

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: February 27, 2017

Item: Park 88, Northeast corner of EP True Parkway and 88th Street – Approval of a Preliminary Plat and Site Plan for high density residential development – F & S Associates – PP-003187-2016/SP-003188-2016

Requested Action: Approval of Preliminary Plat and Site Plan

Case Advisor: Brian S. Portz, AICP 

Applicant's Request: The applicant, C. R. Lloyd Associates, Inc., in association with the property owner, F & S Associates, is requesting approval of a Preliminary Plat and Site Plan for that approximately 22 acre parcel located at the northeast corner of EP True Parkway and 88th Street. The applicant proposes to subdivide the property into two lots and two street lots for high density residential development. The southern lot is proposed to be developed into an apartment building with 111 units and four townhome buildings with 12 units each for a total of 159 dwelling units on the site.

History: The property was annexed into the City in 1993 as a part of the Jordan Creek West Annexation. In 2013, the land use designation on the property was changed from Neighborhood Commercial (NC) to High Density Residential (HD) and consistency zoned to Residential High Density (RH-18) with a maximum of 18 dwelling units per acre permitted.

City Council Subcommittee: This item was not presented to the Development and Planning City Council Subcommittee because the last two subcommittee meetings were cancelled and therefore this item was not able to be scheduled as an 'Upcoming Project' informational item.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff notes the following:

- **Preliminary Plat:** The proposed preliminary plat will subdivide the property into two lots with the extension of Cody Drive splitting the two lots. The Park 88 site plan will encompass the south lot, while the north lot will be reserved for future residential development. The alignment of Cody Drive is being coordinated with the Della Vita residential project on the west side of 88th Street. As a part of this project, the applicant will be constructing 1 ½ lanes of 88th Street that is located adjacent to the site. The applicant is working with the Della Vita developer to construct their half of 88th Street with the Della Vita developer constructing their half, for a total of 3 paved lanes of 88th Street.
- **Architecture:** Staff still is working with the applicant's architectural representative on minor comments regarding the building design. Staff generally is supportive of the architecture presented (see Attachment D – Architectural Elevations), but would like to continue to work with the applicant and their representative on such things as materials and minor details.
- **Parkland Dedication:** The applicant is proposing an open space area on the south side of the 4 story apartment building that will include a pickle ball court, a playground and a pergola. These amenities will satisfy a portion of the parkland dedication requirements for the site. In addition, the applicant will be constructing trails within the right-of-way adjacent to their site. The specific parkland dedication requirements will be outlined in a Parkland Dedication Agreement that will be required with the final platting of the property.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendation And Conditions Of Approval: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Preliminary Plat to create 2 lots and 2 street lots and approve a site plan for a 159 unit multi-family residential development, subject to the applicant meeting all City Code requirements and the following:

1. Applicant shall continue to work with staff to address outstanding architecture comments. Revised building elevations addressing the outstanding comments shall be provided prior to release of a final plat.
2. Prior to issuance of a final occupancy permit for the associated building, ground and wall mounted utilities/mechanical units shall be screened from view with landscaping or fencing/walls to staff's satisfaction.
3. A Parkland Dedication Agreement acceptable to the City of West Des Moines, detailing the specifics relating to all parkland dedication requirements and/or recreation based improvements that are required of the developer(s) as a result of the Park 88 development shall be executed and recorded with the Park 88 Final Plat.
4. Applicant acknowledging that the associated Final plat must be approved and released for recordation by the City and recorded with the County prior to the issuance of any building permits, including footing and foundation permits for any lot within the plat;
5. The applicant acknowledging that prior to Final Plat proceeding to City Council for approval, applicant will need to complete the following public improvements, or petition to the City Council to provide surety in lieu of completion and acceptance of the following public improvements:
 - a. Construction of Cody Drive
 - b. Construction of 1 ½ lanes of 88th Street
 - c. Pubic sanitary sewer
 - d. Public sidewalks; and,
6. The applicant obtaining approval of Public Improvement Construction Plans for all public improvements prior to their construction. Furthermore, the applicant acknowledging that all public improvements must be completed and accepted by the City prior to issuance of any occupancy permits, including temporary occupancy permits for any building within the plat; and,
7. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed prior the final plat proceeding to the City Council for approval. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The as-

built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building on any parcel created with this plat.

Owner: F & S Associates
1709 S. 42nd Street
West Des Moines, IA 50265

Applicant: C. R. Lloyd Associates, Inc.
Erica Beck
101 S. Reid Street, Suite 201
Sioux Falls, SD 57103
605-275-4252
erica@lloydcompanies.com

Applicant Rep: Civil Design Advantage, L.L.C.
Emily Harding
3405 SE Crossroads Drive, Suite G
Grimes IA 50111
515-369-4400
emilyh@cda-eng.com

ATTACHMENTS:

Attachment A	-	Plan and Zoning Commission Resolution
Exhibit A	-	Conditions of Approval
Attachment B	-	Location Map
Attachment C	-	Preliminary Plat/Site Plan
Attachment D	-	Architectural Elevations

RESOLUTION NO. PZC

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A PRELIMINARY PLAT TO SUBDIVIDE PROPERTY INTO 2 LOTS AND 2 STREET LOTS AND APPROVE A SITE PLAN FOR A 159 UNIT MULTI-FAMILY DEVELOPMENT

WHEREAS, pursuant to the provisions of Title 10 and Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, C. R. Lloyd Associates, Inc., in association with the property owner, F & S Associates, has requested approval for a Preliminary Plat (PP-003187-2016) to create two (2) lots and two (2) street lots and has requested approval of a Site Plan (SP-003188-2016) for a 159 unit multi-family residential development for that approximately 22 acre site located at the northeast corner of EP True Parkway and 88th Street;

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, on February 27, 2017, this Commission held a duly-noticed public meeting to consider the application for a Preliminary Plat (PP-003187-2016) and for a Site Plan (SP-003187-2016);

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report, February 27, 2017, or as amended orally at the Plan and Zoning Commission meeting of February 27, 2017, are adopted.

SECTION 2. Preliminary Plat (PP-003187-2016) to create two (2) lots and two (2) street lots and Site Plan (SP-003187-2016) for a 159 unit multi-family residential development, are recommended to the City Council for approval, subject to compliance with all the conditions in the staff report, dated February 27, 2017, including conditions added at the meeting, and attached hereto as Exhibit "A." Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on February 27, 2017.

Craig Erickson, Chairperson
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on February 27, 2017, by the following vote:

AYES:
NAYS:
ABSTENTIONS:
ABSENT:

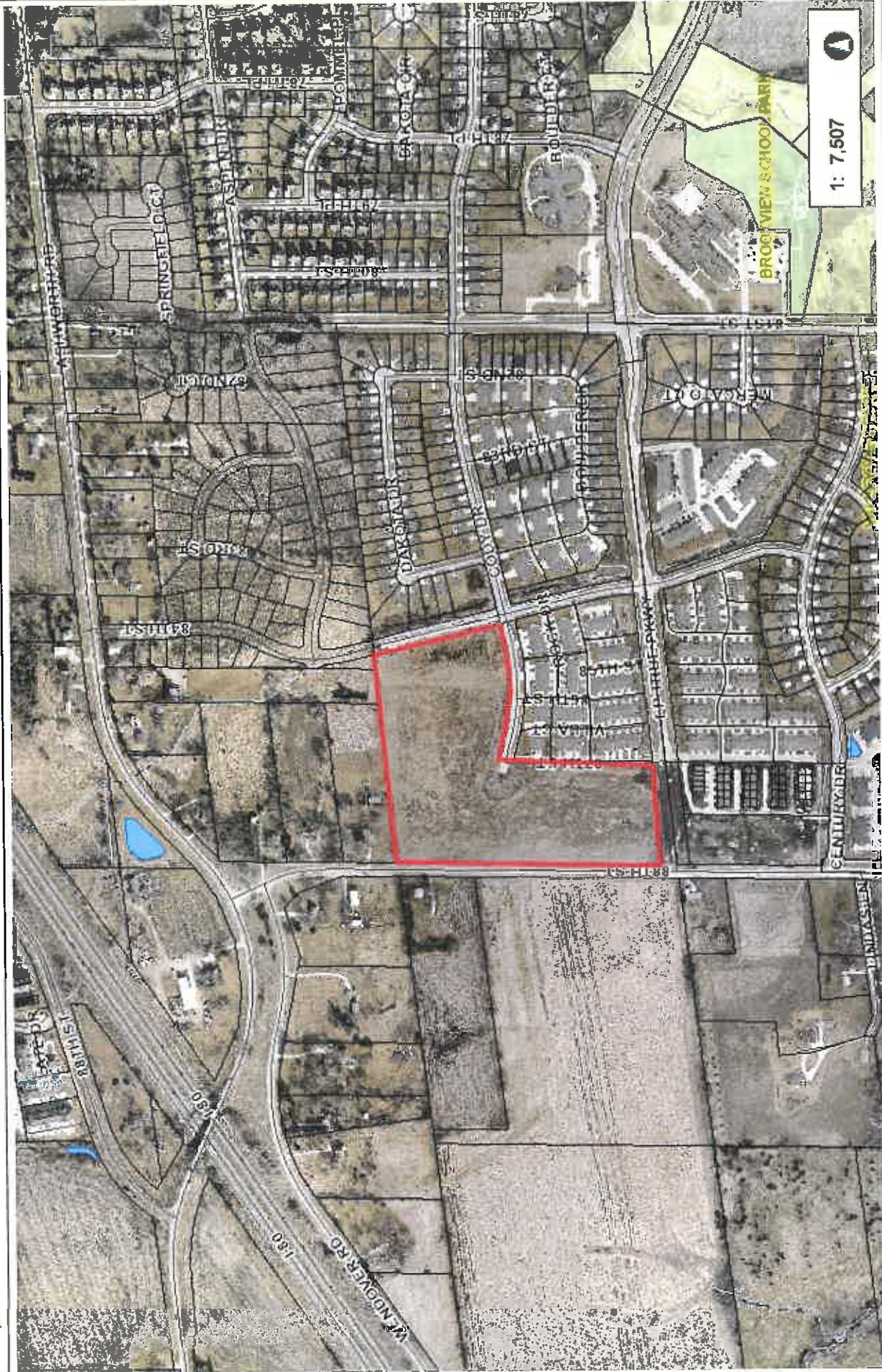
ATTEST:

Recording Secretary

Exhibit A
CONDITIONS OF APPROVAL

1. Applicant shall continue to work with staff to address outstanding architecture comments. Revised building elevations addressing the outstanding comments shall be provided prior to release of a final plat.
2. Prior to issuance of a final occupancy permit for the associated building, ground and wall mounted utilities/mechanical units shall be screened from view with landscaping or fencing/walls.
3. A Parkland Dedication Agreement acceptable to the City of West Des Moines, detailing the specifics relating to all parkland dedication requirements and/or recreation based improvements that are required of the developer(s) as a result of the Park 88 development shall be executed and recorded with the Park 88 Final Plat.
4. Applicant acknowledging that the associated Final plat must be approved and released for recordation by the City and recorded with the County prior to the issuance of any building permits, including footing and foundation permits for any lot within the plat;
5. The applicant acknowledging that prior to Final Plat proceeding to City Council for approval, applicant will need to complete the following public improvements, or petition to the City Council to provide surety in lieu of completion and acceptance of the following public improvements:
 - a. Construction of Cody Drive
 - b. Construction of 1 ½ lanes of 88th Street
 - c. Public sanitary sewer
 - d. Public sidewalks; and,
6. The applicant obtaining approval of Public Improvement Construction Plans for all public improvements prior to their construction. Furthermore, the applicant acknowledging that all public improvements must be completed and accepted by the City prior to issuance of any occupancy permits, including temporary occupancy permits for any building within the plat; and,
7. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed prior the final plat proceeding to the City Council for approval. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to be signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The as-built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building on any parcel created with this plat.

Park 88



1,251.2 0 625.61 1,251.2 Feet

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

NAD_1983_StatePlane_Iowa_South_FIPS_1402_Feet
 © City of West Des Moines, Iowa

SITE PLAN & PRELIMINARY PLAT FOR: PARK 88

WEST DES MOINES, IOWA

VICINITY MAP

NOT TO SCALE



OWNER

F & S ASSOCIATES
1709 S. 3RD STREET
WEST DES MOINES, IA 50265

APPLICANT

LLOYD COMPANIES
CONTACT: WADE BEHM
101 S. RED STREET, SUITE 201
SIOUX FALLS, SD 57103
PH. (605) 275-4281

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: EMILY HARDING
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: MIKE BROOKER
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

ARCHITECT

VANDEWALLE ARCHITECTS LLC
CONTACT: TRAVIS STUNTEBECK
212 S PHILLIPS AVENUE
SIOUX FALLS, SD 57104

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = FEBRUARY 2017
ANTICIPATED FINISH DATE = OCTOBER 2017

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 08/15/16
-SITE PLAN SUBMITTAL TO CITY #2: 10/10/16
-SITE PLAN SUBMITTAL TO CITY #3: 11/16/16
-SITE PLAN SUBMITTAL TO CITY #4: 02/20/17

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

LEGAL DESCRIPTION

THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 78 NORTH, RANGE 28 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA SUBJECT TO ROADWAY EASEMENTS OF RECORD; EXCEPT THE WARRANTY DEED CONVEYED TO WEST DES MOINES FOR RIGHT OF WAY RECORDED IN BOOK 2005 PAGE 21034; AND EXCEPT STONE CREEK VILLAS, AN OFFICIAL PLAT; AND EXCEPT HERITAGE HILLS PLAT 1, AN OFFICIAL PLAT; AND EXCEPT HERITAGE HILLS PLAT 4, AN OFFICIAL PLAT.

COMPREHENSIVE PLAN LAND USE

HIGH DENSITY RESIDENTIAL

PROJECT SITE ADDRESS

88TH STREET AND EP TRUE PARKWAY

DEVELOPMENT SUMMARY

LOT 1 AREA: 7.43 ACRES (323,748 SF)

ZONING: HIGH DENSITY RESIDENTIAL RH-18

SETBACKS:

FRONT: 50'
SIDE: 35' FROM PERIMETER OF DEVELOPMENT

*DECKS, COVERED PORCHES, ETC. HAVE A 35' FRONT YARD SETBACK, 20' REAR YARD SETBACK AND A 5' SIDE YARD SETBACK.

MAXIMUM UNITS: 159 UNITS

18 UNITS PER ACRE (GROSS AREA = 8.84 AC)

48 TOWNHOME-STYLE APARTMENTS

113 APARTMENTS

181 TOTAL UNITS (18.21 UNITS PER ACRE)

THEREFORE, LOT 2 SHALL HAVE 2 UNITS LESS THAN 18 UNITS/AC

IMPERVIOUS AREA = 178,886 SF (55%)

(PAVEMENT: 95,883 SF)

(BUILDING: 66,017 SF)

(SIDEWALK: 17,006 SF)

LOT 2 AREA: 13.10 ACRES (570,528 SF)

ZONING: HIGH DENSITY RESIDENTIAL RH-18

SETBACKS:

FRONT: 50'
SIDE: 35' FROM PERIMETER OF DEVELOPMENT

*DECKS, COVERED PORCHES, ETC. HAVE A 35' FRONT YARD SETBACK, 20' REAR YARD SETBACK AND A 5' SIDE YARD SETBACK.

MAXIMUM FUTURE UNITS: 255 - 2 = 253 UNITS

18 UNITS PER ACRE (GROSS AREA = 14.19 AC)

DATE OF SURVEY

AUGUST, 2016

BENCHMARKS

WEST DES MOINES CITY BM#33, STANDARD BENCHMARK IN THE 700 BLOCK OF 88TH STREET (X AVENUE, DALLAS COUNTY), 100 +/- FEET SOUTH OF ASHWORTH ROAD, 32 FEET WEST OF THE CENTERLINE OF 88TH STREET, 10 FEET SOUTH OF THE FENCE LINE (1/2 SECTION LINE).
ELEVATION=227.48

WEST DES MOINES CITY BM#35, STANDARD BENCHMARK INTERSECTION OF MILLS CIVIC PARKWAY (335TH STREET, DALLAS COUNTY) AND SOUTH 88TH STREET (X AVENUE, DALLAS COUNTY), NORTHEAST CORNER OF INTERSECTION, 206 FEET EAST OF CENTERLINE OF SOUTH 88TH STREET, 49 FEET NORTH OF THE CENTERLINE OF MILLS CIVIC PARKWAY, 2 FEET SOUTH OF THE FENCE LINE.
ELEVATION=219.04

WEST DES MOINES CITY BM#89, STANDARD BENCHMARK INTERSECTION OF WENDOVER ROAD (DALLAS COUNTY) AND WENDOVER LANE, 3 FEET SOUTHWEST OF NORTH FENCE, ON CENTERLINE OF WENDOVER LANE EXTENDED.
ELEVATION=229.39

INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DETAILS
3	SITE LAYOUT
4	DIMENSION PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN

PARKING CALCULATIONS

TOWNHOME-STYLE APARTMENTS:

2 SPACES REQUIRED PER UNIT (48 UNITS)

2-CAR GARAGE UNITS (12 UNITS)
REQUIRED = 24 SPACES

GARAGE SPACES = 24 SPACES
DRIVEWAY SPACES = 24 SPACES
TOTAL PROVIDED = 48 SPACES

1-CAR GARAGE AND UNITS WITHOUT GARAGE (38 UNITS)
REQUIRED = 72 SPACES

GARAGE SPACES = 24 SPACES
DRIVEWAY SPACES = 24 SPACES
SURFACE PARKING = 24 SPACES
TOTAL PROVIDED = 72 SPACES

APARTMENTS:

1.5 SPACES PER EFFICIENCY APARTMENT
43 UNITS = 65 SPACES

2 SPACES PER 1-2 BEDROOM UNITS
66 UNITS = 132 SPACES

2.5 SPACES PER 3+ BEDROOM UNITS
4 UNITS = 10 SPACES

TOTAL REQUIRED = 207 SPACES

UNDERGROUND GARAGE = 71 SPACES
SURFACE PARKING = 136 SPACES
TOTAL PROVIDED = 207 SPACES

COMMUNITY / FITNESS CENTER / OFFICES:

1 SPACE PER 50 SF OF G.F.A. EXERCISE (682 SF) = NONE REQUIRED (RESIDENT USE ONLY)

1 SPACE PER 50 SF OF G.F.A. COMMUNITY SPACE (1,447 SF) = 29 SPACES

1 SPACE PER 300 SF OF G.F.A. OFFICE (2,408 SF) = 8 SPACES

TOTAL REQUIRED = 37 SPACES
TOTAL PROVIDED = 37 SPACES

GENERAL LEGEND

PROPOSED

PROJECT BOUNDARY	---
LOT LINE	---
SECTION LINE	---
CENTER LINE	---
RIGHT OF WAY	---R/W---
PERMANENT EASEMENT	---P/E---
TEMPORARY EASEMENT	---T/E---
TYPE SW-501 STORM INTAKE	ST-10
TYPE SW-503 STORM INTAKE	ST-10
TYPE SW-505 STORM INTAKE	ST-10
TYPE SW-506 STORM INTAKE	ST-10
TYPE SW-513 STORM INTAKE	ST-10
TYPE SW-401 STORM MANHOLE	ST-10
TYPE SW-402 STORM MANHOLE	ST-10
TYPE SW-301 SANITARY MANHOLE	S-10
STORM/SANITARY CLEANOUT	---
WATER VALVE	W
FIRE HYDRANT ASSEMBLY	HD
SIGN	---
DETECTABLE WARNING PANEL	---
STORM SEWER STRUCTURE NO.	ST-10
STORM SEWER PIPE NO.	L-10
SANITARY SEWER STRUCTURE NO.	S-10
SANITARY SEWER PIPE NO.	P-10
SANITARY SEWER WITH SIZE	8" S
SANITARY SERVICE	---
STORM SEWER	---
STORM SERVICE	ST-ST
WATERMAIN WITH SIZE	8" W
WATER SERVICE	---
SAWCUT (FULL DEPTH)	---
SILT FENCE	---
F.F.E.	---
B.F.E.	---
G.F.E.	---
T.H.P.	---
FINISHED FLOOR ELEVATION	---
BASEMENT FLOOR ELEVATION	---
GARAGE FLOOR ELEVATION	---
TOWNHOME PARKING	---

EXISTING

SANITARY MANHOLE	SM
WATER VALVE BOX	WV
FIRE HYDRANT	HD
WATER CURB STOP	WCS
WELL	W
STORM SEWER MANHOLE	SSM
STORM SEWER SINGLE INTAKE	SSSI
STORM SEWER DOUBLE INTAKE	SSDI
FLARED END SECTION	---
ROOF DRAIN/ DOWNSPOUT	---
DECIDUOUS TREE	D
CONIFEROUS TREE	C
DECIDUOUS SHRUB	D
CONIFEROUS SHRUB	C
ELECTRIC POWER POLE	E
GUY ANCHOR	GA
STREET LIGHT	SL
POWER POLE W/ TRANSFORMER	PT
UTILITY POLE W/ LIGHT	UL
ELECTRIC BOX	EB
ELECTRIC TRANSFORMER	ET
ELECTRIC MANHOLE OR VAULT	EM
TRAFFIC SIGN	---
TELEPHONE JUNCTION BOX	TJB
TELEPHONE MANHOLE/VAULT	TM
TELEPHONE POLE	TP
GAS VALVE BOX	GV
CABLE TV JUNCTION BOX	CTJB
CABLE TV MANHOLE/VAULT	CTM
MAIL BOX	MB
BENCHMARK	BM
SOIL BORING	SB
UNDERGROUND TV CABLE	TV
GAS MAIN	G
FIBER OPTIC	F
UNDERGROUND TELEPHONE	T
OVERHEAD ELECTRIC	OE
UNDERGROUND ELECTRIC	UE
FIELD TILE	---
SANITARY SEWER W/ SIZE	8" S
STORM SEWER W/ SIZE	15" RCP
WATER MAIN W/ SIZE	8" W

NOTES

- EROSION CONTROL MEASURES WILL BE INSTALLED AND MONITORED BY OTHERS.
- UTILITIES TO BE INSTALLED PER SUDAS SPECIFICATIONS.
- ALL CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND DSM METRO DESIGN STANDARDS.
- CONTACT WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
- ALL SIDEWALK CROSS SLOPES SHALL NOT EXCEED 1.5%.
- CONSTRUCTION CANNOT BEGIN ON THIS PROPERTY UNTIL A FINAL PLAT HAS BEEN REVIEWED AND APPROVED BY THE CITY COUNCIL.
- ALL LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5%.
- PRIVATE STREETS AND UTILITIES SHALL BE MAINTAINED BY THE OWNER, TO INCLUDE:
 - DETENTION POND AND APPURTENANCES
 - PRIVATE STORM SEWER
 - PRIVATE WATER MAIN AND SERVICES
 - PRIVATE SANITARY SEWER
 - ALL INTERNAL CIRCULATION ROADS
- PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.

REFER TO ALLENDER BUTZKE GEOTECHNICAL EXPLORATION REPORT, PN 161356, DATED AUGUST 12, 2016, FOR GEOTECHNICAL REQUIREMENTS.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF WEST DES MOINES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, THE 1993 DES MOINES METRO DESIGN STANDARDS WITH THE WEST DES MOINES ADDENDA, AND THE WEST DES MOINES WATER WORKS GENERAL SUPPLEMENTAL SPECIFICATIONS FOR WATER INFRASTRUCTURE SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

EMILY N. HARDING, P.E. DATE

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017
PAGES OR SHEETS COVERED BY THIS SEAL:
1-5

PRELIMINARY

CD A

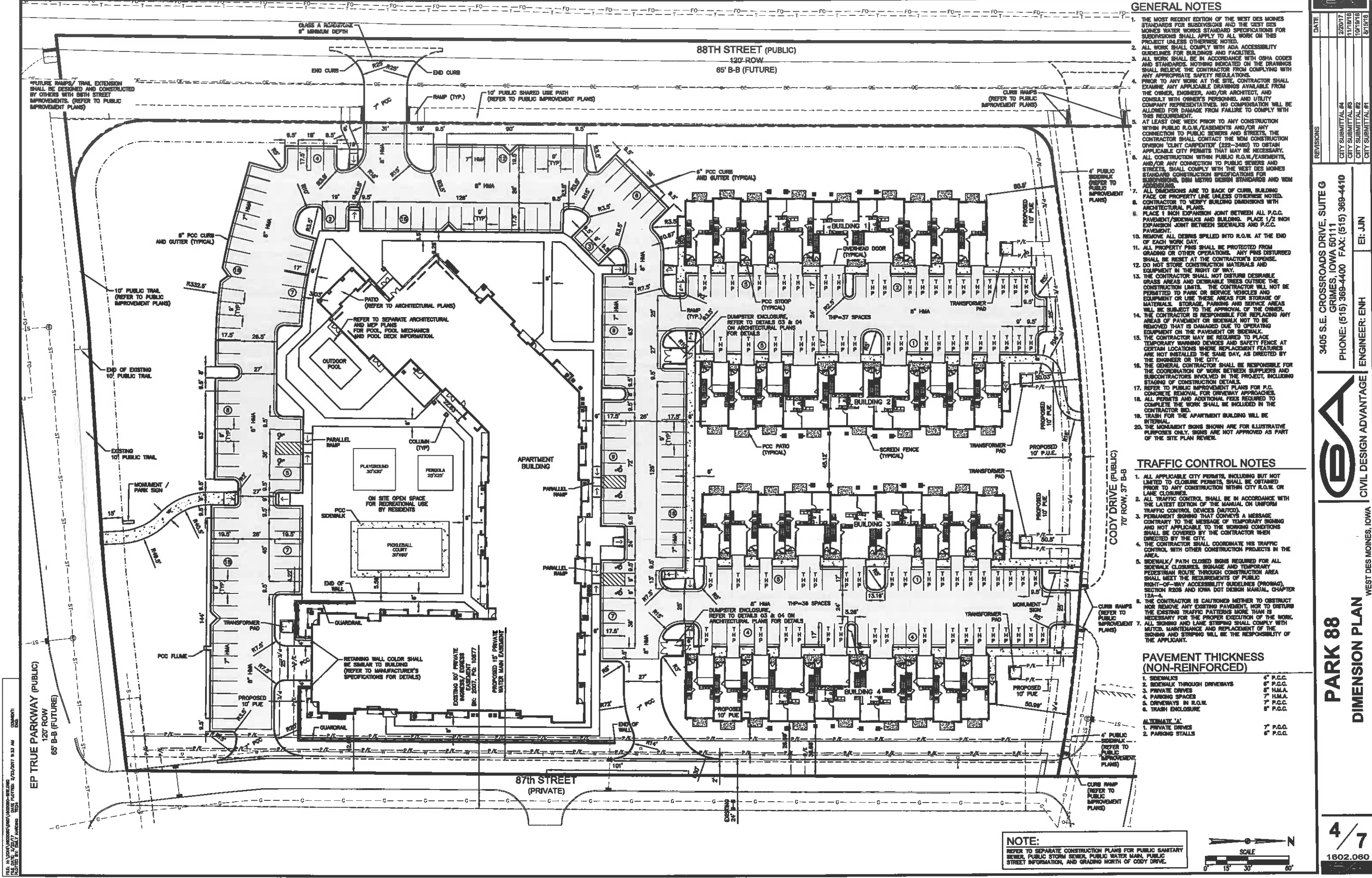
CIVIL DESIGN ADVANTAGE

3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 1602.060

IOWA ONE CALL

1-800-292-8989
www.iowaonecall.com





- ### GENERAL NOTES
1. THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS AND THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
 2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
 4. PRIOR TO ANY WORK AT THE SITE, THE CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
 5. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE IOWA CONSTRUCTION DIVISION 'CLINT CARPENTER' (222-3480) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
 6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DEEM METRO DESIGN STANDARDS AND WDM ANY.
 7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
 8. PLACE 1 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
 9. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
 10. ALL PROPERTY LINES SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
 11. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
 12. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE TREES AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS, STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
 13. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
 14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
 15. REFER TO PUBLIC IMPROVEMENT PLANS FOR P.C. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES.
 16. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
 17. TRASH FOR THE APARTMENT BUILDING WILL BE REMOVED.
 18. THE MONUMENT SIGNS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. SIGNS ARE NOT APPROVED AS PART OF THE SITE PLAN REVIEW.

- ### TRAFFIC CONTROL NOTES
1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
 2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
 4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
 5. SIDEWALK / PATH CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. STORAGE AND TEMPORARY PEDESTRIAN ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 123-A.
 6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
 7. ALL SIGNING AND LANE STRIPING SHALL COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

PAVEMENT THICKNESS (NON-REINFORCED)

1. SIDEWALKS	4" P.C.C.
2. SIDEWALK THROUGH DRIVEWAYS	6" P.C.C.
3. PRIVATE DRIVES	6" H.M.A.
4. PARKING SPACES	7" H.M.A.
5. DRIVEWAYS IN R.O.W.	7" P.C.C.
6. TRASH ENCLOSURE	6" P.C.C.

ALTERNATE 'A'

1. PRIVATE DRIVES	7" P.C.C.
2. PARKING STALLS	6" P.C.C.

NOTE:
REFER TO SEPARATE CONSTRUCTION PLANS FOR PUBLIC SANITARY SEWER, PUBLIC STORM SEWER, PUBLIC WATER MAIN, PUBLIC STREET INFORMATION, AND GRADING NORTH OF CODY DRIVE.

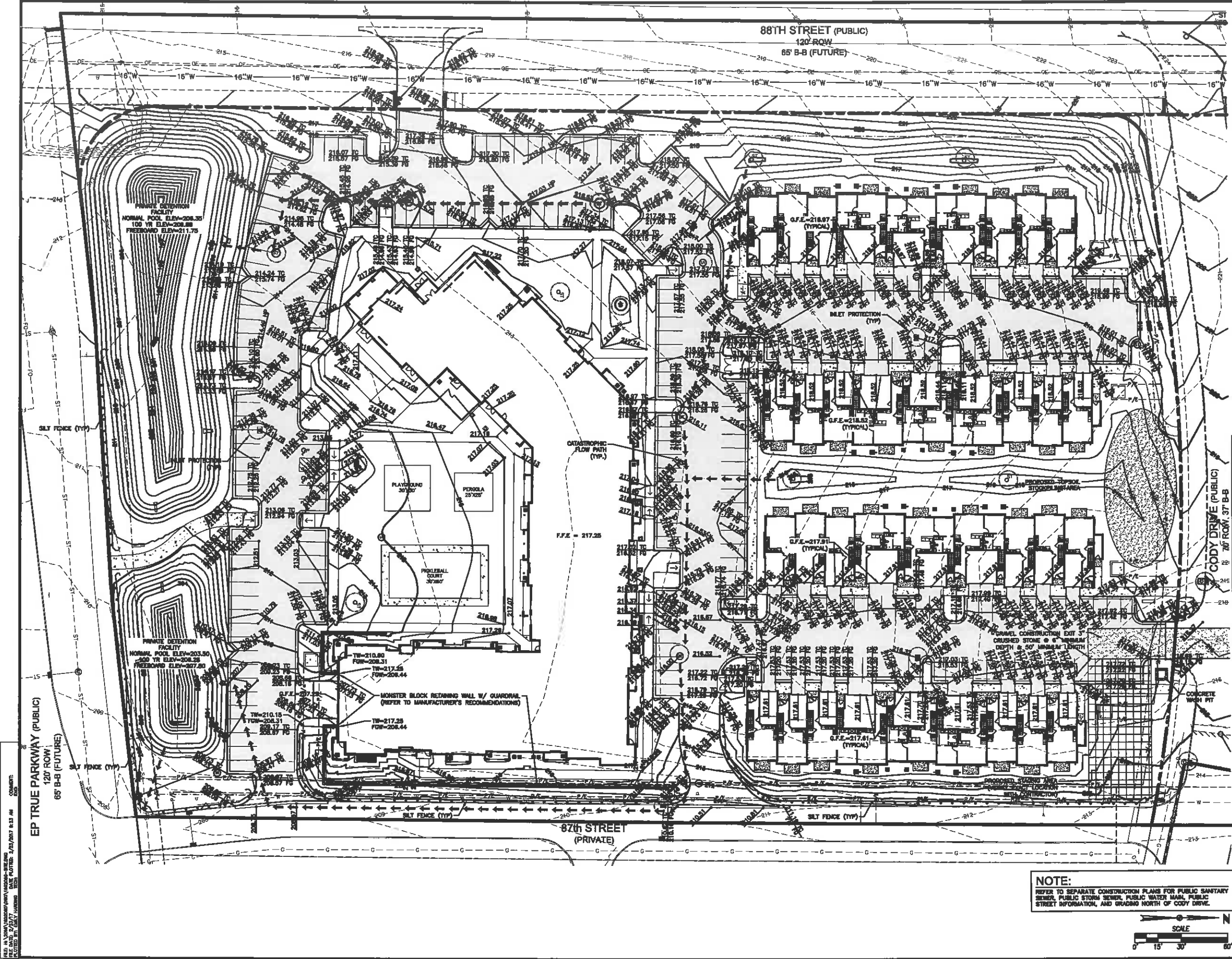


DATE	2/20/17
REVISIONS	
CITY SUBMITTAL #1	11/16/16
CITY SUBMITTAL #2	10/19/16
CITY SUBMITTAL #3	8/15/16

3405 S.E. CROSSROADS DRIVE, SUITE G
 WEST DES MOINES, IOWA
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: ENH
 EI: JUN

PARK 88
DIMENSION PLAN

1602.060

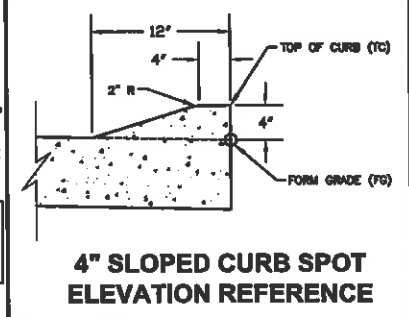
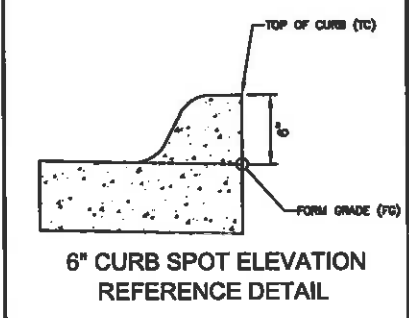
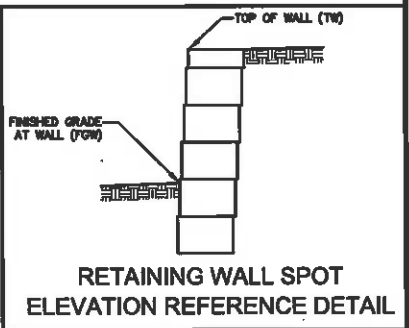


GRADING NOTES

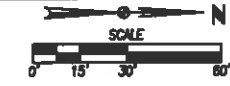
1. PRIOR TO ANY GRADING ON SITE TAKES PLACE, A COPY OF THE NOTES PERMIT, AUTHORIZED BY THE IOWA DNR, SHALL BE PROVIDED TO THE CITY CHIEF BUILDING INSPECTOR. RVANDEKRENNHDM@IA.COM OR FAX 515-273-0802.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND REUSED AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
4. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP-OF-CURB (TC) UNLESS OTHERWISE NOTED.
5. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
6. ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 2.00%.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND CASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY EROSION CONTROL TO THE CONSTRUCTION AREA AND HAIL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FRESH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN A 5.0% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 1.5% TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE, DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE SET-BOTTOM PONDS SHALL HAVE A 1-FOOT THICK CLAY LINER. REFER TO THE GEOTECHNICAL REPORT FOR MORE INFORMATION.
14. CONTACT PERSON RESPONSIBLE FOR ENSURING MUD AND ROCK ARE CLEANED OFF THE STREETS AND FOR INSTALLATION, PERIODIC CHECKING, AND REINSTALLATION OF EROSION CONTROL MEASURES IS: CORY GARDNER, PH: (565) 275-3183.
15. CONTRACTOR SHALL CONTACT MONSTER BLOCK RETAINING WALL SYSTEMS REPRESENTATIVE FOR RETAINING WALL DESIGN: WWW.MONSTERBLOCK.COM.

LEGEND:

- OVERFLOW ROUTE →→→→→
- F.F.E. = FINISHED FLOOR ELEVATION
- G.F.E. = GARAGE FLOOR ELEVATION AT THE OUTSIDE FACE OF GARAGE DOOR



NOTE:
REFER TO SEPARATE CONSTRUCTION PLANS FOR PUBLIC SANITARY SEWER, PUBLIC STORM SEWER, PUBLIC WATER MAIN, PUBLIC STREET INFORMATION, AND GRADING NORTH OF CODY DRIVE.



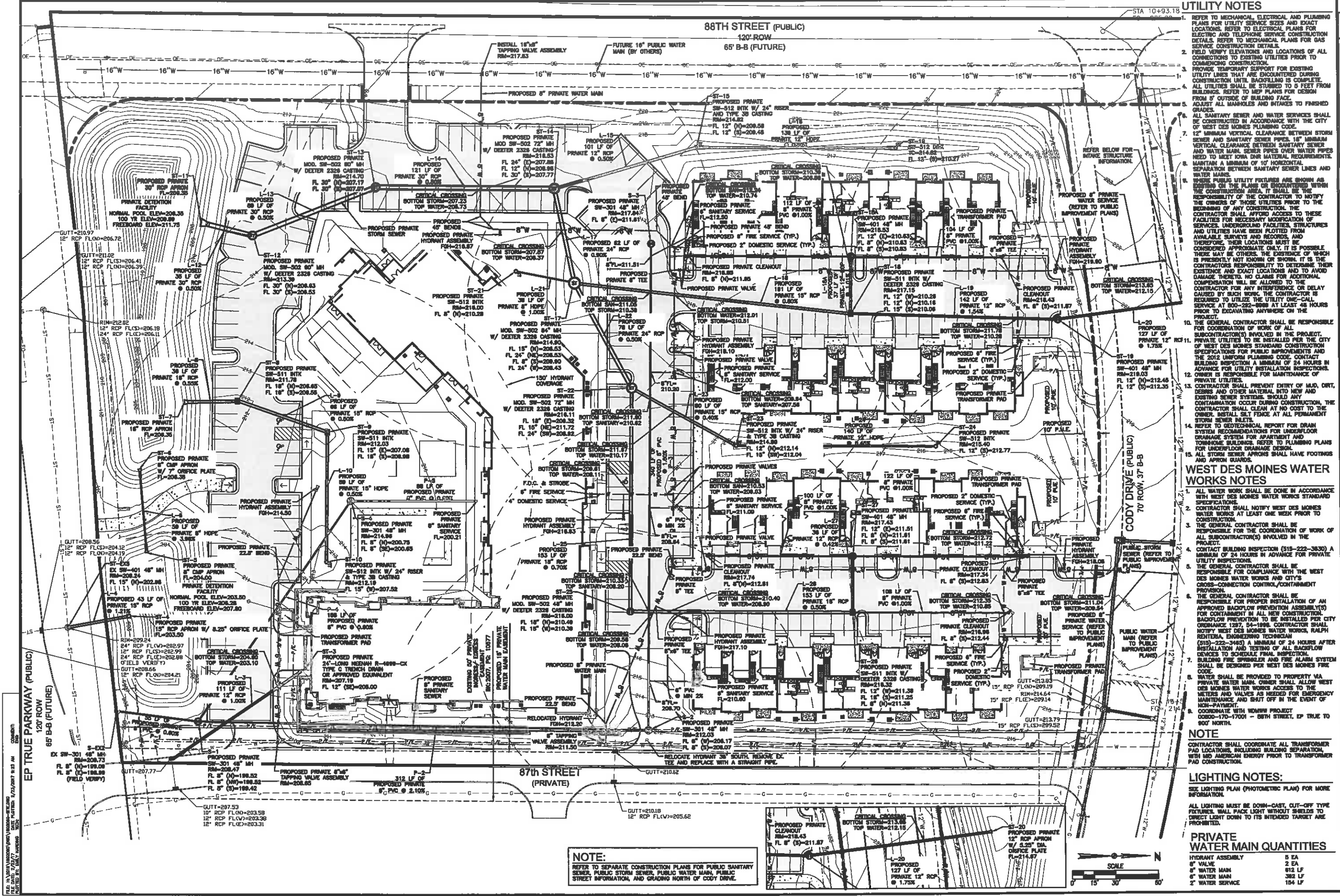
DATE	REVISIONS
2/20/17	CITY SUBMITTAL #4
1/18/18	CITY SUBMITTAL #3
10/18/18	CITY SUBMITTAL #2
8/15/19	CITY SUBMITTAL #1

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: ENH
E.I.: JLN



WEST DES MOINES, IOWA

**PARK 88
GRADING PLAN**



UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND STAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WEST DES MOINES PLUMBING CODE.
- 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN. SEWER PIPES OVER WATER PIPES NEED TO MEET IOWA DNR MATERIAL REQUIREMENTS.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE UTILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESIDENTLY NOT KNOWN OR KNOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-4-A-SHIELD AT LEAST 24 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, OIL, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SET FENCE AT ALL PERMANENT STORM SEWER INLETS.
- REFER TO GEOTECHNICAL REPORT FOR DRAIN SYSTEM RECOMMENDATIONS FOR UNDERFLOOR DRAINAGE SYSTEM FOR APARTMENT AND TOWNHOME BUILDINGS. REFER TO PLUMBING PLANS FOR UNDERFLOOR DRAINAGE DESIGN.
- ALL STORM SEWER APPROX SHALL HAVE FOOTINGS AND APRON SLABS.

WEST DES MOINES WATER WORKS NOTES

- ALL WATER WORK SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION (515-222-3830) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND CITY'S CROSS-CONNECTION CONTROL/CONTAMINATION PREVENTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(S) FOR CONTAMINANT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH HENTZEL, ENGINEERING TECHNICIAN (515-222-3485) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION. BUILDING FIRE SPRINKLER AND FIRE ALARM SYSTEM SHALL BE DESIGNED PER WEST DES MOINES FIRE CODE.
- WATER SHALL BE PROVIDED TO PROPERTY VIA PRIVATE WATER MAIN. OWNER SHALL ALLOW WEST DES MOINES WATER WORKS ACCESS TO THE METERS AND VALVES AS NEEDED FOR EMERGENCY MAINTENANCE OR SHUT OFF IN THE EVENT OF NON-PAYMENT.
- COORDINATE WITH WDMWP PROJECT 0000-170-1700 - 8TH STREET, EP TRUE TO 900' NORTH.

NOTE

CONTRACTOR SHALL COORDINATE ALL TRANSFORMER PAD LOCATIONS, INCLUDING BUILDING SEPARATION, WITH MID AMERICAN ENERGY PRIOR TO TRANSFORMER PAD CONSTRUCTION.

LIGHTING NOTES:

SEE LIGHTING PLAN (PHOTOMETRIC PLAN) FOR MORE INFORMATION.
ALL LIGHTING MUST BE DOWN-CAST, CUT-OFF TYPE FIXTURES. WALL PACK LIGHT WITHOUT SHIELDS TO DIRECT LIGHT DOWN TO ITS INTENDED TARGET ARE PROHIBITED.

PRIVATE WATER MAIN QUANTITIES

HYDRANT ASSEMBLY	5 EA
6" VALVE	2 EA
6" WATER MAIN	382 LF
6" WATER MAIN	382 LF
2" WATER SERVICE	154 LF

NOTE:
REFER TO SEPARATE CONSTRUCTION PLANS FOR PUBLIC SANITARY SEWER, PUBLIC STORM SEWER, PUBLIC WATER MAIN, PUBLIC STREET INFORMATION, AND GRADING NORTH OF CODY DRIVE.

DATE	2/20/17
CITY SUBMITTAL #1	17/01/17
CITY SUBMITTAL #2	17/02/17
CITY SUBMITTAL #3	17/03/17

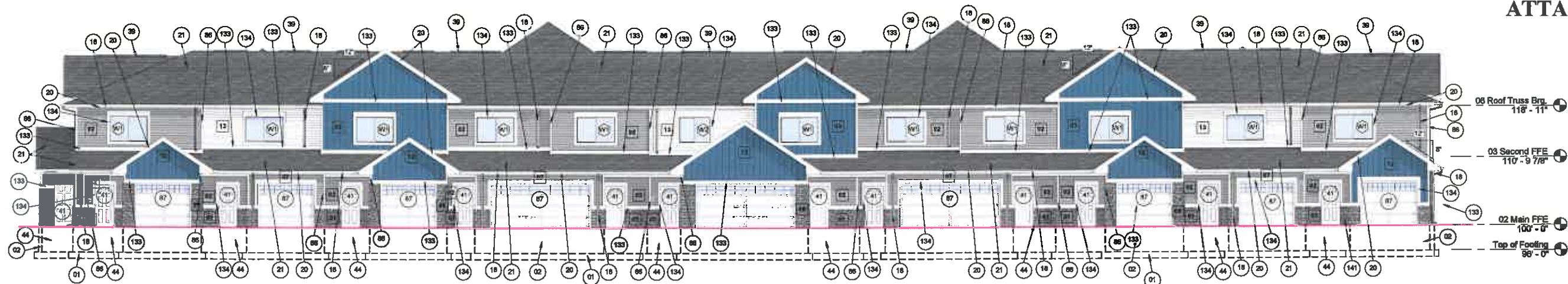
3405 S.E. CROSSROADS DRIVE, SUITE G
WEST DES MOINES, IOWA 50311
PHONE: (515) 369-4410 FAX: (515) 369-4410
ENGINEER: ENH



CIVIL DESIGN ADVANTAGE
WEST DES MOINES, IOWA

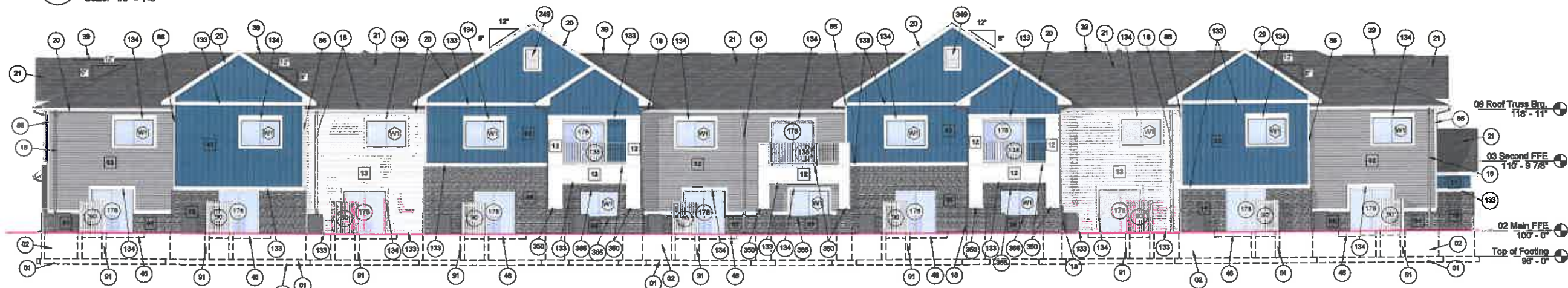
PARK 88
UTILITY PLAN

6/7
1802.060



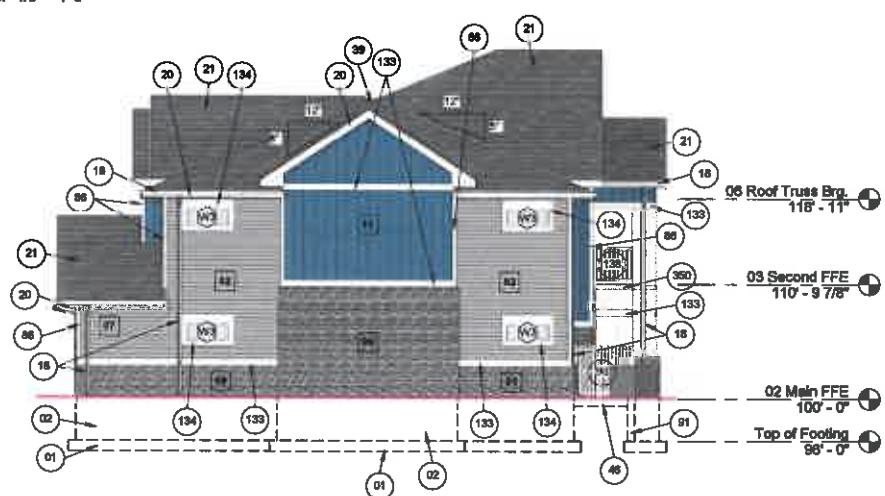
1 Front Elevation

Scale: 1/8" = 1'-0"



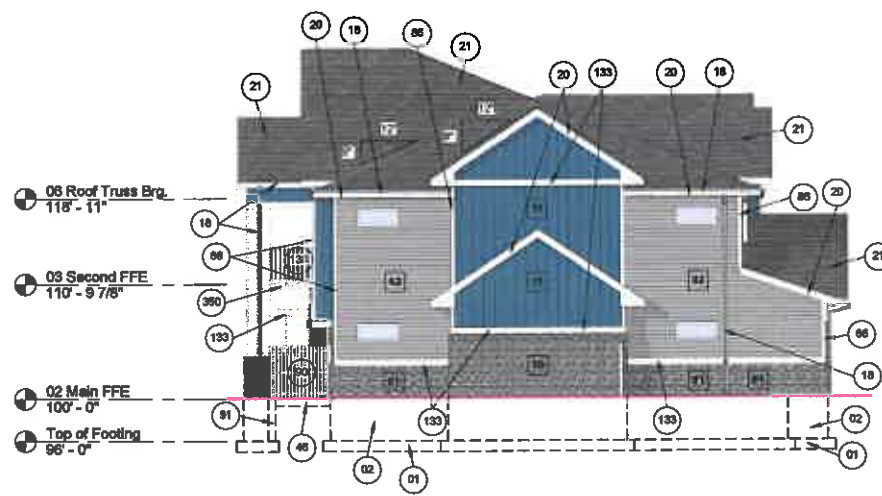
2 Rear Elevation

Scale: 1/8" = 1'-0"



3 Right Elevation

Scale: 1/8" = 1'-0"



4 Left Elevation

Scale: 1/8" = 1'-0"

Plan Notes:

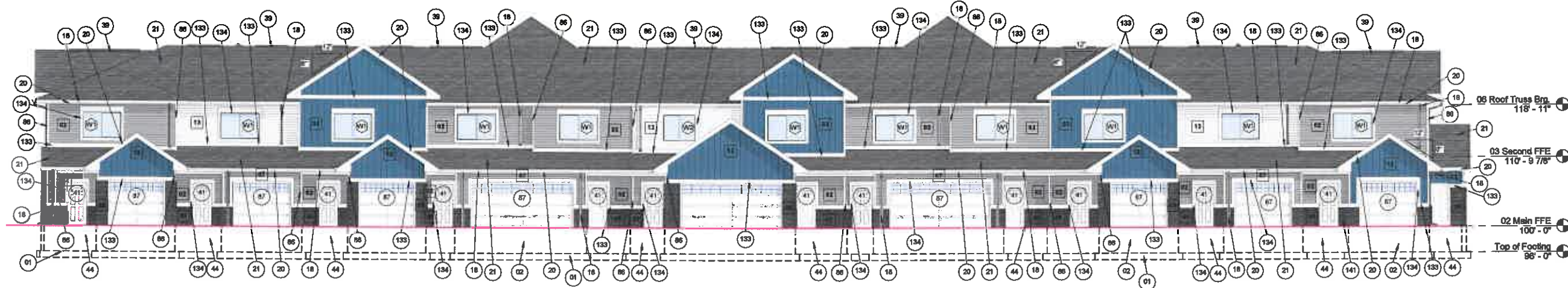
- 01 Poured concrete footing. See struct.
- 02 Poured concrete foundation wall. See struct.
- 16 Prefinished aluminum gutters & downspouts. Verify downspout locations.
- 20 1x6 fascia wrapped in prefinished metal to match soffit.
- 21 Roof consists of 30 year laminated fiberglass shingles. #18 felt roofing underlayment (USE RUBBERIZED UNDERLAYMENT @ 3:12 PITCH) substituted lower 90" of roof & 90" ea. side of all valleys, roof sheathing per struct. roof trusses @ 24" o.c. (final design by roof truss mfr).
- 30 Continuous ridge vent. Lengths shown are based on "GAF TruStair Ridge Vent". Verify length if another mfr. is used.
- 41 Edoor for insulated fiberglass door. See schedule.
- 44 Poured concrete stoop. See struct.
- 46 Thickened edge patio slab. Hold patio slab down 6" below FFE, except @ H.C. unit locations where the slab must be flush w/ FFE.
- 88 Cement board corner board- smooth finish.
- 87 Prefinished overhead door. See schedule.
- 07 4x vinyl privacy fence. (48" tall @ front yard setback, see site plan).
- 91 Poured concrete piers for vinyl fence. See struct.
- 133 6" cement board trim.
- 134 5" smooth cement board window trim @ jamb & sill. 10" smooth cement board window trim @ head.
- 136 Prefab. railing to match composite decking.
- 141 Stone Color Ore.
- 175 Vinyl patio door. See door schedule.
- 349 Decorative louvre (24" x 36").
- 350 5" smooth cement board trim.
- 365 Stone head.
- 366 Stone sill.

General Notes:

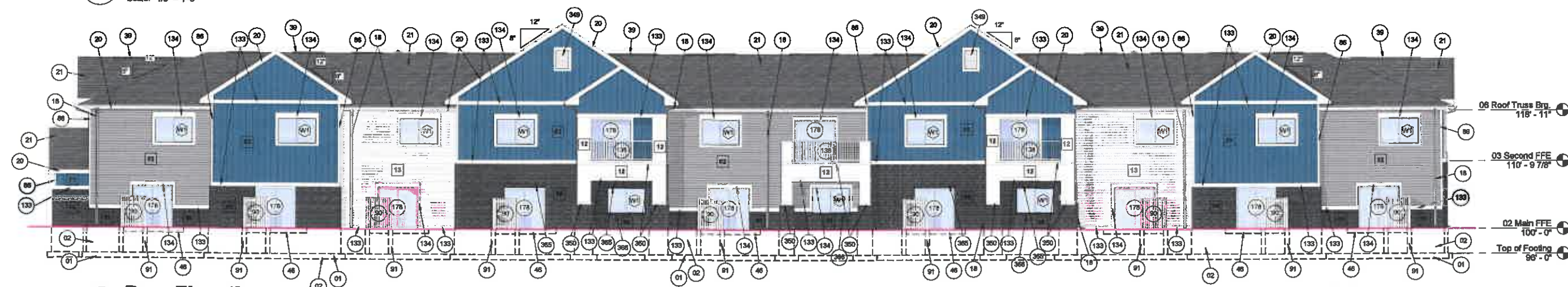
- 01. Provide "W" style GWS control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30'-0" o.c. max. in long corridors/wall copes. Control joints @ door jambs, extending from door head to ceiling. Consideration should also be given to locating control joints from floor to ceiling at either edge of large window openings.
- 02. Provide WJR, GWS in all bathroom areas.
- 03. Provide 2x blocking at all grab bar & future grab bar locations. See sheet AS.1 & AS.2 for blocking details.
- 04. All dimensions are from face of stud, U.N.O.
- 05. Cast: perimeter of all toilets, wall hung lavatories, & backslashes.
- 06. Omitted.
- 07. Wall types are on sheet A2.6.
- 08. Omitted.
- 09. Verify all appliance dimensions prior to ordering cabinets.
- 10. All roof doors to resolve smoke seals & closures.
- 11. All doors requiring thresholds to be ADA compliant.
- 12. Civil/Mechanical/Electrical/Structural items shown on these plans for representation purposes only. Verify all items shown on these plans with final Civil/Mechanical/Electrical/Structural plans prior to construction.



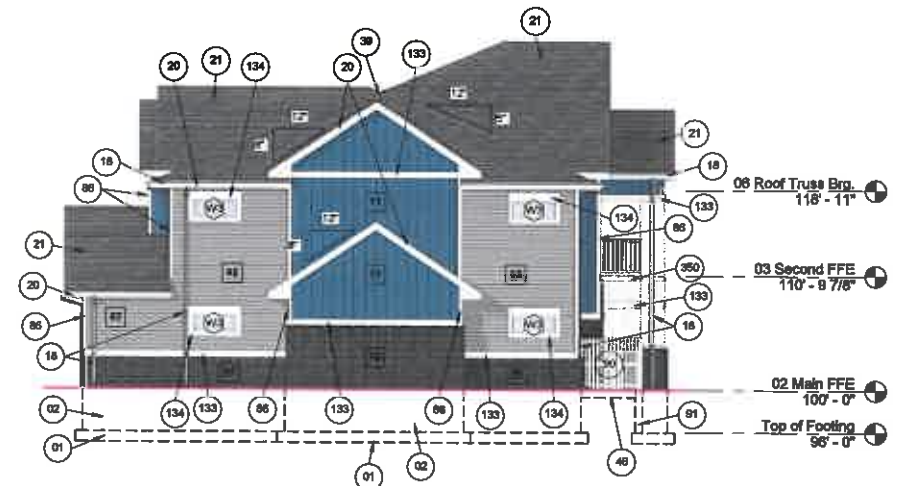
<p>Park 66 Townhomes West Des Moines, Iowa</p> <p>Exterior Elevations- Townhomes One & Three</p> <p>COPYRIGHT 2017 © This plan is copyrighted and shall be used only for the building shown and is not to be copied or reproduced without written permission from VanDeWalle Architects LLC.</p>	
Project No. 16051	Revisions
Date: 02.20.17	A3.0
Drawn By: TJS	



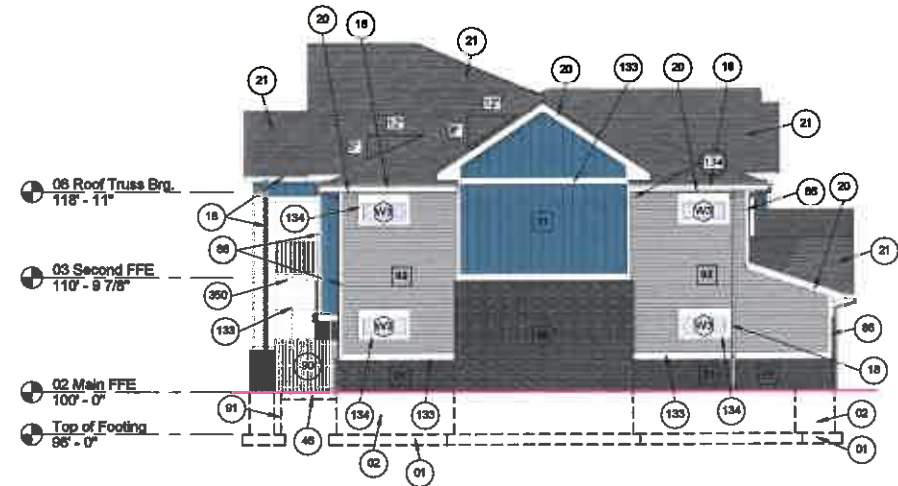
1 Front Elevation
Scale: 1/8" = 1'-0"



2 Rear Elevation
Scale: 1/8" = 1'-0"



3 Right Elevation
Scale: 1/8" = 1'-0"



4 Left Elevation
Scale: 1/8" = 1'-0"

Plan Notes:

- 01 Poured concrete footing. See struct.
- 02 Poured concrete foundation wall. See struct.
- 18 Prefinished aluminum gutters & downspouts. Verify downspout locations.
- 20 1x6 fascia wrapped in prefinished metal to match soffit.
- 21 Roof consists of: 30 year laminated fiberglass shingles, #15 felt roofing underlayment (USE RUBBERIZED UNDERLAYMENT @ 3:12 PITCH) (precast lower 60" of roof & 80" on side of all valleys), roof sheathing per struct. roof trusses @ 24" o.c. (final design by roof truss mfr.).
- 39 Continuous ridge vent. Lengths shown are based on "GAF TrueBate Ridge Vent". Verify length if another mfr. is used.
- 41 Exterior insulated fiberglass door. See schedule.
- 44 Poured concrete stoop. See struct.
- 45 Thickened edge patio slab. Hold patio slab down 6" below FFE, except @ H.C. unit locations where the slab must be flush w/ FFE.
- 86 Cement board corner board - smooth finish.
- 87 Prefinished overhead door. See schedule.
- 90 60" tall vinyl privacy fence. (48" tall @ front yard setback, see site plan).
- 91 Poured concrete piers for vinyl fence. See struct.
- 133 6" cement board trim.
- 134 5" smooth cement board window trim @ jamb & sill, 10" smooth cement board window trim @ head.
- 135 Prefab. railing to match composite decking.
- 141 Stone Color One.
- 178 Vinyl patio door. See door schedule.
- 246 Decorative leaser (24"x x 30").
- 350 5" smooth cement board trim.
- 365 Stone sill.
- 366 Stone sill.

General Notes:

- 01. Provide W style GWS control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30'-0" o.c. max. in long corridors/wall expanses. Control joints @ door jambs, extending from door head to ceiling. Consideration should also be given to locating control joints from floor to ceiling at either edge of large window openings.
- 02. Provide W.R. GWS in all bathroom areas.
- 03. Provide 2x blocking at all grab bar & future grab bar locations. See sheet AS.1 & AS.2 for blocking details.
- 04. All dimensions are from face of stud, U.L.C.
- 05. Caulk perimeter of all toilets, wall hung lavatories, & backsplashes.
- 06. Dim'ed.
- 07. Wall types are on sheet A2.6.
- 08. Omitted.
- 09. Verify all appliance dimensions prior to ordering cabinets.
- 11. All solid doors to receive smoke seals & closers.
- 12. Civil/Mechanical/Electrical/Structural items shown on these plans for representation purposes only. Verify all items shown on these plans with final Civil/Mechanical/Electrical/Structural plans prior to construction.



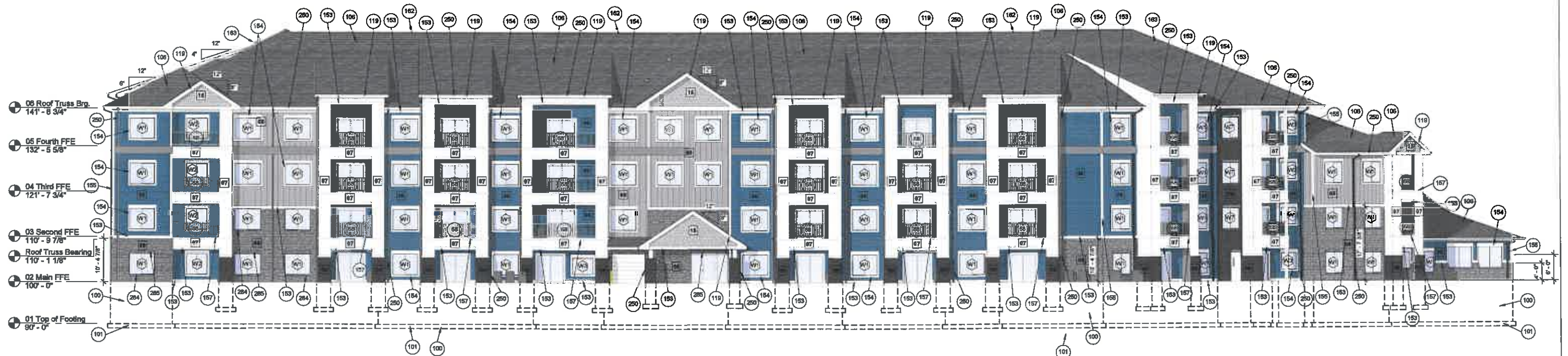
VanDeWalle Architects LLC
ARCHITECTURE • PLANNING • INTERIORS
Des Moines, IA 50319 • 515.281.4411

Park 08 Townhomes
West Des Moines, Iowa

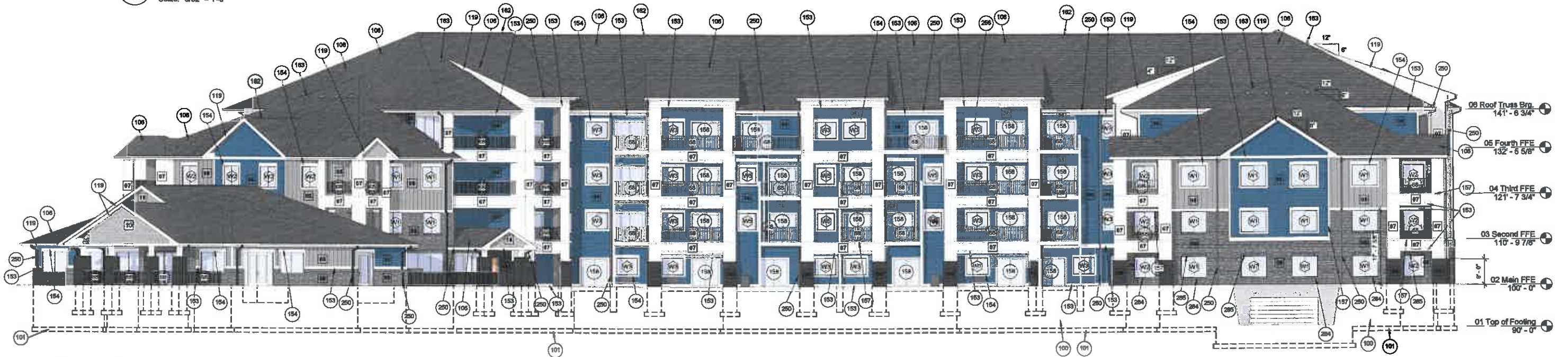
**Exterior Elevations-
Townhomes Two & Four**

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Project No.	19081	Revisions	
Date:	02.28.17		A3.1
Drawn By:	TJS		



1 North Elevation
Scale: 3/32" = 1'-0"



2 South Elevation
Scale: 3/32" = 1'-0"

General Notes:

- 01. Provide 'W' style GWR control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30'-0" o.c. max. in long corridors/wall expanses. Control joints @ door jambs, extending from door head to ceiling. Consideration should also be given to locating control joints from floor to ceiling at either edge of large window openings.
- 02. Provide W.R. GWS in all bathroom areas.
- 03. Provide 2x blocking at all grab bar & future grab bar locations. See sheet AS.2 & AS.3 for blocking details.
- 04. All dimensions are from face of stud, U.N.O.
- 05. Check perimeter of all toilets, wall hung lavatories, & bathtubs.
- 06. See sheet AS.2 for accessible details.
- 07. Wall types are on sheet A2.24.
- 08. See sheet AS.3 for adaptable details.
- 09. Verify all appliance dimensions prior to ordering cabinets.
- 10. All rated doors to receive smoke seals & closers.
- 11. All doors requiring thresholds to be ADA compliant.
- 12. Civil/Mechanical/Electrical/Structural items shown on these plans for representation purposes only. Verify all items shown on these plans with final Civil/Mechanical/Electrical/Structural plans prior to construction.

Plan Notes:

- 08 42" tall deck railing.
- 100 Poured concrete foundation. See struct.
- 101 Poured concrete footing. See struct.
- 106 Roof consists of 30 year laminated fiberglass shingles, #15 roofing underlayment (rubberized underlayment at lower 80' of roof & 30' wa. side of all valleys), roof sheathing per struct. plans, roof trusses @ 24" o.c. (final design by roof truss mfr.) 2x6 fascia wrapped in prefinished aluminum.
- 119 8" smooth cement board trim.
- 153 8" smooth cement board window trim.
- 154 8" smooth cement board window trim @ jamb & sill. 10" smooth cement board window trim @ head.
- 155 8" smooth cement board corner trim.
- 157 5" smooth cement board trim.
- 158 Vinyl patio door. See schedule.
- 162 Continuous ridge vent. Length based on 'GAF MasterFlow Ridge Vent'.
- 183 Individual roof vent. Number based on 'GAF MasterFlow Roof Louvers RT06'
- 250 Prefinished aluminum gutter & downspout. Run to storm sewer.
- 256 Prefinished louvers for PTAC units, typical.
- 284 Stone sill.
- 285 Stone head.



VanDeWalle Architects LLC
ARCHITECTURE • PLANNING • INTERIORS
Sioux Falls, S.D. 605-339-4411

LOYD COMPANIES

Park 88 Apartments
West Des Moines, IA

Exterior Elevations

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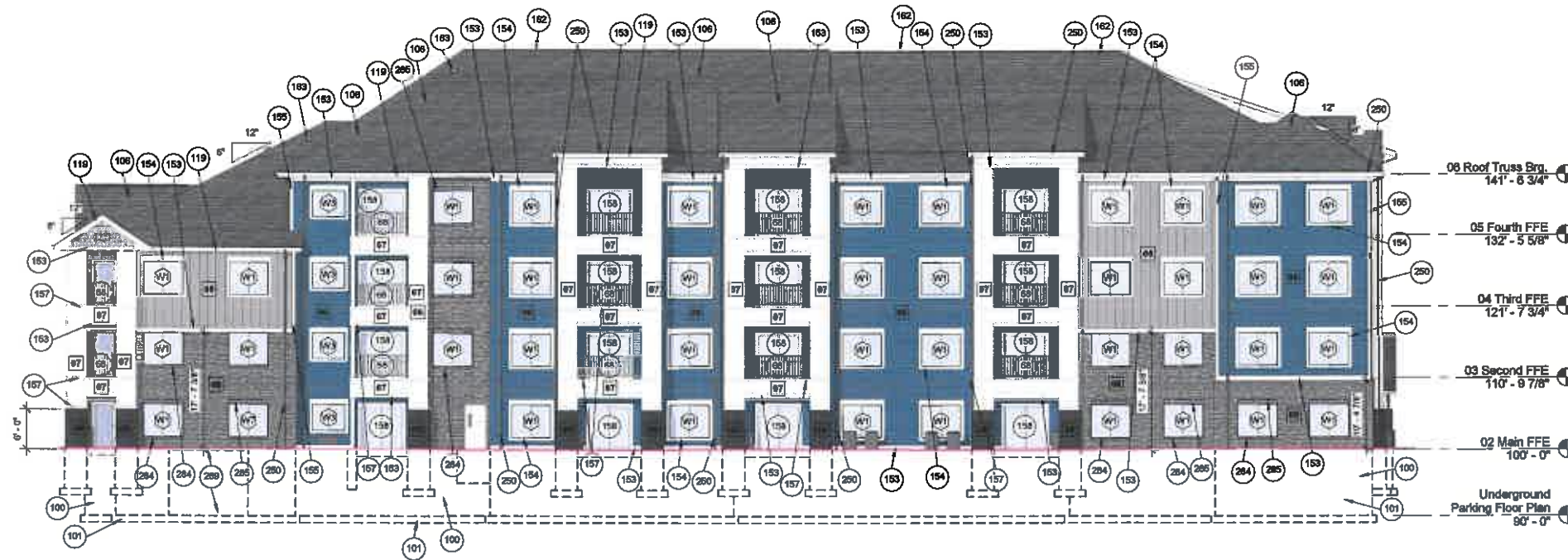
Project No. 18081	Revisions	A3.0
Date: 02.20.17		
Drawn By: TJS		

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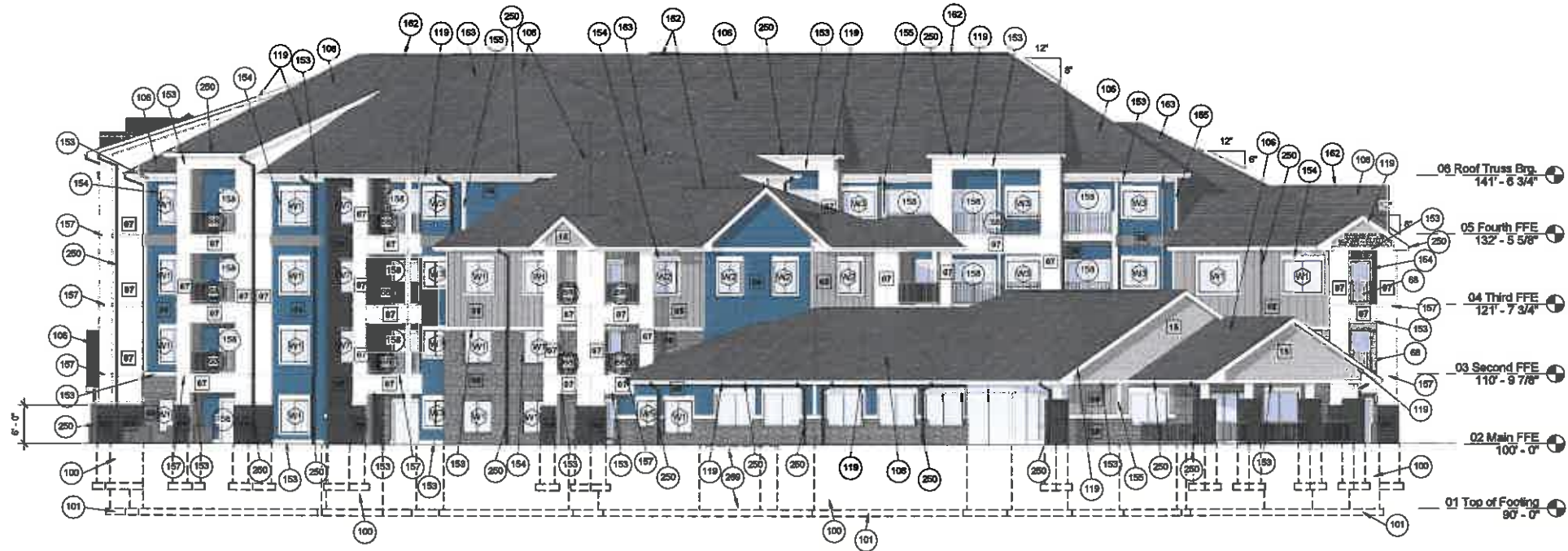
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Plan Notes:

- 00 42" tall deck railing.
- 100 Poured concrete foundation. See struct.
- 101 Poured concrete footing. See struct.
- 106 Roof consists of 30 year laminated fiberglass shingles, #15 roofing underlayment (provided underlayment at lower 60' of roof & 30' on side of all valleys), roof sheathing per struct. plans, roof trusses @ 24" o.c. (final design by roof truss mfr.)
- 119 2x6 fascia wrapped in prefinished aluminum.
- 153 5" smooth cement board trim.
- 154 5" smooth cement board window trim @ jamb & sill, 10" smooth cement board window trim @ head.
- 155 5" smooth cement board corner trim.
- 157 5" smooth cement board trim.
- 159 Vinyl patio door, see schedule.
- 162 Continuous ridge vent. Length based on 'GAF MasterFlow Ridge Vent'.
- 163 Individual roof vent. Number based on 'GAF MasterFlow Roof Louvers RT05'.
- 250 Prefinished aluminum gutter & downspout. Run to storm sewer.
- 259 Poured concrete mechanical well w/ powdercoated steel weedy grate.
- 264 Stone sill.
- 265 Stone tread.



1 East Elevation
Scale: 3/32" = 1'-0"



2 West Elevation
Scale: 3/32" = 1'-0"

General Notes:

- 01. Provide 'W' style GWS control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30'-0" o.c. max. in long corridors/wall expanses. Control joints @ door jambs, extending from door head to ceiling. Consideration should also be given to locating control joints from floor to ceiling at either edge of large window openings.
- 02. Provide W.R. GWS in all bathroom areas.
- 03. Provide 2x blocking at all grab bar & future grab bar locations. See sheet AS.2 & AS.3 for blocking details.
- 04. All dimensions are from face of stud, U.N.C.
- 05. Caulk perimeter of all toilets, wall hung lavatories, & backsplashes.
- 06. See sheet AS.2 for accessible details.
- 07. Wall types are on sheet A2.24.
- 08. See sheet AS.3 for admissible details.
- 09. Verify all appliance dimensions prior to ordering cabinets.
- 10. All raised doors to receive smoke seals & closers.
- 11. All doors requiring thresholds to be ADA compliant.
- 12. Civil/Mechanical/Electrical/Structural items shown on these plans for representation purposes only. Verify all items shown on these plans with final Civil/Mechanical/Electrical/Structural plans prior to construction.

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LLOYD
CONSTRUCTION

Park 88 Apartments
West Des Moines, IA

Exterior Elevations

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Project No.	10001	Revisions	
Date:	02.20.17		
Drawn By:	TJB		

A3.1

