

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: February 1, 2016

Item: Newport Office Building, 1075 Jordan Creek Parkway – Approval of a Major Modification to a Site Plan to construct a 75,000 sq. ft. office building – R&R Realty - MaM-002943-2015

Requested Action: Approval of a Major Modification to a Site Plan

Case Advisor: Kara Tragesser, AICP 

Applicant's Request: RRHWoods, LLC is proposing to construct one 75,000 sq. ft. office building at 1075 Jordan Creek Parkway. The building is proposed to be a three story, brown brick building with ribbon windows in keeping with the adjacent buildings (see Attachment B – Location Map, Attachment C – Site Plan, and Attachment D – Building Elevations).

History: The subject property is designated as ‘Parcel F’ within the Country Club West Office Plaza Planned Unit Development (formerly the Fountain West PUD). The property has an underlying zoning district of Professional Commerce Park and is vacant. On August 1, 2005, the City Council approved a site plan for the parcel for a three story, 75,000 sq. ft. building. Since that approval, the entitlement for that approval has been extended nine times. Because the site plan approval remained valid, with the construction of the Sierra Point apartments at 7171 Woodland Avenue in 2014, the applicant was able to place soil from the Sierra Point site onto this property. With the change in grading resulting from the soil being placed on the property, a new site plan needed to be reviewed and approved.

On January 11, 2016, the City Council approved a phased site plan that allowed the property owner to grade the site, install private utilities, and construct footings and foundations at their own risk.

City Council Subcommittee: This item was presented to the Development and Planning City Council Subcommittee on January 11, 2016; the Subcommittee was supportive of the development.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. Staff notes the following:

Right-of-way: Jordan Creek Parkway is classified as a major arterial roadway which by Comprehensive Plan standards needs 165 feet of total right-of-way or 82.5 feet from the center of the right-of-way adjacent to the subject property. It appears the existing right-of-way adjacent to this site is 80 feet, therefore the deficit of 2.5 feet should be provided to the City by the property owner. Also, 72nd Street is classified as a minor collector roadway which by Comprehensive Plan standards needs 70 feet of total right-of-way or 35 feet from the center of the right-of-way adjacent to the subject property. It appears the existing half right-of-way adjacent to this site is 30 feet, therefore the deficit of 5 feet of right-of-way should be provided to the City by the property owner. It has been the practice of the City Council to require the additional right-of-way by deed or irrevocable offer of dedication for existing platted property. Staff recommended that the right-of-way be provided by deed to be consistent with the City Council's practice for the majority of development projects approved throughout the City.

The property owner has offered right-of-way needs by easement on other projects, Sierra Point apartments and a Capital Improvement project at 50th and University, and requests the same consideration for this project. After discussion with the City Attorney's office, staff has included a recommendation that the additional right-of-way for these roadways be provided for by easement in this case as it is unlikely that the subject roadways will be widened.

Future Street Lights: Existing lighting levels on Jordan Creek Parkway do not meet the standards set in the City's lighting policy. When the west side of Jordan Creek Parkway is developed a lighting analysis will be done and the street light spacing likely will change. This may require additional street lights adjacent to this site. The applicant can either do the analysis now to determine the light pole spacing to verify whether additional street lights would not be necessary or execute a Street Light Agreement agreeing to make the necessary light adjustments at such time that the analysis is completed either by developers on the west side of the road or the City.. If a study were to be completed now by the applicant and no additional street lights were identified as necessary, then the agreement would not be necessary. It does

not appear that the applicant will be completing a study now, therefore Staff recommends a condition of approval that, if the study is not complete by the time the applicant wishes to occupy the building that the Street Light Agreement be executed prior to issuance of an occupancy permit, including a temporary occupancy.

Agreements and Easements executed prior to any occupancy permit versus prior to building permit: Generally, the City requires all easements (right-of-way and ingress/egress) and agreements (street lights and storm water facility management) to be executed prior to approving a building permit. This helps to ensure that the City receives the required documents before being confronted with a development that is ready to be occupied in all other aspects, but for the agreements and easements to be executed. The property owner has raised specific concerns with the provision now of the Storm Water Management Facility Maintenance Agreement and as-built certifications as winter weather prevents the proper surveying of the pond. The property owner has requested that the easements and agreements be executed and returned to the City prior to occupancy instead in order to allow the building permits to be approved and construction begin as soon as possible. Since the City Council has yet to approve the project with the conditions of approval which include accepting right-of-way easements in lieu of deeds and the time it is anticipated to take to complete the street light analysis, these easements and agreements won't be ready at the time the City Council reviews the development proposal. Staff is recommending a condition of approval that would allow the building permits to be issued prior to receiving the documents, but that the documents be executed and provided to the City prior to issuance of an occupancy permit for the building, including issuance of a temporary occupancy permit.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendation And Conditions Of Approval: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Major Modification to a Site plan to construct a 75,000 sq. ft. office building at 1075 Jordan Creek Parkway, subject to the applicant meeting all City Code requirements and the following:

1. That the applicant acknowledge that prior to any occupancy permit for the building, the landscaping for open space, parking lot, and screening be installed, inspected, and approved or in the event the landscaping is not complete, surety in an amount equal to 1 ½ times the landscape contract be submitted to the City in order to receive a temporary occupancy permit. The applicant further acknowledges that all site improvements, including landscaping will need to be completed, inspected by staff, and deficiencies remedied prior to the issuance of a Final Occupancy Permit for the building.
2. That the applicant acknowledge that final site plan drawings which address all staff comments must be submitted prior to any work that may require City inspections.
3. That the City Council accept right-of-way and utility easements for an additional 2.5 feet of right-of-way along Jordan Creek Parkway adjacent to this site and for an additional 5 feet of right-of-way along 72nd Street adjacent to this site, prior to any occupancy of the building.
4. That the City Council allow ingress/egress easement, the street light agreement (if needed), and the storm water facility management agreement and certifications to be submitted prior to any occupancy of the building.

Owner: RRHWoods, LLC
c/o R&R Realty Group LTD
1225 Jordan Creek Parkway
West Des Moines IA 50266

Applicant: R&R Realty Group
1225 Jordan Creek Parkway, Suite 200
West Des Moines IA 50266
Tom Rupprecht
515-223-4500
Rupprecht.tom@rrrealty.com

ATTACHMENTS:

Attachment A	-	Plan and Zoning Commission Resolution
Attachment B	-	Location Map
Attachment C	-	Site Plan
Attachment D	-	Elevations

RESOLUTION NO. PZC

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A SITE PLAN TO CONSTRUCT A 75,000 SQUARE FOOT OFFICE BUILDING AT 1075 JORDAN CREEK PARKWAY

WHEREAS, pursuant to the provisions of Title 10, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, RRHWoods LLC, has requested approval for a Major Modification to a Site Plan (MaM-002943-2015) to construct a 75,000 square foot office building and associated site improvements on that property located at 1075 Jordan Creek Parkway;

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, on February 1, 2016, this Commission held a duly-noticed public meeting to consider the application for a Major Modification to Site Plan;

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report or as amended orally at the Plan and Zoning Commission hearing are adopted.

SECTION 2. The Site Plan to construct a 75,000 square foot office building and associated site improvements is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report including conditions added at the Hearing, and attached hereto as Exhibit "A." Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on February 1, 2016.

Craig Erickson, Chairperson
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on February 1, 2016, by the following vote:

AYES:
NAYS:
ABSTENTIONS:
ABSENT:

ATTEST:

Recording Secretary

Exhibit A
CONDITIONS OF APPROVAL

1. That the applicant acknowledge that prior to any occupancy permit for the building, the landscaping for open space, parking lot, and screening be installed, inspected, and approved or in the event the landscaping is not complete, surety in an amount equal to 1 ½ times the landscape contract be submitted to the City in order to receive a temporary occupancy permit. The applicant further acknowledges that all site improvements, including landscaping will need to be completed, inspected by staff, and deficiencies remedied prior to the issuance of a Final Occupancy Permit for the building.
2. That the applicant acknowledge that final site plan drawings which address all staff comments must be submitted prior to any work that may require City inspections.
3. That the City Council accept right-of-way and utility easements for an additional 2.5 feet of right-of-way along Jordan Creek Parkway adjacent to this site and for an additional 5 feet of right-of-way along 72nd Street adjacent to this site, prior to any occupancy of the building.
4. That the City Council allow ingress/egress easement, the street light agreement (if needed), and the storm water facility management agreement and certifications to be submitted prior to any occupancy of the building.

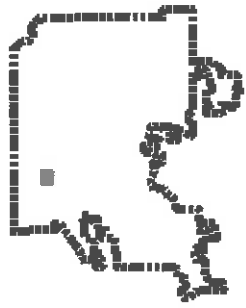


Newport - 1075 Jordan Creek Parkway



1:2,299

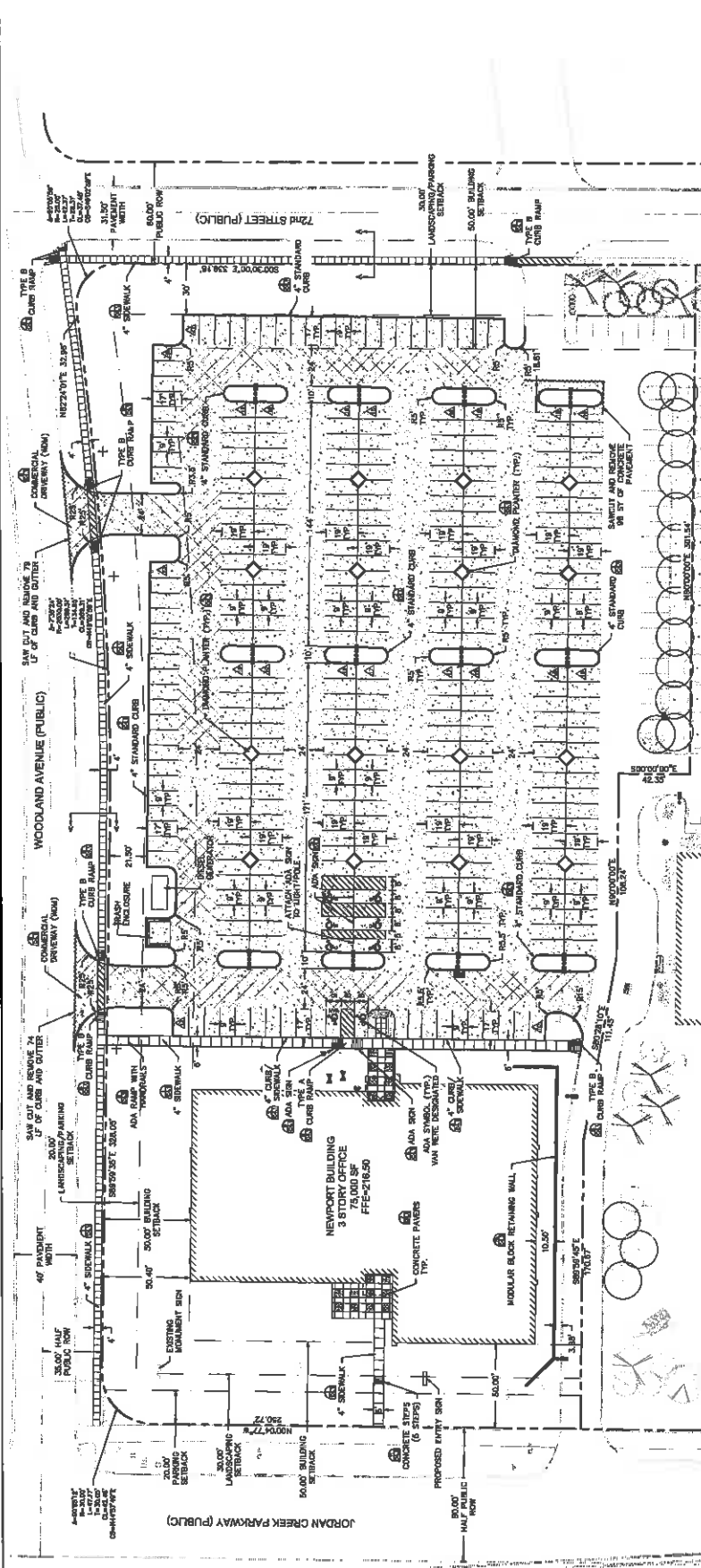
- Legend**
- Parcels
 - Parks
 - Greenways



Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

NO.	DATE	REVISION DESCRIPTION



SITE PLAN AND PAVING NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION BY THE WEST DES MOINES PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE WEST DES MOINES PUBLIC WORKS DEPARTMENT AND THE CITY ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE WEST DES MOINES PUBLIC WORKS DEPARTMENT AND THE CITY ENGINEER.
- ALL DIMENSIONS AND RAMP ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- PAVEMENT CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE "METRO DESIGN STANDARD" FOR STREETS, AND THE WEST DES MOINES "OFF STREET PARKING STANDARD" FOR STREETS, AND THE WEST DES MOINES "OFF STREET PARKING STANDARD" FOR STREETS, AND THE WEST DES MOINES "OFF STREET PARKING STANDARD" FOR STREETS.
- ALL PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE 4" WIDE YELLOW MARKING. MARKINGS SHALL BE PAINTED WITH TRAFFIC PASTE. MARKINGS SHALL BE PAINTED WITH TRAFFIC PASTE. MARKINGS SHALL BE PAINTED WITH TRAFFIC PASTE.
- ALL DIMENSIONS AND RAMP ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- PAVEMENT CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE "METRO DESIGN STANDARD" FOR STREETS, AND THE WEST DES MOINES "OFF STREET PARKING STANDARD" FOR STREETS, AND THE WEST DES MOINES "OFF STREET PARKING STANDARD" FOR STREETS.
- ALL PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE 4" WIDE YELLOW MARKING. MARKINGS SHALL BE PAINTED WITH TRAFFIC PASTE. MARKINGS SHALL BE PAINTED WITH TRAFFIC PASTE.
- ALL DIMENSIONS AND RAMP ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- PAVEMENT CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE "METRO DESIGN STANDARD" FOR STREETS, AND THE WEST DES MOINES "OFF STREET PARKING STANDARD" FOR STREETS, AND THE WEST DES MOINES "OFF STREET PARKING STANDARD" FOR STREETS.
- ALL PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE 4" WIDE YELLOW MARKING. MARKINGS SHALL BE PAINTED WITH TRAFFIC PASTE. MARKINGS SHALL BE PAINTED WITH TRAFFIC PASTE.
- ALL DIMENSIONS AND RAMP ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- PAVEMENT CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE "METRO DESIGN STANDARD" FOR STREETS, AND THE WEST DES MOINES "OFF STREET PARKING STANDARD" FOR STREETS, AND THE WEST DES MOINES "OFF STREET PARKING STANDARD" FOR STREETS.
- ALL PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE 4" WIDE YELLOW MARKING. MARKINGS SHALL BE PAINTED WITH TRAFFIC PASTE. MARKINGS SHALL BE PAINTED WITH TRAFFIC PASTE.
- ALL DIMENSIONS AND RAMP ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- PAVEMENT CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE "METRO DESIGN STANDARD" FOR STREETS, AND THE WEST DES MOINES "OFF STREET PARKING STANDARD" FOR STREETS, AND THE WEST DES MOINES "OFF STREET PARKING STANDARD" FOR STREETS.
- ALL PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE 4" WIDE YELLOW MARKING. MARKINGS SHALL BE PAINTED WITH TRAFFIC PASTE. MARKINGS SHALL BE PAINTED WITH TRAFFIC PASTE.

CONCRETE PAVEMENT SECTION
NOT TO SCALE

6" CONCRETE PAVEMENT SECTION
NOT TO SCALE

8" CONCRETE PAVEMENT SECTION
NOT TO SCALE

PAVING LEGEND

- 6" P.C.C. PAVING
- 8" P.C.C. PAVING

SECTION A-A
NOT TO SCALE

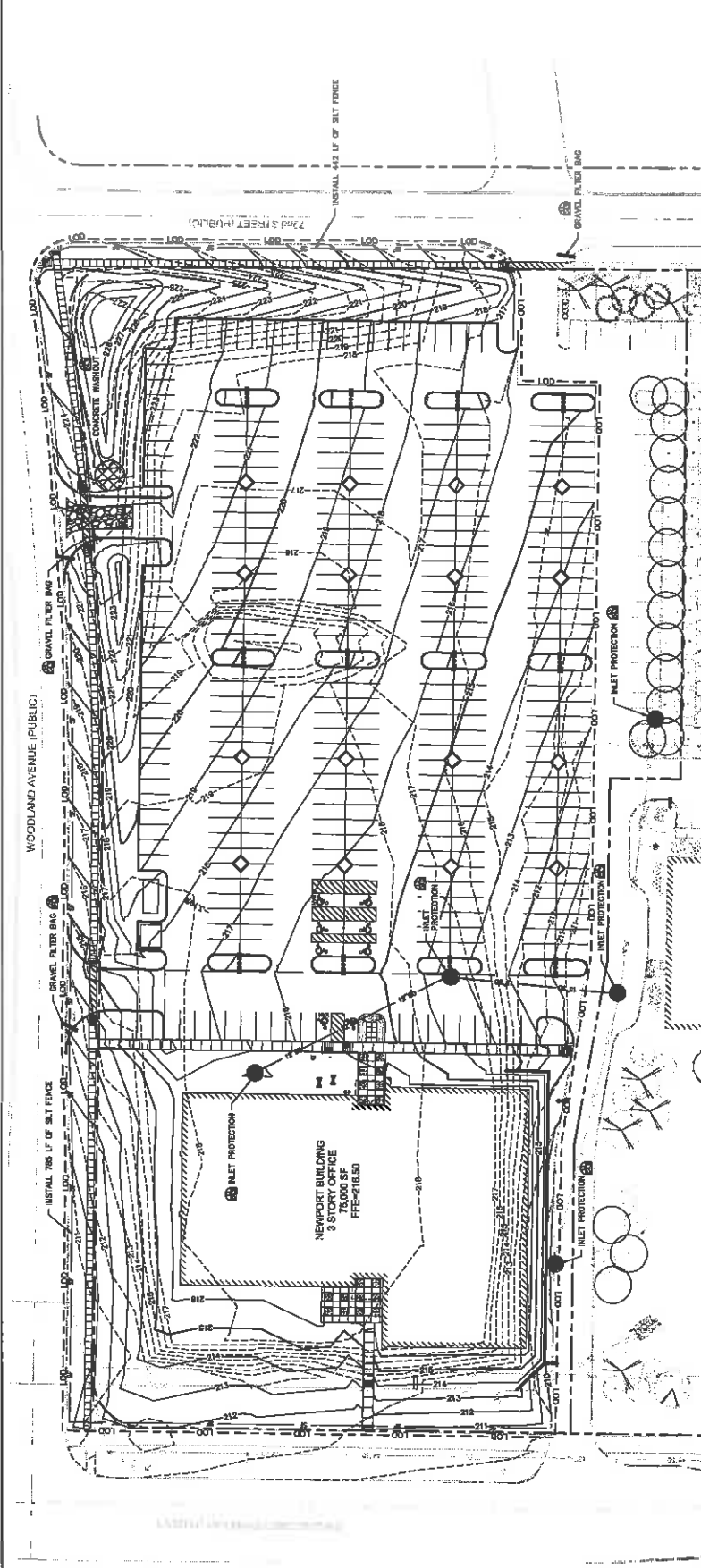
SCALE IN FEET
1" = 30'

Know where's below. Call before you dig.

811

BEFORE YOU DIG, CALL 811. WE'LL HELP YOU FIND THE UTILITY LINES BELOW THE SURFACE. IT'S FREE AND IT'S FAST. CALL 811 TODAY.

NO.	DATE	REVISIONS DESCRIPTION



- NOTES:**
- THIS PROJECT REQUIRES AN IOWA GENERAL PERMIT NO. 2 FOR STORMWATER POLLUTION ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR). CONTRACTOR TO COMBINE WORK ON THIS SITE ONLY AFTER AN ACTIVE PERMIT NUMBER HAS BEEN OBTAINED.
 - CONTRACTOR SHALL CONTINUOUSLY PROVIDE ADEQUATE STORMWATER MANAGEMENT IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT.
 - CONTRACTOR SHALL PROVIDE FOR THE PROTECTION OF EXISTING UTILITIES AND WATERWAYS IN THE VICINITY OF THE JOB SITE THROUGHOUT THE CONSTRUCTION PERIOD.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND WATERWAYS AT ALL TIMES.

LEGEND

- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- INSTALL INLET PROTECTION
- INSTALL PER BUOYS DETAIL
- SILT FENCE PER WEST P&S
- STANDARD CONSTRUCTION ENTRANCE PER BUOYS DETAIL, STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT AREA
- LIMITS OF DISTURBANCE
- CONCRETE WASHOUT AREA

CONSTRUCTION & EROSION CONTROL SCHEDULE:

- SILT FENCE SHALL BE INSTALLED IN THE PROPOSED LOCATIONS FOR PERMANENT CONTROLS. INSTALL UPSTREAM OVERSLOPE, DOWN SLOPE AND SIDE SLOPE PERMETER CONTROLS.
- TEMP. CLEARING AND GRUBBING SHALL BE COMPLETED.
- RETENTION BASIN SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO ANY OTHER SITE ACTIVITIES.
- SITE SHALL BE ROUGH GRADED. TEMPORARY LOWER DITCH SHALL BE SEDED AS REQUIRED. PERMANENT AND FINISH CONSTRUCTION SHALL OCCUR BEFORE REMOVAL OF SLOPE PROTECTION MEASURES.
- ADVERTISE AND DISADVANCE SHALL BE IN COMPLIANCE WITH THE IOWA PERMIT. APPROVED CONTRACTOR/SUBCONTRACTOR LISTED UNDER THE IOWA PERMIT AND APPROVED STREETS SHALL ENSURE THAT ALL MUD AND ROCK ARE CLEANED OFF OF PUBLIC STREETS.
- SITE GRADING SHALL BE COMPLETED AND FOLLOWED UP BY UTILITY AND PAVING CONSTRUCTION ALONG WITH REDEMPTION OF STOPPING AND RESTARTING CONSTRUCTION. CONSTRUCTION SHALL BE INSTALLED AFTER UPSTREAM IS STABILIZED.
- EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED UNTIL FINAL GRADING IS COMPLETED. CONSTRUCTION SHALL BE INSTALLED AFTER UPSTREAM IS STABILIZED.
- ADVERTISE, REMOVE CONTROLS SHALL BE REPAIRED.

OWNER:
PRIMROSE, LLC d/b/a RAE REALTY GROUP LTD
1000 15TH AVE SW, SUITE 310
WEST DES MOINES, IA 50268
PH: (515) 283-6000

ENGINEER:
OLSSON ASSOCIATES
1000 15TH AVE SW, SUITE 310
WEST DES MOINES, IA 50268
PH: (515) 283-6000

CONTRACTOR:
COMPANY: CONSTRUCTION SERVICES INC.
RESPONSIBLE PERSON: _____
ADDRESS: _____
PHONE: _____

SUBCONTRACTOR:
COMPANY: _____
RESPONSIBLE PERSON: _____
ADDRESS: _____
PHONE: _____

CONCRETE SUBCONTRACTOR:
COMPANY: _____
RESPONSIBLE PERSON: _____
ADDRESS: _____
PHONE: _____

FLUOR ZONE:
ZONE 3X AREAS DESIGNATED TO BE OUTSIDE
CONSTRUCTION PERIOD
MAP NUMBER: 10423100080
EFFECTIVE DATE: FEBRUARY 16, 2004

SCALE: 1" = 40'

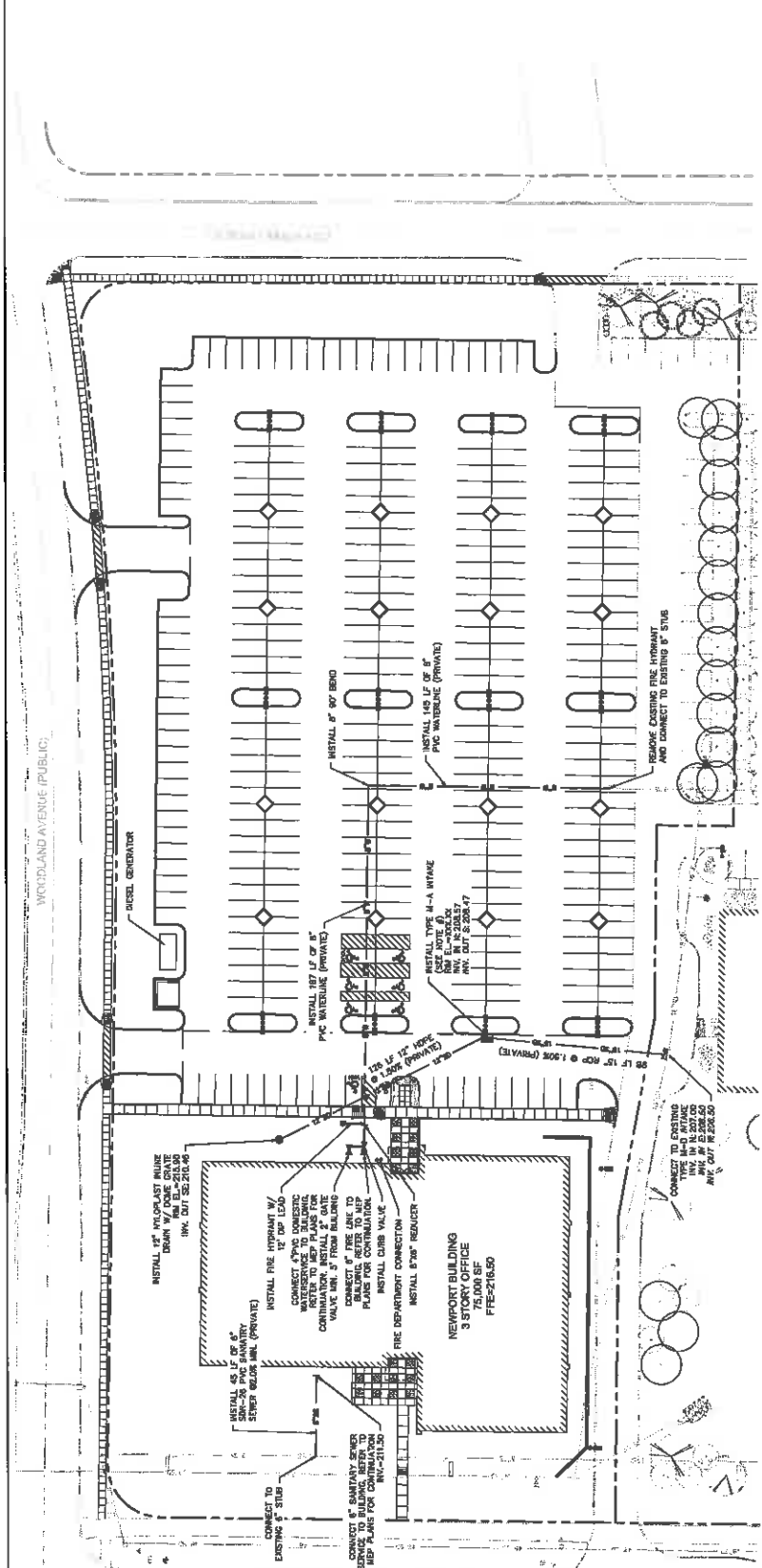
DATE: 02/15/2015 10:54 AM
DRAWN BY: C:\Users\j\OneDrive\Documents\Projects\Newport Office Park\Drawings\EROSION CONTROL PLAN.dwg
USER: j
JOB NUMBER: 150404



Know what's below.
Call before you dig.

811
ONE CALL CENTER FOR IOWA
FOR A LIST OF PARTICIPATING UTILITIES, VISIT
WWW.IOWA811.COM

NO.	DATE	REVISION DESCRIPTION

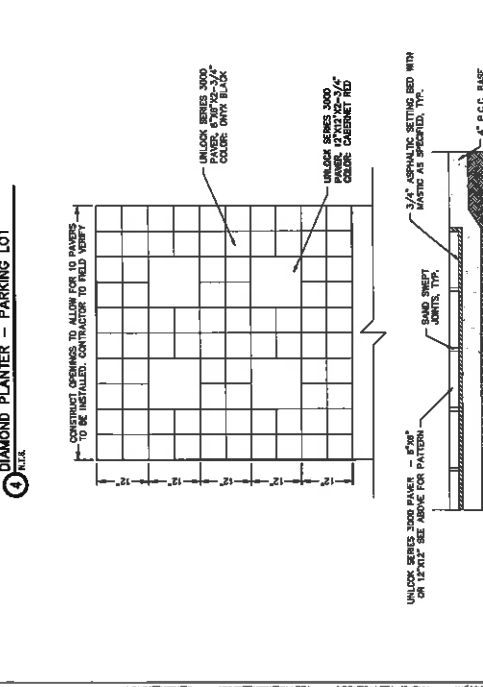
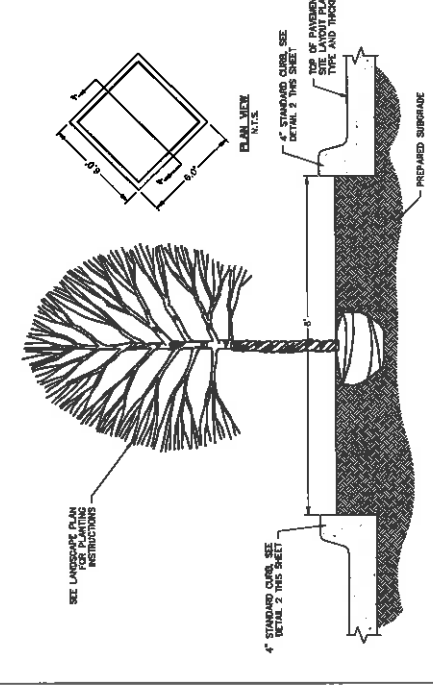
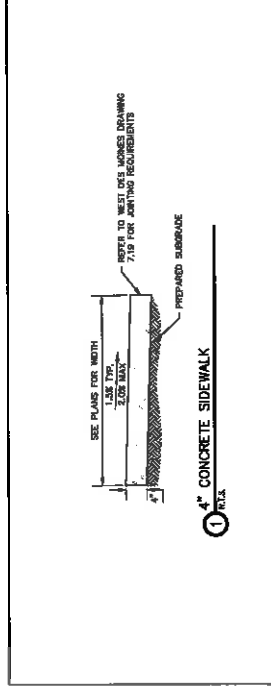
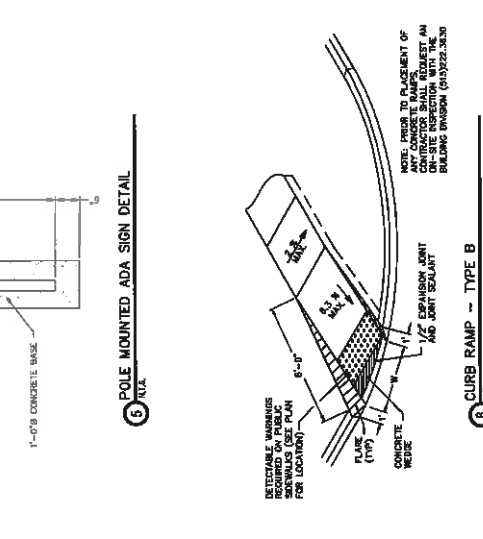
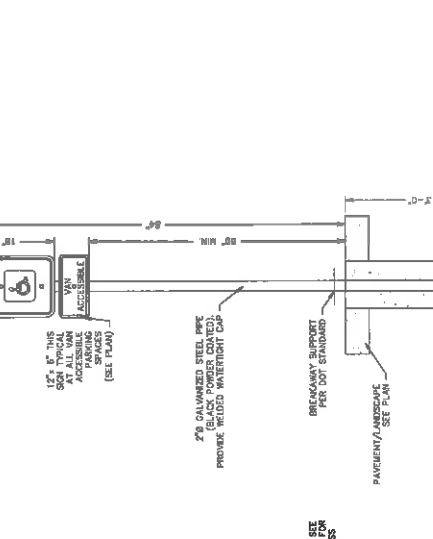
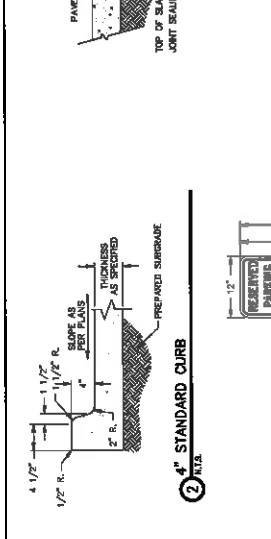
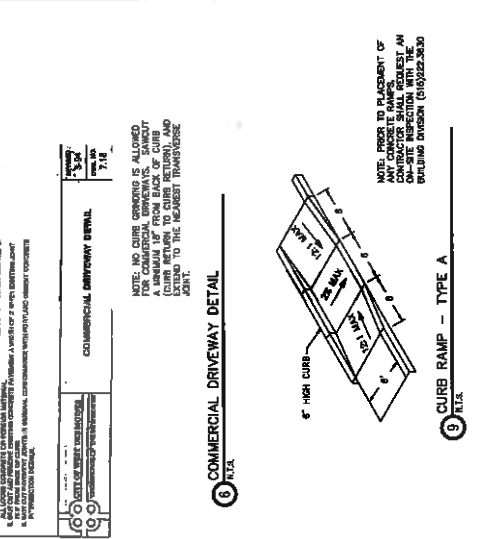
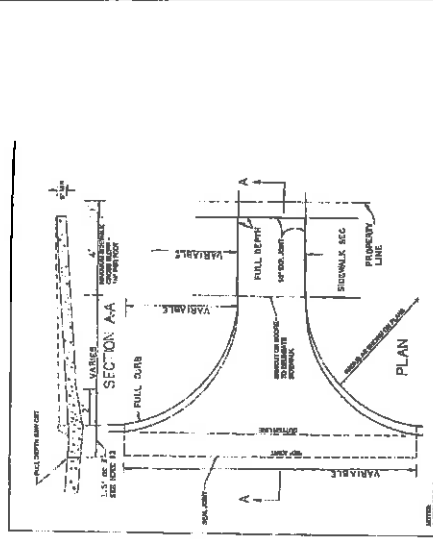
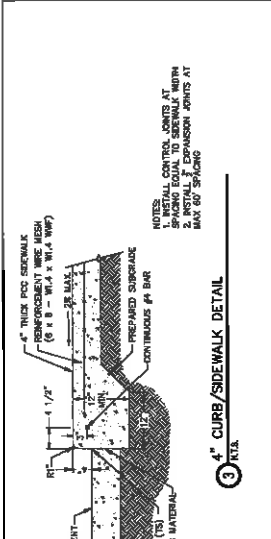


- ### UTILITY NOTES:
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AT PROPOSED POINTS OF CONNECTION AND COVER EXACT CONNECTIONS/UTILITIES OF ALL UTILITY SERVICE. USE LOCATIONS IN THE BUILDING (PER RED PLANS) FROM ALL UTILITIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING ON-SITE MEETINGS WITH THE CITY, GOVERNING AGENCIES, AND UTILITY COMPANIES PRIOR TO THE START OF ANY CONSTRUCTION OR ANY OTHER SERVICE LINES, AND CONNECTIONS IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OR LOCAL UTILITY PROVIDER. FOR ADDITIONAL DETAILS OF SANITARY SEWER CONSTRUCTION, SEE WEST DES MOINES SPECIFICATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND APPROPRIATE AGENCIES PRIOR TO COMMENCING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CITY ENGINEER, METROPOLITAN WATER SUPPLY BOARD, METROPOLITAN SEWER TREATMENT BOARD, AND METROPOLITAN WATER WORKS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND APPROPRIATE AGENCIES PRIOR TO COMMENCING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CITY ENGINEER, METROPOLITAN WATER SUPPLY BOARD, METROPOLITAN SEWER TREATMENT BOARD, AND METROPOLITAN WATER WORKS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING UTILITY SERVICE CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANY/OWNER, AND TO OBTAIN ALL PERMITS AND PAY ALL FEES AS REQUIRED FOR SERVICE CONNECTIONS TO UTILITY MAINS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND APPROPRIATE AGENCIES PRIOR TO COMMENCING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CITY ENGINEER, METROPOLITAN WATER SUPPLY BOARD, METROPOLITAN SEWER TREATMENT BOARD, AND METROPOLITAN WATER WORKS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND APPROPRIATE AGENCIES PRIOR TO COMMENCING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CITY ENGINEER, METROPOLITAN WATER SUPPLY BOARD, METROPOLITAN SEWER TREATMENT BOARD, AND METROPOLITAN WATER WORKS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND APPROPRIATE AGENCIES PRIOR TO COMMENCING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CITY ENGINEER, METROPOLITAN WATER SUPPLY BOARD, METROPOLITAN SEWER TREATMENT BOARD, AND METROPOLITAN WATER WORKS.

- ALL SANITARY, SERVICE PIPE, AND FITTINGS SHALL BE SIZE 2".
- REFER TO RED PLANS FOR EXISTING LIGHT ELECTRIC ROUTING.
- ALL EXISTING WATER, SEWER, AND STORM SEWER MAINS ARE PRIVATE MAINS. LABEL AS PRIVATE MAINS UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING UTILITIES AND FOR ADJUSTING AS NECESSARY.
- PROTECT ALL EXISTING UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR TO VERIFY LOCATION OF WATER MAIN WITH WATER MAIN SERVICE ENGINEER AND RECORD AS NECESSARY.
- CONNECT 8" HOPE STORM SEWER (IF MINIMUM) TO ROOF DOWNSPOUTS AND STORM SEWER. REFER TO ARCHITECTURAL PLANS FOR FINAL DOWNSPOUT LOCATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND APPROPRIATE AGENCIES PRIOR TO COMMENCING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CITY ENGINEER, METROPOLITAN WATER SUPPLY BOARD, METROPOLITAN SEWER TREATMENT BOARD, AND METROPOLITAN WATER WORKS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND APPROPRIATE AGENCIES PRIOR TO COMMENCING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CITY ENGINEER, METROPOLITAN WATER SUPPLY BOARD, METROPOLITAN SEWER TREATMENT BOARD, AND METROPOLITAN WATER WORKS.

NO.	DATE	REVISION DESCRIPTION
1	2016	

WEST DES MOINES, IOWA
 NEWPORT OFFICE BUILDING
 COUNTRY CLUB OFFICE PARK



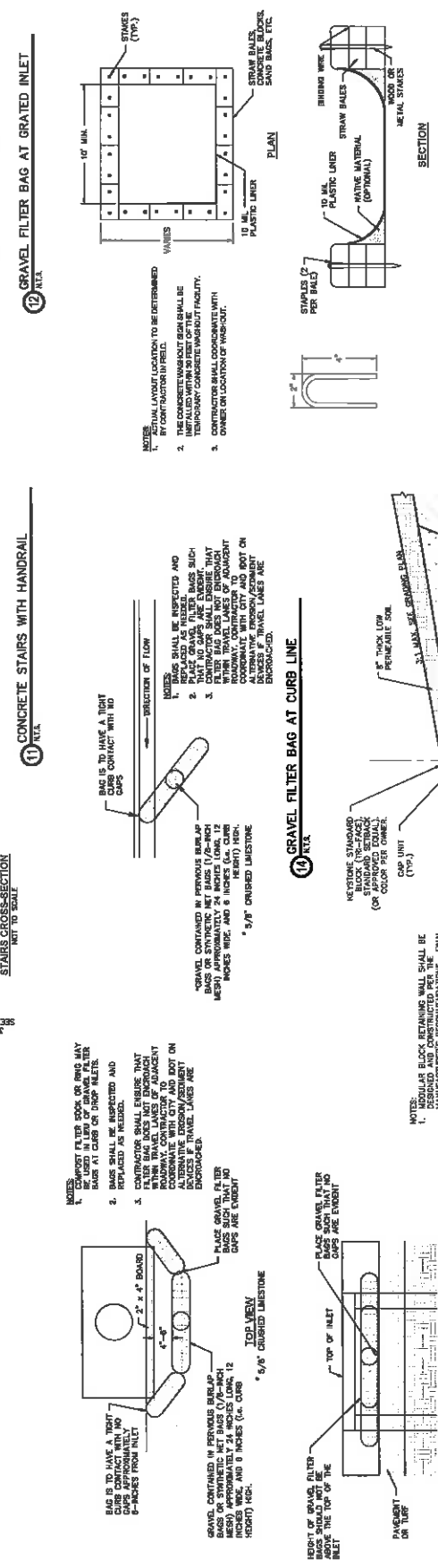
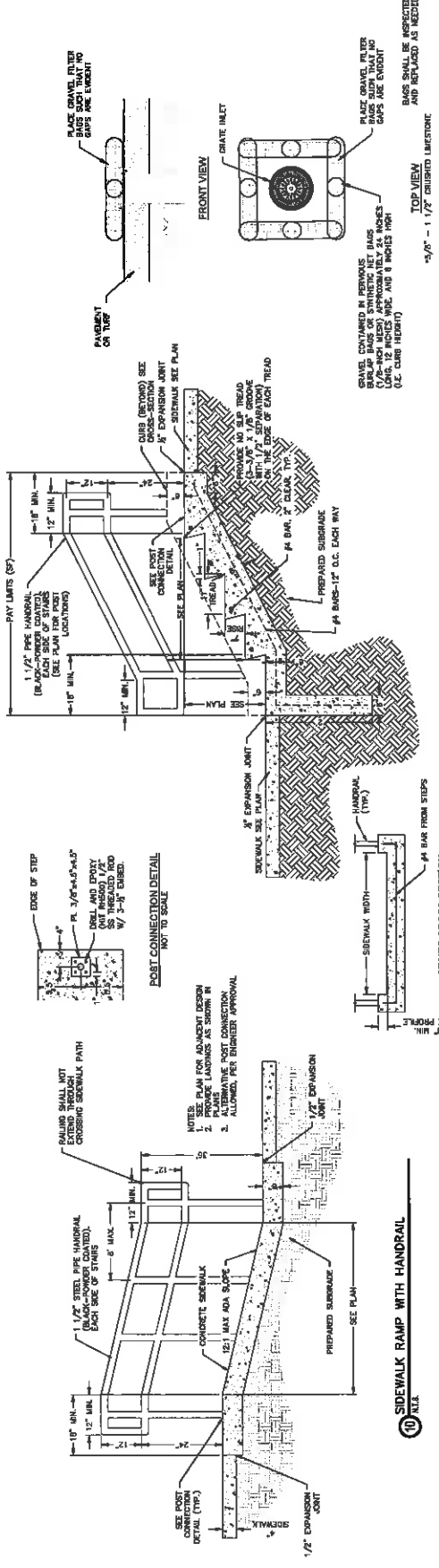
811
 Know what's below.
 Call before you dig.
 Call 811 before you dig. 811 is a national service that connects you to the utility companies that are in the way of your excavation project.

NO.	DATE	REVISION DESCRIPTION
2015		

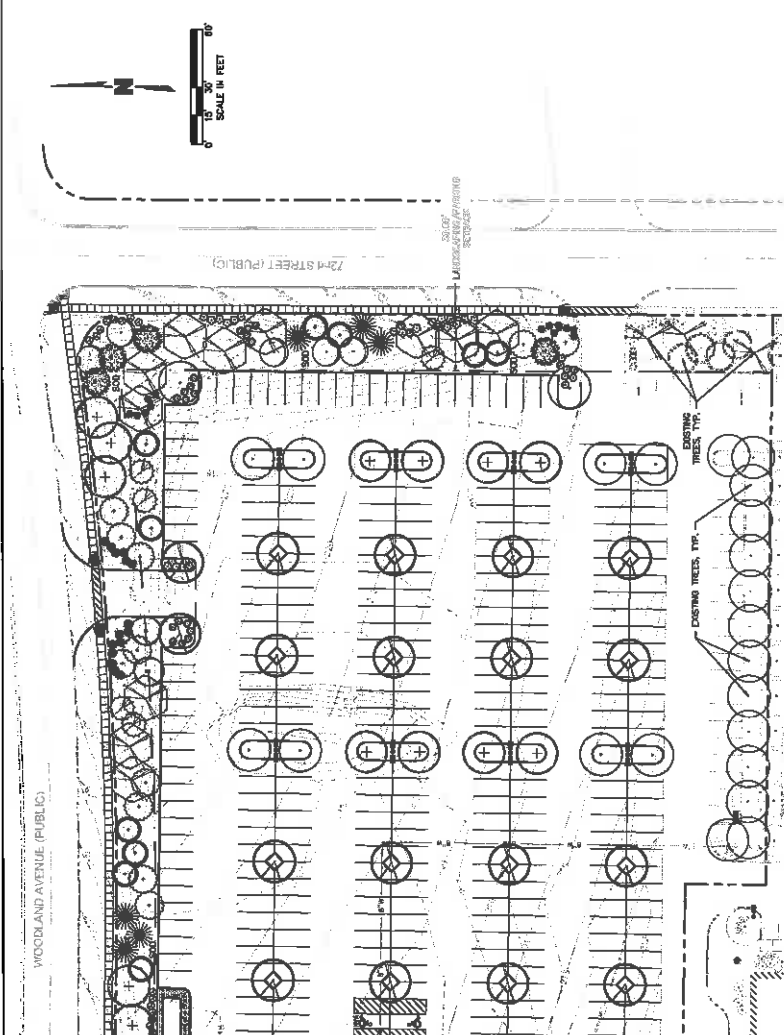
811

Know what's below.
 Call before you dig.

FOR A COMPLETE LIST OF PARTICIPATING UTILITIES, VISIT 811.IOWA.GOV



REV. NO.	DATE	REVISIONS DESCRIPTION



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
1	28	ACER FRAXINIFOLIUM	AUTUMN BRASS WAXLE	2" CAL.	B & B	MATCHED SPECIMENS - FULL FORM
2	6	QUERCUS PRINCEPIUM	SHADEMASTER HONEYLOCUST	2" CAL.	CAL.	MATCHED SPECIMENS - FULL FORM
3	28	QUERCUS RUBRA	RED OAK	2" CAL.	B & B	MATCHED SPECIMENS - FULL FORM
4	28	QUERCUS MACROCARPA	AMERICAN HOPHORSEBEAM	2" CAL.	B & B	MATCHED SPECIMENS - FULL FORM
5	15	ULMUS AMERICANA	FRANCKTON AMERICAN ELM	2" CAL.	B & B	MATCHED SPECIMENS - FULL FORM
6	18	AMELANCHIA ALBA	CONCOLOR RR	6" HT.	B & B	FULL FORM
7	9	PRUNUS LANCEA	NORWAY SPRUCE	6" HT.	B & B	FULL FORM
8	8	PRUNUS STROBUS	EASTERN WHITE PINE	6" HT.	B & B	FULL FORM
9	10	CERCIS CANADENSIS	ENGLISH REDWOOD	1.5" CAL.	B & B	MATCHED SPECIMENS - FULL FORM
10	15	SPYRIVA RETICULATA	JAPANESE TREE LILAC	1.5" CAL.	B & B	MATCHED SPECIMENS - FULL FORM
11	14	VERBENA PHANOCOLIA	SALICARY HERB RAIL	1.5" CAL.	B & B	MATCHED SPECIMENS - FULL FORM
12	7	AMELANCHIA GANAPORUM	AUTUMN BRILLIANCE DOGWOOD	1.5" CAL.	B & B	MATCHED SPECIMENS - FULL FORM
13	6	MALUS PRINARPIRE	FRANKE'S CRABAPPLE	1.5" CAL.	B & B	MATCHED SPECIMENS - FULL FORM
14	37	COTYLEDON AMERICANA	HAZELNUT	3" HT.	B & B	FULL FORM - MULTI ITEM
15	40	CORYLUS VIGATA	WALNUT	3" HT.	B & B	FULL FORM - MULTI ITEM
16	30	SPYRIVA LUTEA	DIWALF INDIAN LILAC	3" HT.	B & B	FULL FORM - MULTI ITEM
17	45	VERBENA TRICHOMIA	AMERICAN CRANEMORPH	3" HT.	B & B	FULL FORM - MULTI ITEM
18	42	SAMBUCUS CANADENSIS	BLODBERRY	3" HT.	B & B	FULL FORM - MULTI ITEM
19	10	JUNIPERUS COMMUNIS	SEA DROED JUNIPER	2" HT.	B & B	SCREEN
20	27	YUCCA FLORIBUNDA	DENSE SPECTRUM YEW	2" HT.	B & B	SCREEN

GROUND COVER LEGEND

- 500 TURFGRASS 500 SEE SPECIFICATIONS SHEET L1.2
- 1.5" - 2" RUBBER WALK

NOTES:
 I HEREBY CERTIFY THAT THE PORTION OF THIS TOPOGRAPHIC SURVEY WHICH IS REFERRED TO IN THIS INSTRUMENT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS OF THE STATE OF IOWA.
 LICENSE RENEWAL DATE: JUNE 30, 2016 LICENSE NUMBER: 518
 SIGNATURE: DATE: JUNE 18, 2015
 PAGES OR SHEETS COVERED BY THIS SEAL: L1.1, L1.2

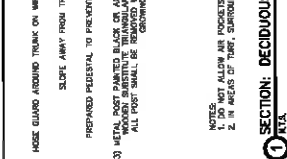
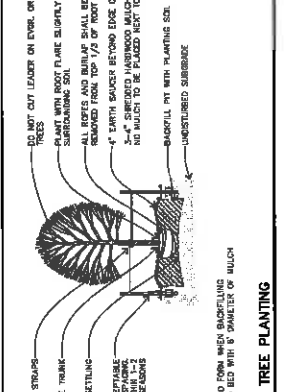
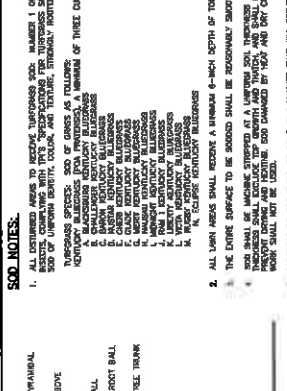


PLANTING NOTES

1. PRIOR TO ANY CONSTRUCTION AT THE SITE, THE CONTRACTOR SHALL EXAMINE ANY APPLICABLE PERMITS AVAILABLE FROM THE OWNER, ARCHITECT, LANDSCAPE ARCHITECT, AND/OR CITY ENGINEER FOR ALL UTILITIES. ALL UTILITIES MUST BE LOCATED AND MARKED PRIOR TO ANY CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED AND DELETED FROM THE PLANNING AREA. ALL UTILITIES SHALL BE PROTECTED AND DELETED FROM THE PLANNING AREA. ALL UTILITIES SHALL BE PROTECTED AND DELETED FROM THE PLANNING AREA.
2. ALL UTILITIES SHALL BE PROTECTED AND DELETED FROM THE PLANNING AREA. ALL UTILITIES SHALL BE PROTECTED AND DELETED FROM THE PLANNING AREA. ALL UTILITIES SHALL BE PROTECTED AND DELETED FROM THE PLANNING AREA.
3. ALL UTILITIES SHALL BE PROTECTED AND DELETED FROM THE PLANNING AREA. ALL UTILITIES SHALL BE PROTECTED AND DELETED FROM THE PLANNING AREA. ALL UTILITIES SHALL BE PROTECTED AND DELETED FROM THE PLANNING AREA.

SOIL NOTES:

1. ALL SOILS SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM. ALL SOILS SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM. ALL SOILS SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM.
2. ALL SOILS SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM. ALL SOILS SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM. ALL SOILS SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM.
3. ALL SOILS SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM. ALL SOILS SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM. ALL SOILS SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM.



LANDSCAPE CALCULATIONS

TOTAL LOT AREA = 4.9 AC OR 217,434 SF
 TOTAL PLANT AREA = 46 TREES REQUIRED
 46 TREES (X) 23 PLANT UNITS = 89 SHRUBS REQUIRED
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN

WARRANTY CHART

SUBSTANTIAL COMPLETION DATE	VEGETATION	WARRANTY EXPIRATION
JANUARY	18 MONTHS	JULY
FEBRUARY	18 MONTHS	AUGUST
MARCH	18 MONTHS	SEPTEMBER
APRIL	18 MONTHS	OCTOBER
MAY	18 MONTHS	NOVEMBER
JUNE	18 MONTHS	DECEMBER
JULY	18 MONTHS	JANUARY
AUGUST	18 MONTHS	FEBRUARY
SEPTEMBER	18 MONTHS	MARCH
OCTOBER	18 MONTHS	APRIL
NOVEMBER	18 MONTHS	MAY
DECEMBER	18 MONTHS	JUNE

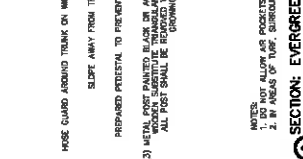
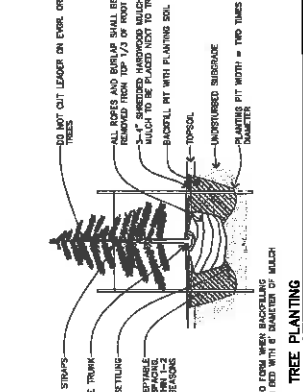
LANDSCAPE DETAILS

PLANT SUBSTITUTIONS ON PLAN: LANDSCAPE ARCHITECT SHALL PROVIDE A LIST OF SUBSTITUTIONS TO THE CONTRACTOR. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

WARRANTY: ALL PLANTING SHALL BE GUARANTEED FOR THE PERIOD SPECIFIED IN THE WARRANTY CHART. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANTING DURING THE WARRANTY PERIOD.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA = 4.9 AC OR 217,434 SF
 TOTAL PLANT AREA = 46 TREES REQUIRED
 46 TREES (X) 23 PLANT UNITS = 89 SHRUBS REQUIRED
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN



LANDSCAPE CALCULATIONS

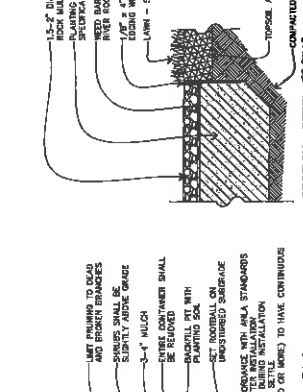
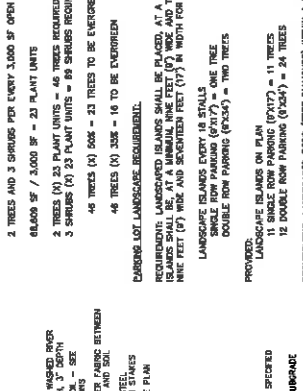
TOTAL LOT AREA = 4.9 AC OR 217,434 SF
 TOTAL PLANT AREA = 46 TREES REQUIRED
 46 TREES (X) 23 PLANT UNITS = 89 SHRUBS REQUIRED
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN

REVISIONS

NO.	DATE	DESCRIPTION
1	2015	ISSUED FOR PERMIT
2	2015	REVISED PER SITE CONDITIONS
3	2015	REVISED PER CLIENT REQUEST
4	2015	REVISED PER ENGINEER COMMENTS
5	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
6	2015	REVISED PER CITY ENGINEER COMMENTS
7	2015	REVISED PER ARCHITECT COMMENTS
8	2015	REVISED PER CONTRACTOR COMMENTS
9	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
10	2015	REVISED PER ARCHITECT COMMENTS
11	2015	REVISED PER CONTRACTOR COMMENTS
12	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
13	2015	REVISED PER ARCHITECT COMMENTS
14	2015	REVISED PER CONTRACTOR COMMENTS
15	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
16	2015	REVISED PER ARCHITECT COMMENTS
17	2015	REVISED PER CONTRACTOR COMMENTS
18	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
19	2015	REVISED PER ARCHITECT COMMENTS
20	2015	REVISED PER CONTRACTOR COMMENTS
21	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
22	2015	REVISED PER ARCHITECT COMMENTS

LANDSCAPE CALCULATIONS

TOTAL LOT AREA = 4.9 AC OR 217,434 SF
 TOTAL PLANT AREA = 46 TREES REQUIRED
 46 TREES (X) 23 PLANT UNITS = 89 SHRUBS REQUIRED
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN



LANDSCAPE CALCULATIONS

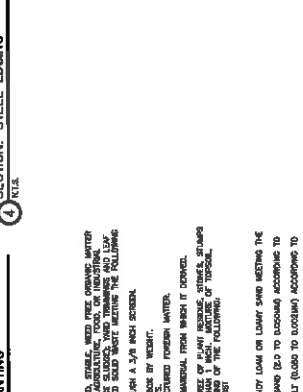
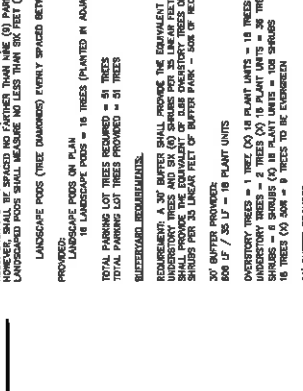
TOTAL LOT AREA = 4.9 AC OR 217,434 SF
 TOTAL PLANT AREA = 46 TREES REQUIRED
 46 TREES (X) 23 PLANT UNITS = 89 SHRUBS REQUIRED
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN

REVISIONS

NO.	DATE	DESCRIPTION
1	2015	ISSUED FOR PERMIT
2	2015	REVISED PER SITE CONDITIONS
3	2015	REVISED PER CLIENT REQUEST
4	2015	REVISED PER ENGINEER COMMENTS
5	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
6	2015	REVISED PER CITY ENGINEER COMMENTS
7	2015	REVISED PER ARCHITECT COMMENTS
8	2015	REVISED PER CONTRACTOR COMMENTS
9	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
10	2015	REVISED PER ARCHITECT COMMENTS
11	2015	REVISED PER CONTRACTOR COMMENTS
12	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
13	2015	REVISED PER ARCHITECT COMMENTS
14	2015	REVISED PER CONTRACTOR COMMENTS
15	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
16	2015	REVISED PER ARCHITECT COMMENTS
17	2015	REVISED PER CONTRACTOR COMMENTS
18	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
19	2015	REVISED PER ARCHITECT COMMENTS
20	2015	REVISED PER CONTRACTOR COMMENTS
21	2015	REVISED PER LANDSCAPE ARCHITECT COMMENTS
22	2015	REVISED PER ARCHITECT COMMENTS

LANDSCAPE CALCULATIONS

TOTAL LOT AREA = 4.9 AC OR 217,434 SF
 TOTAL PLANT AREA = 46 TREES REQUIRED
 46 TREES (X) 23 PLANT UNITS = 89 SHRUBS REQUIRED
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN



LANDSCAPE CALCULATIONS

TOTAL LOT AREA = 4.9 AC OR 217,434 SF
 TOTAL PLANT AREA = 46 TREES REQUIRED
 46 TREES (X) 23 PLANT UNITS = 89 SHRUBS REQUIRED
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN
 46 TREES (X) 336 = 15,456 TO BE EVERGREEN

S V P A
Architects Inc.

1488 50th Street, Suite 200
West Des Moines, Iowa 50325
515 327 5990 Fax 515 327 5991

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

OWNER
NEWPORT BUILDING LLC
1225 JORDAN CREEK PARKWAY
WEST DES MOINES, IOWA 50326

GENERAL CONTRACTOR
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT MANAGER
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

PROJECT NAME:
NEWPORT OFFICE BUILDING
1225 JORDAN CREEK PARKWAY
WEST DES MOINES, IOWA 50326

NEWPORT BUILDING LLC
1225 JORDAN CREEK PARKWAY
WEST DES MOINES, IOWA 50326

ISSUED FOR PERMITS
DATE: 08/20/2018

REVISIONS:
1 - 08/20/2018
2 - 08/20/2018

DATE: 08/20/2018

PROJECT ARCHITECT
SVP ARCHITECTS INC.
1488 50th Street, Suite 200
West Des Moines, Iowa 50325

NO.	DATE	DESCRIPTION
1	08/20/2018	ISSUED FOR PERMITS
2	08/20/2018	REVISIONS

ATTACHMENT D

A200

EXTERIOR ELEVATION

WEST ELEVATION

SCALE: 3/8" = 1'-0"

