

**CITY OF WEST DES MOINES  
PLAN AND ZONING COMMISSION COMMUNICATION**

**Meeting Date:** August 1, 2016

**Item:** 820 1<sup>st</sup> Street – Approval of an approximately 5,100 sq. ft. retail building – First Street, LP  
– SP-003083-2016

**Requested Action:** Approval of Site Plan

**Case Advisor:** Brian S. Portz, AICP *BP*

**Applicant's Request:** The applicant, First Street, LP, represented by Jamie Malloy of Studio Melee, requests approval of a site plan to construct an approximately 5,100 sq. ft. retail building and associated site improvements on that property located at 820 1<sup>st</sup> Street. The applicant has demolished an existing building on the site down to the slab and is intending to construct a new building on top of the existing foundation and slab. It is intended that this building will house the Christal's retail business (that is currently located at 840 1<sup>st</sup> Street) and a possible drinking establishment/restaurant in the future. If to be implemented, the drinking establishment will need to be presented to the Board of Adjustment for approval.

**History:** The parcel is part of the proposed 1<sup>st</sup> Street Redevelopment PUD which was approved in November of 2015. A Master Plan for the redevelopment of the property at the southwest corner of Grand Avenue and 1<sup>st</sup> Street was approved by the City Council on October 5, 2015. The building that was recently demolished on the site was constructed in 1979.

**City Council Subcommittee:** This project was presented to the Development and Planning City Council Subcommittee on May 16, 2016. The Subcommittee was supportive of the project.

**Staff Review and Comment:** This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff would note the following:

- **Regional Storm Water Infrastructure Project:** As part of the Grand Avenue Redevelopment Stormwater project, it is anticipated that a storm water structure will be installed across the western and southern portion of the 1<sup>st</sup> Street Redevelopment PUD Area. The structure will be located just to the west and south of the building at 820 1<sup>st</sup> Street.
- **Parking:** The timing of the storm water project may necessitate that the parking area on the west and south sides of the building not be constructed until after the storm water infrastructure has been installed. This would leave just the parking spaces on the east side of the building to directly serve this building. Other proposed development within the PUD could also negatively impact the available parking on the site. Staff has discussed with the applicant the need to provide an interim parking plan while the different construction project are occurring on the site. Based on the actual parking spaces available, the occupancy of the remainder of the building (not housed by Crystal's) may need to be limited. Staff has included a condition of approval addressing this issue.
- **Building Design:** Staff has been working with the Applicant to develop architectural designs which capture the design intent of the Val-Gate District. The proposed design for the building is included as Attachment 'D'. The building is of a mid-century modern design with a mix of store front glass and wood finish siding on the front. Horizontal cement fiber siding on the sides and rear repeat the pattern and color of the architectural concrete masonry units utilized on the adjacent Dollar Tree store. A soaring roof with a pronounced front overhang and projected roof signage echo elements typical of the mid-century time period. The wood siding along the store front and underside of the roof with the vertical accent lighting will further emphasize the building form. The architecture as proposed is consistent with the precedent image included in the PUD.

- **Access:** Access to the site will be via the existing access drives from 1<sup>st</sup> Street. As a part of the final plat approval, an ingress/egress and cross parking easement will be executed to allow the 820 1<sup>st</sup> Street property access to 1<sup>st</sup> Street.
- **Buffer Park Landscaping Deferral:** The applicant is requesting to defer the required 30' buffer park landscaping or screen fence along the south side of the property between the applicant's property and single family residentially zoned property to the south. If installed now, the landscaping and fence will have to be removed when the storm water infrastructure is installed. The required buffer and fence will be installed at such time that the storm water infrastructure is installed. Staff recommends a condition of approval allowing the requested deferral but requiring installation upon completion of the construction of the storm water infrastructure within the affected area.

**Comprehensive Plan Consistency:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**Findings:** This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

**Staff Recommendation And Conditions Of Approval:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the 820 1<sup>st</sup> Street Site Plan to allow the construction of an approximately 5,100sf retail building and related site improvements, subject to the applicant meeting all City Code requirements and the following:

1. The City Council granting a deferral for the installation of the trees and shrubs required of a 30' buffer park and a 6' solid fence along the south side of the site until such time that the proposed storm water infrastructure within the subject area along the south portion of the site is installed; and,
2. Site plan approval is contingent upon approval of the Val-Gate Preliminary and Final Plat. Upon approval of the Val-Gate Preliminary Plat, site grading and public utility installation may occur on the site. Building construction cannot occur on the site until City Council approval of the Val-Gate Final Plat, including the execution of the appropriate ingress/egress and cross parking agreement; and,
3. The applicant submitting an interim parking plan for the 820 1<sup>st</sup> Street building and the overall 1<sup>st</sup> Street Redevelopment PUD demonstrating adequate parking facilities are available while construction of the different projects are occurring on the site. Based on the actual number of parking spaces available, occupancy of the remaining portion of the 820 1<sup>st</sup> Street building (not housed by Crystal's) may be limited.

**Owner/Applicant**

First Street, LP  
 John Mandelbaum  
 4500 Westown Parkway  
 West Des Moines, IA 50266  
[john@mandelbaumproperties.com](mailto:john@mandelbaumproperties.com)  
 515-222-6200

**Applicant Representative:**

Studio Melee  
 Jamie Malloy, AIA  
 820 1<sup>st</sup> Street, Suite 115  
 West Des Moines, IA 50266  
[jamie@studiomelee.com](mailto:jamie@studiomelee.com)  
 515-314-9852

**ATTACHMENTS:**

- |              |   |                                       |
|--------------|---|---------------------------------------|
| Attachment A | - | Plan and Zoning Commission Resolution |
| Exhibit A    | - | Conditions of Approval                |
| Attachment B | - | Location Map                          |
| Attachment C | - | Site Plans                            |
| Attachment D | - | Building Elevations                   |

RESOLUTION NO. PZC-

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A SITE PLAN ALLOWING CONSTRUCTION OF AN APPROXIMATELY 5,100 SQUARE FOOT RETAIL BUILDING AT 820 1<sup>ST</sup> STREET**

**WHEREAS**, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, First Street, LP, has requested approval of the 820 1<sup>st</sup> Street Site Plan (SP-003083-2016) for that 0.69 acre site located at 820 1<sup>st</sup> Street to allow the construction of an approximately 5,100sf retail building and related site improvements;

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, on August 1, 2016 this Commission held a duly-noticed public meeting to consider the application for a Site Plan (SP-003083-2016);

**NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

SECTION 1. The findings, for approval, in the staff report dated August 1, 2016, or as amended orally at the Plan and Zoning Commission meeting of August 1, 2016 are adopted.

SECTION 2. SITE PLAN (SP-003083-2016) to allow construction of an approximately 5,100sf retail building and associated site improvements, is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report dated August 1, 2016, including conditions added at the meeting, and attached hereto as Exhibit "A." Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on August 1, 2016.

\_\_\_\_\_  
Craig Erickson, Chairperson  
Plan and Zoning Commission

ATTEST:

\_\_\_\_\_  
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on August 1, 2016, by the following vote:

AYES:  
NAYS:  
ABSTENTIONS:  
ABSENT:

ATTEST:

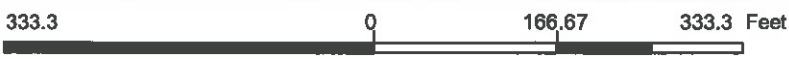
\_\_\_\_\_  
Recording Secretary

**EXHIBIT A**  
**Conditions of Approval**

1. The City Council granting a deferral for the installation of the trees and shrubs required of a 30' buffer park and a 6' solid fence along the south side of the site until such time that the proposed storm water infrastructure within the subject area along the south portion of the site is installed; and,
2. Site plan approval is contingent upon approval of the Val-Gate Preliminary and Final Plat. Upon approval of the Val-Gate Preliminary Plat, site grading and public utility installation may occur on the site. Building construction cannot occur on the site until City Council approval of the Val-Gate Final Plat, including the execution of the appropriate ingress/egress and cross parking agreements; and,
3. The applicant submitting an interim parking plan for the 820 1<sup>st</sup> Street building and the overall 1<sup>st</sup> Street Redevelopment PUD demonstrating adequate parking facilities are available while construction of the different projects are occurring on the site. Based on the actual number of parking spaces available, occupancy of the remaining portion of the 820 1<sup>st</sup> Street building (not housed by Crystal's) may be limited.



1:2,000



NAD\_1983\_StatePlane\_Iowa\_South\_FIPS\_1402\_Feet  
 © City of West Des Moines, Iowa

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

S I T E P L A N  
SUBMITTED FOR REVIEW: JULY 21, 2016

# 820 FIRST STREET RETAIL BUILDING

820 FIRST STREET, WEST DES MOINES, IOWA 50265

**OWNER:** FIRST STREET LP  
4500 WESTOWN PKWY, SUITE 115  
WEST DES MOINES, IOWA 50265  
PHONE: 515-222-6201 | FAX: 515-265-8702

**ARCHITECT:** STUDIO MELEE  
1312 LOCUST, SUITE 100Z, DES MOINES, IOWA 50309  
PHONE: 515-314-9852 | PHONE: 515-493-0003

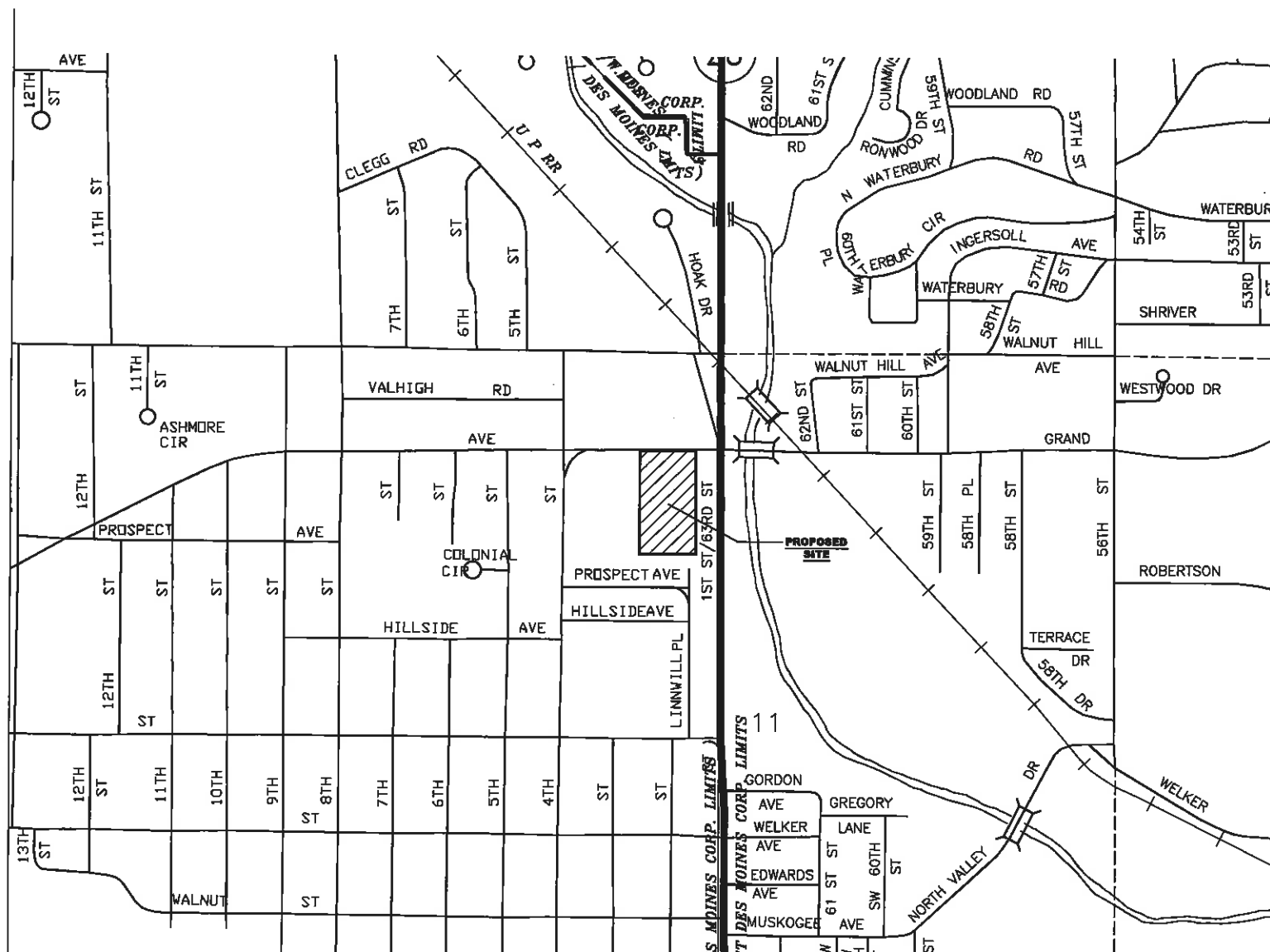


CIVIL/SITE: BISHOP ENGINEERING

**Bishop Engineering Company, Inc.**  
3501 104th Street  
Des Moines, Iowa 50322  
PHONE: (515)276-0467 FAX: (515)276-0217

## SYMBOLS LEGEND

PROPERTY CORNER- FOUND AS NOTED		BOUNDARY LINE	
MEASURED DISTANCE	0.00' M	LOT LINE	
PLATTED DISTANCE	0.00' P	CENTER LINE	
DEEDED DISTANCE	0.00' D	EASEMENT LINE	
RIGHT-OF-WAY	R.O.W.	BUILDING LINE	
SANITARY SEWER MANHOLE		FENCE LINE	
STORM SEWER MANHOLE		SANITARY SEWER	
UTILITY MANHOLE		STORM SEWER	
SIGNAL POLE		GAS LINE	
LIGHT POLE		WATER LINE	
POWER POLE		UNDERGROUND ELECTRIC	
CURB INTAKE		OVERHEAD ELECTRIC	
SURFACE INTAKE		TELEPHONE LINE	
FIRE HYDRANT			
WATER VALVE			
GAS VALVE			
CLEAN OUT			



1 VICINITY MAP  
NOT TO SCALE

## CERTIFICATIONS

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

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SIGNATURE & DATE  
DISCIPLINE & REGISTRATION NO.  
PAGES OR SHEETS COVERED



I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

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SIGNATURE & DATE  
DISCIPLINE & REGISTRATION NO.  
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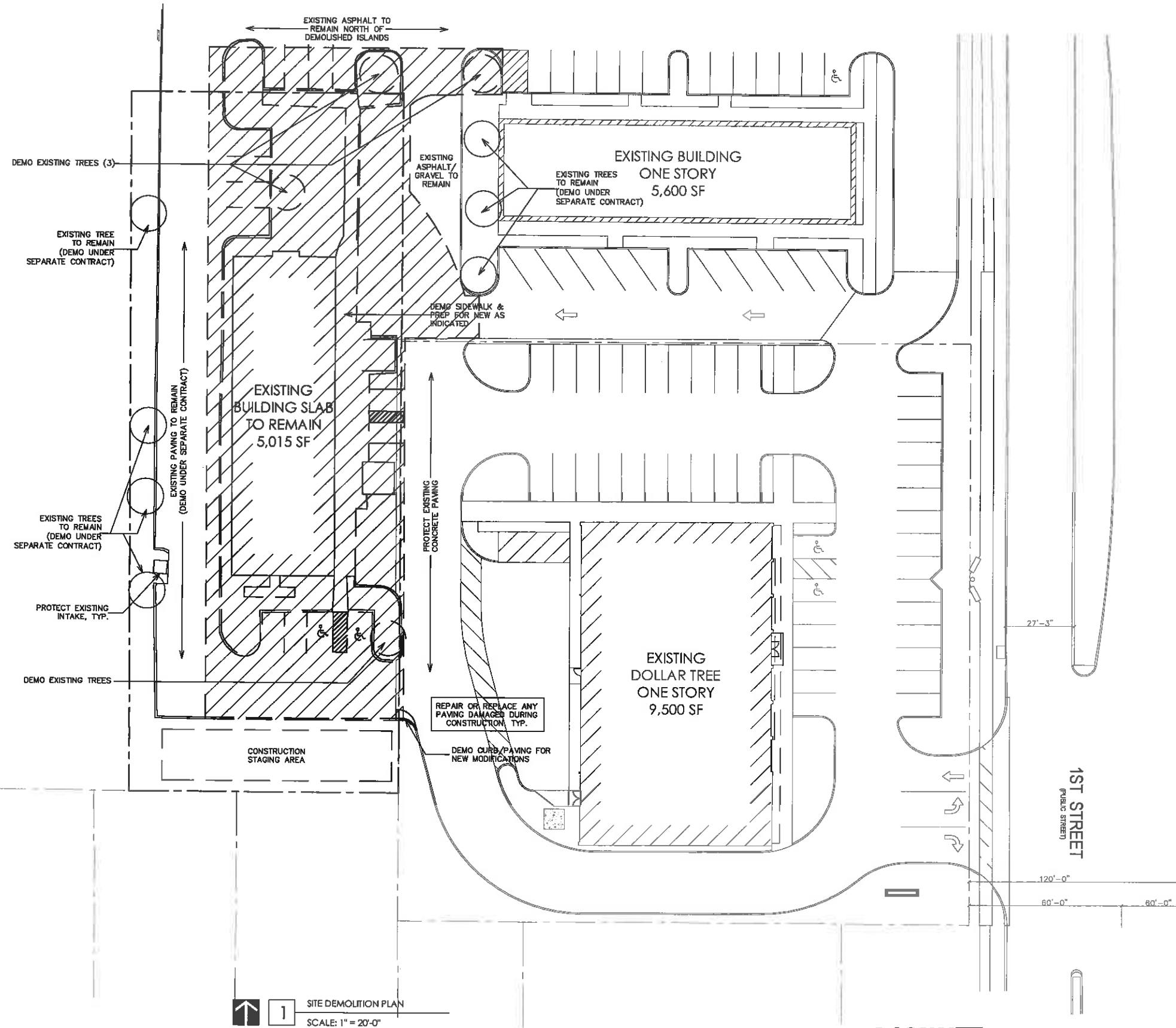


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- SP2 GRADING PLAN
- SP3 UTILITY PLAN
- SP4 LANDSCAPE PLAN
- SP5 SITE DETAILS
- SP6 SITE DETAILS



RETAIL BUILDING  
 820 FIRST STREET  
 WEST DES MOINES, IOWA 50265  
 STUDIO MELEE  
 1312 LOCUST, SUITE 100Z  
 DES MOINES, IOWA 50309  
 (515) 314-9852  
 (515) 493-0003  
 PRINT DATE: JULY 21, 2016  
 SHEET NAME: SITE COVER  
 SPC



1 SITE DEMOLITION PLAN  
SCALE: 1" = 20'-0"

**SITE PLAN NOTES:**

**SUMMARY OF SITE WORK:**  
SITE WORK INCLUDES DEMOLITION, NEW PCD DRIVER AND SIDEWALKS, NEW UNDERGROUND SANITARY, STORM, WATER, ELECTRIC AND GAS SERVICES, DISCONNECTION AND DEMOLITION OF EXISTING BUILDING TO BE COMPLETED UNDER SEPARATE CONTRACT PRIOR TO STARTING SITE DEMOLITION AND CONSTRUCTION WORK.

**GENERAL NOTES:**  
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTOR(S) INCLUDED IN THE PROJECT.  
CONTACT BUILDING INSPECTION (515-292-9880) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.  
ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.  
CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.

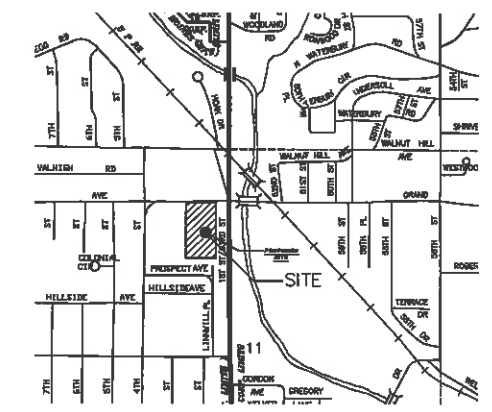
**LEGAL DESCRIPTION:**  
LOT 6 OF VAL-GATE  
**PROJECT ADDRESS:**  
820 FIRST STREET, WEST DES MOINES IOWA 50265

**LAND OWNER & APPLICANT:**  
FIRST STREET LP  
400 WEST TOWN PROPERTY, SUITE 115  
WEST DES MOINES, IOWA 50209

**CONTACT (PREPARED BY):**  
STUDIO MELEE  
820 FIRST STREET, SUITE 220  
WEST DES MOINES, IOWA 50265  
PH: 515-914-8822  
BISHOP ENGINEERING  
3801 194TH STREET  
URBANDALE, IOWA 50322  
PH: 515-276-4167

**PROPOSED LAND USE & ZONING:**  
FIRST STREET PUD, UNDERLYING ZONING CMG

- DEMOLITION PLAN NOTES:**
1. CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION FENCE, IN THE APPROXIMATE LOCATION INDICATED ON THE PLANS. INSTALL ACCESS GATES AS REQUIRED. ACTUAL LOCATION OF FENCE AND GATES SHALL BE REVIEWED AND APPROVED BY OWNER PRIOR TO INSTALLATION. AS THE SCHOOL SHALL REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT AND ACCESS OR PASS-THRU MAY BE REQUIRED, UPON PROJECT COMPLETION, THE FENCE SHALL BE COMPLETELY REMOVED AND ALL AFFECTED AREAS REPAIRED.
  2. UPON PROJECT COMPLETION, ALL EXISTING AREAS AFFECTED BY CONSTRUCTION WORK, INCLUDING STAGING AREAS, SHALL BE RESTORED TO ORIGINAL CONDITION. DEMOLITION AREAS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL REMOVE AND REPLACE ACTUAL AREAS REQUIRED FOR INSTALLATION OF WORK INDICATED ON PLANS.
  3. PROTECT TREES, FENCES, BENCHES, BIKE RACKS, PLAYGROUND EQUIPMENT, AND OTHER SITE ACCESSORIES WITH CONSTRUCTION FENCE, UNLESS IDENTIFIED TO BE REMOVED.
  4. TREES ADJACENT TO SITE WORK SHALL BE PROTECTED BY MIN. 8X (6) FT TALL CHAIN LINK OR SNOW FENCE, INSTALLED AROUND THE DRIP LINE.
  5. AT SIDEWALKS INDICATED FOR REMOVAL, DEMO TO NEAREST EXISTING CONTROL JOINT. SAW CUT HARD SURFACING AT LOCATION OF REMOVAL LIMITS AS INDICATED. VERIFY ACTUAL DEMOLITION LIMITS WITH OWNER PRIOR TO CUTTING.
  6. PROTECT EXISTING OVERHEAD LINES AND POWER OR LIGHT POLES. REPAIR OR REPLACE IF DAMAGED.
  8. CLEAR ALL BRUSH, TREES AND MISC. GROUND COVER WITHIN CONSTRUCTION LIMITS AS REQUIRED FOR WORK INDICATED.



2 VICINITY MAP  
NOT TO SCALE



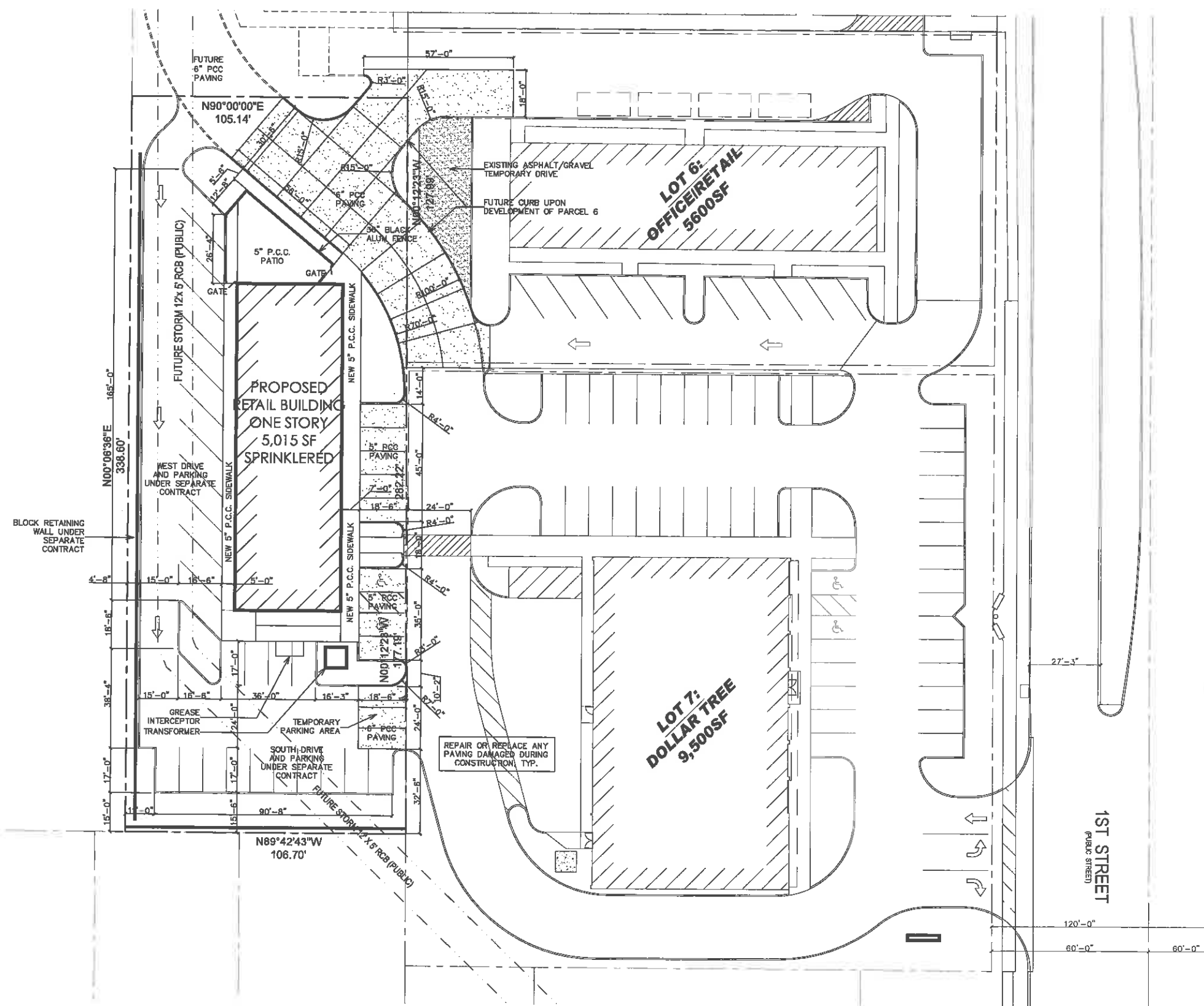
PRINT DATE: JULY 21, 2016  
 SHEET NAME: DEMO SITE PLAN  
 SPO

RETAIL BUILDING  
 820 FIRST STREET  
 WEST DES MOINES, IOWA 50265

STUDIO MELEE  
 1312 LOCUST, SUITE 100Z  
 DES MOINES, IOWA 50309

1312 LOCUST, SUITE 100Z (515) 314-9852  
 DES MOINES, IOWA 50309 (515) 493-0003





**SITE PLAN NOTES:**

**SUMMARY OF SITE WORK:**  
 SITE WORK INCLUDES DEMOLITION, NEW PCC DRIVES AND SIDEWALKS, NEW UNDERGROUND SANITARY, STORM, WATER, ELECTRIC AND GAS SERVICES, DISCONNECTION AND DEMOLITION OF EXISTING BUILDING TO BE COMPLETED UNDER SEPARATE CONTRACT PRIOR TO STARTING SITE DEMOLITION AND CONSTRUCTION WORK.

**SUMMARY OF IMPERVIOUS AREAS:**  
**DEMOLISHED IMPERVIOUS AREAS**  
 CONCRETE/ASPHALT PAVING = 7,820 SF + 4,875 SF (N.I.C.) = 12,695 SF (42%)  
 SIDEWALKS = 2,408 SF (8%)  
 BUILDING = 5,015 SF (17%)  
**NEW IMPERVIOUS AREAS**  
 CONCRETE/ASPHALT PAVING = 5,304 SF + 11,128 (N.I.C.) = 16,432 SF (56%)  
 SIDEWALKS = 2,370 SF (11%)  
 BUILDING = 5,015 SF (17%)

**TOTAL SITE AREA = 29,884 SF (0.68AC)**  
**TOTAL BUILDING AREA = 5,015 SF (17%)**  
**TOTAL SITE IMPERVIOUS AREA = 19,867 SF (66%)**  
**TOTAL BUILDINGS + SITE IMPERVIOUS AREA = 24,882 SF (83%)**  
**OPEN SPACE = 5,048 SF (17%)**  
 PER IUD REQUIREMENTS NO SITE SHALL BE PERMITTED TO HAVE MORE THAN 65% IMPERVIOUS SURFACE.

**PARKING REQUIREMENTS:**  
 PER IUD REQUIREMENTS, OFFICE AND RETAIL USES SHALL PROVIDE A MINIMUM OF 1 PARKING SPACE PER 300SF GROSS FLOOR AREA. RESTAURANTS SHALL PROVIDE A MINIMUM OF 1 PARKING SPACE PER 180SF GROSS FLOOR AREA.  
 3,000 SF RETAIL AREA / 300 SF = 10 SPACES REQUIRED;  
 2,015 SF RESTAURANT AREA / 150 SF = 14 SPACES REQUIRED  
 8 SPACES PROVIDED + 24 SPACES (N.I.C.) = 32 TOTAL

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS FROM THE CITY OF WEST DES MOINES DEVELOPMENT SERVICES DEPARTMENT.
  2. THE 1993 DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL WITH WEST DES MOINES ADDENDA AND WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL SITE IMPROVEMENTS.
  3. ALL WORK SHALL PERFORMED IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH REQUIRED SAFETY PRECAUTIONS.
  4. CONTRACTOR SHALL NOTIFY CITY OF WEST DES MOINES IF TRAFFIC WILL BE INTERRUPTED. ALL TRAFFIC CONTROL SHALL BE DONE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - PART IV CONSTRUCTION AND MAINTENANCE.
  5. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC/PRIVATE UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO COMPENSATION WILL BE ALLOWED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
  6. THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY CLEAN UP OF DIRT, GRAVEL AND DEBRIS SPILLED OR TRACKED TO OR FROM THE SITE ONTO PUBLIC RIGHTS-OF-WAY OR OTHERS PROPERTY. REFER TO GENERAL CONDITIONS FOR DUST CONTROL REQUIREMENTS.
  7. ALL REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED MUST BE MAINTAINED AND/OR REPLACED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY BY OWNER. SEE SPECIFICATIONS FOR CONTRACTOR WARRANTY.
  8. REPLACEMENT OF CURBS AND GUTTER SECTIONS IN PUBLIC STREETS SHALL MATCH EXISTING PAVEMENT SECTION, PER CITY OF DES MOINES REQUIREMENTS.
  9. ALL ROOFTOP MECHANICAL UNITS SHALL BE SCREENED FROM STREET-LEVEL VIEW.
  10. NO MECHANICAL EQUIPMENT OVER 9 FT. IN HEIGHT SHALL BE ALLOWED IN THE REQUIRED SETBACKS.
  11. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION, AND UTILITIES.
  12. ALL NEW OUTDOOR LIGHTING FIXTURES SHALL BE LOW-GLARE, CUT-OFF TYPE FIXTURES.
  13. INSTALL NEW UTILITIES PRIOR TO REMOVING EXISTING SO AS TO MAINTAIN FUNCTIONING UTILITIES AT ALL TIMES.
  14. MAINTAIN ALL PARKING LOTS, WALKWAYS, ACCESSIBLE ENTRANCES AND DROP-OFFS FOR OWNER USE UNTIL END OF SCHOOL YEAR OR AS INDICATED IN CONTRACT DOCUMENTS.
  15. NEW SIDEWALK SHALL BE 6" THICK (8000PSI) PORTLAND CEMENT CONCRETE (P.C.C.) OVER 8" GRANULAR FREE-DRAINING PREPARED SUBGRADE. SEE SPEC. SIDEWALK WIDTHS AS INDICATED ON DRAWINGS. PROVIDE CONTROL JOINTS AS INDICATED ON DRAWINGS.

**BENCHMARKS:**

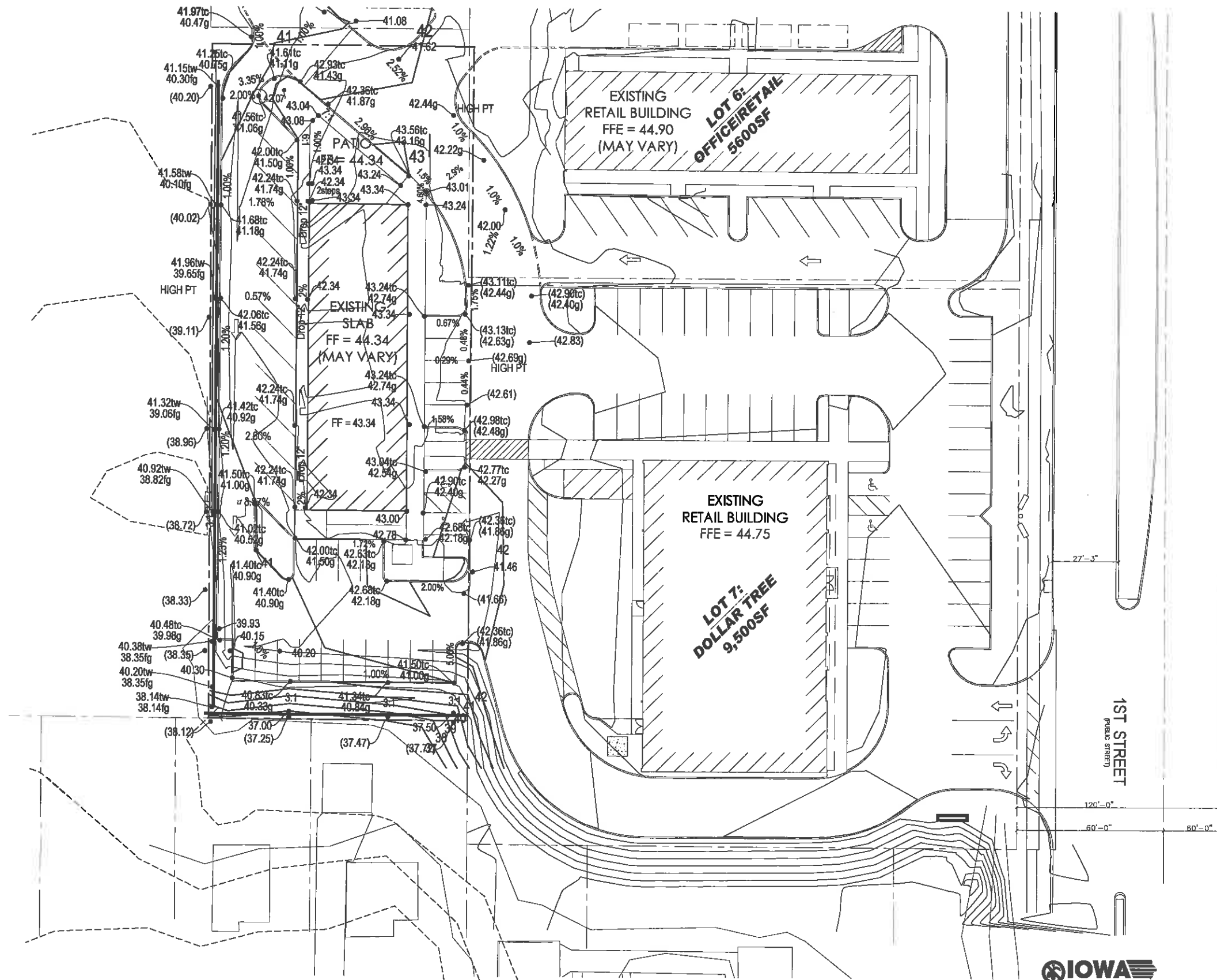
**Ch. BM #40**  
 Intersection of 4th Street and Vine Street, Northwest corner of intersection, 60 feet East of the centerline of 4th Street, 33 feet North of the centerline of Vine Street.  
 WDM Datum Elev = 38.35  
**Ch. BM #79**  
 Intersection of 8th Street and Aahworth Road, Northwest corner of intersection, 60.5 feet West of the centerline of 8th Street, 32.3 feet North of centerline of Aahworth Road, between sidewalk and back of curb, 2.7 feet North of North back of curb.  
 WDM Datum = 118.07

1 SITE LAYOUT PLAN  
 SCALE: 1" = 20'-0"



PRINT DATE: JULY 21, 2016  
 SHEET NAME: SITE LAYOUT PLAN  
 STUDIO MELE  
 1312 LOCUST, SUITE 100Z (515) 314-9852  
 DES MOINES, IOWA 50309 (515) 493-0003  
 RETAIL BUILDING SITE IMPROVEMENTS  
 820 FIRST STREET WEST DES MOINES, IOWA 50265

SP1



1 SITE GRADING PLAN  
SCALE: 1" = 20'-0"

**SITE PLAN NOTES:**

**SUMMARY OF SITE WORK:**  
SITE WORK INCLUDES DEMOLITION, NEW PCD DRIVES AND SIDEWALKS, NEW UNDERGROUND SANITARY, STORM, WATER, ELECTRIC AND GAS SERVICES, DISCONNECTION AND DEMOLITION OF EXISTING BUILDINGS TO BE COMPLETED UNDER SEPARATE CONTRACT PRIOR TO STARTING SITE DEMOLITION AND CONSTRUCTION WORK.

**GENERAL NOTES:**

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.  
CONTACT BUILDING INSPECTOR (515-223-3838) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.  
ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.  
CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.

**EROSION CONTROL NOTES:**

1. INSTALL SILT FENCING AT PERIMETER OF PROJECT LIMITS PRIOR TO COMMENCEMENT OF CLEARING OPERATIONS. CONTRACTOR SHALL MAINTAIN UNTIL ESTABLISHMENT OF PERMANENT GROUND COVER OR PAVING, AND REMOVE COMPLETELY UPON ESTABLISHMENT AND ACCEPTANCE.
2. SILT FENCES TO BE AS SHOWN ON SUDAS DRAWINGS NO. 8040.7- SILT FENCE DETAILS, URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
3. CLEAN OUT AND REPAIR FENCE WHEN 60% OF ITS SILT STORAGE CAPACITY HAS BEEN LOST AND/OR AT LEAST ONCE PRIOR TO PROJECT CLOSEOUT.
4. PROTECT ALL EXISTING INTAKES WITH SILT FENCE, STRAW-BALES, AND/OR OTHER EROSION CONTROL MEASURES TO ENSURE SILT DOES NOT ENTER EXISTING STORM UTILITIES.

EROSION CONTROLS SHALL BE INSTALLED AND MONITORED BY:

BRIAN DENHAM: SOL. TEK  
1101 SE 97TH STREET  
GRAMES, IOWA 50111  
(515) 493-3990

**GRADING NOTES:**

1. TAKE ALL NECESSARY MEASURES TO PROTECT AGAINST EROSION AND DUST POLLUTION ON AND AROUND THE PROJECT SITE TO INCLUDE ALL OFF-SITE BORROW AND SPILL AREAS.
2. FOR ALL AREAS INDICATING PROPOSED CONSTRUCTION, STRIP AND HAIL AWAY ALL ORGANIC MATERIAL TO A 2" MINIMUM DEPTH. UPON COMPLETION OF WORK, A MINIMUM OF 6-INCHES OF TOPSOIL SHALL BE PLACED ON ALL NON-PAVED DISTURBED SURFACES. SOIL STOCKPILE AREA MAY NOT BE AVAILABLE ON-SITE, HAIL AWAY AND BRING BACK AS REQUIRED.
3. NATIVE SOILS MAY BE REUSED FOR COMMON FILL (OUTSIDE OF BUILDING) AFTER THEY ARE SORTED TO REMOVE ALL DESTRUCTIVE MATERIALS SUCH AS CONCRETE, BRICKS AND OTHER RUBBLE. DESTRUCTIVE MATERIALS SHALL BE REMOVED FROM PROJECT SITE. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
4. SUBGRADE FOR PAVEMENTS SHALL BE PROOF ROLLED AND CHECKED FOR SOFT SPOTS. ANY SOFT SPOTS FOUND SHALL HAVE UNACCEPTABLE MATERIAL REMOVED AND REPLACED WITH SELECT MATERIAL.
5. PROPOSED CONTOURS AND SPOT ELEVATIONS REPRESENT FINISHED GRADE. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE (1" PER FOOT MIN.) AWAY FROM ALL BUILDINGS TO A DISTANCE OF 10'-0" OR MORE.
6. ALL SIDEWALKS SHALL HAVE 1/4" PER FOOT TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE AWAY FROM THE BUILDING.
7. MATCH EXISTING GRADES AT INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
8. CONTRACTOR SHALL REVIEW AND FOLLOW THE GEOTECHNICAL SOILS REPORT IN THE PROJECT MANUAL.
9. IN ORDER TO ATTAIN FINAL CERTIFICATE OF OCCUPANCY APPROVAL, DOCUMENTATION WILL BE REQUIRED FROM THE GENERAL CONTRACTOR VIA THE GRADING CONTRACTOR/SOIL EROSION CONTROL CONTRACTOR/ THE PROJECT CIVIL ENGINEER THAT THE PROJECT MEETS THE CURRENT TOPSOIL PRESERVATION REQUIREMENTS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR).

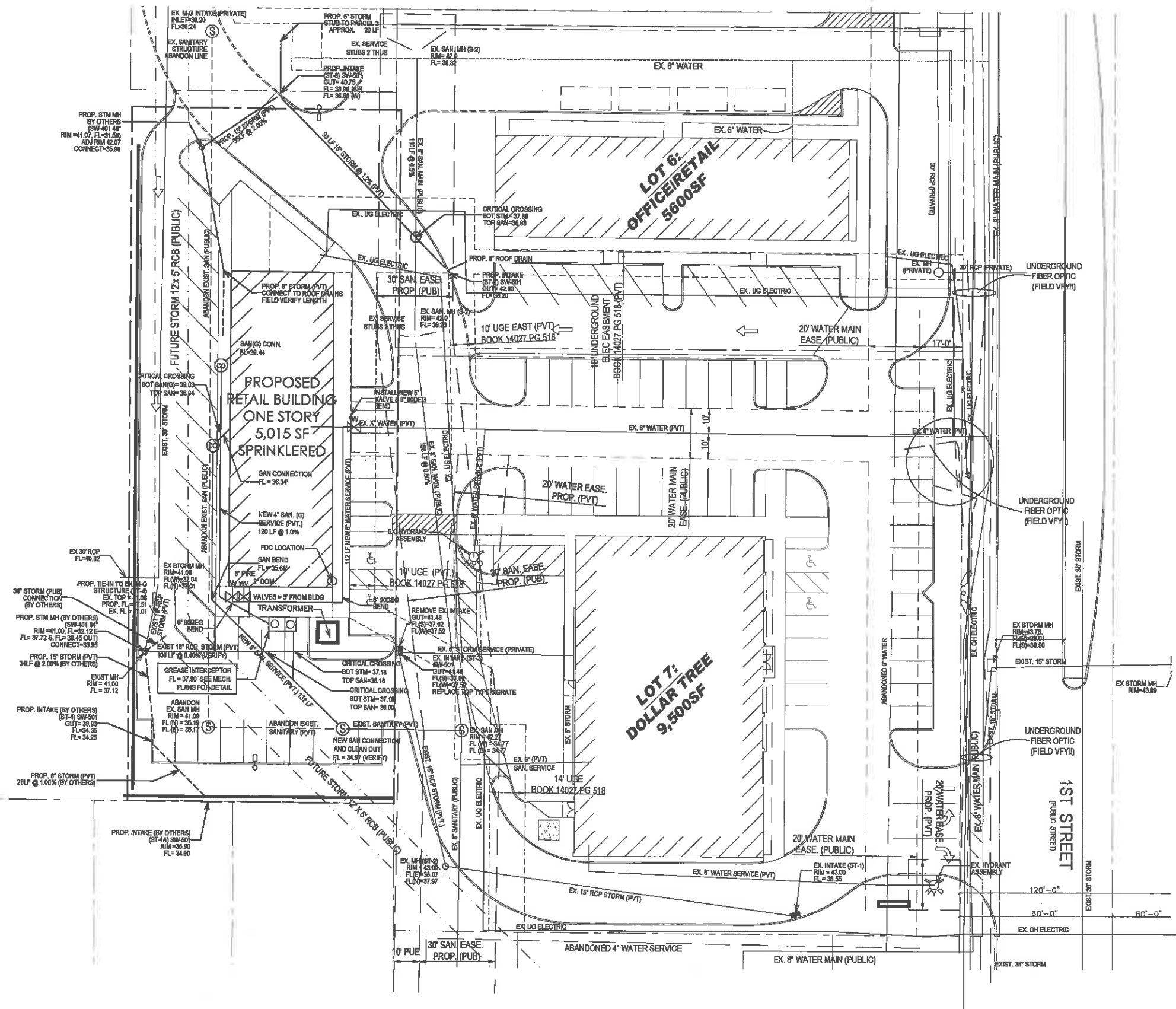
**BENCHMARKS:**

**City BM #49**  
Intersection of 4th Street and View Street, Northeast corner of intersection, 60 feet East of the centerline of 4th Street, 50 feet North of the centerline of View Street.  
WDM Datum Elev = 38.85

**City BM #70**  
Intersection of 8th Street and Ashworth Road, Northwest corner of intersection, 90.5 feet West of the centerline of 8th Street, 82.5 feet North of centerline of Ashworth Road, between sidewalk and back of curb, 2.7 feet North of North back of curb.  
WDM Datum = 108.07



PRINT DATE: JULY 21, 2016  
 SHEET NAME: RETAIL BUILDING \$ I T E IMPROVEMENTS  
 SITE GRADING PLAN  
 STUDIO MELE  
 1312 LOCUST, SUITE 100Z (515) 314-9852  
 DES MOINES, IOWA 50309 (515) 493-0003



**SITE PLAN NOTES:**

**SUMMARY OF SITE WORK:**  
 SITE WORK INCLUDES DEMOLITION, NEW PCD DRIVES AND SIDEWALKS, NEW UNDERGROUND SANITARY, STORM, WATER, ELECTRIC AND GAS SERVICES, DISCONNECTION AND DEMOLITION OF EXISTING BUILDING TO BE COMPLETED UNDER SEPARATE CONTRACT PRIOR TO STARTING SITE DEMOLITION AND CONSTRUCTION WORK.

**GENERAL NOTES:**

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.

CONTACT BUILDING INSPECTION (515-222-3888) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.

ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.

CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND CITY'S CROSS CONNECTION CONTROL/CONTAMINANT PREVENTION.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY FOR CONTAINMENT OF NEW CONSTRUCTION BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 64-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS RALPH HENTNER, ENGINEERING TECHNICIAN (515-222-3485) A MINIMUM OF 24 HRS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS FROM THE CITY OF WEST DES MOINES DEVELOPMENT SERVICES DEPARTMENT.
  2. THE 1993 DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL WITH WEST DES MOINES ADDENDA AND WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL SITE IMPROVEMENTS.
  3. ALL WORK SHALL PERFORMED IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH REQUIRED SAFETY PRECAUTIONS.
  4. CONTRACTOR SHALL NOTIFY CITY OF WEST DES MOINES IF TRAFFIC WILL BE INTERRUPTED. ALL TRAFFIC CONTROL SHALL BE DONE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - PART IV CONSTRUCTION AND MAINTENANCE.
  5. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC/PRIVATE UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO COMPENSATION WILL BE ALLOWED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
  6. THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY CLEAN UP OF DIRT, GRAVEL AND DEBRIS SPILLED OR TRACKED TO OR FROM THE SITE ONTO PUBLIC RIGHTS-OF-WAY OR OTHERS PROPERTY. REFER TO GENERAL CONDITIONS FOR DUST CONTROL REQUIREMENTS.
  7. ALL REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED MUST BE MAINTAINED AND/OR REPLACED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY BY OWNER. SEE SPECIFICATIONS FOR CONTRACTOR WARRANTY.
  8. REPLACEMENT OF CURBS AND GUTTER SECTIONS IN PUBLIC STREETS SHALL MATCH EXISTING PAVEMENT SECTION, PER CITY OF DES MOINES REQUIREMENTS.
  9. ALL ROOFTOP MECHANICAL UNITS SHALL BE SCREENED FROM STREET-LEVEL VIEW.
  10. NO MECHANICAL EQUIPMENT OVER 3 FT. IN HEIGHT SHALL BE ALLOWED IN THE REQUIRED SETBACKS.
  11. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION, AND UTILITIES.
  12. ALL NEW OUTDOOR LIGHTING FIXTURES SHALL BE LOW-GLARE, CUT-OFF TYPE FIXTURES.
  13. INSTALL NEW UTILITIES PRIOR TO REMOVING EXISTING SO AS TO MAINTAIN FUNCTIONING UTILITIES AT ALL TIMES.
  14. MAINTAIN ALL PARKING LOTS, WALKWAYS, ACCESSIBLE ENTRANCES AND DROP-OFFS FOR OWNER USE UNTIL END OF SCHOOL YEAR OR AS INDICATED IN CONTRACT DOCUMENTS.
  15. NEW SIDEWALK SHALL BE 6" THICK (3000PSI) PORTLAND CEMENT CONCRETE (P.C.C.) OVER 2" GRANULAR FREE-DRAINING PREPARED SUBGRADE, SEE SPEC. SIDEWALK WIDTHS AS INDICATED ON DRAWINGS. PROVIDE CONTROL JOINTS AS INDICATED ON DRAWINGS.

- SITE UTILITIES NOTES:**
1. THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEY AND/OR ARCHITECT MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ARCHITECT FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED.
  2. CONTRACTOR SHALL VERIFY ALL ELEVATIONS FOR ALL EXISTING UTILITIES PRIOR TO STARTING WORK, INCLUDING ELEVATIONS OF EXISTING LINES CROSSING NEW LINES.
  3. CONTRACTOR SHALL FIELD ADJUST ALL SITE UTILITIES (NEW AND EXISTING) TO MATCH PROPOSED FINISH GRADES, INCLUDING HYDRANTS, VALVES, MANHOLE RIMS, INLETS AND POLE BASES.
  4. ALL SANITARY SEWER, STORM SEWER MATERIALS AND INSTALLATION SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF WEST DES MOINES CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
  5. CONTRACTOR SHALL BOD ALL DISTURBED LAWN AREAS.
  6. PROVIDE FULL DEPTH CUT AND REPLACEMENT OF ALL PAVEMENTS AND SIDEWALKS REQUIRED FOR CONSTRUCTION OF THE WORK INDICATED.
  7. WATER SERVICE LINE SHALL HAVE MIN. 5' COVER, TYPICAL.

**BENCHMARKS:**

City BM #240  
 Intersection of 4th Street and Vine Street, Northeast corner of intersection, 50 feet East of the centerline of 4th Street, 50 feet North of the centerline of Vine Street.  
 WDM Datum Elev = 38.35

City BM #79  
 Intersection of 8th Street and Ashworth Road, Northeast corner of intersection, 90.5 feet West of the centerline of 8th Street, 32.5 feet North of centerline of Ashworth Road, between sidewalk and back of curb, 2.7 feet North of North lands of curb.  
 WDM Datum = 108.07

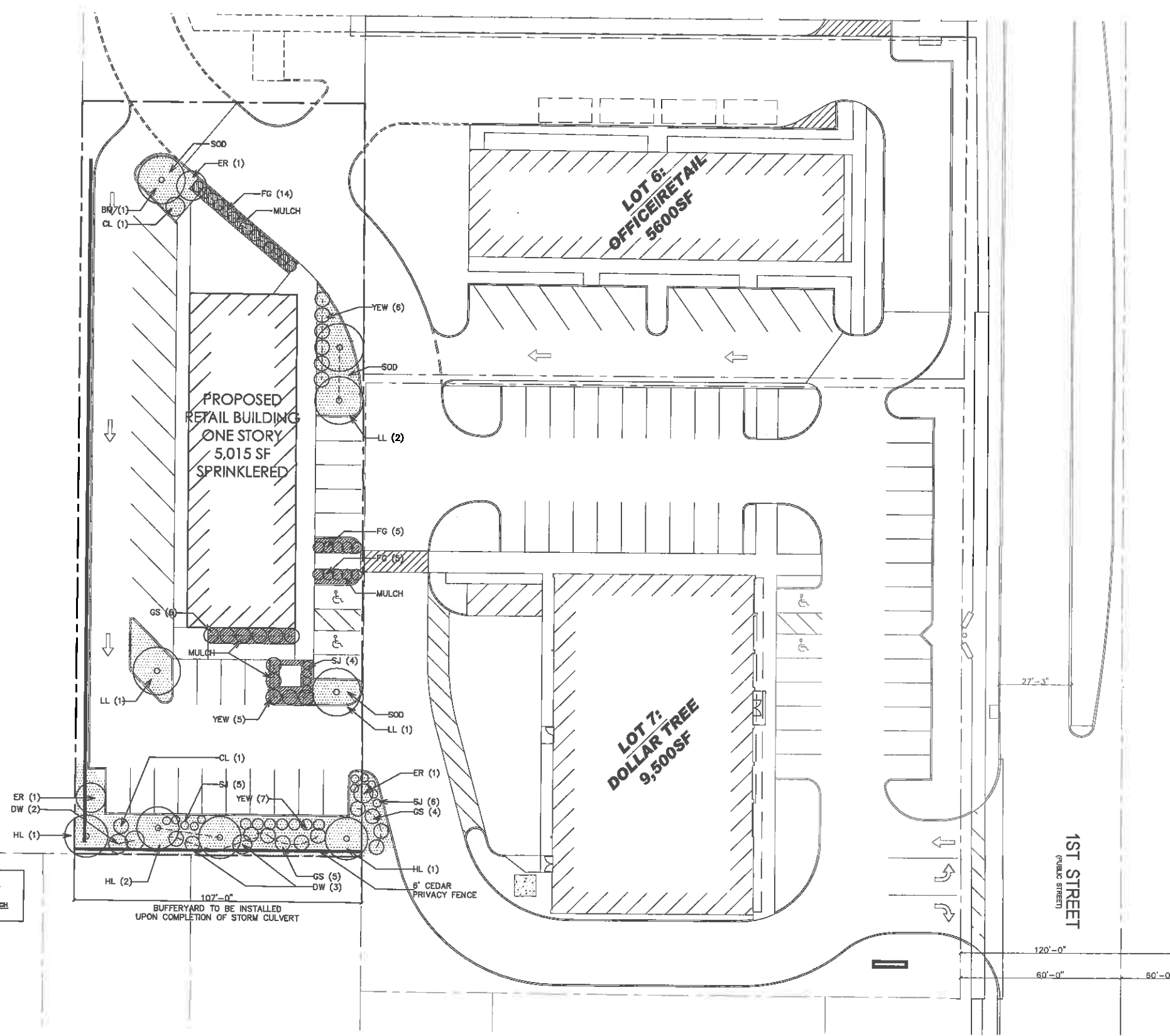
1 SITE UTILITY PLAN  
 SCALE: 1" = 20'-0"



RETAIL BUILDING IMPROVEMENTS  
 820 FIRST STREET  
 WEST DES MOINES, IOWA 50265  
 STUDIO MELE  
 1312 LOCUST, SUITE 100Z  
 DES MOINES, IOWA 50309  
 (515) 314-9852  
 (515) 493-0003

PRINT DATE: JULY 21, 2016  
 SHEET NAME: SITE UTILITY PLAN

SP3



**SUMMARY OF SITE WORK:**

SITE WORK INCLUDES DEMOLITION, NEW PCC DRIVES AND SIDEWALKS, NEW UNDERGROUND SANITARY, STORM, WATER, ELECTRIC AND GAS SERVICES, DISCONNECTION AND DEMOLITION OF EXISTING BUILDING TO BE COMPLETED UNDER SEPARATE CONTRACT PRIOR TO STARTING SITE DEMOLITION AND CONSTRUCTION WORK.

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS FROM THE CITY OF WEST DES MOINES DEVELOPMENT SERVICES DEPARTMENT.
2. THE 1991 DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL WITH WEST DES MOINES ADDENDA AND WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL SITE IMPROVEMENTS.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLIING WITH REQUIRED SAFETY PRECAUTIONS.
4. CONTRACTOR SHALL NOTIFY CITY OF WEST DES MOINES IF TRAFFIC WILL BE INTERRUPTED. ALL TRAFFIC CONTROL SHALL BE DONE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - PART IV CONSTRUCTION AND MAINTENANCE.
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14. MAINTAIN ALL PARKING LOTS, WALKWAYS, ACCESSIBLE ENTRANCES AND DROP-OFFS FOR OWNER USE UNTIL END OF SCHOOL YEAR OR AS INDICATED IN CONTRACT DOCUMENTS.
15. NEW SIDEWALK SHALL BE 5" THICK (3000PSI) PORTLAND CEMENT CONCRETE (P.C.C.) OVER 4" GRANULAR FREE-DRAINING PREPARED SUBGRADE. SEE SPEC. SIDEWALK WIDTHS AS INDICATED ON DRAWINGS, PROVIDE CONTROL JOINTS AS INDICATED ON DRAWINGS.

**LANDSCAPE NOTES:**

1. SOO ALL DISTURBED AREAS OF THE SITE, TYPICAL UNLESS NOTED OTHERWISE.
2. INSTALL SHREDED BARK MULCH TO A DEPTH OF 3" AROUND ALL NEW TREES, AND IN ALL PLANTING BEDS TYP. (WALNUT PRODUCTS ARE PROHIBITED)
3. REFER TO SPECIFICATIONS FOR MINIMUM DEPTH OF TOPSOIL AT ALL LAWN AREAS & LANDSCAPED AREAS.
4. BACKFILL TO TOP OF CURB, MINUS 1-1/2" FOR SOO, TYP.
5. FINAL GRADES TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO SOODING.
6. CONTRACTOR SHALL REPORT ANY SUBSURFACE SOILS OR DRAINAGE PROBLEMS TO THE ARCHITECT.

**OPEN SPACE/LANDSCAPING CALC:**

OPEN SPACE FOR LANDSCAPING = 7,406 SF (25%) : ACTUAL OPEN SPACE = 6,048 SF (17%)  
 MIN (2) TREES & (3) SHRUBS / 3000SF OPEN SPACE: 7,406/3000 = 2.5  
 5 TREES REQUIRED / 5 PROVIDED  
 8 SHRUBS REQUIRED / 32 PROVIDED

**PARKING LOT LANDSCAPING CALC:**

MIN. (1) TREE REQUIRED PER 60X17 ISLAND & MIN (1) TREE REQUIRED PER POO

**BUFFER LANDSCAPING CALC:**

(1) OVERSTORY TREE, (2) ORNAMENTAL TREES AND (6) SHRUBS REQUIRED PER 50LF / 25 = 3  
 3 OVERSTORY TREES REQUIRED / 3 PROVIDED  
 6 ORNAMENTAL TREES REQUIRED / 6 PROVIDED  
 18 SHRUBS REQUIRED / 18 PROVIDED

**PLANTING SCHEDULE**

OVERSTORY/ORNAMENTAL TREES:		
(4) LL	LITTLE LEAF LINDEN "TILIA CORDATA"	B&B 2" CALIPER MIN.
(4) HL	TH. HONEYLOCUST "GLEDISIA TRICANTHOS"	B&B 2" CALIPER MIN.
(3) ER	EASTERN REDBUD "CERCIS CANADENSIS"	B&B 4'-5" MIN.
(1) BM	AUTUMN BLAZE MAPLE "ACER FREEMANII"	B&B 3" CALIPER MIN.
(5) DW	PAGODA DOGWOOD "CORNUS ALTERNIFOLIA"	B&B 4'-5" MIN.
SHRUBS:		
(15) GS	GOLD MOUND SPIREA "JAPONICA"	B&B 2 GAL. MIN.
(18) YEW	DENSE SPREADING YEW "TAXUS MEDIA"	B&B 3 GAL. MIN.
(9) SJ	SAVIN JUNIPER "JUNIPERUS SABINA"	B&B 2 GAL. MIN.
(2) CL	COMMON LILAC "VULGARIS"	B&B 3 GAL. MIN.
ORNAMENTAL GRASSES:		
(24) FG	HAMELIN FOUNTAIN GRASS	B&B 3 GAL. MIN.

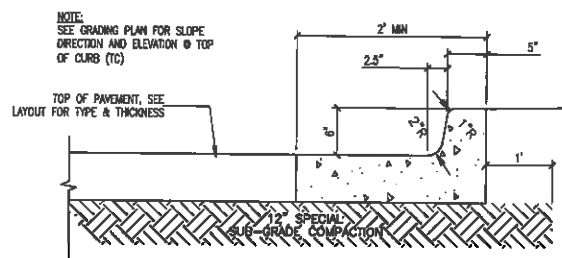
**BENCHMARKS:**

**City BM #49**  
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 WDM Datum Elev = 38.35

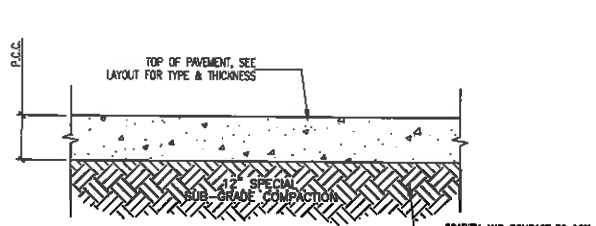
**City BM #79**  
 Intersection of 8th Street and Ashworth Road, Northwest corner of intersection, 80.5 feet West of the centerline of 8th Street, 32.3 feet North of centerline of Ashworth Road, between sidewalk and back of curb, 2.7 feet North of north back of curb.  
 WDM Datum = 108.07

LANDSCAPE PLAN  
 SCALE: 1" = 20'-0"

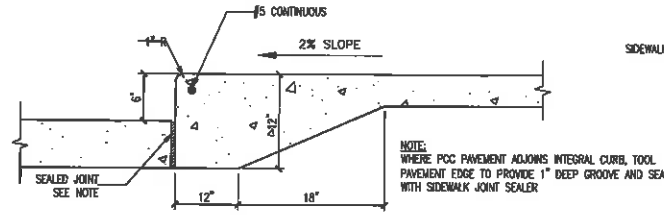




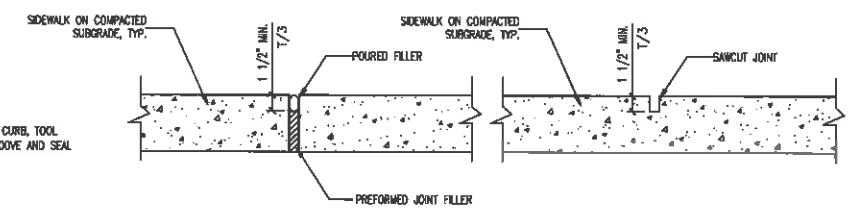
1 CONCRETE CURB AND GUTTER  
NOT TO SCALE



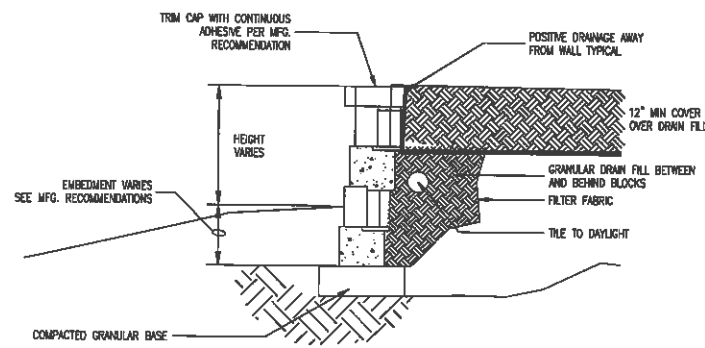
2 PAVEMENT SECTION  
NOT TO SCALE



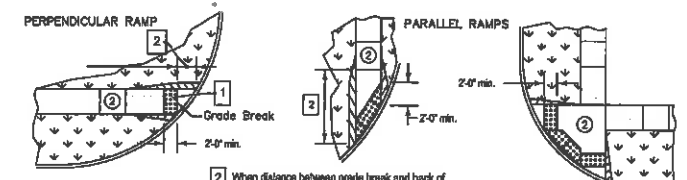
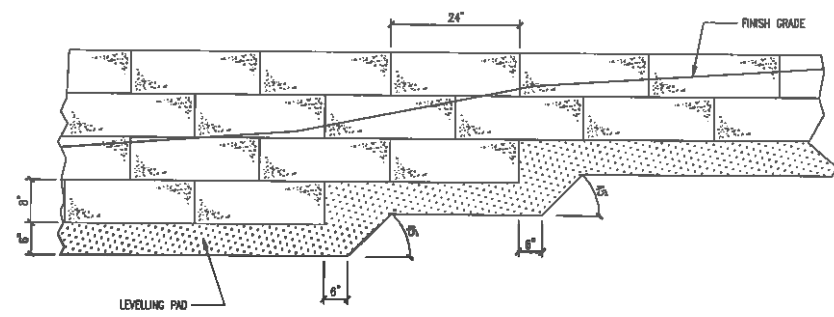
3 INTEGRAL CURB AND SIDEWALK  
NOT TO SCALE



4 SIDEWALK JOINTING  
NOT TO SCALE

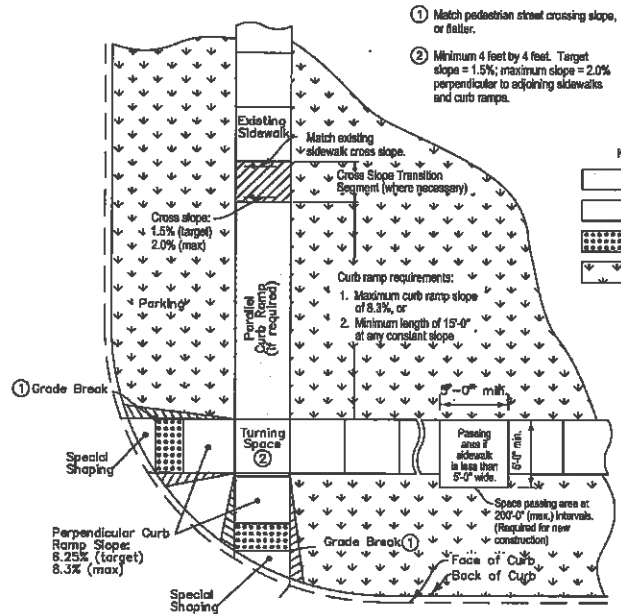


5 SEGMENTED RETAINING WALL  
NOT TO SCALE



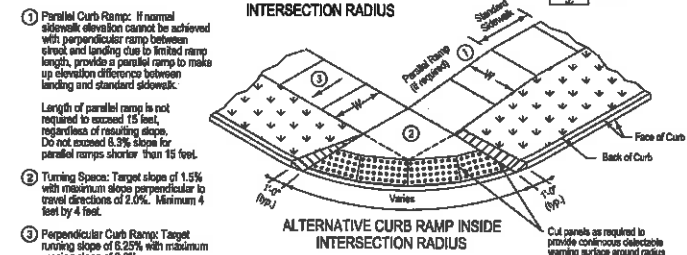
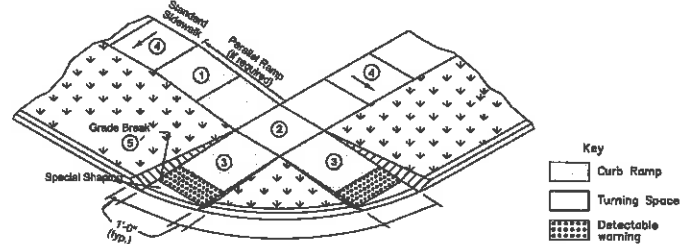
1 When detectable warning is located on curb ramp surface, orient domes in the direction of pedestrian travel.  
2 When distance between grade break and back of curb is less than 5', place detectable warning surface at the bottom of curb ramp.  
Where one center of curb ramp is more than 5' from back of curb, construct curb ramp as a parallel curb ramp. Move grade break back as required to place detectable warning on turning space at back of curb.  
Provide minimum 2 foot width of detectable warning surfaces in direction of pedestrian travel across full width of the curb ramp or turning space, exclusive of curbs or flares.

DETECTABLE WARNING PLACEMENT



- 1 Match pedestrian street crossing slope, or better.
- 2 Minimum 4 feet by 4 feet. Target slope = 1.5%; maximum slope = 2.0% perpendicular to adjoining sidewalks and curb ramps.

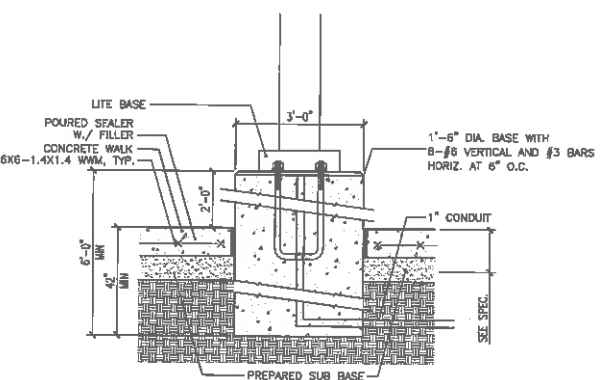
Key  
 [ ] Curb Ramp  
 [ ] Turning Space  
 [ ] Detectable Warning  
 [ ] Grass



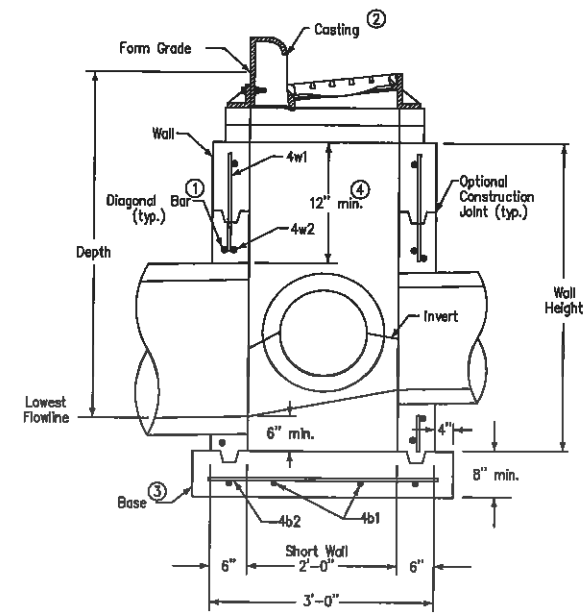
1 Parallel Curb Ramp: If normal sidewalk elevation cannot be achieved with perpendicular ramp between street and landing due to limited ramp length, provide a parallel ramp to make up elevation difference between landing and standard sidewalk. Length of parallel ramp is not required to exceed 15 feet, regardless of retaining slope. Do not exceed 6.5% slope for parallel ramps shorter than 15 feet.  
 2 Turning Space: Target slope of 1.5% with maximum slope perpendicular to travel directions of 2.0%. Minimum 4 feet by 4 feet.  
 3 Perpendicular Curb Ramp: Target running slope of 8.25% with maximum running slope of 8.3%.  
 4 Target cross slope of 1.5% with a maximum cross slope of 2.0%.  
 5 Match pedestrian street crossing slope or better.

CURB RAMP DETAILS  
(Public ROW Accessibility Guidelines)

NOTES:  
 PRIOR TO PLACEMENT OF ANY CONCRETE ALL RAMPS SHALL BE INSPECTED BY CITY OF WEST DES MOINES BUILDING DEPARTMENT (515) 222-3630.

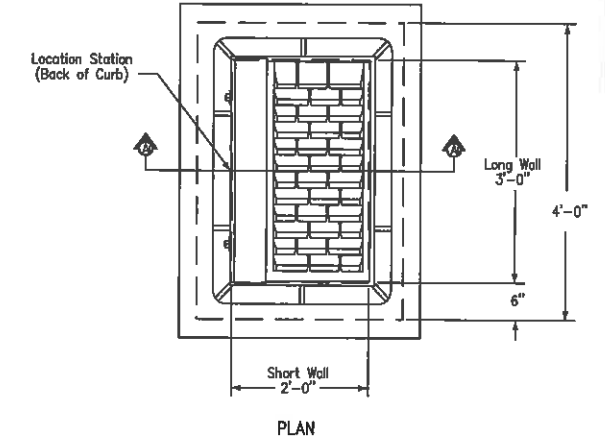


4 LIGHT POLE BASE DETAIL (TYP)  
1/2" = 1'-0"



SECTION A-A

- Refer to SW-514 for boxout details.
- 1 Install four #4 diagonal bars at all pipe openings.
  - 2 SW-603 Type R unless Type Q is specified in the contract documents.
  - 3 Cast-in-place base shown. If base is precast integral with walls, the footprint of the base is not required to extend beyond the outer edge of the walls.
  - 4 12 inch minimum wall height above all pipes.

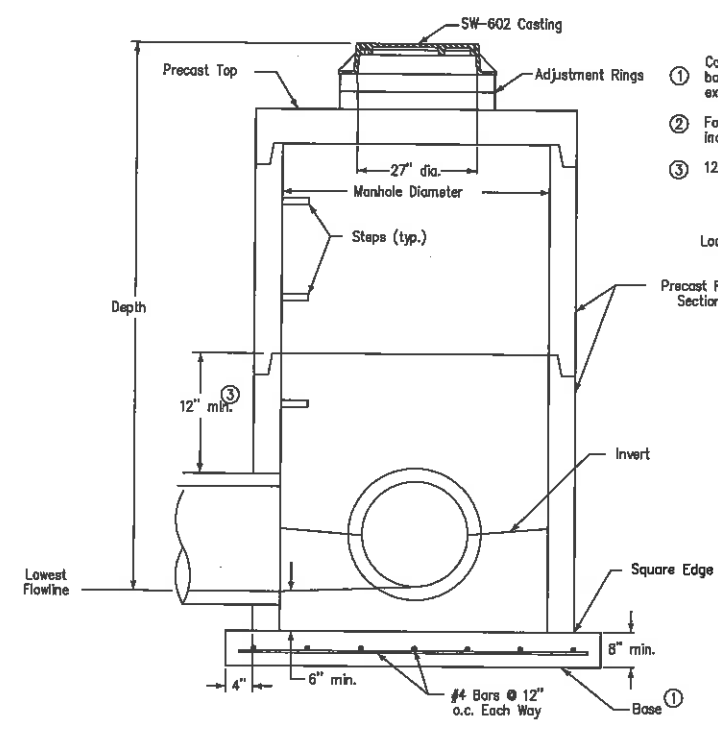


PLAN

REINFORCING BAR LIST						
Mark	Size	Location	Shape	Length	Count	Spacing
4w1	4	Walls	—	Wall Height minus 4"	14	12"
4w2	4	Long Walls	—	3'-8"	Varies	12"
4w3	4	Short Walls	—	2'-8"	Varies	12"
4b1	4	Base	—	4'-2"	4	10"
4b2	4	Base	—	3'-2"	5	10"

MAXIMUM PIPE DIAMETERS		
Pipe Location	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"

3 SW-501 SINGLE GRATE INTAKE  
NOT TO SCALE

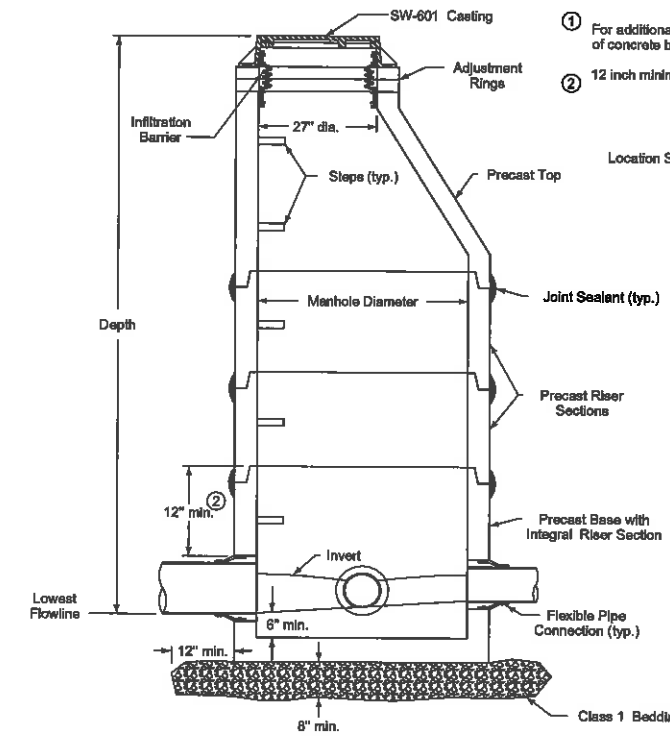


TYPICAL SECTION

- 1 Cast-in-place base shown. If base is precast integral with bottom riser, the footprint of the base is not required to extend beyond the outer edge of the riser.
- 2 For additional configurations, maintain a minimum of 12 inches of concrete between vertical edges of pipe openings.
- 3 12 inch minimum riser height above all pipe openings.

Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	At 180° Separation	At 90° Separation
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42

2 SW-401 CIRCULAR MANHOLE  
NOT TO SCALE



TYPICAL SECTION

- 1 For additional configurations, maintain a minimum of 12 inches of concrete between vertical edges of pipe openings.
- 2 12 inch minimum riser height above all pipe openings.

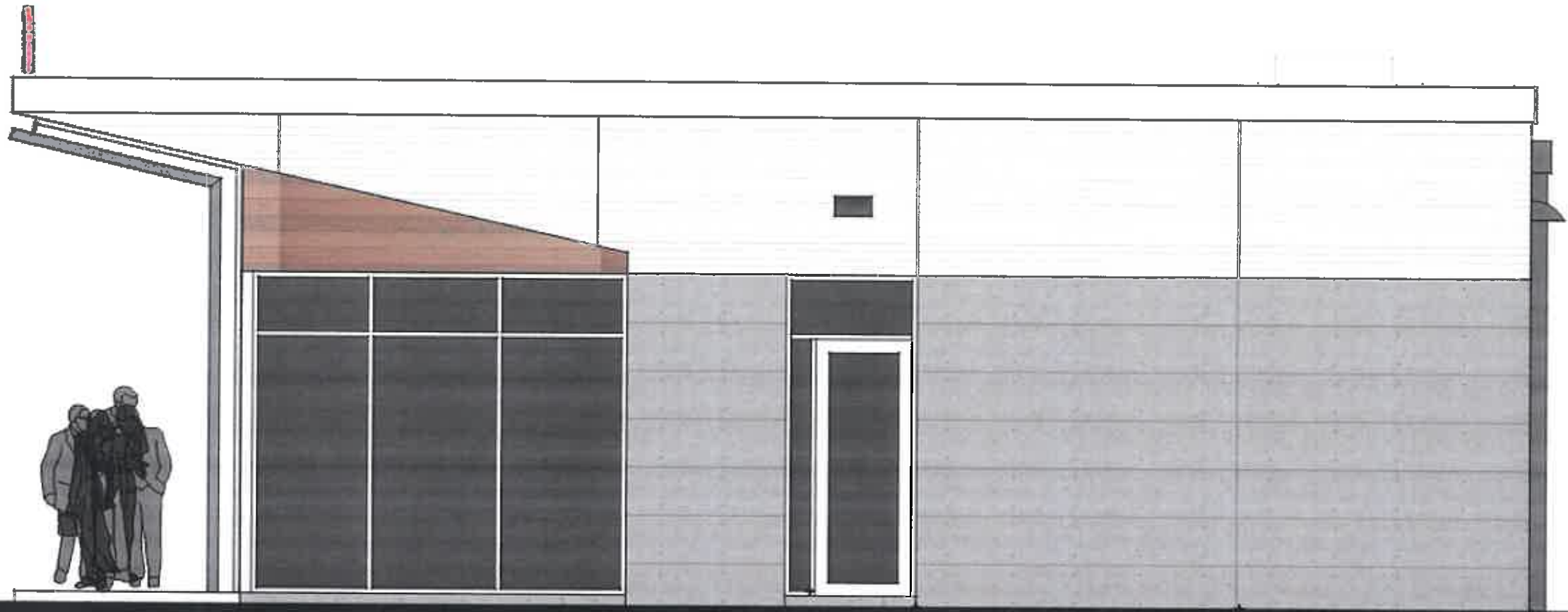
Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	At 180° Separation	At 90° Separation
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42

1 SW-301 CIRCULAR SANITARY MANHOLE  
NOT TO SCALE

CHRISTAL'S

*The Pink Martini Cocktails*

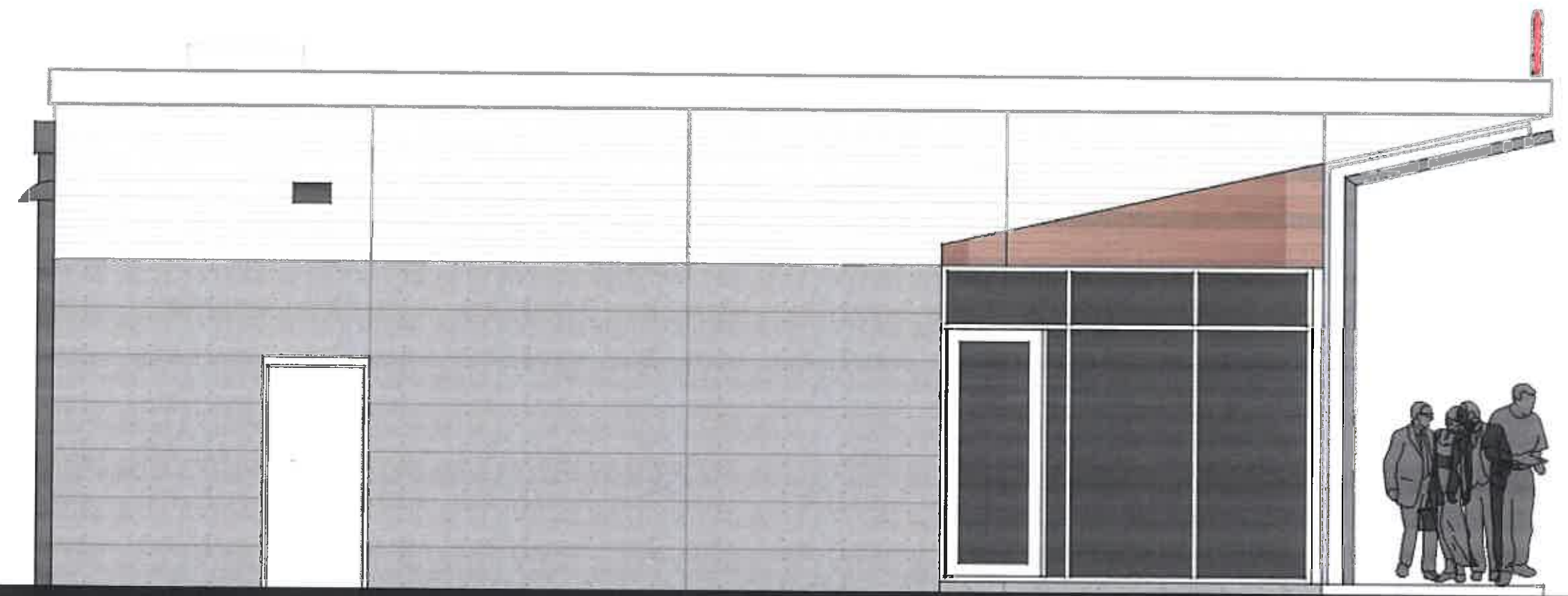


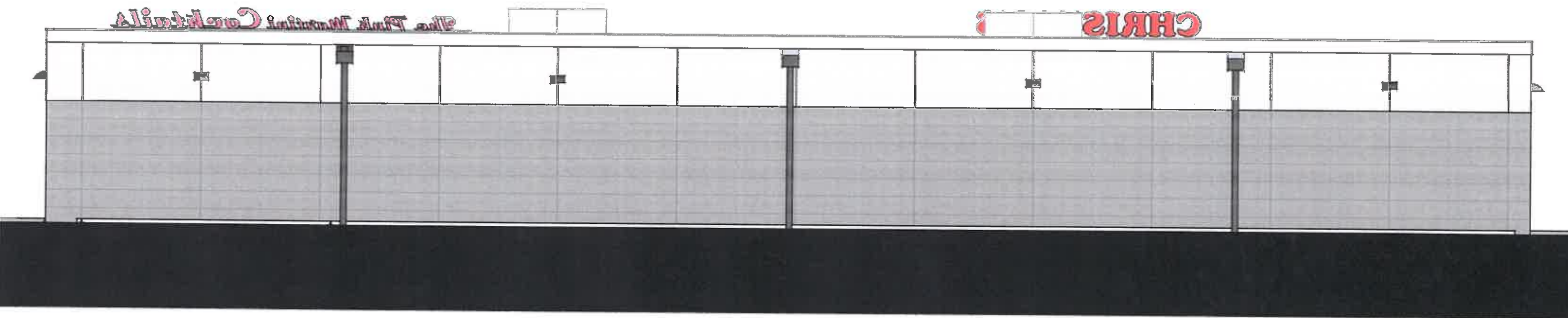






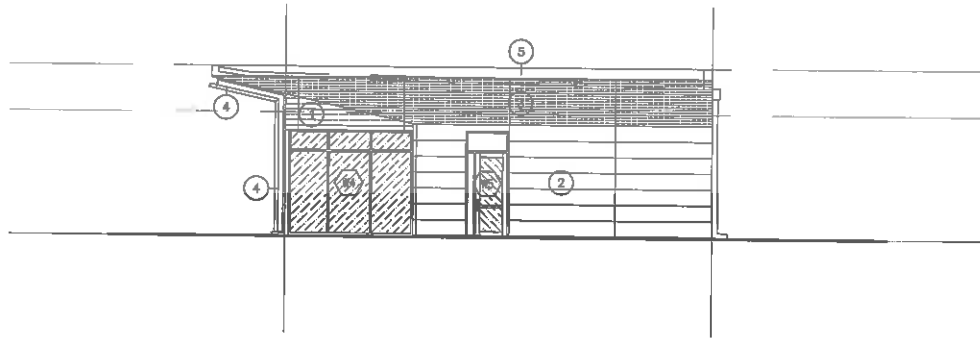
820 FIRST STREET WDM  
MANDELBAUM PROPERTIES



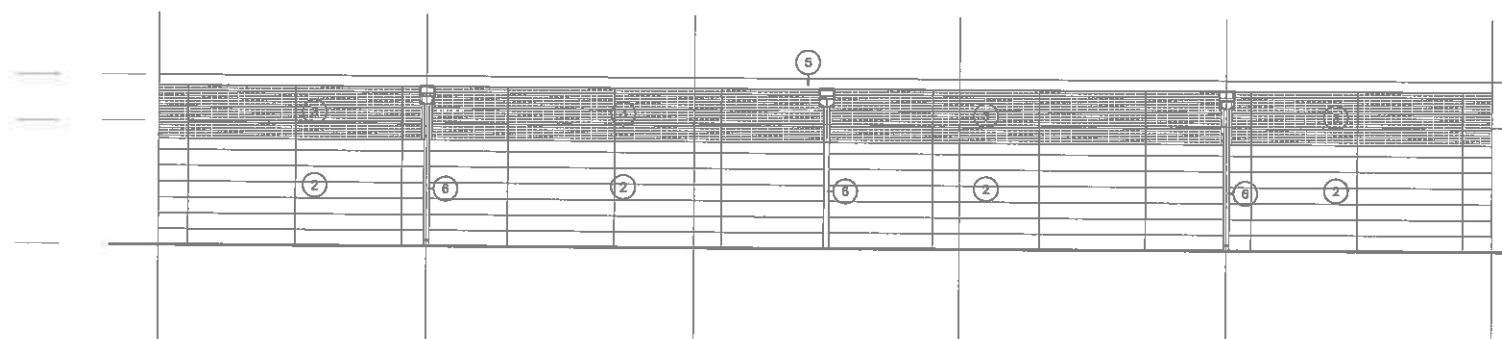


EXTERIOR ELEVATIONS KEY NOTE LEGEND:

①	CEMENT BOARD SIDING/SHEET: PROVIDE 5/8" THICK, PRE-FINISHED "NOCHHA" PANELS. INSTALL PANELS W/ MANUFACTURER'S SYSTEM WOOD-CENGR, SEE SPECIFICATION.	④	WELDED PLATE STEEL LIGHT VALANCE: HOT DIPPED GALVANIZED WELDED SHOP FABRICATION (SEE DETAILS)
②	CEMENT BOARD SIDING: PROVIDE 5/8" THICK, PRE-FINISHED "NOCHHA" PANELS. INSTALL PANELS W/ MANUFACTURER'S SYSTEM CONCRETE-EMPIRE BLOCK, SEE SPECIFICATION.	⑤	METAL COPING CAP: SLOPED COPING CAP (1" SLOPE FROM FRONT TO BACK) 12" TALL OUTSIDE FACE - 3" TALL INSIDE FACE BY FIRESTONE ROOFING OR MANUFACTURER'S EQUAL ALUMINUM W/ BAKED-ON KYNAR FINISH. COLOR BY ARCHITECT. SEE SECTIONS AND DETAILS. WIDTH OF CAP SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO ORDER & FABRICATION.
③	CEMENT BOARD SIDING: PROVIDE 5/8" THICK, PRE-FINISHED "NOCHHA" PANELS. INSTALL PANELS W/ MANUFACTURER'S SYSTEM METALLIC-MOTHER OF PEARL, SEE SPECIFICATION.	⑥	METAL DOWNSPOUT: 6X6 CLOSED-FACE DOWNSPOUT BY FIRESTONE ROOFING OR MANUFACTURER'S EQUAL ALUMINUM W/ BAKED ON KYNAR FINISH. COLOR BY ARCHITECT. SEE SECTIONS AND DETAILS.
		Ⓜ	STOREFRONT WINDOW SYSTEM: 2'x4' THERMALLY-BROKEN ALUMINUM STOREFRONT CLEAR ANODIZED FINISH, W/ 1" INSULATED GLAZING (ARGON FILLED W/ LOW-E COAT ON THE 3RD FACE) PROVIDE MEDIUM STYLE FULL-LITE ALUMINUM DOORS WHERE SHOWN. SEE SPECIFICATION.



3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

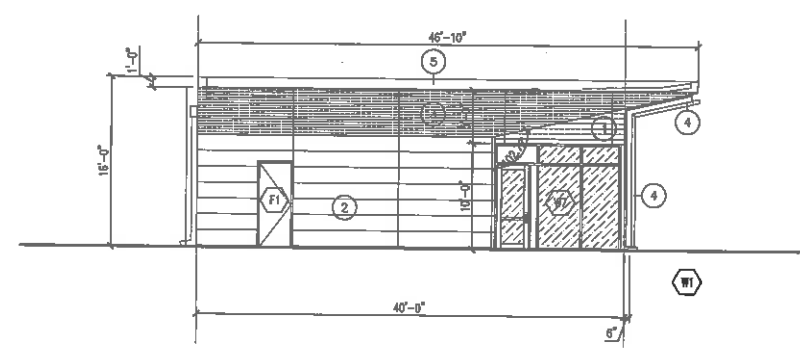


4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

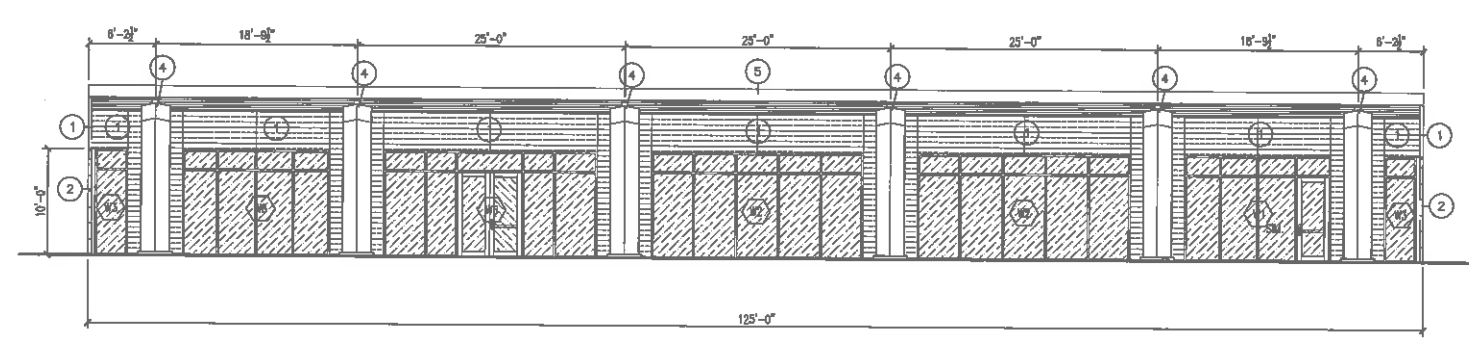
T.O. ROOF PARAPET  
ELEVATION +16'-0"

B.O. ROOF TRUSSES  
ELEVATION +11'-8"

FIRST FLOOR (T.O. EXIST. CONC. SLAB)  
ELEVATION +0'-0"



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

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RETAIL BUILDING  
820 FIRST STREET S I T E  
WEST DES MOINES, IOWA 50265 IMPROVEMENTS

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