

**CITY OF WEST DES MOINES
BOARD OF ADJUSTMENT COMMUNICATION**

Meeting Date: April 5, 2017

Item: Sully's, 860 1st Street – Approval of a Permitted Conditional Use Permit for a drinking place with food sales – First Street, LP – PC-003365-2017

Requested Action: Approval of a Permitted Conditional Use Permit

Case Advisor: Brian Portz, Planner *BP*

Applicant Request: The applicant, Sully's, represented by Bill and Amy Boggs, in association with the property owner, First Street, LP, is requesting approval of a Permitted Conditional Use Permit (PC) to allow the operation of a drinking place with food sales in the former Blue Tomato building at 860 1st Street. The applicant is proposing to renovate the interior of the building and add a patio cover to the north side of the building. Drinking places (SIC 5813) are classified as a Permitted Conditional Use (Pc) within a Community Commercial (CMC) Zoning District, which this property is designated.

History: The subject property is located within the 1st Street Redevelopment PUD, which was approved in November 2015. The City Council approved a Site Plan for the building, on October 9, 1995 (SP-95-30). The City Council reviewed and approved a Minor Modification to a Site Plan that included various site modifications and façade improvements to the building on April 5, 2010. A Master Plan for the 1st Street Redevelopment area specifying the proposed building and infrastructure modifications for the development was approved by the City Council on October 5, 2015. In August of 2016, a preliminary plat and final plat were approved for the 1st Street Redevelopment site, subdividing the property into 7 lots.

City Council Subcommittee: This item was not presented to the Development and Planning City Council Subcommittee due to recent cancellation of Subcommittee meetings.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. Staff would summarize the following key point of interest:

- **Storm Water Connection Fee District:** The subject property, which is part of the Val-Gate plat is contained within the Grand Avenue East Storm Water Connection Fee District. The current fee for this district is \$15,884 per acre. The Val-Gate plat property owner asked to postpone the payment of this fee until after he has been paid by the City for the purchase of easements in conjunction with the Regional Storm Sewer project that will be traversing through his property. The amount that will be paid by the City for the easements over the Val-Gate plat will be greater than what the applicant owes for the Fee District. The City Council agreed to this with a condition of approval of the Val-Gate Final Plat that required that this fee be paid for the entire site (all 5.37 acres) by November 1, 2016 and prior to issuance of any additional occupancy permits, including temporary occupancy permits for any building or portion thereof on a parcel included within the Val-Gate Final Plat. The condition went on to state that if this condition was not met by November 1, 2016, no additional building permits will be issued for any parcel within the development. The City has not yet paid the owner of the Val-Gate plat for the required easements and therefore he has not paid the Storm Water Connection Fee District fee. Prior to a building permit being issued for the Sully's renovations, the District fee will need to be paid or the condition of approval of the Val-Gate final plat modified to allow a building permit to be issued. Staff is recommending a condition of approval to address this.
- **Building Design:** Precedent images were developed for the 1st Street Redevelopment PUD to reinforce the architectural concepts depicted in the Grand Avenue Redevelopment Plan, depicting a Mid-Century architectural style. However in this case the applicant is reusing an existing building that does not follow that style. The scope of the work proposed is the addition of the covered patio and minimal exterior changes to the existing building. Based on that scope of work, staff is in support of allowing the design of the covered patio to be keeping with the existing building architecture rather than requiring the entire building façade to be changed to meet the

architectural theme of the PUD. The applicant has worked with staff to incorporate the colors identified in the PUD precedent images into the exterior design of this building to provide continuity with the new buildings within the PUD (see Attachment D).

- **Screen Fence:** A fence is proposed at the southwest corner of the building that will screen a walk-in cooler addition on the west side of the building. This fence will be constructed to a height such that it completely screens the walk-in cooler. As of the date of this writing, the applicant hadn't obtained a product detail on the cooler to specifically state on the plans how tall the fence needs to be to completely screen the unit; therefore, a condition of approval is recommended requiring that the fence be constructed to a height to fully screen the cooler. In addition, staff is also recommending that a condition of approval be required that the applicant submit a material or paint sample of the material that will be used on the fence prior to a building permit being issued.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed use is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan, except as noted above regarding right-of-way widths.

Findings: The following findings have been made on the proposed permitted conditional use:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare, and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and public agencies and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the Zoning regulations and the Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendations and Conditions of Approval: Based upon the preceding review and findings, staff recommends the Board of Adjustment adopt a resolution for approval of the Permitted Conditional Use Permit to allow a drinking place (SIC 5813), subject to meeting all City Code requirements and the following:

1. The required Grand Avenue East Storm Water Connection Fee District fee for the Val-Gate plat shall be paid prior to a building permit being issued for the proposed renovations to the Sully's building. In the event the fee cannot be paid to the City because the City has not paid the Val-Gate plat property owner for easements required of the regional storm water sewer, then the condition of approval of the Val-Gate

Final Plat will need to be amended to allow a building permit to be issued for the proposed renovations to the building.

2. A material or paint sample for the chosen fence material that will be used for screening of the exterior portion of the walk-in cooler shall be provided for staff review prior to a building permit being issued for the site.
3. The screen fence along the south side of the building to screen the walk-in cooler shall be constructed to a height as necessary to fully screen the cooler.

Noticing Information: On March 17, 2017, notice of the April 5, 2017 Board of Adjustment Public Hearing on this project was published in the Des Moines Register. Notice of this public hearing was also mailed to all surrounding property owners within 370 feet of the subject property on March 15, 2017.

Applicant: Bill & Amy Boggs
1609 Buffalo Road
West Des Moines, Iowa 50265
amy.boggs@hotmail.com

Property Owner: First Street, LP
4500 Westown Parkway
West Des Moines, IA 50266
John Mandelbaum
(515) 222-6201

Attachments:

- | | | |
|--------------|---|--------------------------------------|
| Attachment A | - | Permitted Conditional Use Resolution |
| Exhibit A | - | Conditions of Approval |
| Attachment B | - | Location Map |
| Attachment C | - | Site Plans |
| Attachment D | - | Proposed Building Elevations |
| Attachment E | - | Current Building Photo |
| Attachment F | - | Tavern/Lounge Precedent Image |

Prepared by: B. Portz, Development Services PO Box 65320 West Des Moines IA 50265-0320 515-222-3620
When Recorded, Return to: City Clerk, City of West Des Moines PO Box 65320 West Des Moines IA 50265-0320

RESOLUTION –

**A RESOLUTION OF THE BOARD OF ADJUSTMENT OF THE CITY OF WEST DES MOINES,
APPROVING A PERMITTED CONDITIONAL USE PERMIT (PC-003365-2017) TO ALLOW A
DRINKING PLACE WITH FOOD SALES (SIC 5813) IN A COMMUNITY COMMERCIAL DISTRICT**

WHEREAS, pursuant to the provisions of Title 9, Zoning, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicants, Bill and Amy Boggs, owners of Sully's, in association with the property owner, First Street, LP, have requested approval of a Permitted Conditional Use Permit (PC-003365-2017) for that property located at 860 1st Street and legally described below for the purpose of opening a drinking place with food sales (SIC 5813);

Legal Description of Property

**LOT 2, VAL-GATE, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES,
POLK COUNTY, IOWA**

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, on, April 5, 2017, this Board of Adjustments held a duly-noticed hearing to consider the application for a Permitted Conditional Use Permit for Sully's (PC-003365-2017);

**NOW, THEREFORE, THE BOARD OF ADJUSTMENT OF THE CITY OF WEST DES MOINES DOES
RESOLVE AS FOLLOWS:**

SECTION 1. The findings, for approval, stated in the staff report, dated April 5, 2017, or as amended orally at the Board of Adjustment meeting of April 5, 2017, are adopted.

SECTION 2. Permitted Conditional Use Permit for Sully's (PC-003365-2017) to open a drinking place with food sales (SIC 5813) is approved, subject to compliance with all the conditions in the staff report, dated April 5, 2017, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on April 5, 2017.

Michael R. Blaser, Chairperson

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Board of Adjustments of the City of West Des Moines, Iowa, at a regular meeting held on April 5, 2017, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

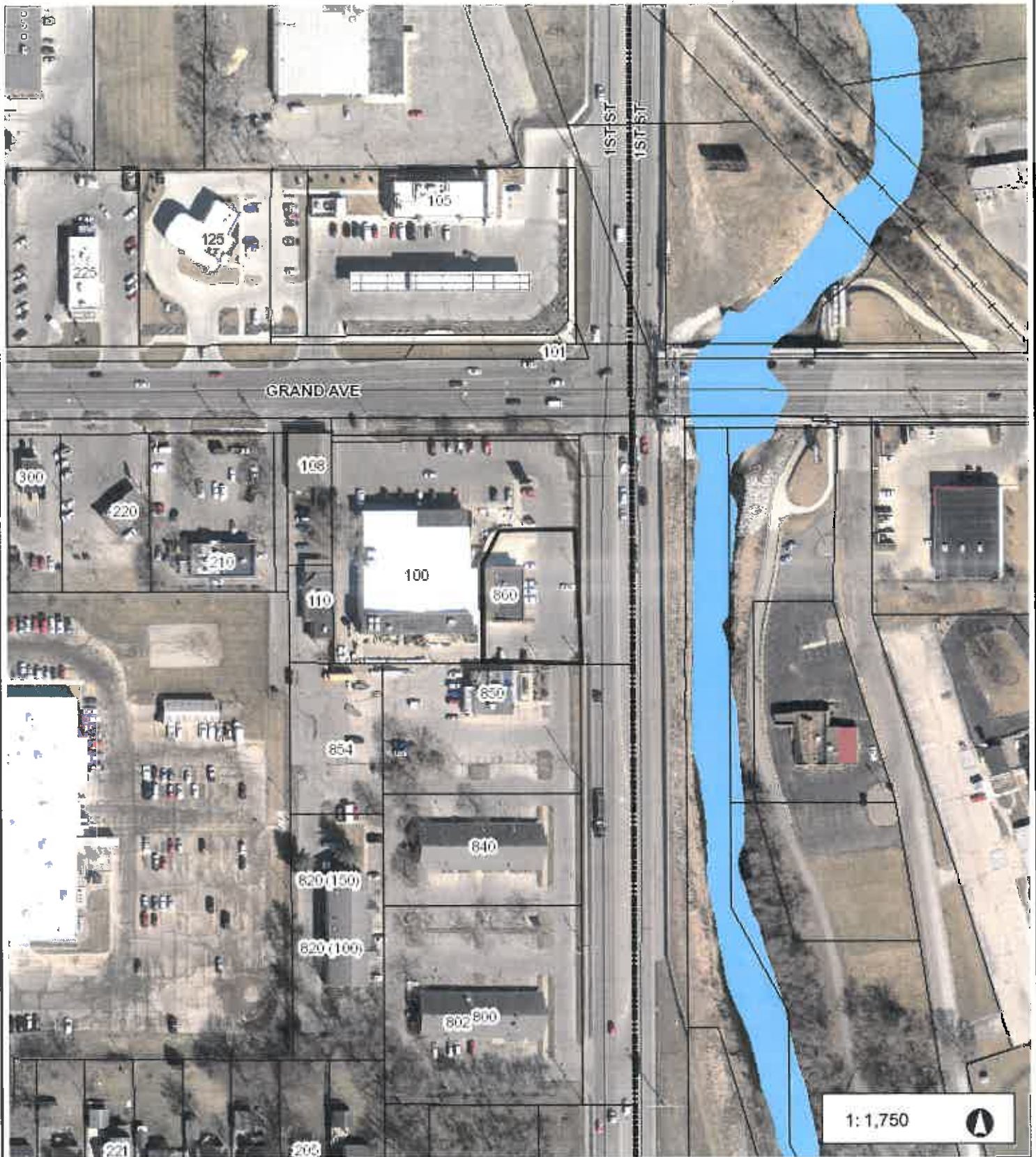
Recording Secretary

EXHIBIT A
Conditions of Approval

1. The required Grand Avenue East Storm Water Connection Fee District fee for the Val-Gate plat shall be paid prior to a building permit being issued for the proposed renovations to the Sully's building. In the event the fee cannot be paid to the City because the City has not paid the Val-Gate plat property owner for easements required of the regional storm water sewer, then the condition of approval of the Val-Gate Final Plat will need to be amended to allow a building permit to be issued for the proposed renovations to the building.
2. A material or paint sample for the chosen fence material that will be used for screening of the exterior portion of the walk-in cooler shall be provided for staff review prior to a building permit being issued for the site.
3. The screen fence along the south side of the building to screen the walk-in cooler shall be constructed to a height as necessary to fully screen the cooler.



Proposed Sully's Location



291.7 0 145.83 291.7 Feet

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

NAD_1983_StatePlane_Iowa_South_FIPS_1402_Feet
© City of West Des Moines, Iowa

THIS MAP IS NOT TO BE USED FOR NAVIGATION

S I T E P L A N
 SUBMITTED FOR REVIEW: MAR 30, 2017

SULLY'S IRISH PUB TENANT IMPROVEMENTS

860 FIRST STREET, WEST DES MOINES, IOWA 50265

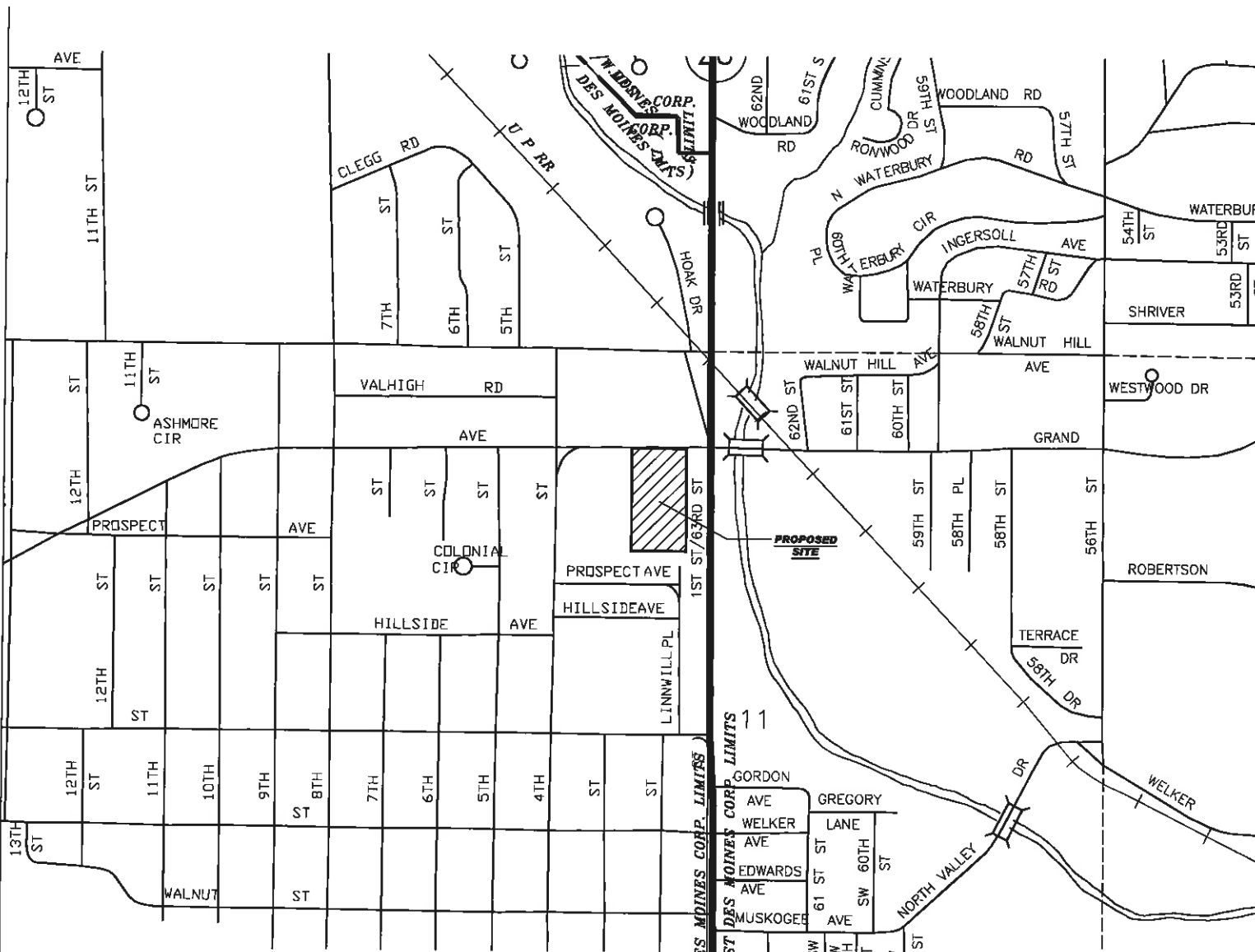
OWNER: FIRST STREET LP
 4500 WESTOWN PKWY, SUITE 115
 WEST DES MOINES, IOWA 50265
 PHONE: 515-222-6201 | FAX: 515-265-8702

ARCHITECT: STUDIO MELEE
 1312 LOCUST, SUITE 100Z, DES MOINES, IOWA 50309
 PHONE: 515-314-9852 | PHONE: 515-493-0003



CIVIL/SITE: BISHOP ENGINEERING

Bishop Engineering Company, Inc.
 3501 104th Street
 Des Moines, Iowa 50322
 PHONE: (515)276-0467 FAX: (515)276-0217



1 VICINITY MAP
 NOT TO SCALE

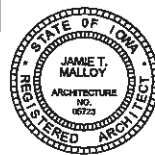
SYMBOLS LEGEND

PROPERTY CORNER- FOUND AS NOTED	○	BOUNDARY LINE	———
MEASURED DISTANCE	0.00' M	LOT LINE	— — —
PLATTED DISTANCE	0.00' P	CENTER LINE	———
DEEDED DISTANCE	0.00' D	EASEMENT LINE	- - - - -
RIGHT-OF-WAY	R.O.W.	BUILDING LINE	———
SANITARY SEWER MANHOLE	⊗	FENCE LINE	- x - x -
STORM SEWER MANHOLE	⊙	SANITARY SEWER	- S -
UTILITY MANHOLE	⊙	STORM SEWER	- SS -
SIGNAL POLE	○	GAS LINE	- G -
LIGHT POLE	☆	WATER LINE	- W -
POWER POLE	⊙	UNDERGROUND ELECTRIC	- U/E -
CURB INTAKE	■	OVERHEAD ELECTRIC	- O/E -
SURFACE INTAKE	●	TELEPHONE LINE	- T -
FIRE HYDRANT	⊙		
WATER VALVE	⊙		
GAS VALVE	⊙		
CLEAN OUT	⊙		

CERTIFICATIONS

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

PRINTED OR TYPED NAME _____
 SIGNATURE & DATE _____
 DISCIPLINE & REGISTRATION NO. _____
 PAGE(S) OF SHEETS COVERED _____



I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PRINTED OR TYPED NAME _____
 SIGNATURE & DATE _____
 DISCIPLINE & REGISTRATION NO. _____
 PAGE(S) OF SHEETS COVERED _____



INDEX OF DRAWINGS

- SPC COVER SHEET
- SP0 SITE DEMO PLAN
- SP1 SITE LAYOUT & GEOMETRIC PLAN
- SP2 SITE GRADING & UTILITY PLAN
- SP3 SITE LANDSCAPING PLAN
- SP4 SITE DETAILS
- SP5 SITE DETAILS



PRINT DATE: 30 MARCH 2017
 SHEET NAME: SULLY'S IRISH PUB TENANT IMPROVEMENTS
 STUDIO MELEE
 1312 LOCUST, SUITE 100Z
 DES MOINES, IOWA 50309
 (515) 314-9852
 (515) 493-0003

SPC

GRAND AVENUE

(PUBLIC STREET)

SITE PLAN NOTES:

SUMMARY OF SITE WORK:

SITE WORK INCLUDES SELECTIVE DEMOLITION, CONSTRUCTION OF NEW PCC PATIO, DRIVE AND SIDEWALK MODIFICATIONS REQUIRED BY THE CITY AND LANDSCAPING. EXISTING UTILITIES TO REMAIN.

GENERAL NOTES:

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.

CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.

ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.

CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.

LEGAL DESCRIPTION:

LOT 2 OF VAL-GATE

PROJECT ADDRESS:

860 FIRST STREET, WEST DES MOINES IOWA 50265

LAND OWNER & APPLICANT:

FIRST STREET LP
4500 WESTOWN PKWY, SUITE 115
WEST DES MOINES, IOWA 50265

CONTACT (PREPARED BY):

STUDIO MELEE
820 FIRST STREET, SUITE 220
WEST DES MOINES, IOWA 50265
PH: 515-314-9852

BISHOP ENGINEERING

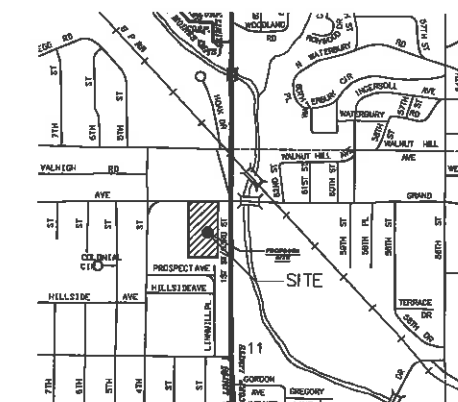
3501 104TH STREET
URBANDALE, IOWA 50222
PH: 515-278-0487

PROPOSED LAND USE & ZONING:

FIRST STREET PUD, UNDERLYING ZONING CMC

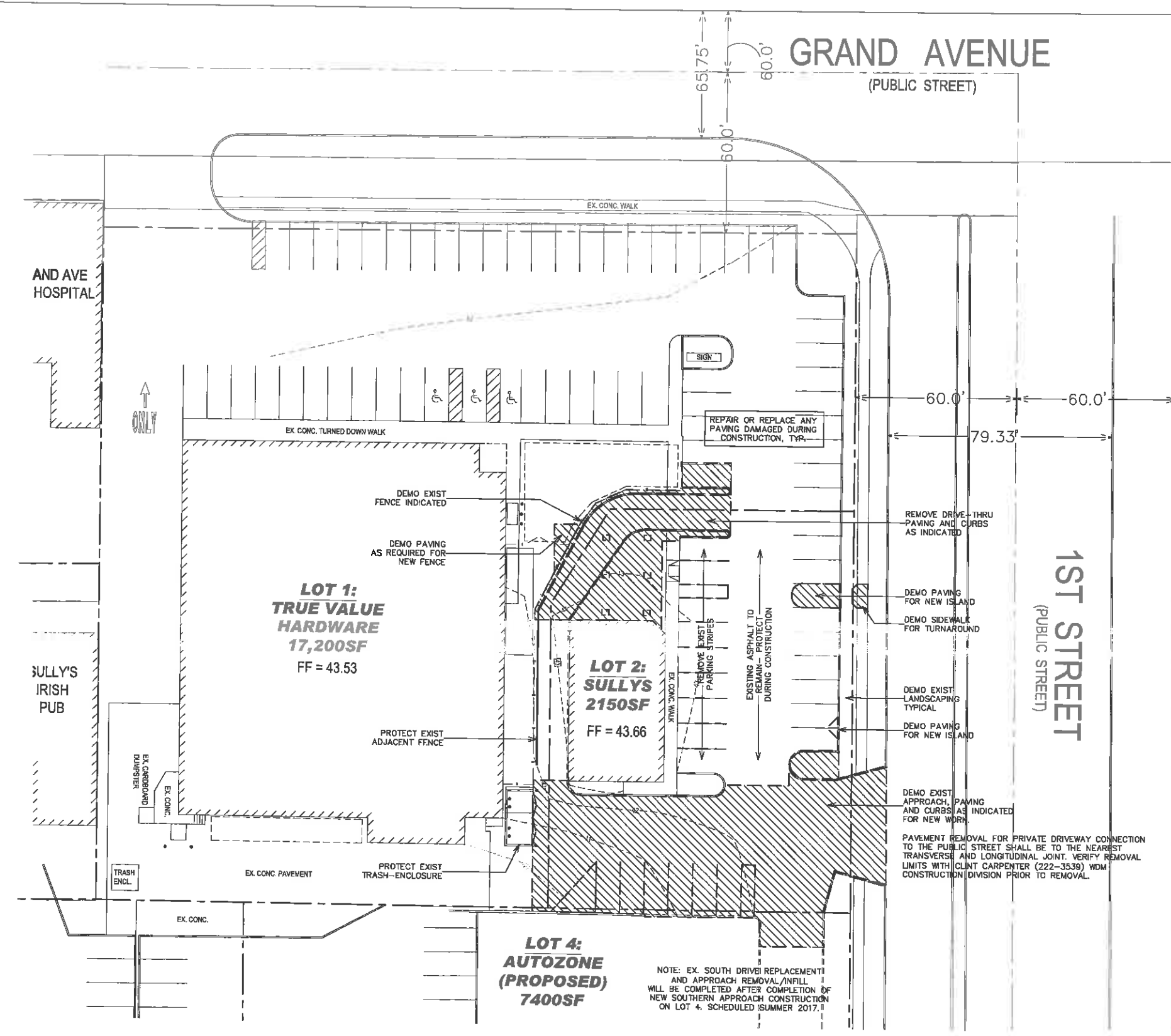
DEMOLITION PLAN NOTES:

1. CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION FENCE, IN THE APPROXIMATE LOCATION INDICATED ON THE PLANS, INSTALL ACCESS GATES AS REQUIRED. ACTUAL LOCATION OF FENCE AND GATES SHALL BE REVIEWED AND APPROVED BY OWNER PRIOR TO INSTALLATION. AS THE SCHOOL SHALL REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT AND ACCESS OR PASS-THRU MAY BE REQUIRED. UPON PROJECT COMPLETION, THE FENCE SHALL BE COMPLETELY REMOVED AND ALL AFFECTED AREAS REPAIRED.
2. UPON PROJECT COMPLETION, ALL EXISTING AREAS AFFECTED BY CONSTRUCTION WORK, INCLUDING STAGING AREAS, SHALL BE RESTORED TO ORIGINAL CONDITION. DEMOLITION AREAS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL REMOVE AND REPLACE ACTUAL AREAS REQUIRED FOR INSTALLATION OF WORK INDICATED ON PLANS.
3. PROTECT TREES, FENCES, BENCHES, BIKE RACKS, PLAYGROUND EQUIPMENT, AND OTHER SITE ACCESSORIES WITH CONSTRUCTION FENCE, UNLESS IDENTIFIED TO BE REMOVED.
4. TREES ADJACENT TO SITE WORK SHALL BE PROTECTED BY MIN. 6X (6) FT TALL CHAIN LINK OR SNOW FENCE, INSTALLED AROUND THE DRIP LINE.
5. AT SIDEWALKS INDICATED FOR REMOVAL, DEMO TO NEAREST EXISTING CONTROL JOINT. SAW CUT HARD SURFACING AT LOCATION OF REMOVAL LIMITS AS INDICATED. VERIFY ACTUAL DEMOLITION LIMITS WITH OWNER PRIOR TO CUTTING.
6. PROTECT EXISTING OVERHEAD LINES AND POWER OR LIGHT POLES. REPAIR OR REPLACE IF DAMAGED.
7. CLEAR ALL BRUSH, TREES AND MISC. GROUND COVER WITHIN CONSTRUCTION LIMITS AS REQUIRED FOR WORK INDICATED.



↑ 2 VICINITY MAP
NOT TO SCALE

↑ 1 SITE DEMOLITION PLAN
SCALE: 1" = 20'-0"



PRINT DATE: 30 MARCH 2017
 SHEET NAME: DEMO SITE PLAN
 STUDIO MELEE
 1312 LOCUST, SUITE 100Z
 DES MOINES, IOWA 50309
 SULLY'S IRISH PUB
 860 FIRST STREET TENANT IMPROVEMENTS
 WEST DES MOINES, IOWA 50265
 SP0

GRAND AVENUE

(PUBLIC STREET)

SITE PLAN NOTES:

GENERAL NOTES:

1. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS FROM THE CITY OF WEST DES MOINES DEVELOPMENT SERVICES DEPARTMENT.
2. THE CURRENT EDITION OF IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS SHALL APPLY TO ALL SITE IMPROVEMENTS. A COPY OF THE CURRENT SUDAS IS AVAILABLE ONLINE AT WWW.IOWASUDAS.ORG.
3. ALL WORK SHALL PERFORMED IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH REQUIRED SAFETY PRECAUTIONS.
4. CONTRACTOR SHALL NOTIFY CITY OF WEST DES MOINES IF TRAFFIC WILL BE INTERRUPTED. ALL TRAFFIC CONTROL SHALL BE DONE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - PART IV CONSTRUCTION AND MAINTENANCE.
5. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC/Private UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO COMPENSATION WILL BE ALLOWED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY CLEAN UP OF DIRT, GRAVEL AND DEBRIS SPILLED OR TRACKED TO OR FROM THE SITE ONTO PUBLIC RIGHTS-OF-WAY OR OTHERS PROPERTY. REFER TO GENERAL CONDITIONS FOR DUST CONTROL REQUIREMENTS.
7. ALL REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED MUST BE MAINTAINED AND/OR REPLACED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY BY OWNER. SEE SPECIFICATIONS FOR CONTRACTOR WARRANTY.
8. REPLACEMENT OF CURB AND GUTTER SECTIONS IN PUBLIC STREETS SHALL MATCH EXISTING PAVEMENT SECTION, PER CITY OF DES MOINES REQUIREMENTS.
9. ALL ROOFTOP MECHANICAL UNITS SHALL BE SCREENED FROM STREET-LEVEL VIEW.
10. NO MECHANICAL EQUIPMENT OVER 8 FT. IN HEIGHT SHALL BE ALLOWED IN THE REQUIRED SETBACKS.
11. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION, AND UTILITIES.
12. ALL NEW OUTDOOR LIGHTING FIXTURES SHALL BE LOW-GLARE, CUT-OFF TYPE FIXTURES.
13. INSTALL NEW UTILITIES PRIOR TO REMOVING EXISTING SO AS TO MAINTAIN FUNCTIONING UTILITIES AT ALL TIMES.
14. MAINTAIN ALL PARKING LOTS, WALKWAYS, ACCESSIBLE ENTRANCES AND DROP-OFFS FOR OWNER USE UNTIL END OF SCHOOL YEAR OR AS INDICATED IN CONTRACT DOCUMENTS.
15. NEW SIDEWALK SHALL BE 6" THICK (2000PSI) PORTLAND CEMENT CONCRETE (P.C.C.) OVER 6" GRANULAR FREE-DRAINING PREPARED SUBGRADE. SEE SPEC. SIDEWALK WIDTHS AS INDICATED ON DRAWINGS. PROVIDE CONTROL JOINTS AS INDICATED ON DRAWINGS.

PARKING REQUIREMENTS:

PER PLD REQUIREMENTS, RESTAURANT USES SHALL PROVIDE A MINIMUM OF 1 PARKING SPACE PER 150SF GROSS FLOOR AREA.
 2,575 SF BUILDING AREA + 500 SF PATIO / 150 SF = 24 SPACES REQUIRED; 28 SPACES PROVIDED
 28 SPACES X 192SF / SPACE = 4,856 SF / 16,519 SF = 29%

SUMMARY OF IMPERVIOUS AREAS:

DEMOLISHED IMPERVIOUS AREAS
 CONCRETE/ASPHALT PAVING = 8,240 SF (60%)
 NEW IMPERVIOUS AREAS
 CONCRETE/ASPHALT PAVING = 4,559 SF (28%)
 SIDEWALKS & PATIO = 855 SF (5%)
 TOTAL SITE AREA = 16,519 SF (0.38AC)
 TOTAL BUILDING AREA = 2,575 SF (15%)
 TOTAL SITE IMPERVIOUS AREA = 11,330 SF (69%)
 TOTAL BUILDING + SITE IMPERVIOUS AREA = 14,115 SF (86%)
 OPEN SPACE = 2,403 SF (15%)

PER PLD REQUIREMENTS NO SITE SHALL BE PERMITTED TO HAVE MORE THAN 85% IMPERVIOUS SURFACE.

BENCHMARKS:

City BM #60
 Intersection of 4th Street and Vine Street, Northeast corner of intersection, 50 feet East of the centerline of 4th Street, 50 feet North of the centerline of Vine Street.
 WDM Datum Elev = 38.55
 City BM #78
 Intersection of 8th Street and Ashworth Road, Northwest corner of intersection, 90.5 feet West of the centerline of 8th Street, 32.3 feet North of centerline of Ashworth Road, between sidewalk and back of curb, 2.7 feet North of North back of curb.
 WDM Datum = 109.07

PRIVATE STORAGE EASEMENT
 AN EASEMENT ACROSS LOT 2, VAL-GATE, AN OFFICIAL PLAT IN WEST DES MOINES, POLK COUNTY, IOWA BENEFITTING LOT 1 IN SAID PLAT, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHERLY CORNER OF SAID LOT 2; THENCE N89°59'45"E ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 18.21 FEET; THENCE S00°00'00"W, A DISTANCE OF 4.95 FEET; THENCE S90°00'00"W, A DISTANCE OF 21.24 FEET TO THE POINT OF BEGINNING; CONTAINING APPROXIMATELY 98 SQUARE FEET

PRIVATE PATIO EASEMENT
 AN EASEMENT ACROSS LOT 1, VAL-GATE, AN OFFICIAL PLAT IN WEST DES MOINES, POLK COUNTY, IOWA BENEFITTING LOT 2 IN SAID PLAT, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE WESTERLY NORTHWEST CORNER OF SAID LOT 2; THENCE N00°00'00"E ALONG AN EXTENSION OF THE WEST LINE OF SAID LOT 2, A DISTANCE OF 30.67 FEET; THENCE N90°00'00"E, A DISTANCE OF 18.77 FEET TO THE NORTHWESTERLY LINE OF SAID LOT 2; THENCE S31°27'58"W ALONG SAID LINE, 35.96 FEET TO THE POINT OF BEGINNING; CONTAINING APPROXIMATELY 288 SQUARE FEET

2 EASEMENT PLAN
 NOT TO SCALE

**LOT 1:
 TRUE VALUE
 HARDWARE
 17,200SF
 FF = 43.53**

**LOT 2:
 SULLYS
 2150SF
 FF = 43.66**

**LOT 4:
 AUTOZONE
 (PROPOSED)
 7400SF**

NOTE: EX. SOUTH DRIVE REPLACEMENT AND APPROACH REMOVAL/INFILL WILL BE COMPLETED AFTER COMPLETION OF NEW SOUTHERN APPROACH CONSTRUCTION ON LOT 4. SCHEDULED SUMMER 2017.

1 PATIO PLAN
 SCALE: 1" = 20'-0"



STUDIO MELEE
 1312 LOCUST, SUITE 100Z
 DES MOINES, IOWA 50309
 (515) 314-9852
 (515) 493-0003
 SULLY'S IRISH PUB
 860 FIRST STREET TENANT IMPROVEMENTS
 WEST DES MOINES, IOWA 50265
 PRINT DATE: 30 MARCH 2017
 SHEET NAME: SITE LAYOUT PLAN
 SP1

GRAND AVENUE

(PUBLIC STREET)

SITE PLAN NOTES:

SUMMARY OF SITE WORK:

SITE WORK INCLUDES SELECTIVE DEMOLITION, CONSTRUCTION OF NEW PCC PATIO, DRIVE AND SIDEWALK MODIFICATIONS REQUIRED BY THE CITY AND LANDSCAPING. EXISTING UTILITIES TO REMAIN.

GENERAL NOTES:

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION (515-222-3638) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY FOR CONTAINMENT OF NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1287, 94-1988. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS RALPH RENTNER, ENGINEERING TECHNICIAN (515-222-3638) A MINIMUM OF 24 HRS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.

GENERAL NOTES:

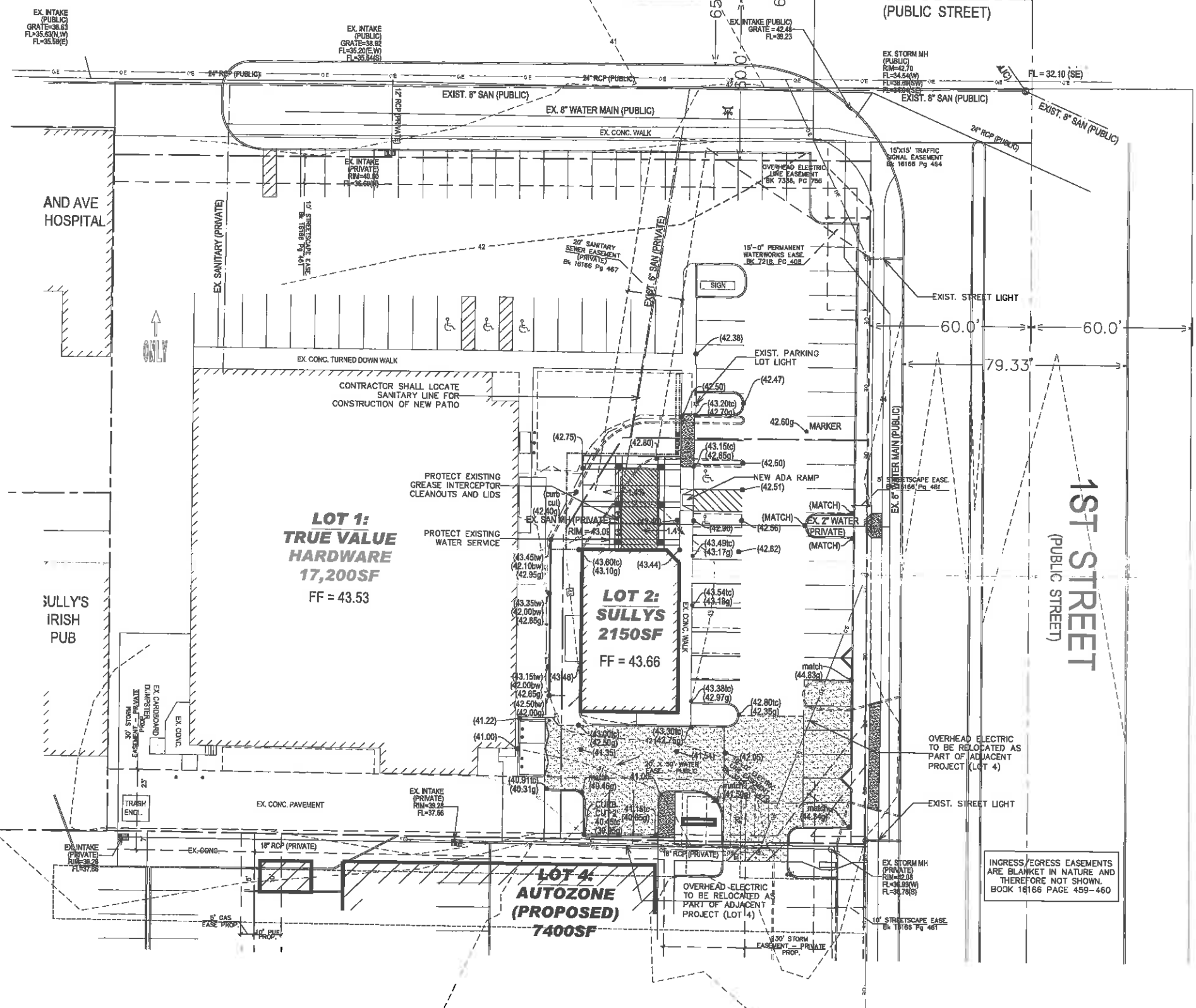
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS FROM THE CITY OF WEST DES MOINES DEVELOPMENT SERVICES DEPARTMENT.
- THE 1985 DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL WITH WEST DES MOINES ADDENDA AND WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL SITE IMPROVEMENTS.
- ALL WORK SHALL PERFORMED IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH REQUIRED SAFETY PRECAUTIONS.
- CONTRACTOR SHALL NOTIFY CITY OF WEST DES MOINES IF TRAFFIC WILL BE INTERRUPTED. ALL TRAFFIC CONTROL SHALL BE DONE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - PART IV CONSTRUCTION AND MAINTENANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC/PRIVATE UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO COMPENSATION WILL BE ALLOWED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY CLEAN UP OF DIRT, GRAVEL AND DEBRIS SPILLED OR TRACKED TO OR FROM THE SITE ONTO PUBLIC RIGHTS-OF-WAY OR OTHERS PROPERTY. REFER TO GENERAL CONDITIONS FOR DUST CONTROL REQUIREMENTS.

CONTACTS RESPONSIBLE FOR REMOVAL OF MUD AND DEBRIS:
 BILL BOGGS; ABSOLUTE PROPERTY CARE 515-250-6296
 DEB LAWRENCE; MANDELBAUM PROPERTIES 515-222-6200

- ALL REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED MUST BE MAINTAINED AND/OR REPLACED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY BY OWNER. SEE SPECIFICATIONS FOR CONTRACTOR WARRANTY.
- REPLACEMENT OF CURBS AND GUTTER SECTIONS IN PUBLIC STREETS SHALL MATCH EXISTING PAVEMENT SECTION, PER CITY OF DES MOINES REQUIREMENTS.
- ALL ROOFTOP MECHANICAL UNITS SHALL BE SCREENED FROM STREET-LEVEL VIEW.
- NO MECHANICAL EQUIPMENT OVER 3 FT. IN HEIGHT SHALL BE ALLOWED IN THE REQUIRED SETBACKS.
- REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION, AND UTILITIES.
- ALL NEW OUTDOOR LIGHTING FIXTURES SHALL BE LOW-GLARE, CUT-OFF TYPE FIXTURES.
- INSTALL NEW UTILITIES PRIOR TO REMOVING EXISTING SO AS TO MAINTAIN FUNCTIONING UTILITIES AT ALL TIMES.
- NEW SIDEWALK SHALL BE 5" THICK (8000PSI) PORTLAND CEMENT CONCRETE (P.O.C.) OVER 6" GRANULAR FREE-DRAINING PREPARED SUBGRADE. SEE SPEC. SIDEWALK WIDTHS AS INDICATED ON DRAWINGS, PROVIDE CONTROL JOINTS AS INDICATED ON DRAWINGS.

NOTE UTILITIES NOTES:

- THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEY AND/OR ARCHITECT MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ARCHITECT FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS FOR ALL EXISTING UTILITIES PRIOR TO STARTING WORK, INCLUDING ELEVATIONS OF EXISTING LINES CROSSING NEW LINES.
- CONTRACTOR SHALL FIELD ADJUST ALL SITE UTILITIES (NEW AND EXISTING) TO MATCH PROPOSED FINISH GRADES, INCLUDING HYDRANTS, VALVES, MANHOLE RIMS, INLETS AND POLE BASES.
- ALL SANITARY SEWER, STORM SEWER MATERIALS AND INSTALLATION SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF WEST DES MOINES CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
- CONTRACTOR SHALL SOO ALL DISTURBED LAWN AREAS.
- PROVIDE FULL DEPTH CUT AND REPLACEMENT OF ALL PAVEMENTS AND SIDEWALKS REQUIRED FOR CONSTRUCTION OF THE WORK INDICATED.
- WATER SERVICE LINE SHALL HAVE MIN. 9" COVER, TYPICAL.



INGRESS/EGRESS EASEMENTS ARE BLANKET IN NATURE AND THEREFORE NOT SHOWN. BOOK 18166 PAGE 459-460

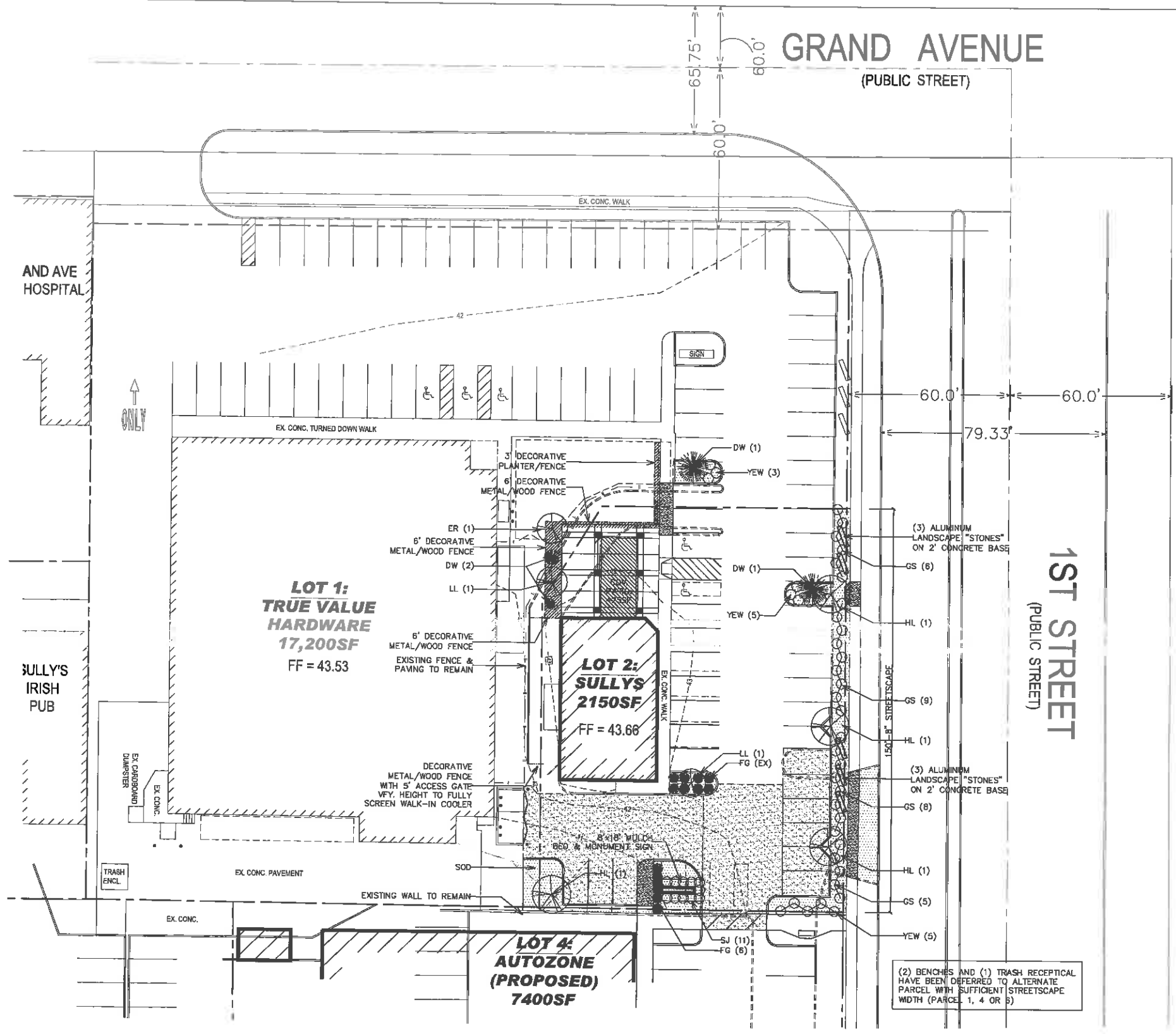
1 GRADING & UTILITY PLAN
 SCALE: 1" = 20'-0"



PRINT DATE: 50 MARCH 2017
 SHEET NAME: 8.6 D F I R S T S T R E E T I M P R O V E M E N T S
 GRADING AND UTILITIES
 STUDIO MELEE
 1312 LOCUST, SUITE 100Z
 DES MOINES, IOWA 50309
 SP2

GRAND AVENUE

(PUBLIC STREET)



SITE PLAN NOTES:

SUMMARY OF SITE WORK:
 SITE WORK INCLUDES SELECTIVE DEMOLITION, CONSTRUCTION OF NEW PCC PATIO, DRIVE AND SIDEWALK MODIFICATIONS REQUIRED BY THE CITY AND LANDSCAPING, EXISTING UTILITIES TO REMAIN.

GENERAL NOTES:
 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTORS INVOLVED IN THE PROJECT.
 CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
 ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
 CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.

LANDSCAPE NOTES:
 1. SOD ALL DISTURBED AREAS OF THE SITE, TYPICAL UNLESS NOTED OTHERWISE.
 2. INSTALL SHREDED BARK MULCH TO A DEPTH OF 3" AROUND ALL NEW TREES, AND IN ALL PLANTING BEDS TYP. (WALNUT PRODUCTS ARE PROHIBITED)
 3. REFER TO SPECIFICATIONS FOR MINIMUM DEPTH OF TOPSOIL AT ALL LAWN AREAS & LANDSCAPED AREAS.
 4. BACKFILL TO TOP OF CURB, MINUS 1-1/2" FOR SOD, TYP.
 5. FINAL GRADES TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO GRADING.
 6. CONTRACTOR SHALL REPORT ANY SUBSURFACE SOILS OR DRAINAGE PROBLEMS TO THE ARCHITECT.

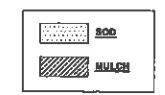
OPEN SPACE LANDSCAPING CALCS:
 OPEN SPACE FOR LANDSCAPING = 4,127 SF (25%) / ACTUAL OPEN SPACE = 2,538 SF (15%)
 MIN (2) TREES & (3) SHRUBS / 3000SF OPEN SPACE: 4,127/3000 = 1.4 (2)
 4 TREES REQUIRED / 4 PROVIDED
 8 SHRUBS REQUIRED / 13 PROVIDED

PARKING LOT LANDSCAPING CALCS:
 MIN (1) TREE REQUIRED PER 6X17 ISLAND & MIN (1) TREE REQUIRED PER POD
 3 TREES REQUIRED / 3 PROVIDED

STREETSCAPE LANDSCAPING CALCS:
 MIN (1) TREES & (10) SHRUBS PER 50LF STREETSCAPE: 150 LF / 50 = 3.0
 3 OVERSTORY TREES REQUIRED / 3 PROVIDED
 30 SHRUBS REQUIRED / 30 PROVIDED

PLANTING SCHEDULE

OVERSTORY/ORNAMENTAL TREES:		
(2) LL	LITTLE LEAF LINDEN "TILIA CORDATA"	B&B 2" CALIPER MIN.
(4) HL	TH. HONEYLOCUST "GLADISTIA TRICANTHOS"	B&B 2" CALIPER MIN.
(1) ER	EASTERN REDBUD "CERCIS CANADENSIS"	B&B 4'-5" MIN.
(4) DW	PAGODA DOGWOOD "CORNUS ALTERNIFOLIA"	B&B 4'-5" MIN.
SHRUBS:		
(28) GS	GOLD MOUND SPIREA "JAPONICA"	B&B 2 GAL. MIN.
(12) YEW	DENSE SPREADING YEW "TAXUS MEDIA"	B&B 3 GAL. MIN.
(11) SJ	SAVIN JUNIPER "JUNIPERUS SABINA"	B&B 2 GAL. MIN.
ORNAMENTAL GRASSES:		
(6) FG	HAMELIN FOUNTAIN GRASS	B&B 3 GAL. MIN.

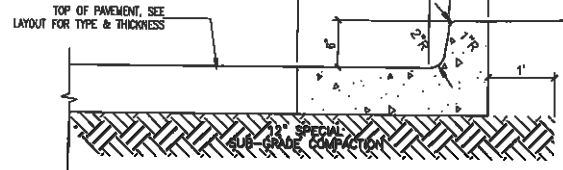


1 LANDSCAPING PLAN
 SCALE: 1" = 20'-0"

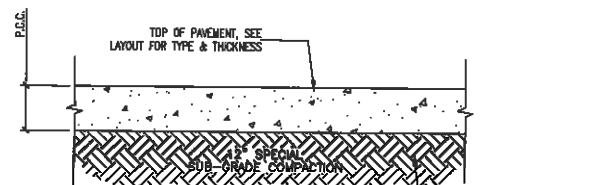


PRINT DATE: 30 MARCH 2017
 SHEET NAME: 840 FIRST STREET TENANT LANDSCAPE PLANS
 SULLY'S IRISH PUB
 1312 LOCUST, SUITE 100Z
 DES MOINES, IOWA 50309
 (515) 314-9852
 (515) 493-0003
 SP3

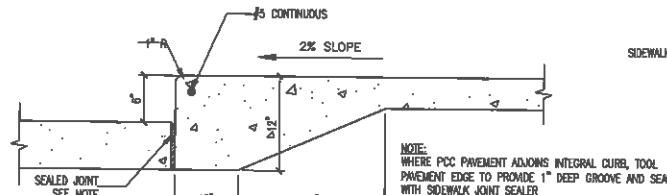
NOTE:
SEE GRADING PLAN FOR SLOPE
DIRECTION AND ELEVATION @ TOP
OF CURB (TC)



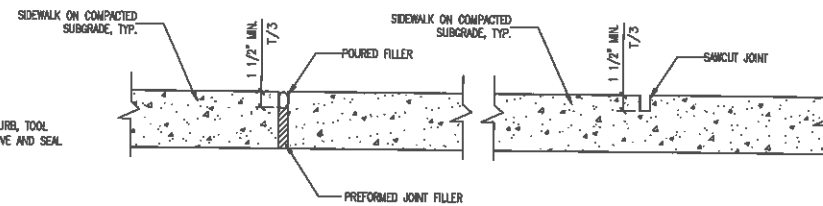
1 CONCRETE CURB AND GUTTER
NOT TO SCALE



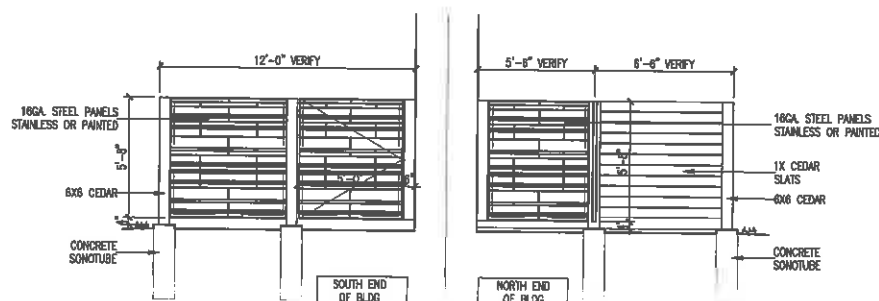
2 PAVEMENT SECTION
NOT TO SCALE



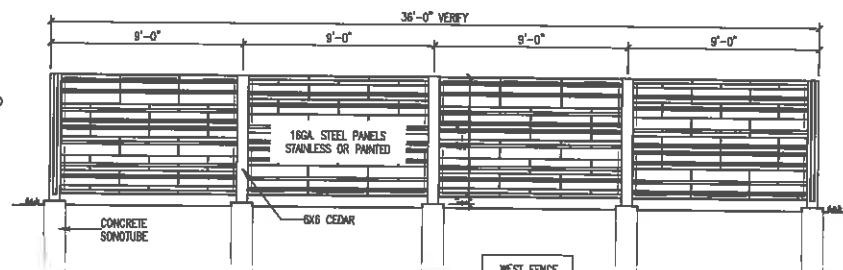
3 INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



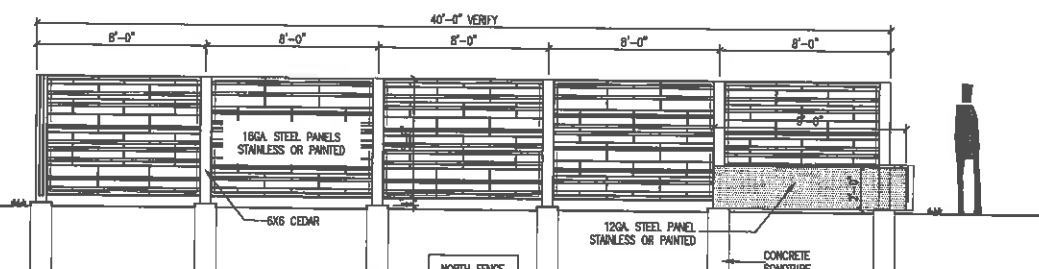
4 SIDEWALK JOINTING
NOT TO SCALE



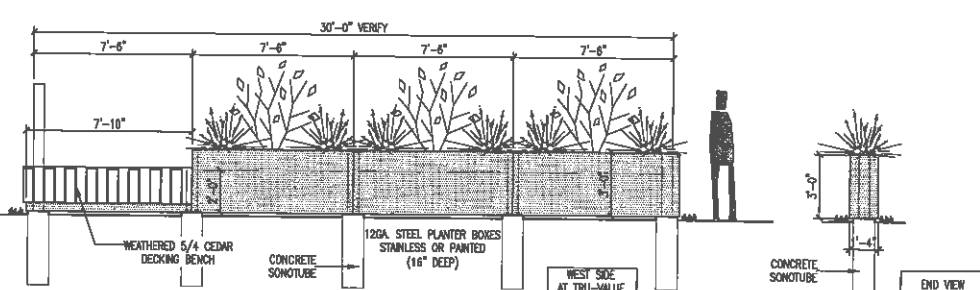
5 FENCE DETAIL
1/4" = 1'-0"



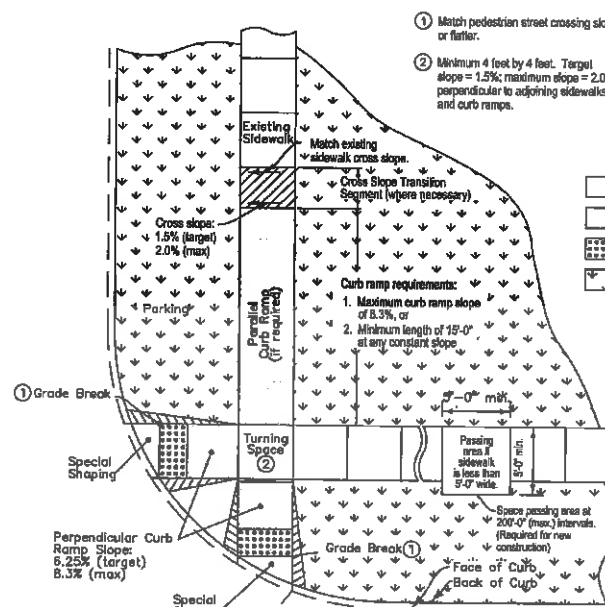
WEST FENCE



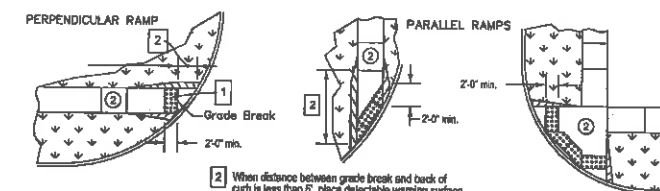
6 FENCE DETAIL
1/4" = 1'-0"



7 FENCE DETAIL
1/4" = 1'-0"

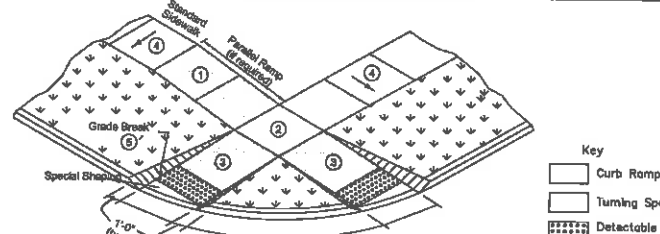


GENERAL FEATURES
OF AN ACCESSIBLE SIDEWALK

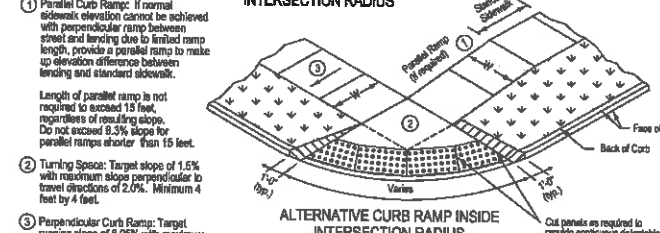


1 When detectable warning is located on curb ramp surface, orient dashes in the direction of pedestrian travel.
2 When distance between grade break and back of curb is less than 6', place detectable warning surface at the bottom of curb ramp.
3 Where one corner of curb ramp is more than 9' from back of curb, construct curb ramp as a parallel curb ramp. Where grade break back as required to place detectable warning on turning space at back of curb.
4 Provide minimum 2 foot width of detectable warning surfaces in direction of pedestrian travel across full width of the curb ramp or turning space, exclusive of curbs or flares.

DETECTABLE WARNING PLACEMENT



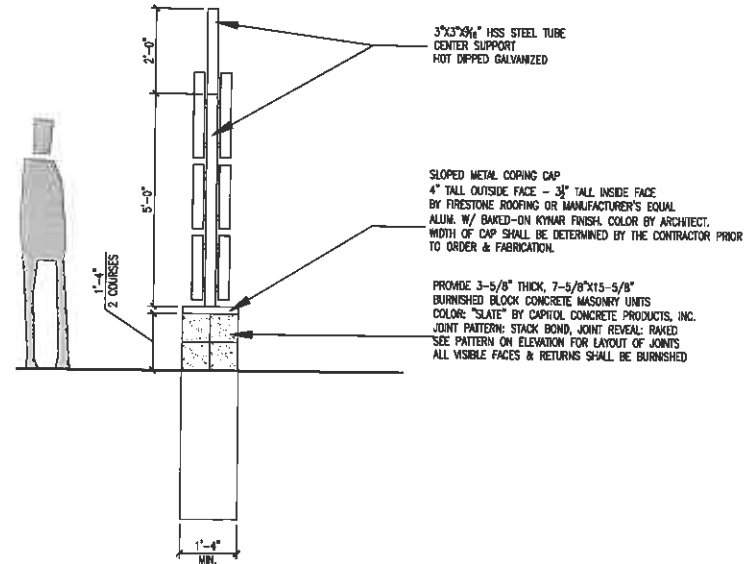
CURB RAMP INSIDE INTERSECTION RADIUS



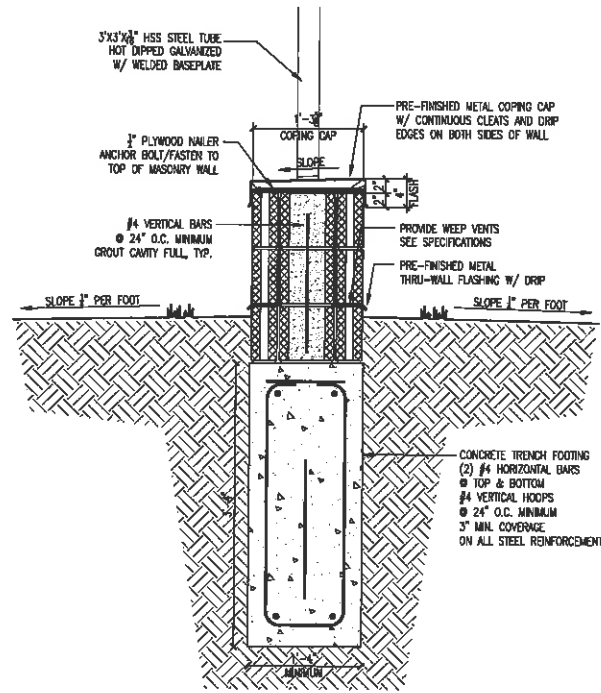
ALTERNATIVE CURB RAMP INSIDE INTERSECTION RADIUS

CURB RAMP DETAILS
(Public ROW Accessibility Guidelines)

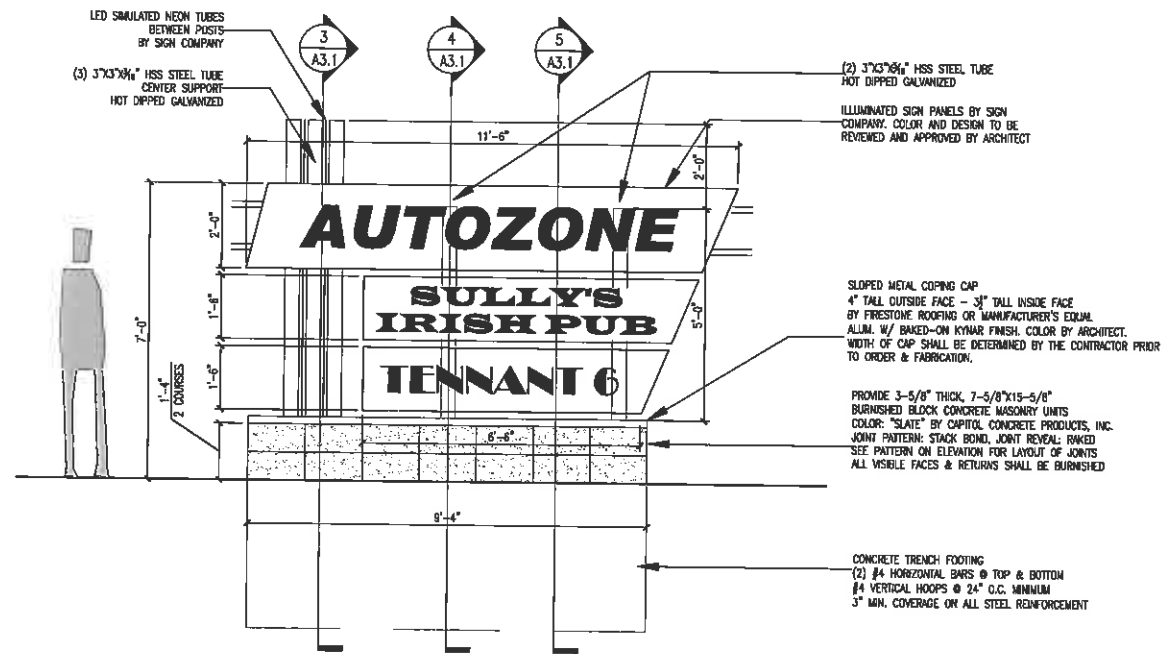
NOTES:
PRIOR TO PLACEMENT OF ANY CONCRETE ALL RAMPS SHALL BE INSPECTED BY CITY OF WEST DES MOINES BUILDING DEPARTMENT (515) 222-3630.



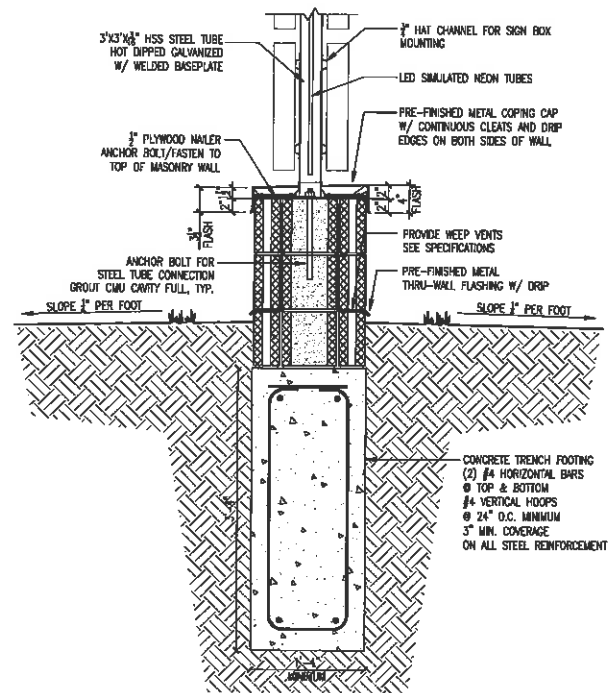
2 MONUMENT SIGN ELEVATION (DOUBLE SIDED)
SCALE: 1/2" = 1'-0"



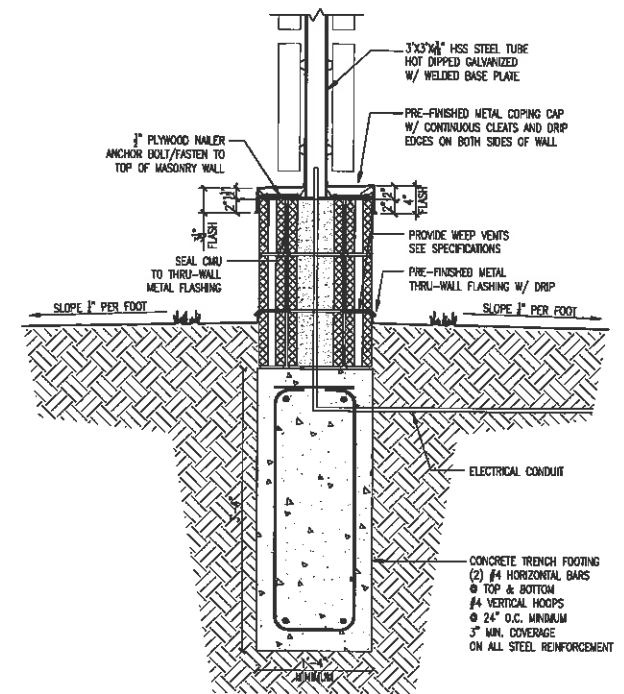
5 SECTION DETAIL - MONUMENT SIGN
SCALE: 1" = 1'-0"



1 MONUMENT SIGN ELEVATION (DOUBLE SIDED)
SCALE: 1/2" = 1'-0"



3 SECTION DETAIL - MONUMENT SIGN
SCALE: 1" = 1'-0"



4 SECTION DETAIL - MONUMENT SIGN
SCALE: 1" = 1'-0"





||| ||| ||| ||| |||
STUDIO MELEE





||| E | E E
STUDIO MELEE



PARCEL 3: TAVERN/LOUNGE



TRADITIONAL AWNINGS
WEATHERED WOOD



VERTICAL WINDOW PROPORTION
PAINTED BATTEN SIDING



THIN CANOPY, PIPE COLUMNS
LIGHT BRICK/STONE VENEER

