

**CITY OF WEST DES MOINES  
BOARD OF ADJUSTMENT COMMUNICATION**

**Meeting Date:** December 28, 2016

**Item:** Kum & Go, 330 Jordan Creek Parkway – Construct a 6,217 sq. ft. convenience store with eight fuel pumps – Kum & Go, LC – PC-003227-2016

**Requested Action:** Approval of a Permitted Conditional Use Permit

**Case Advisor:** Brian S. Portz, AICP

**Applicant's Request:** Kum & Go, LC, requests approval of a Town Center Overlay District site plan for the construction of a 6,217 sq. ft. convenience store with eight fuel pumps (16 fueling stations) at 330 Jordan Creek Parkway, within the Jordan West development.

**History:** The property was included in the original Bridgewood PUD; however, was removed with the adoption of the original Jordan West Specific Plan in 2007. The 2007 Area Development Plan and Specific Plan Ordinance for the Jordan West property provided regulations for the development of offices on the property with limited retail aspects and internal private streets. The associated Bridgewood Plat 1 was approved in 1998; Jordan West Plat 1 in June of 2007; and Jordan West Plat 2 in February, 2008. On May 18, 2015, the City Council approved a Comprehensive Plan Amendment and Area Development Plan (ADP) amendment to allow for a new proposed development which included retail, restaurants, a hotel, apartments, and an office building. On June 15, 2015, the City Council approved a Specific Plan Ordinance for the Jordan West development that specified development regulations for the subject property. On August 10, 2015, the City Council approved the final plat for Jordan West Plat 3, which created the lot that is the subject of this request. The public hearing and discussion on this item was scheduled for the December 14, 2016 Board of Adjustment meeting. Due to a lack of quorum of voting members at that meeting, the Board deferred the item to the December 28, 2016 Board of Adjustment meeting.

**City Council Subcommittee:** This item was presented to the Development and Planning City Council Subcommittee on October 3, 2016 as an informational item only. The Subcommittee was supportive of the project.

**Staff Review and Comment:** This request was distributed to various City departments and other outside agencies for their review and comment. Staff would summarize the following:

- **Building Design:** A design theme is utilized in the Overlay District to provide cohesiveness amongst buildings within a development, while still setting apart one development from another. The proposed architecture captures the required theme of Jordan West through the use of materials, colors and details. Staff believes the proposed architecture is consistent with the precedent images that were approved with the Jordan West Specific Plan Ordinance.
- **Store & Canopy orientation:** The Town Center Overlay District aims to minimize the presence of vehicle use elements. The store is proposed to face north with the canopy north thereof but perpendicular to adjacent Jordan Creek Parkway. This puts the canopy on interior portion of the lot and minimizes the mass of the canopy that faces Jordan Creek Parkway. The interior orientation of the vehicle use elements is consistent with the intent of the overlay district.
- **Ampersand Symbol:** Kum & Go's business model involves the installation of an 8' tall ampersand symbol at each of their stores. The ampersand symbol has been installed at the new Kum & Go at 50<sup>th</sup> Street and EP True Parkway and is proposed at the Kum & Go under construction within the Mills Crossing development. While the ampersand is a brand element of Kum & Go and intended to be implemented at various stores, this symbol will be treated like a sculpture with local artists or community members designing and implementing the surface designs on the symbol. The applicant indicates that the symbol will not be painted or clad in corporate colors, but will be painted differently for every store within West Des Moines. This has been discussed with the Development and Planning City Council Subcommittee with the Council representatives in agreement that the element could be classified as art and allowed as long as it is located near the store and unique to other ampersand art pieces. Staff recommends that the Board approve the ampersand symbol as a sculpture, as opposed to a sign.

- ***Buffer Park:*** A 30' buffer park will be installed adjacent to Jordan Creek Parkway as a part of the Overlay District Site Plan for the larger Jordan West property. The buffer planting plans are shown on the Kum & Go site plan.
- ***Access:*** The eastern north/south roadway through the development will provide access to the Kum & Go property and to EP True Parkway. The east/west roadway through the Jordan West development will provide the property access to Jordan Creek Parkway. In addition, a right-in only entrance from Jordan Creek Parkway has been constructed and will also provide access to the site from Jordan Creek Parkway.

**Town Center Overlay District Consistency:** The proposed site plan has been reviewed for consistency with the proposed Town Center Overlay District Guidelines. Based upon that review, a finding has been made that the proposed site plan is consistent with the Town Center Overlay District Guidelines in that the site plan is consistent with the overall objective and intents of the Town Center Overlay District Guidelines.

**Comprehensive Plan Consistency:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**Permitted Conditional Use Permit Findings:** This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

**Staff Recommendation And Conditions Of Approval:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan and Town Center Overlay District, staff recommends the Board of Adjustment adopt a resolution approving the Permitted Conditional Use Permit to allow construction of a 6,217 sq. ft. convenience store with eight fuel pumps at 330 Jordan Creek Parkway, subject to the applicant meeting all City Code requirements and the following:

1. That the site landscaping associated with this building and site be installed prior to issuance of any occupancy permit, including temporary occupancy permits or to allow issuance of a temporary occupancy permit, surety be provided in the amount of 1½ times the bid amount for materials and installation. No final occupancy permit shall be issued until all landscaping in accordance with the site plan is installed and in a thriving condition.
2. Prior to issuance of any building permit, including footing and foundation permits, the applicant submitting final site plan drawings for approval stamping.

**Property Owner:** Ryan Companies US, Inc.  
S. 10<sup>th</sup> Street, Suite 300  
Minneapolis, Minnesota  
612-492-4000

**Applicant** Kum & Go, LC  
6400 Westown Parkway  
West Des Moines IA 50266  
Attn: Dan Garneau  
[Dan.garneau@kumandgo.com](mailto:Dan.garneau@kumandgo.com)

**Applicant's Representatives:** Keith Weggen  
Civil Design Advantage  
3405 SE Crossroads Drive, Suite G  
Grimes, IA 50111  
515-369-4400  
[keithw@CDA-eng.com](mailto:keithw@CDA-eng.com)

**ATTACHMENTS:**

Attachment A	=	Resolution
Attachment B	=	Location Map
Attachment C	=	Site Plan
Attachment D	=	Building Elevations

RESOLUTION NO. BOA-2016-17

**A RESOLUTION OF THE BOARD OF ADJUSTMENT OF THE CITY OF WEST DES MOINES, APPROVING A PERMITTED CONDITIONAL USE PERMIT TO CONSTRUCT A 6,217 SQUARE FOOT CONVENIENCE STORE WITH EIGHT FUEL PUMPS AT 330 JORDAN CREEK PARKWAY**

**WHEREAS**, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Kum & Go LC, has requested approval of Permitted Conditional Use Permit (PC-003227-2016) to construct a 6,217 square foot convenience store with eight fuel pumps (16 fueling stations) at 330 Jordan Creek Parkway, and legally described as;

LOT 4, JORDAN WEST PLAT 3, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.

**WHEREAS**, studies and investigations were made and staff reports and recommendations were submitted which are made a part of this record and herein incorporated by reference;

**WHEREAS**, on December 14, 2016, the Board of Adjustment held a duly-noticed public hearing to consider the application for Permitted Conditional Use Permit (PC-003227-2016);

**NOW, THEREFORE, THE BOARD OF ADJUSTMENT OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

SECTION 1. The findings, for approval, in the staff report or as amended orally at the Board of Adjustment hearing are adopted.

SECTION 2. The address of 330 Jordan Creek Parkway is assigned to this site.

SECTION 3. The PERMITTED CONDITIONAL USE PERMIT (PC-003227-2016) for the construction of a 6,217 square foot convenience store with eight fuel pumps is approved, subject to compliance with all the conditions in the staff report including conditions added at the meeting, and attached hereto as Exhibit "A." Violation of any such conditions shall be grounds for revocation of the permits, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on December 28, 2016.

\_\_\_\_\_  
Michael R. Blaser, Chairperson  
Board of Adjustment

ATTEST:

\_\_\_\_\_  
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on December 14, 2016, by the following vote:

AYES:  
NAYS:  
ABSTENTIONS:  
ABSENT:

ATTEST:

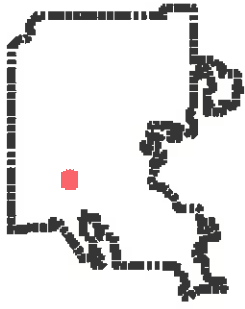
\_\_\_\_\_  
Recording Secretary

**Exhibit A**  
**CONDITIONS OF APPROVAL**

1. That the site landscaping associated with this building and site be installed prior to issuance of any occupancy permit, including temporary occupancy permits or to allow issuance of a temporary occupancy permit, surety be provided in the amount of 1½ times the bid amount for materials and installation. No final occupancy permit shall be issued until all landscaping in accordance with the site plan is installed and in a thriving condition.
2. Prior to issuance of any building permit, including footing and foundation permits, the applicant submitting final site plan drawings for approval stamping.



# Kum & Go



- Legend**
- Parcels
  - Parks
  - Greenways



1:2,750



Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

**PROJECT TEAM:**

**OWNER/DEVELOPER/APPLICANT:**

KUM & GO LLC  
8400 WESTOWN PARKWAY  
WEST DES MOINES, IA 50266  
ATTN: DAN GARNEAU  
PH: (515) 457-4588

**ENGINEER:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 BE CROSSROADS DRIVE, SUITE 0  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGON  
PH: (515) 398-4400

**LANDSCAPE ARCHITECT:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 BE CROSSROADS DRIVE, SUITE 0  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGON  
PH: (515) 398-4400

**SURVEYOR:**

CIVIL DESIGN ADVANTAGE, LLC  
3405 BE CROSSROADS DRIVE, SUITE 0  
GRIMES, IOWA 50111  
CONTACT: KEITH WEGGON  
PH: (515) 398-4400

**GEOTECHNICAL ENGINEER:**

TERRACON CONSULTANTS, INC.  
800 SW 7TH STREET, SUITE 10  
DES MOINES, IOWA 50319  
CONTACT: BRETT BRADFIELD  
PH: (515) 244-5164

**WATER:**

WEST DES MOINES WATER WORKS  
4200 MILLS CIVIC PARKWAY, SUITE 10  
WEST DES MOINES, IA 50266  
CONTACT: DIANA WILSON  
PH: (515) 222-3800

**SANITARY SEWER:**

WEST DES MOINES PUBLIC WORKS  
4200 MILLS CIVIC PARKWAY  
WEST DES MOINES, IA 50266  
CONTACT: JASON SCHLICKERD  
PH: (515) 222-3800

**ELECTRIC:**

MIDAMERICAN ENERGY  
10810 DOUGLAS AVE  
URBANDALE, IA 50322  
CONTACT: JAMES KEISLAR  
PH: (515) 222-6472

**STORM SEWER:**

CITY OF WEST DES MOINES  
4200 MILLS CIVIC PARKWAY  
WEST DES MOINES, IA 50266  
CONTACT: BRIAN HEMESATH  
PH: (515) 222-3800

**TELEPHONE:**

CENTURY LINK  
2109 E. UNIVERSITY  
DES MOINES, IA 50319  
CONTACT: DAVE HARRISFIELD  
PH: (503) 283-7250

**GAS:**

MIDAMERICAN ENERGY  
4200 MILLS CIVIC PARKWAY  
URBANDALE, IA 50322  
CONTACT: JAMES KEISLAR  
PH: (515) 222-6472

**BUILDING DEPARTMENT:**

WEST DES MOINES DEVELOPMENT SERVICES  
4200 MILLS CIVIC PARKWAY  
WEST DES MOINES, IA 50266  
CONTACT: ROO VAN GENDEREN  
PH: (515) 222-3800

**HEALTH DEPARTMENT:**

DALLAS COUNTY PUBLIC HEALTH & HOME HEALTH  
602 COURT STREET  
ACEL, IA 50503  
CONTACT: N/A  
PH: (515) 993-3700



WHERE & MEANS MORE

**SITE PLAN DRAWINGS**  
**STORE #1074**  
330 JORDAN CREEK PARKWAY  
WEST DES MOINES, IA 50266

SHEET INDEX		
1	COVER SHEET	C0.0
2	DIMENSION PLAN	C1.1
3	TOPOGRAPHIC SURVEY / DEMOLITION PLAN	C1.2
4	GRADING PLAN	C2.1
5	EROSION & SEDIMENT CONTROL PLAN	C2.2
6	UTILITY PLAN	C3.1
7	PAVING GEOMETRICS & SPOT ELEVATION PLAN	C4.1
8	PAVING GEOMETRICS TABLE	C4.2
9	LANDSCAPE PLAN	L1.1

SITE DATA		
STORE TYPE	MARKETPLACE	
CANOPY / DISPENSER ARRANGEMENT	8 DISPENSERS (DOUBLE)	
TYPE OF USE	CONVENIENCE STORE WITH FUEL	
HEIGHT	BUILDING	23'-1 3/4"
	TOP OF BLADE WALL	17'-4"
	CANOPY	20'-10"
GROSS FLOOR AREA		8,209 S.F.
GROSS CANOPY AREA		8,072 S.F.
GROSS LOT AREA		± 78,394 S.F.
FAR (INCLUDING CANOPY)		± 1.80 ACRES
BUILDING COVERAGE		8,209 S.F. (7.9%)
LANDSCAPE COVERAGE		20,209 SF (25.8%)
PARKING/DRIVE/SIDEWALK COVERAGE		51,976 SF (66.3%)
BICYCLE PARKING		
	STANDARD	28
	ADA	2
	PUMP ISLAND	3
	SEATING AREA	4
	TOTAL	43
PARKING RATIO = 1 CARS/203 S.F.		
REQUIRED PARKING		
	STANDARD	28
	ADA	2
	PUMP	15
	TOTAL	46
PARKING RATIO = 7.4 CARS/1000 S.F.		
PROVIDED PARKING		

ZONING INFORMATION		
ZONE: JORDAN WEST PUD - SUPPORT COMMERCIAL		
MINIMUM LOT AREA (SQUARE FEET)	80000	
MINIMUM LOT WIDTH (FEET)	60	
SITE AREA PER UNIT (SQUARE FEET)	0	
FRONT YARD SETBACK (FEET)	30	
FRONT YARD CANOPY SETBACK (FEET)	50	
SIDE YARD SETBACK (FEET)	15	
REAR YARD SETBACK (FEET)	15	
MAXIMUM HEIGHT (FEET)	36	
MAXIMUM BUILDING COVERAGE	0	
MAXIMUM IMPERVIOUS COVERAGE	75%	
MAXIMUM FLOOR AREA	N/A	

**BENCH MARKS**

WDM BENCHMARK #119 - SOUTHEAST CORNER OF E.P. TRUE PARKWAY AND 8197 STREET, NORTHEAST CORNER OF THE SIDEWALK JUNCTION, 3 FEET EAST OF NORTH-SOUTH SIDEWALK, 3 FEET NORTH OF EAST-WEST SIDEWALK, 34 FEET SOUTH OF E. P. TRUE PKWY SOUTH BACK OF CURB, STANDARD WDM BENCHMARK.

WEST DES MOINES DATUM ELEVATION 210.00 WDM

WDM BENCHMARK #124 - INTERSECTION OF JORDAN CREEK PARKWAY AND MILLS CIVIC PARKWAY, 100.0 FEET EAST OF THE WEST END OF MEDIAN, IN THE CENTER OF 8 FEET GRASS MEDIAN IN MILLS CIVIC PARKWAY, 17.0 FEET WEST OF THE ANGLE POINT IN THE CURB FOR THE WESTBOUND TURN LANE, STANDARD WDM BENCHMARK.

WEST DES MOINES DATUM ELEVATION 203.06 WDM

**PROPERTY DESCRIPTION**

LOT 3, JORDAN WEST PLAT 3, AN OFFICIAL PLAT, CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.

TOTAL LOT AREA: 1.80 ACRES

**FLOOD ZONE**

SUBJECT PROPERTY IS LOCATED IN THE UNSHADDED ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE X (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, COMMUNITY NUMBER 10023, PANEL NUMBER 0006 C (NUMBER 8 OF 25) WITH A REVISED DATE OF FEBRUARY 16, 2008.

**UTILITY WARNING**

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

**SUBMITTAL DATES**

SITE PLAN SUBMITTAL #1: 09-23-2018  
SITE PLAN SUBMITTAL #2: 11-04-2018  
SITE PLAN SUBMITTAL #3: 11-28-2018

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 08165120-01 PREPARED BY TERRACON CONSULTANTS, INC. FOR GEOTECHNICAL REQUIREMENTS

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITIONS OF THE DES MOINES METRO DESIGN STANDARDS, SDAS STANDARD SPECIFICATIONS, AND ALL CITY OF WEST DES MOINES ADDENDUMS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

RYAN A. HARRISFIELD, P.E. DATE \_\_\_\_\_  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017  
PAGES OR SHEETS COVERED BY THIS SEAL:  
C0.0, C1.1, C1.2, C2.1, C2.2, C3.1, C4.1, C4.2

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

KATHY D. WELLS, P.L.A. DATE \_\_\_\_\_  
MY LICENSE RENEWAL DATE IS JUNE 30, 2018  
PAGES OR SHEETS COVERED BY THIS SEAL:  
L1.1

**GENERAL LEGEND**

**PROPOSED**

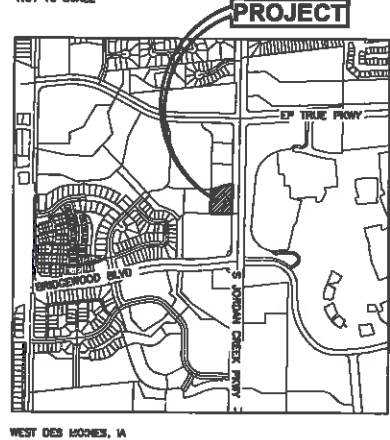
- LOT LINE
- PERMANENT EASEMENT
- TYPE SW-501 STORM INTAKE
- TYPE SW-511 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- SEIN
- DETECTABLE WARNING PANEL
- SANITARY SEWER WITH SIZE
- SANITARY SERVICE
- STORM SEWER
- STORM SERVICE
- WATER MAIN WITH SIZE
- WATER SERVICE WITH SIZE
- 2" CONDUIT
- SLT FENCE
- FULL DEPTH SAW CUT

**EXISTING**

- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- WELL
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- ROOF DRAIN/ DOWNSPOUT
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- MAIL BOX
- BENCH MARK
- SOIL BORING
- UNDERGROUND TV CABLE
- GAS MAIN
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- FIELD TILE
- SANITARY SEWER W/ SIZE
- STORM SEWER W/ SIZE
- WATER MAIN W/ SIZE

**VICINITY MAP**

NOT TO SCALE



**COMPREHENSIVE PLAN LAND USE**

SC - SUPPORT COMMERCIAL

**LAND USE**

EXISTING - UNDEVELOPED  
PROPOSED - CONVENIENCE STORE



6400 Westtown Parkway  
West Des Moines, Iowa  
50266  
P: 515-226-0128  
F: 515-223-9873

1074 - WEST DES MOINES, IOWA  
330 JORDAN CREEK PARKWAY  
COVER SHEET

KG PROJECT TEAM:  
RDR:  
SDM:  
CA:

DATE	REVISION DESCRIPTION	REVISIONS
12-01-2016 <td></td> <td></td>		

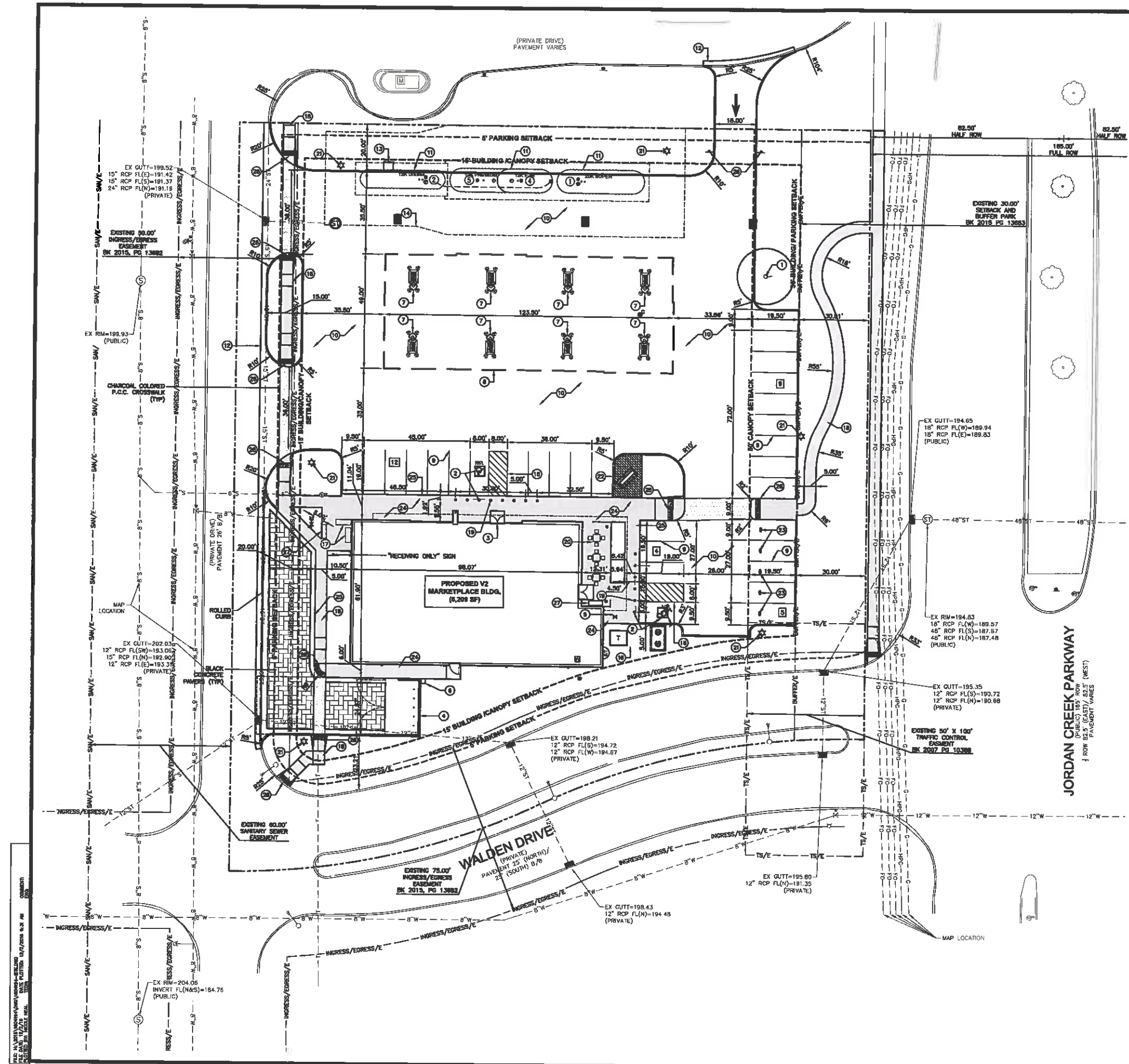
SHEET NUMBER:  
**C0.0**

THIS PROJECT IS REGISTERED UNDER THE LEED GREEN BUILDING CERTIFICATION PROGRAM.

CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**IOWA ONE CALL**  
1-800-292-6889  
www.iowaonecall.com

COMMON: 2018 IOWA NPDES PERMIT #2



**GENERAL NOTES**

1. THE MOST RECENT EDITION OF THE DES MOINES METRO DESIGN STANDARDS AND ALL CITY OF WEST DES MOINES ADDENDUMS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS, NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. THE CONTRACTOR SHALL SATISFY ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.
5. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
6. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY OF WEST DES MOINES CONSTRUCTION DIVISION.
7. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY OF WEST DES MOINES STANDARDS.
8. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
9. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
10. PLACE 3/4" INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDWALKS AND BUILDING. PLACE 1/2" INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
11. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
12. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
13. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
14. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT ON USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
15. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT ARE DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
16. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER ON THE CITY.
17. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
18. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY OF IOWA CITY CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
19. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
20. ALL PROJECT IMPROVEMENTS SHALL MEET OR EXCEED THE IUM & GO STANDARD NETWORK SPECIFICATIONS.
21. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING (M.E.P.) PLANS FOR THE LOCATION OF THE EMERGENCY PUMP SHUT-OFF LOCATION UNDERNEATH THE FUEL CANOPY/MONUMENT SIGNS ARE TO BE REVIEWED AND APPROVED BY THE DEVELOPMENT SERVICES DEPARTMENT.
22. ALL STAGING IS TO BE DONE UNDER THE DIRECTION OF A LICENSED ENGINEER OR SURVEYOR.
23. PRIOR TO CONSTRUCTION OF ANY PROPOSED PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, CONSTRUCTION PLANS FOR S&B IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.

**TRAFFIC CONTROL NOTES**

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LAKE CLOSURES.
2. ALL SIGNING, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES ON THE DRIVEWAY APPROACHES TO THE PUBLIC STREETS SHOULD CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FEDERAL HIGHWAY ADMINISTRATION 2008 EDITION. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE REVENING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION 2008 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

**PAVEMENT THICKNESS**

- |                                |           |
|--------------------------------|-----------|
| 1. SIDEWALK                    | 4" P.C.C. |
| 2. SIDEWALK (STAMPED CONCRETE) | 6" P.C.C. |
| 3. PARKING & DRIVE AISLES      | 6" P.C.C. |
| 4. DUMPSTER PAD                | 7" P.C.C. |

**FLAG NOTES**

- ① PROPOSED 25 FOOT FLAG POLE WITH AMERICAN FLAG, MAINTAIN 24 FOOT DIAMETER CLEAR SPACE
- ② PROPOSED ACCESSIBLE PARKING SPACE WITH BOLLARD MOUNTED ADA PARKING SIGN
- ③ FRONT ENTRY, SEE ARCHITECTURAL DRAWINGS
- ④ PROPOSED TRASH ENCLOSURE, SEE ARCHITECTURAL DRAWINGS
- ⑤ PROPOSED BOLLARD BIKE RACK
- ⑥ PROPOSED DESIGNATED SMOKING AREA
- ⑦ PROPOSED FUEL DISPENSER ISLAND
- ⑧ PROPOSED FUEL CANOPY
- ⑨ PROPOSED 4 INCH YELLOW PARKING STRIPING
- ⑩ PROPOSED 6 INCH P.C.C. PAVEMENT
- ⑪ PROPOSED UNDER GROUND STORAGE TANK LOCATIONS
- ⑫ LIMITS OF PROPOSED PAVEMENT
- ⑬ PROPOSED AIR MACHINE, COORDINATE MOUNT WITH SUPPLIER
- ⑭ TANK OVERLAP LIMITS
- ⑮ PROPOSED 4 INCH YELLOW PARKING STRIPING, 24 INCHES O.C. AT 45 DEGREES
- ⑯ PROPOSED TRANSFORMER LOCATION
- ⑰ PROPOSED PROPANE
- ⑱ PROPOSED 4 INCH P.C.C. SIDEWALK, SEE DETAIL B ON SHEET CS.3.
- ⑲ PROPOSED BOLLARDS WITH SLACK PROTECTIVE COVER - TYP
- ⑳ PROPOSED PATIO
- ㉑ PROPOSED AREA LIGHT
- ㉒ PROPOSED AMPERSAND SCULPTURE
- ㉓ PROPOSED ASSOCIATE PARKING, 3 - 1 FT X 2 FT PAINTED SOLID RED OVALS
- ㉔ PROPOSED 4 INCH CONCRETE SIDEWALK WITH AGGREGATE BASE, 1.5% MAX. CROSS SLOPE. SEE DETAIL C AND D ON SHEET CS.4. REFERENCE ARCHITECTURAL DRAWINGS FOR CONTROL JOINT PLAN
- ㉕ PROPOSED 8 INCH INTEGRAL CURB & SIDEWALK
- ㉖ PROPOSED SIGN - DO NOT ENTER
- ㉗ PROPOSED PLANTER
- ㉘ DETECTABLE WARNING STRIP



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1074 - WEST DES MOINES, IOWA  
330 JORDAN CREEK PARKWAY  
SITE PLAN

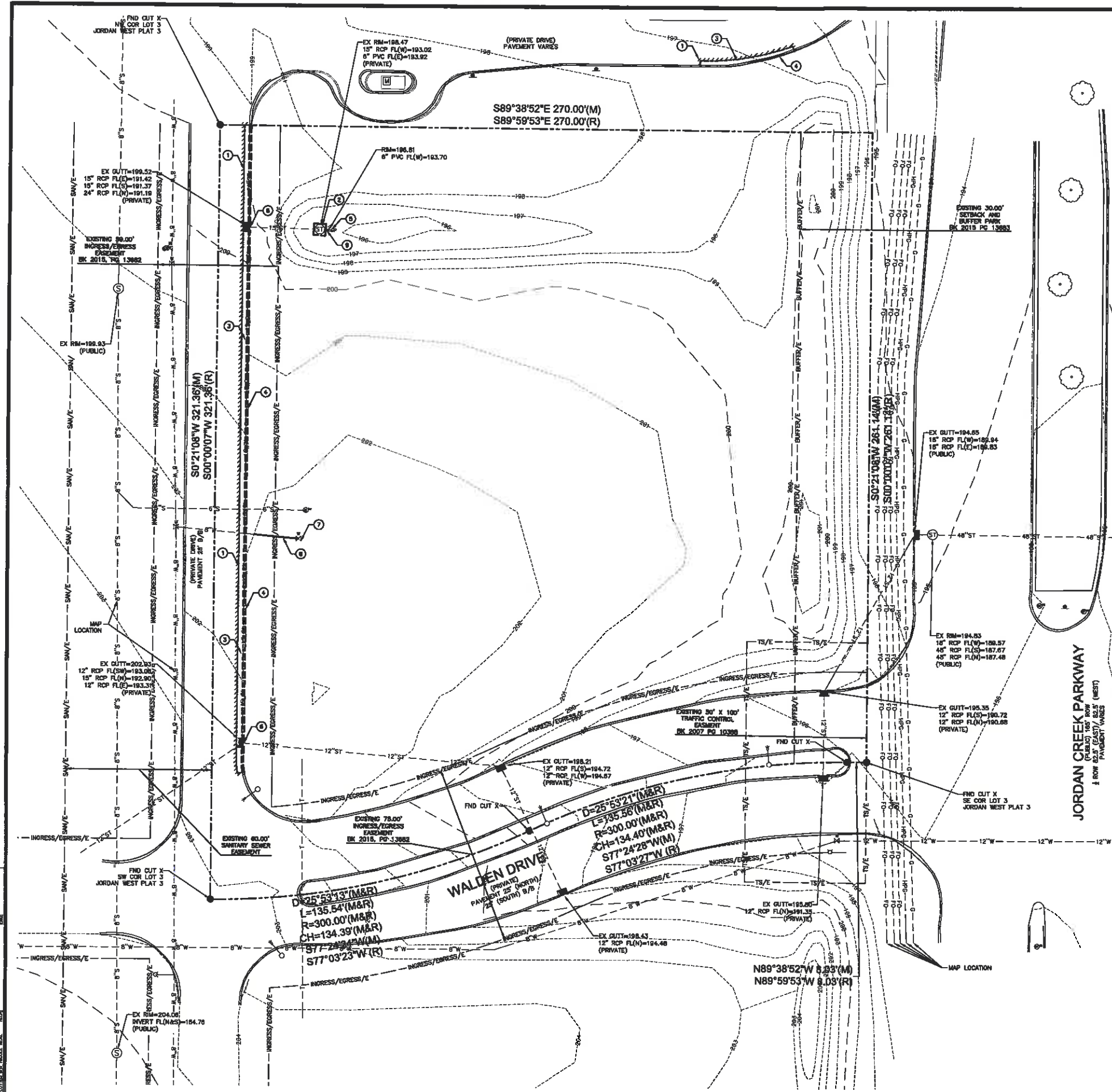
KG PROJECT TEAM:  
ROR:  
SOM:  
CFM:

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DATE: 12-01-2016  
SHEET NUMBER: C1.1







**DEMOLITION NOTES**

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
  - CITY OF WEST DES MOINES
  - APPROPRIATE UTILITY COMPANIES
  - OWNER
  - CIVIL DESIGN ADVANTAGE
  - ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

**FLAG NOTES**

- ① SAWCUT FULL DEPTH
  - ② REMOVE AND REPLACE STORM INTAKE FRAME AND GRATE
  - ③ REMOVE AND DISPOSE OF PCC PAVEMENT
  - ④ REMOVE AND DISPOSE OF PCC CURB AND GUTTER
  - ⑤ REMOVE AND DISPOSE OF STAND PIPE
  - ⑥ REMOVE AND DISPOSE OF CURB INTAKE CASTING AND REPLACE WITH DRIVEWAY
- INTAKE CASTING
- ⑦ REMOVE AND DISPOSE OF GATE VALVE
  - ⑧ REMOVE AND DISPOSE OF 8 INCH WATER SERVICE
  - ⑨ REMOVE AND DISPOSE OF 15 INCH STORM SEWER

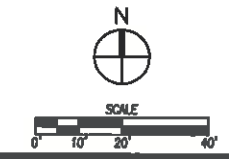


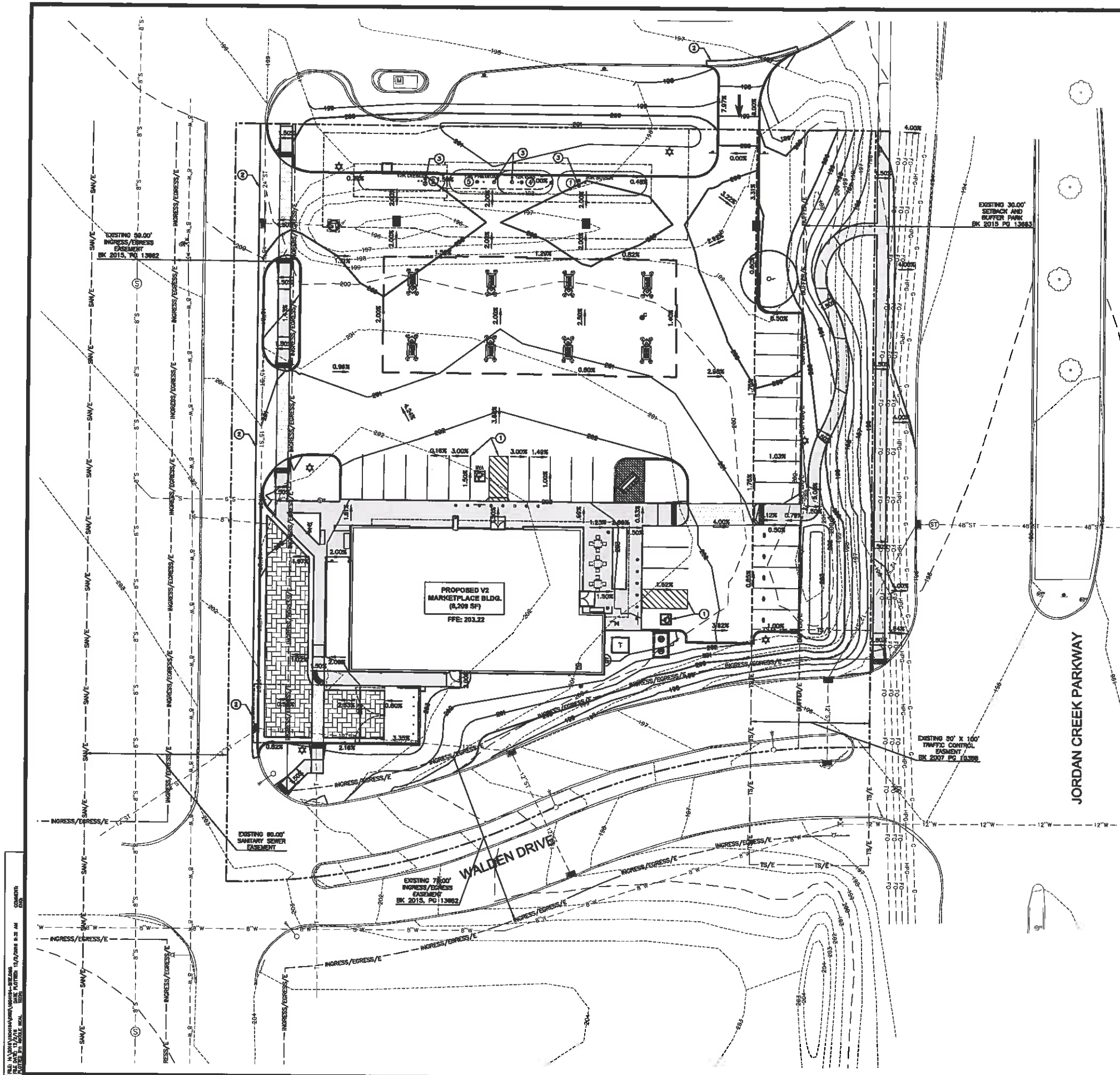
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**1074 - WEST DES MOINES, IOWA**  
330 JORDAN CREEK PARKWAY  
TOPOGRAPHIC SURVEY & DEMOLITION PLAN

NO.	DATE	REVISION DESCRIPTION

DATE: 12-01-2016  
SHEET NUMBER: C1.2



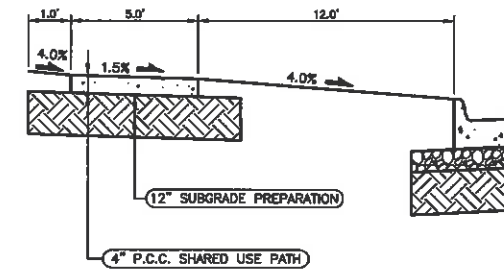


**GRADING NOTES**

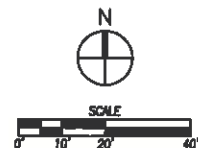
1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE WEST DES MOINES BUILDING DIVISION AND STORM WATER DEPARTMENT.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND REUSE AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE DES MOINES METRO DESIGN STANDARDS AND ALL CITY OF WEST DES MOINES ORDINANCES, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FOR GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TOWARD ALL STORM SEWER STRUCTURES RECEIVING OVERLAND FLOW.
8. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID POHOING.
9. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
11. SEE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
12. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
13. SIDEWALKS: MAINTAIN 0.5% MINIMUM AND 0.5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE. DEPTH LONGITUDINAL 1/2, TRANSVERSE 1/4.
14. CONSTRUCTION OPERATIONS SHALL PROTECT STORM SEWERS AND DRAINAGE WAYS FROM ALLOWING SLURRY FROM CONCRETE OPERATIONS TO DISCHARGE OFFSITE.
15. THE CONTRACTOR SHALL PROVIDE A PAVEMENT JOINTING PLAN INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, PARKING LOT, AND FUEL CANOPIES, AND DETAILS TO THE ENGINEER FOR REVIEW.

**FLAG NOTES**

- ① ADA ACCESSIBLE STALL NOT TO EXCEED 1.75% GRADE IN ANY DIRECTION
- ② MATCH EXISTING GRADE
- ③ ALL FILL LIDS FOR UNDERGROUND TANKS TO BE 1 INCH ABOVE FINISHED GRADE



TYPICAL R.O.W. SECTION



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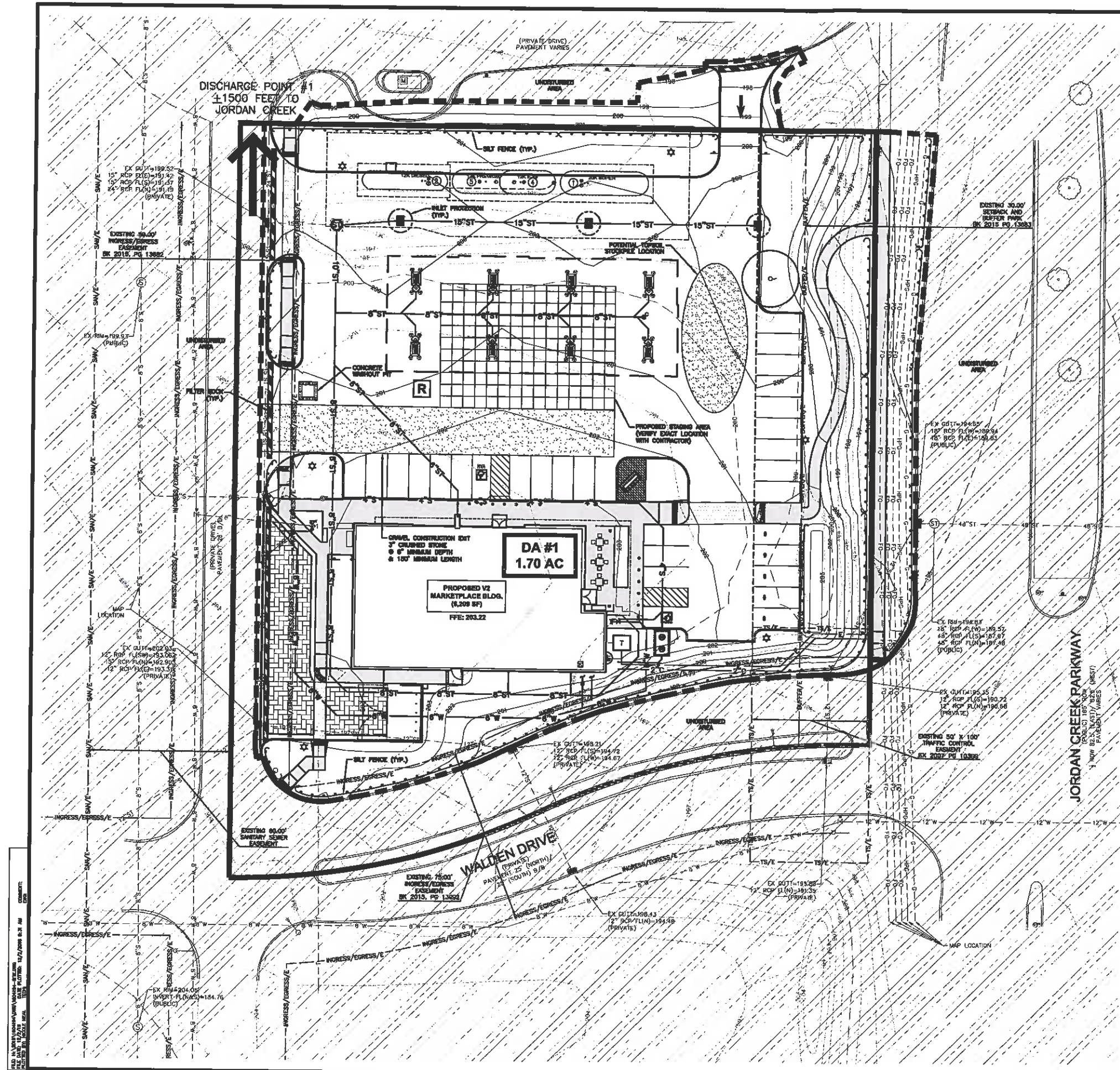
1074 - WEST DES MOINES, IOWA  
330 JORDAN CREEK PARKWAY  
GRADING PLAN

XG PROJECT TEAM:  
ROR:  
SON:  
CPM:

REVISION DESCRIPTION	DATE

DATE: 12-01-2016  
SHEET NUMBER: C2.1





**EROSION CONTROL NOTES**

- THE PROJECT REQUIRES AN IOWA NPDES PERMIT (#2, CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF THE SWPPP AND LOCAL, STATE AND FEDERAL REQUIREMENTS. THE OWNER SHALL EMPLOY A SEPARATE FIRM TO PROVIDE SWPPP MONITORING AND UPDATES. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH THE SELECTED FIRM.
- ALL EROSION CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO IUDAS CHAPTER 7 EROSION AND SEDIMENT CONTROL.
- THE FOLLOWING PROCEDURE MUST BE ADHERED TO BY THE CONTRACTOR WHEN CONVERTING THE TEMPORARY SEDIMENT BASIN TO PERMANENT DRY BOTTOM DETENTION FACILITIES.
  - DO NOT REMOVE A SEDIMENT BASIN UNTIL THE UPSTREAM AREA HAS BEEN STABILIZED WITH VEGETATION. CONSULT WITH THE EROSION AND SEDIMENT CONTROL INSPECTOR PRIOR TO THE CONVERSION TO ENSURE THAT THE TIMING IS APPROPRIATE. MAINTAIN STORM SEWER INLET PROTECTION TO ENSURE OFF SITE PROPERTIES ARE PROTECTED FROM SEDIMENT LEAVING SITE.
  - DEWATER THE BASIN THROUGH PUMPING AND MAKE SURE THE EFFLUENT IS FILTERED BY A METHOD APPROVED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR.
  - REMOVE ACCUMULATED SEDIMENT (AS NEEDED) TO ESTABLISH THE FINAL GRADE OF THE POND. SEDIMENT MUST BE DISPOSED OF IN AN AREA APPROVED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR.
  - GRADE AND ROUGHEN THE BOTTOM OF THE BASIN TO PREPARE IT FOR FINAL SEEDING. RESPADE 8 INCHES OF TOP SOIL OVER AREAS TO BE SEED.
  - SEED, MULCH AND FERTILIZE THE BARE AREAS OF THE BASIN AND INSTALL EROSION CONTROL MATCHING IN THE BOTTOM OF TO ENSURE SEED IS NOT MISPLACED DURING RAIN EVENT.
  - INSTALL EROSION STONE AROUND SEDIMENT STANDPIPES LOCATED IN THE BASIN AS SHOWN IN THIS PLAN SET.
  - INSPECT AND CLEAN OUT ALL STORM SEWER AND OUTLET STRUCTURES TO ENSURE THEY ARE CLEAN AND NO BUILD UP OF SEDIMENT HAS OCCURRED. IF A BUILD UP OF SEDIMENT IS PRESENT THE CONTRACTOR WILL BE RESPONSIBLE FOR JETTING OUT ALL PIPES.
  - AFTER THE CONVERSION IS COMPLETE, PREPARE AND SUBMIT AS-BUILT PLANS OF THE POND TO THE ENGINEER FOR REVIEW.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE BASIN UNTIL VEGETATION IS ESTABLISHED.

**SWPPP LEGEND**

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM
- CONCRETE WASHOUT PIT
- TEMPORARY STANDPIPE
- UNDISTURBED AREA
- GRAVEL ENTRANCE
- STAGING AREA

**STABILIZATION QUANTITIES**

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1068
2	FILTER SOCK	LF	214
3	SEEDING, FERTILIZING, AND MULCHING	AC	0.48
4	INLET PROTECTION DEVICES	EA	3
5	CONCRETE WASHOUT PIT	EA	1

**DISCHARGE POINT SUMMARY**

DISCHARGE POINT #1 TO JORDAN CREEK ±1500 FT  
 TOTAL AREA DISTURBED TO DISCHARGE POINT 1.70 ACRES  
 STORAGE VOLUME REQUIRED (1/3 OF ACRES\*3800 CU FT) 6,120 CU FT  
 VOLUME PROVIDED IN FILTER SOCK (214 LF @ 2.8 CU FT/LF OF SOCK) 438 CU FT  
 VOLUME PROVIDED IN MISCELLANEOUS SILT FENCE (833 LF - CALCULATED) 8,374 CU FT  
 TOTAL VOLUME PROVIDED 8,812 CU FT

**EROSION CONTROL CONTACT**

KUM & GO L.C.  
 6400 WESTOWN PARKWAY  
 WEST DES MOINES, IA 50266  
 ATTN: PERRY DEPHILLIPS  
 PH: (515) 487-6265



6400 Westown Parkway  
 West Des Moines, Iowa  
 50266  
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 F: 515-223-9873

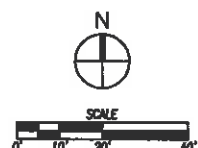
1074 - WEST DES MOINES, IOWA  
 330 JORDAN CREEK PARKWAY  
 EROSION & SEDIMENT CONTROL PLAN

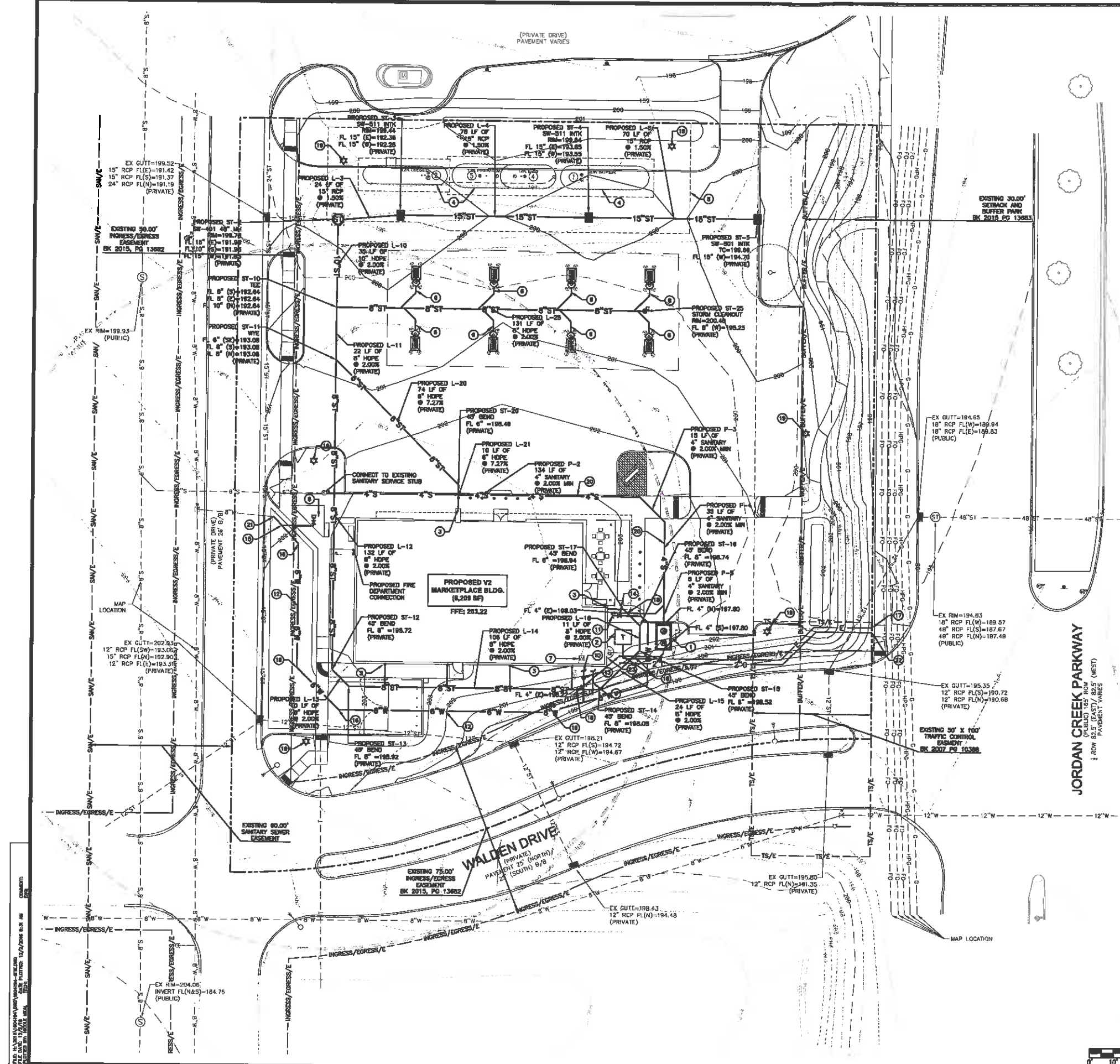
K&G PROJECT TEAM:  
 RDR:  
 BEY:  
 CPH:

REVISION DESCRIPTION	DATE

DATE: 12-01-2016

SHEET NUMBER: C2.2





**UTILITY NOTES**

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE DES MOINES METRO DESIGN STANDARDS, THE WEST DES MOINES WATER WORKS CONSTRUCTION SPECIFICATIONS, AND ALL CITY OF WEST DES MOINES ADDENDUMS.
- MAINTAIN A MINIMUM OF 6" COVER OVER ALL WATER MAINS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COSTS SHALL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-9889 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATER MAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE WEST DES MOINES WATER WORKS CONSTRUCTION SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED TO THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS, THE WEST DES MOINES WATER WORKS CONSTRUCTION SPECIFICATIONS, AND THE LATEST VERSION OF THE UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS. ALL APPLICABLE UTILITY COMPANIES SHALL BE CONTACTED 48 HOURS PRIOR TO ANY WORK BEING STARTED.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL INLET PROTECTION AT ALL PERMANENT STORM SEWER INLETS.
- CONTRACTOR SHALL TEST AND INSPECT ALL PROPOSED STORM SEWER, WATERMAIN AND SANITARY SEWER. ALL TESTING SHALL BE COMPLETED MEETING CITY OF WEST DES MOINES STANDARDS AND THE WEST DES MOINES WATER WORKS CONSTRUCTION SPECIFICATIONS.
- ALL PRIVATE AND PUBLIC STORM SEWER PIPES SHALL BE CLEANED AND TESTED.
- ALL CONNECTIONS TO EXISTING SANITARY SEWER MANHOLES SHALL BE CORE DRILLED AND A LINK SEAL SHALL BE USED FOR THE CONNECTION.
- ALL ELECTRICAL POWER, TELEPHONE, AND CABLE TELEVISION TRANSMISSION SYSTEMS SHALL BE PLACED UNDERGROUND WHENEVER REASONABLY PRACTICABLE.
- INSTALL DEETEX 2328 CRATE AND FRAME ON ALL SW-311 INTAKES
- ALL WATER MAIN ON THIS SHEET SHALL BE DUCTILE IRON PIPE WITH NITRILE GASKETS DUE TO THE PROXIMITY OF THE FUEL TANKS.
- ANY REINSTALLED HYDRANTS MUST BE CHECKED FOR COMPLETE FUNCTIONALITY. HYDRANTS MAY NEED TO BE REPAINTED DEPENDING ON CONDITION.
- CONTRACTOR SHALL NOTIFY ALL ELEVATIONS AND NOTIFY THE ENGINEER OF ANY ISSUES/CONFLICTS.
- WHERE THE STORM SEWER CROSSES OVER OR LESS THAN 18 INCHES BELOW A WATER MAIN, LOCATE ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL OR REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN.

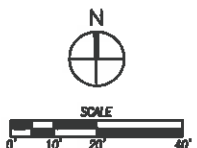
**WEST DES MOINES WATER WORKS STANDARD NOTES**

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION (315-222-3830) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAMINATION PREVENTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAMINATION IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1287, 54-1996. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTNER, ENGINEERING TECHNICIAN (315-222-3446) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- DESIGNATED BUFFERS SHALL BE LABELED AS A "NO BUILD AREA".

**FLAG NOTES**

- 1,000 GALLON GREASE INTERCEPTOR WITH SAMPLE PORT. INSTALL PER LOCAL STANDARDS AND SPECIFICATIONS
- INSTALL TRANSFORMER PAD, COORDINATE WITH LOCAL UTILITY PROVIDER
- CONNECT TO BUILDING SERVICE, SEE ARCHITECTURAL DRAWINGS FOR DOWNSPOUT LOCATIONS, FL=195.72
- PROPOSED UNDERGROUND STORAGE TANK LOCATIONS
- UNDERGROUND STORAGE TANK OVERSIZING LIMITS
- 6 INCH HOPE DOWNSPOUT LATERALS TO CONNECT TO STORM DRAIN, MIN. SLOPE 1 PERCENT
- WATER METER LOCATION - INSTALL SEPARATE METERS AND BACKFLOW PROTECTION FOR DOMESTIC & IRRIGATION
- PROPOSED FIRE HYDRANT
- PROPOSED 1 INCH IRRIGATION SERVICE OUT TO SYSTEM, SPLITS FROM 2 INCH DOMESTIC SERVICE INSIDE BUILDING
- PROPOSED 2 INCH TYPE K COPPER DOMESTIC WATER SERVICE
- PROPOSED 6 INCH DIP FIRE WATER SERVICE WITH NITRILE GASKETS
- PROPOSED 6 INCH DIP WATER SERVICE WITH NITRILE GASKETS
- 2 INCH CURB STOP
- 8 INCH GATE VALVE
- 8 INCH WYE
- INSTALL 8 INCH BY 45 DEGREE BEND
- PROPOSED UNDERGROUND ELECTRICAL POWER SERVICE LINE, COORDINATE WITH LOCAL UTILITY PROVIDER
- UTILITY CROSSING, CONTRACTOR TO MAINTAIN A MINIMUM OF 18 INCH VERTICAL CLEARANCE
- PROPOSED AREA LIGHT
- PROPOSED 4 INCH SANITARY SERVICE @ 1.00% MINIMUM SLOPE
- CONNECT TO EXISTING WATER SERVICE LINE
- 2 INCH CONDUIT
- PROPOSED WALL MOUNTED UTILITIES LOCATION

WATERMAIN QUANTITIES	
TYPE	QUANTITY
6" DIP	218 LF
2" TYPE K COPPER	5 LF
2" CURB STOP	1
6" GATE VALVE	1
8" WYE	1
6"x45° BEND	4
HYDRANT ASSEMBLY	1



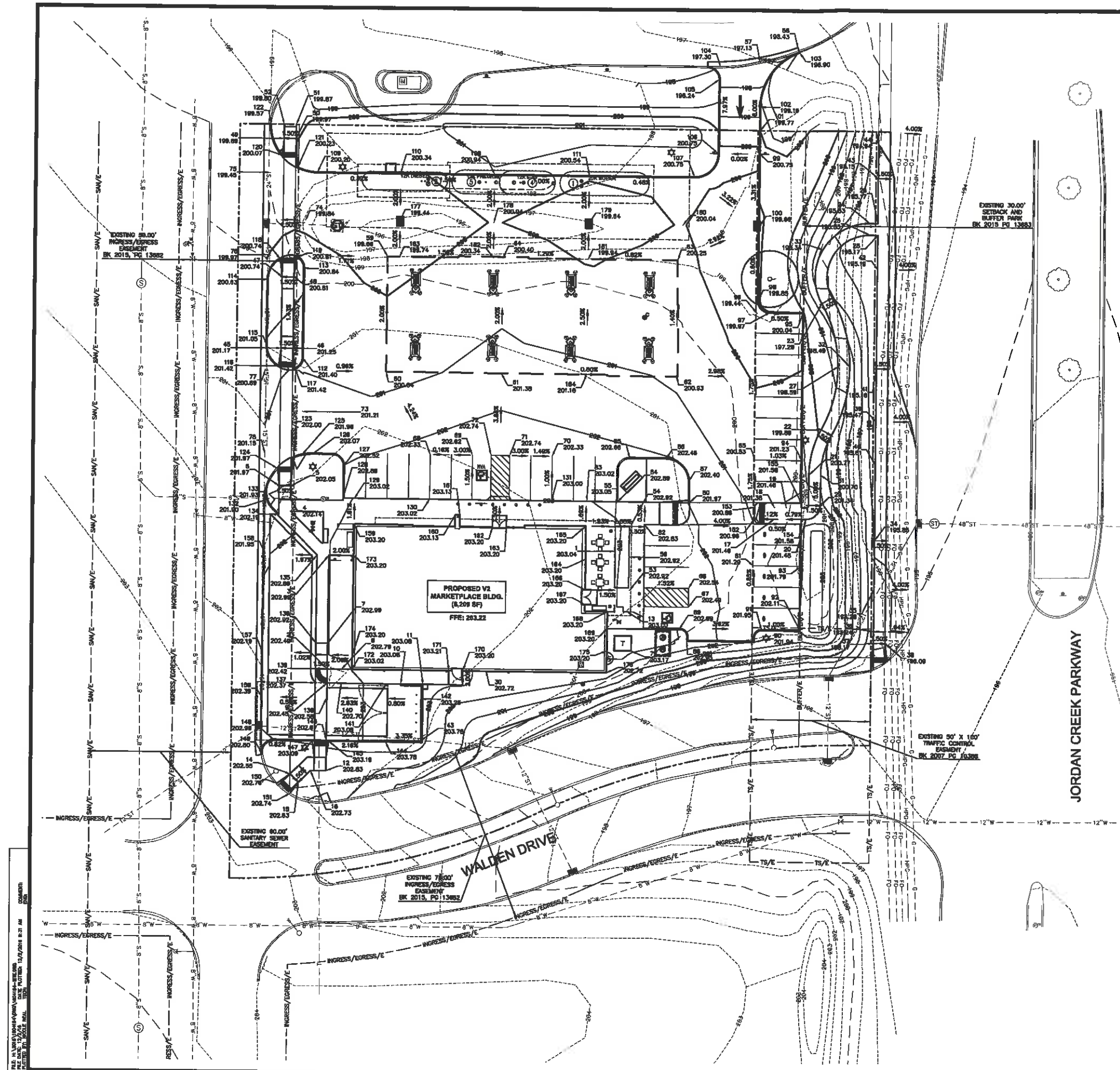
6400 Westown Parkway  
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50266  
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**1074 - WEST DES MOINES, IOWA**  
330 JORDAN CREEK PARKWAY  
**UTILITY PLAN**

DATE	REVISION DESCRIPTION
12-01-2016 <td></td>	

DATE: 12-01-2016  
SHEET NUMBER: **C3.1**





**GRADING NOTES**

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE WEST DES MOINES BUILDING DIVISION AND STORM WATER DEPARTMENT.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND REAPPLIED AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE DES MOINES METRO DESIGN STANDARDS AND ALL CITY OF WEST DES MOINES ORDINANCES, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FOR GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TOWARD ALL STORM SEWER STRUCTURES RECEIVING OVERLAND FLOW.
8. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID POONDING.
9. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
11. SEE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
12. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
13. SIDEWALKS: MAINTAIN 0.5% MINIMUM AND 0.8% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
14. CONSTRUCTION OPERATIONS SHALL PROTECT STORM SEWERS AND DRAINAGE WAYS FROM ALLOWING SLURRY FROM CONCRETE OPERATIONS TO DISCHARGE OFFSITE.
15. THE CONTRACTOR SHALL PROVIDE A PAVEMENT JOINTING PLAN INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, PARKING LOT, AND FUEL CANOPES, AND DETAILS TO THE ENGINEER FOR REVIEW.



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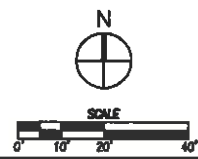
**1074 - WEST DES MOINES, IOWA**  
330 JORDAN CREEK PARKWAY  
PAVING GEOMETRICS & SPOT ELEVATION PLAN

KG PROJECT TEAM:  
ROR:  
SCM:  
CPM:

REVISION DESCRIPTION	DATE

DATE: 12-01-2018

SHEET NUMBER: C4.1



DATE: 12/01/2018  
 TIME: 10:00 AM  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO: [Number]

POINT TABLE				
POINT #	DESCRIPTION	ELEVATION	NORTHING	EASTING
1	SDWK	203.04	257739.00	365695.38
2	SDWK	202.48	257867.82	365864.33
3	SDWK	202.89	257736.38	365944.82
4	SDWK	202.14	257798.87	365548.32
5	SDWK	202.05	257785.78	365548.38
6	SDWK	201.87	257785.81	365543.35
7	SDWK	202.89	257898.82	365944.38
8	SDWK	202.78	257887.88	365970.33
9	SDWK	202.48	257881.82	365864.38
10	SDWK	203.08	257881.73	365895.25
11	SDWK	203.08	257881.87	365904.88
12	SDWK	202.83	257844.44	365864.08
13	SDWK	203.00	257713.17	365880.84
14	SDWK	202.58	257843.00	365848.83
15	SDWK	202.83	257838.44	365852.45
16	SDWK	202.73	257844.48	365887.08
17	SDWK	201.48	257793.12	365783.14
18	SDWK	201.38	257798.12	365753.17
19	SDWK	201.48	257798.08	365756.17
20	SDWK	201.48	257793.04	365786.48
21	SDWK	200.77	257771.85	365787.00
22	SDWK	198.88	257791.21	365772.88
23	SDWK	187.28	257844.82	365772.70
24	SDWK	185.33	257878.03	365782.82
25	SDWK	185.33	257874.03	365782.88
26	SDWK	185.17	257878.01	365786.28
27	SDWK	198.58	257818.01	365778.88
28	SDWK	185.17	257874.01	365786.23
29	SDWK	201.34	257798.00	365772.83
30	FG	202.72	257887.50	365831.55
31	SDWK	200.70	257771.82	365772.80
32	SDWK	188.48	257818.01	365784.88
33	SDWK	188.34	257867.74	365772.88
34	SDWK	185.85	257444.17	365785.43
35	SDWK	188.28	257723.40	365785.31
36	SDWK	188.24	257708.34	365785.20
37	SDWK	188.17	257700.34	365785.17
38	SDWK	188.08	257700.31	365800.17
39	SDWK	185.47	257784.88	365785.75
40	SDWK	185.81	257778.38	365785.83
41	SDWK	185.18	257817.88	365785.88
42	SDWK	188.18	257858.32	365786.14
43	SDWK	185.18	257898.11	365786.38
44	SDWK	184.84	257817.94	365789.50
45	SDWK	201.17	257824.40	365843.71
46	SDWK	201.25	257824.37	365848.71
47	SDWK	200.74	257854.88	365843.80
48	SDWK	200.81	257854.82	365848.90
49	SDWK	188.08	257813.53	365844.28
50	SDWK	188.97	257813.48	365848.28
51	SDWK	188.87	257818.48	365848.30
52	SDWK	188.80	257818.48	365844.30
53	SDWK	202.82	257722.42	365881.78
54	SDWK	202.82	257748.82	365881.85
55	SDWK	203.05	257748.88	365885.34
56	SDWK	202.82	257738.54	365881.87
57	FG	187.13	257847.28	365748.17
58	FG	188.43	257853.87	365781.88
59	FG	188.88	257863.72	365888.48
60	FG	200.84	257814.72	365888.15
61	FG	201.38	257814.42	365837.23
62	FG	200.83	257813.87	365711.15
63	FG	200.28	257882.88	365711.45
64	FG	200.40	257863.42	365837.58
65	FG	200.53	257778.17	365748.13
66	FG	202.54	257723.38	365718.78
67	FG	202.48	257718.38	365718.74
68	FG	202.33	257778.81	365807.04
69	FG	202.82	257778.48	365825.04
70	FG	202.33	257778.28	365888.04
71	FG	202.74	257778.40	365864.04
72	FG	202.74	257778.48	365833.04
73	FG	201.21	257787.47	365883.08
74	FG	188.84	257878.88	365853.58
75	FG	188.45	257888.03	365837.85
76	FG	188.87	257884.03	365837.48
77	FG	200.88	257815.12	365837.18
78	FG	201.18	257780.04	365837.04
79	FG	203.17	257898.48	365882.82
80	FG	201.87	257758.83	365717.02

POINT TABLE				
POINT #	DESCRIPTION	ELEVATION	NORTHING	EASTING
81	FG	201.20	257733.18	365744.52
82	TC	202.83	257780.48	365887.98
83	TC	203.02	257780.20	365873.58
84	TC	202.88	257780.12	365888.42
85	TC	202.88	257778.58	365891.53
86	TC	202.48	257778.48	365707.12
87	TC	202.40	257788.84	368718.87
88	TC	202.85	257790.85	365718.15
89	TC	202.88	257705.87	365712.85
90	TC	201.84	257700.87	365748.18
91	TC	201.85	257705.85	365748.18
92	TC	202.11	257705.85	365784.18
93	TC	201.78	257733.05	365784.35
94	TC	201.23	257778.05	365784.83
95	TC	200.04	257841.05	365785.02
96	TC	198.44	257840.87	365743.51
97	TC	198.97	257841.14	365791.02
98	TC	198.88	257846.17	365748.08
99	TC	200.75	257808.25	365748.43
100	TC	198.88	257877.75	368748.24
101	TC	198.77	257818.23	368748.48
102	TC	198.18	257828.22	368748.28
103	TC	198.90	257851.48	368782.73
104	TC	187.30	257845.35	365728.16
105	TC	198.24	257838.78	365728.82
106	TC	200.75	257808.38	365728.43
107	TC	200.75	257888.42	368718.37
108	TC	200.84	257888.84	368833.87
109	TC	200.20	257888.41	368838.48
110	TC	200.34	257888.18	368838.87
111	TC	200.54	257888.70	368873.87
112	TC	201.40	257820.81	368882.88
113	TC	200.84	257888.44	368882.82
114	TC	200.83	257853.54	368837.81
115	TC	201.05	257888.80	368837.72
116	TC	201.42	257818.85	368842.77
117	TC	201.42	257815.82	368848.82
118	TC	200.74	257882.21	368843.05
119	TC	200.81	257883.08	368848.91
120	TC	200.07	257808.28	368843.54
121	TC	200.83	257801.32	368888.08
122	TC	198.57	257818.53	368838.81
123	TC	200.00	257777.78	368848.33
124	TC	201.87	257773.10	368842.70
125	TC	201.88	257778.91	368882.82
126	TC	202.07	257778.41	368857.40
127	TC	202.82	257774.33	368870.51
128	TC	202.88	257780.83	368870.42
129	TC	203.02	257780.80	368878.27
130	TC	203.02	257780.81	368888.82
131	TC	203.00	257780.28	368888.82
132	TC	201.80	257788.98	368888.58
133	TC	201.83	257788.88	368888.72
134	TC	202.18	257753.88	368843.28
135	TC	202.88	257738.42	368888.82
136	TC	202.82	257888.88	368888.38
137	FG	202.37	257881.35	368888.28
138	FG	202.58	257878.84	368884.28
139	FG	202.42	257887.85	368888.28
140	SDWK	202.70	257881.88	368870.28
141	SDWK	203.08	257881.78	368888.25
142	FG	203.25	257878.40	368888.81
143	FG	203.78	257887.84	368888.80
144	TC	203.78	257888.88	368888.08
145	TC	203.18	257887.04	368888.14
146	FG	202.87	257887.54	368884.14
147	TC	203.08	257887.08	368888.14
148	TC	202.86	257887.18	368884.30
149	TC	202.80	257881.20	368837.07
150	TC	202.78	257838.98	368843.48
151	TC	202.74	257834.70	368848.03
152	FG	200.88	257753.17	368744.88
153	FG	200.88	257788.17	368748.01
154	TC	201.88	257751.15	368784.48
155	TC	201.58	257780.05	368784.52
156	TC	202.38	257878.81	368838.72
157	TC	202.18	257884.81	368838.84
158	TC	201.85	257737.08	368837.58
159	SDWK	203.20	257748.78	368872.21
160	SDWK	203.13	257784.01	368817.88

POINT TABLE				
POINT #	DESCRIPTION	ELEVATION	NORTHING	EASTING
161	SDWK	203.13	257783.99	368818.88
162	SDWK	203.20	257748.94	368433.88
163	SDWK	203.20	257748.91	368438.85
164	SDWK	203.20	257738.88	368473.38
165	SDWK	203.20	257748.84	368473.28
166	SDWK	203.20	257722.53	368473.11
167	SDWK	203.20	257718.28	368473.08
168	SDWK	203.20	257713.27	368482.58
169	SDWK	203.20	257708.04	368482.35
170	SDWK	203.20	257887.82	368821.58
171	SDWK	203.21	257887.83	368821.55
172	SDWK	203.02	257887.85	368824.83
173	SDWK	203.20	257738.33	368878.12
174	FG	203.20	257883.85	368874.88
175	FG	203.20	257888.58	368882.28
176	FG	202.72	257887.18	368882.23
177	FG	198.44	257878.88	368883.88
178	FG	200.04	257878.44	368833.55
179	FG	198.84	257878.20	368873.55
180	FG	200.04	257877.93	368871.35
181	FG	198.84	257883.20	368873.45
182	FG	200.34	257883.44	368833.45
183	FG	198.74	257883.88	368893.48
184	FG	201.18	257814.20	368873.18

GENERAL LEGEND

- FG FINISHED GRADE
- HP HIGH POINT
- LP LOW POINT
- TC TOP OF CURB
- TS TOP OF SLAB
- ME MATCH EXISTING
- SDWK SIDEWALK



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1074 - WEST DES MOINES, IOWA  
330 JORDAN CREEK PARKWAY  
PAVING GEOMETRICS TABLE

KG PROJECT TEAM:  
ROR:  
SDM:  
CPM:

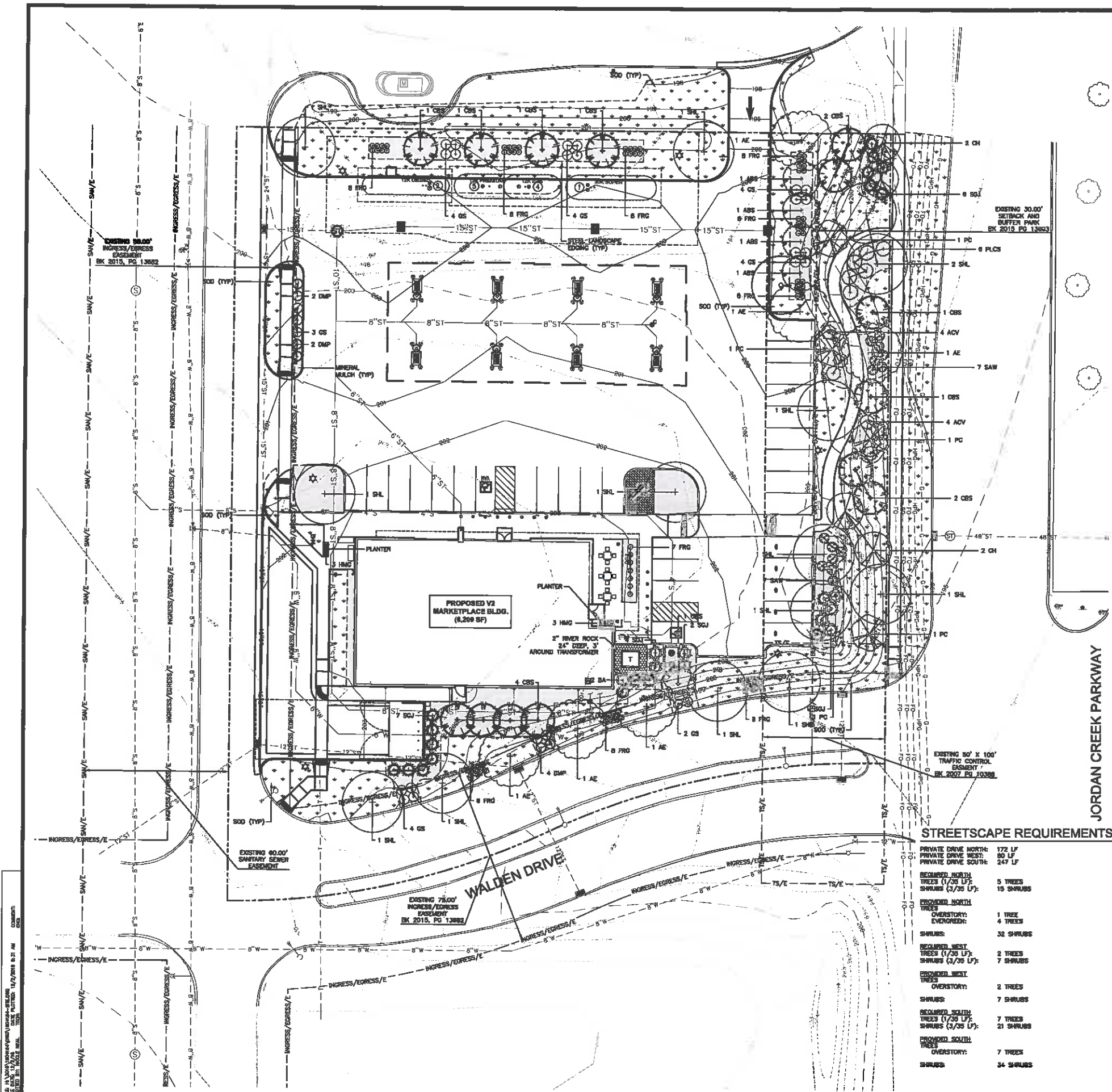
DATE	REVISION DESCRIPTION

DATE 12-01-2016

SHEET NUMBER  
**C4.2**



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DATE: 12/01/2016 10:48 AM  
DRAWN BY: J. W. B. / JWB  
CHECKED BY: J. W. B. / JWB



**LANDSCAPE NOTES**

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK AND 2601.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, HOLES AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE, AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOO ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB, MINERS 1 1/2" FOR SOO, 4" REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. MINERAL MULCH OVER WEED BARRIER SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS.
9. ALL SOO SHALL BE STEEL.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

**OPEN SPACE PLANT SCHEDULE**

Code Name	Common Name	Scientific Name	Planting Size	Quantity
AE	American Elm	Ulmus americana	B&B, 3" CAL	2
ABS	Autumn Brilliance Serviceberry	Malus x grandiflora 'Autumn Brilliance'	B&B, 2" CAL	4
SHL	Shylite Honey Locust	Gleditsia triacanthos var. inermis 'Shylite' (Shylite)	B&B, 2" CAL	1

Code Name	Common Name	Scientific Name	Planting Size	Quantity
CBS	Colorado Blue Spruce	Picea pungens 'Glasco'	B&B, 4" HEIGHT	3

Code Name	Common Name	Scientific Name	Planting Size	Quantity
SOJ	Sea Green Juniper	Juniperus x pfitzeriana 'Sea Green'	CONT, 3 GAL	13
GS	Goldmound Spirea	Spiraea japonica 'Goldmound'	CONT, 3 GAL	8
FRG	Feather Reed Grass	Calamagrostis x canadensis 'Karl Foerster'	CONT, 1 GAL	31
HAG	Heavy Metal Blue Switch Grass	Panicum virgatum 'Heavy Metal'	CONT, 1 GAL	8
BA	Brandon Arborvitae	Thuja occidentalis 'Brandon'	CONT, 3 GAL	2

**BUFFER PLANT SCHEDULE**

Code Name	Common Name	Scientific Name	Planting Size	Quantity
AE	American Elm	Ulmus americana	B&B, 2" CAL	1
SHL	Shylite Honey Locust	Gleditsia triacanthos var. inermis 'Shylite' (Shylite)	B&B, 2" CAL	6
PC	Prairie Fire Crabapple	Malus 'Prairie Fire'	B&B, 1.5" CAL	4
CH	Thornless Hawthorn	Crataegus crus-galli var. inermis	B&B, 1.5" CAL	4

Code Name	Common Name	Scientific Name	Planting Size	Quantity
CBS	Colorado Blue Spruce	Picea pungens 'Glasco'	B&B, 4" HEIGHT	6

Code Name	Common Name	Scientific Name	Planting Size	Quantity
SOJ	Sea Green Juniper	Juniperus x pfitzeriana 'Sea Green'	CONT, 3 GAL	12
SAW	Anthony Waterer Spirea	Spiraea x bumalda 'Anthony Waterer'	CONT, 3 GAL	14
ACV	American Cranberry Bush Viburnum	Viburnum opulus var. americanum	CONT, 3 GAL	8
PLSC	Purplish Sand Cherry	Prunus cistena	CONT, 3 GAL	8

**STREETSCAPE PLANT SCHEDULE**

Code Name	Common Name	Scientific Name	Planting Size	Quantity
AE	American Elm	Ulmus americana	B&B, 2" CAL	3
SHL	Shylite Honey Locust	Gleditsia triacanthos var. inermis 'Shylite' (Shylite)	B&B, 2" CAL	7

Code Name	Common Name	Scientific Name	Planting Size	Quantity
CBS	Colorado Blue Spruce	Picea pungens 'Glasco'	B&B, 4" HEIGHT	4

Code Name	Common Name	Scientific Name	Planting Size	Quantity
GS	Goldmound Spirea	Spiraea japonica 'Goldmound'	CONT, 3 GAL	17
FRG	Feather Reed Grass	Calamagrostis x canadensis 'Karl Foerster'	CONT, 1 GAL	48
DMP	Dwarf Mugo Pine	Picea mugo var. pumilio	CONT, 3 GAL	8

**OPEN SPACE REQUIREMENTS**

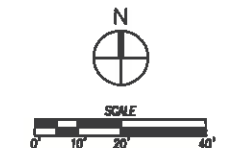
SITE:	78,384 SF (1.80 ACRES)
REQUIRED OPEN SPACE:	15,478 SF (20%)
PROVIDED OPEN SPACE:	28,114 SF (33%)
REQUIRED TREES (2/3,000 SF):	11 TREES
SHRUBS (2/3,000 SF):	18 SHRUBS
PROVIDED TREES:	
3" CALIPER TREE:	2 TREES
2" CALIPER TREE:	4 TREES
6" TALL EVERGREEN:	5 TREES
SHRUBS:	46 SHRUBS
SOO:	15,407 SF

**STREETSCAPE REQUIREMENTS**

PRIVATE DRIVE NORTH:	172 LF
PRIVATE DRIVE WEST:	80 LF
PRIVATE DRIVE SOUTH:	247 LF
REQUIRED NORTH TREES (1/35 LF):	5 TREES
SHRUBS (2/35 LF):	15 SHRUBS
PROVIDED NORTH TREES:	
OVERSTORY:	1 TREE
EVERGREEN:	4 TREES
SHRUBS:	32 SHRUBS
REQUIRED WEST TREES (1/35 LF):	2 TREES
SHRUBS (2/35 LF):	7 SHRUBS
PROVIDED WEST TREES:	
OVERSTORY:	2 TREES
SHRUBS:	7 SHRUBS
REQUIRED SOUTH TREES (1/35 LF):	7 TREES
SHRUBS (2/35 LF):	21 SHRUBS
PROVIDED SOUTH TREES:	
OVERSTORY:	7 TREES
SHRUBS:	34 SHRUBS

**BUFFER REQUIREMENTS**

BUFFER LENGTH:	229 LF
REQUIRED TREES:	
OVERSTORY (1/35 LF):	7 TREES
ORNAMENTAL (2/35 LF):	14 TREES
SHRUBS (8/35 LF):	40 SHRUBS
PROVIDED TREES:	
OVERSTORY:	7 TREES
ORNAMENTAL:	8 TREES
EVERGREEN:	6 TREES
SHRUBS:	40 SHRUBS



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1074 - WEST DES MOINES, IOWA  
330 JORDAN CREEK PARKWAY  
LANDSCAPE PLAN

KG PROJECT TEAM  
ROR:  
SCM:  
CPM:

DATE	REVISION DESCRIPTION

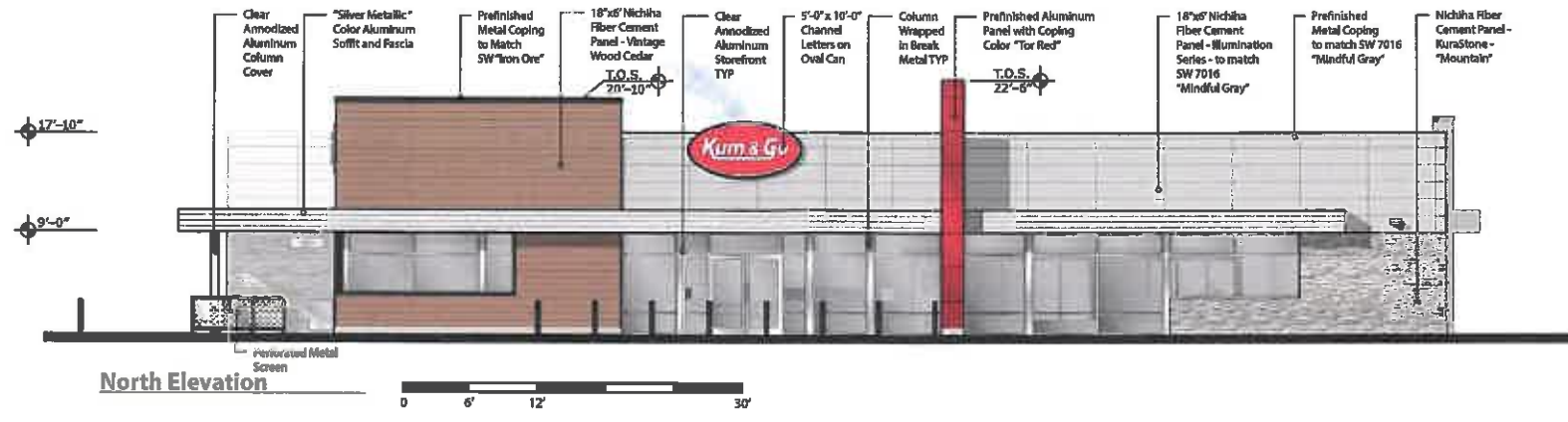
DATE: 12-01-2016

SHEET NUMBER: L1.1

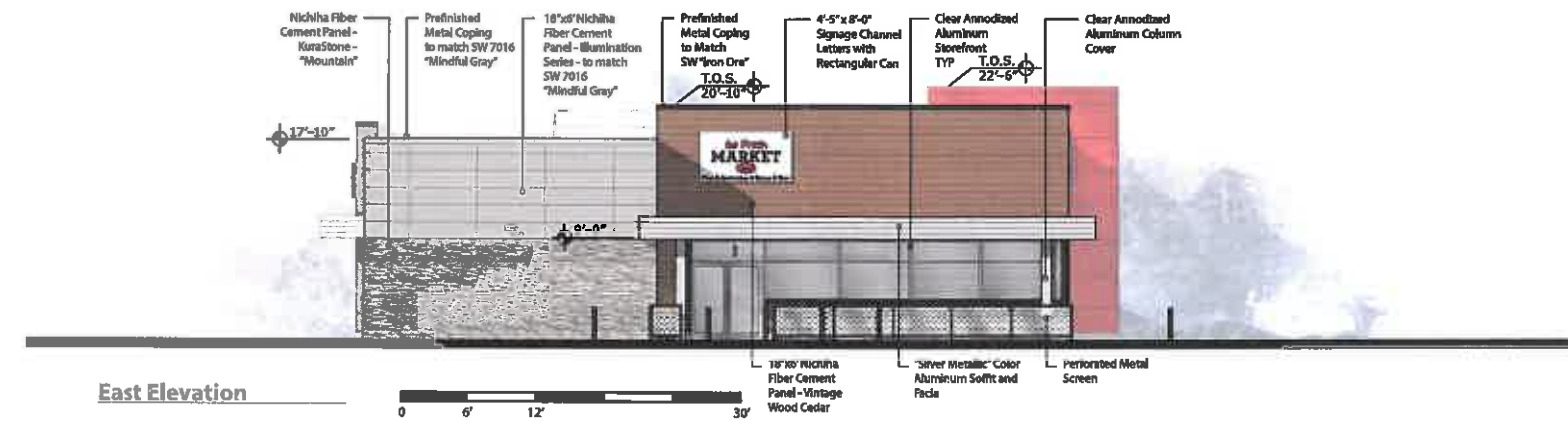


**Proposed Building Signage**

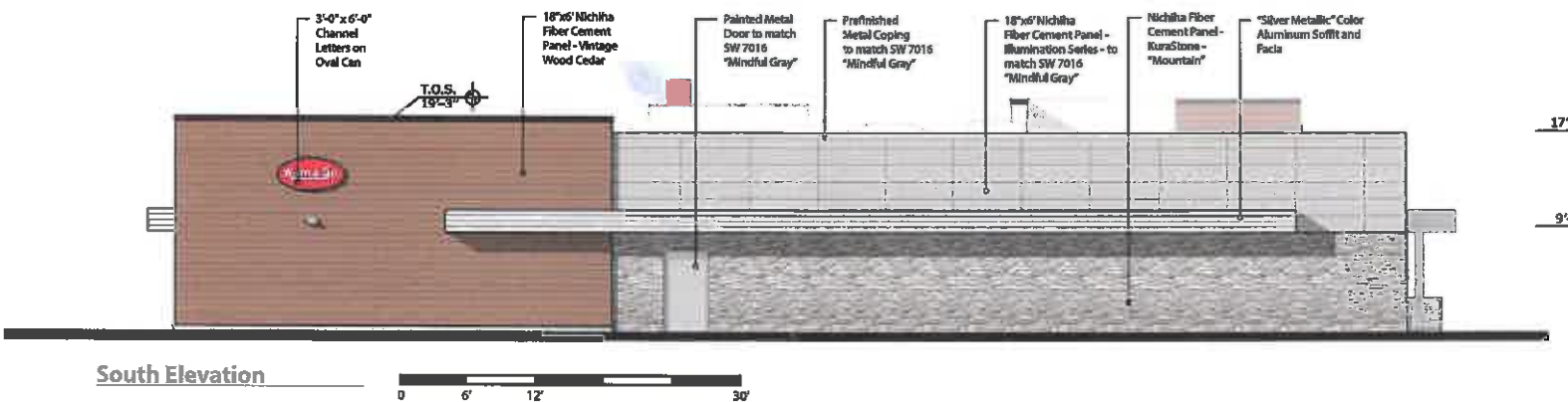
Location	Sign	Size	Area
North Elevation	"Kum & Go" Sign	5' x 10'	50 SF
East Elevation	"Go Fresh Market" Sign	4.44' x 8' 1.8 Ratio	35.55 SF
South Elevation	"Kum & Go" Sign	3' x 6'	18 SF
West Elevation	No Signage	—	0 SF
<b>Total</b>			<b>103.55 SF</b>



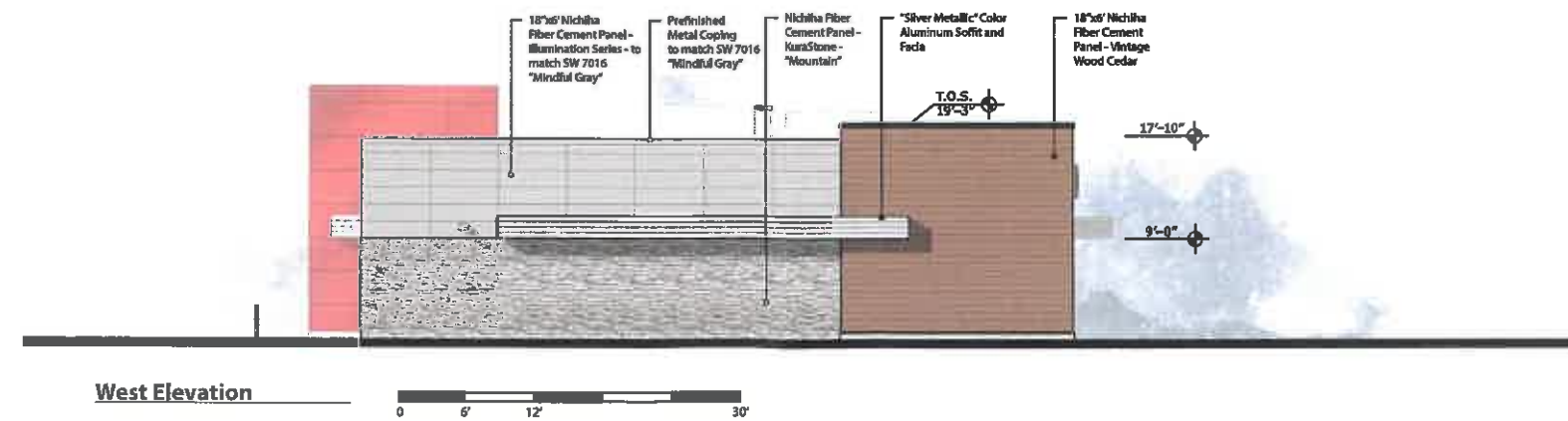
**North Elevation**



**East Elevation**



**South Elevation**



**West Elevation**

Architect of Record  
 B | R | R  
 ARCHITECTURE



8400 Westown Parkway  
 West Des Moines, Iowa  
 50266  
 P: 515-226-0128  
 F: 515-223-9873

#1074 - WEST DES MOINES, IOWA  
 S. JORDAN CREEK PKWY & BRIDGEWOOD BLVD  
 EXTERIOR ELEVATIONS

KG PROJECT TEAM  
 RDM:  
 SONE:  
 CPN:

REVISION DESCRIPTION	DATE

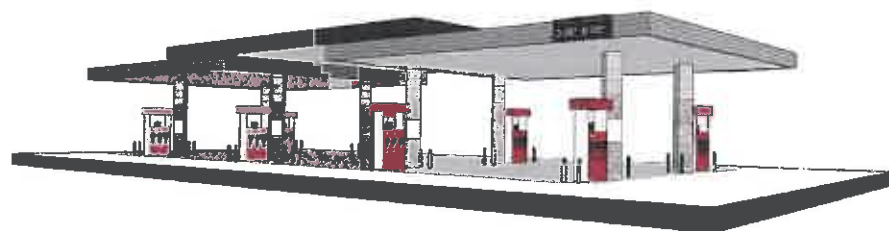
REVISIONS

DATE: 11/21/2016  
 SHEET NUMBER:

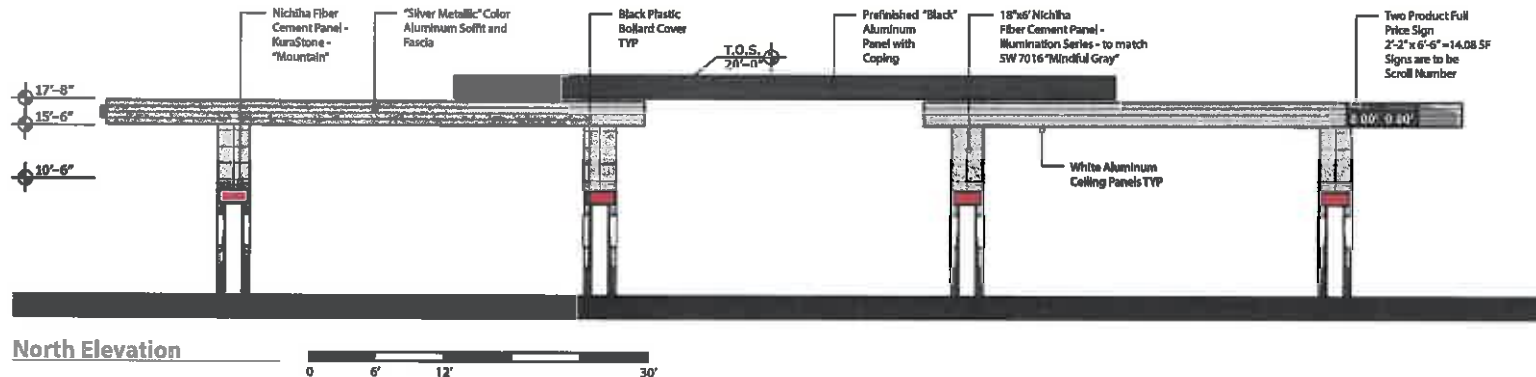


**Proposed Building Signage**

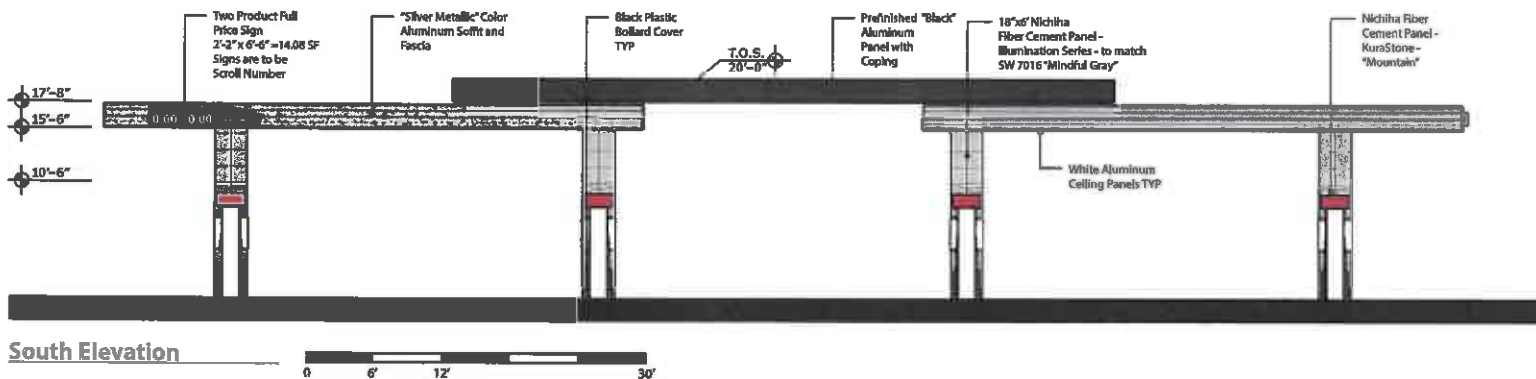
Location	Sign	Size	Area
North	Double Product, Single Face Price Sign, 10" Letter, Scroll Letters E-15 and Super Unleaded for now	2'-2" x 6'-6"	14.08 SF
South	Double Product, Single Face Price Sign, 10" Letter, Scroll Letters E-15 and Super Unleaded for now	2'-2" x 6'-6"	14.08 SF
East	Diesel and E-15 Signage	1'-4" x 4'-2"	4.16 SF
West	No Signage	-	0 SF
<b>Total</b>			<b>32.32 SF</b>



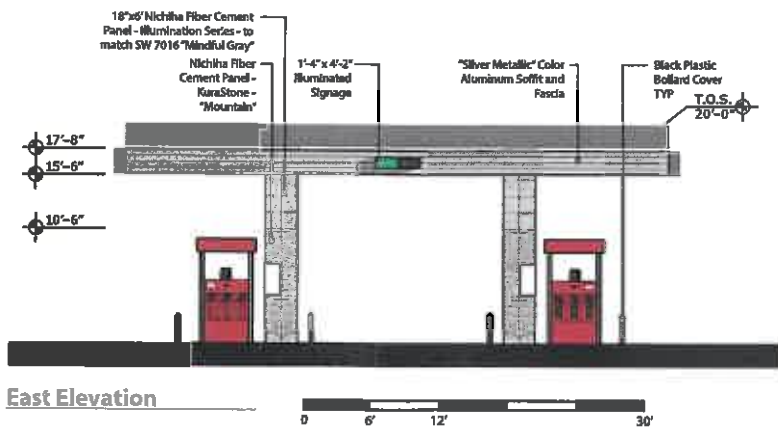
Canopy Perspective



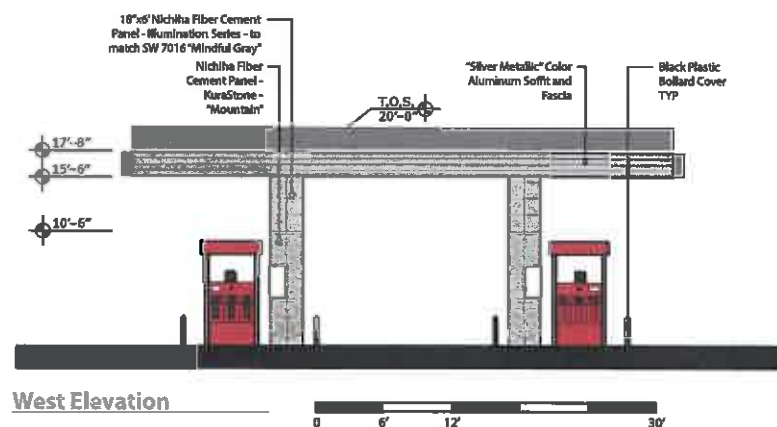
North Elevation



South Elevation



East Elevation



West Elevation

Architect of Record  
 B|R|R  
 architects

SEAL



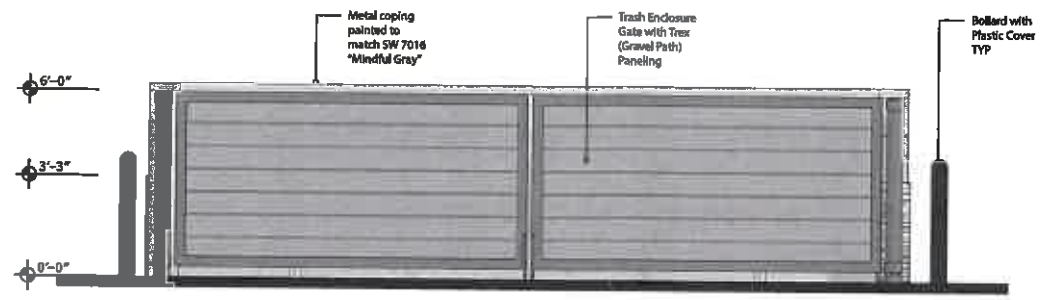
8400 Westown Parkway  
 West Des Moines, Iowa  
 50266  
 P: 515-228-0128  
 F: 515-223-9873

#1074 - WEST DES MOINES, IOWA  
 S. JORDAN CREEK PKWY & BRIDGEWOOD BLVD  
 CANOPY ELEVATIONS

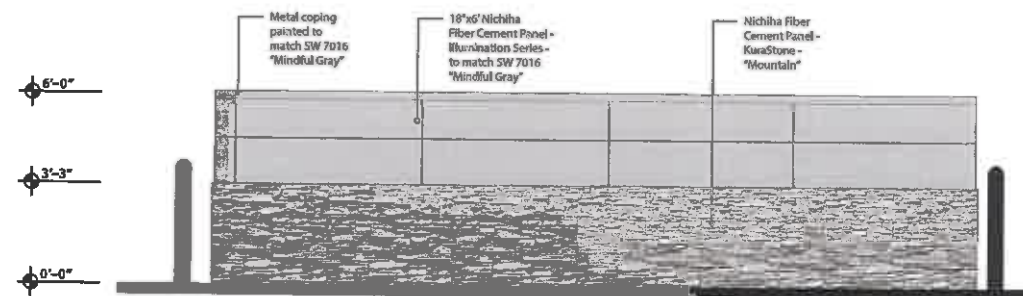
KG PROJECT TEAM:  
 RM:  
 SD:  
 OP:

DATE	REVISION DESCRIPTION	REVISIONS

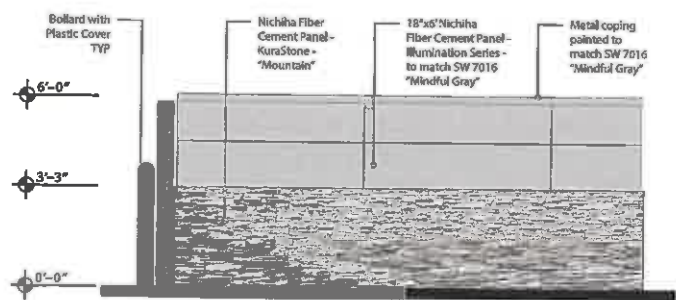
DATE: 11/21/2016  
 SHEET NUMBER:



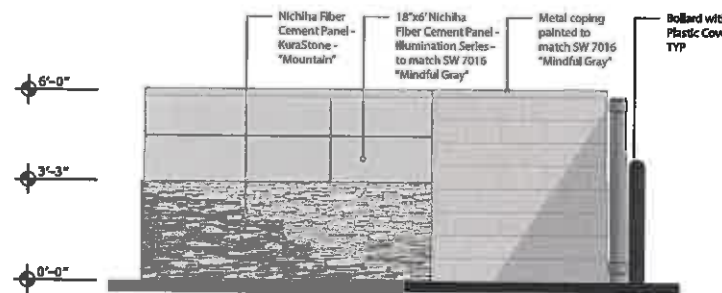
West Elevation



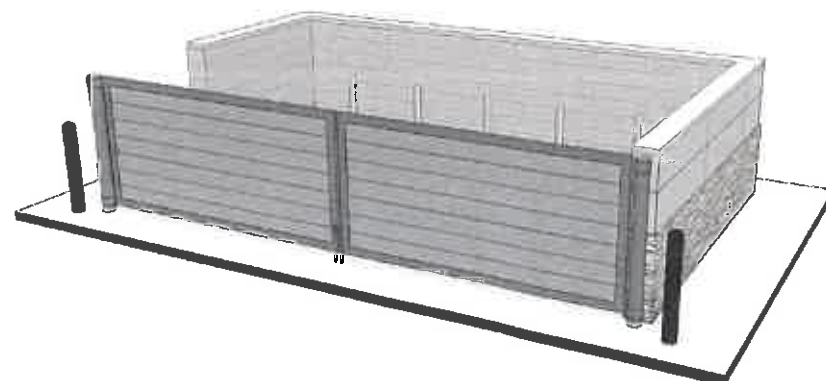
East Elevation



North Elevation



South Elevation



Perspective  
Not To Scale

BIR  
 ARCHITECTURE  
 8400 Westown Parkway  
 West Des Moines, Iowa  
 50266  
 P: 515-226-0128  
 F: 515-223-8873

SEAL



8400 Westown Parkway  
 West Des Moines, Iowa  
 50266  
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 F: 515-223-8873

#1074 - WEST DES MOINES, IOWA  
 S. JORDAN CREEK PKWY & BRIDGEWOOD BLVD  
 TRASH ENCLOSURE ELEVATIONS

KG PROJECT TEAM  
 RDM  
 SOM  
 CPM

REVISION DESCRIPTION	DATE	BY

DATE: 11/21/2016

SHEET NUMBER: