josh Trygstad with Civil Design Advantage, on behalf of the applicant, Jerry Bussanmas is requesting approval of a 5.76 acre Preliminary Plat to create a 19 postage stamp lots and one outlot for common use and storm water detention. The applicant is also seeking approval of a Site Plan to allow construction of 19 detached townhomes.

**History:** The City Council approved a rezoning request to establish the Tallyn's Reach PUD (aka Michael's Landing and/or Woodland Hills development) on May 22, 2006. The Tallyn's Reach PUD has been amended five times since its adoption. On April 20, 2015, the City Council unanimously approved the first reading of a PUD Ordinance amendment to remove the 55 year old minimum age qualification for Parcels F within the Woodland Hills development. The second reading and adoption of the amendment is anticipated to occur at the City Council's May 4<sup>th</sup> meeting. Staff has recommended a condition of approval reflecting that the final approval and adoption of the ordinance by the City Council must occur prior to issuance of any building permits.

**City Council Subcommittee:** This item was presented at the March 26, 2015 Development and Planning City Council Subcommittee as an informational item. There were no objections to the request.

**Staff Review and Comment:** This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff would note the following:

**Architecture:** Traditional Medium Density townhome developments have typically utilized one building design on all lots with minor changes in colors and materials to provide variation. With this development, the applicant intends to construct custom units tailored to individual buyers. Because the development is detached townhomes on individual lots, which for all practical purposes will be perceived as and feel like traditional single family detached, staff is comfortable with not all buildings being identical. Staff has clarified with the applicant that there must be consistency in the architectural style implemented (applicant has chosen a Prairie style) and compatibility in the materials and colors between the buildings. The submitted exterior elevations are considered precedent images that set agreed upon architectural minimums. The design for each building will be reviewed for compatibility with the images when submitted for building permits. If a house plan is determined to be out of character with the approved images, it will require approval as a Level 1 Minor Modification prior to issuance of the building permit.

**Postage Stamp Lots:** The applicant is proposing a postage stamp lot for each unit. Building codes aim to maintain ten feet of separation between structures; separations less than 10' require different construction measures to address fire suppression measures. Staff recommends a condition of approval requiring a minimum five foot (5') setback from the lot boundary to the closest building element.

**Comprehensive Plan Consistency:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**Findings:** This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

**Staff Recommendation And Conditions Of Approval:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Preliminary Plat to create 19 lots and approve the Site Plan to allow the development of a 19 lot detached townhome development and associated site improvements, subject to the applicant meeting all City Code requirements and the following:

1. The applicant acknowledging that there shall be consistency in architectural style and compatibility in materials and colors between all homes. At the time of Building Permit submittal, should a home design be determined by staff to be inconsistent to the approved images provided with this site plan, staff approval of a Level 1 Minor Modification Permit Application will be necessary prior to the issuance of a building permit, including footing and foundation permit; and
2. A minimum of five feet (5') as measured from the lot line of the postage stamp lot to the closest element of the dwelling building, including roof overhangs, bump-outs, bay windows, window wells, etc. shall be provided.

**Property Owners:** Family Homes Construction II, LLC  
Bankers Trust Company,  
453 7<sup>th</sup> Street  
Des Moines, IA 50304  
[Gbuelt@bankerstrust.com](mailto:Gbuelt@bankerstrust.com)

**Applicant** Jerry Bussanmas LLC  
P.O. Box 71038  
Clive, IA 50325  
Attn: Jerry Bussanmas  
[Jerry@jerrybus.com](mailto:Jerry@jerrybus.com)

**Applicant's Representative:**  
Civil Design Advantage LLC  
3405 SE Crossroads Drive, Suite G  
Grimes, IA  
Attn: Josh Trygstad, P.E.  
[JoshT@cda-eng.com](mailto:JoshT@cda-eng.com)

**ATTACHMENTS:**

Attachment A	-	Plan and Zoning Commission Resolution
Exhibit A	-	Conditions of Approval
Attachment B	-	Location Map
Attachment C	-	Preliminary Plat / Site Plan
Attachment D	-	Architecture concepts



## RESOLUTION NO. PZC-15-026

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES,  
RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A PRELIMINARY PLAT TO  
SUBDIVIDE THE PROPERTY INTO 19 LOTS AND APPROVE A SITE PLAN FOR THE  
CONSTRUCTION OF 19 DETACHED TOWNHOMES**

**WHEREAS**, pursuant to the provisions of Title 10, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Jerry Bussanmas, LLC., has requested approval for a Preliminary Plat (PP-002604-2015) for that approximately 5.76 acre site generally located at the southwest corner of Cascade Avenue and S. 91<sup>st</sup> Street to subdivide the property into 19 postage stamp lots and one outlot for common use and storm water detention.

**WHEREAS**, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Jerry Bussanmas, LLC has requested approval of a Site Plan (SP-002605-2015) for that approximately 5.76 acre site generally located at the southwest corner of Cascade Avenue and S. 91<sup>st</sup> Street to allow the construction of 19 lot detached townhomes and associated site improvements;

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

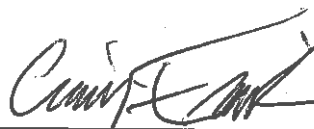
**WHEREAS**, on April 27, 2015, this Commission held a duly-noticed public meeting to consider the applications for a Preliminary Plat (PP-002604-2015) and Site Plan (SP-002605-2015);

**NOW, THEREFORE**, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

**SECTION 1.** The findings, for approval, in the staff report, dated April 27, 2015, or as amended orally at the Plan and Zoning Commission meeting of April 27, 2015, are adopted.

**SECTION 2.** Preliminary Plat (PP-002604-2015) and Site Plan (SP-002605-2015) to subdivide the property into 19 lots and allow construction of 19 detached townhomes are recommended to the City Council for approval, subject to compliance with all the conditions in the staff report, dated April 27, 2015, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

**PASSED AND ADOPTED on April 27, 2015.**

  
\_\_\_\_\_  
Craig Erickson, Chairperson  
Plan and Zoning Commission

ATTEST:

  
\_\_\_\_\_  
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on April 27, 2015, by the following vote:

AYES: Andersen, Brown, Costa, Crowley, Erickson, Hatfield, Southworth  
NAYS: -0-  
ABSTENTIONS: -0-  
ABSENT: -0-

ATTEST:

  
\_\_\_\_\_  
Recording Secretary

**CONDITIONS OF APPROVAL**

1. The applicant acknowledging that there shall be consistency in architectural style and compatibility in materials and colors between all homes. At the time of Building Permit submittal, should a home design be determined by staff to be inconsistent to the approved images provided with this site plan, staff approval of a Level 1 Minor Modification Permit Application will be necessary prior to the issuance of a building permit, including footing and foundation permit; and
2. A minimum of five feet (5') as measured from the lot line of the postage stamp lot to the closest element of the dwelling building, including roof overhangs, bump-outs, bay windows, window wells, etc. shall be provided.

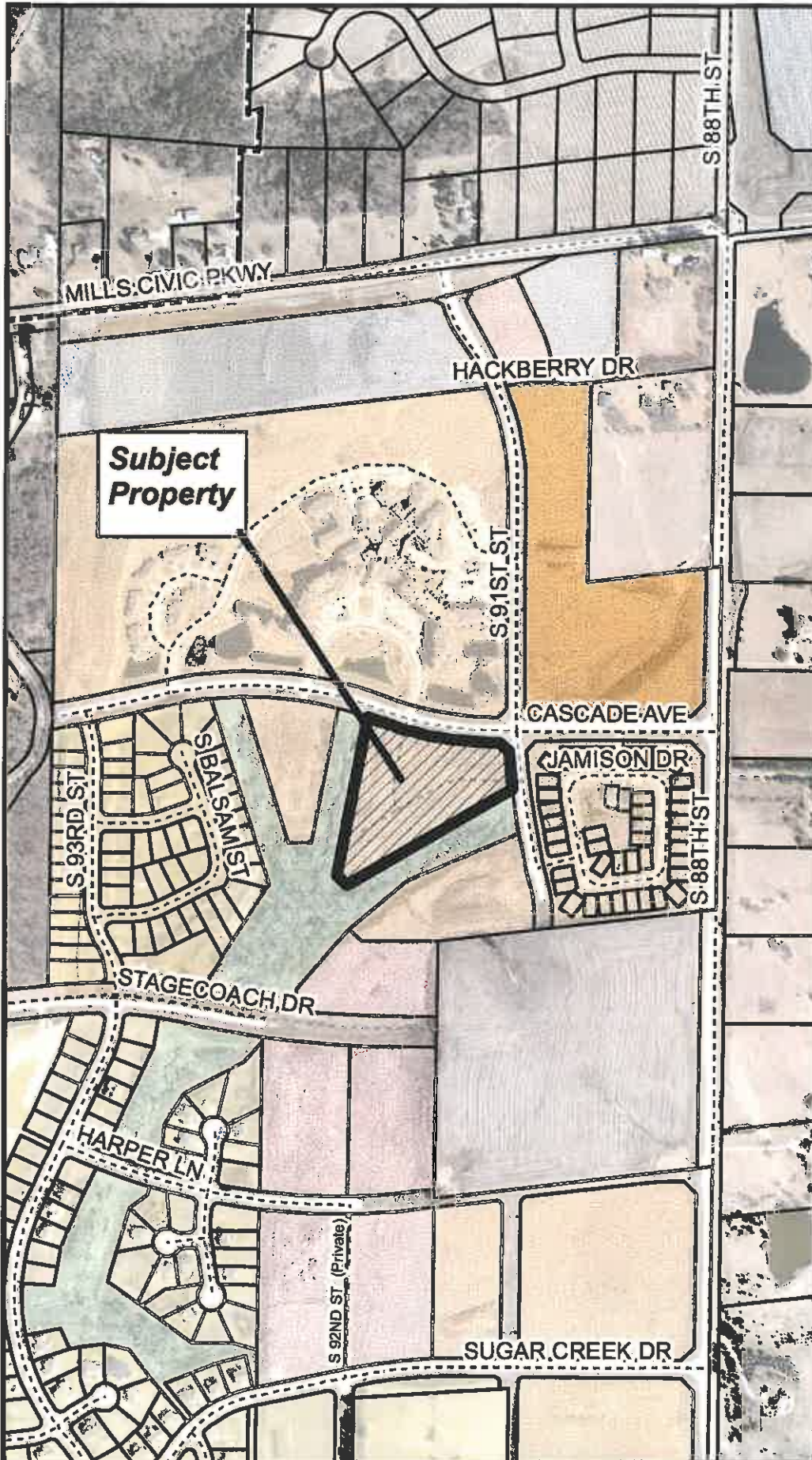
# ATTACHMENT B



**Woodland Hills of  
West Des Moines Plat 2  
SP-002605-2015  
PP-002604-2015**



NOT TO SCALE



### Legend

- Unzoned
- Open Space/Agricultural (OS)
- Residential Estate (RE)
- Residential Single-Family (RS)
- Single-Family Residential (R-1)
- Single-Family - Commerce Residential (SF-CR)
- Single-Family - Valley Junction Residential (SF-VJ)
- Manufactured Housing (MH)
- Residential Medium-Density (RM)
- Residential High-Density (RH)
- Neighborhood Commercial (NC)
- Convenience Commercial (CVC)
- Valley Junction Historic Business (VJHB)
- Valley Junction Commercial (VJC)
- Community Commercial (CMC)
- Support Commercial (SC)
- Regional Commercial (RC)
- Office (OF)
- Professional Commerce Park (PCP)
- Warehouse Retail (WR)
- Business Park (BP)
- Valley Junction Light Industrial (VJLI)
- Light Industrial (LI)
- General Industrial (GI)
- PUD - Open Space
- PUD - Single Family Residential
- PUD - Medium Density Residential
- PUD - High Density Residential
- PUD - Business and Commercial
- PUD - Office
- PUD - Industrial

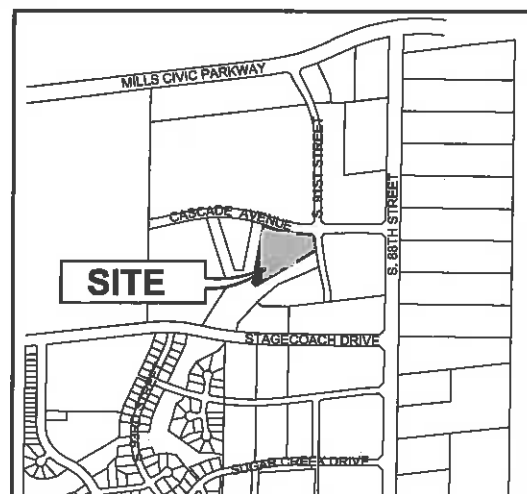
PRELIMINARY PLAT / SITE PLANS FOR:

# WOODLAND HILLS OF WEST DES MOINES PLAT 2

## WEST DES MOINES, IOWA

### VICINITY MAP

NOT TO SCALE



WEST DES MOINES, IOWA

### INDEX OF SHEETS

NO.	DESCRIPTION
1	TITLE SHEET
2	TYPICAL SECTION, GENERAL NOTES AND DETAILS
3	DEMOLITION PLAN / TOPOGRAPHIC SURVEY
4	DIMENSION PLAN
5-6	GRADING PLAN
7	UTILITY PLAN
8	LANDSCAPE PLAN

### LEGAL DESCRIPTION

OUTLOT 'H', CORRECTED MICHAEL'S LANDING PLAT 1, BEING AN OFFICIAL PLAT OF THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA AND CONTAINING 5.78 ACRES (251,103 S.F.).  
PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

### ADDRESSES

873-897 SOUTH 92ND STREET  
9115-9196 JAMISON DRIVE

### COMPREHENSIVE PLAN LAND USE

MEDIUM DENSITY RESIDENTIAL

### GENERAL LEGEND

PROPOSED	EXISTING
SECTION LINE	SANITARY MANHOLE
CENTER LINE	WATER VALVE BOX
RIGHT OF WAY	FIRE HYDRANT
PERMANENT EASEMENT	WATER CURB STOP
TEMPORARY EASEMENT	WELL
TYPE SW-501 STORM INTAKE	STORM SEWER MANHOLE
TYPE SW-503 STORM INTAKE	STORM SEWER SINGLE INTAKE
TYPE SW-505 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-506 STORM INTAKE	FLARED END SECTION
TYPE SW-513 STORM INTAKE	DECIDUOUS TREE
TYPE SW-401 STORM MANHOLE	CONIFEROUS TREE
TYPE SW-402 STORM MANHOLE	DECIDUOUS SHRUB
TYPE SW-301 SANITARY MANHOLE	CONIFEROUS SHRUB
STORM/SANITARY CLEANOUT	ELECTRIC POWER POLE
WATER VALVE	GUY ANCHOR
FIRE HYDRANT ASSEMBLY	STREET LIGHT
SIGN	POWER POLE W/ TRANSFORMER
DETECTABLE WARNING PANEL	UTILITY POLE W/ LIGHT
WATER CURB STOP	ELECTRIC BOX
STORM SEWER STRUCTURE NO.	ELECTRIC TRANSFORMER
STORM SEWER PIPE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	TRAFFIC SIGN
SANITARY SEWER PIPE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SERVICE	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
STORM SERVICE	CABLE TV JUNCTION BOX
WATERMAIN WITH SIZE	CABLE TV MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SAWCUT (FULL DEPTH)	BENCHMARK
SILT FENCE	SOIL BORING
USE AS CONSTRUCTED	UNDERGROUND TV CABLE
MINIMUM PROTECTION ELEVATION	GAS MAIN
TOP OF PROPOSED GROUND	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

### OWNER

FAMILY HOMES II, LLC  
BANKERS TRUST, NA  
453 7TH STREET  
DES MOINES, IOWA 50304

### APPLICANT

JERRY BUSSANMAS, LLC  
CONTACT: JERRY BUSSANMAS  
PO BOX 71038  
PH: (515) 778-5732

### ENGINEER/ SURVEYOR

CIVIL DESIGN ADVANTAGE  
CONTACT: JOSH TRYGSTAD  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

### ZONING

EXISTING AND PROPOSED: TALLYN'S REACH P.U.D.  
(PARCEL F: MEDIUM DENSITY RESIDENTIAL)

### SUBMITTAL DATES

FIRST SUBMITTAL: 01/29/15  
SECOND SUBMITTAL: 03/13/15  
THIRD SUBMITTAL: 04/08/15  
FOURTH SUBMITTAL: 04/23/15

### BENCHMARKS

WDM NO 35  
INTERSECTION OF MILLS CIVIC PARKWAY (335th STREET, DALLAS COUNTY), AND SOUTH 88th STREET (X AVENUE, DALLAS COUNTY), NORTHEAST CORNER OF INTERSECTION, 206 FEET EAST OF CENTERLINE OF 88th STREET, 49 FEET NORTH OF THE CENTERLINE OF MILLS CIVIC PARKWAY, 2 FEET SOUTH OF THE FENCE LINE, STANDARD BENCHMARK. ELEV. = 219.04 (WEST DES MOINES DATUM).

WDM NO 37  
SOUTH 88th STREET, 2640± FEET SOUTH OF MILLS CIVIC PARKWAY, 32 FEET EAST OF THE CENTERLINE OF SOUTH 88th STREET (X AVENUE, DALLAS COUNTY), ON THE FENCE LINE TO THE WEST (1/4 SECTION LINE), 1 FOOT WEST OF THE NORTH/SOUTH FENCE LINE, STANDARD BENCHMARK. ELEV. = 194.80 (WEST DES MOINES DATUM)

### DATE OF SURVEY

DECEMBER 2014



**CIVIL DESIGN ADVANTAGE**  
3405 SE CROSSROADS DR. SUITE G GRIMES, IOWA 50111  
PH: (515) 369-4400 Fax: (515) 369-4410  
PROJECT NO. 1411.585

### PARKING SUMMARY

PARKING REQUIRED (BY CODE):	2 STALLS/UNIT
NUMBER OF UNITS:	19 UNITS
TOTAL PARKING REQUIRED:	38 STALLS
PARKING PROVIDED:	
- DRIVEWAYS	38 STALLS
- DRIVEWAYS (19 3-CAR GARAGES)	57 STALLS
- OFF-STREET PARKING	10 STALLS
TOTAL PARKING PROVIDED:	105 STALLS

### PROPOSED DENSITY

19 UNITS / 5.76 ACRES = 3.30 UNITS/ACRE

### IMPERVIOUS AREA

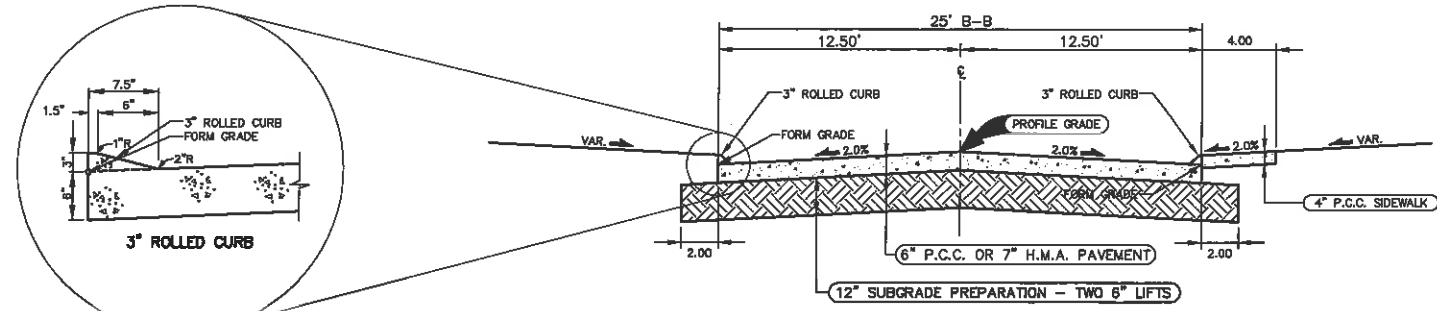
98,511 S.F.

THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, THE 1993 DES MOINES METRO DESIGN STANDARDS WITH THE WEST DES MOINES ADDENDA, AND THE WEST DES MOINES WATER WORKS STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

**PRELIMINARY**  
**FOR CONSTRUCTION**

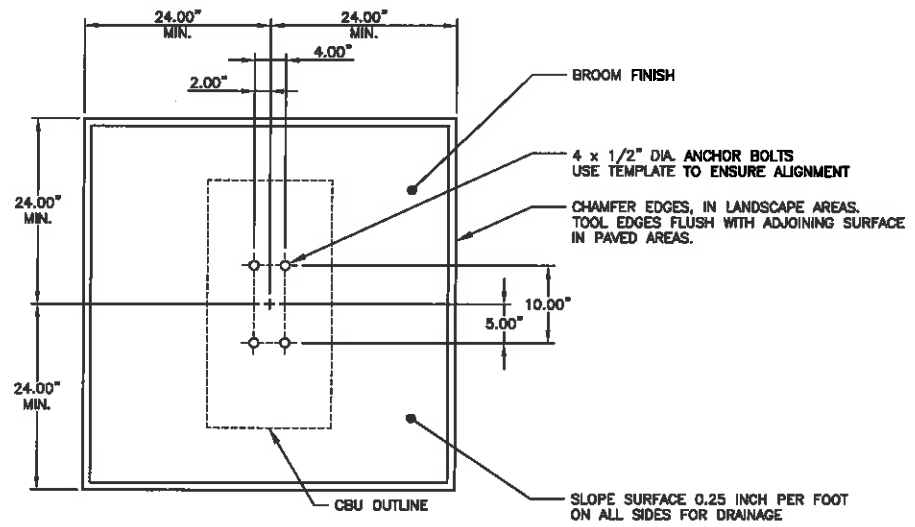
JOSHUA A. TRYGSTAD, P.E.  
1922B  
DATE: 12/31/2015  
MY LICENSE RENEWS DATE IS DECEMBER 31, 2018  
PAGES AND SHEETS COVERED BY THIS SEAL:  
ALL SHEETS



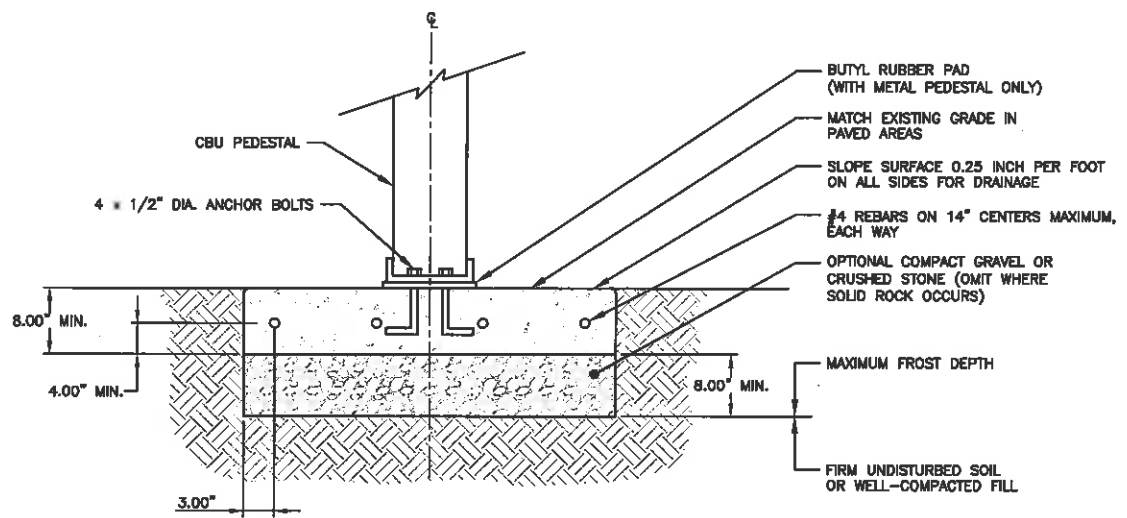
**TYPICAL SECTION -26' B/B P.C.C. ROADWAY**  
NOT TO SCALE

**NOTES:**

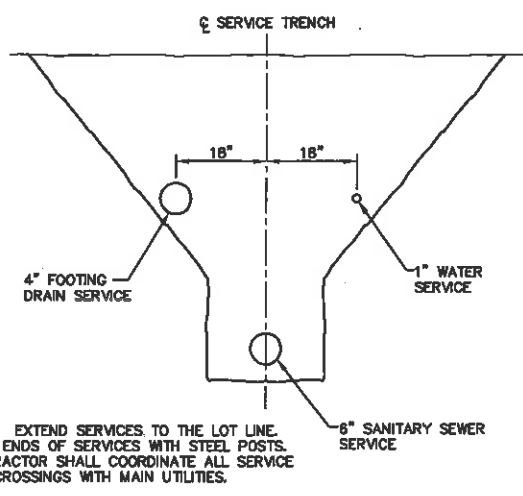
1. IF H.M.A. OPTION IS CHOSEN BY THE OWNER, A 1.5' WIDE P.C.C. ROLLED CURB SECTION SHALL BE CONSTRUCTED ADJACENT TO H.M.A.
2. PLACE EXPANSION JOINT BETWEEN ALL SIDEWALK AND ROLLED CURB SECTION.
3. SIDEWALK SHALL BE 6' WHEN ADJACENT TO PARKING STALLS TO ALLOW FOR OVERHANG. PUBLIC SIDEWALK AND DRIVEWAY APPROACH TO THE PUBLIC STREETS SHALL BE 6" NON-REINFORCED P.C.C.



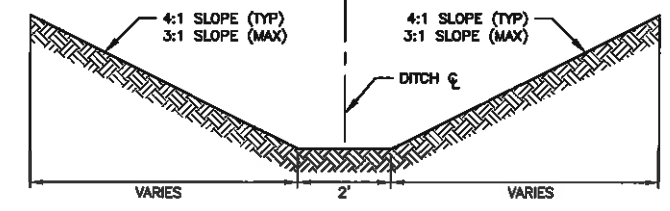
**MAILBOX CLUSTER PAD DETAIL**  
NOT TO SCALE



- NOTES:**
1. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, CONTAIN 4% MIN. - 5% MAX. AIR ENTRAINMENT AND BE PLACED WITH A 3.50" - 4.00" SLUMP IN ACCORDANCE WITH ACI 301.
  2. REINFORCING STEEL REBARS SHALL CONFORM TO ASTM A615, GRADE 60.
  3. ANCHOR BOLTS SHALL CONFORM TO ASTM A193, GRADE B8M, TYPE 316 STAINLESS STEEL.

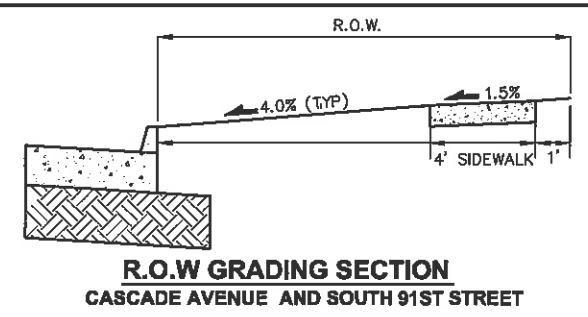


**TYPICAL SERVICE INSTALLATION DETAILS**  
NOT TO SCALE

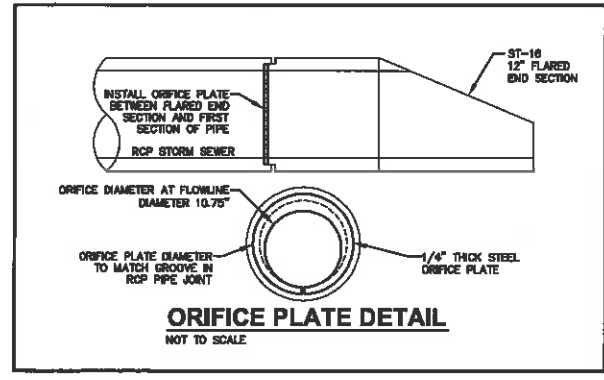


**NOTE:**  
SEE SWPPP FOR EROSION CONTROLS AND STABILIZATION PRIOR TO SEEDING. SEED WITH TYPE 4 MIX (SUDAS).

**TYPICAL SWALE DETAILS**  
NOT TO SCALE



**R.O.W GRADING SECTION**  
CASCADE AVENUE AND SOUTH 91ST STREET



**ORIFICE PLATE DETAIL**  
NOT TO SCALE

FILE: H:\WORK\1411585\1411585-CORR.DWG DATE PLOTTED: 4/23/2015 12:27 PM  
 DRAWN BY: JAT  
 CHECKED BY: JAT  
 DATE: 4/23/2015

DATE	REVISIONS	FOURTH SUBMITTAL	THIRD SUBMITTAL	SECOND SUBMITTAL	FIRST SUBMITTAL

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: JAT TECH: ACJ

**ESA**  
CIVIL DESIGN ADVANTAGE

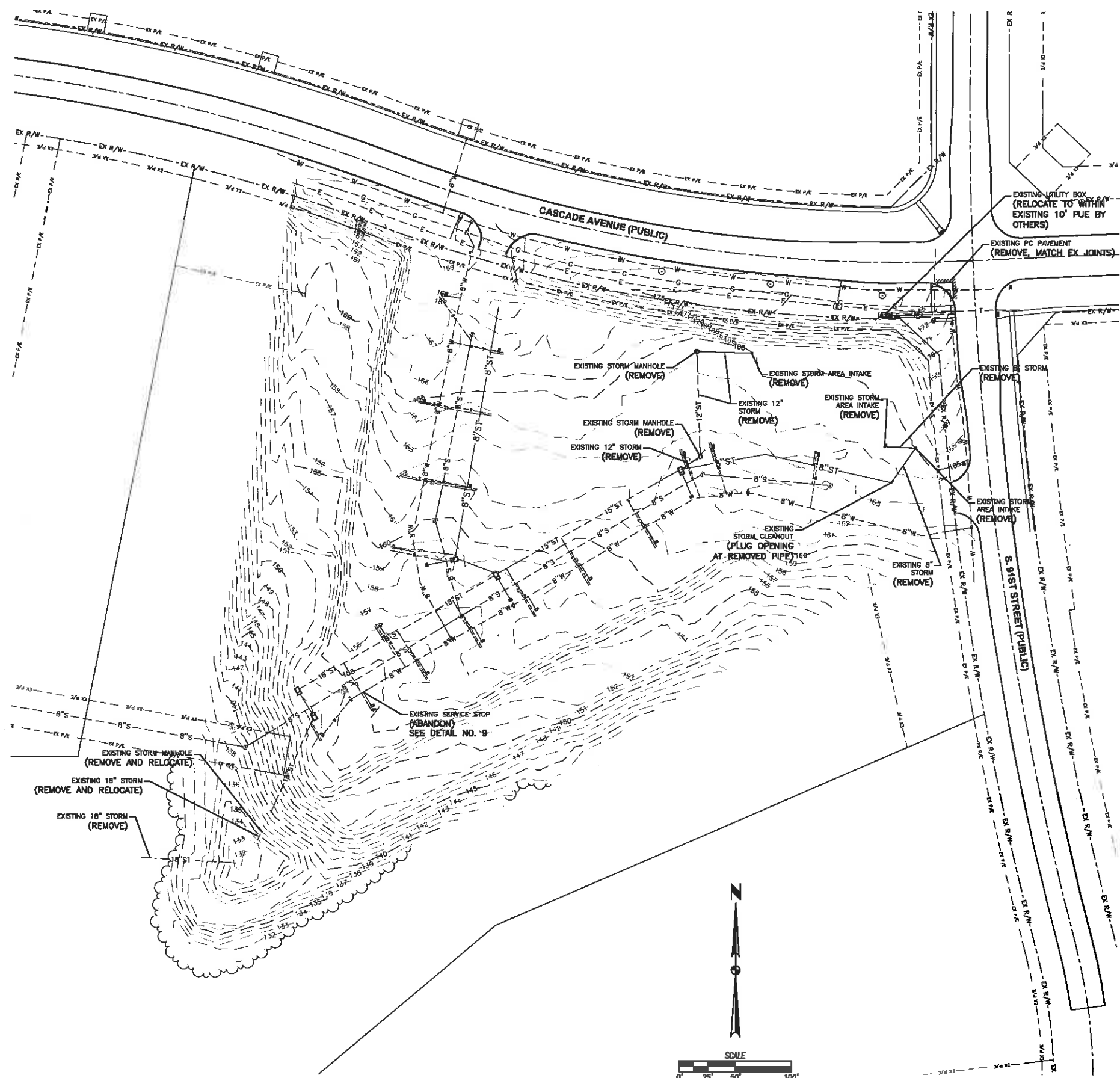
**WOODLAND HILLS OF WEST DES MOINES**  
WEST DES MOINES, IOWA

**PLAT 2**  
TYPICAL SECTIONS AND DETAILS

2/8  
1411.585



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 PLOT DATE: 4/22/15  
 DATE PLOTTED: 4/21/2015 12:27 PM  
 CADD: JAC



**DEMOLITION NOTES**

1. THIS PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND INITIAL STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE STORM WATER POLLUTION PREVENTION PLAN THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
3. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING.
  - A. CITY OF WEST DES MOINES - CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH THE WDM INSPECTOR PRIOR TO REMOVAL OF PUBLIC CURB, GUTTER AND PAVING.
  - B. APPROPRIATE UTILITY COMPANIES
  - C. OWNER
  - D. CIVIL DESIGN ADVANTAGE
4. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
5. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
6. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
7. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
8. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
9. ALL ABANDONED WATER SERVICES LINES SHALL BE ABANDONED AT THE WATER MAIN WITH SADDLE/CORP. REMOVED AND A REPAIR SLEEVE INSTALLED.
10. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
11. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
12. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
13. THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL WITH ALL WEST DES MOINES ADDENDUMS SHALL APPLY TO ALL WORK ON THIS PROJECT EXCEPT AS MODIFIED HEREIN.
14. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT 515-222-3465 AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.

**UTILITY WARNING**

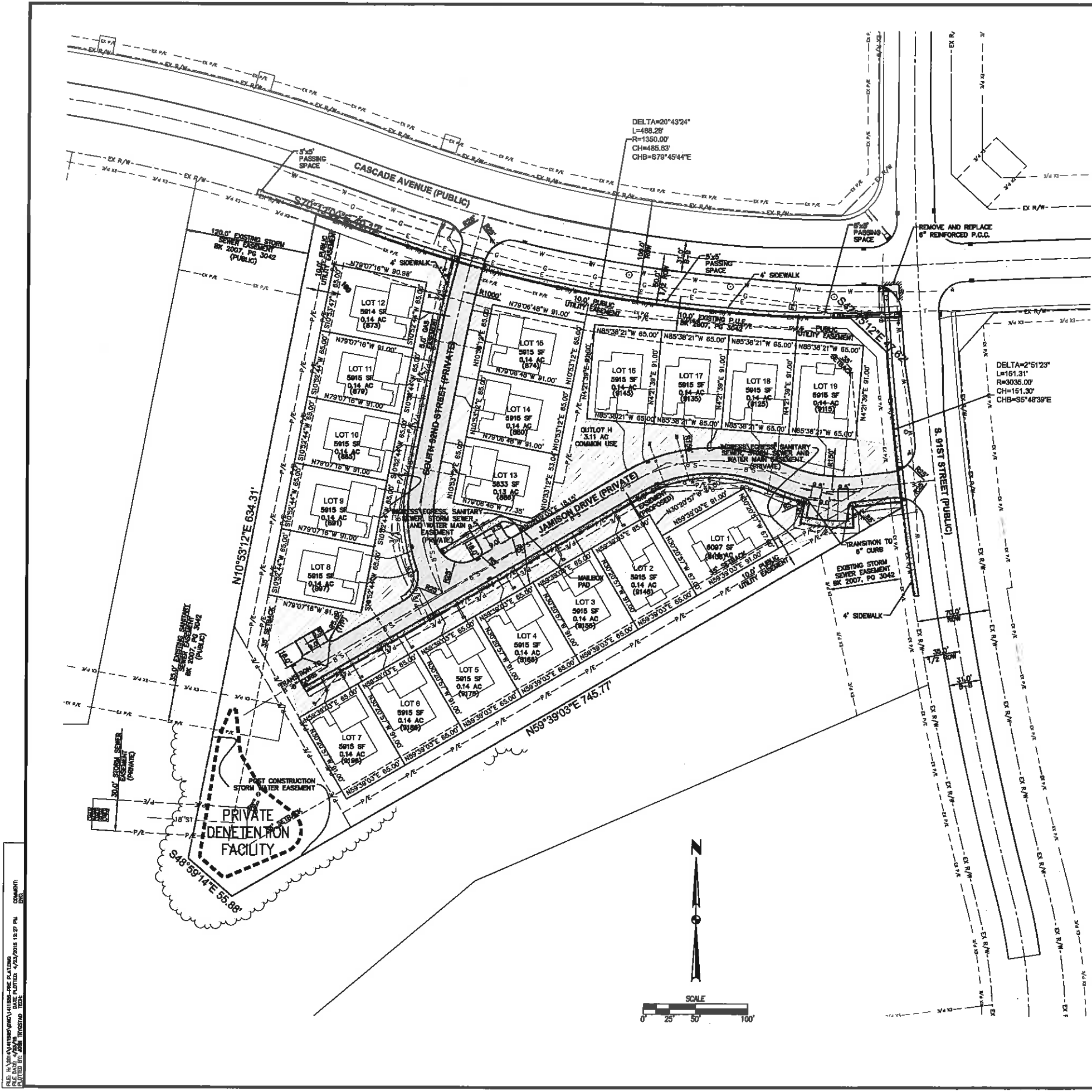
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

**WOODLAND HILLS OF WEST DES MOINES**  
 PLAT 2  
 DEMOLITION PLAN / TOPOGRAPHIC SURVEY  
 WEST DES MOINES, IOWA



3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 ENGINEER: JAT  
 TECH: ACJ

REVISIONS	DATE
FOURTH SUBMITTAL	04/22/15
THIRD SUBMITTAL	04/08/15
SECOND SUBMITTAL	03/13/15
FIRST SUBMITTAL	01/28/15



**GENERAL NOTES**

1. THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS AND THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENT, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
6. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREET, THE CONTRACTOR SHALL CONTACT THE WDM CONSTRUCTION DIVISION ("CLINT CARPENTER" 22-3480) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS, AGREEMENTS AND APPLICABLE PERMITS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. REFER TO PUBLIC IMPROVEMENT PLANS FOR CONCRETE REMOVAL FOR DRIVEWAY APPROACHES.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. NO OUTDOOR DUMPSTERS ARE PROPOSED AT THIS TIME.
20. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING.
  - A. CITY OF WEST DES MOINES
  - B. APPROPRIATE UTILITY COMPANIES
  - C. OWNER
  - D. CIVIL DESIGN ADVANTAGE
21. ALL OUTLOTS ARE UNBUILDABLE.

**TRAFFIC CONTROL NOTES**

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK/ PATH CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING SHALL COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

**OPEN SPACE CALCULATIONS**

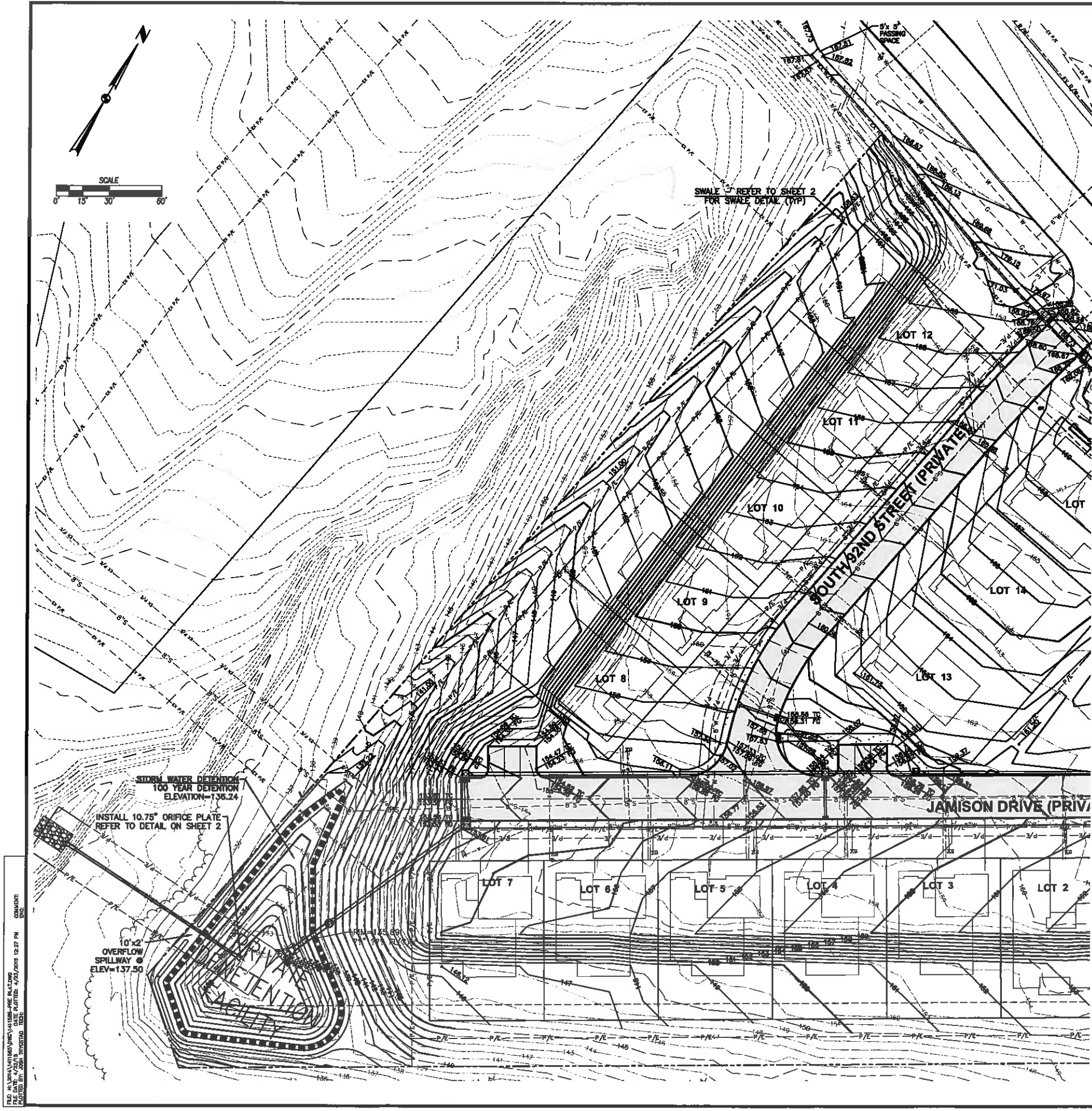
TOTAL SITE AREA	= 251,103 SF
BUILDINGS & PAVEMENT	= 98,511 SF (39.23%)
OPEN SPACE	= 152,592 SF (60.77%)

**PAVEMENT THICKNESS**

SIDEWALKS:	4" P.C.C.
PRIVATE STREETS & OFF-STREET PARKING:	6" P.C.C. OR 7" H.M.A.
CASCADE AVENUE/SOUTH 91ST STREET RETURN:	6" REINFORCED P.C.C.

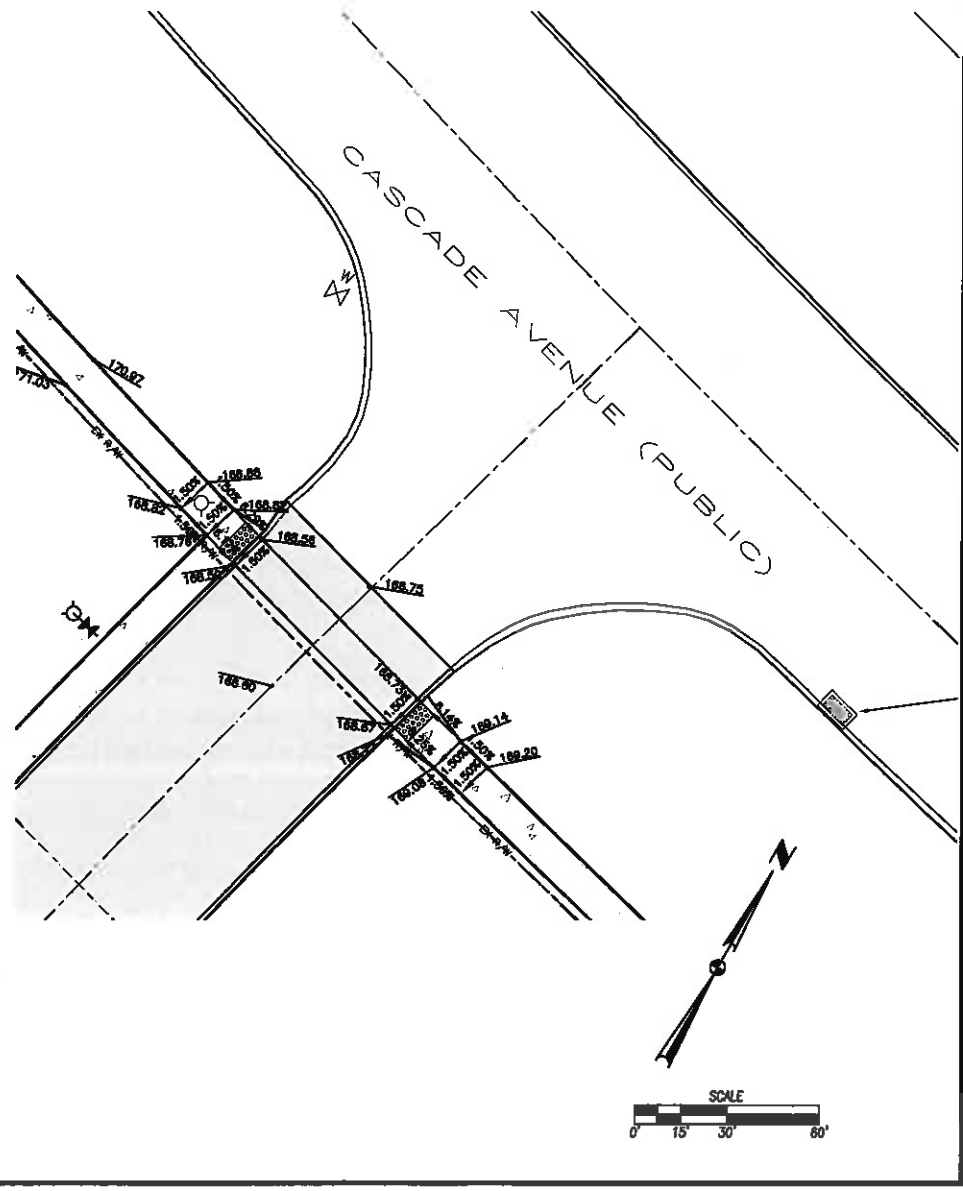
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 COMMENT:

DATE		REVISIONS			
		FOURTH SUBMITTAL	THIRD SUBMITTAL	SECOND SUBMITTAL	FIRST SUBMITTAL
<b>WOODLAND HILLS OF WEST DES MOINES</b> <b>PLAT 2</b> <b>DIMENSION PLAN</b>					
CIVIL DESIGN ADVANTAGE WEST DES MOINES, IOWA					
3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410 ENGINEER: JAT      TECH: ACJ					
<div style="display: flex; justify-content: space-between; align-items: center;"> <span style="font-size: 2em; font-weight: bold;">4</span> <span style="font-size: 2em; font-weight: bold;">8</span> </div>					
1411.585					



**GRADING NOTES**

1. PRIOR TO ANY GRADING ON SITE TAKES PLACE, A COPY OF THE NPDES PERMIT, AUTHORIZED BY THE IOWA DNR, SHALL BE PROVIDED TO THE CITY CHIEF BUILDING INSPECTOR. RVANGENDEREN@WDM-IA.COM OR FAX 515-273-0602.
2. EROSION CONTROL MEASURES WILL BE INSTALLED AND MONITORED BY XXXXX. PH: XXX-XXX-XXXX.
3. ELEVATIONS AND CONTOURS ARE CITY OF WEST DES MOINES DATUM.
4. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
5. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
6. ALL SPOT ELEVATIONS ARE FOR GRADE (FG) OR TOP-OF-SLAB (TS) UNLESS OTHERWISE NOTED.
7. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
8. ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 2.00% CONSTRUCTED.
9. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
10. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
12. SEE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
13. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
14. SIDEWALKS:  
MAINTAIN A 4.75% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 1.5% TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
15. PRIVATE STREETS AND UTILITIES SHALL BE MAINTAINED BY THE OWNER. TO INCLUDE:  
A. DETENTION POND AND APPURTENANCES  
B. PRIVATE STORM SEWER  
C. ALL INTERNAL CIRCULATION ROADS



DES: RLVANAVI@WDM-IA.COM DATE: 4/27/15  
 PLOT: 4/27/15 DATE PLOTTED: 4/27/2015 12:27 PM  
 PLOT BY: RLVANAVI

DATE	REVISIONS
04/23/15	FOURTH SUBMITTAL
04/08/15	THIRD SUBMITTAL
03/13/15	SECOND SUBMITTAL
01/28/15	FIRST SUBMITTAL

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: JAT TECH: ACJ

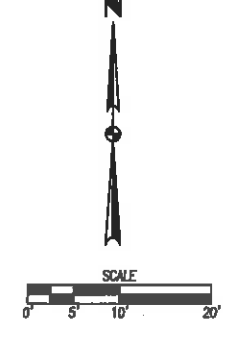
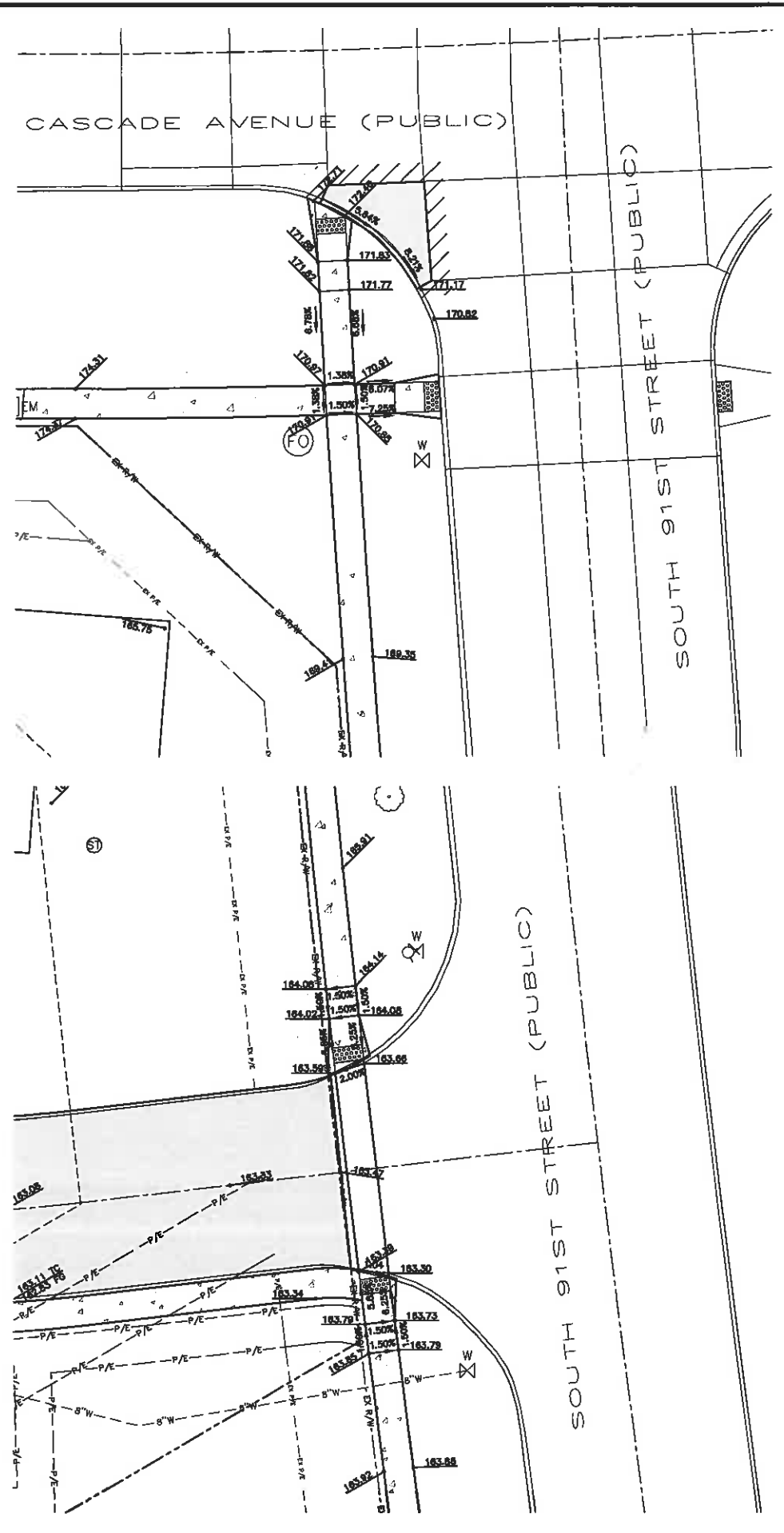
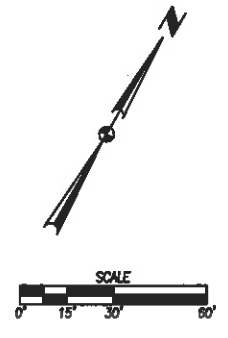
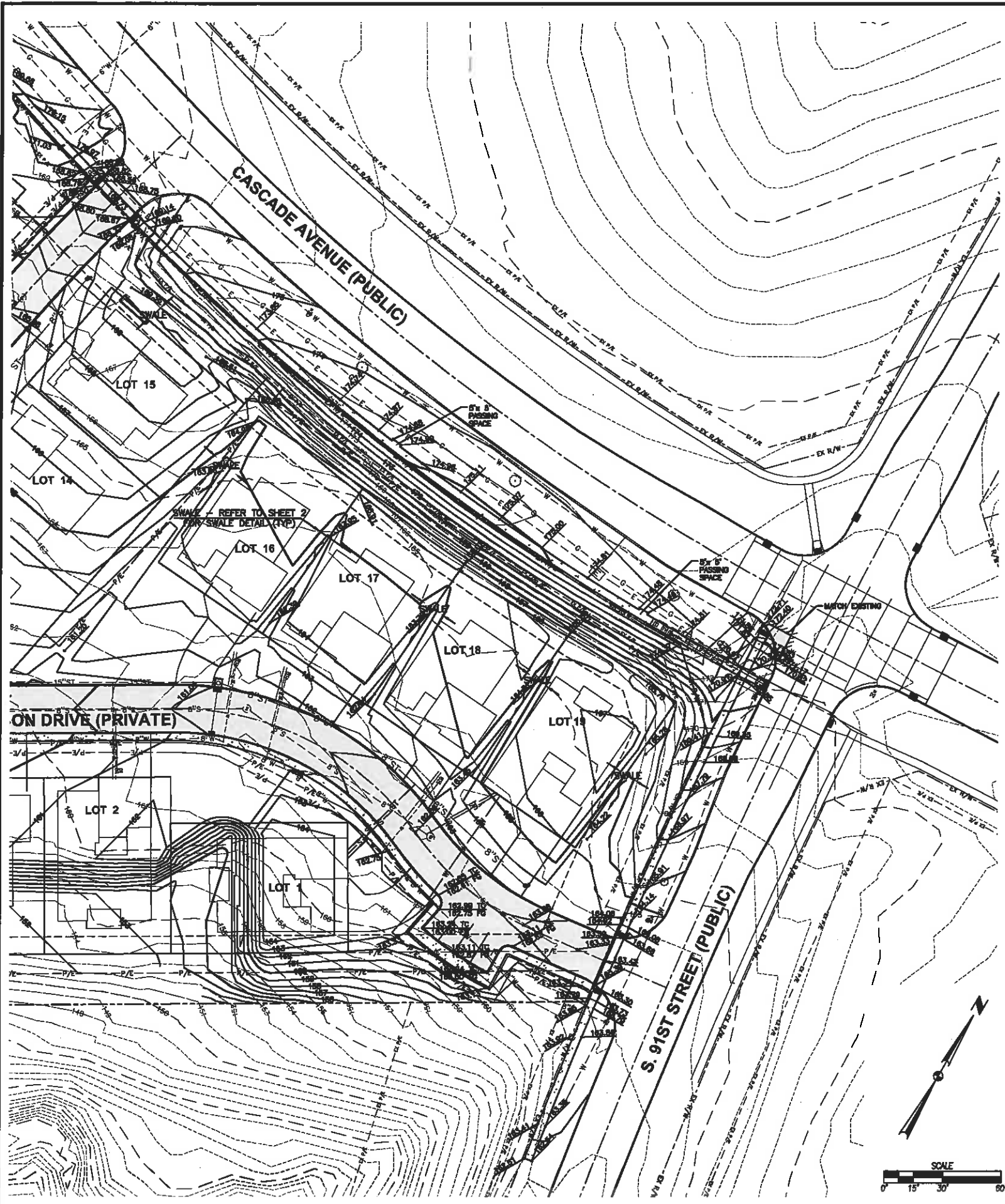
**WOODLAND HILLS OF WEST DES MOINES**  
PLAT 2  
GRADING PLAN

WEST DES MOINES, IOWA

**5**  
**8**  
1411.585



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 DATE: 4/27/05 DATE PLOTTED: 4/27/05 1:27 PM  
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**WOODLAND HILLS OF WEST DES MOINES**  
**PLAT 2**  
**GRADING PLAN**

WEST DES MOINES, IOWA

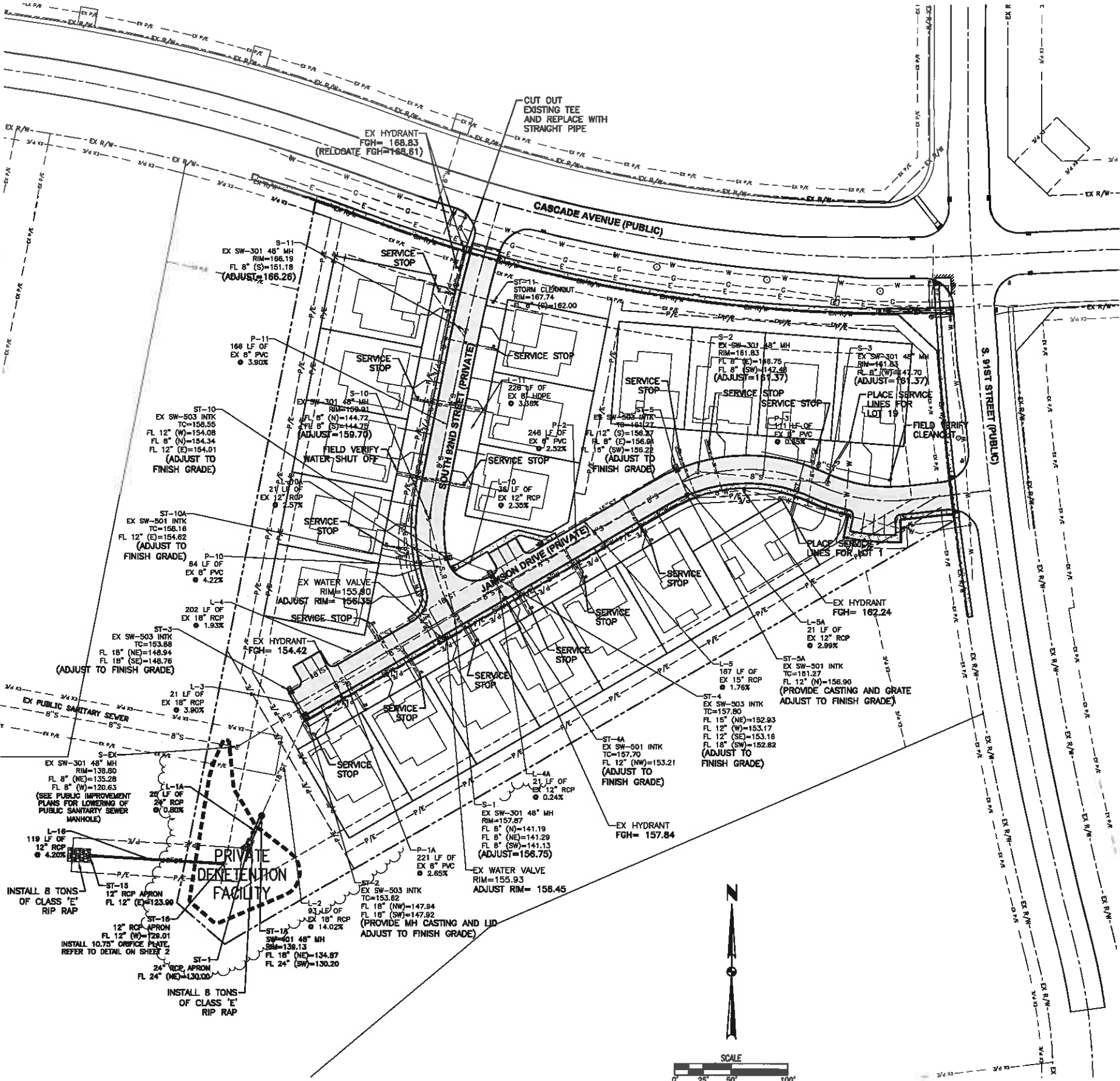
**6/8**  
 1411.585

**ESA**  
 CIVIL DESIGN ADVANTAGE

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: JAT      TECH: ACJ

REVISIONS	DATE
FOURTH SUBMITTAL	04/23/05
THIRD SUBMITTAL	04/08/05
SECOND SUBMITTAL	03/18/05
FIRST SUBMITTAL	01/28/05



**UTILITY NOTES**

1. ALL SEWERS ARE PRIVATE UNLESS OTHERWISE NOTED.
2. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
3. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
4. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
5. ALL UTILITIES SHALL BE STUBBED TO LOT LINES.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES. ALL MANHOLE CASTINGS IN PAVEMENT SHALL BE THREE PIECE EXISTING. WATER SERVICES FROM THE WATER MAIN TO THE FUTURE WATER METER TO BE CONSTRUCTED PER WEST DES MOINES WATER WORKS SPECIFICATIONS.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WEST DES MOINES PLUMBING CODE.
8. 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY/STORM SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
12. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2006 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
13. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE UTILITIES.
14. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
15. WATERMAIN SOURCE IS WEST DES MOINES WATER WORKS AT CASCADE AVENUE AND S. 91ST STREET.

**WEST DES MOINES WATER WORKS NOTES**

1. ALL WATER WORK SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
2. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
4. CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSPECTIONS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND CITY'S CROSS-CONNECTION CONTROL/CONTAINMENT PROVISION.
6. WATER SERVICES FROM WATER TO THE FUTURE WATER METER SHALL BE CONSTRUCTED PER WEST DES MOINES WATER WORKS SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(S) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515)-222-3485) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
7. BUILDING FIRE SPRINKLER AND FIRE ALARM SYSTEM SHALL BE DESIGNED PER WEST DES MOINES FIRE CODE.
8. NEW PRESSURE TEST AND DISINFECTION OF PRIVATE WATER MAIN SHALL BE REQUIRED AND SHALL BE SCHEDULED WITH WDMWW ENGINEERING TECHNICIAN.
9. WATER PRESSURE IN AREA MAY EXCEED 80 PSI.

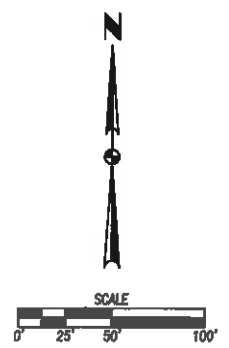
**NOTE:**

CONTRACTOR SHALL COORDINATE ALL TRANSFORMER PAD LOCATIONS, INCLUDING BUILDING SEPARATION, WITH MID AMERICAN ENERGY PRIOR TO TRANSFORMER PAD CONSTRUCTION.

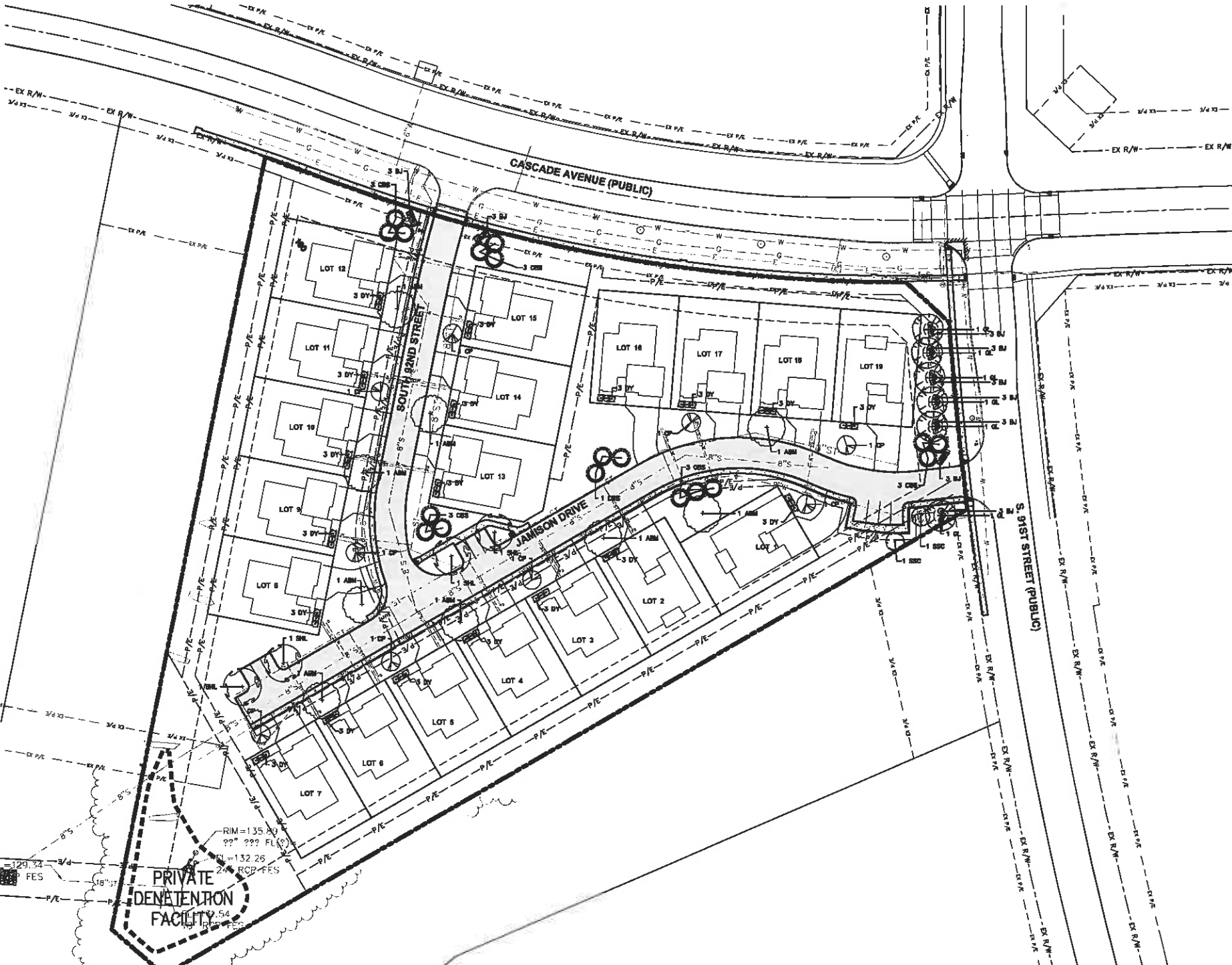
**PRIVATE WATER MAIN QUANTITIES**

1" WATER SERVICE	2 EA
RELOCATE FIRE HYDRANT ASSEMBLY	1 EA
VALVE BOX ADJUSTMENT	2 EA
SERVICE ABANDONMENT	1 EA

FILE: H:\PROJECTS\WOODLAND HILLS\WOODLAND HILLS\PLANS\PLAT 2\UTLTY.PLT  
 DATE PLOTTED: 4/21/2010 10:27 PM  
 PLOT DATE: 4/21/2010 10:27 PM  
 PLOT BY: J. WOODLAND



DATE		REVISIONS			
04/23/10		FOURTH SUBMITTAL	THIRD SUBMITTAL	SECOND SUBMITTAL	FIRST SUBMITTAL
<b>WOODLAND HILLS OF WEST DES MOINES</b> <b>PLAT 2</b> <b>UTILITY PLAN</b>					
<b>WOODLAND HILLS OF WEST DES MOINES</b> 3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410			ENGINEER: JAT TECH: ACJ		
 CIVIL DESIGN ADVANTAGE WEST DES MOINES, IOWA					
7/8 1411.585					



**LANDSCAPE NOTES**

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED ALL OTHER DISTURBED AREAS.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER(PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3". ALL GROUPS OF MORE THAN ONE SHRUB SHALL BE MULCHED IN A CONTINUOUS BED, SEPARATED FROM TURF BY A 3" SPADE-CUT EDGE. MULCH AROUND ALL CONIFEROUS TREES SHALL BE A 10' DIAMETER CIRCLE. ALL EDGING SHALL BE SPADE-CUT EDGE.
9. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
10. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER FOR APPROVAL.
14. NO OVERSTORY TREES SHALL BE PLANTED IN ANY CITY OF WEST DES MOINES PUBLIC UTILITY EASEMENT.

**SCREENING**

ALL MECHANICAL UNITS VISIBLE FROM A PUBLIC THOROUGHFARE SHALL BE SCREENED.

**PLANT SUBSTITUTIONS**

- (2) ORNAMENTAL TREES = (1) OVERSTORY TREE OR EVERGREEN
  - (10) SHRUBS = (1) UNDERSTORY TREE
- NO MORE THAN 50% OF THE REQUIRED PLANT TYPE MAY BE SUBSTITUTED.
- AT LEAST 35% OF TREES REQUIRED ON SITE (SUM OF OPEN SPACE, BUFFER AND PARKING LOT TREES) SHALL BE EVERGREEN.

**MINIMUM PLANT SIZES**

DECIDUOUS OVERSTORY TREES	= 2" CAL
DECIDUOUS OVERSTORY TREES (CLUMP)	= 1" CAL
EVERGREEN TREES	= 6' HEIGHT
ORNAMENTAL TREES	= 1.5" CAL
DECIDUOUS SHRUBS (5"+)	= 36" HEIGHT
DECIDUOUS SHRUBS (3"-5")	= 24" HEIGHT
DECIDUOUS SHRUBS (0-3")	= 15" HEIGHT

**OPEN SPACE LANDSCAPE REQUIREMENTS**

- (2) TREES PER 3000 SF OF REQUIRED OPEN SPACE
  - (3) SHRUBS PER 3000 SF OF REQUIRED OPEN SPACE
- |                     |                    |
|---------------------|--------------------|
| SITE AREA           | = 251,013 SF       |
| OPEN SPACE REQUIRED | = 62,776 SF (25%)  |
| OPEN SPACE PROVIDED | = 152,592 SF (61%) |
| TREES REQUIRED      | = 42               |
| TREES PROVIDED      | = 42               |
| SHRUBS REQUIRED     | = 63               |
| SHRUBS PROVIDED     | = 66               |
- 50% OF REQUIRED TREES SHALL BE OVERSTORY OR EVERGREEN VARIETY

**STREETSCAPE REQUIREMENTS**

- (1) TREE PER 35 LF OF STREETSCAPE
- (3) SHRUBS PER 35 LF OF STREETSCAPE

S. 91ST ST	= 184 LF
TREES REQUIRED	= 6
TREES PROVIDED	= 6
SHRUBS REQUIRED	= 18
SHRUBS PROVIDED	= 18

**PLANT SCHEDULE (S. 91ST STREETSCAPE)**

Broadleaf Deciduous				
Code Name	Common Name	Scientific Name	Planting Size	Quantity
GL	Greenspire Linden	Tilia cordata 'Greenspire'	B&B, 2" CAL	6
Unknown Category				
Code Name	Common Name	Scientific Name	Planting Size	Quantity
BJ	Buffalo Juniper	Juniperus sabina 'Buffalo'	CONT, 3 GAL	18

**PLANT SCHEDULE (OPEN SPACE)**

Broadleaf Deciduous				
Code Name	Common Name	Scientific Name	Planting Size	Quantity
ABM	Autumn Blaze Maple	Acer x freemanii 'Autumn Blaze'	B&B, 2" CAL	9
CP	Chanticleer Pear	Pyrus calleryana 'Chanticleer'	B&B, 1.5" CAL	9
SHL	Skyline Honey Locust	Gleditsia triacanthos var. inermis 'Skycole' (Skyline)	B&B, 2" CAL	4
SSC	Spring Snow Crabapple	Malus 'Spring Snow'	B&B, 1.5" CAL	2
Conifer Evergreen				
Code Name	Common Name	Scientific Name	Planting Size	Quantity
CBS	Colorado Blue Spruce	Picea pungens 'Glauca'	B&B, 6" HEIGHT	18
Shrub				
Code Name	Common Name	Scientific Name	Planting Size	Quantity
DY	Dense Yew	Taxus x media 'densiformis'	CONT, 3 GAL	57
BJ	Buffalo Juniper	Juniperus sabina 'Buffalo'	CONT, 3 GAL	9



FILE: H:\JULIA\HILLS\WOODLAND HILLS\LANDSCAPE\PLANTING\PLANTING.PLT  
 DATE: 07/27/2011 10:27 AM  
 DRAWN BY: JAC  
 CHECKED BY: JAC

DATE		REVISIONS		FOURTH SUBMITTAL		THIRD SUBMITTAL		SECOND SUBMITTAL		FIRST SUBMITTAL	
<b>WOODLAND HILLS OF WEST DES MOINES</b> <b>PLAT 2</b> <b>LANDSCAPING PLAN</b>											
CIVIL DESIGN ADVANTAGE WEST DES MOINES, IOWA											
3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410 ENGINEER: JAT      TECH: ACJ											
1411.585											

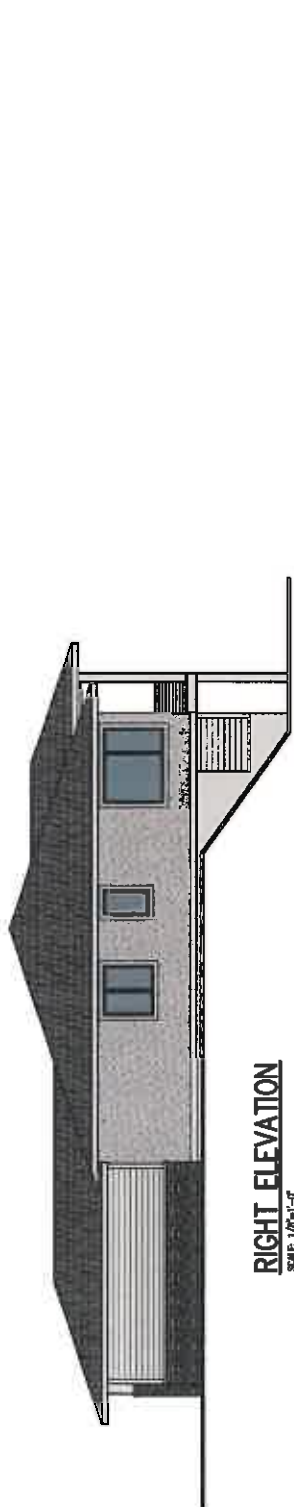
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 1817 WEST 10TH AVENUE, SUITE 200  
 DES MOINES, IA 50319  
 515.281.1111

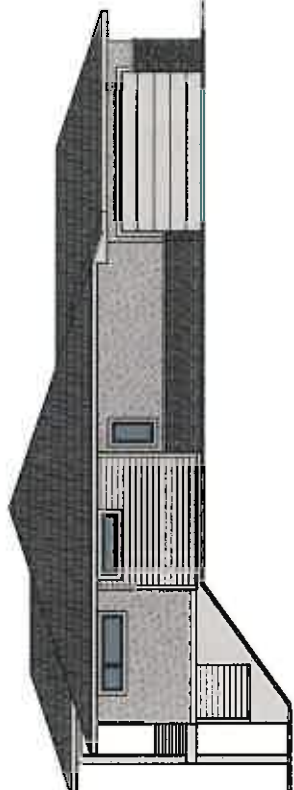
1685 Plan  
 Elevation A - 3 Car Garage  
 Woodland Hills TH - West Des Moines, IA.

Project No. =	
Date =	
Drawn Up - JH/SH	
Reviewed -	
Sheet Title	
EXTERIOR ELEVATIONS	
Sheet No.:	3.1

Review Set - Not For Construction 04.22.15



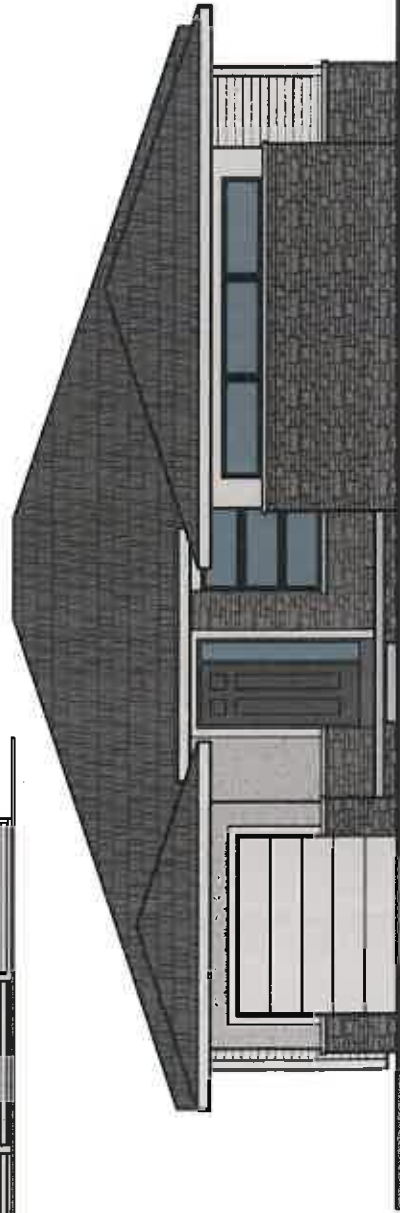
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 SCALE: 1/8"=1'-0"



**LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION**  
 SCALE: 1/8"=1'-0"

THE OWNER AND ARCHITECT HEREBY RELEASE ALLER DESIGN GROUP, LLC FROM LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY THE CONTRACTOR OR ANY SUBCONTRACTOR IN CONNECTION WITH THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS, SQUARE FOOTAGE AND VOLUMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SQUARE FOOTAGE AND VOLUMES IN THIS SET BEFORE PROCEEDING WITH CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE SAME.





**RIGHT ELEVATION**  
SCALE: 1/8"=1'-0"



**LEFT ELEVATION**  
SCALE: 1/8"=1'-0"



**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION**  
SCALE: 1/8"=1'-0"

THE USER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. ALLER DESIGN GROUP, LLC DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. ALLER DESIGN GROUP, LLC DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

Review Set - Not For Construction 04.22.15

Project No.:	1685
Date:	04/21/15
Drawn By:	JL/SJH
Revised:	
Sheet Title:	EXTERIOR ELEVATIONS
Sheet No.:	3.1

**1685 Plan**  
Elevation B - 3 Car Garage  
Woodland Hills TH - West Des Moines, IA.



**ALLER**  
design group  
8077 NW 54th Ave, Suite 200  
Des Moines, IA 50318  
515.281.1181

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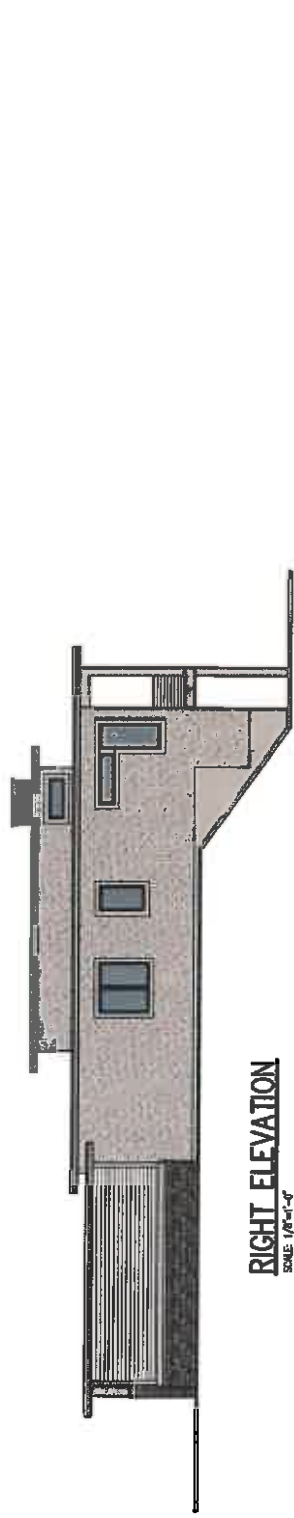
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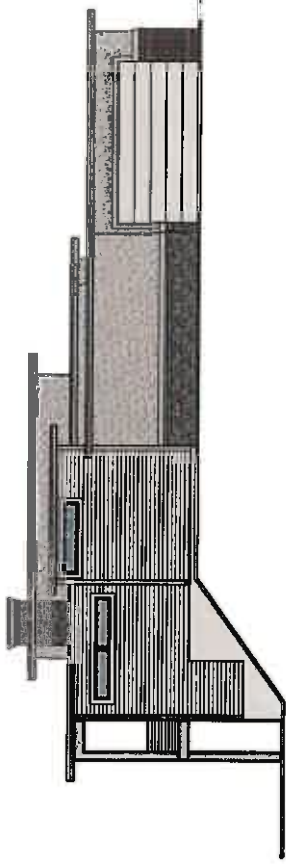
Woodland Hills TH - West Des Moines, IA  
 Elevation C - 3 Car Garage  
**1685 Plan**

Project No.	
Date	
Drawn By	JW/SB
Reviewed By	
Sheet Title	EXTERIOR ELEVATIONS
Sheet No.	3.1

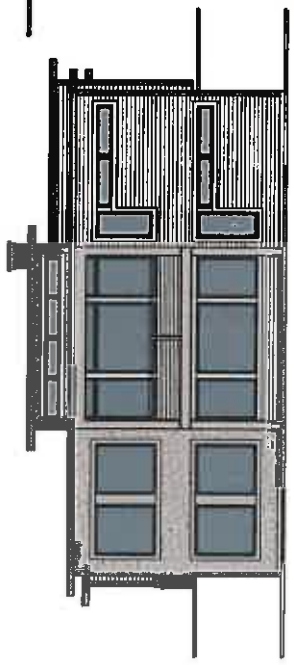
Review Set - Not For Construction 04.22.15



**RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT ELEVATION**  
 SCALE: 1/8"=1'-0"



**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION**  
 SCALE: 1/4"=1'-0"

THE OWNER AND ITS CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES PRIOR TO COMMENCING CONSTRUCTION OF THIS PROJECT. ALTER DESIGN GROUP, LLC IS NOT RESPONSIBLE FOR OBTAINING PERMITS AND APPROVALS. THE OWNER AND ITS CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION OF THIS PROJECT.

Prepared by: J. B. Munford of West Des Moines Development Services, P.O. Box 65320, West Des Moines, IA 50265-0320, 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

**RESOLUTION**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING A PRELIMINARY PLAT TO SUBDIVIDE THE PROPERTY INTO 19 POSTAGE STAMP LOTS AND 1 COMMON LOT AND APPROVE A SITE PLAN FOR THE CONSTRUCTION OF 19 DETACHED TOWNHOMES**

**WHEREAS**, pursuant to the provisions of Title 10, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Jerry Bussanmas, LLC, has requested approval of a Preliminary Plat (PP-002604-2015) for that approximately 5.76 acre site generally located at the southwest corner of Cascade Avenue and S. 91<sup>st</sup> Street and legally described below for the purpose subdividing the property into 19 postage stamp lots and one outlot for common use and storm water detention;

**WHEREAS**, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Jerry Bussanmas, LLC, has requested approval of a Site Plan (SP-002605-2015) for that approximately 5.76 acre site generally located at the southwest corner of Cascade Avenue and S. 91<sup>st</sup> Street to allow the construction of 19 lot detached townhomes and associated site improvements;

**Legal Description of Property**

Outlot 'H', Corrected Michael's Landing Plat 1, being an official plat of the City of West Des Moines, Dallas County, Iowa and containing 5.76 acres (251,103 s.f.).

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, on April 27, 2015, the Plan and Zoning Commission did recommend to the City Council approval of the Preliminary Plat and site plan for Woodland Hills of West Des Moines Plat 2 (PP-002604-0215 and SP-002605-2015);

**WHEREAS**, on, May 4, 2015, this City Council held a duly-noticed meeting to consider the application for Preliminary Plat and site plan for Woodland Hills of West Des Moines Plat 2 (PP-002604-0215 and SP-002605-2015);

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

**SECTION 1.** The findings, for approval, stated in the staff report, dated May 4, 2015, or as amended orally at the

City Council meeting of May 4, 2015, are adopted.

**SECTION 2.** Woodland Hills of West Des Moines Plat 2 (PP-002604-0215) Preliminary Plat and Site Plan and (SP-002605-2015) is approved, subject to compliance with all the conditions in the staff report, dated May 4, 2015, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

**PASSED AND ADOPTED** on May 4, 2015.

---

Steve Gaer  
Mayor

ATTEST:

---

Ryan T. Jacobson  
City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on May 4, 2015, by the following vote:

ATTEST:

---

Ryan T. Jacobson  
City Clerk



**Exhibit A**  
**Conditions of Approval**

- 1) The applicant acknowledging that there shall be consistency in architectural style and compatibility in materials and colors between all homes. At the time of Building Permit submittal, should a home design be determined by staff to be is inconsistent to the approved images provided with this site plan, staff approval of a Level 1 Minor Modification Permit Application will be necessary prior to the issuance of a building permit, including footing and foundation permit; and
  
- 2) A minimum of five feet (5') as measured from the lot line of the postage stamp lot to the closest element of the dwelling building, including roof overhangs, bump-outs, bay windows, etc. shall be provided.

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**Date: May 4, 2015**

**ITEM:** Aspire (Previously known as Roger's Farm East), South of Stagecoach Drive, East of Jordan Creek Parkway, West of S. 68<sup>th</sup> Street – Approval of a site plan to construct a 222 unit townhome development – Aspire Residential, LLC (SP-002589-2015)

**RESOLUTION: Approval of Site Plan**

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** The applicant, Aspire Residential, LLC, represented by Josh Trygstad of Civil Design Advantage, is requesting approval of a site plan for approximately 25.2 acres located South of Stagecoach Drive, East of Jordan Creek Parkway, and West of S. 68<sup>th</sup> Street. The applicant proposes the phased construction of 14 – 2-story dwelling buildings and 13 – 3-story dwelling buildings with a total of 222 attached townhomes. The developer is also implementing a clubhouse with pool feature adjacent to Stagecoach Drive within the site. Private roadways will provide access to the units. A public street leading to the intended City Park immediately to the south crosses through the property. The applicant is responsible for construction of the cul-de-sac that leads to the park as part of site development. The site plan for the park will be presented to the Plan and Zoning Commission and City Council as a separate item prepared by the Parks and Recreation Department.

**Plan and Zoning Commission Action:**

Vote: 7-0 approval

Date: April 27, 2015

Motion: Adopt a resolution recommending the City Council approve the Site Plan Request

**OUTSTANDING ISSUES:** There are no outstanding issues. The applicant has stated that they are in agreement with all of staff's recommendations and conditions. The following items of interest are noted in the attached Plan and Zoning Commission report (see Exhibit I):

- Applicant's Request
- History
- City Council Subcommittee - *Development & Planning, February 12, 2015*
- Staff Review and Comments
  - *Density*
  - *No Build Area*
  - *Building Design*
  - *Right of Way Vacation*
  - *Building Addressing and Phased Construction*
  - *Park Access Road*
  - *Park Design*
- Comprehensive Plan Consistency
- Findings
- Staff Recommendations and Conditions of Approval
- Owner/Applicant/Applicant Representative Information

**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, the Plan and Zoning Commission recommends the City Council approve a Site Plan to construct 222 townhomes and associated site improvements, subject to the applicant meeting all City Code requirements and the following conditions of approval:

1. The applicant acknowledging that appropriate access drives, acceptable to the Fire Marshal must be in place prior to issuance of building permits.
2. The applicant acknowledging that useable roadways necessary to access a dwelling building, as determined by the Fire Marshal, will need to be available prior to issuance of any occupancy permits within the building, including temporary occupancy permits.
3. The applicant acknowledging that if future phases are not constructed, or not constructed in a timely fashion, the assigned building numbering may need to be adjusted. Said adjustments may affect buildings already occupied which will result in address changes for the residents.
4. The applicant agreeing that they will continue to work with staff on the design of the visible end elevation of the 3-story buildings to address the building mass of the end units.
5. The City Council approving the associated drive turnout right-of-way vacation request and completion of the disposition of the property prior to the issuance of a building permit, including footing and foundation permits for any building located within the subject vacation areas.

Lead Staff Member: Brian Portz

**Staff Reviews:**

Department Director	<i>UA</i>
Appropriations/Finance	<i>UA</i>
Legal	<i>UA</i>
Agenda Acceptance	<i>RTJ</i>

**PUBLICATION(S) (if applicable)**

Published In	not required
Date(s) Published	
Letter sent to surrounding property owners	

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Development & Planning		
Date Reviewed	2/12/2015		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Exhibit I - Plan and Zoning Commission Communication
  - Attachment A - Commission Resolution
  - Exhibit A - Conditions of Approval
  - Attachment B - Location Map
  - Attachment C - Building Elevation Plans
  - Attachment D - Colored Building Elevations
  - Attachment E - Building Design Type Locations
  - Attachment F - Site Plans
- Exhibit II - Commission Memo from Pheasant Ridge Association
- Exhibit III - City Council Resolution
  - Exhibit A - Conditions of Approval

**CITY OF WEST DES MOINES  
PLAN AND ZONING COMMISSION COMMUNICATION**

**Meeting Date:** April 27, 2015

**Item:** Aspire (Previously known as Roger's Farm East), South of Stagecoach Drive, East of Jordan Creek Parkway, West of S. 68<sup>th</sup> Street – Approval of a site plan to construct a 222 unit townhome development – Aspire Residential, LLC (SP-002589-2015)

**Requested Action:** Approval of Site Plan

**Case Advisor:** Brian S. Portz, AICP *BP*

**Applicant's Request:** The applicant, Aspire Residential, LLC, represented by Josh Trygstad of Civil Design Advantage, is requesting approval of a site plan for approximately 25.2 acres located South of Stagecoach Drive, East of Jordan Creek Parkway, West of S. 68<sup>th</sup> Street. The applicant proposes the phased construction of 222 attached townhomes on the site with private roadways to provide access to the units. A public street leading to the intended City park immediately to the south crosses through the property. The applicant is responsible for construction of the cul-de-sac as part of site development. The proposal includes 13 – 3-story dwelling buildings, 14 – 3-story dwelling buildings and a clubhouse.

**History:** The property is undeveloped. In 2013, a Comprehensive Plan Amendment was approved for this property which changed the land use north of the power line which crosses this property to a Medium Density Residential (MD) land use. This portion of the property was consistency zoned to the Comprehensive Plan Land Use designated establishing RM-12 zoning. In September 2014, a Rezoning Request to establish a Planned Unit Development (PUD) for the subject property was approved. On April 20, 2015, the City Council approved a preliminary plat for the property to subdivide the property into 26 lots and 1 street lot.

**City Council Subcommittee:** The Aspire project was presented to Development and Planning Subcommittee for information at its February 12, 2015 meeting. There was no discussion.

**Staff Review and Comment:** This request was distributed to other City departments and other agencies for their review and comment. Staff would summarize the following key points of interest:

- **Density:** Per the PUD regulations for the Roger's Farm property, the two Medium Density parcels (Lot 1 and the subject property) shall not exceed 781 dwelling units. The subject property shall not exceed 12 dwelling units per acre for a maximum of 302 units. If less than 302 dwelling units are implemented, the difference of units up to 302 dwellings may be located within Lot 1; however, the total number of dwelling units within Lot 1 and the subject property collectively shall not exceed 781 dwelling units. The applicant is proposing 222 dwelling units on this property which is far below that allowed.
- **No Build Area:** As agreed to during the initial Comprehensive Plan Amendment and Rezoning for this property, the applicant will not be constructing any buildings within the first 150 feet adjacent to the the east property line. The existing berm will remain and will be extended further to the north with additional landscaping installed along the berm.
- **Building Design:** Staff worked extensively with the applicant on the design of the buildings to break up the mass of the proposed 2 and 3 story structures. Staff suggested that the applicant explore additional windows, changes to the building planes or use of materials, additional roof elements (dormers, etc.) to add interest and break up the roof line and implementation of appropriate trim to the building facades. The applicant did implement many of the items that were suggested; however, staff questions whether changes are warranted to the visible ends of the 3-story buildings to better break up the mass. Staff is recommending a Condition of

Approval that the applicant continue working with staff to evaluate the design of the end elevations to determine if additional changes are possible and appropriate.

- **Right-of-Way Vacation:** The applicant has submitted a request to vacate excess right-of-way at the driveway turnouts along Stagecoach drive. The vacation is being handled as a separate item of consideration before the Commission and Council. Staff recommends a condition of approval that requires the vacation to be approved by Council and the disposition of the property to the applicant to be completed prior to construction of any dwelling buildings which encroach into the area anticipated to be vacated.
- **Building Addressing and Phased Construction:** Addressing for this development consists of a site address in combination with building and unit numbers. Building numbers are typically assigned in a counter-clockwise fashion from an entry point. The Addressing Administration in conjunction with the Fire Marshal on behalf of the City's emergency response departments, have identified a numbering scheme that seems most logical given the possible circulation patterns of the site. The applicant has indicated that the project will be completed in four phases. If construction within a phase does not progress or subsequent phases are questionable whether they will be completed in a timely manner or at all, the assigned building numbering scheme of existing buildings may need to be adjusted, including dwellings that may already be occupied.
- **Park Access Road:** In conjunction with the replatting of the subject property, a public street which provides access to the proposed Public Park (Hidden Point Park) to the south will be provided. The roadway will be constructed in conjunction with development of the subject property.
- **Park Design:** Design of the Park will be addressed as a separate site plan submitted by the City's Park and Recreation Department. A concept has been created for the park but no formal plans have been developed to date.

**Comprehensive Plan Consistency:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**Findings:** This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.

6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

**Staff Recommendation And Conditions Of Approval:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Site Plan to construct 222 townhomes and associated site improvements, subject to the applicant meeting all City Code requirements and the following:

1. The applicant acknowledging that appropriate access drives, acceptable to the Fire Marshal must be in place prior to issuance of building permits.
2. The applicant acknowledging that useable roadways necessary to access a dwelling building as determined by the Fire Marshal will need to be available prior to issuance of any occupancy permits within the building, including temporary occupancy permits.
3. The applicant acknowledging that if future phases are not constructed, or not constructed in a timely fashion, the assigned building numbering may need to be adjusted. Said adjustments may affect buildings already occupied which will result in address changes for the residents.
4. The applicant agreeing that they will continue to work with staff on the design of the visible end elevation of the 3-story buildings to address the building mass of the end units.
5. The City Council approving the associated drive turnout right-of-way vacation request and completion of the disposition of the property prior to the issuance of a building permit, including footing and foundation permits for any building located within the subject vacation areas.

**Owner/Applicant:**

Aspire Residential, LLC  
12035 University Avenue, Suite 101  
Clive, IA 50325  
David Hansen  
[dave@signatureres.com](mailto:dave@signatureres.com)

**Applicant's Representative:**

Civil Design Advantage  
3405 SE Crossroads Drive, Suite G  
Grimes, IA 50111  
Josh Trygstad  
[josh@cda-eng.com](mailto:josh@cda-eng.com)

**Attachments:**

- Attachment A - Commission Resolution
- Exhibit A - Conditions of Approval
- Attachment B - Location Map
- Attachment C - Building Elevation Plans
- Attachment D - Colored Building Elevations
- Attachment E - Building Design Type Locations
- Attachment F - Site Plans

## RESOLUTION NO. PZC-15-024

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A SITE PLAN FOR RESIDENTIAL DEVELOPMENT**

**WHEREAS**, pursuant to the provisions of Title 10, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Aspire Residential, LLC, has requested approval for a Site Plan (SP-002589-2015) for phased construction of a 222 unit townhome development and associated site improvements on a 25.2 acre site located South of Stagecoach Drive, East of Jordan Creek Parkway, West of S. 68<sup>th</sup> Street/Galleria Drive;

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;


**WHEREAS**, on April 27, 2015, this Commission held a duly-noticed public meeting to consider the application for a Site Plan;

**NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**


**SECTION 1.** The findings, for approval, in the staff report or as amended orally at the Plan and Zoning Commission hearing are adopted.

**SECTION 2.** The Site Plan (SP-002589-2015) to construct a 222 unit townhome development, is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report including conditions added at the meeting, and attached hereto as Exhibit "A." Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on April 27, 2015.

  
 Craig Erickson, Chair  
 Plan and Zoning Commission

ATTEST:

  
 Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on April 27, 2015, by the following vote:


AYES: Andersen, Brown, Costa, Crowley, Erickson, Hatfield, Southworth

NAYS: -0-

ABSTENTIONS: -0-

ABSENT: -0-

ATTEST:

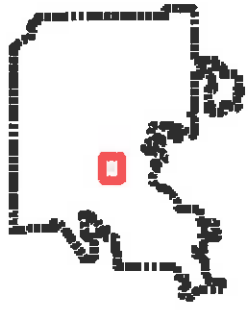
  
 Recording Secretary



**Exhibit A**  
**CONDITIONS OF APPROVAL**

1. The applicant acknowledging that appropriate access drives, acceptable to the Fire Marshal must be in place prior to issuance of building permits.
2. The applicant acknowledging that useable roadways necessary to access a dwelling building as determined by the Fire Marshal will need to be available prior to issuance of any occupancy permits within the building, including temporary occupancy permits.
3. The applicant acknowledging that if future phases are not constructed, or not constructed in a timely fashion, the assigned building numbering may need to be adjusted. Said adjustments may affect buildings already occupied which will result in address changes for the residents.
4. The applicant agreeing that they will continue to work with staff on the design of the visible end elevation of the 3-story buildings to address the building mass of the end units.
5. The City Council approving the associated drive turnout right-of-way vacation request and completion of the disposition of the property prior to the issuance of a building permit, including footing and foundation permits for any building located within the subject vacation areas.

# ATTACHMENT B



- Legend**
- Parcels
  - Parks
  - Greenways

## Aspire



1: 6,000

1,000.0 0 500.00 1,000.0 Feet

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

NAD\_1983\_StatePlane\_Iowa\_South\_FIPS\_1402\_Feet  
© City of West Des Moines, Iowa

# KEYNOTES LEGEND

- 1 Asphalt architectural shingle – weathered wood
- 2 Treated wood deck & railing
- 3 White vinyl fence to screen utilities from view
- 4 6" fascia wrap with metal – soffit to match trim color – almond or white
- 5 2 1/2" vinyl trim – almond or white
- 6 3 1/2" vinyl trim – almond or white
- 7 5" vinyl trim – almond or white
- 8 Vinyl shutter – almond or white
- 9 Stone sill & brick Soldier at head
- 10 Cultured stone veneer
- 11 6" tail Stone cap
- 12 Steel insulated garage door with windows – Sahara tan or gray
- 13 Brick king size
- 14 8" Square aluminum column – almond or white
- 15 12" Square aluminum column w/ trim at top & bottom – almond or white
- 16 3 1/2" Trex trim almond or white
- 17 5 1/2" Trex trim almond or white
- 18 4x4 Trex or vinyl covered bracket – almond or white
- 19 6x6 Trex or vinyl covered bracket – almond or white
- 20 Vinyl Shake siding
- 21 Vinyl siding triple 6" exposure
- 22 Vinyl single hung or fixed windows – almond or white
- 23 Vinyl railing – almond or white – solid back at entries to hide ac units above
- 24 Metal wrap structure & metal soffit – almond or white
- 25 Steel Front entry door – 2 styles & colors tbd
- 26 Stone head
- 27 Metal wrap head – almond or white



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WALK-OUT  
EXTERIOR  
ELEVATIONS

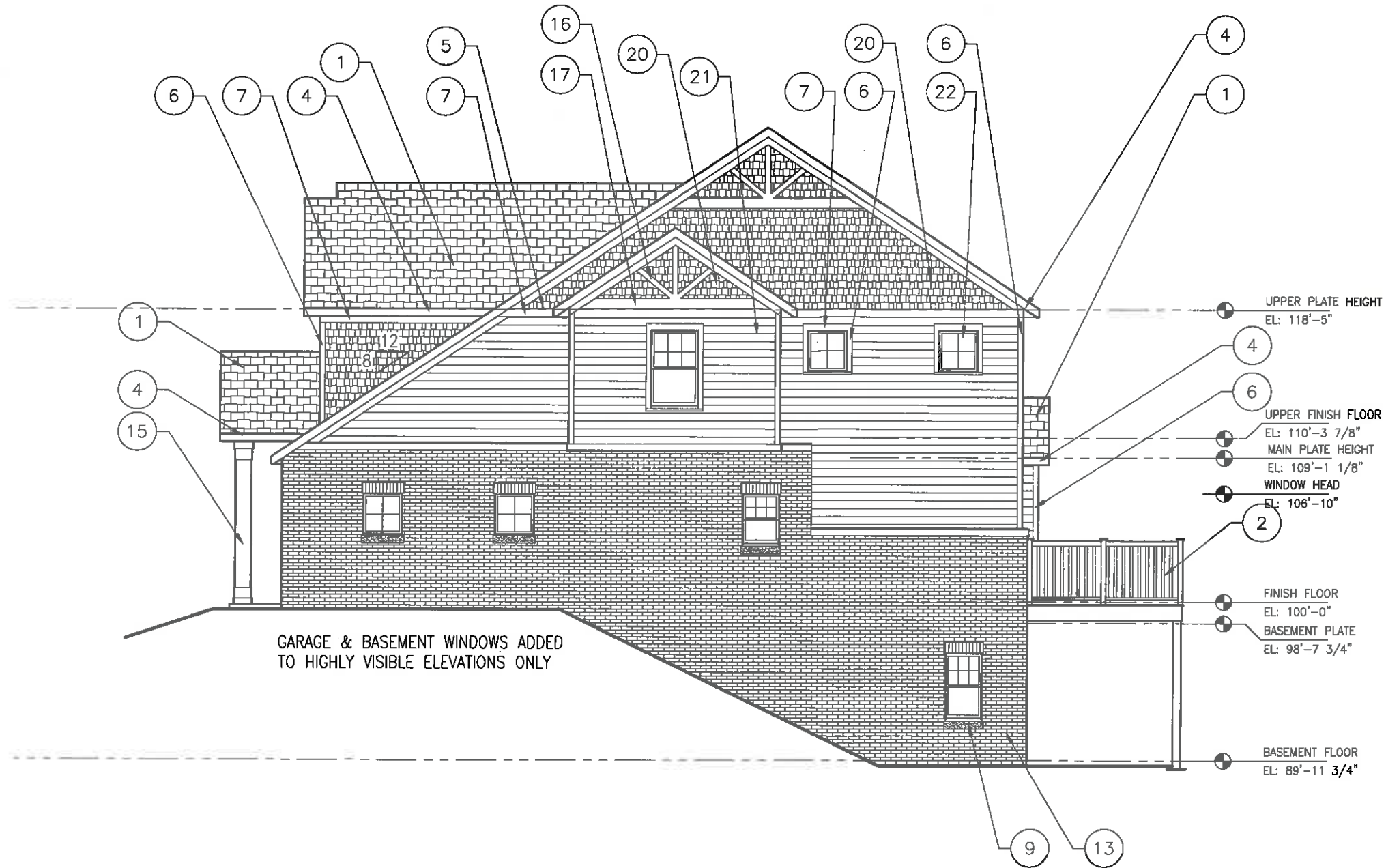
EL 1

## ASPIRE TOWNHOMES 2 STORY 4 UNIT WALK-OUT

WEST DES MOINES, IOWA 50265







NORTH ELEVATION

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WALK-OUT  
EXTERIOR  
ELEVATIONS

EL2

# ASPIRE TOWNHOMES 2 STORY 4 UNIT WALK-OUT

WEST DES MOINES, IOWA 50265





WEST ELEVATION

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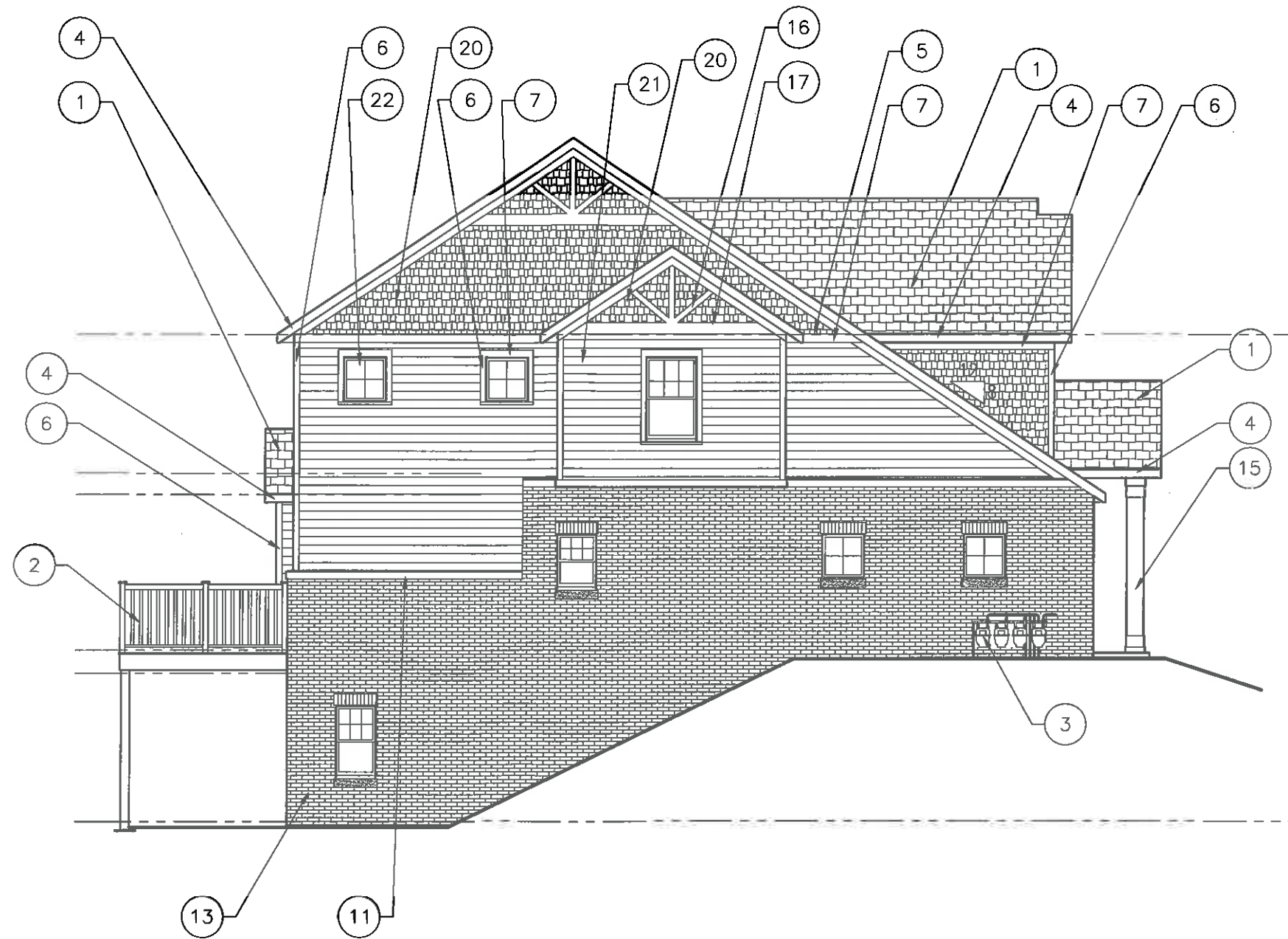
WALK-OUT  
EXTERIOR  
ELEVATIONS

EL3

# ASPIRE TOWNHOMES 2 STORY 4 UNIT WALK-OUT

WEST DES MOINES, IOWA 50265

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PLAN DESIGN BUILD



SOUTH ELEVATION

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WALK-OUT  
EXTERIOR  
ELEVATIONS

EL4

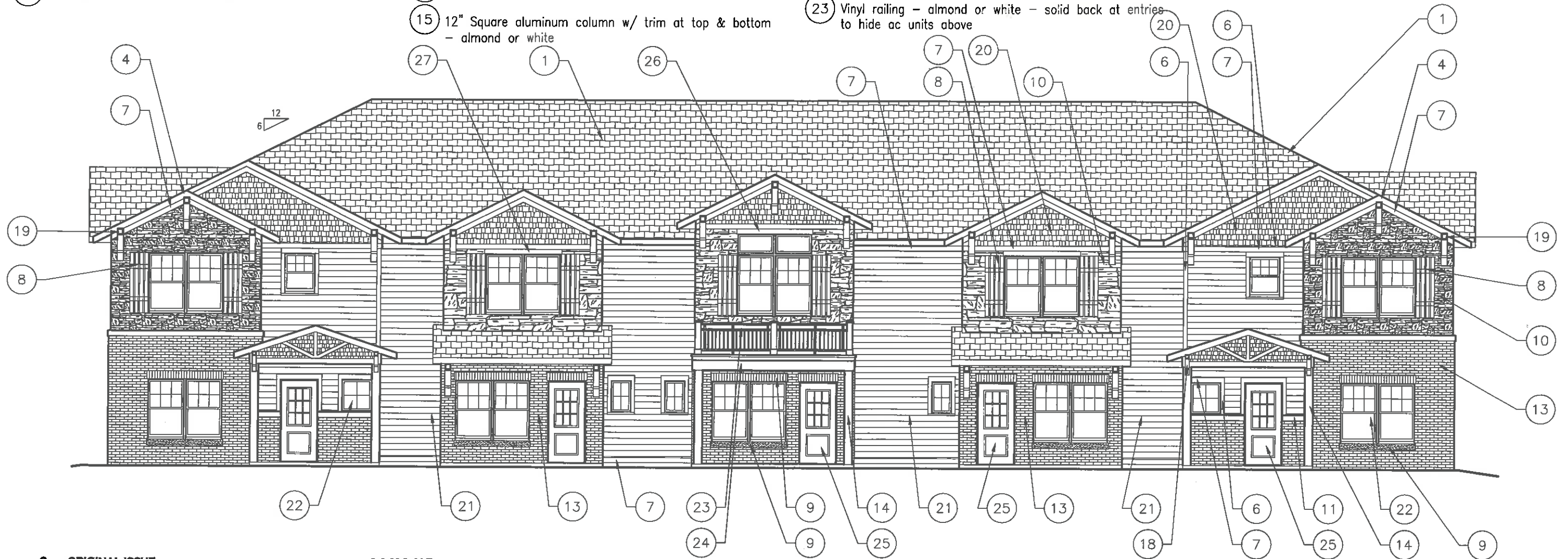
# ASPIRE TOWNHOMES 2 STORY 4 UNIT WALK-OUT

WEST DES MOINES, IOWA 50265

**ONSITESOLUTIONS**  
PLAN DESIGN BUILD

# KEYNOTES LEGEND

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EXTERIOR ELEVATIONS

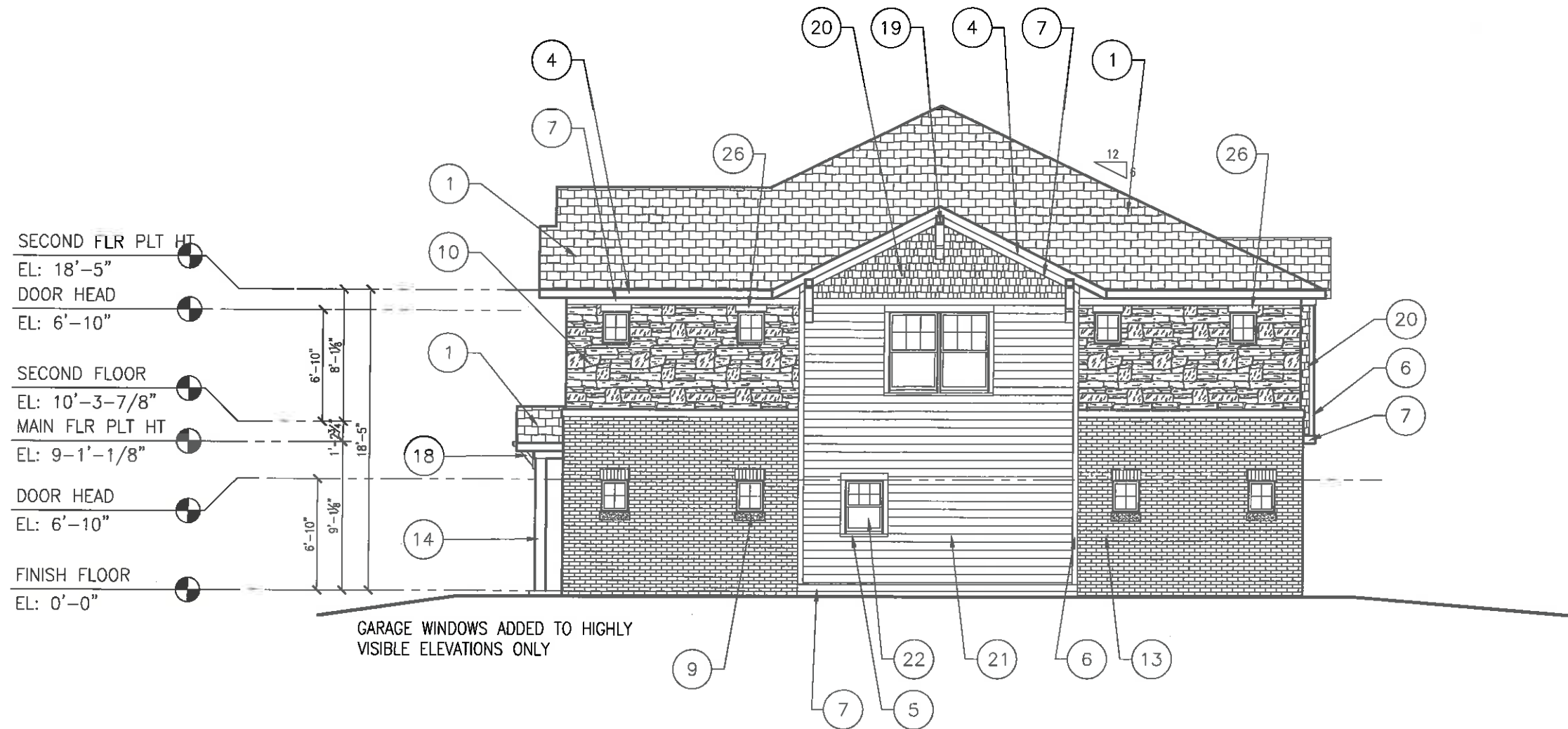
EL5

## ASPIRE TOWNHOMES 2 STORY 5 UNIT

WEST DES MOINES, IOWA 50265

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PLAN DESIGN BUILD





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EXTERIOR  
ELEVATIONS

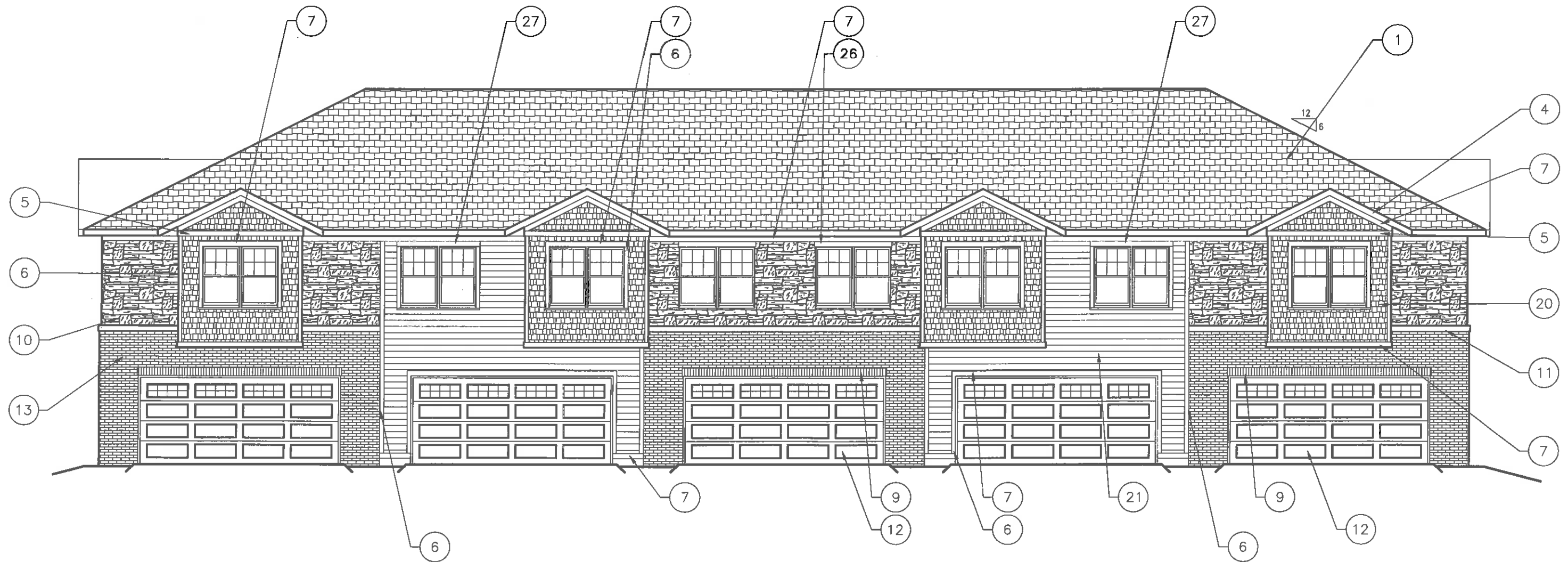
EL6

# ASPIRE TOWNHOMES

## 2 STORY 5 UNIT

WEST DES MOINES, IOWA 50265





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EXTERIOR  
ELEVATIONS

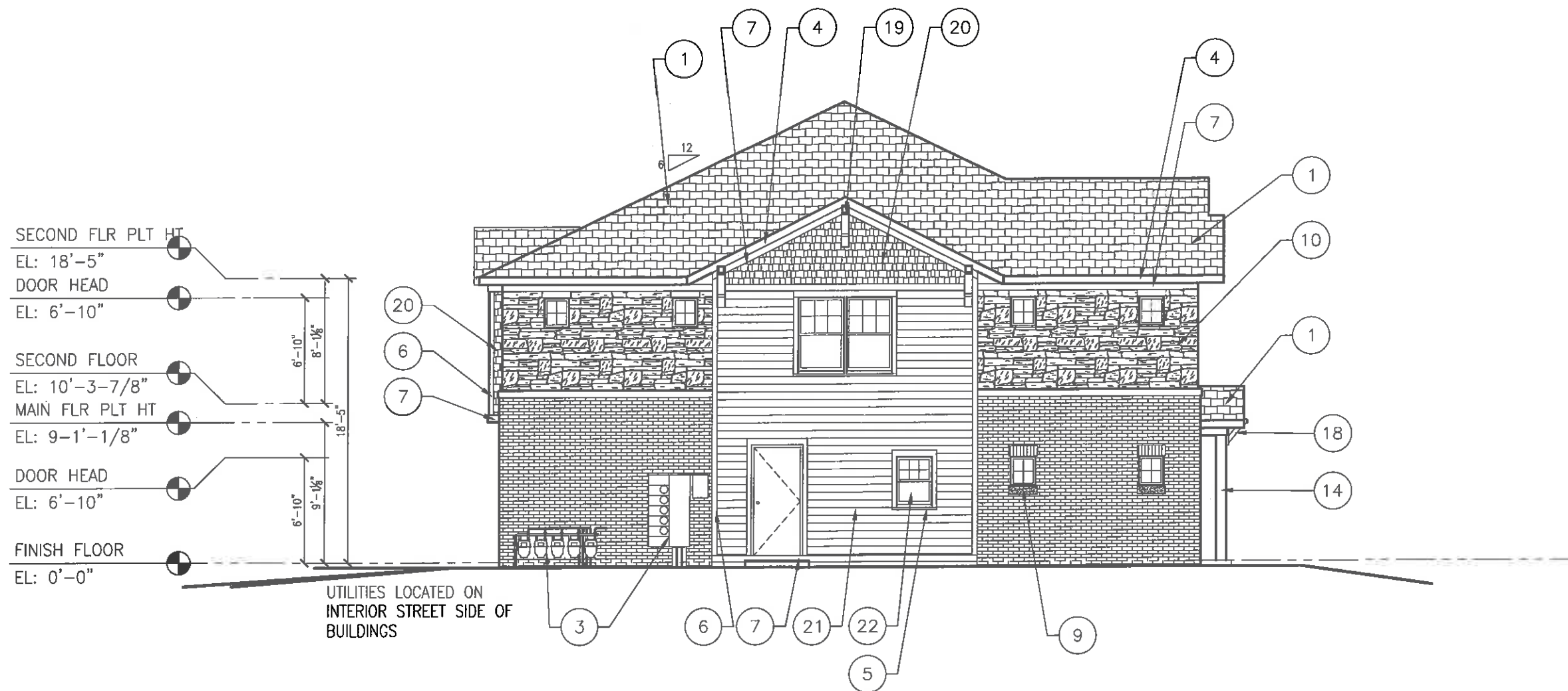
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# ASPIRE TOWNHOMES

## 2 STORY 5 UNIT

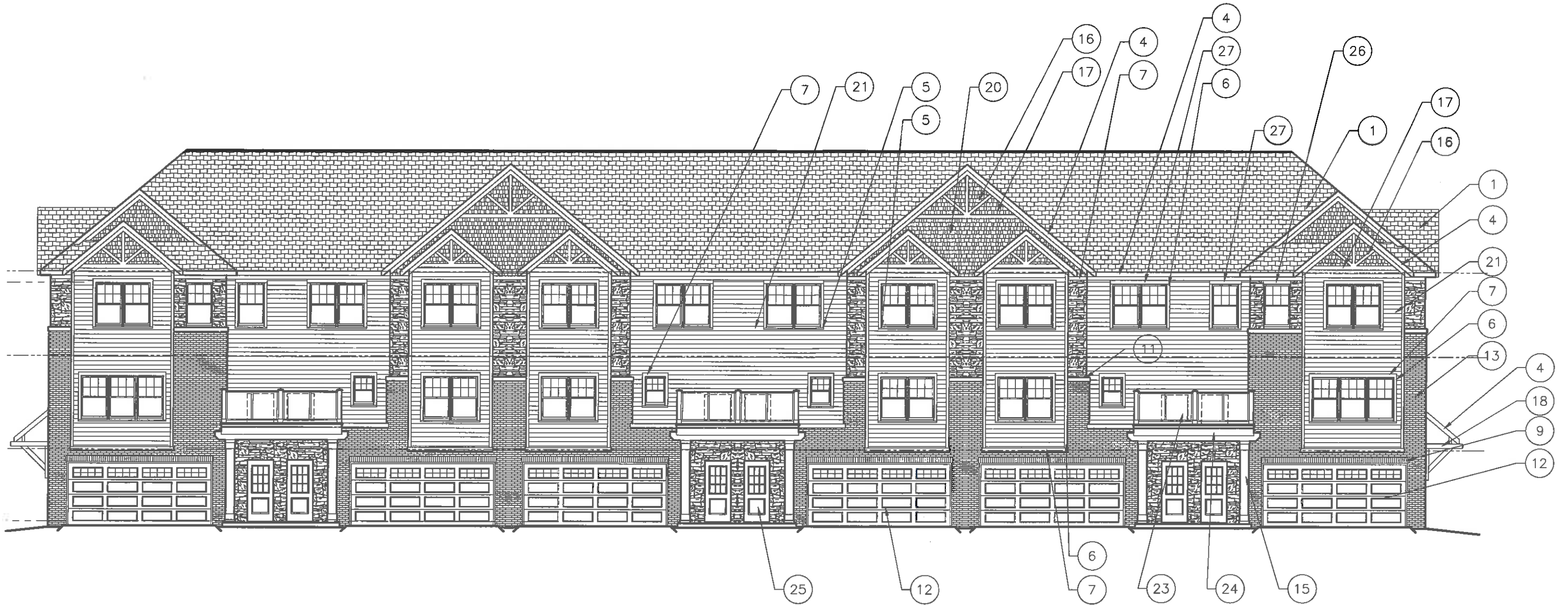
WEST DES MOINES, IOWA 50265

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# ASPIRE TOWNHOMES

## 2 STORY 5 UNIT



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EXTERIOR ELEVATIONS

EL9

# ASPIRE TOWNHOMES

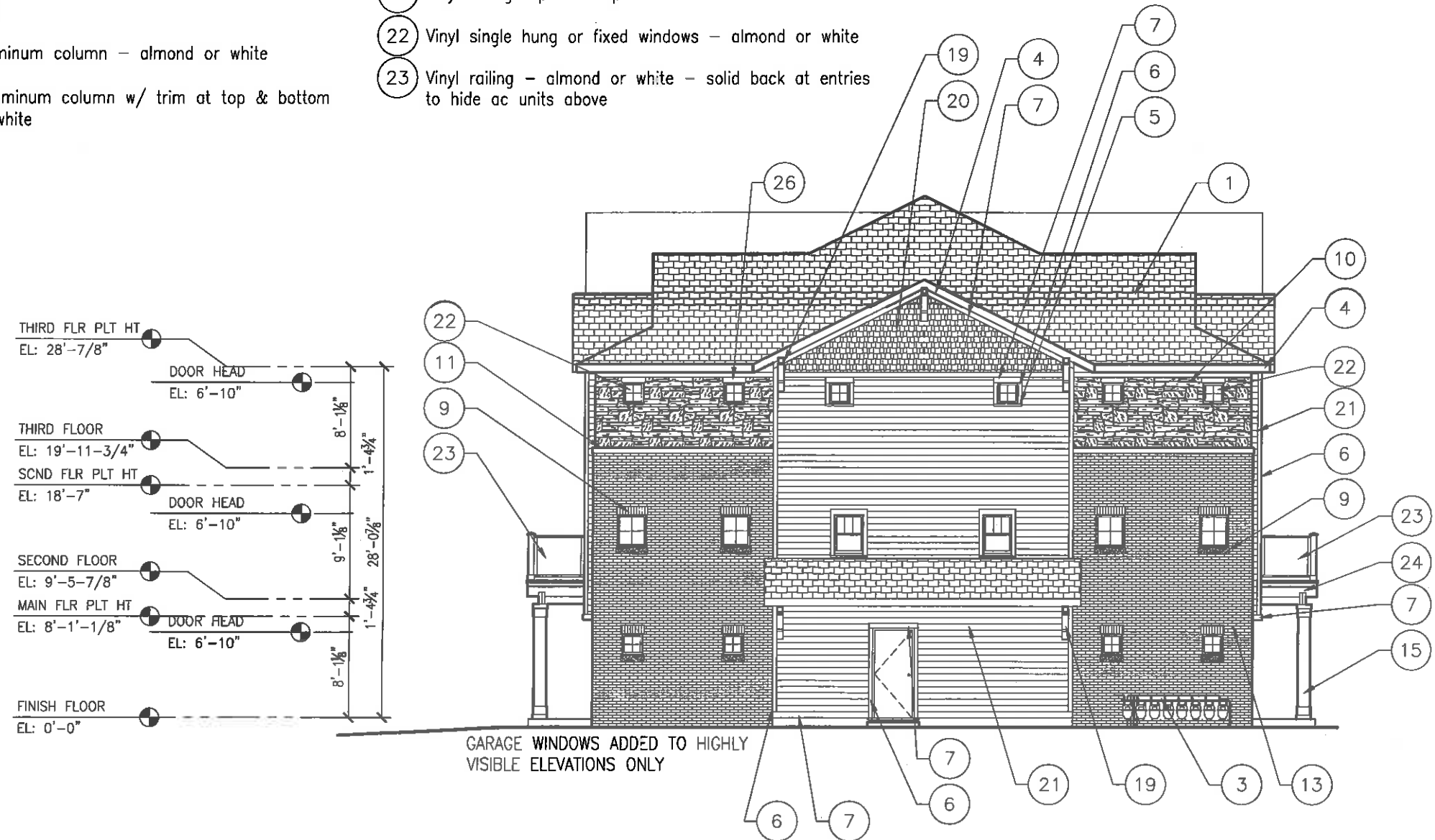
## 3 STORY 12 UNIT

WEST DES MOINES, IOWA 50265

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PLAN DESIGN BUILD

# KEYNOTES LEGEND

- 1 Asphalt architectural shingle – weathered wood
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- 24 Metal wrap structure & metal soffit – almond or white
- 25 Steel Front entry door – 2 styles & colors tbd
- 26 Stone head
- 27 Metal wrap head – almond or white



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EXTERIOR ELEVATIONS

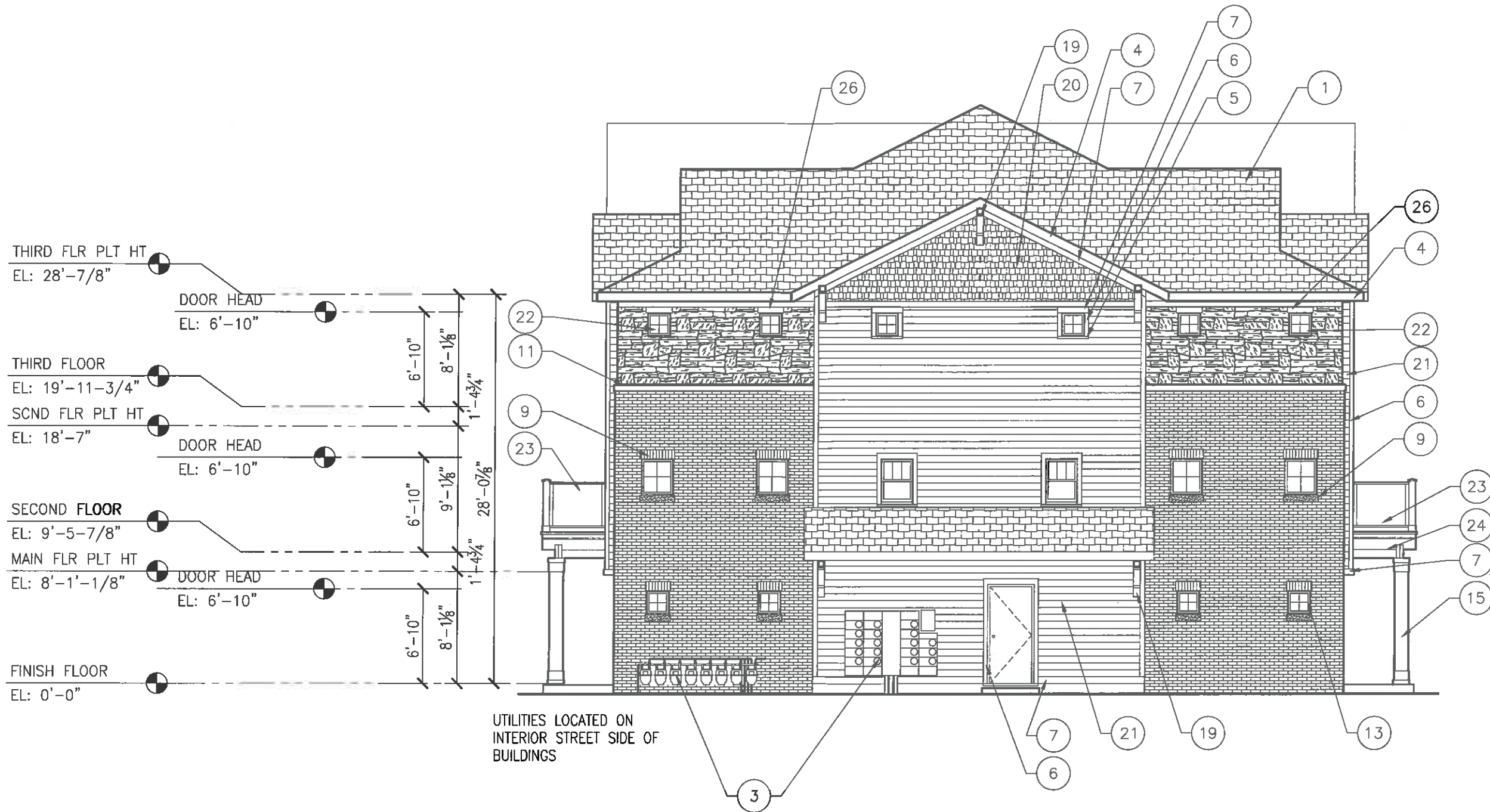
EL10

## ASPIRE TOWNHOMES 3 STORY 12 UNIT

WEST DES MOINES, IOWA 50265

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PLAN DESIGN BUILD





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EXTERIOR ELEVATIONS

# ASPIRE TOWNHOMES

## 3 STORY 12 UNIT



# EL 11

WEST DES MOINES, IOWA 50265



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EXTERIOR  
ELEVATIONS

**EL12**

# ASPIRE TOWNHOMES

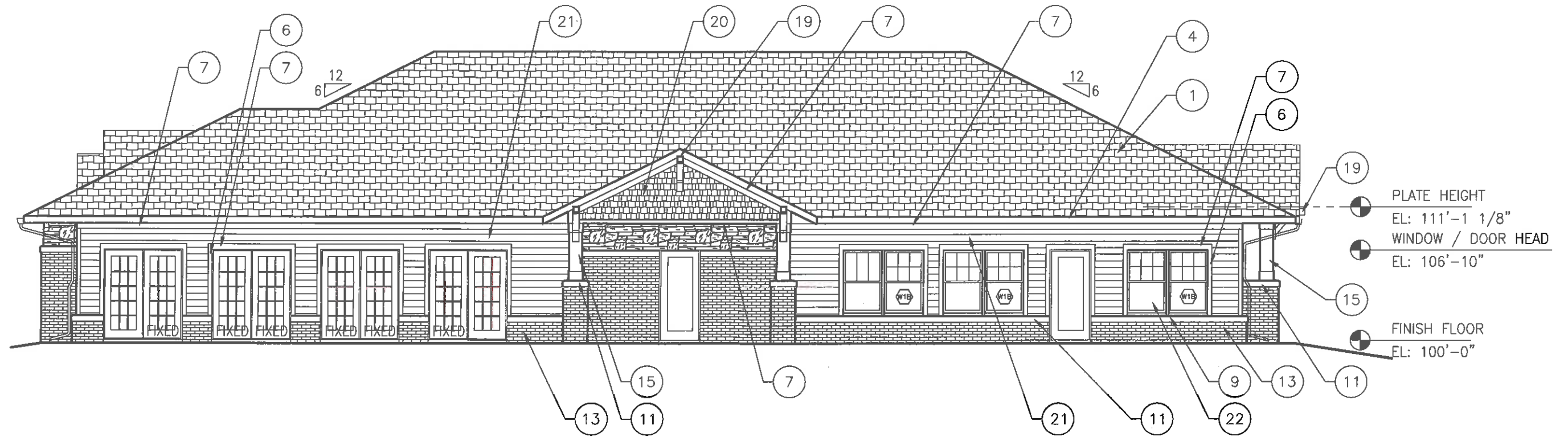
## 3 STORY 12 UNIT

WEST DES MOINES, IOWA 50265

**ONSITESOLUTIONS**  
PLAN DESIGN BUILD

# KEYNOTES LEGEND

- |  |   |   |  |
|--|---|---|--|
| 1 Asphalt architectural shingle – weathered wood                           | 8 Vinyl shutter – almond or white                                       | 16 3 1/2" Trex trim almond or white   | 24 Metal wrap structure & metal soffit – almond or white |
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| 7 5" vinyl trim – almond or white  | 14 8" Square aluminum column – almond or white                          | 22 Vinyl single hung or fixed windows – almond or white                           |  |
|  | 15 12" Square aluminum column w/ trim at top & bottom – almond or white | 23 Vinyl railing – almond or white – solid back at entries to hide ac units above |  |



SOUTH ELEVATION

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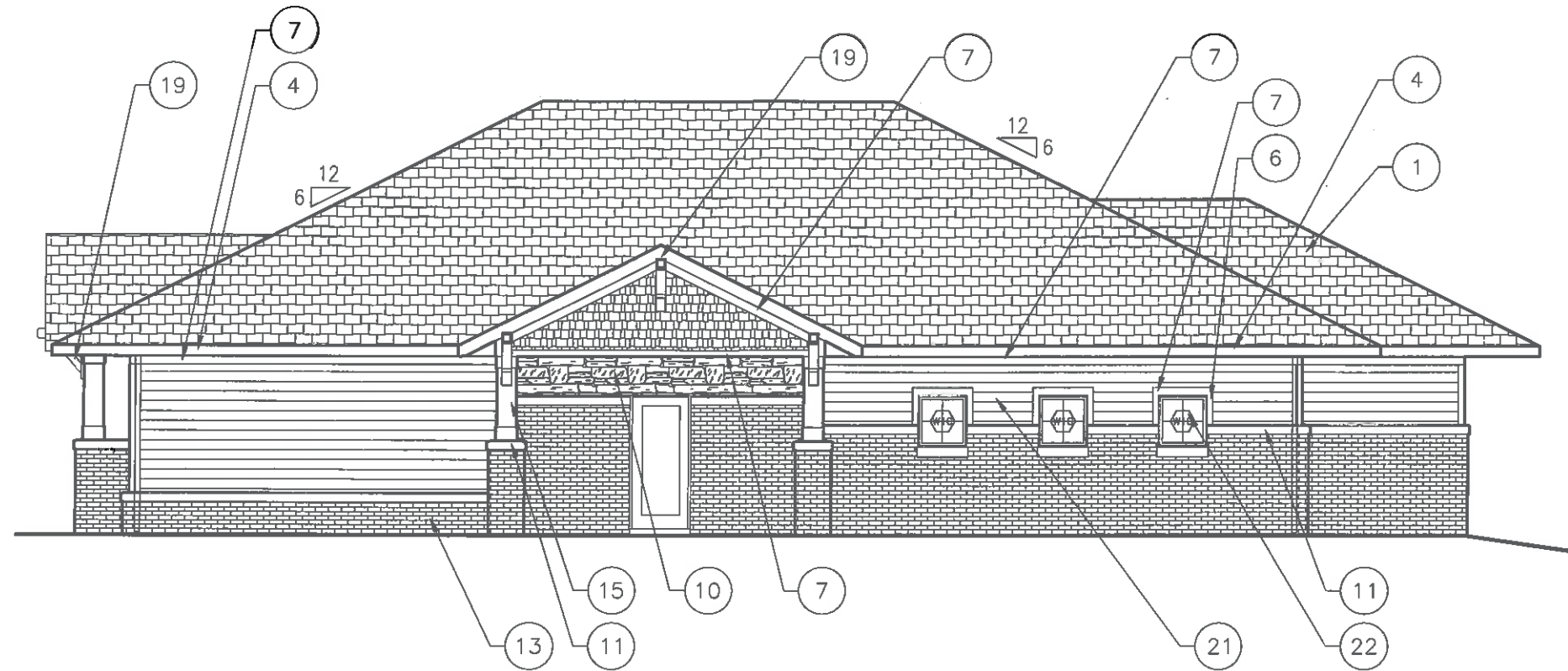
CLUB HOUSE  
EXTERIOR  
ELEVATIONS

EL13

## ASPIRE TOWNHOMES CLUB HOUSE

WHITE TRIM SCHEME  
WEST DES MOINES, IOWA 50265

**ONSITESOLUTIONS**  
PLAN DESIGN BUILD



EAST ELEVATION

0 ORIGINAL ISSUE

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CLUB HOUSE  
EXTERIOR  
ELEVATIONS

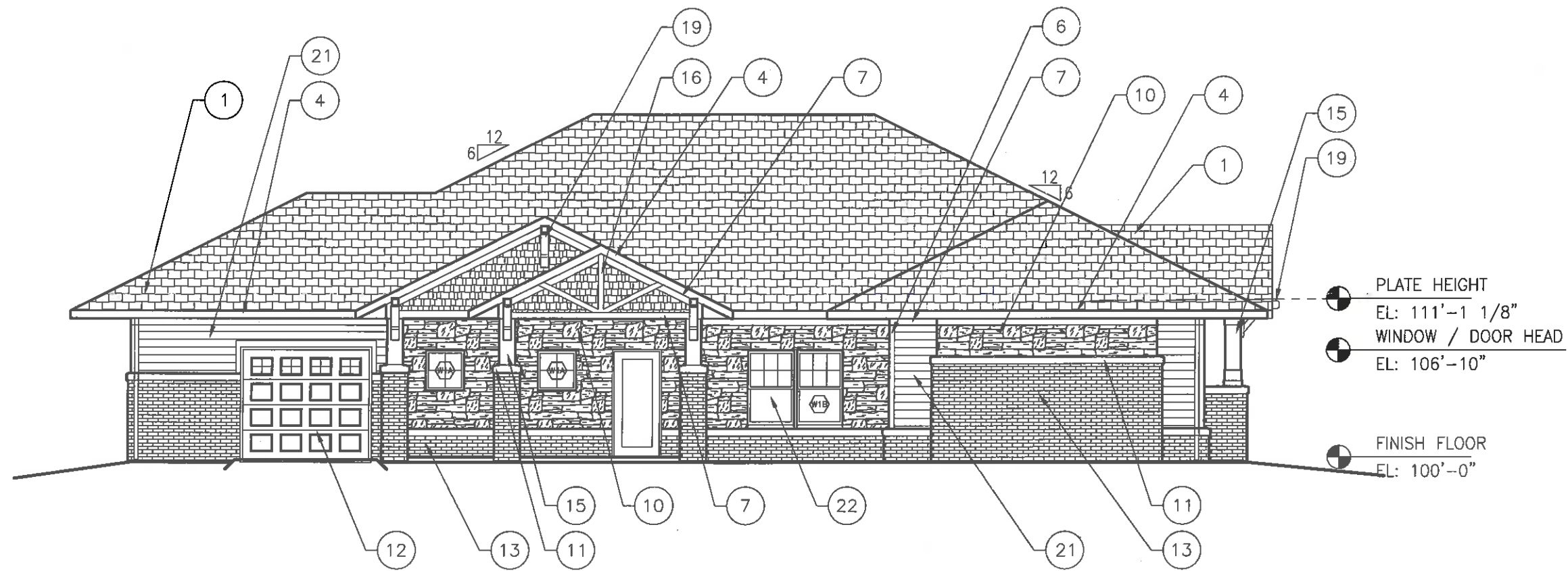
EL14

# ASPIRE TOWNHOMES CLUB HOUSE

WHITE TRIM SCHEME  
WEST DES MOINES, IOWA 50265

**ONSITESOLUTIONS**  
PLAN DESIGN BUILD





WEST ELEVATION

0 ORIGINAL ISSUE

04/22/15

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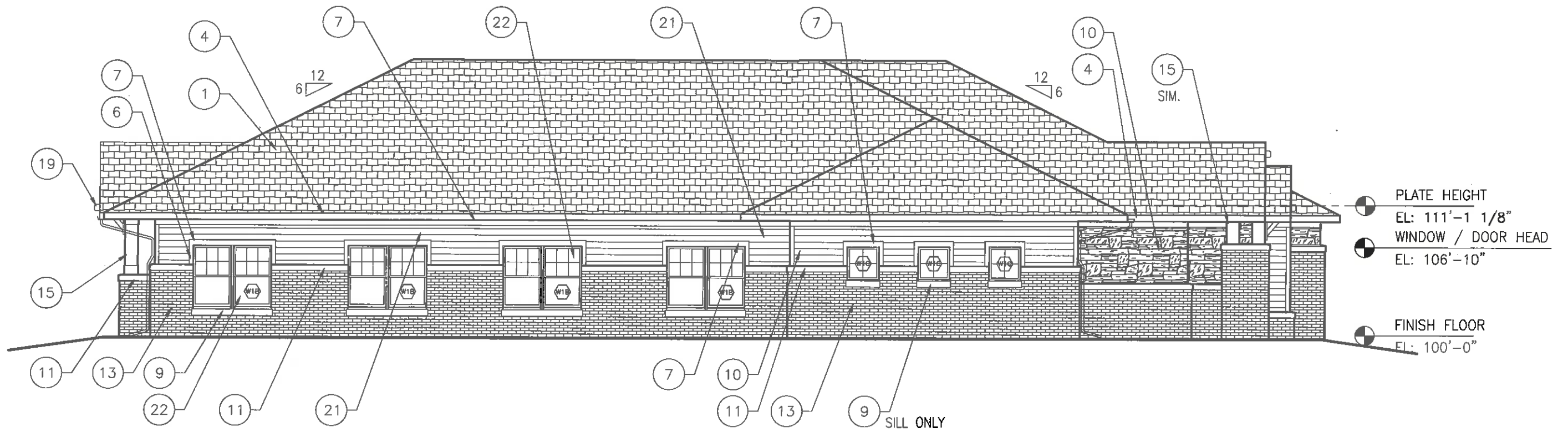
CLUB HOUSE  
EXTERIOR  
ELEVATIONS

EL15

# ASPIRE TOWNHOMES CLUB HOUSE

WHITE TRIM SCHEME  
WEST DES MOINES, IOWA 50265





NORTH ELEVATION

0 ORIGINAL ISSUE

04/22/15

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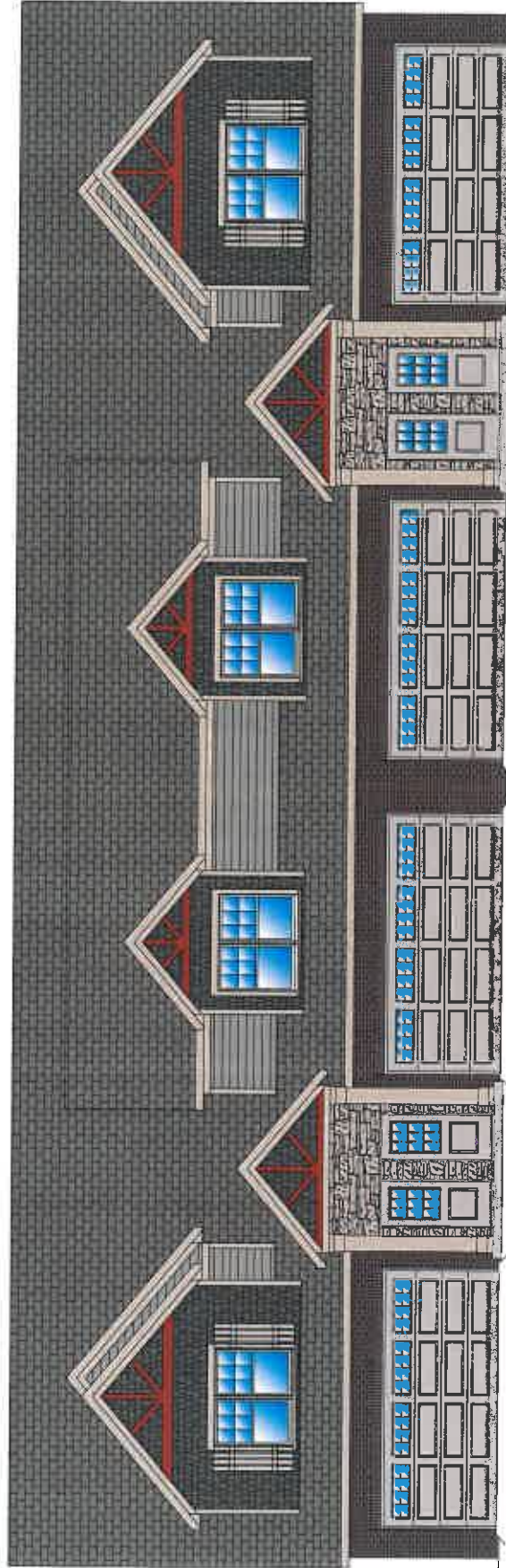
CLUB HOUSE  
EXTERIOR  
ELEVATIONS

**EL16**

# ASPIRE TOWNHOMES CLUB HOUSE

WHITE TRIM SCHEME  
WEST DES MOINES, IOWA 50265





East Elevation



**ONSITESOLUTIONS**

PLAN DESIGN BUILD  
4825 EP True Parkway Suite 102, West Des Moines, Iowa 502

# ASPIRE TOWNHOMES

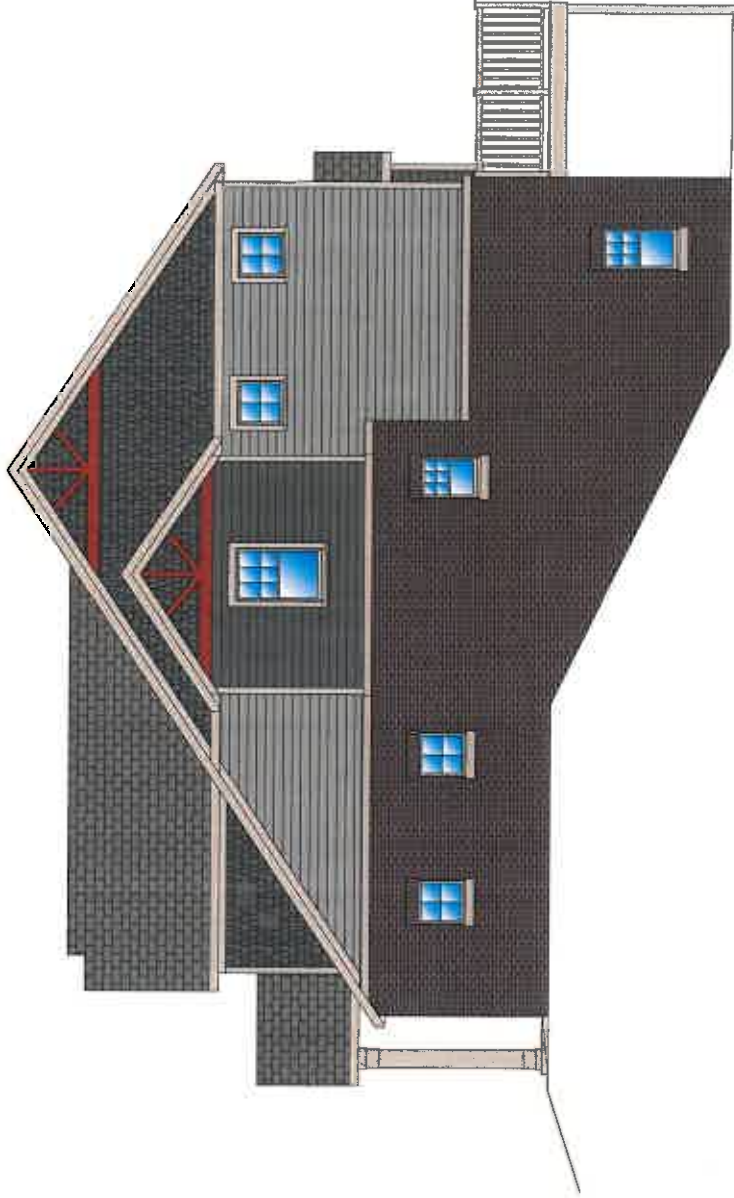
Walkout 4 plex  
West Des Moines, Iowa

0 ORIGINAL ISSUE 04/22/15

Beige Trim  
Scheme

B01

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0 ORIGINAL ISSUE

04/22/16

Beige Trim  
Scheme

B02

North Elevation



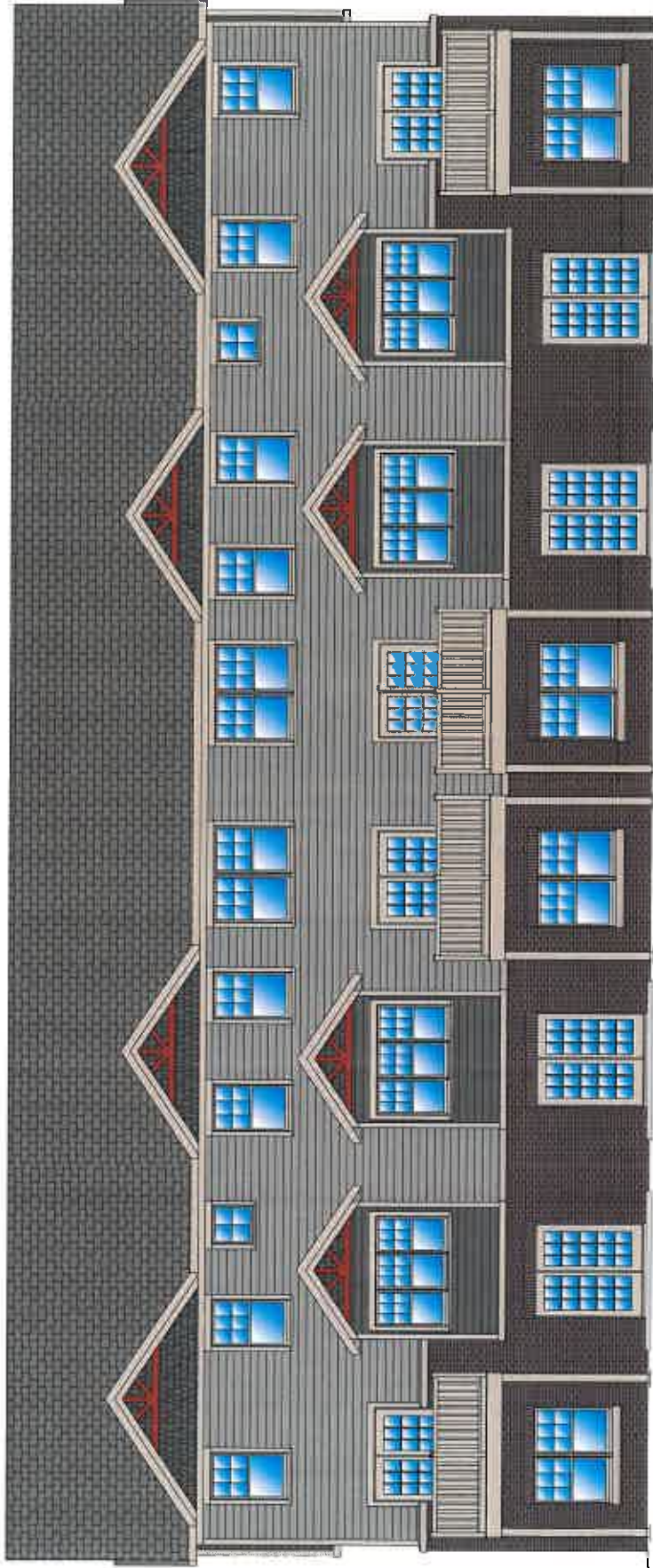
**ONSITESOLUTIONS**  
PLAN DESIGN BUILD

4825 EP Truss Parkway Suite 102, West Des Moines, Iowa 50265

# ASPIRE TOWNHOMES

Walkout 4 plex  
West Des Moines, Iowa





0 ORIGINAL ISSUE

04/22/15

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Beige Trim  
Scheme

B03

# ASPIRE TOWNHOMES

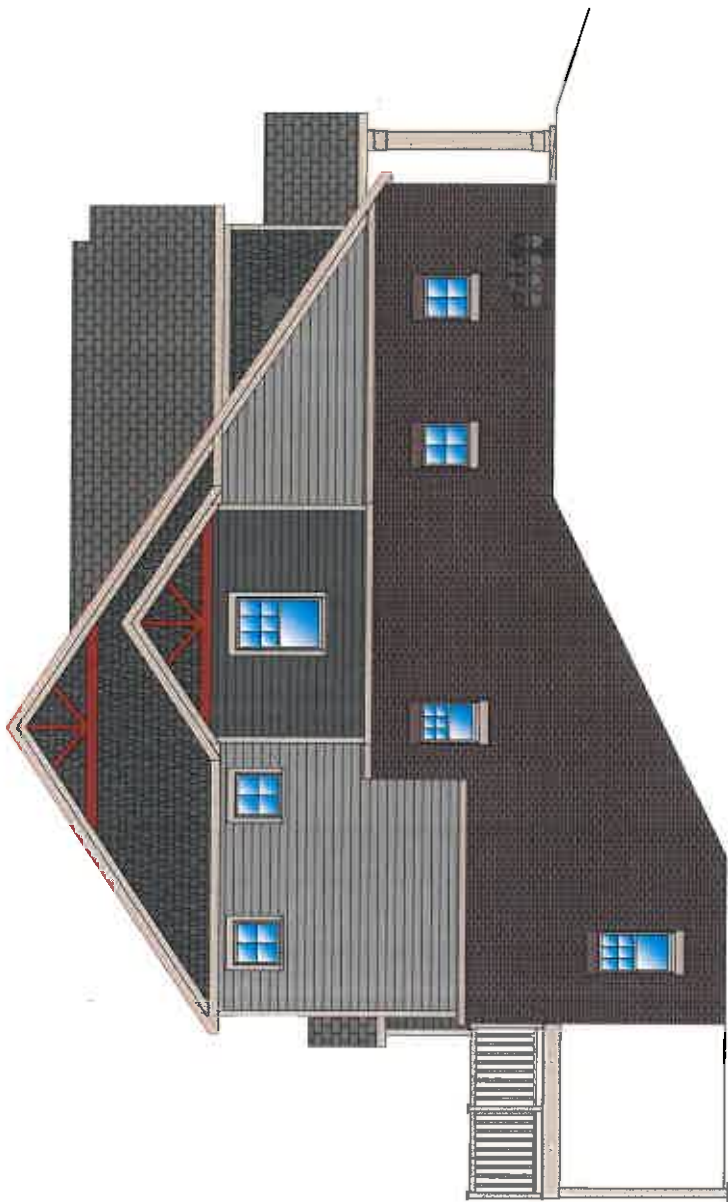
Walkout 4 plex  
West Des Moines, Iowa

West Elevation



**ONSITESOLUTIONS**  
PLAN DESIGN BUILD

4825 EP True Parkway Suite 102, West Des Moines, Iowa 50265



0 ORIGINAL ISSUE

04/22/15

Beige Trim  
Scheme

B04

South Elevation



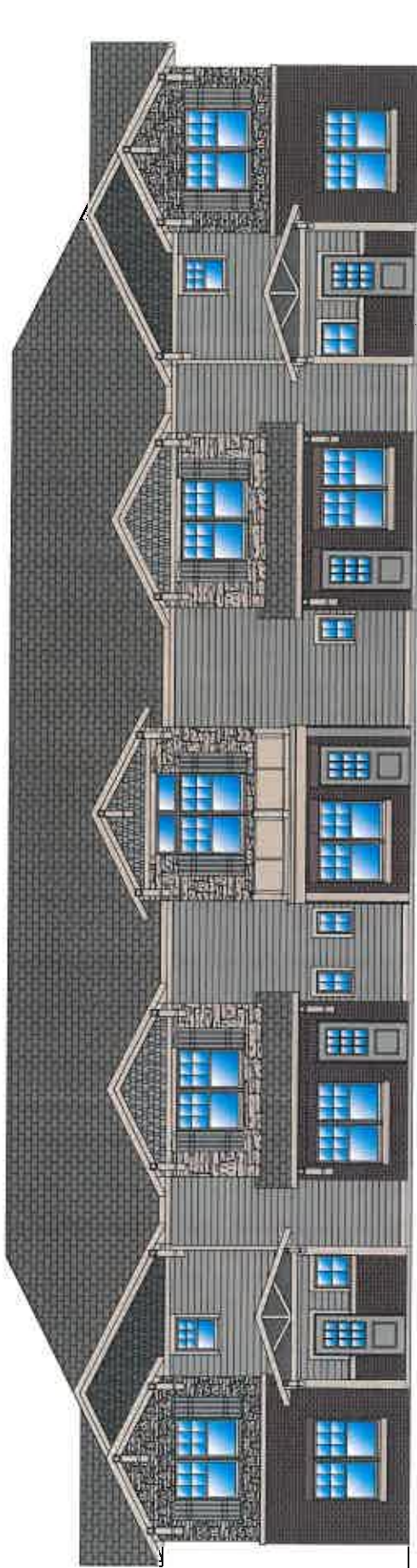
**ONSITESOLUTIONS**  
PLAN DESIGN BUILD

4825 EP True Parkway Suite 102, West Des Moines, Iowa 50265

# ASPIRE TOWNHOMES

Walkout 4 plex  
West Des Moines, Iowa

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Beige Trim  
Scheme

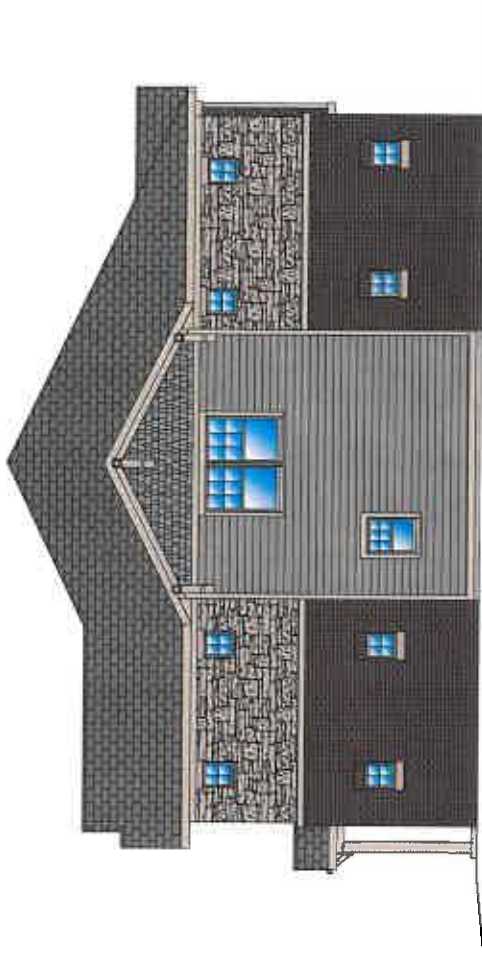
B05

# ASPIRE TOWNHOMES

2 Story 5 plex  
West Des Moines, Iowa



4825 EP The Parkway Suite 102, West Des Moines, Iowa 50265



0 ORIGINAL ISSUE

04/22/15

Beige Trim  
Scheme

B06

# ASPIRE TOWNHOMES

2 Story 5 plex  
West Des Moines, Iowa

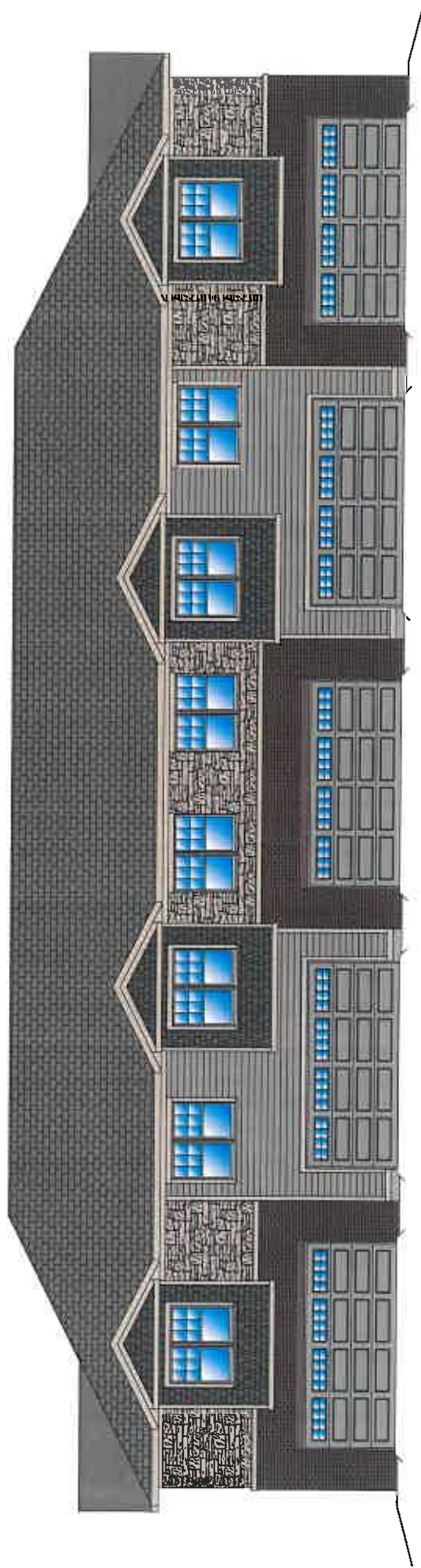


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0 ORIGINAL ISSUE

04/22/16

Beige Trim  
Scheme

B07

# ASPIRE TOWNHOMES

2 Story 5 plex  
West Des Moines, Iowa

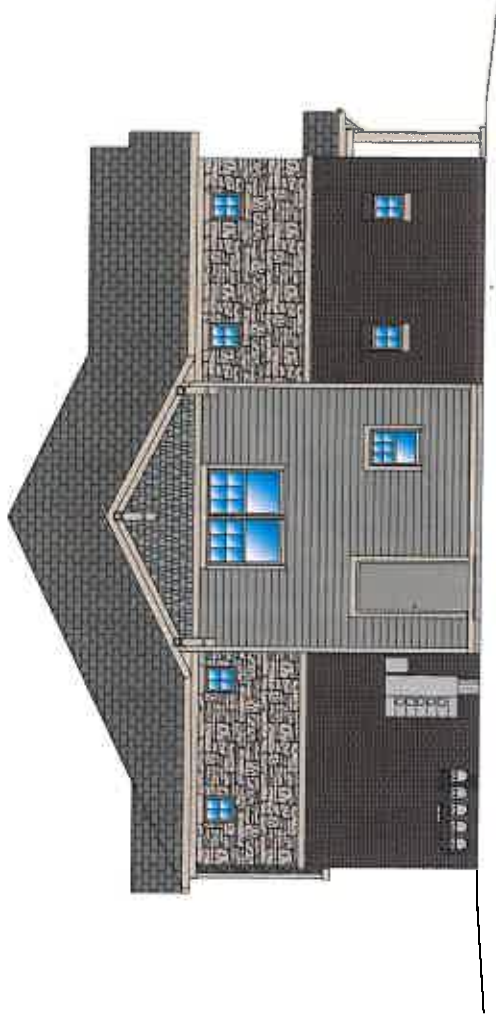


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0 ORIGINAL ISSUE

04/22/15

Beige Trim  
Scheme

B08

# ASPIRE TOWNHOMES

2 Story 5 plex  
West Des Moines, Iowa



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0 ORIGINAL ISSUE

04/22/15

Beige Trim  
Scheme

B09

# ASPIRE TOWNHOMES

3 Story 12 plex  
West Des Moines, Iowa



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PLAN DESIGN BUILD

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0 ORIGINAL ISSUE

04/22/15

Beige Trim  
Scheme

B10

# ASPIRE TOWNHOMES

3 Story 12 plex  
West Des Moines, Iowa



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4825 EP True Parkway Suite 102, West Des Moines, Iowa 50266



0 ORIGINAL ISSUE

04/22/15

Beige Trim  
Scheme

B11

# ASPIRE TOWNHOMES

3 Story 12 plex  
West Des Moines, Iowa

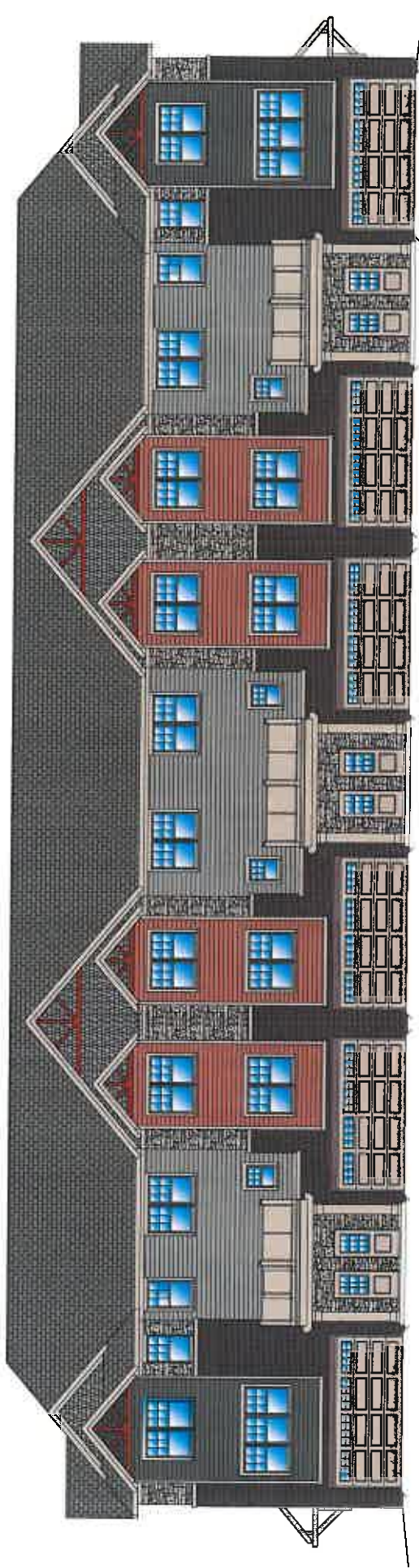


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0 ORIGINAL ISSUE

04/22/16

Beige Trim  
Scheme

B12

# ASPIRE TOWNHOMES

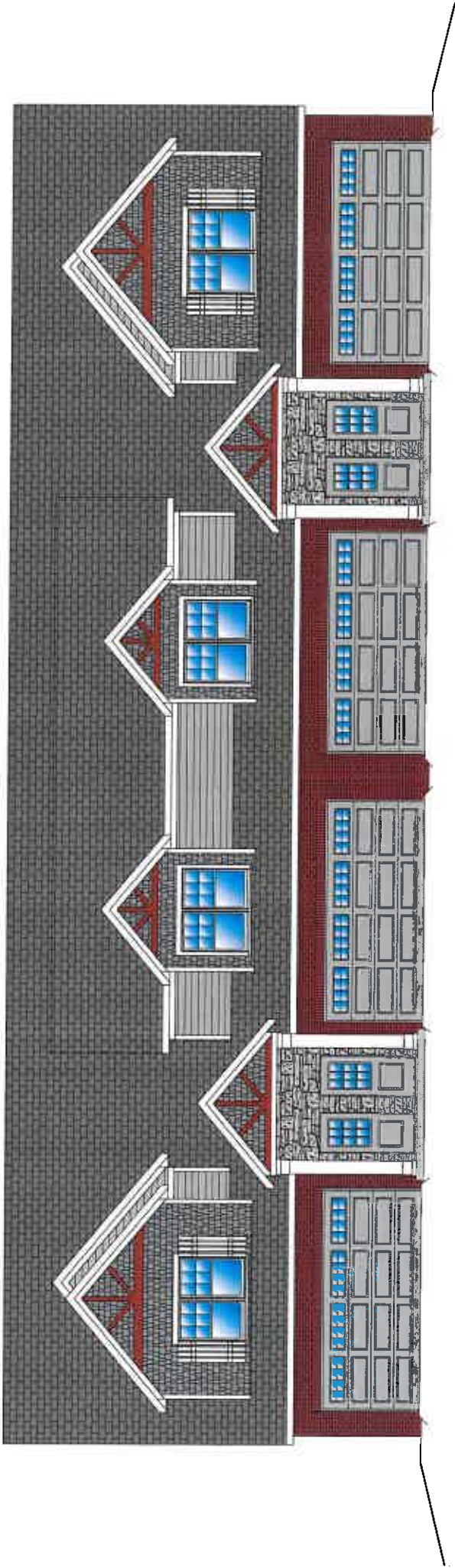
3 Story 12 plex  
West Des Moines, Iowa



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White Trim  
Scheme

W01

East Elevation

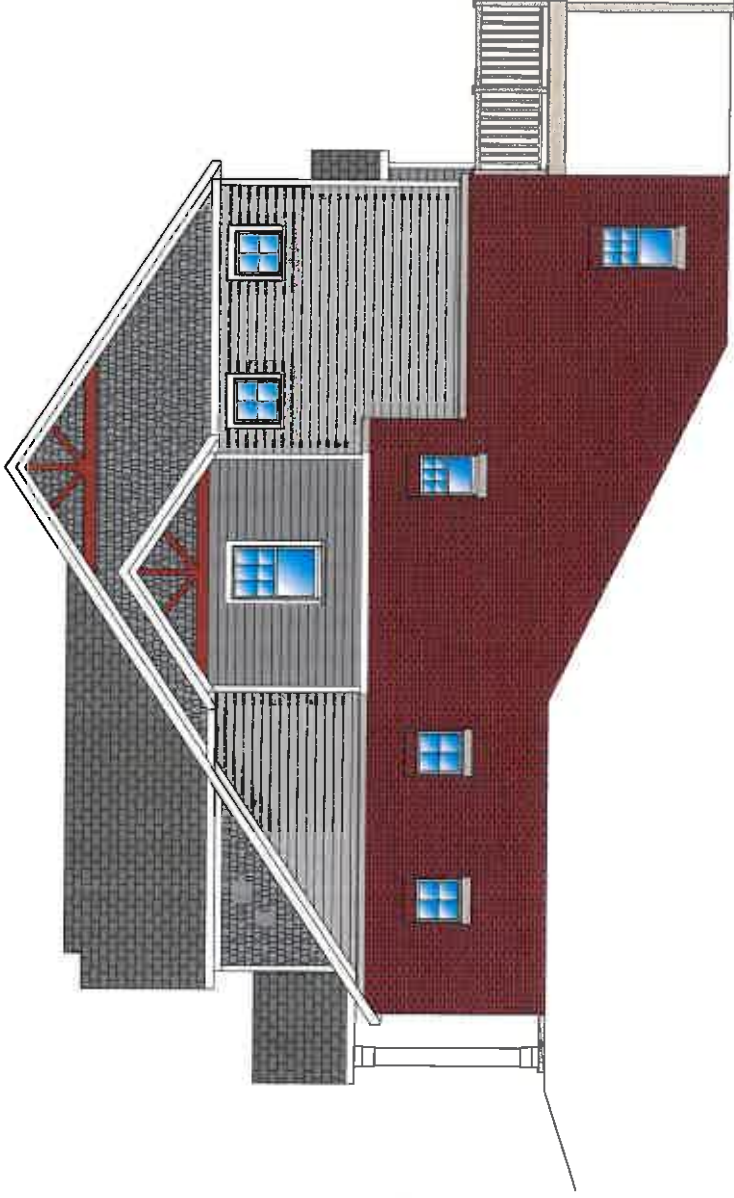


PLAN DESIGN BUILD  
4825 EP True Parkway Suite 102, West Des Moines, Iowa 50265

# ASPIRE TOWNHOMES

Walkout 4 plex  
West Des Moines, Iowa





0 ORIGINAL ISSUE 04/22/15

White Trim  
Scheme

W02

North Elevation

**ONSITESOLUTIONS**  
PLAN DESIGN BUILD  
4825 EP True Parkway Suite 102, West Des Moines, Iowa 50265

# ASPIRE TOWNHOMES

Walkout 4 plex  
West Des Moines, Iowa

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West Elevation



4825 EP True Parkway Suite 102, West Des Moines, Iowa 50265

# ASPIRE TOWNHOMES

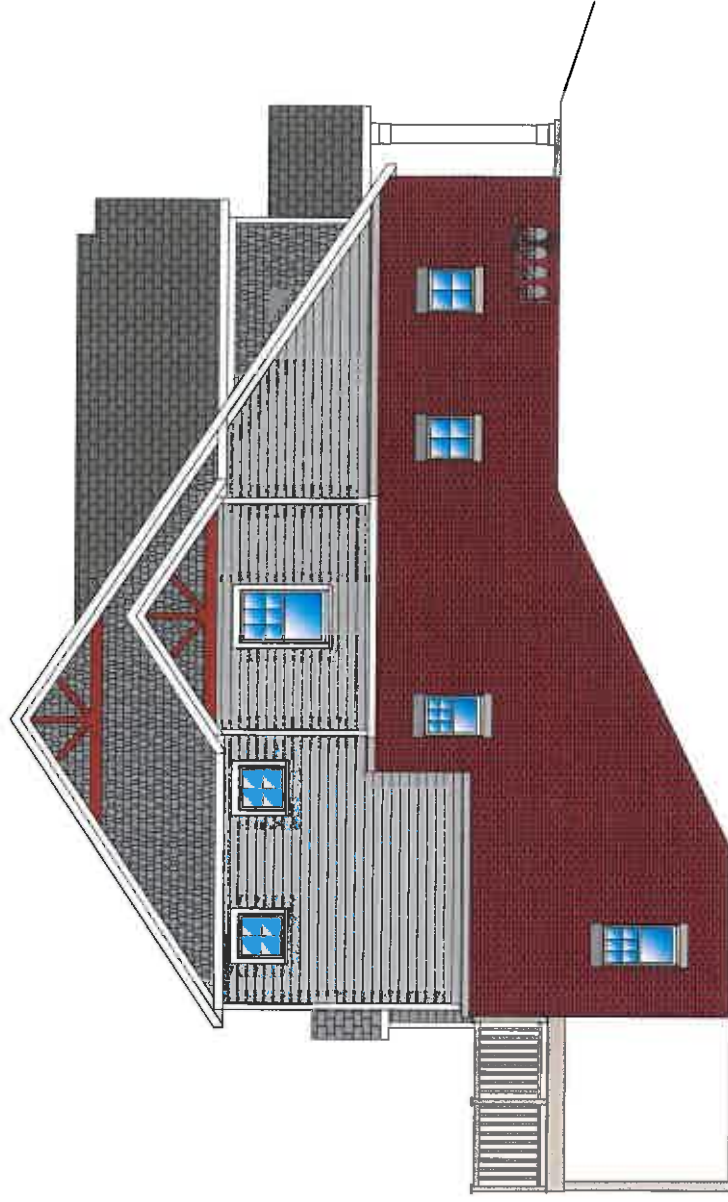
Walkout 4 plex  
West Des Moines, Iowa

0 ORIGINAL ISSUE 04/22/15

White Trim  
Scheme

W03

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South Elevation

04/22/15

White Trim  
Scheme

W04

# ASPIRE TOWNHOMES

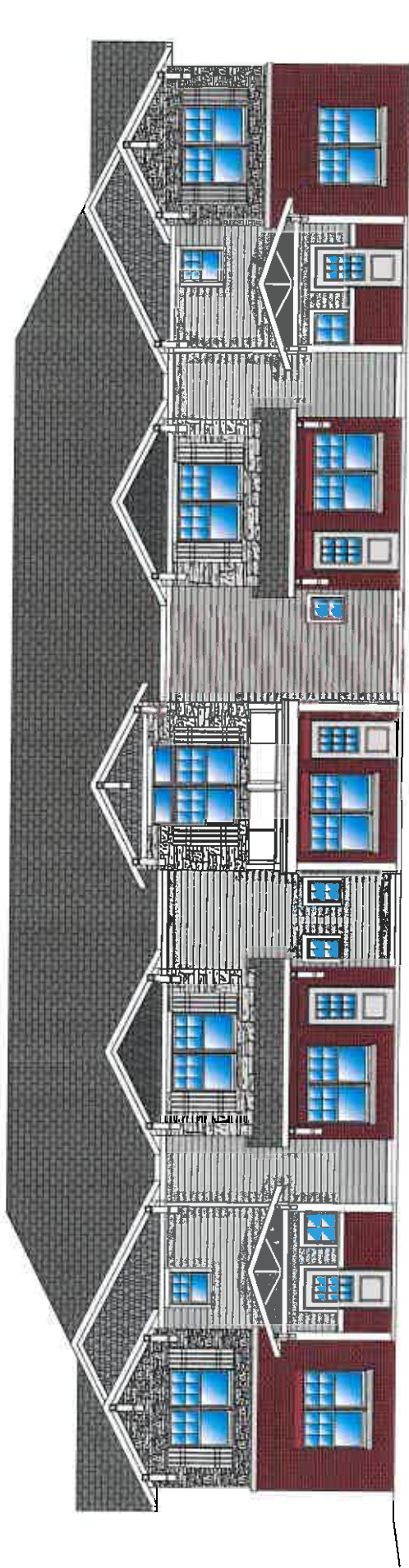
Walkout 4 plex  
West Des Moines, Iowa



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04/22/15

White Trim  
Scheme

W05

# ASPIRE TOWNHOMES

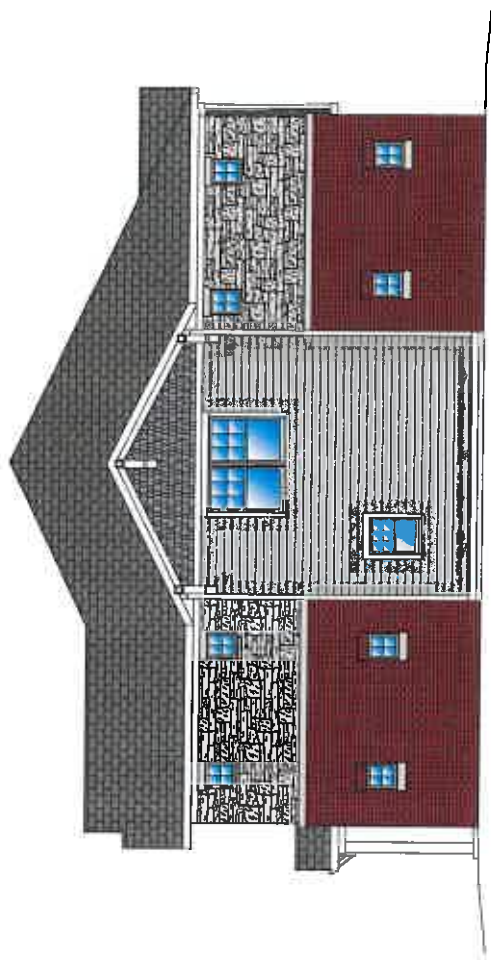
2 Story 5 plex  
West Des Moines, Iowa



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0 ORIGINAL ISSUE 04/22/15

White Trim  
Scheme

W06

# ASPIRE TOWNHOMES

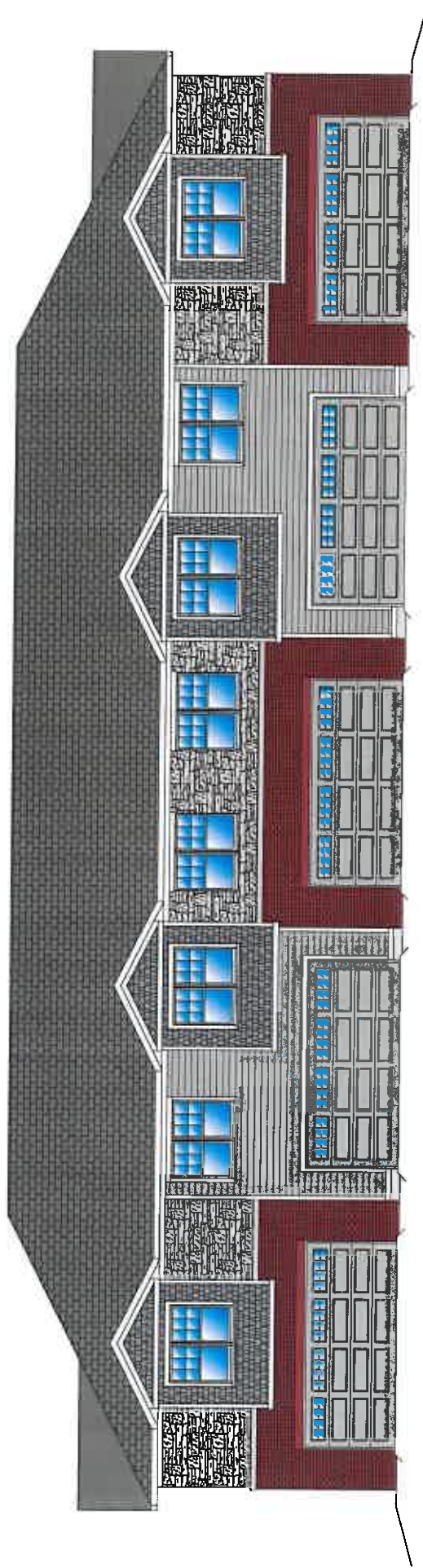
2 Story 5 plex  
West Des Moines, Iowa



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0 ORIGINAL ISSUE

04/22/15

White Trim  
Scheme

W07

# ASPIRE TOWNHOMES

2 Story 5 plex  
West Des Moines, Iowa



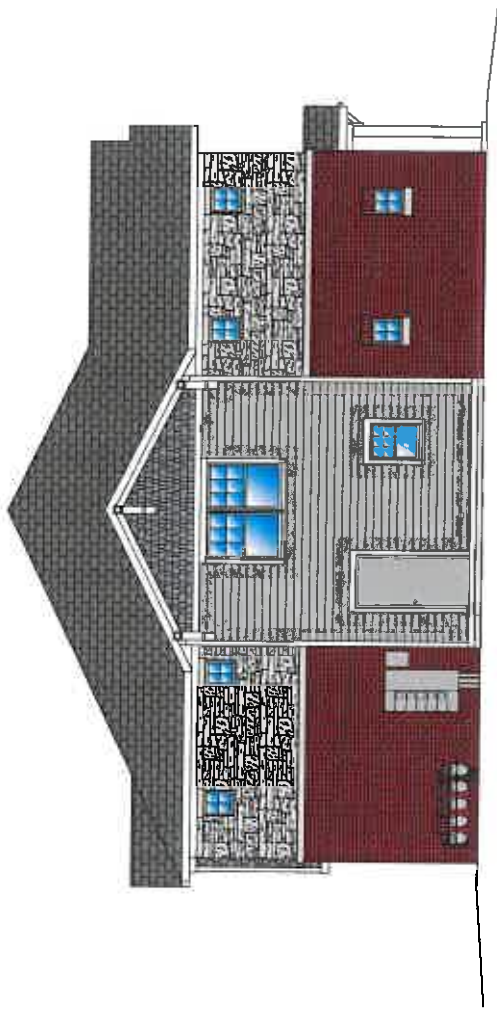
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White Trim  
Scheme

W08

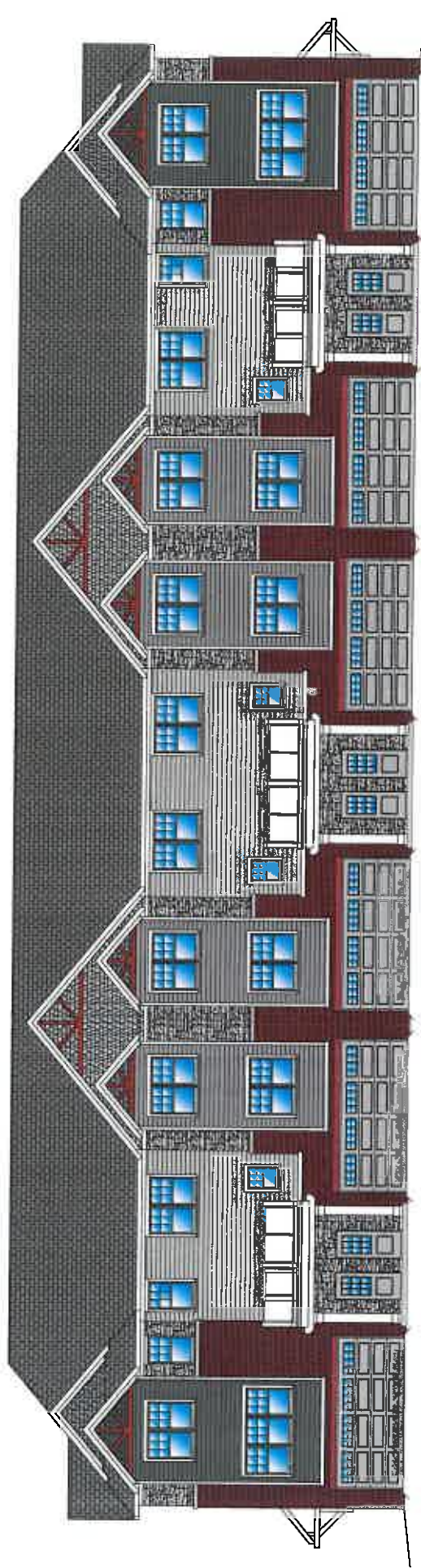
# ASPIRE TOWNHOMES

2 Story 5 plex  
West Des Moines, Iowa



PLAN DESIGN BUILD  
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White Trim  
Scheme

W09

# ASPIRE TOWNHOMES

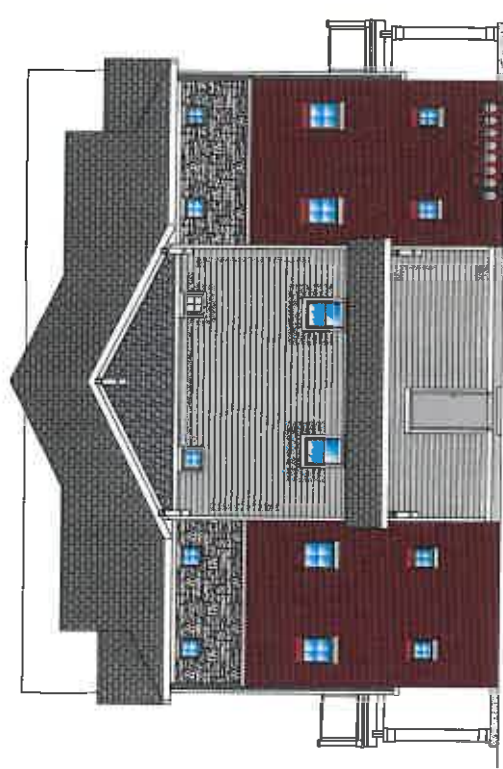
3 Story 12 plex  
West Des Moines, Iowa



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04/22/15

White Trim  
Scheme

W10

# ASPIRE TOWNHOMES

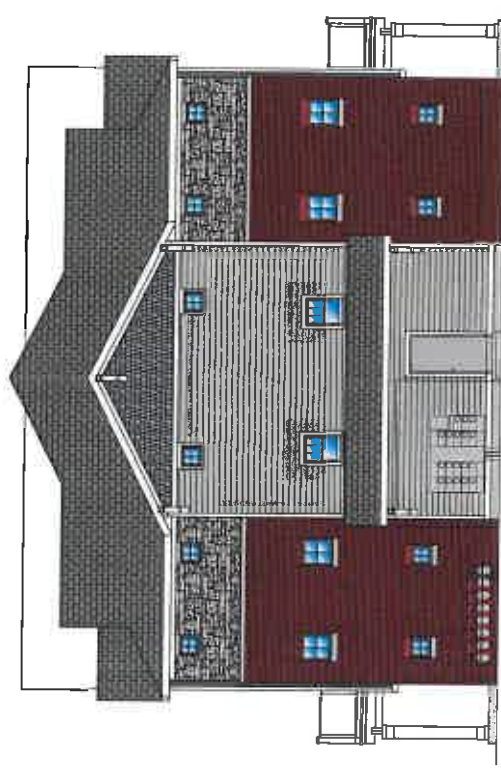
3 Story 12 plex  
West Des Moines, Iowa



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PLAN DESIGN BUILD

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White Trim  
Scheme

W11

# ASPIRE TOWNHOMES

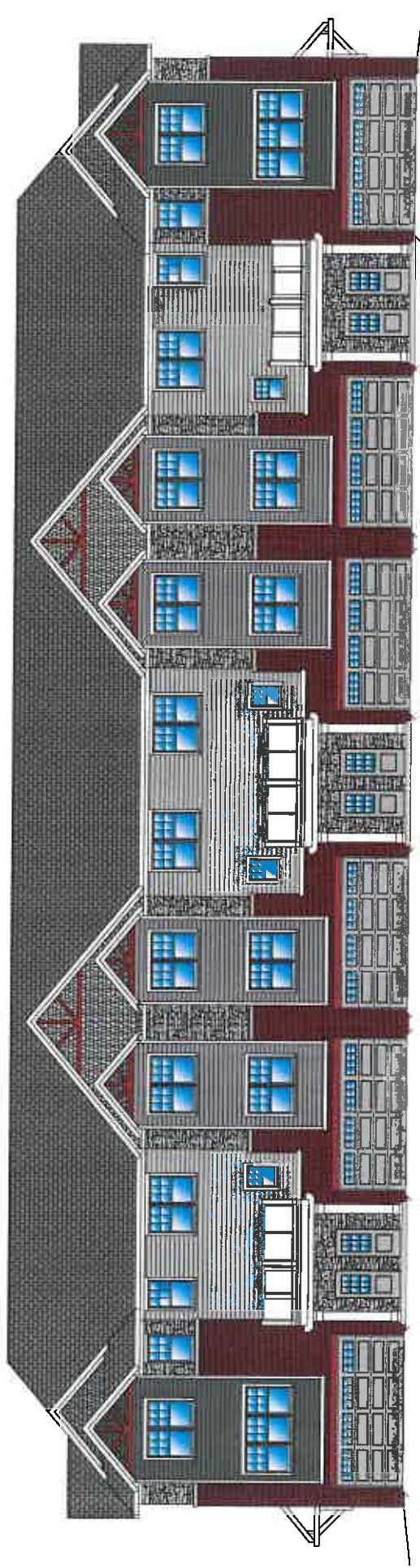
3 Story 12 plex  
West Des Moines, Iowa



PLAN DESIGN BUILD  
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04/22/15

White Trim  
Scheme

W12

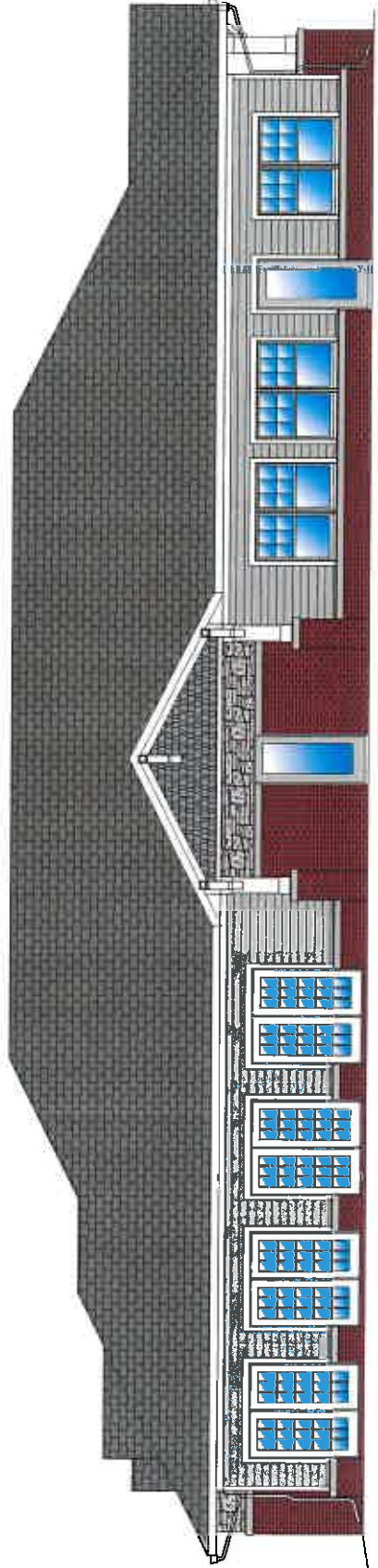
# ASPIRE TOWNHOMES

3 Story 12 plex  
West Des Moines, Iowa



PLAN DESIGN BUILD  
4825 EP Trus Parkway Suite 102, West Des Moines, Iowa 50265

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White Trim  
Scheme

W13

# ASPIRE TOWNHOMES

Clubhouse  
West Des Moines, Iowa

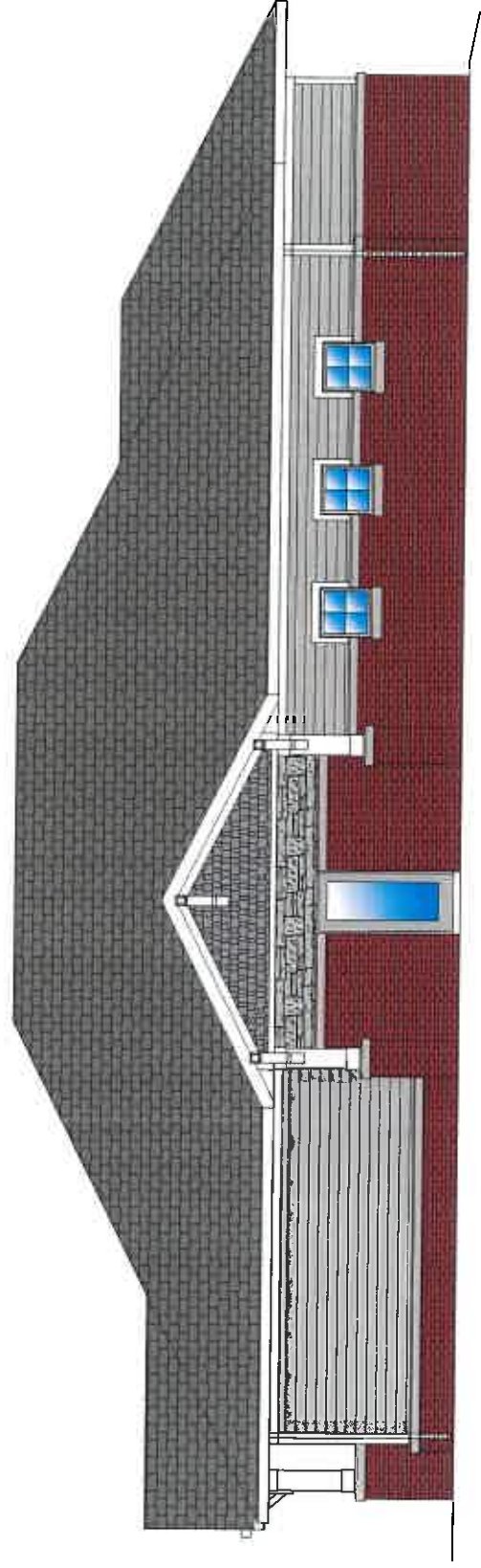
South Elevation



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PLAN DESIGN BUILD

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0 ORIGINAL ISSUE

04/22/15

White Trim  
Scheme

W14

West Elevation

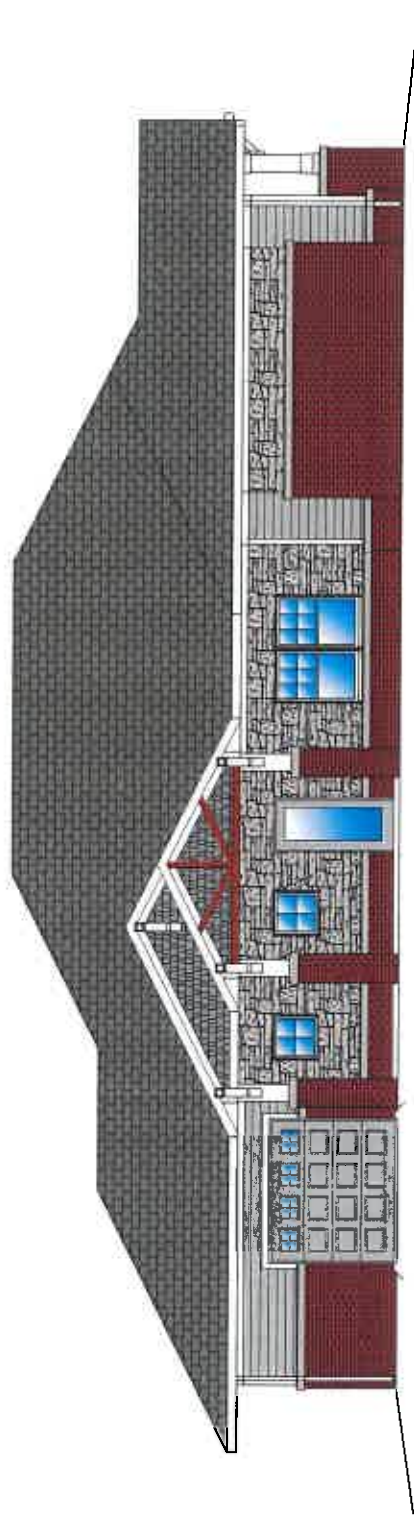


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# ASPIRE TOWNHOMES

Clubhouse  
West Des Moines, Iowa

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0 ORIGINAL ISSUE

04/22/15

White Trim  
Scheme

W15

West Elevation



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PLAN DESIGN BUILD

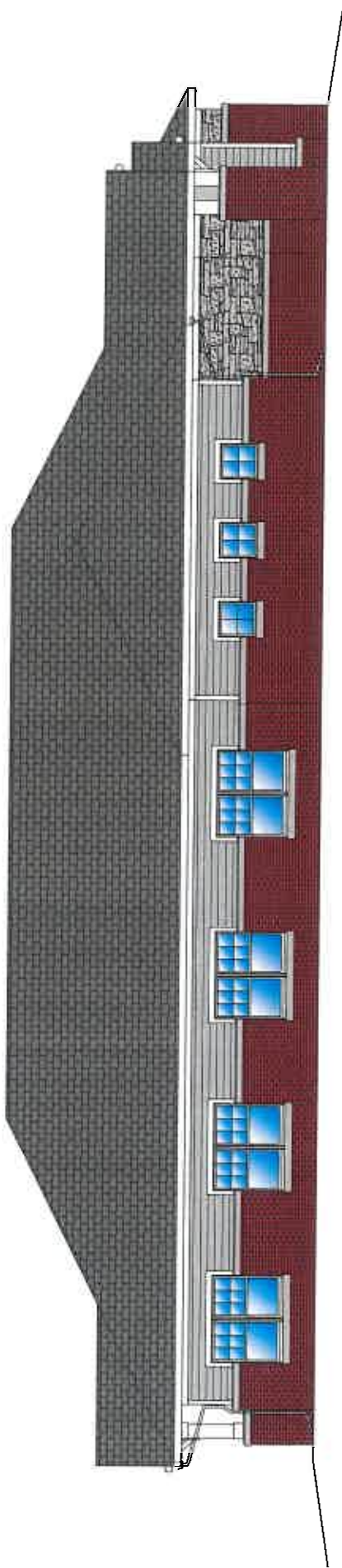
4625 EP Trus Parkway Suite 102, West Des Moines, Iowa 50265

# ASPIRE TOWNHOMES

Clubhouse

West Des Moines, Iowa

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0 ORIGINAL ISSUE

04/22/15

White Trim  
Scheme  
W16

North Elevation



**ONSITESOLUTIONS**

PLAN DESIGN BUILD

4825 EP True Parkway Suite 102, West Des Moines, Iowa 50265

# ASPIRE TOWNHOMES

Clubhouse  
West Des Moines, Iowa

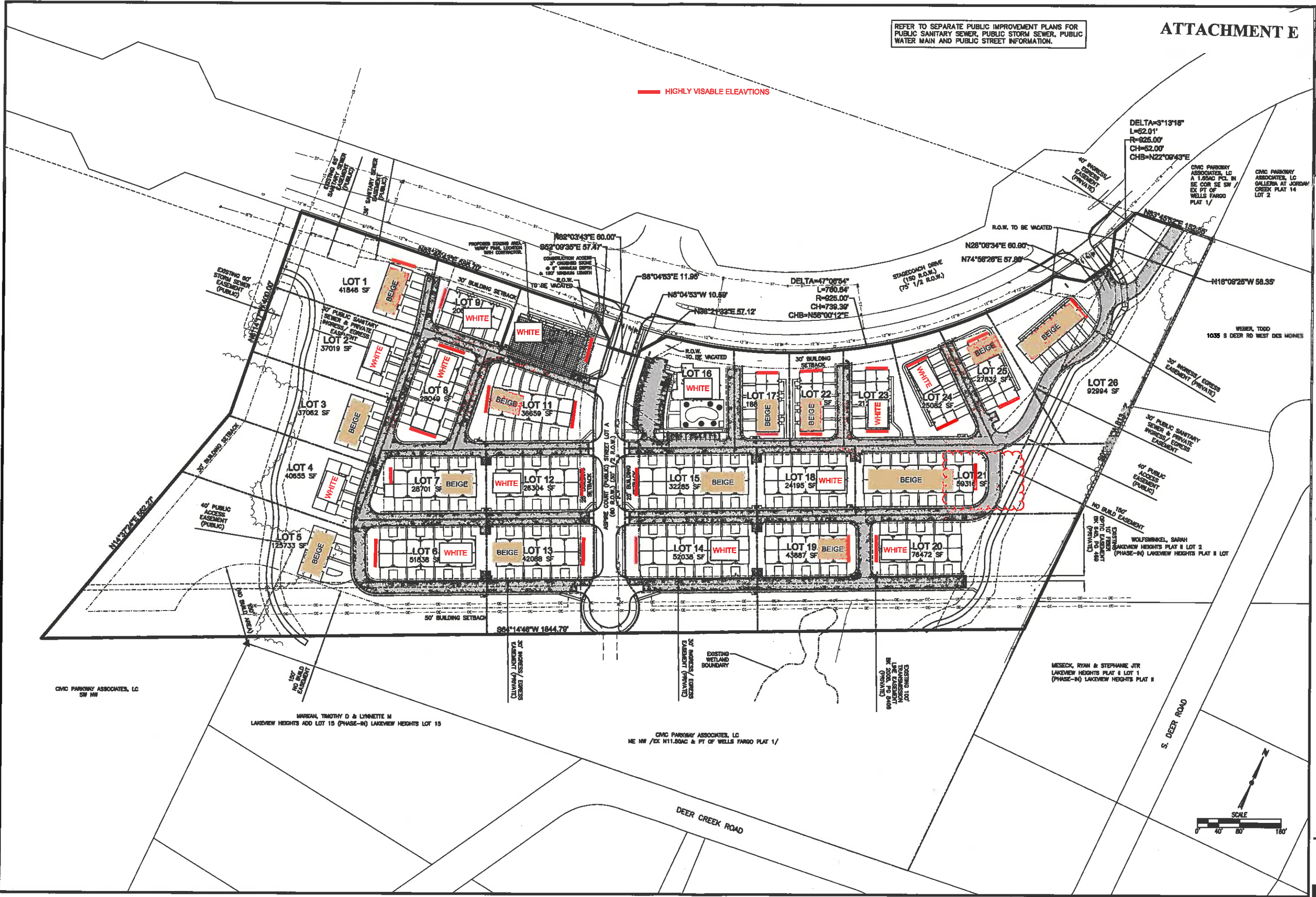
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REFER TO SEPARATE PUBLIC IMPROVEMENT PLANS FOR PUBLIC SANITARY SEWER, PUBLIC STORM SEWER, PUBLIC WATER MAIN AND PUBLIC STREET INFORMATION.

ATTACHMENT E

— HIGHLY VISIBLE ELEVATIONS



NO.	DATE	REVISIONS

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410  
TECH: \_\_\_\_\_  
ENGINEER: \_\_\_\_\_



WEST DES MOINES, IOWA

ASPIRE & SITE LAYOUT & EASEMENT INFORMATION

FILE: R:\2015\1401034\1401034.dwg DATE PLOTTED: 1/19/2015 8:32 AM

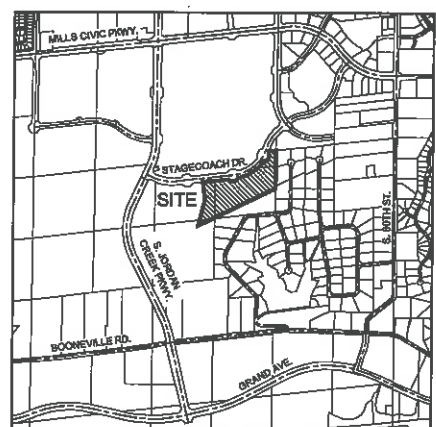
SITE PLAN FOR:

ASPIRE

WEST DES MOINES, IOWA

VICINITY MAP

NOT TO SCALE



WEST DES MOINES, IOWA

OWNER / APPLICANT

ASPIRE RESIDENTIAL, LLC
SIGNATURE REAL ESTATE SERVICES, INC
12035 UNIVERSITY AVE, SUITE 101
CLIVE, IOWA 50325
CONTACT: DAVID HANSEN
PH: 515-221-8990

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: JOSHUA TRYGSTAD
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH: (515) 369-4400
FX: (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: MIKE BROONER
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH: (515) 369-4400
FX: (515) 369-4410

DATE OF SURVEY

SEPTEMBER, 2014

BENCHMARKS

WEST DES MOINES BM#118 STD BM @ NE CORNER OF MILLS CIVIC & SOUTH 60TH STREET. ELEVATION=201.56

WEST DES MOINES BM#124 INTERSECTION OF JORDAN CREEK PARKWAY AND MILLS CIVIC PARKWAY. 169 ± FEET EAST OF THE WEST END OF MEDIAN, IN THE CENTER OF 6 FEET MEDIAN IN MILLS CIVIC PARKWAY. 17 ± FEET WEST OF THE ANGLE POINT IN THE CURB FOR THE WESTBOUND TURN LANE. ELEVATION=203.65

PROJECT BENCHMARK BURY BOLT ON HYDRANT 123 FEET +/- EAST OF NW CORNER OF PROPERTY SURVEYED. ELEVATION=200.43

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 01/19/15
-SITE PLAN SUBMITTAL TO CITY #2: 02/19/15
-SITE PLAN SUBMITTAL TO CITY #3: 03/13/15
-SITE PLAN SUBMITTAL TO CITY #4: 04/02/15

LEGAL DESCRIPTION

OUTLOT 'Y', ROGERS FARM, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.

AND

A PART OF LOT B, WELLS FARGO PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF OUTLOT 'Y', ROGERS FARM, AN OFFICIAL PLAT IN SAID CITY OF WEST DES MOINES; THENCE NORTH 83°45'43" EAST ALONG THE NORTHERLY LINE OF SAID OUTLOT 'Y', A DISTANCE OF 537.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 83°45'43" EAST, 48.71 FEET; THENCE SOUTH 52°08'35" EAST, 57.47 FEET; THENCE SOUTH 8°04'53" EAST, 11.95 FEET TO SAID NORTHERLY LINE; THENCE SOUTH 82°03'43" WEST ALONG SAID NORTHERLY LINE, 37.36 FEET; THENCE NORTH 81°14'11" WEST CONTINUING ALONG SAID NORTHERLY LINE, 75.00 FEET TO THE POINT OF BEGINNING.

AND

A PART OF LOT B, WELLS FARGO PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF OUTLOT 'Y', ROGERS FARM, AN OFFICIAL PLAT IN SAID CITY OF WEST DES MOINES; THENCE NORTH 83°45'43" EAST ALONG THE NORTHERLY LINE OF SAID OUTLOT 'Y', A DISTANCE OF 537.00 FEET; THENCE SOUTH 51°14'11" EAST CONTINUING ALONG SAID NORTHERLY LINE, 75.00 FEET; THENCE NORTH 82°03'43" EAST CONTINUING ALONG SAID NORTHERLY LINE, 97.36 FEET TO THE POINT OF BEGINNING; THENCE NORTH 8°04'53" WEST, 10.50 FEET; THENCE NORTH 38°21'33" EAST, 57.12 FEET; THENCE NORTHEASTERLY ALONG A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 925.00 FEET, WHOSE ARC LENGTH IS 35.27 FEET AND WHOSE CHORD BEARS NORTH 78°23'04" EAST, 35.27 FEET TO SAID NORTHERLY LINE; THENCE SOUTH 35°21'27" WEST CONTINUING ALONG SAID NORTHERLY LINE, 75.00 FEET; THENCE SOUTH 82°03'43" WEST CONTINUING ALONG SAID NORTHERLY LINE, 22.69 FEET TO THE POINT OF BEGINNING.

AND

A PART OF LOT B, WELLS FARGO PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF OUTLOT 'Y', ROGERS FARM, AN OFFICIAL PLAT IN SAID CITY OF WEST DES MOINES; THENCE SOUTH 83°45'43" WEST ALONG THE NORTHERLY LINE OF SAID OUTLOT 'Y', A DISTANCE OF 182.58 FEET; THENCE SOUTHWESTERLY CONTINUING ALONG SAID NORTHERLY LINE AND A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 925.00 FEET, WHOSE ARC LENGTH IS 22.68 FEET AND WHOSE CHORD BEARS SOUTH 21°14'58" WEST, 22.68 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 18°50'02" EAST CONTINUING ALONG SAID NORTHERLY LINE, 75.00 FEET; THENCE SOUTH 28°48'43" WEST CONTINUING ALONG SAID NORTHERLY LINE, 120.01 FEET; THENCE SOUTH 78°23'28" WEST CONTINUING ALONG SAID NORTHERLY LINE, 75.00 FEET; THENCE NORTHEASTERLY ALONG A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 925.00 FEET, WHOSE ARC LENGTH IS 52.13 FEET AND WHOSE CHORD BEARS NORTH 34°03'37" EAST, 52.12 FEET; THENCE NORTH 74°56'28" EAST, 57.80 FEET; THENCE NORTH 28°06'34" EAST, 80.00 FEET; THENCE NORTH 18°09'28" WEST, 68.35 FEET; THENCE NORTHEASTERLY ALONG A CURVE CONCAVE NORTHWESTERLY WHOSE RADIUS IS 925.00 FEET, WHOSE ARC LENGTH IS 28.46 FEET AND WHOSE CHORD BEARS NORTH 22°51'38" EAST, 28.45 FEET TO THE POINT OF BEGINNING.

PROPERTY CONTAINS 25.40 ACRES (1,106,424 SQUARE FEET).

PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

DEVELOPMENT SUMMARY

AREA: -24.59 AC (1,071,080 SF)

IMPERVIOUS AREA: PRIVATE STREETS & PARKING = 618,607 SF; DRIVEWAYS = 149,754 SF; SIDEWALKS = 88,800 SF; SHARED USE PATHS = 25,020 SF; BUILDINGS = 10,065 SF; TOTAL = 178,834 SF

SETBACKS: FRONT = 30'; SIDE = 30'; REAR = 50'

UNITS: 222 UNITS (9 UNITS PER ACRE)

PARKING: 2 SPACES PER UNIT; 1 SPACE PER 100 SF OF GFA FOR A BUILDING OR PORTION OF A BUILDING DESIGNATED FOR MULTIPURPOSE RECREATIONAL USES; 1 SPACE PER 300 SF OF G.F.A. OF LEASE MANAGEMENT OFFICE.

PARKING REQUIRED: 222 UNITS = 444 SPACES; 3,078 SF OF CLUBHOUSE = 31 SPACES; 808 SF OF LEASE MANAGEMENT OFFICE = 3 SPACES; TOTAL REQUIRED = 478 SPACES

PARKING PROVIDED: UNITS = 444 SPACES; CLUBHOUSE = 37 SPACES; OFF STREET PARKING = 16 SPACES

TOTAL PROVIDED = 497 SPACES

INDEX OF SHEETS

Table with 2 columns: NO. and DESCRIPTION. Includes Cover Sheet, Details, Site Layout & Easement Information, Dimension Plan, Grading Plan, Utility Plan, and Landscape Plan.

REFER TO SEPARATE PUBLIC IMPROVEMENT PLANS FOR PUBLIC SANITARY SEWER, PRIVATE SANITARY SERVICES, PUBLIC STORM SEWER, PUBLIC WATER MAIN AND PUBLIC STREET INFORMATION.

ZONING

EXISTING/ PROPOSED ZONING: ROGER'S FARM P.U.D. (RM) RESIDENTIAL MEDIUM-DENSITY (MAXIMUM 12 DU/ACRE)

PROJECT SITE ADDRESS

STAGECOACH DRIVE WEST DES MOINES, IA 50266

COMPREHENSIVE PLAN LAND USE

EXISTING: (MD) MEDIUM DENSITY RESIDENTIAL; PROPOSED: (MD) MEDIUM DENSITY RESIDENTIAL



UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.

GENERAL LEGEND

Legend table with columns for PROPOSED and EXISTING. Lists symbols for Project Boundary, Lot Line, Section Line, Center Line, Right of Way, Permanent Easement, Temporary Easement, Storm Intake, Sanitary Manhole, Water Valve, Fire Hydrant, etc.



THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, THE 1993 DES MOINES METRO DESIGN STANDARDS WITH THE WEST DES MOINES ADDENDA, AND THE WEST DES MOINES WATER WORKS STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

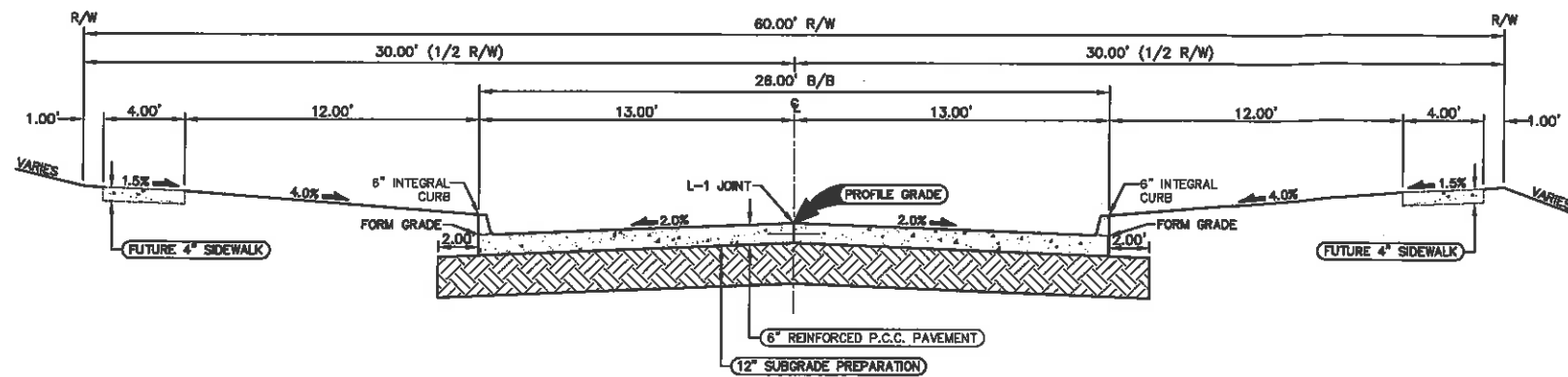
REFER TO GEOTECHNICAL EXPLORATION REPORT NO. 141320 DATED JULY 31, 2014 PREPARED BY ALLENDER BUTZKE ENGINEERS, INC. FOR GEOTECHNICAL REQUIREMENTS.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF WEST DES MOINES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

Professional Engineer Seal for Joshua Trygstad, License No. 00525, State of Iowa. Includes 'PRELIMINARY NOT FOR CONSTRUCTION' watermark.

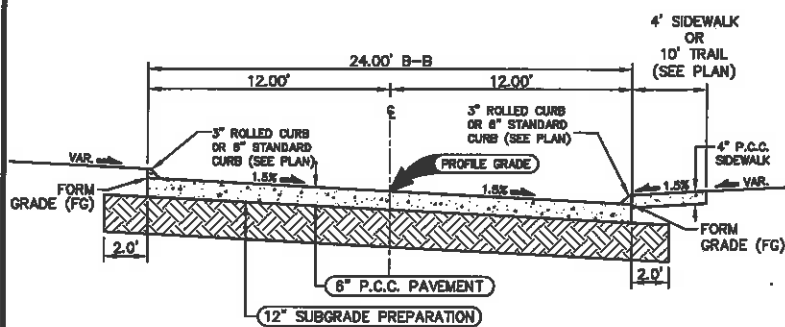
Professional Engineer Seal for Joshua Trygstad, License No. 19228, State of Iowa. Includes 'PRELIMINARY NOT FOR CONSTRUCTION' watermark.





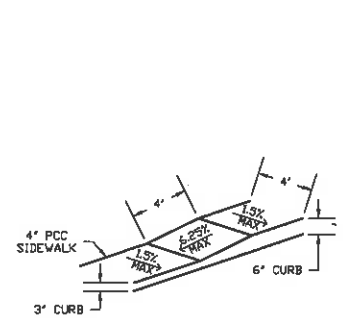
**TYPICAL SECTION - 26' B/B P.C.C. ROADWAY W/60' RIGHT-OF-WAY  
HIDDEN POINT STA. (PUBLIC-FOR REFERENCE ONLY)**

- NOTES:**  
 1. PREPARE SUBGRADE IN 2 - 6" LIFTS.  
 2. TYPICAL JOINT SPACING IS 15'.

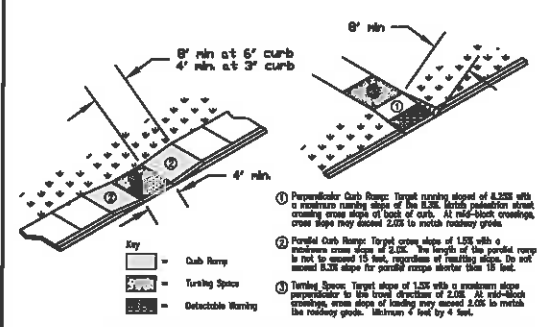


- NOTE:**  
 1. 12" SUBGRADE PREPARATION TO BE PREPARED IN 2 - 6" LIFTS.

**TYPICAL SECTION - 24' P.C.C. PRIVATE ROADWAY**

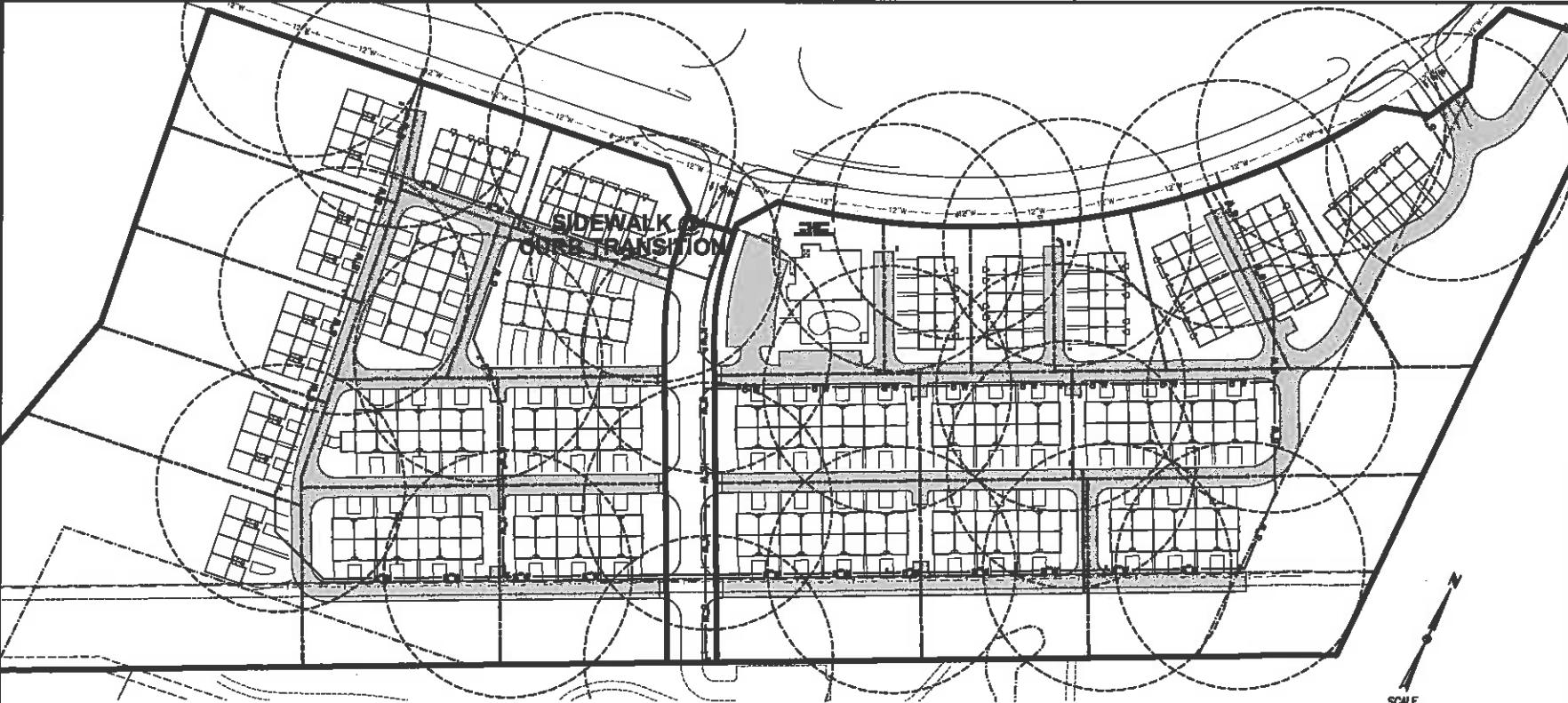


**SIDEWALK @ CURB TRANSITION**

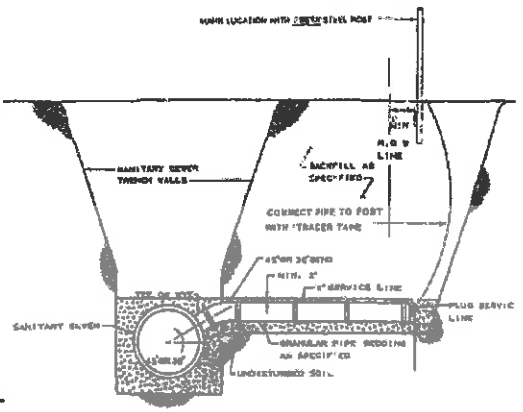


- NOTE**  
 THE CONTRACTOR SHALL REQUEST AN ON-SITE INSPECTION WITH THE BUILDING DIVISION AT (515) 222-3630, PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.

**CURB RAMPS**

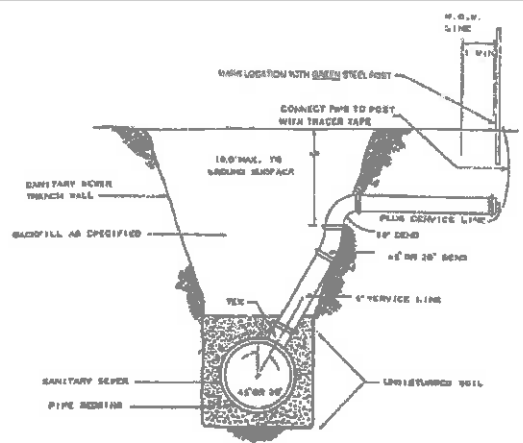


**HYDRANT COVERAGE PLAN (150' RADIUS)**



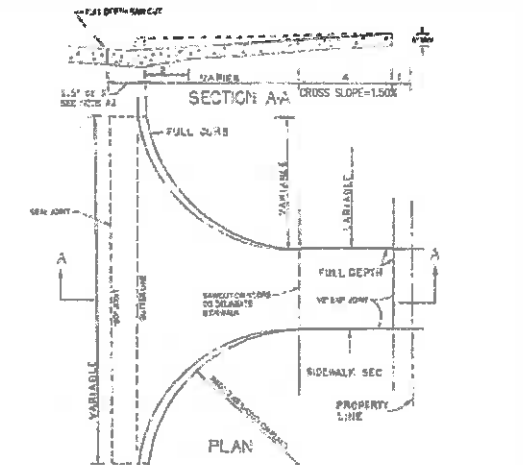
**SANITARY SEWER SERVICE  
CITY OF WEST DES MOINES DETAIL 4.5**

- NOTES:**  
 1. USE FOR SERVICE CONNECTION WHEN SANITARY SEWER DEPTH IS 18.0" OR LESS OR WHEN NECESSARY TO SERVE ADJACENT PROPERTY.



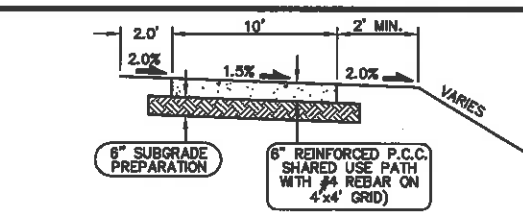
**SANITARY SEWER SERVICE RISER  
CITY OF WEST DES MOINES DETAIL 4.6**

- NOTES:**  
 1. USE FOR SERVICE CONNECTION WHEN SANITARY SEWER DEPTH EXCEEDS 18.0" UNLESS ADDITIONAL DEPTH IS NECESSARY TO SERVE ADJACENT PROPERTY.

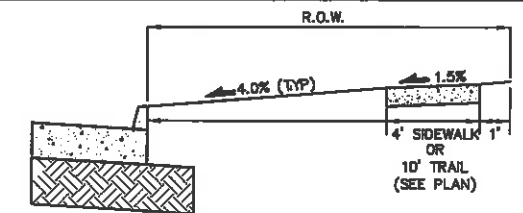


**DRIVEWAY DETAIL  
CITY OF WEST DES MOINES DETAIL**

- NOTES:**  
 1. BEFORE THE CONCRETE IS PLACED CURB JOINTS SHALL BE COMPLETELY CLEANED UP INCLUDING THE REINFORCING BARS.  
 2. THE CURB AND SIDEWALK SHALL BE PLACED IN ONE POUR.  
 3. A 2" MINIMUM SLOPE OF 1.5% SHALL BE MAINTAINED THROUGHOUT THE DRIVEWAY.  
 4. THE CURB SHALL BE PLACED WITH A 4" MINIMUM RADIUS AT THE CORNER.

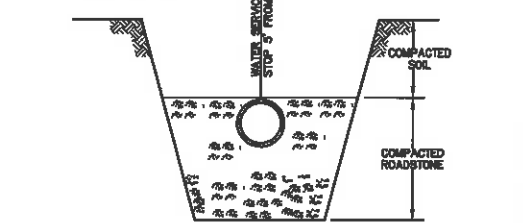


**10' PCC SHARED USE PATH**

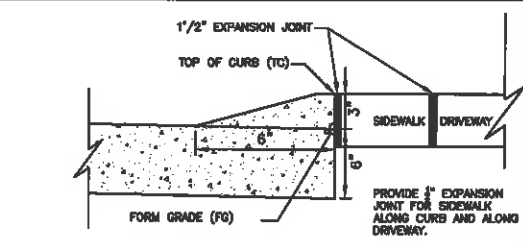


**STAGECOACH  
R.O.W. GRADING SECTION**

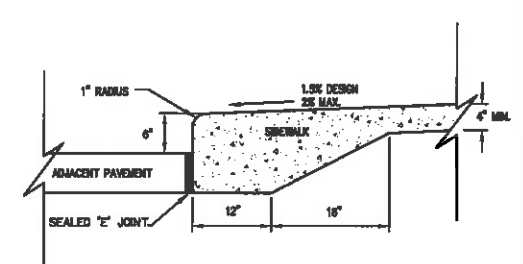
- NOTES:**  
 1. PAINT CURB BLUE FOR WATER SERVICE.  
 2. PLACE ONE 6" STEEL POST BURIED 3' AT WATER CURB BOX.



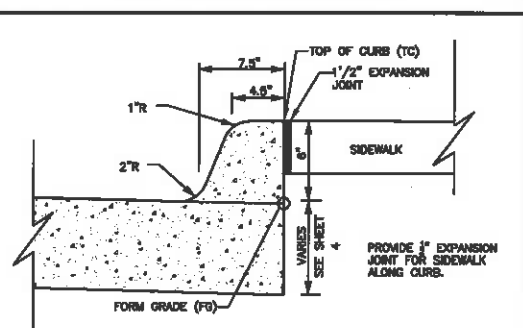
**WATER SERVICE LOCATION DETAIL**



**INTEGRAL 3" ROLLED CURB DETAIL**



**CLASS 'A' INTEGRAL CURB AND SIDEWALK DETAIL**



**6" PCC INTEGRAL CURB**

- NOTE:**  
 PROVIDE 1" EXPANSION JOINT FOR SIDEWALK ALONG CURB.

DATE	4/2/15
REVISIONS	
SITE PLAN SUBMITTAL #1	4/2/15
SITE PLAN SUBMITTAL #2	02/19/15
SITE PLAN SUBMITTAL #1	01/19/15

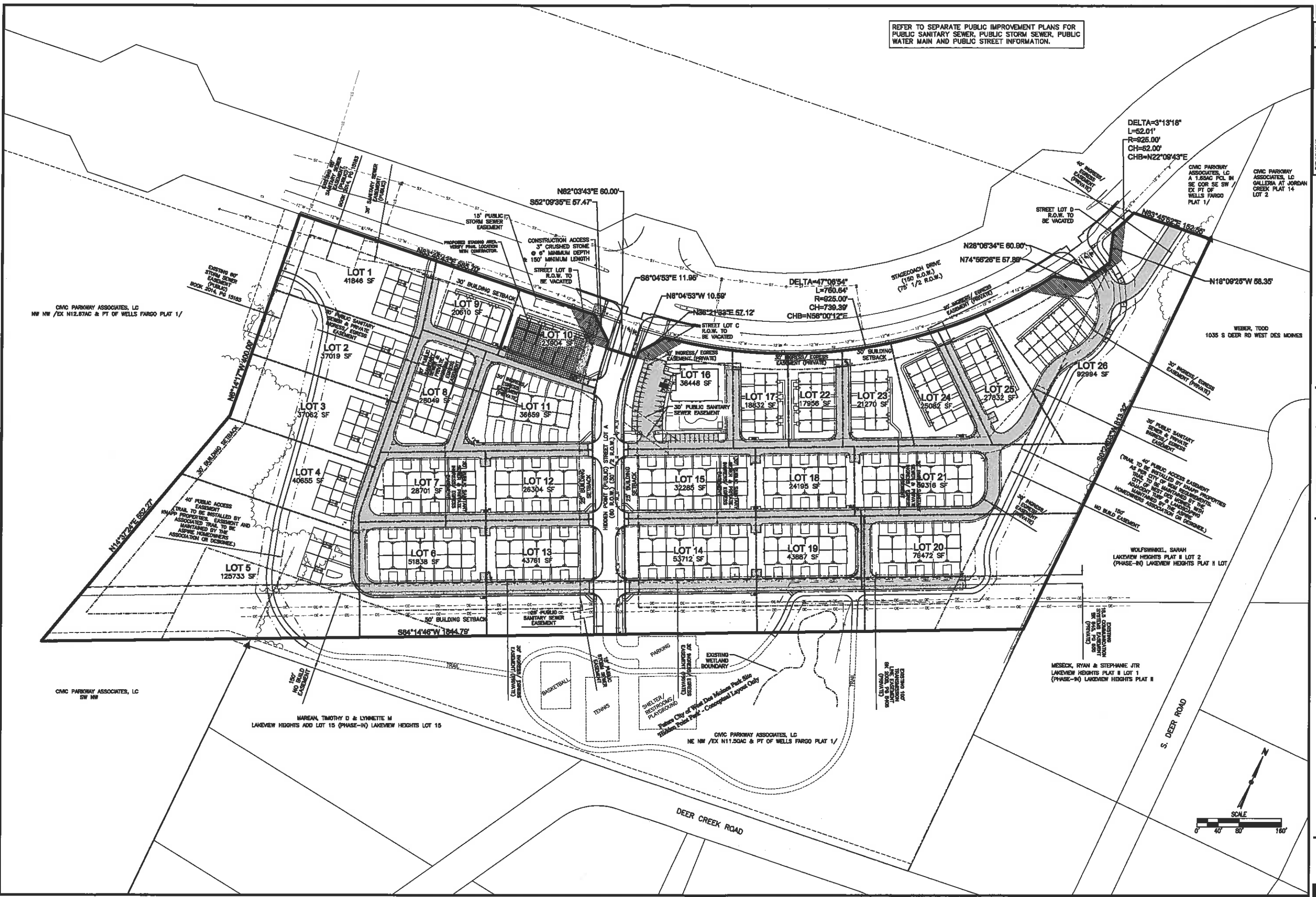
3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: \_\_\_\_\_  
 ENGINEER: \_\_\_\_\_

WEST DES MOINES, IOWA  
**ASPIRE**  
 CIVIL DESIGN ADVANTAGE  
 DETAILS

2 / 14  
 1401034

REFER TO SEPARATE PUBLIC IMPROVEMENT PLANS FOR PUBLIC SANITARY SEWER, PUBLIC STORM SEWER, PUBLIC WATER MAIN AND PUBLIC STREET INFORMATION.

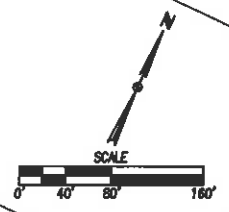


DATE	REVISIONS
04/02/15	SITE PLAN SUBMITTAL #4
03/31/15	SITE PLAN SUBMITTAL #5
02/19/15	SITE PLAN SUBMITTAL #6
01/19/15	SITE PLAN SUBMITTAL #1

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410  
TECH: ENGINEER:



CIVIL DESIGN ADVANTAGE  
WEST DES MOINES, IOWA  
ASPIRE SITE LAYOUT & EASEMENT INFORMATION



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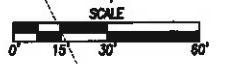


G.F.E. = GARAGE FLOOR ELEVATION AT THE OUTSIDE FACE OF GARAGE DOOR.

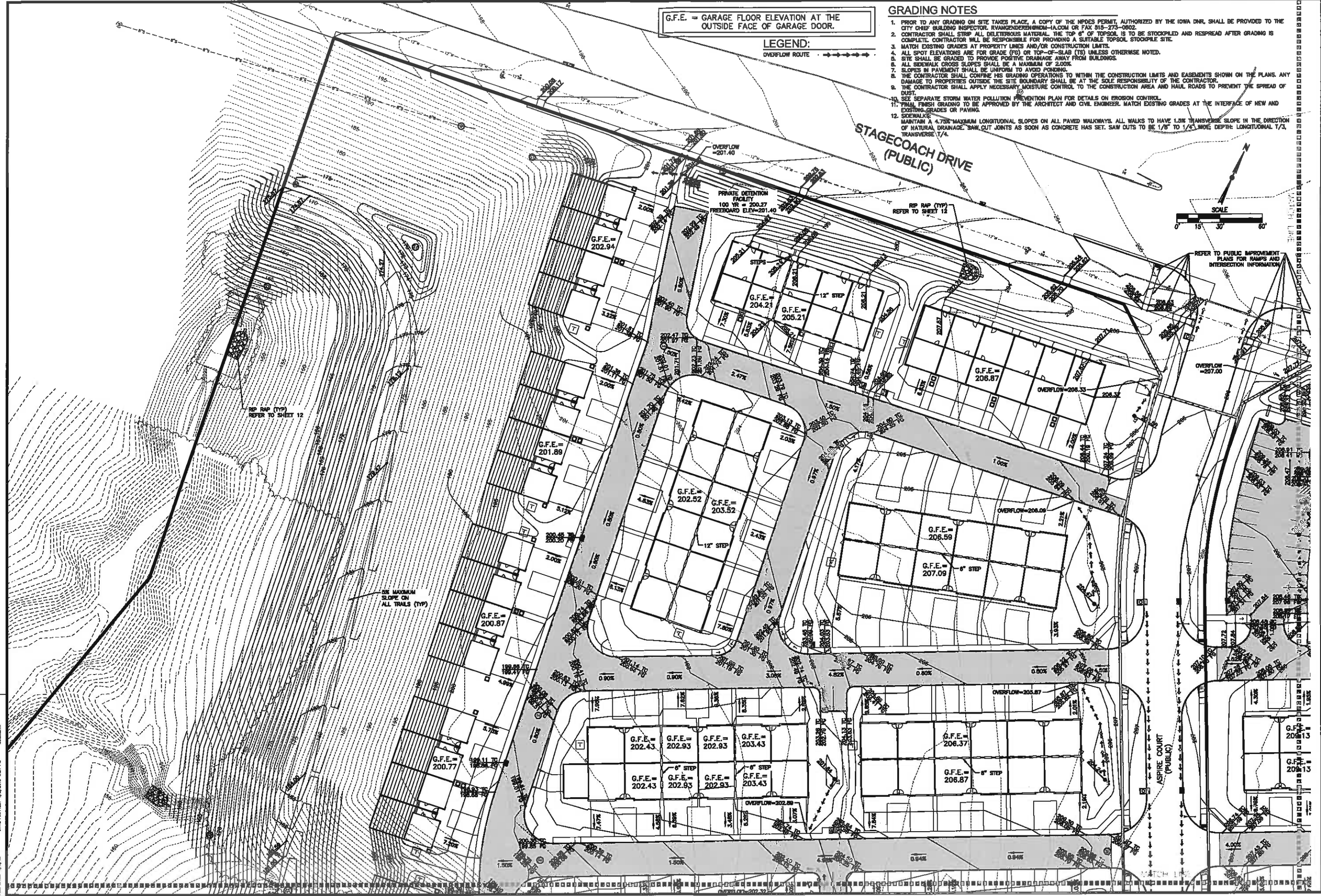
LEGEND:  
OVERFLOW ROUTE →→→→→

**GRADING NOTES**

1. PRIOR TO ANY GRADING ON SITE TAKES PLACE, A COPY OF THE NPDES PERMIT, AUTHORIZED BY THE IOWA DNR, SHALL BE PROVIDED TO THE CITY CHIEF BUILDING INSPECTOR, RYAN@ENGINEERING-IA.COM OR FAX 515-273-0802.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
4. ALL SPOT ELEVATIONS ARE FOR GRADE (FG) OR TOP-OF-SLAB (TS) UNLESS OTHERWISE NOTED.
5. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
6. ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 2.00%.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID POONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. SEE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS MAINTAIN A 4.75% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 1.5% TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE, DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.



REFER TO PUBLIC IMPROVEMENT PLANS FOR RAMPS AND INTERSECTION INFORMATION



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REVISIONS	DATE	DESCRIPTION
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	03/18/15	SITE PLAN SUBMITTAL #3
	02/19/15	SITE PLAN SUBMITTAL #2
	02/18/15	SITE PLAN SUBMITTAL #1

3405 S.E. CROSSROADS DRIVE, SUITE G  
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 ENGINEER:

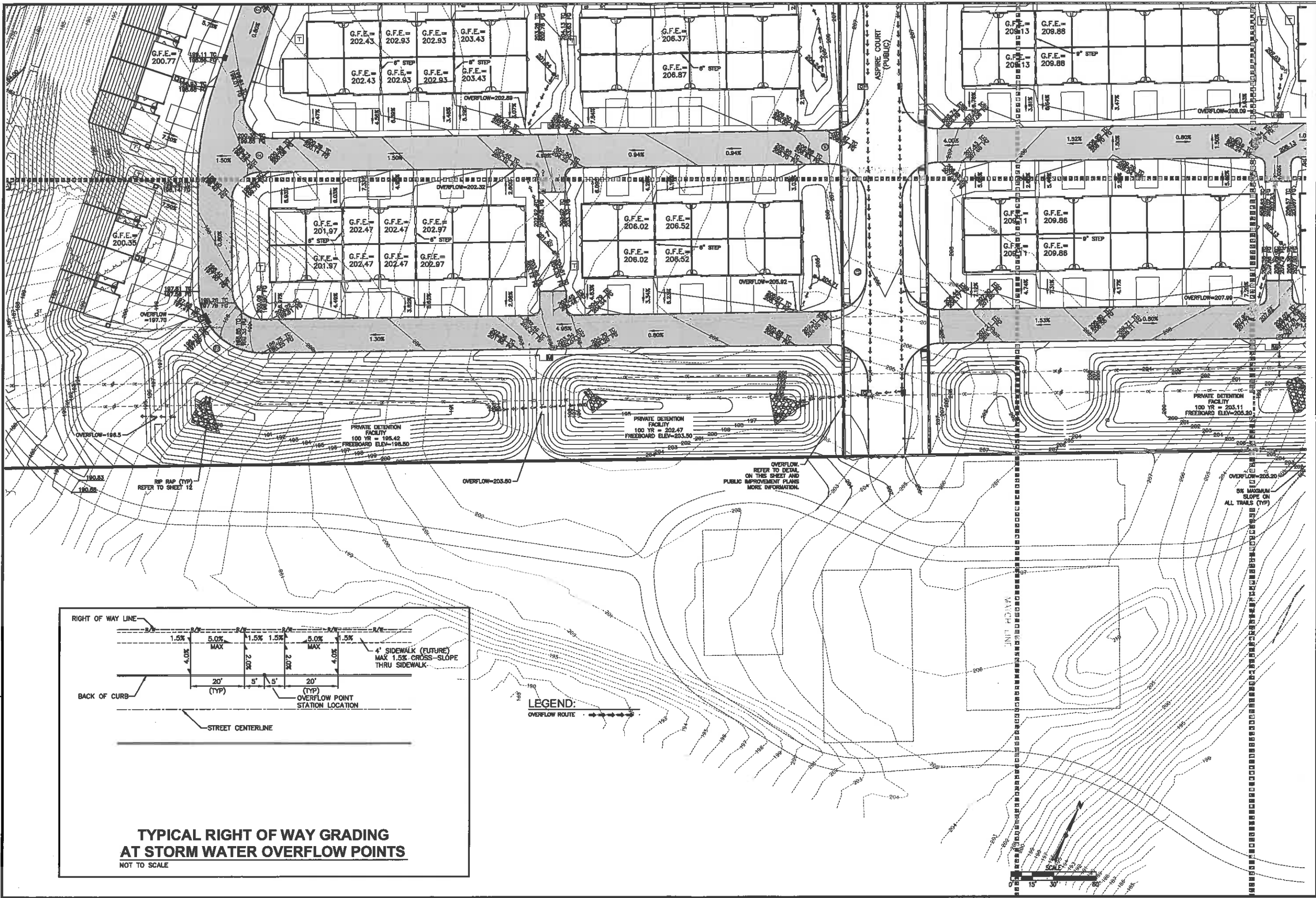


ASPIRE  
 GRADING PLAN (NORTHWEST)  
 WEST DES MOINES, IOWA

**ASPIRE**  
 GRADING PLAN (NORTHWEST)  
 WEST DES MOINES, IOWA



FILED IN 15041 (MUNICIPAL) UNDER 15041-1000-10000  
FILE NAME: 4/7/18  
DATE PLOTTED: 4/7/2018 11:28 PM  
COMMENT:



REVISIONS	DATE
SITE PLAN SUBMITTAL #4	04/02/18
SITE PLAN SUBMITTAL #5	03/13/18
SITE PLAN SUBMITTAL #2	02/19/18
SITE PLAN SUBMITTAL #1	01/19/18

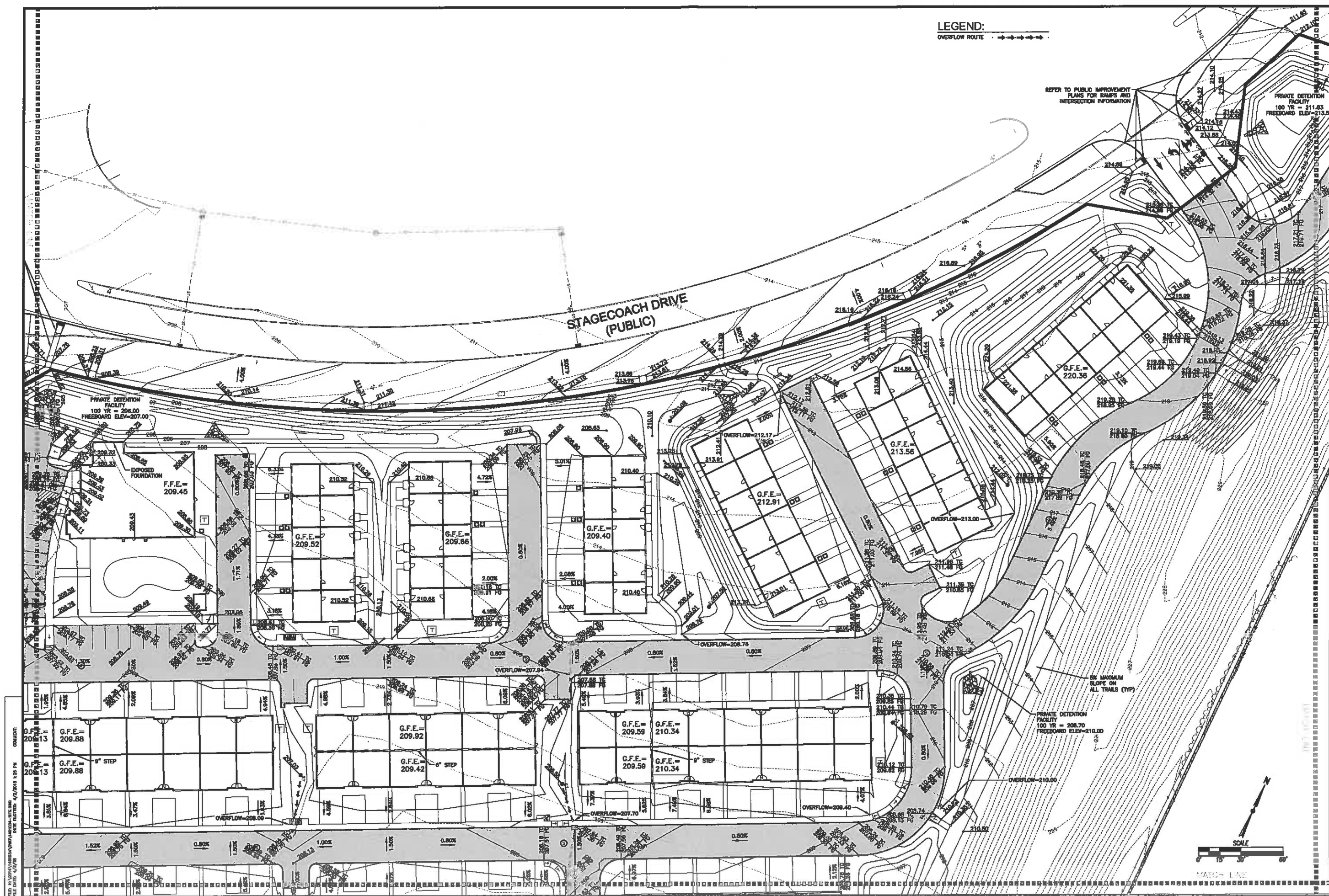
3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410  
ENGINEER: TECH:



WEST DES MOINES, IOWA  
CIVIL DESIGN ADVANTAGE

# ASPIRE

## GRADING PLAN (SOUTHWEST)



REVISIONS	DATE
SITE PLAN SUBMITTAL #4	04/02/15
SITE PLAN SUBMITTAL #3	03/13/15
SITE PLAN SUBMITTAL #2	02/19/15
SITE PLAN SUBMITTAL #1	01/18/15

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GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410



CIVIL DESIGN ADVANTAGE  
WEST DES MOINES, IOWA

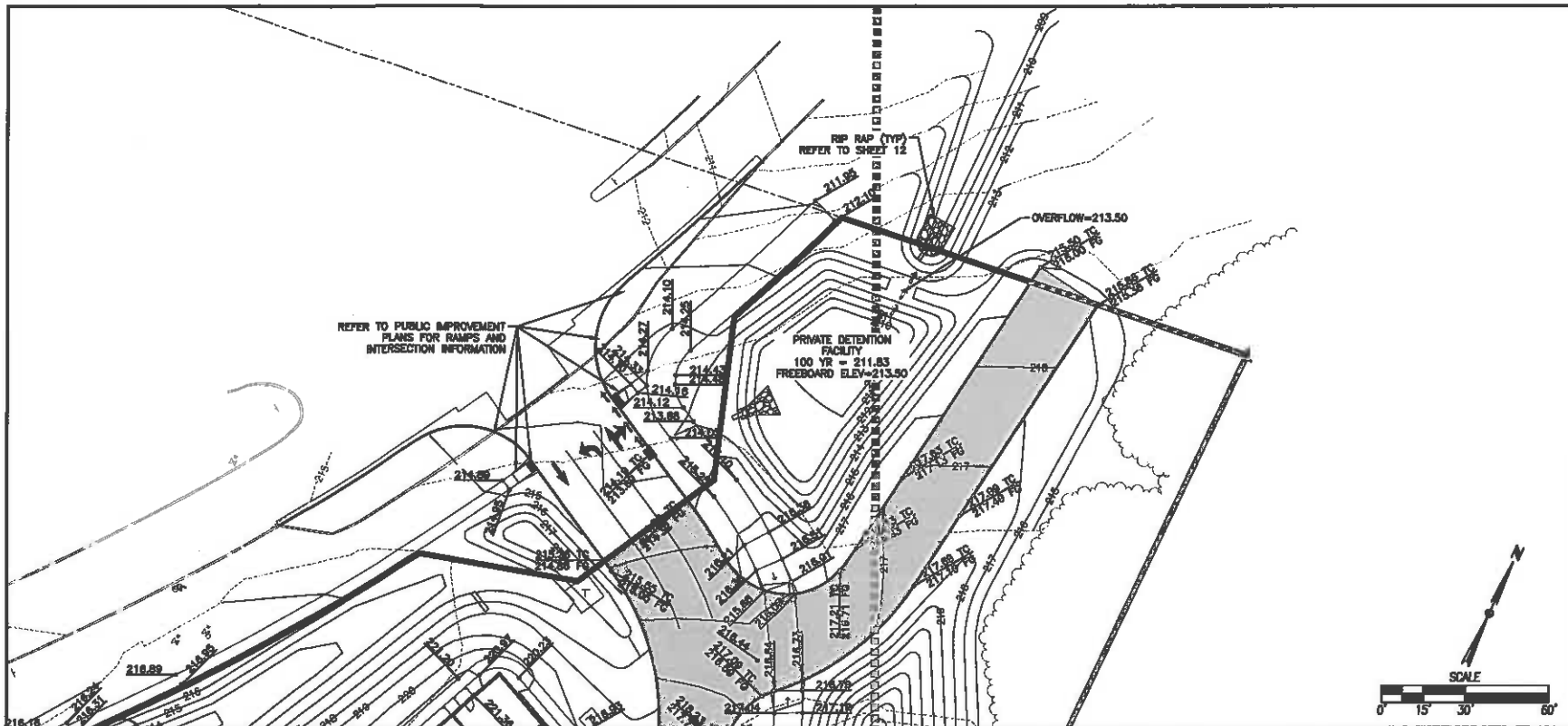
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GRADING PLAN (NORTH)

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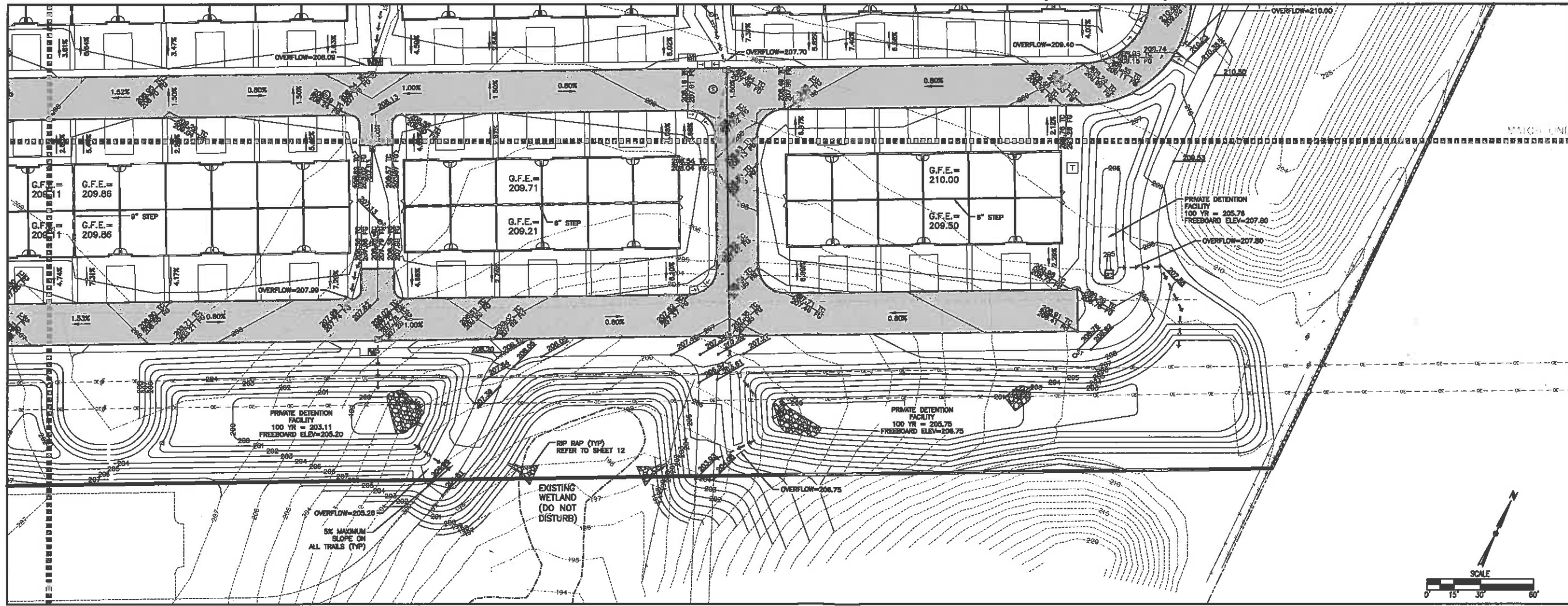
ENGINEER:



LEGEND:  
 OVERFLOW ROUTE →→→→→



GRADING PLAN (NORTHEAST)



GRADING PLAN (SOUTHEAST)

P.L.S. H:\WORK\PROJECTS\1401034\1401034-STEELING  
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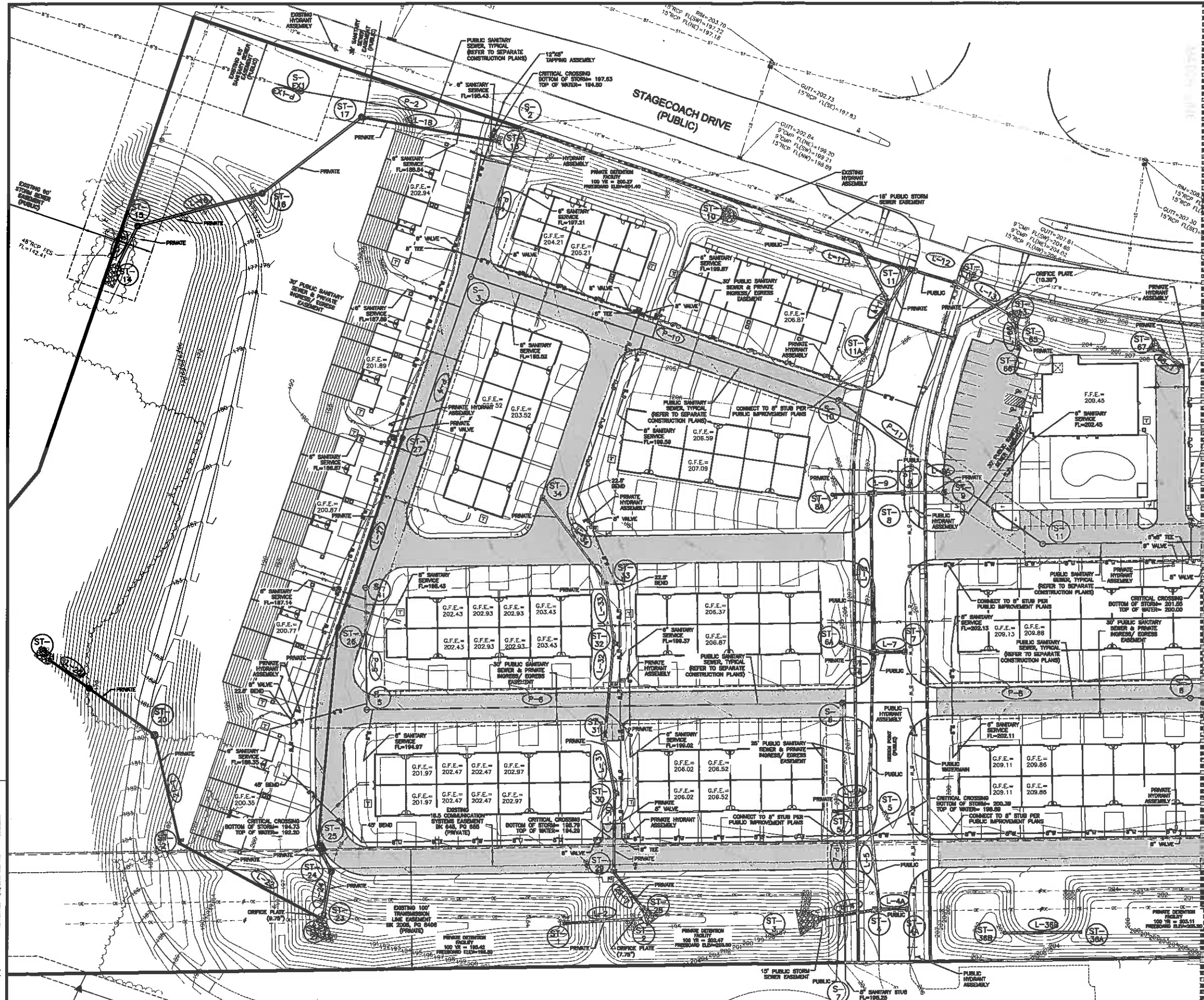
REVISIONS	DATE
1	04/02/15
2	03/31/15
3	02/19/15
4	01/16/15

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 ENGINEER: \_\_\_\_\_ TECH: \_\_\_\_\_



**ASPIRE**  
 GRADING PLAN (NORTHEAST / SOUTHEAST)  
 WEST DES MOINES, IOWA





**UTILITY NOTES**

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- ALL UTILITIES SHALL BE STUBBED TO 8 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 8' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WEST DES MOINES PLUMBING CODE.
- 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY UNKNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-6989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
- 2" WATER SERVICES TO ALL BUILDINGS SHALL.

**WEST DES MOINES WATER WORKS NOTES**

- ALL WATER WORK SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION (315-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND CITY'S CROSS-CONNECTION CONTROL/CONTAMINATION PROVISIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY FOR CONTAMINATION IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 84-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (315)-222-3465 A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- BUILDING FIRE SPRINKLER AND FIRE ALARM SYSTEM SHALL BE DESIGNED PER WEST DES MOINES FIRE CODE.
- WATER SHALL BE PROVIDED TO PROPERTY VIA PRIVATE WATER MAIN. OWNER SHALL ALLOW WEST DES MOINES WATER WORKS ACCESS TO THE METERS AND VALVES AS NEEDED FOR EMERGENCY MAINTENANCE AND SHUT OFF IN THE EVENT OF NON-PAYMENT.

**NOTE:**

CONTRACTOR SHALL COORDINATE ALL TRANSFORMER PAD LOCATIONS, INCLUDING BUILDING SEPARATION, WITH MID AMERICAN ENERGY PRIOR TO TRANSFORMER PAD CONSTRUCTION.

**LIGHTING NOTES:**

SEE LIGHTING PLAN (PHOTOMETRIC PLAN) FOR MORE INFORMATION. ALL LIGHTING MUST BE DOWN-CAST, CUT-OFF TYPE FIXTURES. WALL PACK LIGHT WITHOUT SHIELDS TO DIRECT LIGHT DOWN TO ITS INTENDED TARGET ARE PROHIBITED.

**PRIVATE WATER MAIN QUANTITIES**

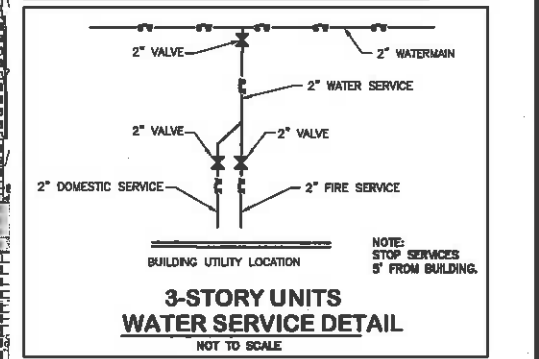
HYDRANTS ASSEMBLY	18 EA
2" VALVE	27 EA
2" WATER MAIN	3,832 LF
6" WATER MAIN	438 LF
2" WATER SERVICE	1,515 LF

**NOTE:**

REFER TO SHEET 12 FOR ALL PUBLIC VERSUS PRIVATE STORM SEWER PIPES AND STRUCTURES.

**NOTE:**

REFER TO SEPARATE PUBLIC IMPROVEMENT PLANS FOR SANITARY SEWER AND SERVICES, PUBLIC STORM SEWER, PUBLIC WATER MAIN AND PUBLIC STREET INFORMATION.



DATE	REVISIONS
04/02/15	SITE PLAN SUBMITTAL #4
03/13/15	SITE PLAN SUBMITTAL #3
02/18/15	SITE PLAN SUBMITTAL #2
01/19/15	SITE PLAN SUBMITTAL #1

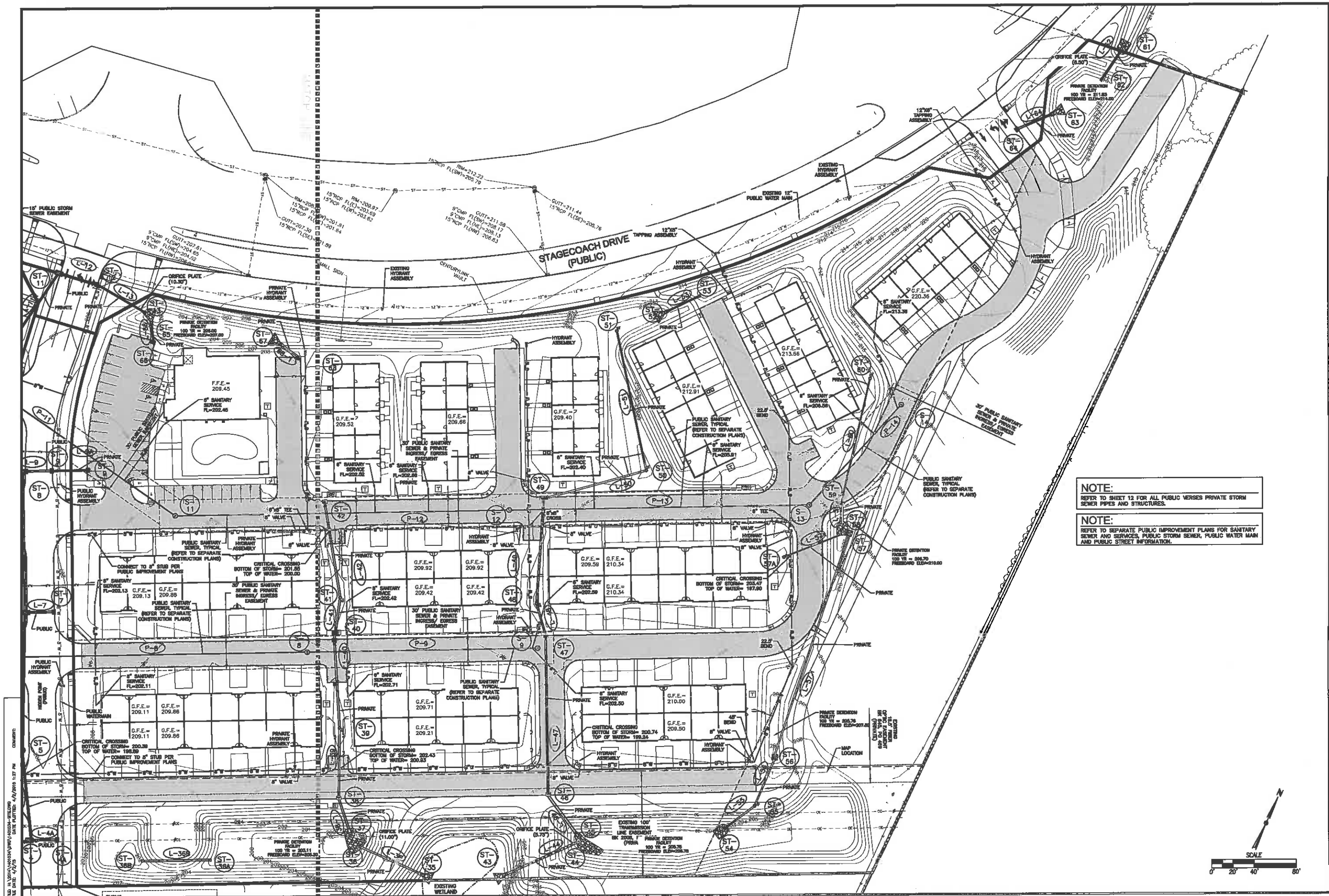
3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410  
TECH: ENGINEER:



WEST DES MOINES, IOWA

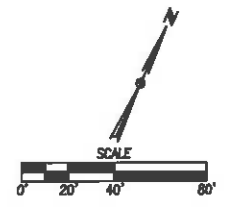
**ASPIRE**  
UTILITY PLAN (WEST)

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**NOTE:**  
REFER TO SHEET 12 FOR ALL PUBLIC VERSUS PRIVATE STORM SEWER PIPES AND STRUCTURES.

**NOTE:**  
REFER TO SEPARATE PUBLIC IMPROVEMENT PLANS FOR SANITARY SEWER AND SERVICES, PUBLIC STORM SEWER, PUBLIC WATER MAIN AND PUBLIC STREET INFORMATION.



PREPARED BY: J. J. HANCOCK & ASSOCIATES, INC. DATE: 4/2/2010 1:37 PM  
 CHECKED BY: J. J. HANCOCK DATE: 4/2/2010 1:37 PM

REVISIONS	DATE
SITE PLAN SUBMITTAL #4	04/02/10
SITE PLAN SUBMITTAL #5	03/13/10
SITE PLAN SUBMITTAL #2	02/18/10
SITE PLAN SUBMITTAL #1	01/19/10

3405 S.E. CROSSROADS DRIVE, SUITE G  
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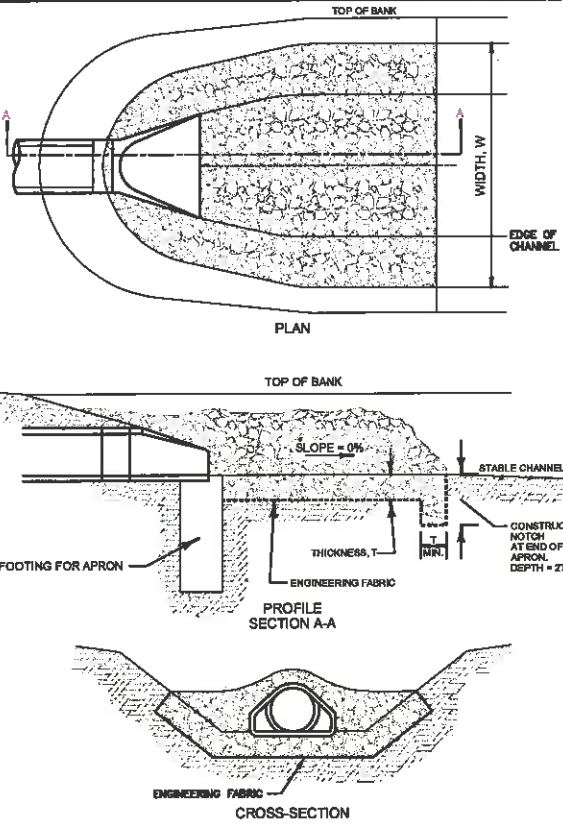
CIVIL DESIGN ADVANTAGE  
 WEST DES MOINES, IOWA

**ASPIRE**  
 UTILITY PLAN (EAST)

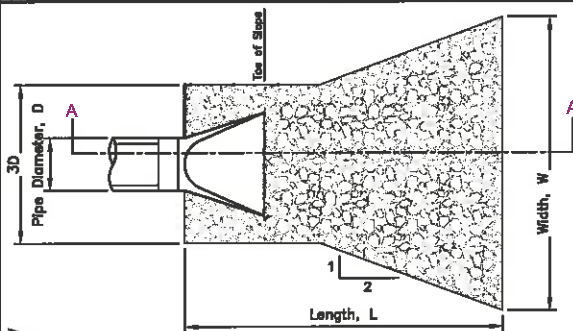
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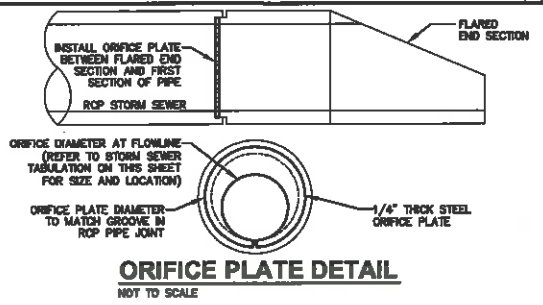




**RIP RAP APRON FOR PIPE OUTLET INTO CHANNEL**  
NOT TO SCALE NOT TO SCALE



**RIP RAP APRON FOR PIPE OUTLET ONTO FLAT GROUND**



**ORIFICE PLATE DETAIL**  
NOT TO SCALE

**STORM SEWER INFORMATION (PUBLIC)**

List of Intakes and Utility Accesses				
Structure Number	Location	Type or Standard Road Plan	Form Grade/Rm Elevation	Note
<b>STORM PUBLIC DRIVE</b>				
ST-1	STA 18+29.98, 72.36 RT	12" RCP APRON	FL= 192.00	1
ST-2	STA 18+29.98, 72.36 RT	12" RCP APRON	FL= 194.00	1E
ST-3	STA 18+29.98, 72.36 RT	15" RCP APRON	FL= 196.00	2
ST-4	STA 18+12.00, 13.00 RT	M-B INTAKE	TC= 209.78	10
ST-5	STA 14+00.00, 13.00 RT	TYPE A MANHOLE	TC= 206.67	
ST-6	STA 14+00.00, 13.00 RT	M-G INTAKE	TC= 206.92	15
ST-7	STA 14+00.00, 13.00 LT	M-A INTAKE	TC= 206.92	16
ST-8A	STA 15+15.00, 13.00 RT	M-A INTAKE	TC= 206.78	10, 15
ST-8A	STA 15+15.00, 13.00 RT	NYLOPLAST DRAIN BASIN (PRIVATE)	RBM= 204.71	10
ST-8A	STA 12+67.00, 13.00 RT	NYLOPLAST DRAIN BASIN (PRIVATE)	RBM= 204.24	10
ST-8	STA 12+67.00, 13.00 RT	M-C INTAKE	TC= 206.73	15
ST-9	STA 12+67.00, 13.00 LT	M-A INTAKE	TC= 204.73	
ST-8A	STA 12+67.00, 13.00 RT	NYLOPLAST DRAIN BASIN (PRIVATE)	RBM= 204.47	10
ST-9A	STA 12+66.93, 45.00 LT	M-A INTAKE (PRIVATE)	TC= 206.24	
ST-10	STA 10+98.00, 13.00 RT	15" RCP APRON	FL= 201.00	1
ST-11	STA 10+98.00, 13.00 RT	M-G INTAKE	TC= 209.98	
ST-12	STA 10+98.00, 13.00 LT	M-A INTAKE	TC= 209.00	
ST-13	STA 10+98.00, 13.00 LT	12" RCP APRON	FL= 202.80	17
ST-11A	STA 11+48.70, 13.00 RT	NYLOPLAST DRAIN BASIN (PRIVATE)	RBM= 205.63	10

List of Storm Sewer Pipe							
Pipe Number	To	From	Material	Diameter inches	Length feet	Slope %	Note
L-2	ST-1	ST-2	RCP	12	98	3.63	192.00 194.00
L-4	ST-3	ST-4	RCP	15	47	4.81	196.00 199.78
L-5	ST-4	ST-5	RCP	15	81	1.00	199.78 199.78
L-6	ST-5	ST-6	RCP	15	127	0.88	200.68 201.56
L-7	ST-6	ST-7	RCP	15	32	1.00	201.78 201.98
L-8A	ST-6	ST-8A	RCP	12	21	1.80	200.91 200.22
L-8A	ST-6	ST-8A	RCP	12	27	3.70	201.38 202.38
L-8A	ST-6	ST-8A	RCP	12	28	1.80	201.98 202.41
L-8	ST-7	ST-8	RCP	15	130	0.88	201.78 202.41
L-9	ST-8	ST-9	RCP	15	31	0.61	202.61 202.60
L-8A	ST-8	ST-8A	RCP	12	31	0.61	202.61 202.80
L-9A	ST-9	ST-9A	RCP	12	32	2.00	202.93 201.97
L-11	ST-10	ST-11	RCP	15	154	0.88	201.00 201.87
L-12	ST-11	ST-12	RCP	15	33	0.32	201.97 202.14
L-13	ST-12	ST-13	RCP	12	82	0.88	202.80 202.80
L-11A	ST-11	ST-11A	RCP	12	68	2.84	202.07 203.63

**STORM SEWER INFORMATION (PRIVATE)**

List of Intakes and Utility Accesses				
Structure Number	Location	Type or Standard Road Plan	Form Grade/Rm Elevation	Note
<b>STORM PRIVATE SITE</b>				
ST-14		15" CMP APRON	FL= 142.41	3
ST-15		TYPE A MANHOLE	RBM= 158.35	
ST-16		TYPE A MH (BEEHIVE GRATE)	RBM= 169.00	11
ST-17		TYPE A MANHOLE	RBM= 162.84	
ST-18		15" CMP APRON	FL= 156.00	
ST-19		12" CMP APRON	FL= 162.27	8
ST-20A		TYPE A MANHOLE	RBM= 167.91	
ST-20		TYPE A MH (BEEHIVE GRATE)	RBM= 173.87	11
ST-21		NYLOPLAST DRAIN BASIN (SOLID LID)	RBM= 168.16	
ST-22		12" RCP APRON	FL= 167.00	18
ST-23		15" CMP APRON	FL= 187.00	5
ST-24		TYPE A MANHOLE	RBM= 198.35	
ST-25		M-B INTAKE	TC= 197.84	16
ST-26		M-A INTAKE	TC= 199.11	14
ST-27		M-A INTAKE	TC= 200.49	14
ST-28		15" CMP APRON	FL= 191.00	6
ST-29		M-A INTAKE	TC= 202.64	16
ST-30		NYLOPLAST DRAIN BASIN INTAKE	RBM= 201.45	
ST-31		M-A INTAKE	TC= 202.04	16
ST-32		NYLOPLAST DRAIN BASIN INTAKE	RBM= 201.64	
ST-33		M-A INTAKE	TC= 202.41	15
ST-34		M-A INTAKE	TC= 201.84	14
ST-35		12" RCP APRON	FL= 198.00	7
ST-36		12" RCP APRON	FL= 198.32	19
ST-36A		12" RCP APRON	FL= 201.00	
ST-36B		12" RCP APRON	FL= 201.63	
ST-37		15" CMP APRON	FL= 199.00	8
ST-38		M-B INTAKE	TC= 207.78	15
ST-39		NYLOPLAST DRAIN BASIN INTAKE	RBM= 207.13	
ST-40		M-A INTAKE	TC= 208.04	14
ST-41		NYLOPLAST DRAIN BASIN INTAKE	RBM= 207.03	
ST-42		M-A INTAKE	TC= 208.41	18
ST-43		12" RCP APRON	FL= 187.53	7
ST-44		12" RCP APRON	FL= 188.90	23
ST-45		24" CMP APRON	FL= 199.50	8
ST-46		M-A INTAKE	TC= 207.33	
ST-47		M-A INTAKE	TC= 207.64	
ST-48		NYLOPLAST DRAIN BASIN INTAKE	RBM= 209.75	
ST-49		M-D INTAKE	TC= 208.08	15
ST-50		NYLOPLAST DRAIN BASIN INTAKE	RBM= 207.90	
ST-51		NYLOPLAST DRAIN BASIN INTAKE	RBM= 208.09	
ST-52		12" CMP APRON	FL= 210.00	
ST-53		12" CMP APRON	FL= 210.19	
ST-54		12" CMP APRON	FL= 200.98	1
ST-55		NYLOPLAST DRAIN BASIN (SOLID LID)	RBM= 208.21	
ST-56		M-G INTAKE	RBM= 208.25	12
ST-57		M-G INTAKE	RBM= 207.25	13
ST-58		12" CMP APRON	FL= 206.12	1
ST-57A		NYLOPLAST DRAIN BASIN INTAKE	RBM= 208.43	11
ST-59		M-A INTAKE	TC= 211.24	15
ST-60		NYLOPLAST DRAIN BASIN INTAKE	RBM= 212.02	
ST-61		12" RCP APRON	FL= 209.33	1
ST-62		12" RCP APRON	FL= 209.50	21
ST-63		15" CMP APRON	FL= 211.00	7
ST-64		M-A INTAKE	TC= 214.15	15
ST-65		12" CMP APRON	TC= 203.00	7
ST-66		M-A INTAKE	FL= 208.16	15
ST-67		12" CMP APRON	FL= 206.00	7
ST-68		M-A INTAKE	TC= 208.08	15

- Notes:  
1. INSTALL 12 TONS OF CLASS E RCP RAR, W=10' L=10'  
2. INSTALL 32 TONS OF CLASS E RCP RAR, W=20' L=20'  
3. INSTALL 21 TONS OF CLASS E RCP RAR, W=10' L=15'  
4. INSTALL 17 TONS OF CLASS E RCP RAR, W=10' L=12'  
5. INSTALL 30 TONS OF CLASS E RCP RAR, SEE PLAN  
6. INSTALL 13 TONS OF CLASS E RCP RAR, W=10' L=12'  
7. INSTALL 10 TONS OF CLASS E RCP RAR, W=12' L=10'  
8. INSTALL 32 TONS OF CLASS E RCP RAR, SEE PLAN  
9. INSTALL 12 TONS OF CLASS E RCP RAR, SEE PLAN  
10. INSTALL NYLOPLAST 24" DIAMETER DRAIN BASIN & DOME GRATE  
11. INSTALL NYLOPLAST DOME GRATE  
12. OPENING: 36"x36" ON WEST SIDE AT ELEVATION 206.00  
13. OPENING: 36"x36" ON NORTH SIDE AT ELEVATION 205.00  
14. MATCHES 8" ROLLED CURB  
15. MATCHES 6" STANDARD CURB  
16. ORIFICE CONTROLLED OUTLET, 7.75 INCH DIAMETER OPENING  
17. ORIFICE CONTROLLED OUTLET, 10.50 INCH DIAMETER OPENING  
18. ORIFICE CONTROLLED OUTLET, 8.75 INCH DIAMETER OPENING  
19. ORIFICE CONTROLLED OUTLET, 11.00 INCH DIAMETER OPENING  
20. ORIFICE CONTROLLED OUTLET, 8.75 INCH DIAMETER OPENING  
21. ORIFICE CONTROLLED OUTLET, 6.50 INCH DIAMETER OPENING

**SANITARY SEWER INFORMATION (PUBLIC)**

List of Sanitary Sewer Utility Accesses					
Structure Number	Location	Manhole Type	Rm Elevation	Depth feet	Note
S- EX1		TYPE A	193.21	193.21	1, J
S-2		TYPE A	201.93	19.63	
S-3		TYPE A	201.54	18.71	
S-4		TYPE A	199.34	18.06	
S-5		TYPE A	199.40	14.53	
S-6		TYPE A	206.46	13.62	
S-7		TYPE A	206.17	12.62	
S-8		TYPE A	206.17	12.39	
S-9		TYPE A	207.62	9.56	
S-10		TYPE A	206.76	14.29	
S-11		TYPE A	206.50	13.80	
S-12		TYPE A	206.01	10.19	
S-13		TYPE A	209.83	9.12	
S-14		TYPE A	218.89	9.08	

- Notes:  
1.) Adjust Rim

List of Sanitary Sewer Pipe							
Pipe Number	From	To	Diameter inches	Length feet	Slope %	FL(out)	FL(in)
P-2	S-2	S- EX1	8	183	2.34	179.00	182.10
P-3	S-3	S-2	8	126	0.50	182.20	182.83
P-4	S-4	S-3	8	271	0.50	182.93	184.28
P-5	S-5	S-4	8	90	0.60	184.38	184.87
P-6	S-6	S-5	8	394	2.00	184.57	192.84
P-7	S-7	S-6	8	231	1.00	192.64	195.25
P-8	S-8	S-7	8	288	1.00	192.90	196.79
P-9	S-9	S-8	8	215	1.30	195.89	198.04
P-10	S-10	S-3	8	321	1.00	189.28	192.47
P-11	S-11	S-10	8	205	1.00	192.67	194.62
P-12	S-12	S-11	8	310	1.00	194.72	197.82
P-13	S-13	S-12	8	270	1.30	197.92	200.71
P-14	S-14	S-13	8	124	5.50	200.81	207.63

- Notes:

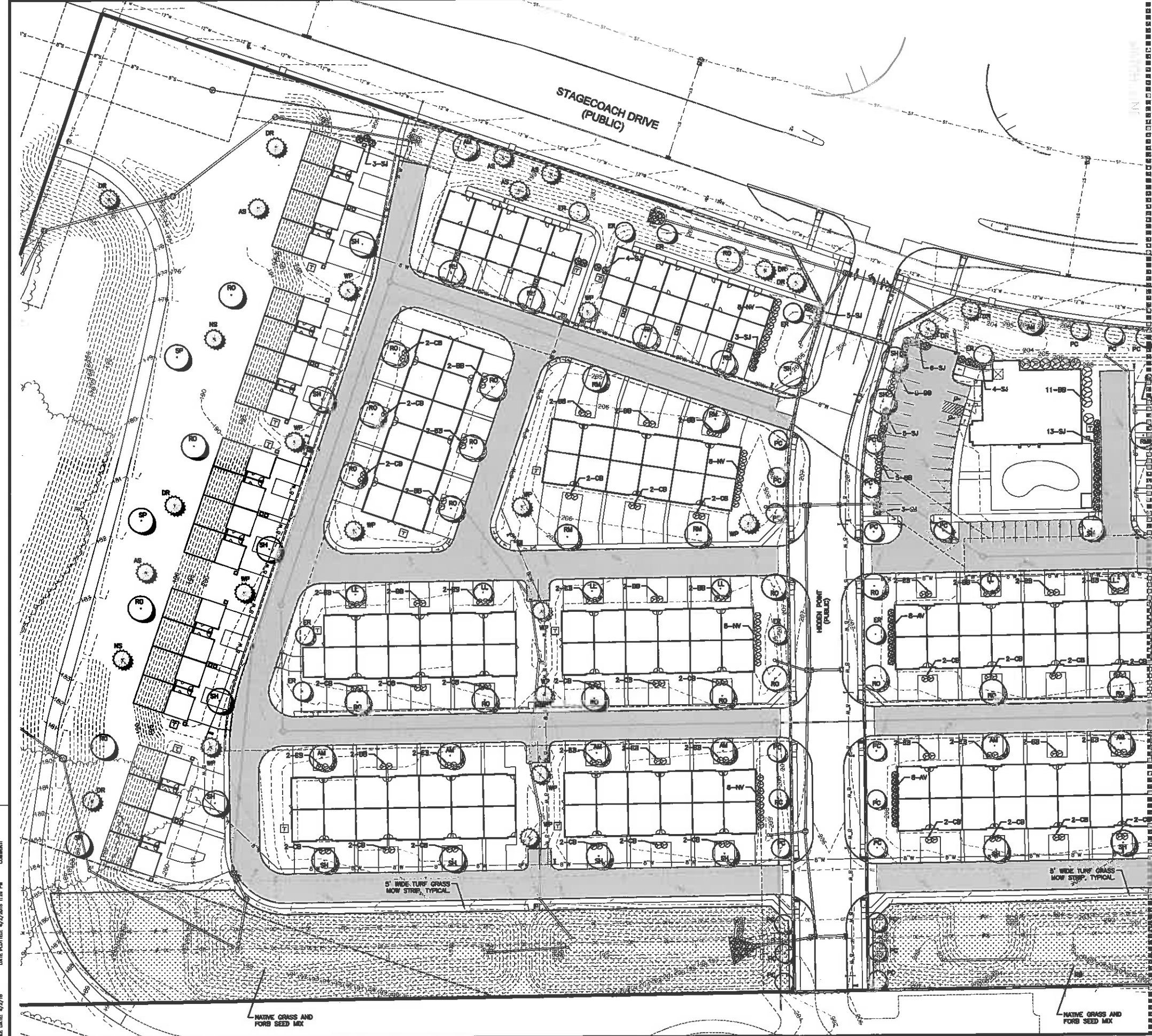
DATE	REVISIONS
04/02/16 <td>SITE PLAN SUBMITTAL #4</td>	SITE PLAN SUBMITTAL #4
03/13/16 <td>SITE PLAN SUBMITTAL #3</td>	SITE PLAN SUBMITTAL #3
02/19/16 <td>SITE PLAN SUBMITTAL #2</td>	SITE PLAN SUBMITTAL #2
01/19/16 <td>SITE PLAN SUBMITTAL #1</td>	SITE PLAN SUBMITTAL #1

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410  
TECH: ENGINEER



**ASPIRE**  
**STORM / SANITARY SEWER INFORMATION**  
WEST DES MOINES, IOWA

FILE: H:\DVA\48358\DWG\48358-SSW-03.dwg DATE PLOTTED: 4/2/2016 1:28 PM COMMENT:



- ### LANDSCAPE NOTES
1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
  2. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS.
  3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
  4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS, TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
  5. SOIL ALL AREAS ADJACENT TO BUILDINGS, SEED (TYPE) ALL OTHER DISTURBED AREAS.
  6. BACKFILL TO TOP OF CURB, (MINUS 1 1/2" FOR SOIL, F. RED.)
  7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
  8. SHREDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3". ALL GROUPS OF MORE THAN ONE SHRUB SHALL BE MULCHED IN A CONTINUOUS BED, SEPARATED FROM TURF BY A 3" SPADE-CUT EDGE. MULCH AROUND ALL CONIFEROUS TREES SHALL BE A 10" DIAMETER CIRCLE. ALL EDGING SHALL BE SPADE-CUT EDGE.
  9. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
  10. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
  11. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
  12. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER FOR APPROVAL.
  13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER FOR APPROVAL.
  14. NO OVERSTORY TREES SHALL BE PLANTED IN ANY CITY OF WEST DES MOINES PUBLIC UTILITY EASEMENT.

### SCREENING

ALL MECHANICAL UNITS VISIBLE FROM A PUBLIC STREET SHALL BE SCREENED BY THE USE OF AN EVERGREEN SCREEN.

- ### PLANT SUBSTITUTIONS
- (2) ORNAMENTAL TREES = (1) OVERSTORY TREE OR EVERGREEN
  - (10) SHRUBS = (1) UNDERSTORY TREE
- NO MORE THAN 50% OF THE REQUIRED PLANT TYPE MAY BE SUBSTITUTED.
- AT LEAST 25% OF TREES REQUIRED ON SITE (SUM OF OPEN SPACE, BUFFER AND PARKING LOT TREES) SHALL BE EVERGREEN.
- |                      |            |
|----------------------|------------|
| TOTAL TREES REQUIRED | = 202      |
| EVERGREENS REQUIRED  | = 70 (35%) |
| EVERGREENS PROVIDED  | = 70 (35%) |

### MINIMUM PLANT SIZES

DECIDUOUS OVERSTORY TREES	= 2" CAL
DECIDUOUS OVERSTORY TREES (CLUMP)	= 1" CAL
EVERGREEN TREES	= 6" HEIGHT
ORNAMENTAL TREES	= 1.5" CAL
DECIDUOUS SHRUBS (5'+)	= 36" HEIGHT
DECIDUOUS SHRUBS (3'-5')	= 24" HEIGHT
DECIDUOUS SHRUBS (0-3')	= 15" HEIGHT

### OPEN SPACE LANDSCAPE REQUIREMENTS

- (2) TREES PER 3000 SF OF REQUIRED OPEN SPACE
- (3) SHRUBS PER 3000 SF OF REQUIRED OPEN SPACE

SITE AREA	= 1,071,080 SF
OPEN SPACE REQUIRED	= 267,770 SF (25%)
OPEN SPACE PROVIDED	= 864,841 SF (82%)
TREES REQUIRED	= 179
TREES PROVIDED	= 189
SHRUBS REQUIRED	= 268
SHRUBS PROVIDED	= 287

### PLANT SCHEDULE

CODE	COMMON NAME	SCIENTIFIC NAME	SIZE	COND.
<b>OVERSTORY TREES</b>				
RO 27	RED OAK	QUERCUS RUBRA	2" CAL	BAB
SP 13	SOLOMON COTONWOOD	POPULUS DELTOIDES SUDLAND	2" CAL	BAB
AM 20	AUTUMN BLAZE MAPLE	ACER RUBRUM 'AUTUMN BLAZE'	2" CAL	BAB
SH 10	SHADOWER HORSE-CHESTNUT	CORNUS TRICANTHOS 'BERKE' SHADOWER	2" CAL	BAB
RM 11	RED MAPLE	ACER RUBRUM	2" CAL	BAB
<b>EVERGREEN TREES</b>				
WP 28	EASTERN WHITE PINE	PINUS STROBUS	6" HT.	BAB
BE 14	BALM SPRUCE	NETZSCHERIA	6" HT.	BAB
NO 14	NORWAY SPRUCE	PICEA ABIES	6" HT.	BAB
AR 14	AUSTRIAN PINE	PINUS INCIENS	6" HT.	BAB
<b>UNDERSTORY TREES</b>				
PC 14	PRAIRIE PEAR	ORUS CHAMBERSII	1.5" CAL	BAB
MA 14	MALUS 'PRINCE' SPYGLASS	MAULUS 'X' PRINCE FIRE	1.5" CAL	BAB
LL 15	LITTLE LEAF LINDEN	TILIA CORDATA	1.5" CAL	BAB
<b>SHRUBS</b>				
BB 10	BURNING BUSH	EGONIA ALATA	36" HT.	CONT
AV 30	ARBOREOUS VIBURNUM	VIBURNUM AYTALUM	36" HT.	CONT
NY 30	NANANERRY VIBURNUM	VIBURNUM LINDLUM	36" HT.	CONT
CR 28	CRAWFORD CRANBERRY BUSH	VIBURNUM CRANBERRY	36" HT.	CONT
SJ 10	SEA GREEN JUNCUS	JUNCUS CHINENSIS 'SEA GREEN'	36" HT.	CONT

### STREETSCAPE REQUIREMENTS

A LANDSCAPED EDGE OR STREETSCAPE SHOULD BE PROVIDED ALONG ALL STREETS UPON WHICH THE PUBLIC IS PERMITTED TO TRAVEL REGARDLESS OF WHETHER THEY ARE PUBLIC OR PRIVATE. THERE ARE NO MINIMUM LANDSCAPING REQUIREMENTS FOR STREETSCAPES, HOWEVER, LANDSCAPING PLACED ALONG STREETSCAPES SHALL BE ALLOWED TO CONTINUE TOWARDS REQUIRED OPEN SPACE LANDSCAPING UNLESS SAID LANDSCAPING IS PART OF A REQUIRED BUFFER.

STREETSCAPE PROVIDED.

DESIGNED BY: ALAN WALKER ARCHITECTS, INC. DATE: 4/2/18  
 CHECKED BY: DATE: 4/2/18  
 CONSTRUCTION DATE: 4/2/18 1:30 PM

REVISIONS  
 DATE  
 04/02/18  
 03/13/18  
 02/18/18  
 01/18/18

SITE PLAN SUBMITTAL #4  
 SITE PLAN SUBMITTAL #3  
 SITE PLAN SUBMITTAL #2  
 SITE PLAN SUBMITTAL #1

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH:

ENGINEER:

CIVIL DESIGN ADVANTAGE

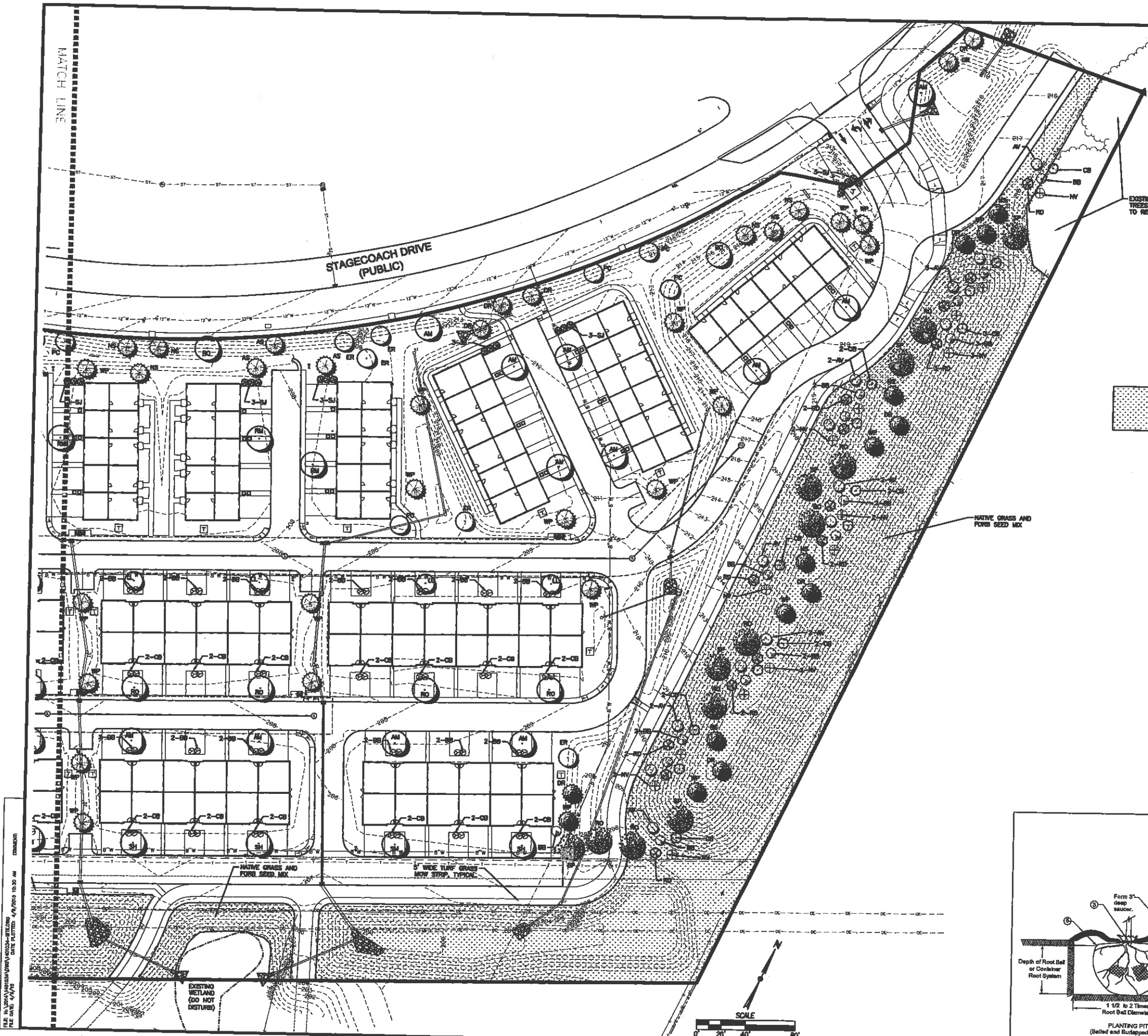
ASPIRE  
 LANDSCAPE PLAN (WEST)

WEST DES MOINES, IOWA

13  
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**MINIMUM PLANT SIZES**

DECIDUOUS OVERSTORY TREES	=2" CAL
DECIDUOUS OVERSTORY TREES (CLUMP)	=1" CAL
EVERGREEN TREES	=4" HEIGHT
ORNAMENTAL TREES	=1.5" CAL
DECIDUOUS SHRUBS (8'-9')	=36" HEIGHT
DECIDUOUS SHRUBS (3'-5')	=24" HEIGHT
DECIDUOUS SHRUBS (0-3')	=15" HEIGHT

**60' BUFFER REQUIREMENTS (EAST PROPERTY LINE)**

- A LANDSCAPED BERM AREA OF NOT LESS THAN 60 FEET IN WIDTH COMPRISED OF 1 OVERSTORY OR EVERGREEN TREE & 3 SHRUBS PER 35 L.F.T. OF BUFFER.
  - SIZE OF TREES SHALL BE EVERGREEN
  - NO BUILDING OR STRUCTURE, EXCEPT GROUND SIGNAGE ALLOWED BY CODE, MAY BE LOCATED WITHIN A DESIGNATED BUFFER.
- |                 |                      |
|-----------------|----------------------|
| BUFFER LENGTH   | =813'                |
| TREES REQUIRED  | =23                  |
| SHRUBS REQUIRED | =70                  |
| TREES PROVIDED  | =23 + EXISTING TREES |
| SHRUBS PROVIDED | =70                  |

**PLANT SCHEDULE (EAST BUFFER)**

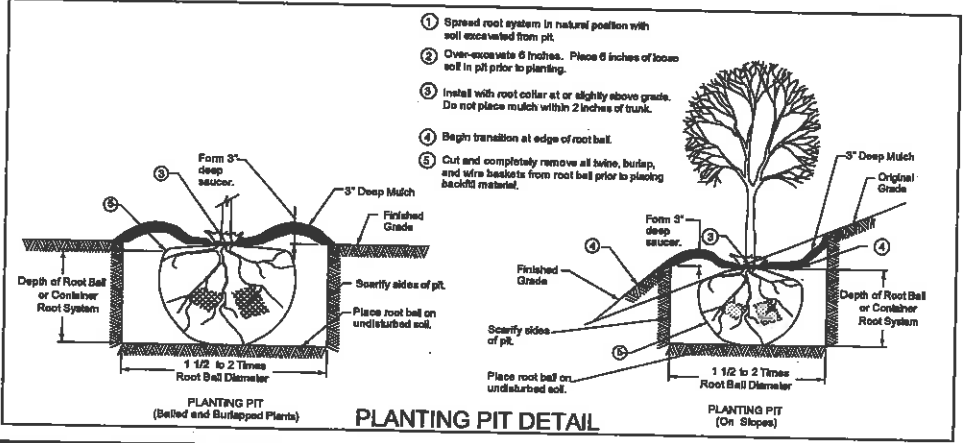
PLANT	COMMON NAME	SCIENTIFIC NAME	SIZE	COND.
PO 7	RED OAK	QUERCUS RUBRA	2" CAL	COND.
PO 16	SOUTHERN DOGWOOD	PODALIRUS VIRELORUS SOUTHERN	2" CAL	COND.
PO 18	EASTERN WHITE PINE	PINUS SEROTINA	6" HT.	COND.
PO 19	PAVING BUSH	ELAEAGNUS ALATA	36" HT.	COND.
PO 19A	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19B	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19C	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19D	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19E	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19F	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19G	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19H	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19I	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19J	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19K	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19L	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19M	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19N	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19O	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19P	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19Q	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19R	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19S	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19T	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19U	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19V	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19W	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19X	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19Y	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.
PO 19Z	LAUREL YEW	YUCCA FLORIDANA	36" HT.	COND.

H. Native Grass and Forbs (Wildflower) Seeding: Between April 1 and June 30, use the following seed mixture for areas designated for native grass and wildflower seeding

Table 9010.13: Native Grass and Forbs (Wildflower) Seeding Mixture

Common Name	Scientific Name	Application Rate**
<b>GRASSES</b>		
Big bluestem*	Andropogon gerardii	1.0
Canada wild rye	Elymus Canadensis	1.5
Indiangrass*	Sorghastrum nutans	1.0
Little bluestem*	Schizachyrium scoparium	2.0
Sideoats grama*	Bouteloua curtipendula	2.5
Switchgrass*	Panicum virgatum	0.5
<b>FORBS (WILDFLOWERS)</b>		
Black-eyed Susan	Rudbeckia hirta	3.0
Butterfly milkweed	Asclepias tuberosa	4.0
Canadian anemone	Anemone canadensis	0.5
Common mountainmint	Pycnanthemum virginianum	0.25
Golden Alexanders	Zizia aurea	8.0
Grey-headed coneflower	Ratibida pinnata	2.75
Heath aster	Symphoricarpos ericoides	0.25
Ironweed	Veronica fasciculata	3.0
New England aster	Symphoricarpos novae-angliae	1.25
Ohio spiderwort	Tradescantia ohioensis	7.0
Oxeye sunflower	Helopsis helianthoides	7.0
Pale purple coneflower	Echinacea pallida	12.0
Partridge pea	Chamaecrista fasciculata	15.0
Prairie blazing star	Liatris pycnostachya	32.0
Purple prairie clover	Desmodium illinoense	4.5
Rattlesnake master	Eryngium yuccifolium	2.5
Showy goldenrod	Solidago speciosa	1.75
Stiff goldenrod	Solidago rigida	0.50
Swamp milkweed	Asclepias incarnata	1.0
White wild indigo	Baptisia sibirica	4.0
Wild bergamot	Monarda fistulosa	2.0
		1.25
<b>NURSE CROP</b>		
Oats (spring seeding - April 1 to June 30)		32
Winter wheat (dominant/frost seeding - November 1 to March 31)		25

\* Furnish seed certified as Source Identified Class (Yellow Tag) Source G0-1000  
 \*\* Seeding rates for native grass and forb species are given as PLS. Either the germination test or Tetrazolium (TZ) test is acceptable to determine PLS for native species.



FILE IN: 10/14/2014 10:30 AM  
 DATE PLOTTED: 4/17/2015 10:30 AM  
 COMMENT:

DATE: 04/02/15  
 09/13/15  
 02/18/15  
 07/18/15

REVISIONS: SITE PLAN SUBMITTAL #1  
 SITE PLAN SUBMITTAL #2  
 SITE PLAN SUBMITTAL #3

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: ENGINEER: WEST DES MOINES, IOWA

**ASPIRE**  
**LANDSCAPE PLAN (EAST)**

CIVIL DESIGN ADVANTAGE

14/14  
 1401034

**CITY OF WEST DES MOINES  
MEMORANDUM**

**TO:** Plan and Zoning Commission Members

**FROM:** Brian Portz, Planner *BP*

**DATE:** April 27, 2015

**RE:** Item 4a: Aspire Residential

The attached email was received from the Pheasant Ridge Home Owner's Association President regarding the proposed Aspire residential development on the eastern portion of the Roger's Farm property, north of and adjacent to the Pheasant Ridge single family development. As part of the original consistency zoning of the property, at the request of Pheasant Ridge, the developer at that time, Knapp Properties, agreed to limit the height of buildings within the eastern portion of the Roger's Farm development to three stories or less. The subsequent PUD codified this requirement. The proposed development is consistent with the regulations outlined in the PUD.

cc: Lynne Twedt, Director of Development Services

**Portz, Brian**

---

**From:** Bruce Hansen <BHansen@iadg.com>  
**Sent:** Monday, April 27, 2015 9:05 AM  
**To:** Portz, Brian  
**Subject:** RE: Roger's Farm/Aspire development

*It's unfortunate that the Aspire project was already drawn up and laid out before Pheasant Ridge was given any consideration to comment on the project. Of course, we object to three story structures bordering Pheasant Ridge.*

*In my opinion two story structures should have been placed next to Pheasant Ridge with three story structures at the street.*

*Bruce Hansen  
Pheasant Ridge*

---

**From:** Portz, Brian [mailto:Brian.Portz@wdm.iowa.gov]  
**Sent:** Monday, April 27, 2015 8:17 AM  
**To:** Bruce Hansen  
**Subject:** RE: Roger's Farm/Aspire development

Yes, the site plan will be presented to the P&Z at tonight's meeting. The meeting is at 5:30 PM. A notice was not sent since this is not a public hearing item. Noticing is only required for Comprehensive Plan Amendments and zoning changes.

**From:** Bruce Hansen [mailto:BHansen@iadg.com]  
**Sent:** Sunday, April 26, 2015 9:12 AM  
**To:** Portz, Brian  
**Subject:** RE: Roger's Farm/Aspire development

*Hi Brian,*

*Will the layout of the Aspire project be presented at the P&Z meeting on the 27<sup>th</sup>...?*

*Thanks,*

*Bruce Hansen  
Pheasant Ridge*

---

**From:** Portz, Brian [mailto:Brian.Portz@wdm.iowa.gov]  
**Sent:** Monday, April 13, 2015 12:26 PM  
**To:** Bruce Hansen  
**Subject:** RE: Roger's Farm/Aspire development



Prepared by: B Portz, City of West Des Moines Development Services, P.O. Box 65320, West Des Moines, IA 50265-0320, 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

### RESOLUTION

#### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING THE SITE PLAN (SP-002589-2015) TO ALLOW PHASED CONSTRUCTION OF A 222 UNIT TOWNHOME DEVELOPMENT AND ASSOCIATED SITE IMPROVEMENTS.**

**WHEREAS**, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Aspire Residential, LLC, has requested approval for Site Plan (SP-002589-2015) for that site located South of Stagecoach Drive, East of Jordan Creek Parkway, and West of S. 68<sup>th</sup> Street/Galleria Drive for the purpose of constructing of a 222 unit townhome development, clubhouse, and associated site improvements;

#### Legal Description of Property

#### **OUTLOT 'Y', ROGERS FARM, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA**

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, on April 27, 2015, the Plan and Zoning Commission did recommend to the City Council approval of the Site Plan (SP-002589-2015);

**WHEREAS**, on, May 4, 2015, this City Council held a duly-noticed meeting to consider the application for Site Plan (SP-002589-2015);

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

**SECTION 1.** The findings, for approval, stated in the staff report, dated May 4, 2015, or as amended orally at the City Council meeting of May 4, 2015, are adopted.

**SECTION 2.** Site Plan (SP-002589-2015) to allow construction of a 222 unit townhome development, clubhouse, and associated site improvements is approved, subject to compliance with all the conditions in the staff report, dated May 4, 2015, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

**PASSED AND ADOPTED** on May 4, 2015.

---

Steven K. Gaer  
Mayor

ATTEST:

---

Ryan T. Jacobson  
City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on May 4, 2015, by the following vote:

ATTEST:

---

Ryan T. Jacobson  
City Clerk

**EXHIBIT "A"**  
**CONDITIONS OF APPROVAL**

1. The applicant acknowledging that appropriate access drives, acceptable to the Fire Marshal must be in place prior to issuance of building permits.
2. The applicant acknowledging that useable roadways necessary to access a dwelling building as determined by the Fire Marshal will need to be available prior to issuance of any occupancy permits within the building, including temporary occupancy permits.
3. The applicant acknowledging that if future phases are not constructed, or not constructed in a timely fashion, the assigned building numbering may need to be adjusted. Said adjustments may affect buildings already occupied which will result in address changes for the residents.
4. The applicant agreeing that they will continue to work with staff on the design of the visible end elevation of the 3-story buildings to address the building mass of the end units.
5. The City Council approving the associated drive turnout right-of-way vacation request and completion of the disposition of the property prior to the issuance of a building permit, including footing and foundation permits for any building located within the subject vacation areas.

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

DATE: May 4, 2015

**ITEM:** Village of Ponderosa, East of South 60<sup>th</sup> Street at Village View Drive -  
Amend the Village of Ponderosa Specific Plan Ordinance to Modify Land Uses,  
Development Regulations and Proposed Architectural Concepts – ZCSP-002695-2015

**MOTION:** Refer to Plan and Zoning Commission

**FINANCIAL IMPACT:** Undetermined.

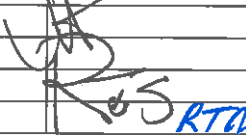
**BACKGROUND:** The applicants, LENL, LLC and LEWF, LLC, have submitted an application for approval of an amendment to the existing Village of Ponderosa Specific Plan Ordinance to modify land uses, development regulations and proposed architectural concepts within the overall Village of Ponderosa development.

At this time the petitioner is requesting that the City Council initiate the rezoning request and refer it to the Plan and Zoning Commission for their review and recommendation. The initiation of the rezoning request by the City Council does not indicate support or opposition to the rezoning request or the project pending on this site. The initiation of the request merely responds to the due process rights of the petitioner.

**RECOMMENDATION:** Staff recommends initiation of the rezoning request and forwarding it to the Plan and Zoning Commission for their review and recommendation.

Lead Staff Member: Brian Portz, Case Planner

**STAFF REVIEWS:**

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

Published In	n/a	
Date(s) Published	n/a	
Letter sent to surrounding property owners		n/a

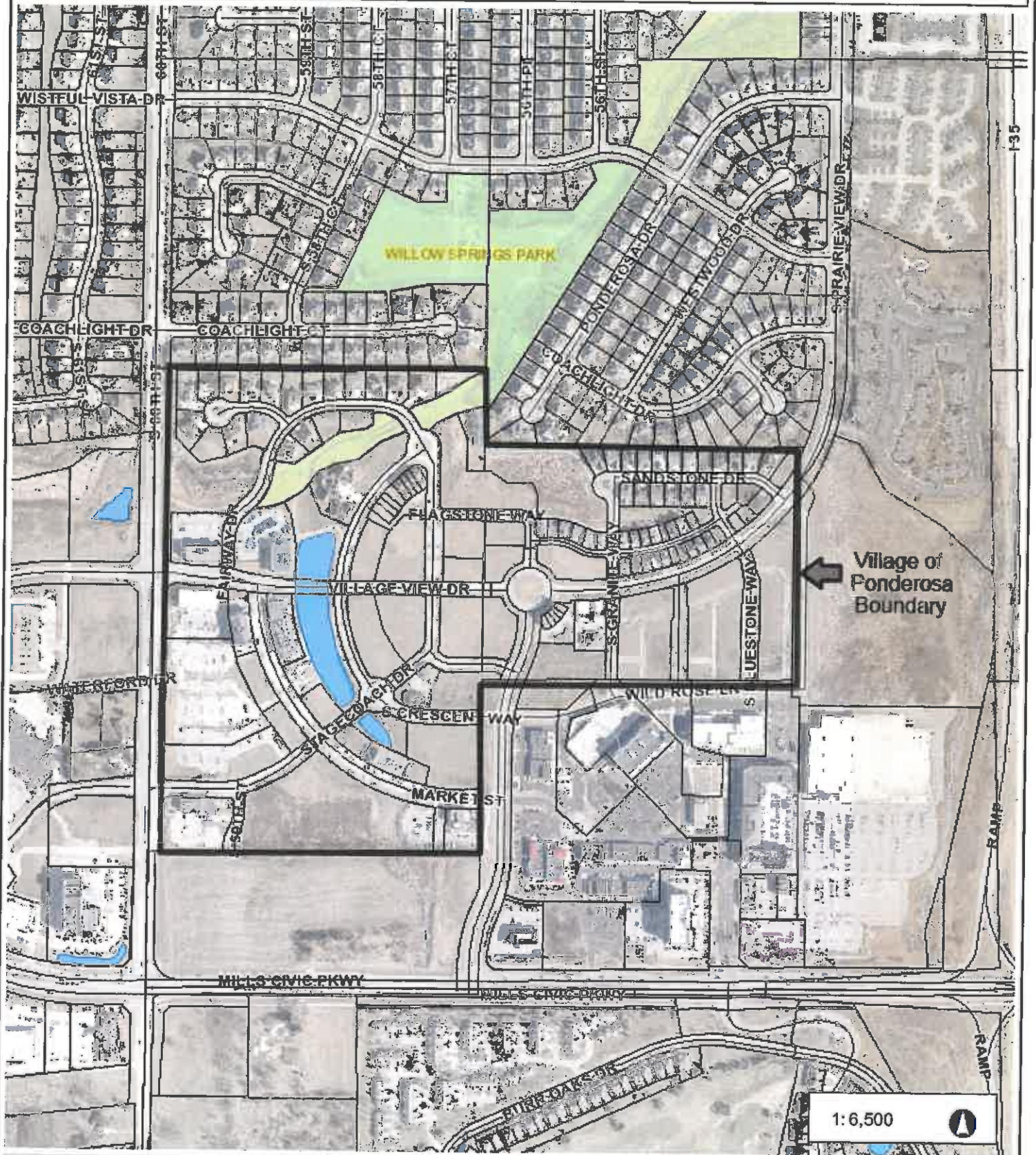
**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Development and Planning		
Date Reviewed	April 23, 2015		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

Exhibit I      =      Location Map

# Village of Ponderosa



1:6,500



1,083.3 0 541.67 1,083.3 Feet

NAD\_1983\_StatePlane\_Iowa\_South\_FIPS\_1402\_Feet  
© City of West Des Moines, Iowa

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

DATE: May 4, 2015

**ITEM:** Jordan West Specific Plan Amendment, SW corner of E. P. True Parkway and Jordan Creek Parkway – Amend the Specific Plan Ordinance to allow mix uses including retail, office, restaurants, hotel, convenience store and Medium Density Residential – ZCSP-002558-2014

**MOTION:** Refer to Plan and Zoning Commission

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** The applicant, Ryan Companies, has submitted an application for approval of an amendment to the existing Jordan West Specific Plan Ordinance to allow mixed uses including various retail establishments, office, restaurants, a multi-story hotel, convenience store and 3-story apartments within the overall Jordan West development.

At this time the petitioner is requesting that the City Council initiate the rezoning request and refer it to the Plan and Zoning Commission for their review and recommendation. The initiation of the rezoning request by the City Council does not indicate support or opposition to the rezoning request or the project pending on this site. The initiation of the request merely responds to the due process rights of the petitioner.

**RECOMMENDATION:** Staff recommends initiation of the rezoning request and forwarding it to the Plan and Zoning Commission for their review and recommendation.

Lead Staff Member: Brian Portz, Case Planner *BP*

**STAFF REVIEWS:**

Department Director	<i>JH</i>
Appropriations/Finance	
Legal	<i>JBW</i>
Agenda Acceptance	<i>RTJ</i>

**PUBLICATION(S) (if applicable)**

Published In	n/a
Date(s) Published	n/a
Letter sent to surrounding property owners	n/a

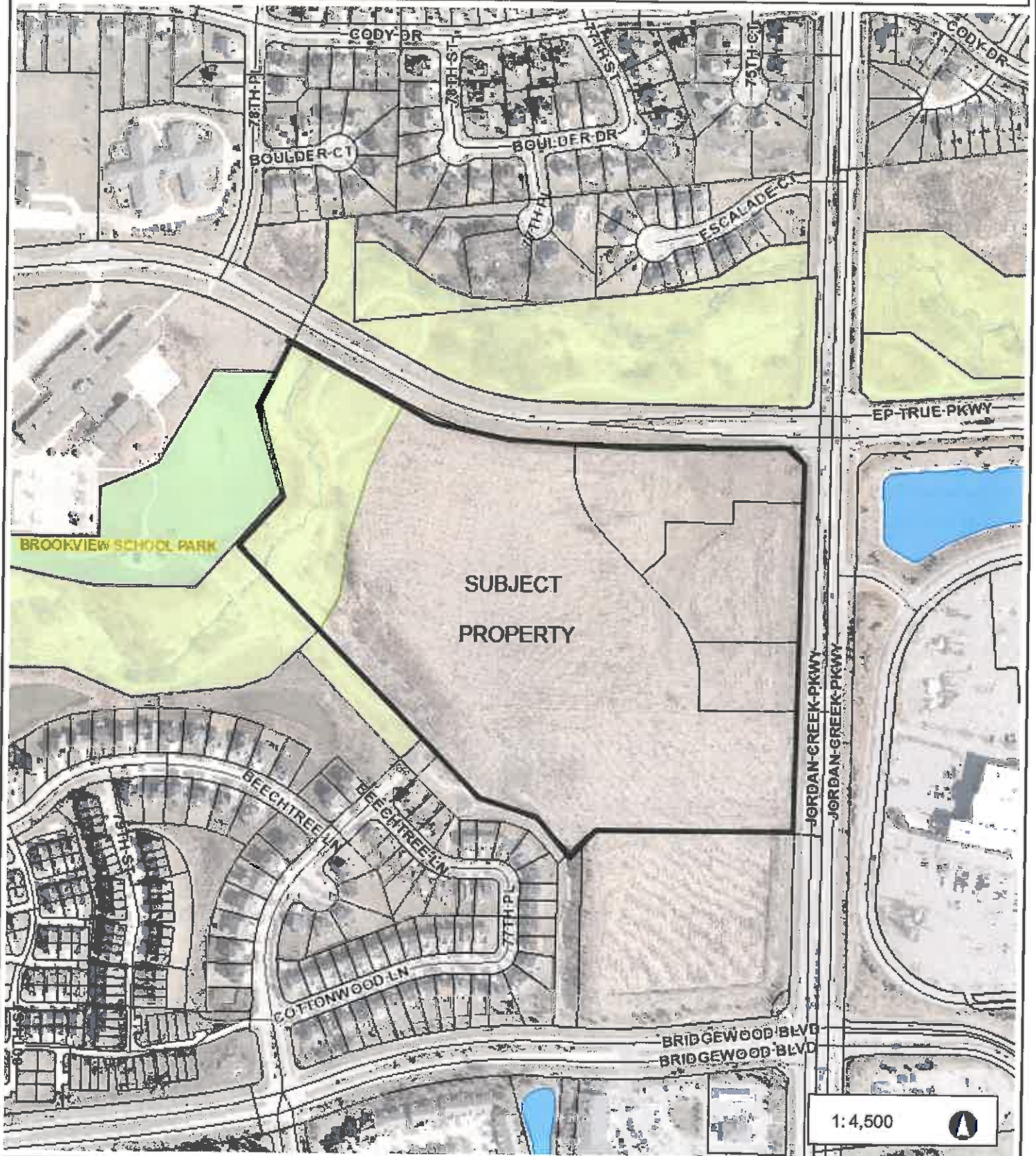
**SUBCOMMITTEE REVIEW (if applicable)**

Committee			
Date Reviewed			
Recommendation	Yes	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

Exhibit I - Location Map

# Jordan West



750.0 0 375.00 750.0 Feet

NAD\_1983\_StatePlane\_Iowa\_South\_FIPS\_1402\_Feet  
© City of West Des Moines, Iowa

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Independent Auditor's Report, Financial Statements and Supplementary Information, Auditor's Report on Compliance and Schedule of Findings of the West Des Moines Water Works as of December 31, 2014 and 2013.

**DATE:** May 4, 2015

**FINANCIAL IMPACT:** None to the City of West Des Moines

**BACKGROUND:** The Board of Trustees of the West Des Moines Water Works received, approved and filed the report on April 20, 2015 and authorized copies of it to be distributed to you and others who have requested copies of the document.

Highlights of the year ended December 31, 2014 are that total assets of the Water Works have increased to \$88 million, total liabilities have decreased to \$24 million, and total net position has increased to \$64 million. The Water Works operated within its budget, in terms of total receipts and total disbursements during 2014.

The attached Audited Financial Statements give additional information regarding the current year's operations. The Independent Auditor's Report on Internal Control over Financial Reporting and on Compliance and Other Matters is reported on pages 49 and 50, while the Schedule of Findings is reported on page 51.

**OUTSTANDING ISSUES** (if any): None

**RECOMMENDATION:** That the City Council receive and file the West Des Moines Water Works Independent Auditor's Report, Financial Statements and Supplementary Information, Auditor's Report on Compliance, and Schedule of Findings as of December 31, 2014 and 2013.

**Lead Staff Member:** Paula R. Meyer – Finance Manager and Treasurer West Des Moines Water Works

**STAFF REVIEWS**

Department Director	Diana J. Wilson, General Manager
Appropriations/Finance	
Legal	
Agenda Acceptance	RTG

**PUBLICATION(S)** (if applicable)

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**WEST DES MOINES WATER WORKS**

**INDEPENDENT AUDITOR'S REPORT  
FINANCIAL STATEMENTS AND  
SUPPLEMENTARY INFORMATION**

**DECEMBER 31, 2014 and 2013**



**MARTENS & COMPANY, CPA, LLP**  
CERTIFIED PUBLIC ACCOUNTANTS  
West Des Moines, Iowa 50266

**WEST DES MOINES WATER WORKS**

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**WEST DES MOINES WATER WORKS**

**OFFICIALS**

December 31, 2014

<u>Name</u>	<u>Title</u>	<u>Term Expires</u>
Scott M. Brennan.....	Trustee.....	Dec 31, 2015
Philip J. Dorweiler.....	Trustee.....	Dec 31, 2016
Karen Novak Swalwell.....	Trustee.....	Dec 31, 2017
Gretchen H. Tegeler.....	Trustee.....	Dec 31, 2018
Brian P. Rickert.....	Trustee.....	Dec 31, 2020
Diana J. Wilson.....	General Manager/Secretary.....	Indefinite
William H. Garrett.....	Assistant General Manager.....	Indefinite
Paula R. Meyer.....	Finance Manager/Treasurer.....	Indefinite



**MARTENS & COMPANY, CPA, LLP**

CERTIFIED PUBLIC ACCOUNTANTS  
4949 Pleasant Street, Suite 104  
West Des Moines, Iowa 50266

(515)-223-4841  
FAX: (515)-223-0851

INDEPENDENT AUDITOR'S REPORT

To the Board of Trustees  
West Des Moines Water Works

We have audited the accompanying financial statements of the West Des Moines Water Works, West Des Moines, Iowa, as of and for the years ended December 31, 2014 and 2013, and the related notes to the financial statements which collectively comprise the West Des Moines Water Works' basic financial statements as listed in the table of contents.

***Management's Responsibility for the Financial Statements***

Management is responsible for the preparation and fair presentation of these financial statements in accordance with accounting principles generally accepted in the United States of America; this includes the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

***Auditor's Responsibility***

Our responsibility is to express an opinion on these financial statements based on our audits. We conducted our audits in accordance with auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards*. Those standards require that we plan and perform the audit to obtain reasonable assurance about whether the financial statements are free of material misstatement.

An audit involves performing procedures to obtain audit evidence about the amounts and disclosures in the financial statements. The procedures selected depend on the auditor's judgment, including the assessment of the risks of material misstatement of the financial statements, whether due to fraud or error. In making those risk assessments, the auditor considers internal control relevant to the West Des Moines Water Works' preparation and fair presentation of the financial statements in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the West Des Moines Water Works' internal control. Accordingly, we express no such opinion. An audit also includes evaluating the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluating the overall presentation of the financial statements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinion.

***Opinions***

In our opinion, the financial statements referred to above present fairly, in all material respects, the respective financial position of the West Des Moines Water Works, West Des Moines, Iowa, as of December 31, 2014 and 2013, and the respective changes in financial position and cash flows thereof for the years then ended in accordance with accounting principles generally accepted in the United States of America.

## ***Other Matters***

### *Required Supplementary Information*

Accounting principles generally accepted in the United States of America require that the management's discussion and analysis, budgetary comparison information and the other postemployment benefit plan schedule on pages 6 - 10 and 39 - 41 be presented to supplement the basic financial statements. Such information, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board, who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. We have applied certain limited procedures to the required supplementary information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We do not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.

### *Supplementary Information*

Our audit was conducted for the purpose of forming opinions on the financial statements that collectively comprise the West Des Moines Water Works' basic financial statements. The schedule of bond maturities, and statistical section, are presented for purposes of additional analysis and are not a required part of the basic financial statements.

The schedules of bond maturities are the responsibility of management and were derived from and relate directly to the underlying accounting and other records used to prepare the basic financial statements. Such information has been subjected to the auditing procedures applied in the audit of the basic financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the schedules of bond maturities are fairly stated in all material respects in relation to the basic financial statements as a whole.

The statistical sections have not been subjected to the auditing procedures applied in the audit of the basic financial statements and, accordingly, we do not express an opinion or provide any assurance on them.

## **Other Reporting Required by *Government Auditing Standards***

In accordance with *Government Auditing Standards*, we have also issued a report dated March 31, 2015, on our consideration of the West Des Moines Water Works' internal control over financial reporting and on our tests of its compliance with certain provisions of laws, regulations, contracts and grant agreements and other matters. The purpose of that report is to describe the scope of our testing of internal control over financial reporting and compliance and the results of that testing, and not to provide an opinion on internal control over financial reporting or on compliance. That report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering West Des Moines Water Works' internal control over financial reporting and compliance.

*Martens & Company, CPA, LLP*

West Des Moines, Iowa  
March 31, 2015

## **WEST DES MOINES WATER WORKS**

### **MANAGEMENT'S DISCUSSION AND ANALYSIS**

Year ended December 31, 2014

West Des Moines Water Works (Water Works) provides this management's discussion and analysis (MD&A) of its financial statements. This narrative overview and analysis of the financial activities is for the year ended December 31, 2014. Please consider this information in conjunction with the financial statements and the accompanying notes to the basic financial statements that follow this section.

#### **OVERVIEW OF BUSINESS**

The service area of the Water Works has expanded significantly since its governing Board of Trustees was established by election in 1950. The service area is the corporate limits of West Des Moines. The Water Works also provides billing and collection services on a contractual basis to the City of West Des Moines for sanitary sewer usage, storm water management, and solid waste collection, and meter reading service to the City of Waukee through February 28, 2013.

As the Water Works' service area has expanded, so too has the need for water storage facilities, booster stations and additional treatment capacity to meet peak demand requirements. The most economical approach for the Water Works has involved requiring the land developers to install the water mains according to Water Works specifications after which the Water Works accepts ownership of the water facilities.

The water sources for the Water Works are three wells drilled into the Jordan Aquifer and nineteen wells that draw water from the Raccoon River Alluvial Aquifer. In addition, some West Des Moines water is purchased from the Des Moines Water Works.

Governance of the Water Works is vested in a five-member Board appointed by the Mayor of West Des Moines with approval of the City Council. Trustees serve for six-year staggered terms. The Board has complete control of the Water Works' management, and employs 36 full-time employees and one part-time seasonal employee.

#### **FINANCIAL HIGHLIGHTS**

West Des Moines Water Works' net position increased as a result of operations. At December 31, 2014, total assets were \$88,176,005 and total liabilities and deferred outflow of resources were \$24,161,881 resulting in net position of \$64,014,124.

Operating revenues decreased 0.6% to \$12,671,099 while operating expenses decreased 2.3% to \$9,823,948.

During the year, the Water Works had an operating income of \$2,847,151 and an increase in net position of \$3,006,779.

## USING THIS ANNUAL REPORT

The annual report consists of a series of financial statements and other information as follows:

MD&A serves as an introduction to the financial statements, and the MD&A represents management's examination and analysis of West Des Moines Water Works' financial condition and performance. The financial statements report information about the utility using full accrual accounting methods as utilized by similar entities in the private sector.

The statements of net position provide information about the Water Works' assets, liabilities, deferred inflows and net position, thereby measuring the utility's liquidity and solvency. Liquidity is a measure of the Water Works' ability to meet current obligations (those due within one year). Solvency is a similar concept, but measures the ongoing ability to meet obligations over a longer term.

The statement of revenues, expenses, and changes in net position presents the results of the Water Works' revenues and expenses over the course of the year and provides information about the Water Works' recovery of costs. Water rates and other charges are established by the Board of Trustees and are based on Water Works' cost of service.

The statement of cash flows presents cash receipts, cash disbursements, and net changes in cash resulting from operations, capital and related financing activities, and investing activities. This statement details where cash resources come from and how they are used.

The notes to the financial statements provide required disclosures and other information that are essential to a full understanding of data provided in the statements. The notes supplement the basic financial statements by presenting information about the Water Works' accounting policies, significant account balances and activities, material risks, obligations, and commitments.

In addition to the basic financial statements and accompanying notes, this report also provides certain *required supplementary information*, concerning the West Des Moines Water Works, including progress in funding its obligation to provide retiree healthcare and a budgetary comparison based on the West Des Moines Water Works' legal level of budgetary control.

## FINANCIAL INFORMATION OF THE WEST DES MOINES WATER WORKS

The following financial information serves as the key financial data and indicators for management, monitoring, and planning.

### Summary of Statements of Net Position at Year End

	<u>2014</u>	<u>2013</u>
Current unrestricted assets	\$ 7,856,024	\$ 7,379,699
Current restricted assets	12,611,865	12,866,388
Long term assets	2,281,321	1,079,512
Capital assets, net	<u>65,426,795</u>	<u>65,755,387</u>
Total assets	<u>\$ 88,176,005</u>	<u>\$ 87,080,986</u>



	<u>2014</u>	<u>2013</u>
Current liabilities	\$ 6,601,006	\$ 6,421,152
Long term liabilities	15,214,856	17,201,217
Deferred inflow of resources	<u>2,346,019</u>	<u>2,451,272</u>
Total liabilities	<u>24,161,881</u>	<u>26,073,641</u>
Invested in capital assets, net of related debt	46,329,731	44,578,783
Restricted	9,897,188	9,909,070
Unrestricted	<u>7,787,205</u>	<u>6,519,492</u>
Total net position	<u>64,014,124</u>	<u>61,007,345</u>
Total liabilities, deferred inflow of resources, and net position	<u>\$ 88,176,005</u>	<u>\$ 87,080,986</u>

**Summary of Revenues, Expenses and Changes in Net Position for the Years Ended December 31,**

	<u>2014</u>	<u>2013</u>
Water sales	\$ 8,957,068	\$ 10,136,146
Connection fees	2,050,467	1,081,142
Other sales and services	<u>1,663,564</u>	<u>1,534,144</u>
Total operating revenue	<u>12,671,099</u>	<u>12,751,432</u>
Salaries and benefits	3,639,453	3,577,902
Chemicals and power	798,772	794,643
Purchased water	1,083,829	1,477,297
Insurance	132,199	129,668
Maintenance and supplies	632,387	599,851
Depreciation	2,866,319	2,750,717
Other	<u>670,989</u>	<u>728,211</u>
Total operating expenses	<u>9,823,948</u>	<u>10,058,289</u>
Operating income	<u>2,847,151</u>	<u>2,693,143</u>
Interest income	31,347	51,277
Rental income	171,864	157,736
Interest expense	(475,050)	(595,495)
Other, net	<u>69,093</u>	<u>(27,053)</u>
Total non-operating revenues (expenses)	<u>(202,746)</u>	<u>(413,535)</u>
Income before contributions	2,644,405	2,279,608
Capital contributions	<u>362,374</u>	<u>263,940</u>
Change in net position	<u>3,006,779</u>	<u>2,543,548</u>
Net position, beginning of year	<u>61,007,345</u>	<u>58,463,797</u>
Net position, end of year	<u>\$ 64,014,124</u>	<u>\$ 61,007,345</u>

## FINANCIAL ANALYSIS

Current assets (not restricted) increased 6.5% primarily due to an increase in cash. Water main replacement capital projects were paid using bond funds. This allowed non restricted funds to increase.

Current liabilities increased 2.8% primarily due to an increase in customer deposits and accrued vacation and sick leave.

Long-term liabilities decreased 11.5% primarily due to a \$2,013,287 decrease in long term water revenue bond debt which was due to bond principal payments made.

Water sales in 2014 decreased 11.6% compared to 2013, primarily because 2014 was a fairly rainy weather year while 2013 was rather dry.

Connection fees increased 89.7% due to a large increase in construction permits issued, and new plats recorded. Construction has picked up as the economy has improved.

Other sales and services increased 8.4% for several reasons, including an increase in the number of water main taps, and water main inspections as development increased in 2014.

Chemical and power expenses increased 0.5% due to an increase in costs.

Purchased water expense decreased 26.6% due to lower irrigation water usage compared with 2013. 2013 was a rather dry year with higher irrigation water sales than 2014.

Cost of corporate insurance increased 2.0%.

Maintenance and supplies expense increased 5.4% primarily due to increased maintenance on equipment including pumps due to the high volume of water treated and distributed in 2013.

## CAPITAL ASSETS

During 2014, net capital assets decreased by a very slight 0.5%. Additional costs of water main construction and replacement of unlined cast iron water mains were offset by depreciation expense, resulting in a minor decrease in net capital assets.

## DEBT ADMINISTRATION

At December 31, 2014, the Water Works had \$16,856,458 in water revenue bonds outstanding, compared to \$18,818,035 at December 31, 2013 as shown below.

	<b>Outstanding Debt at Year-End</b>	
	<u><b>2014</b></u>	<u><b>2013</b></u>
Water revenue bonds	\$ 16,856,458	\$ 18,818,035

Debt decreased by \$1,961,577 due to principal payments on all outstanding debt, which were made as scheduled. Moody's assigned an Aa2 rating to the Water Revenue Bonds Series 2013, as well as to the outstanding Water Revenue parity debt.

## **ECONOMIC FACTORS AND NEXT YEAR'S BUDGETS AND RATES**

The Board of Trustees approved an operating budget with a 2.5% expense increase for 2015. Revenue and expense estimates for 2015 are conservative. Water rates were increased by approximately 2% as of January 1, 2015. Water rates are designed only to cover the cost of water service to customers.

## **REQUESTS FOR INFORMATION**

This financial report is designed to provide a general overview of West Des Moines Water Works' finances. If you have any questions or require additional information, please contact the General Manager at 4200 Mills Civic Parkway, Suite 1D, West Des Moines, IA 50265-2049.

## FINANCIAL STATEMENTS

# WEST DES MOINES WATER WORKS

## STATEMENT OF NET POSITION

December 31, 2014 and 2013

	ASSETS	
	2014	2013
<b>CURRENT ASSETS</b>		
Cash	\$ 3,028,543	\$ 4,749,630
Investments	2,840,099	1,684,186
Accounts receivable	1,730,468	792,675
Inventory	181,032	78,577
Unexpired insurance	65,583	66,616
Accrued interest receivable	10,299	8,015
	7,856,024	7,379,699
 <b>RESTRICTED ASSETS - CURRENT</b>		
Cash	9,505,201	9,399,700
Investments	2,172,397	2,527,716
Accounts receivable for City of West Des Moines	918,461	922,519
Accounts receivable	15,806	16,453
	12,611,865	12,866,388
Total current assets	20,467,889	20,246,087
 <b>LONG TERM ASSETS</b>		
Investments	904,500	67,000
Investments - restricted	595,500	233,000
Deposit - Water Revenue Bond Fund	781,321	779,512
	2,281,321	1,079,512
 <b>CAPITAL ASSETS</b>		
Land	620,768	620,768
Buildings and structures	26,294,750	26,294,750
Machinery and equipment	10,257,229	10,183,878
Mains and hydrants - constructed by Water Works	27,311,712	27,197,927
Mains and hydrants - contributed by developers	22,822,213	22,459,839
Wells	4,495,373	4,495,373
Meters	3,298,094	2,871,093
Treatment plant capacity - Des Moines Water Works	10,619,125	10,619,125
Construction in progress	1,305,958	71,369
	107,025,222	104,814,122
Less accumulated depreciation	(41,598,427)	(39,058,735)
Net capital assets	65,426,795	65,755,387
Total Assets	\$ 88,176,005	\$ 87,080,986

See notes to financial statements.



LIABILITIES AND NET POSITION

	2014	2013
<b>CURRENT LIABILITIES</b>		
Accounts payable	\$ 243,070	\$ 273,222
Accrued payroll	68,158	61,543
Accrued vacation	176,375	157,761
Accrued sick leave	72,068	48,440
Accrued sales tax	41,964	41,482
Accrued interest payable	24,258	26,426
Current portion of long-term debt	2,013,287	1,961,577
	2,639,180	2,570,451
Payable from restricted assets:		
Customer deposits	563,911	504,030
Accounts payable	91,367	97,601
Payable to City of West Des Moines	3,306,548	3,249,070
	3,961,826	3,850,701
Total current liabilities	6,601,006	6,421,152
<b>LONG-TERM LIABILITIES</b>		
Revenue Bonds - net of current portion	14,843,171	16,856,458
Accrued sick leave	162,331	169,468
Other post employment benefits	209,354	175,291
Total long-term liabilities	15,214,856	17,201,217
<b>DEFERRED INFLOW OF RESOURCES</b>		
Deposit - shared water tower	221,038	216,730
Unearned revenue	1,659,201	1,699,669
Bond premium	465,780	534,873
Total deferred inflow of resources	2,346,019	2,451,272
Total liabilities and deferred inflow of resources	24,161,881	26,073,641
<b>NET POSITION</b>		
Invested in capital assets, net of related debt	46,329,731	44,578,783
Restricted for debt service	2,235,472	2,235,165
Restricted for capital improvements	7,661,716	7,673,905
Unrestricted	7,787,205	6,519,492
Total net position	64,014,124	61,007,345
Total Liabilities, Deferred Inflow of Resources and Net Position	\$ 88,176,005	\$ 87,080,986

## WEST DES MOINES WATER WORKS

### STATEMENTS OF REVENUES, EXPENSES AND CHANGES IN NET POSITION

Years ended December 31, 2014 and 2013

	2014	2013
<b>OPERATING REVENUES</b>		
Sale of water	\$ 8,957,068	\$ 10,136,146
Basic service charge	1,128,111	1,015,528
Connection fees	2,050,467	1,081,142
EPA grant	19,037	14,308
Labor charges	38,907	45,451
Sanitary sewer service collection fees	50,481	49,170
Solid waste service collection fees	46,957	46,127
Stormwater service collection fees	70,946	69,335
Late and non-payment charges	92,439	92,447
Sale of materials	79,179	90,650
Meter reading fees	-	1,240
Shared water tower revenue	40,468	40,468
Miscellaneous	97,039	69,420
Total operating revenues	12,671,099	12,751,432
<b>OPERATING EXPENSES</b>		
Water treatment plant operation and maintenance		
Salaries	843,050	787,092
Retirement and employee benefits	271,268	329,168
Utilities	356,119	313,579
Chemicals	382,711	397,037
Purchased water	1,083,829	1,477,297
Maintenance	321,361	299,968
Lime residuals removal	112,684	125,252
Insurance	71,401	70,991
Supplies	28,020	23,984
Communications	11,157	11,305
Water quality testing fees	14,944	11,885
Miscellaneous	2,554	1,776
Operation permit	6,618	7,410
Safety consulting fees	830	2,910
Depreciation	1,264,783	1,291,004
Data processing	14,295	13,510
	4,785,624	5,164,168
Water distribution system operation and maintenance		
Salaries	895,014	862,723
Retirement and employee benefits	334,981	329,161
Maintenance	203,028	190,972
Utilities	54,817	78,641
Insurance	35,916	33,743
Supplies	33,891	36,812

See notes to financial statements.

## WEST DES MOINES WATER WORKS

### STATEMENTS OF REVENUES, EXPENSES AND CHANGES IN NET POSITION - CONTINUED

Years ended December 31, 2014 and 2013

	2014	2013
<b>OPERATING EXPENSES - CONTINUED</b>		
Water distribution system operation and maintenance - continued		
Miscellaneous	\$ 1,343	\$ 799
Iowa One Call	7,054	5,180
Communications	4,061	5,765
Depreciation	1,542,736	1,406,223
Data processing	22,988	18,620
	3,135,829	2,968,639
 Accounting and customer service		
Salaries	674,870	695,162
Retirement and employee benefits	255,334	248,993
Postage	81,070	78,995
Printing	40,419	44,088
Insurance	24,882	24,934
Supplies	14,380	19,171
Communications	4,023	4,489
Maintenance	31,707	32,013
Bad debts	4,828	2,945
Lock box charges	46,312	41,697
Miscellaneous	2,155	15,927
Utilities	5,125	5,386
Depreciation	58,800	53,490
Cost of materials sold	74,415	64,162
Data processing	32,126	29,458
	1,350,446	1,360,910
 Administration		
Salaries	250,739	207,829
Retirement and employee benefits	114,197	117,774
Professional and consulting fees	97,804	131,961
Legal publications	22,838	37,546
Dues and memberships	7,630	7,990
Communication	1,961	1,675
Miscellaneous	6,880	9,797
Economic development expense	50,000	50,000
	552,049	564,572
Total operating expenses	9,823,948	10,058,289
 Operating income	2,847,151	2,693,143

See notes to financial statements.

**WEST DES MOINES WATER WORKS**

**STATEMENTS OF REVENUES, EXPENSES AND CHANGES  
IN NET POSITION - CONTINUED**

Years ended December 31, 2014 and 2013

	2014	2013
NON-OPERATING REVENUES		
Interest	\$ 31,347	\$ 51,277
Bond premium	69,093	62,850
Rental	171,864	157,736
Total non-operating revenues	272,304	271,863
NON-OPERATING EXPENSES		
Interest	475,050	595,495
Bond discount	-	22,631
Bond issue costs	-	67,272
Total non-operating expenses	475,050	685,398
Income before capital contributions	2,644,405	2,279,608
CAPITAL CONTRIBUTIONS	362,374	263,940
CHANGE IN NET POSITION	3,006,779	2,543,548
NET POSITION AT BEGINNING OF YEAR	61,007,345	58,463,797
NET POSITION AT END OF YEAR	\$ 64,014,124	\$ 61,007,345

See notes to financial statements.

## WEST DES MOINES WATER WORKS

### STATEMENTS OF CASH FLOWS

Years ended December 31, 2014 and 2013

	<u>2014</u>	<u>2013</u>
<b>CASH FLOWS FROM OPERATING ACTIVITIES:</b>		
Cash received from customers	\$ 11,635,556	\$ 12,931,738
Cash payments for goods and services	(4,197,315)	(4,524,884)
Cash payments to employees	(2,638,444)	(2,565,403)
Net cash provided by operating activities	<u>4,799,797</u>	<u>5,841,451</u>
<b>CASH FLOWS FROM CAPITAL AND RELATED FINANCING ACTIVITIES:</b>		
Acquisition and construction of capital assets	(2,181,587)	(3,339,325)
Deposits - shared water tower	4,308	7,324
Proceeds from bonds	-	6,515,000
Principal paid on revenue bonds	(1,961,577)	(6,286,879)
Deposit - south area fee district	-	(300,000)
Bond issuance, discount and premium	-	(12,210)
Water revenue bond fund deposit	(1,809)	11,104
Interest paid	(475,050)	(595,495)
Net cash (used) by capital and financing activities	<u>(4,615,715)</u>	<u>(4,000,481)</u>
<b>CASH FLOWS FROM INVESTING ACTIVITIES:</b>		
Interest received	29,063	50,345
Certificate of deposits redeemed	4,200,000	2,500,000
Rental income	171,864	157,736
Certificate of deposits purchased	(6,200,000)	(3,600,000)
Net cash (used) by investing activities	<u>(1,799,073)</u>	<u>(891,919)</u>
<b>NET INCREASE (DECREASE) IN CASH AND CASH EQUIVALENTS</b>	<b>(1,614,991)</b>	<b>949,051</b>
<b>CASH AND CASH EQUIVALENTS BEGINNING OF YEAR</b>	<b><u>14,161,232</u></b>	<b><u>13,212,181</u></b>
<b>CASH AND CASH EQUIVALENTS END OF YEAR</b>	<b><u>\$ 12,546,241</u></b>	<b><u>\$ 14,161,232</u></b>

See notes to financial statements.



**WEST DES MOINES WATER WORKS**

STATEMENTS OF CASH FLOWS - CONTINUED

Years ended December 31, 2014 and 2013

	<u>2014</u>	<u>2013</u>
RECONCILIATION OF OPERATING INCOME TO NET CASH PROVIDED BY OPERATING ACTIVITIES:		
Operating Income	\$ 2,847,151	\$ 2,693,143
Adjustments to reconcile operating income to net cash provided by operating activities:		
Depreciation	2,866,319	2,750,717
Decrease (increase) in assets:		
Accounts receivable	(933,088)	182,215
Inventory	(102,455)	(1,909)
Unexpired insurance	1,033	(3,565)
Deposit - software consulting	-	3,398
Increase (decrease) in liabilities:		
Customer deposits	59,881	79,424
Accounts payable	(15,309)	16,332
Accrued payroll	6,616	(21,790)
Accrued vacation	18,613	9,193
Accrued sick leave	16,491	94,490
Other post employment benefits	34,063	40,541
Accrued sales tax	482	(738)
Total adjustments	<u>1,952,646</u>	<u>3,148,308</u>
NET CASH PROVIDED BY OPERATING ACTIVITIES	<u>\$ 4,799,797</u>	<u>\$ 5,841,451</u>
Schedule of noncash capital and related financing - Contributions of water mains from contractors for construction, and equipment contributions.	\$ 362,374	\$ 263,940

See notes to financial statements.

## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS

Years ended December 31, 2014 and 2013

#### NOTE 1 - SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES

##### A. Reporting Entity

The West Des Moines Water Works was established by the City of West Des Moines, Iowa to supply water to the City and its inhabitants. Since November 7, 1950, the Water Works has been under the management and control of a Board of Trustees and the accounts of the Water Works are maintained separately from those of the City of West Des Moines, Iowa. The Code of Iowa, Chapter 388, states that the Board of Trustees has the oversight responsibility for the management and control of the Water Works.

Water Works is exempt from federal income tax pursuant to Internal Revenue Code Section 115 which provides for exemption of divisions of state and local governments.

##### B. Fund Accounting

The accounts of the Water Works are organized on the basis of funds or groups of accounts. Each fund or group of accounts is considered to be a separate accounting entity. The operations of each fund are accounted for by providing a separate set of accounts for cash and investment balances, receipts and disbursements. A description of each of the existing funds is set forth as follows:

###### Water Revenue Fund

The Water Revenue Fund is the general operating fund of the Water Works. This fund is used to account for the utility services which are financed and operated primarily from user charges to the general public.

###### Bond Retirement Fund

The Bond Retirement Fund is used to provide and account for principal and interest payments on the water revenue bonds issued.

###### Trust Fund

The Trust Fund has been established to account for deposits received from customers.

##### C. Cash

For purposes of the statement of cash flows, all short-term cash investments that are highly liquid with maturities of three months or less are considered to be cash equivalents.

##### D. Investments

The cash balances of the Water Works are pooled and invested. Investments are stated at cost, which approximates market value. Interest is recorded in the fund owning the investment and transferred to the Water Revenue Fund. In order to obtain a high rate of return, some investments are pooled.

## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 1 - SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES - CONTINUED

E. Accounts Receivable

Accounts receivable and revenues are recorded at the time that service is billed. Unbilled revenues for service consumed between periodic scheduled billing dates are not considered to have a material effect on the financial statements.

F. Inventories

Proprietary fund type inventories of materials and supplies are valued at the lower of cost (average cost) or market.

G. Capital Assets

Property, plant and equipment are stated at cost or at the value of the contributions to the Water Works for mains and hydrants by developers. Depreciation is computed on a straight-line basis over estimated useful lives of five to fifty years.

Expenditures for maintenance, repairs and minor replacements are charged to operations. Expenditures for major repairs and betterments are capitalized.

The cost and related accumulated depreciation on property, plant and equipment sold or retired are eliminated from the accounts at the time of sale or retirement and the resulting gain or loss is reflected in operations.

H. Budget

In accordance with the Code of Iowa, the Water Works adopted a budget based upon anticipated expenditures by line item for operations. The budget was prepared on an accrual basis which is consistent with generally accepted accounting principles.

I. Sanitary Sewer, Solid Waste, and Stormwater Management Service

The West Des Moines Water Works bills and collects sanitary sewer service charges, solid waste charges, and stormwater management fees in accordance with the city ordinances for the City of West Des Moines, Iowa.

Remittances are due to the City within seventy-five days after the end of each billing period. The West Des Moines Water Works is reimbursed for a portion of the expense of billing and collecting the sanitary sewer service, solid waste charges, and stormwater management fees at rates agreed upon by the City of West Des Moines and West Des Moines Water Works.

## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 1 - SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES - CONTINUED

J. Basis of Accounting

The Proprietary fund types are reported using the accrual basis of accounting. Their revenues are recognized when earned and expenses are recognized when incurred.

Operating revenues and expenses: Operating revenues include revenues resulting from the sale of water and related services. Operating expenses include expenses for water treatment, distribution, depreciation, customer accounts, customer service and informational, sales, administrative and general. Nonoperating revenues and expenses include those derived from capital and related financing activities, noncapital financing activities, and investing activities. Revenues from the sale of water are based on billing rates, which are applied to customer's consumption of water.

The financial statements of the Water Works are prepared in accordance with generally accepted accounting principles (GAAP) as applied to governmental units. The Government Accounting Standards Board (GASB) is the standard-setting body for governmental accounting and financial reporting. The GASB periodically updates its codification of the existing Governmental Accounting and Financial Reporting Standards, which, along with subsequent GASB pronouncements (Standards and Interpretations), constitutes GAAP for governmental units.

K. Net Position

Net position represents the difference between assets, deferred outflows of resources and liabilities in the financial statements. Net position invested in capital assets, net of related debt, consists of capital assets, net of accumulated depreciation, reduced by the outstanding balance of any long-term debt used for acquisition, construction, or improvement of those assets. Net position is reported as restricted when there are limitations imposed on its use through external restrictions imposed by creditors, grantors, or laws or regulations of other governments.

The Water Works' policy is to first apply restricted resources when an expense is incurred for purposes for which both restricted and unrestricted net position is available.

L. Accounting Estimates

The preparation of financial statements in conformity with accounting principles generally accepted in the United States of America requires management to make estimates and assumptions that affect the reported amount of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amount of revenues and expenses during the reporting period. Actual results could differ from those estimates.

**WEST DES MOINES WATER WORKS**

NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

**NOTE 2 - CASH, CASH EQUIVALENTS AND INVESTMENTS**

The West Des Moines Water Works' deposits in financial institutions as of December 31, 2014 and through the year are covered by federal depository insurance or the State Sinking Fund in accordance with Chapter 12C, Code of Iowa. This Chapter provides additional assessments against the depositories to ensure that there is no loss of public funds.

As of December 31, 2014, \$1,600,000 was invested in four fourteen month certificates of deposit at Veridian Credit Union. The amount of this deposit in excess of \$250,000 was collateralized with a letter of credit held by the Water Works in the amount of 110% or \$1,485,000.

The West Des Moines Water Works' investments are categorized to give an indication of the level of risk assumed by the Water Works at year's end. The West Des Moines Water Works' investments are all category 1, which means that the investments are insured or registered or the securities are held by the West Des Moines Water Works or its agent in the name of the West Des Moines Water Works.

As of December 31, 2014 and 2013 all monies of the West Des Moines Water Works were invested in lawful depositories of the Water Works.

The West Des Moines Water Works' cash, cash equivalents and investments at December 31, 2014 and 2013 are as follows:

<u>Cash, Cash Equivalents and Investments</u>	<u>2014</u>	<u>2013</u>
Cash	\$ 12,533,745	\$ 14,149,330
Iowa Public Agency Investment Trust	<u>12,496</u>	<u>11,902</u>
Total Cash and Cash Equivalents	<u>12,546,241</u>	<u>14,161,232</u>
 Certificates of Deposit	 <u>6,500,000</u>	 <u>4,500,000</u>
Total Cash, Cash Equivalents and Investments	<u>\$ 19,046,241</u>	<u>\$ 18,661,232</u>

Interest Rate Risk: Interest rate risk is the risk that changes in market interest rates will adversely affect the fair value of an investment. Generally, the longer the maturity of an investment, the greater the sensitivity of its fair value to changes in market interest rates. In accordance with the West Des Moines Water Work's investment policy, the Water Works minimizes the market value risk of investments in the portfolio by structuring its investment portfolio so that securities mature to meet cash requirements for operations, thereby avoiding the need to sell securities in the open market prior to maturity.

Information about the sensitivity of the fair values of the Water Work's investments to market interest risk fluctuations is provided by the following table that shows the distribution of the Water Work's investments:

<u>Investment Type</u>	<u>Fair Value</u>
Iowa Public Agency Investment Trust	<u>\$ 12,496</u>



## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 2 - CASH AND INVESTMENTS - CONTINUED

**Credit Risk:** Generally, credit risk is the risk that an issuer of an investment will not fulfill its obligation to the holder of the investment. This is measured by the assignment of a rating by a nationally recognized statistical rating organization.

The West Des Moines Water Works has no investments meeting the disclosure requirement of Government Accounting Standards Board Statement No. 3, as amended by Statement No. 40.

#### NOTE 3 - CAPITAL ASSETS

Capital assets activity for the year ended December 31, 2014 was as follows:

	<u>Balance 1/01/14</u>	<u>Increases</u>	<u>Decreases</u>	<u>Balance 12/31/14</u>
Capital assets not being depreciated:				
Land	\$ 620,768	\$ -	\$ -	\$ 620,768
Construction in progress	<u>71,369</u>	<u>1,234,589</u>	<u>-</u>	<u>1,305,958</u>
Total capital assets not being depreciated	<u>692,137</u>	<u>1,234,589</u>	<u>-</u>	<u>1,926,726</u>
Capital assets being depreciated:				
Buildings and structures	\$ 26,294,750	\$ -	\$ -	\$ 26,294,750
Machinery and equipment	10,183,878	244,112	(170,761)	10,257,229
Mains and hydrants	27,197,927	113,785	-	27,311,712
Mains and hydrants - developers	22,459,839	362,374	-	22,822,213
Wells	4,495,373	-	-	4,495,373
Meters in service	2,871,093	582,867	(155,866)	3,298,094
DMWW plant capacity 5.0 MG	5,000,000	-	-	5,000,000
DMWW plant capacity 1.323 MG	1,819,125	-	-	1,819,125
DMWW plant capacity 2 MG	<u>3,800,000</u>	<u>-</u>	<u>-</u>	<u>3,800,000</u>
Total capital assets being depreciated	<u>104,121,985</u>	<u>1,303,138</u>	<u>(326,627)</u>	<u>105,098,496</u>
Less accumulated depreciation for:				
Buildings and structures	8,624,015	568,162	-	9,192,177
Machinery and equipment	7,804,565	743,386	(170,761)	8,377,190
Mains and hydrants	6,950,418	544,217	-	7,494,635
Mains and hydrants - developers	8,346,133	448,994	-	8,795,127
Wells	2,381,417	114,666	-	2,496,083
Meters in service	1,484,483	181,416	(155,866)	1,510,033
DMWW plant capacity 5.0 MG	2,093,750	125,000	-	2,218,750
DMWW plant capacity 1.323 MG	613,954	45,478	-	659,432
DMWW plant capacity 2 MG	<u>760,000</u>	<u>95,000</u>	<u>-</u>	<u>855,000</u>
Total accumulated depreciation	<u>39,058,735</u>	<u>2,866,319</u>	<u>(326,627)</u>	<u>41,598,427</u>
Total capital assets being depreciated, net	<u>65,063,250</u>	<u>(1,563,181)</u>	<u>-</u>	<u>63,500,069</u>
Net capital assets	<u>\$ 65,755,387</u>	<u>\$ (328,592)</u>	<u>\$ -</u>	<u>\$ 65,426,795</u>

## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 3 - CAPITAL ASSETS - CONTINUED

Capital assets activity for the year ended December 31, 2013 was as follows:

	<u>Balance 1/01/13</u>	<u>Increases</u>	<u>Decreases</u>	<u>Balance 12/31/13</u>
Capital assets not being depreciated:				
Land	\$ 620,768	\$ -	\$ -	\$ 620,768
Construction in progress	2,498,257	1,518,814	(3,945,702)	71,369
Total capital assets not being depreciated	3,119,025	1,518,814	(3,945,702)	692,137
Capital assets being depreciated:				
Buildings and structures	\$ 25,738,566	\$ 556,184	\$ -	\$ 26,294,750
Machinery and equipment	9,989,855	290,248	(96,225)	10,183,878
Mains and hydrants	23,655,023	3,542,904	-	27,197,927
Mains and hydrants - developers	22,195,899	263,940	-	22,459,839
Wells	4,495,373	-	-	4,495,373
Meters in service	2,628,569	242,524	-	2,871,093
DMWW plant capacity 5.0 MG	5,000,000	-	-	5,000,000
DMWW plant capacity 1.323 MG	1,819,125	-	-	1,819,125
DMWW plant capacity 2 MG	3,800,000	-	-	3,800,000
Total capital assets being depreciated	99,322,410	4,895,800	(96,225)	104,121,985
Less accumulated depreciation for:				
Buildings and structures	8,126,738	497,277	-	8,624,015
Machinery and equipment	7,132,917	767,873	(96,225)	7,804,565
Mains and hydrants	6,458,273	492,145	-	6,950,418
Mains and hydrants - developers	7,902,862	443,271	-	8,346,133
Wells	2,264,765	116,652	-	2,381,417
Meters in service	1,316,462	168,021	-	1,484,483
DMWW plant capacity 5.0 MG	1,968,750	125,000	-	2,093,750
DMWW plant capacity 1.323 MG	568,476	45,478	-	613,954
DMWW plant capacity 2 MG	665,000	95,000	-	760,000
Total accumulated depreciation	36,404,243	2,750,717	(96,225)	39,058,735
Total capital assets being depreciated, net	62,918,167	2,145,083	-	65,063,250
Net capital assets	\$ 66,037,192	\$ 3,663,897	\$(3,945,702)	\$ 65,755,387

## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 4 - LONG TERM LIABILITIES

A summary of the changes in long-term liabilities for the year ended December 31, 2014 is as follows:

	Balance <u>1/01/2014</u>	<u>Increases</u>	<u>Decreases</u>	Balance <u>12/31/2014</u>	Due Within <u>One Year</u>
Water Revenue Bonds	\$ 18,818,035	\$ -	\$ (1,961,577)	\$ 16,856,458	\$ 2,013,287
Sick Pay Liability	217,908	16,491	-	234,399	72,068
Net OPEB Liability	<u>175,291</u>	<u>34,063</u>	<u>-</u>	<u>209,354</u>	<u>-</u>
Total	<u>\$ 19,211,234</u>	<u>\$ 50,554</u>	<u>\$ (1,961,577)</u>	<u>\$ 17,300,211</u>	<u>\$ 2,085,355</u>

A summary of the changes in long-term liabilities for the year ended December 31, 2013 is as follows:

	Balance <u>1/01/2013</u>	<u>Increases</u>	<u>Decreases</u>	Balance <u>12/31/2013</u>	Due Within <u>One Year</u>
Water Revenue Bonds	\$ 18,589,914	\$ 6,515,000	\$ (6,286,879)	\$ 18,818,035	\$ 1,961,577
Sick Pay Liability	123,418	94,490	-	217,908	48,440
Net OPEB Liability	<u>134,750</u>	<u>40,541</u>	<u>-</u>	<u>175,291</u>	<u>-</u>
Total	<u>\$ 18,848,082</u>	<u>\$ 6,650,031</u>	<u>\$ (6,286,879)</u>	<u>\$ 19,211,234</u>	<u>\$ 2,010,017</u>

#### PURCHASE OF WATER TREATMENT PLANT CAPACITY:

A. The West Des Moines Water Works entered into agreements with the Des Moines Water Works for the purchase of five million gallons per day, and 1.323 million gallons per day of water treatment plant capacity in two separate purchases. Per the Water Treatment Plant Purchased Capacity Master Agreement dated July 23, 1996, the West Des Moines Water Works' proportionate share of the Des Moines Water Works Bonds Series 1997 issued by the Des Moines Water Works were \$5,640,000 and \$1,819,125 respectively.

Series 1997 bonds have been replaced by the Refunding Water Revenue Bonds Series 2004B, which have now been replaced by the Refunding Water Revenue Bonds Series 2011. The interest rate on the 2011 bonds is a flat 3% from now through maturity.

B. The West Des Moines Water Works entered into the Wholesale Water Service Master Agreement with the Des Moines Water Works on June 13, 2005, agreeing to purchase an additional two million gallons per day of water treatment plant capacity. West Des Moines Water Works' proportionate share in the Des Moines Water Works 2006 Water Revenue Bonds was \$4,105,000. Series 2006 bonds have been replaced by the Refunding Water Revenue Bonds Series 2012. The interest rate is a flat 3% from now through maturity.

#### PLANT AND DISTRIBUTION CAPITAL IMPROVEMENTS:

The Series 2004 Water Revenue Refunding Bonds were issued by the West Des Moines Water Works, under resolutions of the Board of Trustees of the Water Works. The balance of the 2004 Water Revenue Refunding Bonds in the amount of \$2,795,000 was paid out of the 2012 Water Revenue Bonds. Additionally, the 2012 bonds were used to expand the system infrastructure to new areas in the City of West Des Moines. Series 1998A and 1998B were redeemed by the 2007 Water Revenue Refunding bonds on June 1, 2007. The balance of the 2007 Water Revenue Refunding Bonds in the amount of \$4,575,000 was paid out of the 2013 Water Revenue Bonds. Additionally, the 2013 bonds are being used to expand the system infrastructure.

**WEST DES MOINES WATER WORKS**

NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

**NOTE 4 - LONG TERM LIABILITIES - CONTINUED**

Interest is payable on the first day of June and December.

Bonds and interest are payable from the future net earnings of the Water Works and the net earnings of the Water Works are pledged to the payment of the bonds and interest.

The required amount to be deposited in the Sinking Fund in any month shall be an amount equal to 1/6th of the installment of interest coming due on the next interest payment date on the then outstanding Bonds and Parity Bonds plus 1/12th of the installment of principal coming due on such Bonds on the next succeeding principal payment date until the full amount of such installment is on hand. The balance at December 31, 2014 and 2013 is \$118,842 and \$118,535, respectively.

The Bond Resolution requires that the Debt Service Reserve Fund be maintained in an amount equal to at least the lesser of the maximum annual debt service on the Bonds and the Parity Bonds, or 10% of the stated principal amount of the Bonds and Parity Bonds. The balance at December 31, 2014 and 2013 is at the maximum of \$1,408,500 and \$1,408,500, respectively.

In the Future Capital Outlay Fund, the minimum amount to be deposited in the Fund each month shall be \$30,000; provided, however, that when the amount in said fund shall equal or exceed \$750,000, no further monthly deposits need be made into the Fund except to maintain it at such level. The balance at December 31, 2014 and 2013 is \$5,899,100 and \$4,175,011, respectively.

Changes in long-term water revenue bonds for the year ended December 31, 2014 are as follows:

	Balance 01-01-2014	Increases	Decreases	Balance 12-31-2014	Due Within One Year
Water Revenue Bonds					
Series 2012 Water Revenue Bonds	\$ 6,905,000	\$ -	\$ (670,000)	\$ 6,235,000	\$ 695,000
Series 2013 Water Revenue Bonds	6,515,000	-	(435,000)	6,080,000	440,000
Series 2011 (DMWW 6.323 MG)	2,450,854	-	(663,197)	1,787,657	675,951
Series 2012 (DMWW-2MG)	<u>2,947,181</u>	<u>-</u>	<u>(193,380)</u>	<u>2,753,801</u>	<u>202,336</u>
Totals	<u>\$ 18,818,035</u>	<u>\$ -</u>	<u>\$ (1,961,577)</u>	<u>\$16,856,458</u>	<u>\$2,013,287</u>

## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 4 - LONG TERM LIABILITIES - CONTINUED

Details of the revenue bonds payable at December 31, 2014 are as follows:

	Date of Issue	Interest Rate	Final Due Date	Annual Payments	Amount Originally Issued	Outstanding Dec. 31, 2014
Series 2012	10/23/12	3.0 - 3.0%	12/01/23	\$25,000-\$1,000,000	\$7,570,000	\$ 6,235,000
Series 2012	12/02/13	1.5 - 2.3%	12/01/21	\$435,000-\$1,780,000	6,515,000	6,080,000
Series 2011 (DMWW)	02/23/11	3.0 - 3.0%	12/01/17	\$408,122-\$703,584	4,357,547	1,787,657
Series 2012 (DMWW)	10/30/12	3.0 - 3.0%	12/01/25	\$180,005-\$294,823	3,132,119	<u>2,753,801</u>
Total						<u>\$16,856,458</u>

A summary of the annual revenue bonds principal and interest requirements to maturity as of December 31, 2014 is as follows:

Year Ending Dec. 31,	Principal	Interest	Total
2015	\$ 2,013,287	\$ 427,344	\$ 2,440,631
2016	2,083,834	373,545	2,457,379
2017	2,072,548	317,254	2,389,802
2018	2,053,718	276,079	2,329,797
2019	1,777,003	241,167	2,018,170
2018-2024	6,676,063	498,785	7,174,848
2025	<u>180,005</u>	<u>5,400</u>	<u>185,405</u>
Totals	<u>\$16,856,458</u>	<u>\$ 2,139,574</u>	<u>\$18,996,032</u>

Changes in long-term obligations for the year ended December 31, 2013 are as follows:

	Balance 01-01-2013	Increases	Decreases	Balance 12-31-2013	Due Within One Year
<b>Water Revenue Bonds</b>					
Series 2007 Refunding	\$ 4,820,000	\$ -	\$ (4,820,000)	\$ -	\$ -
Series 2012 Water Revenue Bonds	7,545,000	-	(640,000)	6,905,000	670,000
Series 2013 Water Revenue Bonds	-	6,515,000	-	6,515,000	435,000
Series 2011 (DMWW 6.323 MG)	3,092,795	-	(641,941)	2,450,854	663,197
Series 2012 (DMWW-2MG)	<u>3,132,119</u>	<u>-</u>	<u>(184,938)</u>	<u>2,947,181</u>	<u>193,380</u>
Totals	<u>\$ 18,589,914</u>	<u>\$ 6,515,000</u>	<u>\$ (6,286,879)</u>	<u>\$18,818,035</u>	<u>\$1,961,577</u>



## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 4 - LONG TERM LIABILITIES - CONTINUED

Details of the revenue bonds payable at December 31, 2013 are as follows:

	Date of Issue	Interest Rate	Final Due Date	Annual Payments	Amount Originally Issued	Outstanding Dec. 31, 2014
Series 2012	10/23/12	3.0 - 3.0%	12/01/23	\$25,000-\$1,000,000	\$7,570,000	\$ 6,905,000
Series 2012	12/02/13	1.5 - 2.3%	12/01/21	\$435,000-\$1,780,000	6,515,000	6,515,000
Series 2011 (DMWW)	02/23/11	3.0 - 3.0%	12/01/17	\$408,122-\$703,584	4,357,547	2,450,854
Series 2012 (DMWW)	10/30/12	3.0 - 3.0%	12/01/25	\$180,005-\$294,823	3,132,119	<u>2,947,181</u>
Total						<u>\$18,818,035</u>

A summary of the annual revenue bonds principal and interest requirements to maturity as of December 31, 2013 is as follows:

Year Ending Dec. 31,	Principal	Interest	Total
2014	\$ 1,961,577	\$ 479,359	\$ 2,440,936
2015	2,013,287	427,344	2,440,631
2016	2,083,834	373,545	2,457,379
2017	2,072,548	317,254	2,389,802
2018	2,053,718	276,079	2,329,797
2019-2023	8,158,243	725,707	8,883,950
2024-2025	<u>474,828</u>	<u>19,645</u>	<u>494,473</u>
Totals	<u>\$18,818,035</u>	<u>\$ 2,618,933</u>	<u>\$21,436,968</u>

#### NOTE 5 - RESTRICTED ASSETS

The West Des Moines Water Works' restricted assets are composed of customer deposits, deposits on bond issuance, funds restricted for capital improvements and collections for sanitary sewer service, solid waste service, stormwater management fees, and human services donations for the City of West Des Moines.

#### NOTE 6 - PENSION AND RETIREMENT BENEFIT

The Water Works contributes to the Iowa Public Employees Retirement System (IPERS), a cost-sharing multiple-employer defined benefit pension plan administered by the State of Iowa. IPERS provides retirement and death benefits which are established by State statute to plan members and beneficiaries. IPERS issues a publicly available financial report that includes financial statements and required supplementary information. The report may be obtained by writing to IPERS, P.O. Box 9117, Des Moines, Iowa, 50306-9117.

## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 6 - PENSION AND RETIREMENT BENEFIT - CONTINUED

Plan members are required to contribute a percentage of their annual salary and the Water Works is also required to contribute a percentage of the annual covered payroll to IPERS as established by State statute. Contribution requirements for employees for 2014 were 5.95% from January 1 through June 30 and 5.95% from July 1 through December 31. Contribution requirements for West Des Moines Water Works were 8.93% from January 1 through June 30 and 8.93% from July 1 through December 31. The Water Works' contributions to IPERS for the years ended December 31, 2014, 2013, and 2012 were \$232,432, \$220,607, and \$217,361, respectively, equal to the required contributions for each year.

#### NOTE 7 - OTHER POSTEMPLOYMENT BENEFITS

Plan Description: The Water Works sponsors a single-employer health care plan that provides certain postretirement health care benefits for retirees and their spouses. There are 36 active and 0 retired members in the plan. Participants must be age 55 or older at retirement.

The medical/prescription drug coverage is provided through a fully-insured plan with insurance premiums paid to the City of West Des Moines who self insures to their selected stop loss limits and buys stop loss insurance from a third party. The plan is administered by Wellmark.

Retirees under age 65 pay 102% of the full active employee premium rates, which results in an implicit subsidy and an OPEB liability.

Funding Policy: The contribution requirements of plan members are established and may be amended by the Water Works. The Water Works currently finances the retiree benefit plan on a pay-as-you-go basis.

Annual OPEB Cost and Net OPEB Obligation: The Water Works' annual OPEB cost is calculated based on the annual required contribution (ARC) of the Water Works, an amount actuarially determined in accordance with GASB Statement No. 45. The ARC represents a level of funding that, if paid on an ongoing basis, is projected to cover normal costs each year and amortize any unfunded actuarial liabilities over a period not to exceed 30 years.

The following table shows the components of the Water Works' annual OPEB cost for the year ended December 31, 2014, 2013 and 2012, the amount actually contributed to the plan and changes in the Water Works' net OPEB obligation:

	2014	2013	2012
Annual Required Contribution (ARC)	\$ 37,852	\$ 43,269	\$ 40,207
Interest on net OPEB obligation	4,382	3,369	2,444
Adjustment to annual required contribution	(8,171)	(6,097)	(5,662)
Annual OPEB cost	<u>\$ 34,063</u>	<u>\$ 40,541</u>	<u>\$ 36,989</u>

**WEST DES MOINES WATER WORKS**

NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

**NOTE 7 - OTHER POSTEMPLOYMENT BENEFITS - CONTINUED**

	2014	2013	2012
Annual OPEB Cost	\$ 34,063	\$ 40,541	\$ 36,989
Contributions made	-	-	-
Increase in net OPEB obligation	34,063	40,541	36,989
Net OPEB obligation beginning of year	175,291	134,750	97,761
Net OPEB obligation end of year	\$ 209,354	\$ 175,291	\$ 134,750

For calculation of the net OPEB obligation, the actuary has set the transition day as January 1, 2014. The end of the year Net OPEB obligation was calculated by the actuary as the cumulative difference between the actuarially determined funding requirements and the actual contributions for the year ended December 31, 2014.

For the year ended December 31, 2014, the Water Works contributed \$-0- to the medical plan. Plan members eligible for benefits contributed \$-0- of the premium costs. No West Des Moines Water Works retirees are currently in the retirement benefit plan.

The Water Works's annual OPEB costs, the percentage of annual OPEB cost contributed to the plan and the net OPEB obligation as of December 31, 2014 are summarized as follows:

Year Ended	Annual OPEB Cost	Percentage of Annual OPEB Cost Contributed	Net OPEB Obligation
December 31, 2012	\$36,989	0%	\$134,750
December 31, 2013	\$40,541	0%	\$175,291
December 31, 2014	\$34,063	0%	\$209,354

Funded Status and Funding Progress: As of January 1, 2014, the most recent actuarial valuation date for the period January 1, 2014 through December 31, 2016, the actuarial accrued liability was \$341,839, with no actuarial value of assets, resulting in an unfunded actuarial accrued liability (UAAL) of \$347,561 at December 31, 2014, and \$357,098 at December 31, 2012. The covered payroll (annual payroll of active employees covered by the plan) was approximately \$2,663,673, \$2,552,806 and \$2,633,090 and the ratio of the UAAL to covered payroll was 12.8%, 13.9% and 12.6% for 2014, 2013 and 2012, respectively. As of December 31, 2014 there were no trust fund assets.

Actuarial Methods and Assumptions: Actuarial valuations of an ongoing plan involve estimates of the value of reported amounts and assumptions about the probability of occurrence of events far into the future. Examples include assumptions about the future employment, mortality and the health care cost trend. Actuarially determined amounts are subject to continual revision as actual results are compared with past expectations and new estimates are made about the future. The schedule of funding progress, presented as required supplementary information in the section following the Notes to Financial Statements, will present multiyear trend information about whether the actuarial value of plan assets is increasing or decreasing over time relative to the actuarial accrued liabilities for benefits.

## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### **NOTE 7 - OTHER POSTEMPLOYMENT BENEFITS - CONTINUED**

Projections of benefits for financial reporting purposes are based on the plan as understood by the employer and the plan members and include the types of benefits provided at the time of each valuation and the historical pattern of sharing of benefit costs between the employer and plan members to that point. The actuarial methods and assumptions used include techniques that are designed to reduce the effects of short-term volatility in actuarial accrued liabilities and the actuarial value of assets, consistent with the long-term perspective of the calculations.

As of the January 1, 2014 actuarial valuation date, the frozen entry age actuarial cost method was used. The actuarial assumptions include a 2.5% discount rate based on the Water Works' funding policy. The health cost trend rate is 6%.

Mortality rates are from the 94 Group Annuity Mortality Table projected to 2000 applied on a gender-specific basis. Annual retirement and termination probabilities were developed by the actuary, as listed in Appendix B of the Actuary Report.

#### **NOTE 8 - COMPENSATED ABSENCES**

The West Des Moines Water Works' employees accumulate vacation benefits for subsequent use or payable on termination, death or retirement. These accumulations are recorded as liabilities and expenses in the year earned.

West Des Moines Water Works allows employees to accrue up to 720 hours of sick leave to be paid upon retirement. The employee must be at least 55 years of age before they can retire. Retirement prior to the age of 62 is based on the IPERS retirement rules. Sick leave payable is recorded as a liability when retirement is probable and subject to estimation. Accordingly, as of December 31, 2014 current liabilities of \$72,068 and long term liabilities of \$162,331 have been recorded for accrued sick leave.

#### **NOTE 9 - DEFERRED COMPENSATION PLAN**

West Des Moines Water Works offers its employees a deferred compensation plan created in accordance with Internal Revenue Code Section 457. The plan, available to all Water Works full time employees, permits them to defer a portion of their salary until future years. The deferred compensation is not available to employees until termination, retirement, death, or unforeseeable emergency and participation is optional. The plan was amended to comply with IRC Section 457(g) which allowed for the plan to hold the assets in trust. Under these requirements, the assets of the plan are not subject to the claims of the governmental employer's creditors. Accordingly, the liability and corresponding investment are not reflected in the Water Works' financial statements.

On January 1, 2012 West Des Moines Water Works became a participating employer in the State of Iowa Retirement Investors' Club (RIC) 457/401a Program. The State of Iowa administers this deferred compensation program, and currently has five deferred compensation providers to choose from. All of West Des Moines Water Works' full time employees are eligible to participate in this program.

## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 10 - INTERGOVERNMENTAL AGREEMENTS

On May 14, 2001 the Water Works approved the first amendment to intergovernmental agreement for the joint occupation of municipal offices (Chapter 28E of the Code of Iowa) with the City of West Des Moines for joint occupancy in a new City Hall facility. The West Des Moines Water Works' total cost is \$546,761, of which \$546,761 has been paid.

On May 14, 1993 the Water Works entered into an intergovernmental agreement (Chapter 28E of the Code of Iowa) with the City of West Des Moines and the Park Board of Commissioners of the West Des Moines Parks and Recreation Department. Under the agreement, they jointly developed a parcel of land (58 acres) owned by the City to provide recreation resources and water resources for residents. The Water Works constructed eight shallow wells and one deep well on the site. The Water Works has paid the City \$450,000 for the use of the land. This agreement is for ninety-nine years and expires on May 14, 2092.

On April 17, 2001 the Water Works entered into an intergovernmental agreement (Chapter 28E of the Code of Iowa) creating the Central Iowa Regional Drinking Water Commission Master Agreement. The purposes of this agreement are to (1) enable the Parties to jointly plan and coordinate implementation for water supply, treatment, distribution and storage facilities for the benefit of the Parties and their respective customers, to (2) enable the Parties to jointly provide services in a cost-effective manner to each other and to (3) enable the Parties to undertake joint or coordinated procurement of goods and services. The Commission is governed by a Board of Directors consisting of one representative of each of the Parties. On October 18, 2011 an amended and restated 28E Agreement with the Central Iowa Regional Drinking Water Commission (CIRDWC) was adopted. The changes include adding source water issues as a purpose of CIRDWC, distinguishing between Governing Members and Non-Governing Members, and establishing dues at a rate of \$100 plus one cent per Member retail account.

On November 20, 2003 the Water Works entered into an Agreement for Shared Use of Water Tower Capacity (this is not a 28E agreement) with the City of Clive, the City of Waukee and the Des Moines Water Works. On November 1, 2005 that water tower was put into service. The cities of Clive and Waukee paid 40% and 20% respectively, of the total project cost to West Des Moines Water Works for shared capacity of the water tower. The water tower is recorded at cost on West Des Moines Water Works' fixed asset schedule, and the payments made by Clive and Waukee are recorded as an unearned revenue deferred inflow of resources to be recognized over the 50 year life of the water tower. This agreement will remain in effect through the useful life of the water tower plus one year. A shared water tower fund has been created into which Clive, Waukee and West Des Moines Water Works contribute annually for property insurance and future painting of the tower.

On November 1, 2005 the Water Works entered into intergovernmental (Chapter 28E of the Code of Iowa) agreements for meter reading services with the City of Waukee. West Des Moines Water Works will read water and gas meters for Waukee. The initial term of this agreement is three years from November 1, 2005. Addendum "A" to this agreement was signed in July 2008 establishing the meter reading rates for the subsequent three years. This addendum became effective November 1, 2008. Thereafter, the term of services shall automatically renew for successive three year terms on each November 1<sup>st</sup> unless either party shall give written notice of termination to the other. The agreement with the City of Waukee was terminated as of February 28, 2013.



## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 10 - INTERGOVERNMENTAL AGREEMENTS - CONTINUED

On July 20, 2009 the Water Works entered into an intergovernmental agreement (Chapter 28E of the Code of Iowa) with the City of West Des Moines for the placement of radio antenna and related equipment on/in water towers in West Des Moines. The term of this agreement shall be for a period of ten years. The annual charge to the City for locating and operating transmitting and receiving equipment on a tower shall be one dollar per year payable in advance on the first business day of each year.

On July 20, 2009 the Water Works entered into an intergovernmental agreement (Chapter 28E of the code of Iowa) with the City of West Des Moines to provide the city with water at no cost to the City for city-owned public buildings, facilities and landscaped medians. Unless otherwise extended or amended by mutual written agreement of the parties, this Agreement will expire ten years from July 20, 2009.

On July 20, 2009 the Water Works entered into an intergovernmental agreement (Chapter 28E of the Code of Iowa) with the City of West Des Moines for the sharing of fiber optic and computer related technologies for the betterment for the services provided by the public by each entity. The purpose of the Agreement is for the City of West Des Moines to provide West Des Moines Water Works with internet connectivity and land-line phone services. Unless otherwise extended or amended by mutual written agreement of the parties, this Agreement will expire ten years from July 20, 2009. For the 2014-15 fiscal year of the City of West Des Moines, the Water Works paid the City a fee of \$12,000. Further adjustments to the fee may occur if annual maintenance agreements with third-parties change due to upgrades within the system. Notification of such an adjustment will be provided at least 30 days in advance of any fee adjustment and documentation of the change will be provided.

#### NOTE 11 - RELATED ORGANIZATION

The West Des Moines Water Works uses services of the City of West Des Moines and also provides billing and collection services to the City in connection with the City's Sewer, Solid Waste, and Stormwater Management Enterprise Funds. The following is a summary of the related party transactions for the year ended December 31, 2014 and 2013:

	Amount <u>2014</u>	Amount <u>2013</u>
Received from the City of West Des Moines		
Iowa One Call	\$ 2,482	\$ 4,536
Sanitary sewer service collection fees	50,481	49,170
Solid waste service collection fees	46,957	46,127
Stormwater service collection fees	70,946	69,335

**WEST DES MOINES WATER WORKS**

NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

**NOTE 11 - RELATED ORGANIZATION - CONTINUED**

	Amount <u>2014</u>	Amount <u>2013</u>
Payments to the City of West Des Moines		
Sanitary sewer service	\$8,653,765	\$8,773,682
Solid waste service	1,791,801	1,760,288
Sewer availability fee	693,551	670,805
City capital fee	25,759	27,348
Stormwater services	2,182,378	2,144,955
Health and dental insurance premiums	484,789	487,535
General insurance premiums	132,914	134,899
Gasoline	45,741	48,900
Utilities	12,679	12,625
Miscellaneous	5,302	7,492
Donations collected	6,140	5,409
Janitorial services	13,402	15,975
Information services	12,000	12,000
West Des Moines Magazine and City Survey	1,500	4,500
Economic development	50,000	50,000
Recruitment services	-	7,492
Amounts payable to the City of West Des Moines		
Sanitary sewer charges	\$2,117,586	\$2,089,065
Sewer availability fees	180,635	170,668
City capital fees	6,158	6,820
Stormwater management fees	550,003	535,694
Solid waste charges	451,390	446,236
Donations to Human Services	775	586

**NOTE 12 - RISK MANAGEMENT**

The Water Works, through the City of West Des Moines, is a member of the Iowa Communities Assurance Pool (Pool), as allowed by Chapter 670.7 of the Code of Iowa. The Pool is a local government risk-sharing pool whose 721 members include various governmental entities throughout the state of Iowa. The Pool was formed in August 1986 for the purpose of managing and funding third-party liability claims against its members. The Pool provides coverage and protection in the following categories: general liability, automobile liability, automobile physical damage, public officials liability, property, inland marine, and boiler/machinery. There have been no reductions in insurance coverage from prior years.

## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 12 - RISK MANAGEMENT - CONTINUED

Each member's annual casualty contributions to the Pool fund current operations and provide capital. Annual operating contributions are those amounts necessary to fund, on a cash basis, the Pool's general and administrative expenses, claims, claims expenses and reinsurance expenses due and payable in the current year, plus all or any portion of any deficiency in capital. Capital contributions are made during the first six years of membership and are maintained to equal 150 percent of the total current members' basis rates or to comply with the requirements of any applicable regulatory authority having jurisdiction over the Pool.

The Pool also provides property coverage. Members who elect such coverage make annual operating contributions which are necessary to fund, on a cash basis, the Pool's general and administrative expenses and reinsurance premiums, all of which are due and payable in the current year, plus all or any portion of any deficiency in capital. Any year-end operating surplus is transferred to capital. Deficiencies in operations are offset by transfers from capital and, if insufficient, by the subsequent year's member contributions.

The Water Works' property and casualty contributions to the Pool are recorded as disbursements from its operating funds at the time of payment to the risk pool. The Water Works' contributions to the Pool for the year ended December 31, 2014 were \$35,500.

The Pool uses reinsurance and excess risk-sharing agreements to reduce its exposure to large losses. The Pool retains general, automobile, and public officials' liability risks up to \$350,000 per claim. Claims exceeding \$350,000 are reinsured in an amount not to exceed \$2,650,000 per claim. For members requiring specific coverage from \$3,000,000 to \$12,000,000, such excess coverage is also reinsured. West Des Moines Water Works' coverage is \$10,000,000. Property and automobile physical damage risks are retained by the Pool up to \$100,000 each occurrence, each location, with excess coverage reinsured by the Travelers Insurance Company.

The Pool's intergovernmental contract with its members provides that in the event a casualty claim or series of claims exceeds the amount of risk-sharing protection provided by the member's risk-sharing certificate, or in the event that a series of casualty claims exhausts total members' equity plus any reinsurance and any excess risk-sharing recoveries, then payment of such claims shall be the obligation of the respective individual member. The Water Works does not report a liability for losses in excess of reinsurance or excess risk-sharing recoveries unless it is deemed probable that such losses have occurred and the amount of such loss can be reasonably estimated. Accordingly, at December 31, 2014, no liability has been recorded in the Water Works' financial statements. As of June 30, 2014 settled claims have not exceeded the risk pool or reinsurance company coverage since the pool's inception.

Members agree to continue membership in the Pool for a period of not less than one full year. After such period, a member who has given 60 days' prior written notice may withdraw from the Pool. Upon withdrawal, payments for all claims and claims expenses become the sole responsibility of the withdrawing member, regardless of whether a claim was incurred or reported prior to the member's withdrawal. Members withdrawing within the first six years of membership may receive a partial refund of their capital contributions. After the sixth year, the member is refunded 100% of its capital contributions, however, the refund is reduced by an amount equal to the annual operating contribution which the withdrawing member would have made for the one-year period following withdrawal.

## WEST DES MOINES WATER WORKS

### NOTES TO FINANCIAL STATEMENTS - CONTINUED

Years ended December 31, 2014 and 2013

#### NOTE 12 - RISK MANAGEMENT - CONTINUED

The Water Works also carries commercial insurance purchased from other insurers for coverage associated with workers' compensation, and employee blanket bonds. The Water Works assumes liability for any deductibles and claims in excess of coverage limitations. Settled claims resulting from these risks have not exceeded commercial insurance coverage in any of the past three fiscal years.

#### NOTE 13 - TOWER LEASE AGREEMENTS

The Water Works has entered into agreements with I Wireless, United States Cellular Wireless Communications, Sprint/Nextel, Capital Communications Co. Inc. (WOI-TV), AT & T Wireless, Verizon Wireless, the City of Des Moines and the City of Waukee for the rental of space on four elevated water storage facilities located in the City of West Des Moines. The agreements are for a period of five years with renewal options of five additional five-year terms. The agreements with I Wireless (50<sup>th</sup> St Tower), U.S. Cellular, Sprint/Nextel and WOI-TV are in their fourth, five-year contract. AT & T and Verizon are in their third, five-year contract. The City of Des Moines, the City of Waukee and I Wireless (88<sup>th</sup> St Tower) are in their first, five-year contract.

Future minimum rents under these leases at December 31, 2014 are as follows:

<u>Year</u>	<u>Amount</u>
2015	\$152,909
2016	157,473
2017	161,924
2018	170,270
2019	172,283

Total rental income for 2014 was \$171,864.

#### NOTE 14 - UNION AGREEMENT

The West Des Moines Water Works entered into an agreement as of January 1, 2013 with the American Federation of State, County and Municipal Employees Council 61 and Local 3673-15 (AFL-CIO). This agreement remained in full force and effect through December 31, 2014. This agreement covers the period from January 1, 2013 through December 31, 2014.

The West Des Moines Water Works entered into an agreement as of January 1, 2015 with the American Federation of State, County and Municipal Employees Council 61 and Local 3673-15 (AFL-CIO). This agreement covers the period from January 1, 2015 through December 31, 2017.

#### NOTE 15 - COMMITMENTS

The West Des Moines Water Works has entered into construction contracts totaling \$2,696,179 at December 31, 2014 and \$578,609 at December 31, 2013 for various capital projects. There were \$1,706,940 and \$507,240 of uncompleted contracts at December 31, 2014 and 2013 respectively.

**WEST DES MOINES WATER WORKS**

**NOTES TO FINANCIAL STATEMENTS - CONTINUED**

Years ended December 31, 2014 and 2013

**NOTE 15 - COMMITMENTS - CONTINUED**

On January 4, 2012 the EPA awarded a new grant to the Water Works to continue with the monitoring and administration of the aerators. The total budget for January 4, 2012 through December 31, 2015 is \$249,872.

**NOTE 16 - SUBSEQUENT EVENTS**

The Water Works has evaluated all subsequent events through March 31, 2015, the date the financial statements were available.

REQUIRED SUPPLEMENTARY INFORMATION



**WEST DES MOINES WATER WORKS**

**BUDGETARY COMPARISON OF REVENUES, EXPENSES AND CHANGES IN NET POSITION -  
ACTUAL TO BUDGET**

Year ended December 31, 2014

	<u>Actual</u>	<u>Budget</u>	Variance Favorable (Unfavorable)
TOTAL REVENUES	\$ 13,305,777	\$ 12,336,373	\$ 969,404
TOTAL EXPENSES	<u>10,298,998</u>	<u>11,271,564</u>	<u>972,566</u>
NET	3,006,779	1,064,809	<u>\$ 1,941,970</u>
NET POSITION BEGINNING OF YEAR	<u>61,007,345</u>	<u>60,358,568</u>	
NET POSITION END OF YEAR	<u>\$ 64,014,124</u>	<u>\$ 61,423,377</u>	

See notes to financial statements.

## **WEST DES MOINES WATER WORKS**

### **NOTE TO BUDGETARY REPORTING**

December 31, 2014

In accordance with the Code of Iowa, the Water Works' Board of Trustees adopts a budget on the accrual basis consistent with U.S. generally accepted accounting principles following required public notice and hearing. The formal and legal level of control is at the total expense level. The Board of Trustees reviews the proposed budget and grants final approval. The annual budget may be amended during the year utilizing similar statutorily prescribed procedures.

In 2014 there were no budget amendments and disbursements did not exceed the amount budgeted.

**WEST DES MOINES WATER WORKS**

**SCHEDULE OF FUNDING PROGRESS FOR THE  
RETIREE HEALTH PLAN**

Required Supplementary Information

December 31, 2014

Year End	Actuarial Valuation Date	Actuarial Value of Assets(a)	Actuarial Accrued Liability (AAL) (b)	Unfunded AAL (UAAL) (b-a)	Funded Ratio (a/b)	Covered Payroll	UAAL as a Percentage of Covered Payroll ((b-a)/c)
2012	Jan 1, 2014	0	\$357,098	\$357,098	0%	\$2,834,606	12.6%
2013	Jan 1, 2014	0	\$354,224	\$354,224	0%	\$2,552,806	13.9%
2014	Jan 1, 2014	0	\$341,839	\$341,839	0%	\$2,663,673	12.8%

See Note 7 in the accompanying Notes to Financial Statements for the plan description, funding policy, annual OPEB Cost and Net OPEB Obligation, funded status and funding progress.

SUPPLEMENTARY INFORMATION

## WEST DES MOINES WATER WORKS

### SCHEDULE OF BOND MATURITIES

Year ended December 31, 2014

Series 2012 Water Revenue Bonds: Series 2012 Water Revenue Bonds were issued under Resolutions adopted by the Board of Trustees.

The 2012 Bonds were issued to refund all of the Water Works' outstanding Water Revenue Bonds Series 2004 (the "Refunded Bonds"), and to finance a pumping station and water mains to supply water to the south area of West Des Moines, as well as water main extensions to the west side of West Des Moines.

The proceeds of the original Bonds were used to finance certain capital improvements to the System (the "Project") and to pay costs of issuing the Bonds. The Project included: (i) the construction and/or purchase of water supply and distribution facilities and the land for such facilities, (ii) the construction of additional water treatment capacity, (iii) the construction facilities for handling water treatment plant residues, (iv) improvements to the electrical distribution system of the water treatment plant, (v) improvements to the electronic control system of the Water Works and (vi) construction of new and replacement water mains (See Note 4).

The following is a summary of the debt obligations of the West Des Moines Water Works:

<u>Maturing December 1</u>	<u>West Des Moines Water Works</u>	
	<u>Series 2012 Water Revenue Bonds</u>	
	<u>Principal</u>	<u>Interest</u>
2015	\$ 695,000	\$ 187,050
2016	740,000	166,200
2017	25,000	144,000
2018	25,000	143,250
2019	750,000	142,500
2020	1,000,000	120,000
2021	1,000,000	90,000
2022	1,000,000	60,000
2023	1,000,000	30,000
	<u>\$ 6,235,000</u>	<u>\$ 1,083,000</u>

**WEST DES MOINES WATER WORKS**

SCHEDULE OF BOND MATURITIES - CONTINUED

Year ended December 31, 2014

Series 2013 Water Revenue Bonds: Series 2013 Water Revenue Bonds were issued under Resolutions adopted by the Board of Trustees.

The 2013 bonds were issued to refund all of the Water Works' outstanding Water Revenue Bonds Series 2007 (the "Refunded Bonds"), and to finance a pumping station upgrade and water mains on the west side of West Des Moines.

The proceeds of the original Bonds were used to finance certain capital improvements to the System (the "Project") and to pay costs of issuing the Series 2007 Bonds. The Project included: (i) upgrades to the Water Works' water treatment plant and water storage facilities and (ii) construction of a new pumping station.

The following is a summary of the debt obligations of the West Des Moines Water Works:

<u>Maturing December 1</u>	West Des Moines Water Works	
	Series 2013 Water Revenue Bonds	
	Principal	Interest
2015	\$ 440,000	\$ 104,050
2016	415,000	97,450
2017	1,400,000	91,225
2018	1,780,000	70,225
2019	770,000	43,525
2020	600,000	28,125
2021	<u>675,000</u>	<u>15,525</u>
	<u>\$ 6,080,000</u>	<u>\$ 450,125</u>



**WEST DES MOINES WATER WORKS**

**SCHEDULE OF BOND MATURITIES - CONTINUED**

Year ended December 31, 2014

Proportionate share of Series 2011 Water Revenue Refunding Bonds issued by the Des Moines Water Works and payable to the Des Moines Water Works per Water Treatment Plant Purchased Capacity Master Agreement dated July 23, 1996 (See Note 4).

The following is a summary of the debt obligations to the Des Moines Water Works:

<u>Maturing December 1</u>	<u>Des Moines Water Works</u>	
	<u>Series 2011 Water Revenue Refunding Bonds</u>	
	<u>Principal</u>	<u>Interest</u>
2015	\$ 675,951	\$ 53,630
2016	703,584	33,351
2017	408,122	12,243
	<u>\$ 1,787,657</u>	<u>\$ 99,224</u>

## WEST DES MOINES WATER WORKS

### SCHEDULE OF BOND MATURITIES - CONTINUED

Year ended December 31, 2014

Proportionate share of Series 2012 Water Revenue Refunding Bonds issued by the Des Moines Water Works and payable to the Des Moines Water Works per the Wholesale Water Service Master Agreement signed June 13, 2005 (See Note 4).

<u>Maturing December 1</u>	<u>Des Moines Water Works</u>	
	<u>Series 2012 Water Revenue Refunding Bonds</u>	
	<u>Principal</u>	<u>Interest</u>
2015	\$ 202,336	\$ 82,614
2016	225,250	76,544
2017	239,426	69,786
2018	248,718	62,604
2019	257,003	55,142
2020	266,782	47,432
2021	274,757	39,429
2022	278,106	31,186
2023	286,595	22,843
2024	294,823	14,245
2025	180,005	5,400
	<u>\$ 2,753,801</u>	<u>\$ 507,225</u>

STATISTICAL SECTION (UNAUDITED)

**WEST DES MOINES WATER WORKS**

**SCHEDULE OF WATER USAGE BY MONTH**

Year ended December 31, 2014

(UNAUDITED)

<u>Month</u>	<u>Accounts with Water Service</u>	<u>Dollar Amount of Water Billings</u>	<u>Gallons of Water Billed</u>	<u>Gallons of Water Pumped</u>
January	23,315	\$ 716,865	161,753,720	169,634,000
February	23,399	534,490	120,269,767	150,248,000
March	23,398	539,580	121,076,277	165,508,000
April	23,475	558,405	125,207,348	166,532,000
May	23,623	811,239	179,856,602	203,350,000
June	23,663	781,913	172,531,552	215,323,000
July	23,822	1,189,014	260,960,415	288,815,000
August	23,811	1,206,554	262,802,925	292,429,000
September	23,811	806,623	177,452,550	200,035,000
October	23,898	763,214	171,288,464	177,979,000
November	23,845	497,625	111,780,500	161,510,000
December	23,869	<u>551,546</u>	<u>125,776,754</u>	<u>160,468,000</u>
		\$ 8,957,068	1,990,756,874	2,351,831,000
ADD:				
Metered water for City (\$0.00)		-	16,729,717	-
Other non-billed water/non-pumped water		<u>-</u>	<u>20,499,632</u>	<u>-</u>
Totals		<u>\$ 8,957,068</u>	<u>2,027,986,223</u>	<u>2,351,831,000</u>



## MARTENS & COMPANY, CPA, LLP

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### INDEPENDENT AUDITOR'S REPORT ON INTERNAL CONTROL OVER FINANCIAL REPORTING AND ON COMPLIANCE AND OTHER MATTERS BASED ON AN AUDIT OF FINANCIAL STATEMENTS PERFORMED IN ACCORDANCE WITH *GOVERNMENT AUDITING STANDARDS*

To the Board of Trustees  
West Des Moines Water Works

We have audited, in accordance with the auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards* issued by the Comptroller General of the United States, the financial statements of West Des Moines Water Works, as of and for the year ended December 31, 2014, and the related notes to the financial statements, which collectively comprise West Des Moines Water Works' basic financial statements, and have issued our report thereon dated March 31, 2015.

#### **Internal Control Over Financial Reporting**

In planning and performing our audit of the financial statements, we considered West Des Moines Water Works' internal control over financial reporting (internal control) to determine the audit procedures that are appropriate in the circumstances for the purpose of expressing our opinions on the financial statements, but not for the purpose of expressing an opinion on the effectiveness of the Water Works' internal control. Accordingly, we do not express an opinion on the effectiveness of the Water Works' internal control.

*A deficiency in internal control* exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. *A material weakness* is a deficiency, or a combination of deficiencies, in internal control, such that there is a reasonable possibility a material misstatement of the West Des Moines Water Works' financial statements will not be prevented, or detected and corrected on a timely basis. *A significant deficiency* is a deficiency, or a combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Our consideration of internal control was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control that might be material weaknesses or, significant deficiencies. Given these limitations, during our audit we did not identify any deficiencies in internal control that we consider to be material weaknesses. However, material weaknesses and significant deficiencies may exist that have not been identified.

#### **Compliance and Other Matters**

As part of obtaining reasonable assurance about whether West Des Moines Water Works' financial statements are free from material misstatement, we performed tests of its compliance with certain provisions of laws, regulations and contracts, noncompliance with which could have a direct and material effect on the determination of financial statement amounts. However, providing an opinion on compliance with those provisions was not an objective of our audit and, accordingly, we do not express such an opinion. The results of our tests disclosed no instances of noncompliance or other matters that are required to be reported under *Government Auditing Standards*.

Comments involving statutory and other legal matters about the Water Works' operations for the year ended December 31, 2014 are based exclusively on knowledge obtained from procedures performed during our audit of the financial statements of the Water Works. Since our audit was based on tests and samples, not all transactions that might have had an impact on the comments were necessarily audited. The comments involving statutory and other legal matters are not intended to constitute legal interpretations of those statutes.

**Purpose of this Report**

The purpose of this report is solely to describe the scope of our testing of internal control and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the West Des Moines Water Works' internal control or on compliance. This report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the West Des Moines Water Works' internal control and compliance. Accordingly, this communication is not suitable for any other purpose.

We would like to acknowledge the many courtesies and assistance extended to us by personnel of the West Des Moines Water Works during the course of our audit. Should you have any questions concerning any of the above matters, we shall be pleased to discuss them with you at your convenience.

*Martens & Company, CPA, LLP*

West Des Moines, Iowa  
March 31, 2015



## WEST DES MOINES WATER WORKS

### SCHEDULE OF FINDINGS

Year ended December 31, 2014

#### PART I: SUMMARY OF THE INDEPENDENT AUDITOR'S RESULTS:

- (1) An unmodified opinion was issued on the financial statements.
- (2) No reportable conditions in internal control over financial reporting were disclosed by the audit of the financial statements.
- (3) The audit did not disclose any non-compliance which is material to the financial statements.

#### PART II: OTHER FINDINGS RELATED TO STATUTORY REPORTING:

- (1) Certified Budget - Disbursements during the year ended December 31, 2014, did not exceed the amount budgeted.
- (2) Questionable Expenditures - We noted no expenditures that we believe did not meet the requirements of public purpose as defined in an Attorney General's opinion dated April 25, 1979.
- (3) Travel Expenses - No disbursements of West Des Moines Water Works' money for travel expenses of spouses of West Des Moines Water Works' officials or employees were noted.
- (4) Business Transactions - No business transactions between the West Des Moines Water Works and West Des Moines Water Works' officials or employees were noted.
- (5) Bond Coverage - Surety Bond coverage of West Des Moines Water Works' officials and employees is in accordance with statutory provisions. The amount of coverage should be reviewed annually to insure coverage is adequate for current operations.
- (6) Board of Trustees Minutes - No transactions were found that we believe should have been approved in the trustee minutes but were not.
- (7) Deposits and Investments - The West Des Moines Water Works has adopted a written investment policy as required by Chapter 128.10B of the Code of Iowa.
- (8) Revenue Bonds - The Water Works has established the sinking and reserve accounts as required by the water revenue bond resolutions.