

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: April 24, 2017

Item: All-State Industries, 480 S. 18th Street – Subdivide the property into two lots and one street lot for construction of a 60,668 square foot industrial building – All-State Investments, LC – PP-003400-2017/SP-003401-2017

Requested Action: Approval of Preliminary Plat and Site Plan

Case Advisor: J. Bradley Munford 

Applicant's Request: Justin Brown with Downing Construction, Inc., on behalf of the applicant All-State Investments is requesting approval of a 5.55 acre Preliminary Plat to create two lots and one street lot for additional street right-of-way. The applicant is also seeking approval of a Site Plan to allow construction of a 60,668 square foot industrial building and associated site improvements for the existing building as well as the proposed building (see Attachment C, Preliminary Plat/Site Plan and Attachment D, Building Elevations).

History: This area was originally platted as Industrial Park in 1966. It was replatted in 1968 as Industrial Park Replat and again in 1976 as Industrial Park Plat 1. In 2005 the current configuration for lots 1 and 2 was platted as All-States Industrial Plat 2. The building on lot 2 (520 S 18th St.) was constructed in 1972.

City Council Subcommittee: This item was presented at the March 20, 2017 Development and Planning City Council Subcommittee. The Subcommittee was supportive of the request.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.

5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendation And Conditions Of Approval: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Preliminary Plat to create two lots and one street lot, and approve the Site Plan to allow the development of a 60,668 square foot industrial building and associated site improvements, subject to the applicant meeting all City Code requirements and the following:

1. The applicant providing final drawings, addressing staff comments, of the preliminary plat and site plan prior to the construction of any improvements on the site and prior to the final plat proceeding to the City Council for approval.
2. Applicant acknowledging that the associated Final plat must be approved and released for recordation by the City and recorded with the County prior to the issuance of any building permits, including footing and foundation permits for any lot within the plat;
3. The applicant executes an agreement and waiver for sidewalks, a streetlight agreement and payment of streetlights prior to the Final Plat approval.

Applicant: All-State Investments
 Sherry Wilkinson
 520 S 18th Street
 West Des Moines, Iowa 50265
SWilkinson@all-stateind.com

Applicant Representative: Downing Construction, Inc.
 Justin Brown
 2500 W. 2nd Avenue
 Indianola, Iowa 50125
justinb@downingconstruct.com

ATTACHMENTS:

Attachment A	-	Plan and Zoning Commission Resolution
Exhibit A	-	Conditions of Approval
Attachment B	-	Location Map
Attachment C	-	Preliminary Plat / Site Plan
Attachment D	-	Building Elevations

RESOLUTION NO.

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A PRELIMINARY PLAT TO SUBDIVIDE THE PROPERTY INTO TWO LOTS, ONE STREET LOT AND APPROVE A SITE PLAN FOR THE CONSTRUCTION OF A 60,668 SQUARE FOOT INDUSTRIAL BUILDING

WHEREAS, pursuant to the provisions of Title 10, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, All-State Investments, has requested approval for a Preliminary Plat (PP-003400-2017) for that approximately 5.55 acre site located at the 480 S. 18th Street to subdivide the property into two lots and one street lot;

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, All-State Investments has requested approval of a Site Plan (SP-003401-2017) for that approximately 5.55 acre site generally located on the 480 S. 18th Street to allow construction of a 60,668 square foot industrial building and associated site improvements;

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, on April 24, 2017, this Commission held a duly-noticed public meeting to consider the applications for the Preliminary Plat and Site Plan;

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report, dated April 24, 2017, or as amended orally at the Plan and Zoning Commission meeting of April 24, 2017, are adopted.

SECTION 2. Preliminary Plat (PP-003400-2017) and Site Plan (SP-003401-2017) to subdivide the property into two lots and one street lot, and allow construction of a 60,668 square foot industrial building are recommended to the City Council for approval, subject to compliance with all the conditions in the staff report, dated April 24, 2017, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on April 24, 2017.

Craig Erickson, Chairperson
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on April 24, 2017, by the following vote:

- AYES:
- NAYS:
- ABSTENTIONS:
- ABSENT:

ATTEST:

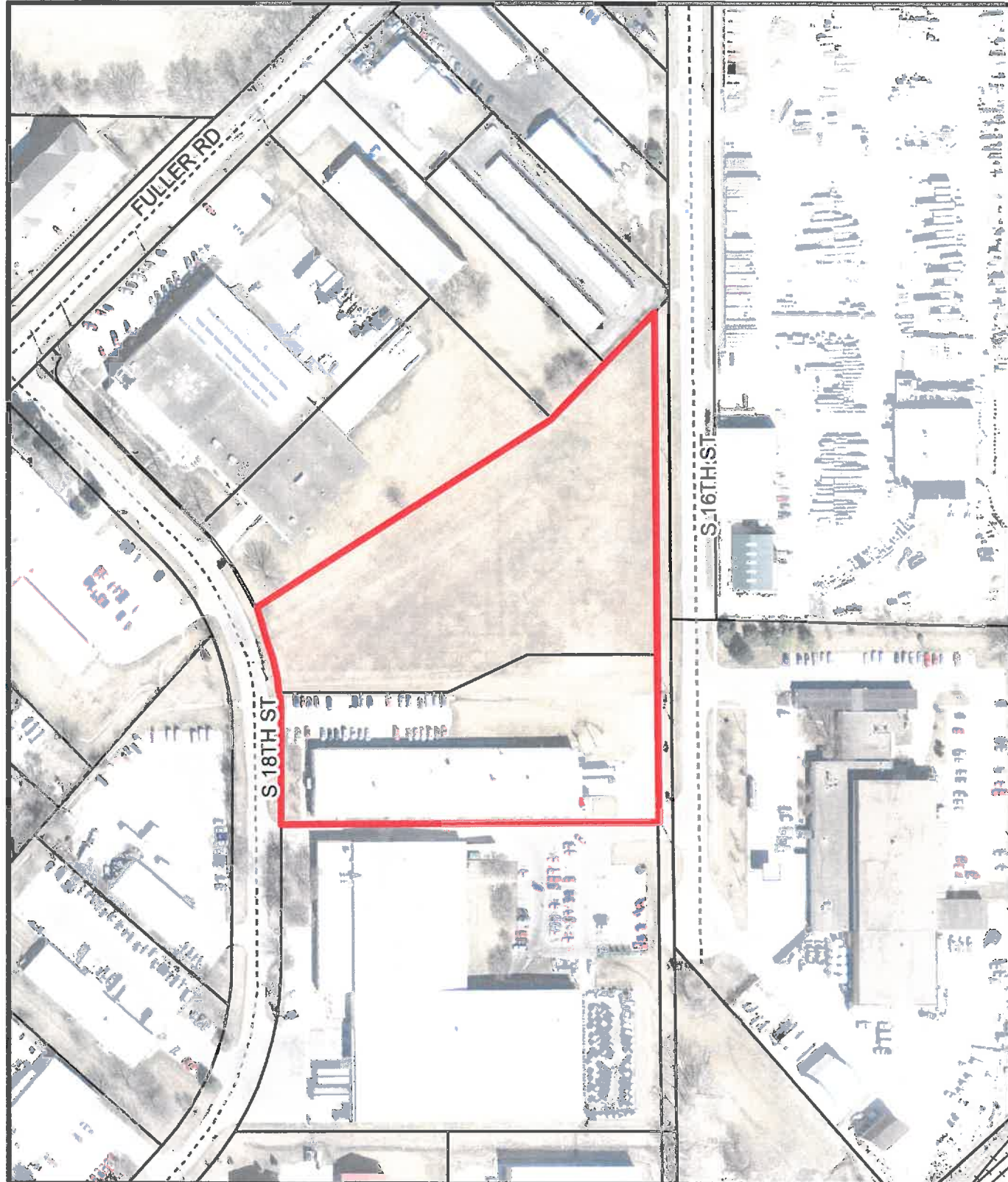
Recording Secretary

EXHIBIT A

EXHIBIT A CONDITIONS OF APPROVAL

1. The applicant providing final drawings, addressing staff comments, of the preliminary plat and site plan prior to the construction of any improvements on the site and prior to the final plat proceeding to the City Council for approval.
2. Applicant acknowledging that the associated Final plat must be approved and released for recordation by the City and recorded with the County prior to the issuance of any building permits, including footing and foundation permits for any lot within the plat;
3. The applicant executes an agreement and waiver for sidewalks, a streetlight agreement and payment of streetlights prior to the Final Plat approval.

ATTACHMENT B



All-State Industries



PRELIMINARY- NOT FOR CONSTRUCTION

ALL-STATE INDUSTRIAL PLAT 3
SITE PLAN/PRELIMINARY PLAT

SHEET INDEX:

- C0.1 COVER SHEET
C0.2 SITE SURVEY
C1.1 DEMO PLAN
C2.1 LAYOUT PLAN
C3.1 GRADING PLAN
C4.1 UTILITY PLAN
C5.1 LANDSCAPE PLAN
C6.1 DETAILS SHEET
C7.1 SWPPP

PROPERTY DESCRIPTION:

LOT 1 AND LOT 2, ALL-STATE INDUSTRIAL PLAT 2, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, SUBJECT TO ALL EASEMENTS AND ENCUMBRANCES OF RECORD SAID TRACT OF LAND CONTAINS 5.95 ACRES.

REFERENCE DEEDS:
WARRANTY DEED BOOK: 14614 PAGE 647
WARRANTY DEED BOOK: 8028 PAGE 973

ADDRESS:
480 S 16TH STREET
WEST DES MOINES, IA 50265

OWNER:
ALL-STATE INVESTMENTS LC
530 S 16TH STREET
WEST DES MOINES, IA 50265

PREPARED FOR:
DOWNING CONSTRUCTION, INC
2500 WEST 2ND AVENUE
P.O. BOX 196
INDIANOLA, IA 50125

ZONING:
G1 GENERAL INDUSTRIAL DISTRICT

PARKING REQUIREMENTS:

LOT 1:
WAREHOUSE 15,000GSF @ 47,188SF = 10 STALLS
OFFICE 1/200GSF @ 1,700SF = 9 STALLS
MANUFACTURING 1/1,000GSF @ 11,800SF = 12 STALLS

TOTAL SPACES REQUIRED = 31 SPACES
PARKING PROVIDED = 57 SPACES (3 ADA)

LOT 2:
WAREHOUSE 1/5,000GSF @ 31,500SF = 7 STALLS
OFFICE 1/200GSF @ 5,400SF = 28 STALLS

LOT A:
N/A

TOTAL SPACES REQUIRED = 35 SPACES
PARKING PROVIDED = 36 SPACES (2 ADA)

OPEN SPACE REQUIREMENTS:

PROPOSED LOT 1 = 171,633.13SF
OPEN SPACE REQUIRED PROPOSED LOT 1 = 20.00% (34,327.63SF)
OPEN SPACE PROVIDED PROPOSED LOT 1 = 38.42% (65,945SF)

PROPOSED LOT 2 = 89,441.85SF

OPEN SPACE REQUIRED PROPOSED LOT 2 = 20.00% (13,888.37SF)
OPEN SPACE PROVIDED PROPOSED LOT 2 = 21.09% (14,646SF)

PROPOSED LOT A = 568.97SF

OPEN SPACE REQUIRED PROPOSED LOT A - N/A

BENCHMARK:

BM #46
580 SOUTH 16TH STREET, 46.5 FEET SOUTH OF THE NORTHWEST CORNER OF THE CITY OF WEST DES MOINES PUBLIC WORKS BUILDING, 4 FEET WEST OF BUILDING.
ELEVATION (NAVD88) = 819.97 FEET
ELEVATION (NAD83) = 817.27 FEET
ELEVATION (NAD83 DATUM) = 45.96 FEET

BM #45
2400 BLOCK OF GRAND AVE, 114' SE OF THE CENTERLINE OF GRAND, 54' NW OF THE CENTERLINE OF THE IOWA INTERSTATE RAILROAD, 118' WEST OF THE CENTERLINE OF THE ENTRANCE TO RACCOON RIVER REGIONAL PARK.
ELEVATION (NAVD88) = 817.27 FEET
ELEVATION (NAD83) = 43.26 FEET

SITE TBM
BURY BOLT ON HYDRANT EAST SIDE OF S16TH ST. NORTH OF NORTH ENTRANCE TO WDM PUBLIC WORKS BUILDING.
ELEVATION (NAD83) = 48.20

GENERAL NOTES:

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS...
2. IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES...
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS...
5. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR...
6. BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE...
7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION...
8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS...
9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED...
10. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY...
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS...
12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION...
13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS...
14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES...
15. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY...
16. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS...
17. EXISTING COMPREHENSIVE PLAIN LAND USE DESIGNATION = G1 - GENERAL INDUSTRIAL, PROPOSED COMPREHENSIVE PLAIN LAND USE DESIGNATION = G1 - GENERAL INDUSTRIAL.

PAVING NOTES:

- 1. THE PAVING GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE...
2. SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT...
3. SEE DETAILS FOR ALL PAVEMENT THICKNESS...
4. ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS...
5. ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES.

UTILITY NOTES:

- 1. QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY...
2. THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER...
4. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES...
5. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE...
6. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS...
7. ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC...
8. SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING...
9. MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES...
10. WATERMANS SHALL BE C-800. SIZE OF WATERMAIN AS SHOWN ON PLANS...
11. THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION...
12. PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED...
13. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT...
14. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED...
15. THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET...
16. ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION NEED TO BE SUBMITTED TO BEN MCALISTER FOR REVIEW AND APPROVAL BY THE CITY ENGINEER.

UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING... UNLESS OTHERWISE NOTED, ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY.

UTILITY CONFLICT NOTES:

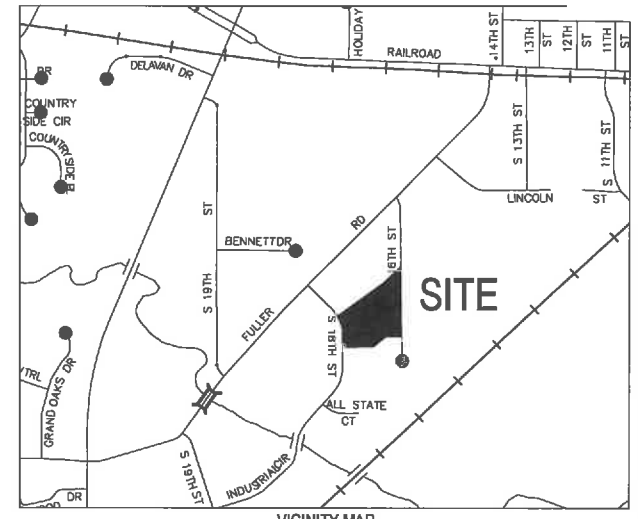
- 1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE...
2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

WETLAND NOTES:

- 1. BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

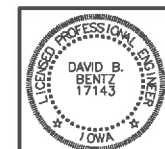
- 1. SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 6-25-2014. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.



LEGEND:
SAN - SANITARY SEWER
ST - STORM SEWER
W - WATER LINE
G - GAS LINE
UE - UNDERGROUND ELECTRIC
OE - OVERHEAD ELECTRIC
TELE - TELEPHONE LINE
FO - FIBER OPTIC
CATV - CABLE TV
SM - STORM MANHOLE
CI - CURB INTAKE
SI - SURFACE INTAKE
FE - FLARED END SECTION
SMH - SANITARY MANHOLE
CL - CLEANOUT
FH - FIRE HYDRANT
SP - SPRINKLER
ICV - IRRIGATION CONTROL VALVE
WMH - WATER MANHOLE
WELL - WELL
WV - WATER VALVE
WSO - WATER SHUT OFF
YH - YARD HYDRANT
EMH - ELECTRIC MANHOLE
ER - ELECTRIC RISER
EV - ELECTRIC VAULT
PP - POWER POLE
TPO - TRANSFORMER POLE
LP - LIGHT POLE
EJB - ELECTRIC JUNCTION BOX
EP - ELECTRIC PANEL
TR - TRANSFORMER
GL - GROUND LIGHT
GW - GUY WIRE
EH - ELECTRIC HANDHOLE
GM - GAS METER
GV - GAS VALVE
AC - AIR CONDITIONING UNIT
TR - TELEPHONE RISER
TV - TELEPHONE VAULT
TMH - TELEPHONE MANHOLE
FSM - TRAFFIC SIGNAL MANHOLE
FORS - FIBER OPTIC RISER
FOF - FIBER OPTIC FAULT
CR - CABLE TV RISER
SIGN - SIGN
P - DENOTES NUMBER OF PARKING STALLS
PC - PROPERTY CORNER - FOUND AS NOTED
PCP - PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #4775
SC - SECTION CORNER - FOUND AS NOTED

ABBREVIATIONS:

Table with 2 columns: Abbreviation and Description. Includes AC (ACRES), ASPH (ASPHALT), BK (BOOK), CONC (CONCRETE), D (DEEDED DISTANCE), EX (EXISTING), ENCL (ENCLOSURE), FF (FINISHED FLOOR), FL (FLOW LINE), FRAC (FRACTIONAL), M (MEASURED DISTANCE), MH (MANHOLE), OPC (ORANGE PLASTIC CAP), P (PLATTED DISTANCE), PG (PAGE), POB (POINT OF BEGINNING), POC (POINT OF COMMENCEMENT), PRA (PREVIOUSLY RECORDED AS PROPOSED), RUE (PUBLIC UTILITY EASEMENT), ROW (RIGHT OF WAY), RPC (RED PLASTIC CAP), SF (SQUARE FEET), SAN (SANITARY), TYP (TYPICAL), YPC (YELLOW PLASTIC CAP), N (NORTH), S (SOUTH), E (EAST), W (WEST).



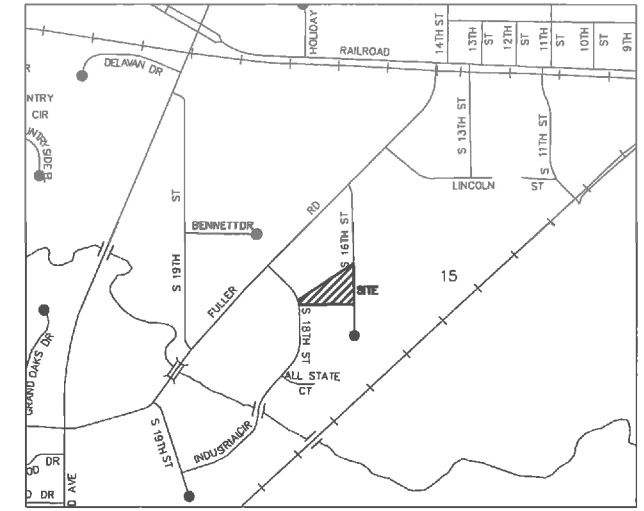
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
SIGNED: DAVID B. BENTZ, PE, 17143 DATE:
LICENSE RENEWAL DATE: DEC. 31, 2017
PAGES OR SHEETS COVERED BY THIS SEAL:

Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50323-3825
Phone: (515) 276-0467 Fax: (515) 276-0417
Civil Engineering & Land Surveying
Established 1959

ALL-STATE INDUSTRIES BUILDING EXPANSION
WEST DES MOINES, IOWA
COVER SHEET

Table with 2 columns: Field Name and Value. Includes REFERENCE NUMBER, DRAWN BY (M/J), CHECKED BY (DB), REVISION DATE (3-3-2017, 3-29-2017, 4-19-2017), PROJECT NUMBER (110404), SHEET NUMBER (C0.1).

ALL-STATE TWO BUILDING SITE SURVEY



PROPERTY DESCRIPTION:
LOT 1 AND LOT 2, ALL-STATE INDUSTRIAL PLAT 2, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, SUBJECT TO ALL EASEMENTS AND ENCUMBRANCES OF RECORD SAID TRACT OF LAND CONTAINS 0.28 ACRES.

REFERENCE DEEDS:
WARRANTY DEED BOOK: 1814 PAGE 847
WARRANTY DEED BOOK: 2888 PAGE 878

ADDRESS:
480 S 18TH STREET
WEST DES MOINES, IA 50309

TOTAL AREA:
0.28 ACRES

OWNER:
ALL-STATE INVESTMENTS LC
680 S 10TH STREET
WEST DES MOINES, IA 50309

PREPARED FOR:
DOWNING CONSTRUCTION, INC
2800 WEST 2ND AVENUE
P. O. BOX 980
INDIANOLA, IA 50650

ZONING:
G1 GENERAL INDUSTRIAL DISTRICT

BENCHMARK:
BM # 48
800 SOUTH 18TH STREET, 48.0 FEET SOUTH OF THE NORTHWEST CORNER OF THE CITY OF WEST DES MOINES PUBLIC WORKS BUILDING, 118' WEST OF THE CENTERLINE OF THE ENTRANCE TO RACCOON RIVER REGIONAL PARK. ELEVATION (NAD 83) = 81.57 FEET ELEVATION (NAD DATUM) = 48.08 FEET

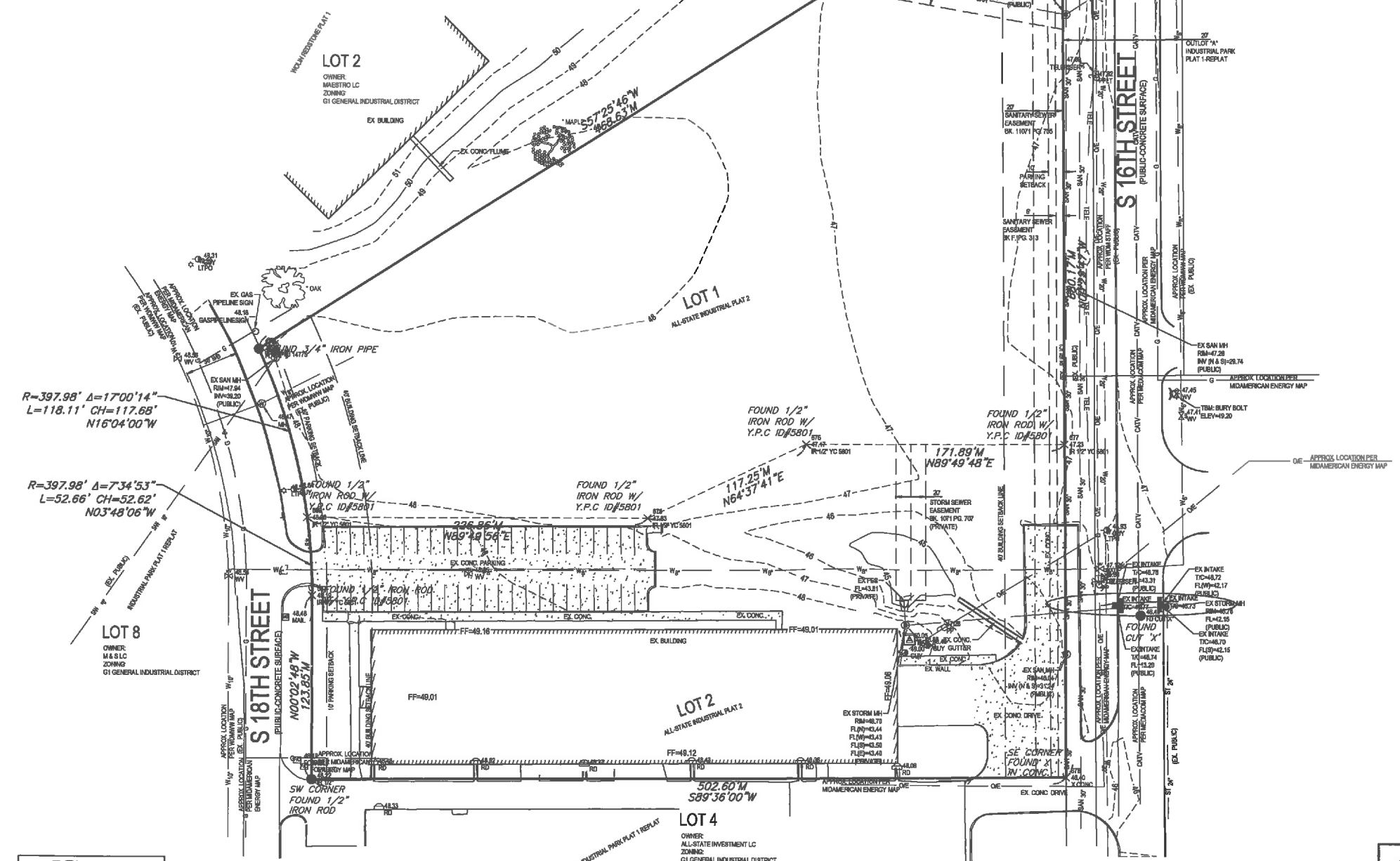
BM # 49
3490 BLOCK OF GRAND AVE, 114' SE OF THE CENTERLINE OF GRAND, BY NW OF THE CENTERLINE OF THE IOWA INTERSTATE RAILROAD, 118' WEST OF THE CENTERLINE OF THE ENTRANCE TO RACCOON RIVER REGIONAL PARK. ELEVATION (NAD 83) = 81.27 FEET ELEVATION (NAD DATUM) = 48.08 FEET

NOTE:
BURY BOLT OR HYDRANT EAST SIDE OF 810TH ST. NORTH OF NORTH ENTRANCE TO IOWA PUBLIC WORKS BUILDING. ELEVATION (NAD DATUM) = 48.20

VICINITY MAP
NOT TO SCALE

LEGEND:

— SAN —	SANITARY SEWER
— ST —	STORM SEWER
— W —	WATER LINE
— G —	GAS LINE
— UE —	UNDERGROUND ELECTRIC
— OE —	OVERHEAD ELECTRIC
— TELE —	TELEPHONE LINE
— FO —	FIBER OPTIC
— CATV —	CABLE TV
⊙	STORM MANHOLE
⊞	CURB INTAKE
⊞	SURFACE INTAKE
⊞	FLARED END SECTION
⊞	SANITARY MANHOLE
⊞	CLEANOUT
⊞	FIRE HYDRANT
⊞	SPRINKLER
⊞	IRRIGATION CONTROL VALVE
⊞	WATER MANHOLE
⊞	WELL
⊞	WATER VALVE
⊞	WATER SHUT OFF
⊞	YARD HYDRANT
⊞	ELECTRIC MANHOLE
⊞	ELECTRIC METER
⊞	ELECTRIC RISER
⊞	ELECTRIC VAULT
⊞	POWER POLE
⊞	TRANSFORMER POLE
⊞	LIGHT POLE
⊞	ELECTRIC JUNCTION BOX
⊞	ELECTRIC PANEL
⊞	TRANSFORMER
⊞	GROUND LIGHT
⊞	GUY WIRE
⊞	ELECTRIC HANDHOLE
⊞	GAS METER
⊞	GAS VALVE
⊞	AIR CONDITIONING UNIT
⊞	TELEPHONE RISER
⊞	TELEPHONE VAULT
⊞	TELEPHONE MANHOLE
⊞	TRAFFIC SIGNAL MANHOLE
⊞	FIBER OPTIC RISER
⊞	FIBER OPTIC FAULT
⊞	CABLE TV RISER
⊞	SIGN
⊞	DENOTES NUMBER OF PARKING STALLS
⊞	PROPERTY CORNER - FOUND AS NOTED
⊞	PROPERTY CORNER - FOUND AS NOTED
⊞	PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14778
⊞	SECTION CORNER - FOUND AS NOTED



$R=397.98'$ $\Delta=17^{\circ}00'14''$
 $L=118.11'$ $CH=117.65'$
 $N16^{\circ}04'00''W$

$R=397.98'$ $\Delta=7^{\circ}34'53''$
 $L=52.66'$ $CH=52.62'$
 $N03^{\circ}48'06''W$



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: LARRY D. HYLER, P.L.S. 14775 DATE: _____

LICENSE RENEWAL DATE: DEC. 31, 2014
PAGES OR SHEETS COVERED BY THIS SEAL: THIS PAGE ONLY



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATION OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

COPYRIGHT 2014 BISHOP ENGINEERING. THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR EXCEPTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF BISHOP ENGINEERING. UNAUTHORIZED COPYING OR DISCLOSURE OF CONFIDENTIAL INFORMATION ARE PROHIBITED BY COPYRIGHT LAW.

FIELD WORK COMPLETED ON 6-25-2014

Bishop Engineering
Professional Land Surveyors
2001 104th Street
West Des Moines, Iowa 50377
Phone: 515-281-1111
Fax: 515-281-1112
www.bishopeng.com
Civil Engineering & Land Surveying Established 1989

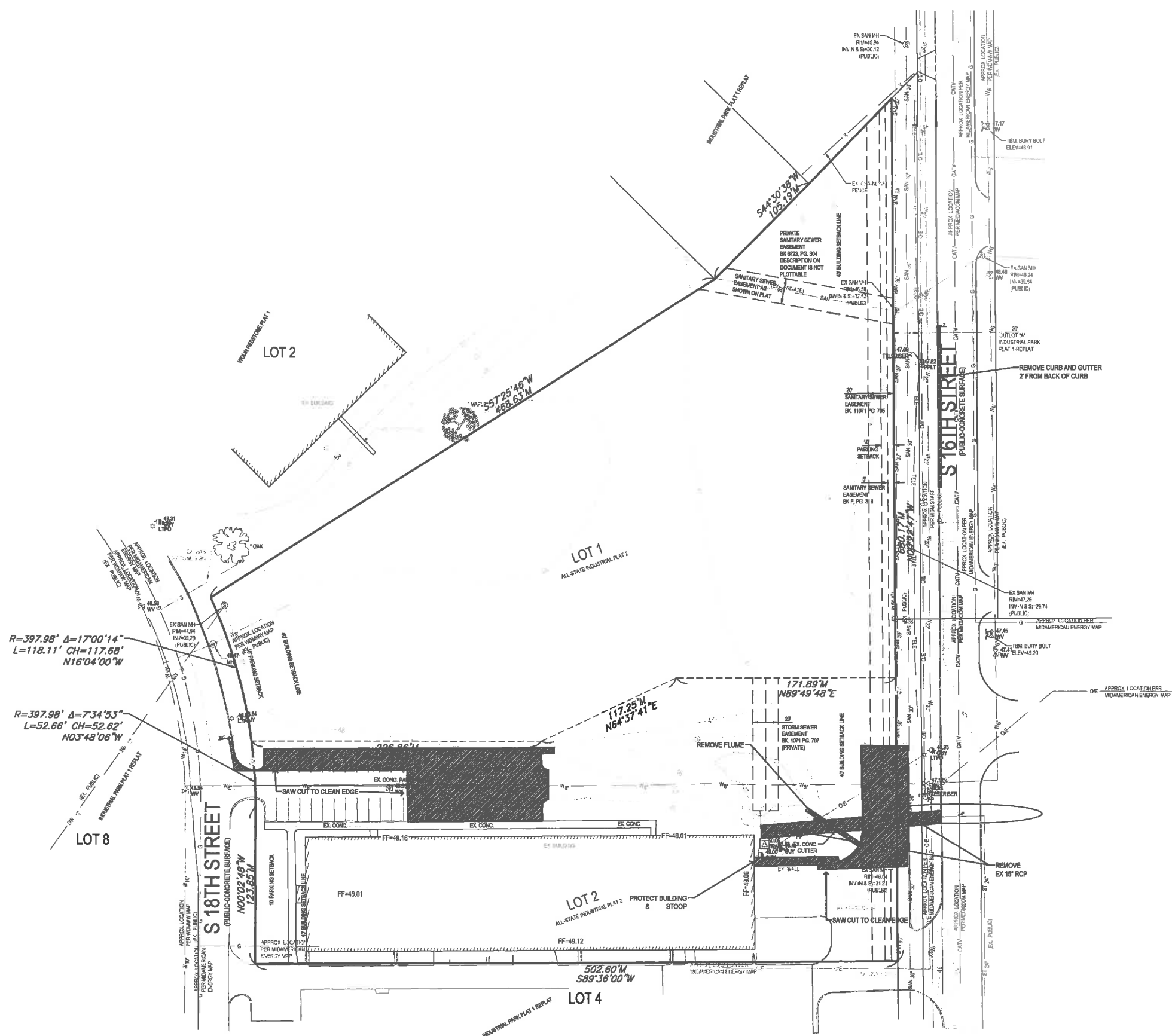
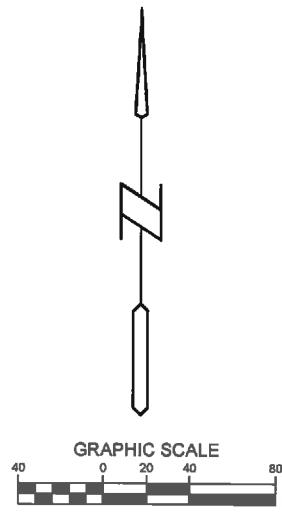
ALL-STATE TWO BUILDING 480 S 18TH STREET WDM, IA SITE SURVEY

REFERENCE NUMBER:	110404
DESIGN BY:	GBA
CHECKED BY:	LM
REVISION DATE:	
PROJECT NUMBER:	110404
SHEET NUMBER:	C0.2

PRELIMINARY- NOT FOR CONSTRUCTION

4/18/2017 8:18:57 AM I:\LAND PROJECTS\201111\04010\WG1 DEMO.DWG

- DEMO NOTES:**
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.



ALL-STATE INDUSTRIES BUILDING EXPANSION WEST DES MOINES, IOWA

DEMO PLAN

REFERENCE NUMBER:	
DRAWN BY:	MJW
CHECKED BY:	DB
REVISION DATE:	3-3-2017 3-29-2017 4-19-2017
PROJECT NUMBER:	110404
SHEET NUMBER:	C1.1

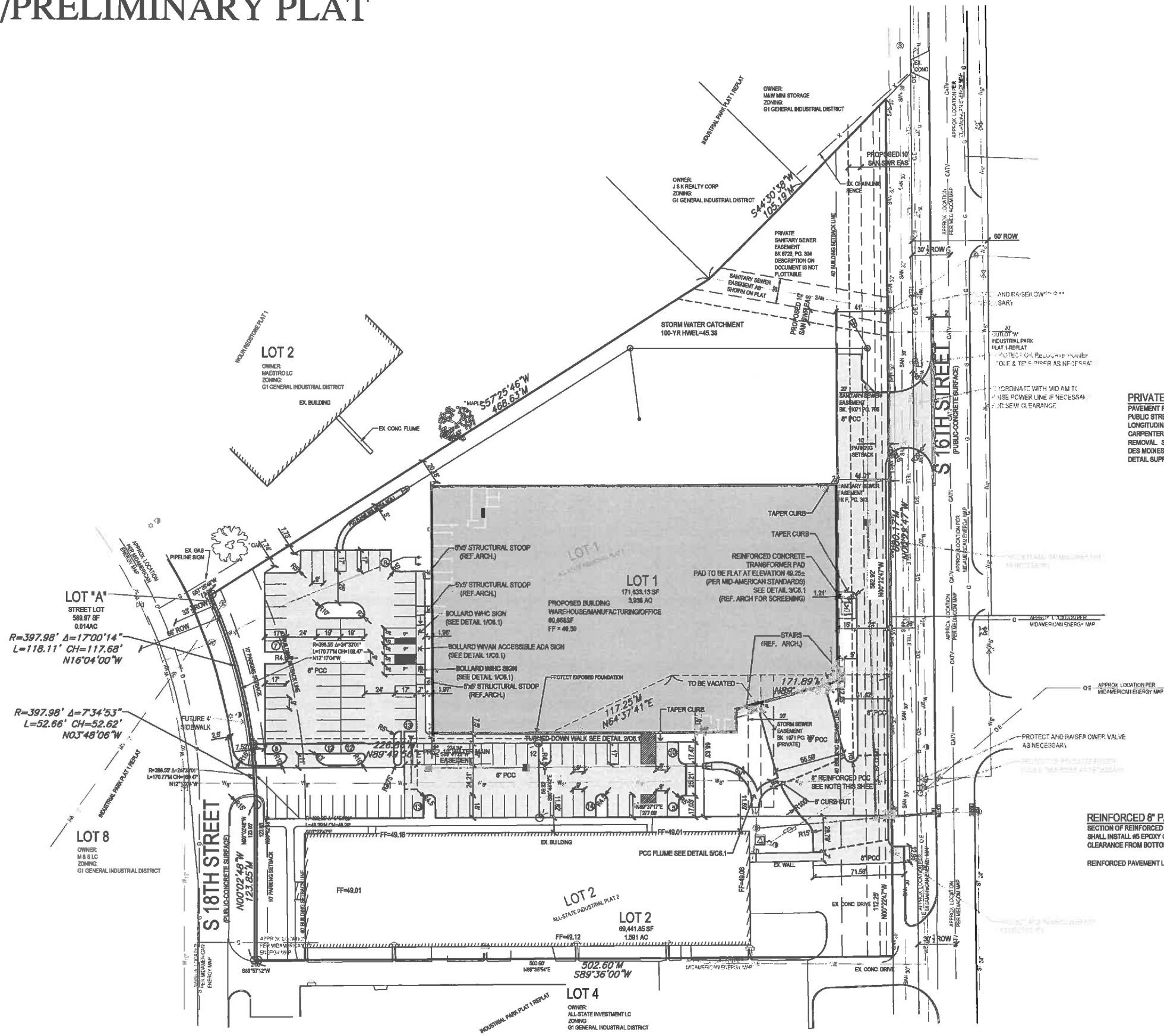
Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515) 276-0467 Fax: (515) 276-0517

Civil Engineering & Land Surveying
Established 1959

PRELIMINARY- NOT FOR CONSTRUCTION

ALL-STATE INDUSTRIAL PLAT 3 SITE PLAN/PRELIMINARY PLAT



PRIVATE DRIVEWAY CONNECTION NOTE
 PAVEMENT REMOVAL FOR PRIVATE DRIVEWAY CONNECTION(S) TO THE PUBLIC STREET SHALL BE TO THE NEAREST TRANSVERSE AND LONGITUDINAL JOINT. VERIFY REMOVAL LIMITS WITH CLINT CARPENTER (222-3638) WDM CONSTRUCTION DIVISION PRIOR TO ANY REMOVAL. SAID DRIVEWAY WILL NEED TO CONFORM TO CITY OF WEST DES MOINES STANDARD DRAWING 7.18 COMMERCIAL DRIVEWAY DETAIL SUPPLIED ON C8.1 DETAILS SHEET.

REINFORCED 8" PAVEMENT NOTE & LEGEND
 SECTION OF REINFORCED PAVEMENT OVER SHALLOW STORM SEWER SHALL INSTALL #6 EPOXY COATED BARS 2' OC BOTH WAYS W/2" MIN CLEARANCE FROM BOTTOM OF SLAB

REINFORCED PAVEMENT LIMITS

Bishop Engineering
 "Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50325-3925
 Phone: (515) 276-0487 Fax: (515) 276-0217
 Established 1959

**ALL-STATE INDUSTRIES BUILDING EXPANSION
 WEST DES MOINES, IOWA
 LAYOUT PLAN**

REFERENCE NUMBER:	
DRAWN BY:	MLW
CHECKED BY:	DB
REVISION DATE:	3-3-2017 3-29-2017 4-19-2017
PROJECT NUMBER:	110404
SHEET NUMBER:	C2.1

4/19/2017 8:56:51 AM MLAND PROJECTS 201110404\DWG2\2 LAYOUT.DWG

PRELIMINARY - NOT FOR CONSTRUCTION

ALL-STATE INDUSTRIAL PLAT 3 SITE PLAN/PRELIMINARY PLAT

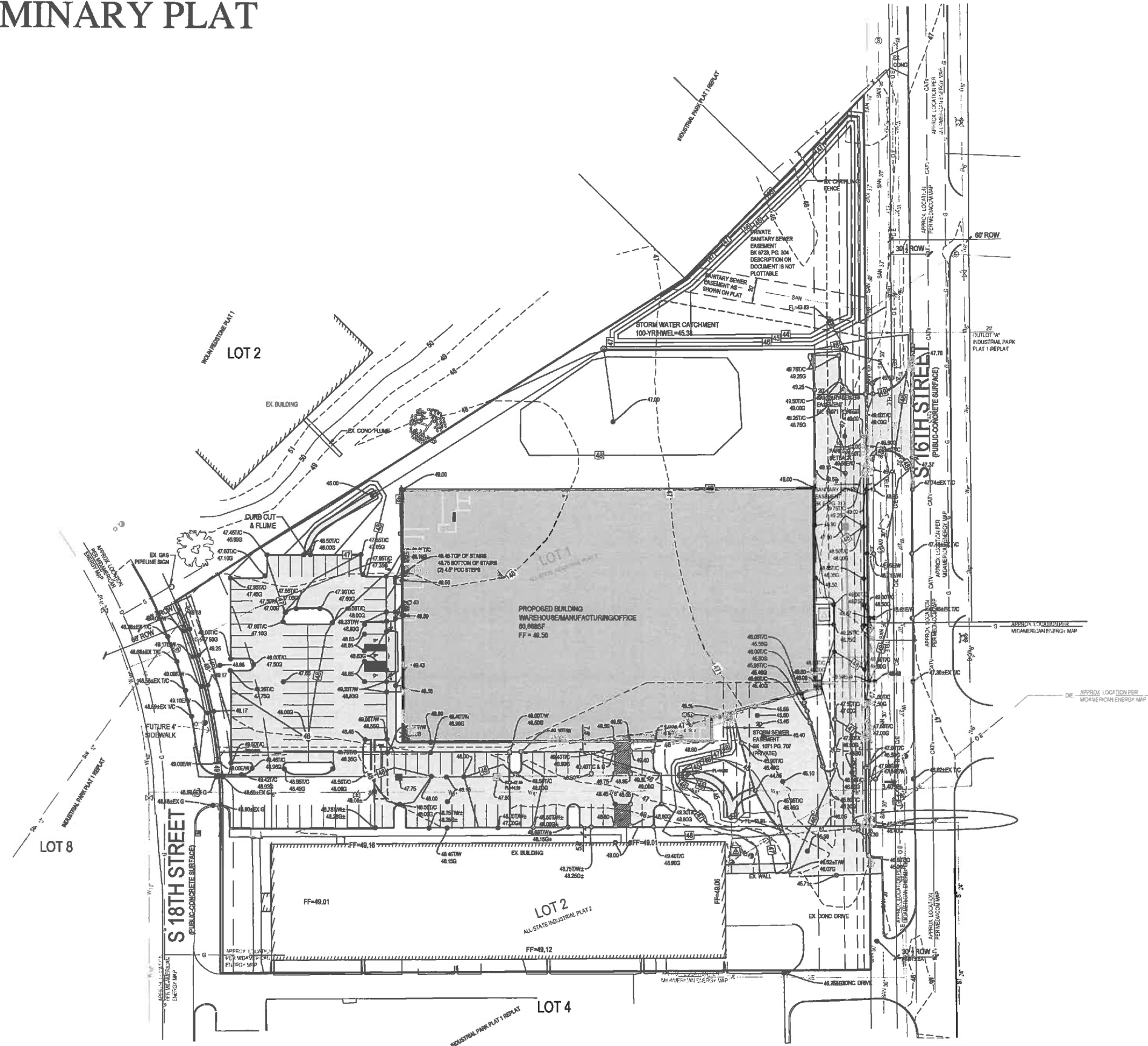
TOPSOIL NOTES:

1. STRIP AND STOCKPILE THE TOP 6" OF SOIL ON ALL DISTURBED AREAS.
2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 6" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS: FERTILE, FRABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

GRADING LEGEND:

- EXISTING CONTOUR ——— 150 ———
- PROPOSED CONTOUR ——— 150 ———
- FINISHED GROUND ELEVATION ●—— 150.50
- TOP OF CURB ELEVATION ●—— 150.50TC
- GUTTER ELEVATION ●—— 150.50G
- TOP OF WALL ELEVATION ●—— 150.50TW
- BOTTOM OF WALL ELEVATION ●—— 150.50BW
- EDGE OF WALK ELEVATION ●—— 150.50EW
- TOP OF STAIR ELEVATION ●—— 150.50TS
- BOTTOM OF STAIR ELEVATION ●—— 150.50BS

GRAPHIC SCALE



Bishop Engineering
 "Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50322-3825
 Phone: (515) 276-0467 Fax: (515) 276-0217
 Civil Engineering & Land Surveying
 Established 1959

**ALL-STATE INDUSTRIES BUILDING EXPANSION
 WEST DES MOINES, IOWA**

GRADING PLAN

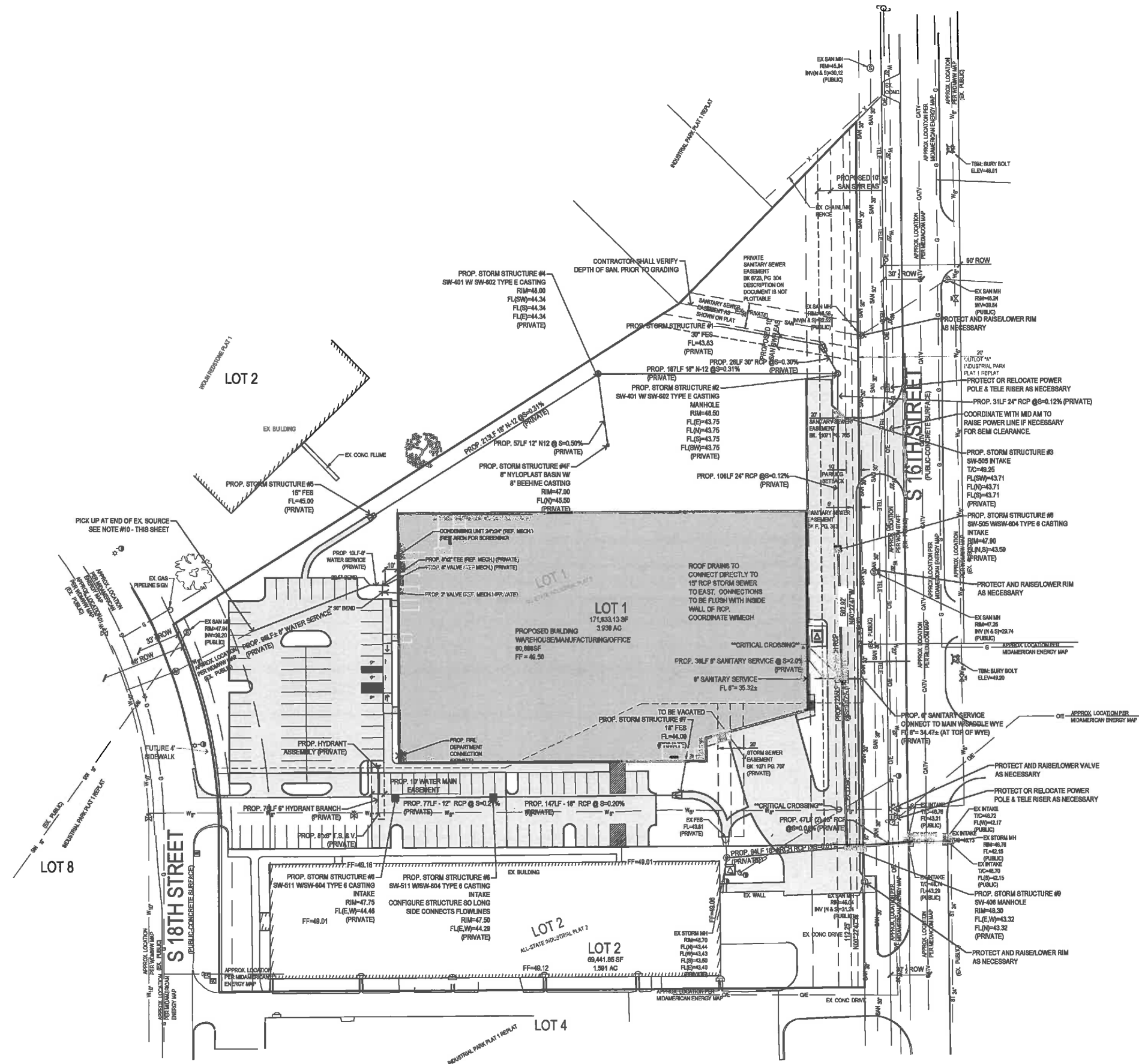
REFERENCE NUMBER:	
DRAWN BY:	MJW
CHECKED BY:	DB
REVISION DATE:	3-3-2017 3-29-2017 4-19-2017
PROJECT NUMBER:	110404
SHEET NUMBER:	C3.1

PRELIMINARY - NOT FOR CONSTRUCTION

ALL-STATE INDUSTRIAL PLAT 3 SITE PLAN/PRELIMINARY PLAT

UTILITY NOTES:

1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS II RCP.
6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
9. THE PUBLIC SEWERS WILL NEED TO BE INSPECTED BY WEST DES MOINES CONSTRUCTION DIVISION PRIOR TO ANY RAISING OR LOWERING OF UTILITY STRUCTURE RIMS. CONTACT BRIAN HEMESATH AT 273-0842.
10. FIELD VERIFY THE SIZE OF THE WATER SERVICE STUB OFF OF S. 18TH STREET. NOTIFY MIDAMERICAN IF DIFFERENT THAN SHOWN. IF STUB IS SMALLER THAN A 8" MAIN, THE STUB WILL NEED TO BE REPLACED BACK TO THE PUBLIC MAIN. ABANDON THE OLD SERVICE IF SIZE IS INCORRECT.



Bishop Engineering
 "Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50323-3925
 Phone: (515) 276-0667 Fax: (515) 276-0217
 Established 1999
 Civil Engineering & Land Surveying

**ALL-STATE INDUSTRIES BUILDING EXPANSION
 WEST DES MOINES, IOWA**

UTILITY PLAN

REFERENCE NUMBER:	
DRAWN BY:	MLW
CHECKED BY:	DB
REVISION DATE:	3-3-2017 3-29-2017 4-19-2017
PROJECT NUMBER:	110404
SHEET NUMBER:	C4.1

4/19/2017 9:54:50 AM I:\LAND PROJECTS\2011110404\DWG\C4.1 UTILITY.DWG

ALL-STATE INDUSTRIAL PLAT 3 SITE PLAN/PRELIMINARY PLAT

LANDSCAPE NOTES:

- ALL SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SEED ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SEED LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN TIGHTEN TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL EDGING SHALL BE DURAEDGE 1/4" STEEL EDGING - COLOR GREEN, OR APPROVED EQUAL.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB PLANTING BEDS AND PARKING LOT ISLANDS SHALL INCORPORATE TYPAR 301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 3" THICK LAYER OF WASHED RIVER ROCK (1.5" NOMINAL SIZE).
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER ROCK IS INSTALLED.

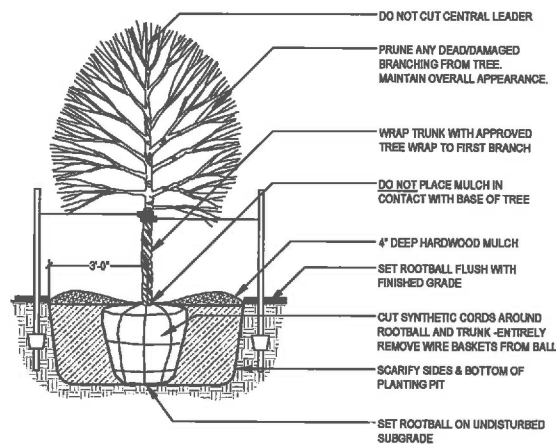
GENERAL LANDSCAPE REQUIREMENTS

TOTAL SQUARE FOOTAGE OF PROJECT AREA (LOT 1 & 2)	170,935 SF
REQUIRED OPEN SPACE (20%)	34,187 SF
TOTAL LANDSCAPE UNITS (1 / 3000 SF OPEN SPACE)	11.4
GENERAL OPEN SPACE REQUIREMENT	
TOTAL REQUIRED TREES (2 PER LANDSCAPE UNIT)	(22.8) 23
50% REQUIRED TO BE EVERGREEN	12 MINIMUM
TOTAL REQUIRED SHRUBS (3 PER LANDSCAPE UNIT)	(34.2) 35
TOTAL OPEN SPACE DECIDUOUS TREES PROVIDED	
TOTAL OPEN SPACE EVERGREENS PROVIDED	12
TOTAL OPEN SPACE SHRUBS PROVIDED	35
TOTAL PARKING LOT ISLAND TREES	
TOTAL PARKING LOT SCREENING SHRUBS	33

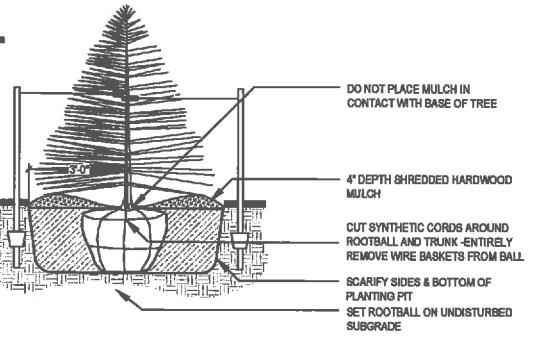
NOTE: PARKING LOT SCREENING SHRUBS AND PARKING LOT ISLAND TREES HAVE NOT BEEN COUNTED TOWARDS OPEN SPACE LANDSCAPE REQUIREMENTS.

PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
HB	2	COMMON HACKBERRY	CELTIS OCCIDENTALIS	2.5" CAL	B&B	MATCHED SPECIMENS
SL	4	SKYLINE HONEYLOCUST	GLEDTIA TRICANTHO INERMIS 'SKYLINE'	2.5" CAL	B&B	MATCHED SPECIMENS
RO	6	RED OAK	QUERCUS RUBRA	2.5" CAL	B&B	MATCHED SPECIMENS
SR	5	JAPANESE TREE LILAC	SYRINGA RETICULATA	8" HT	B&B	MATCHED SPECIMENS (CLUMP FORM)
PC	3	PRAIRIE FIRE CRAMPLE	MALUS PRAIRIE FIRE	1.5" CAL	B&B	MATCHED SPECIMENS
WP	2	WHITE PINE	PINUS STROBUS	8"	B&B	FULL FORM TO GROUND
NS	6	NORWAY SPRUCE	PICEA ABIES	8"	B&B	FULL FORM TO GROUND
BH	4	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	8"	B&B	FULL FORM TO GROUND
AW	33	ANTHONY WATERER SPIREA	SPRAEA BUNALDA 'ANTHONY WATERER'	#5	CONT	FULL FORM - MATCHED
GM	18	GOLD FLAME SPIREA	SPRAEA BUNALDA 'GOLD FLAME'	#5	CONT	FULL FORM - MATCHED
MJ	9	MOUNT JULIEP JUNIPER	JUNIPERUS PFTZERIANA 'MOUNT JULIEP'	#5	CONT	FULL FORM - MATCHED
CV	8	COMPACT VIBURNUM	VIBURNUM TRILOBUM 'COMPACTA'	#5	CONT	FULL FORM - MATCHED
KF	18	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	#1	CONT	FULLY ROOTED IN CONTAINER



DECIDUOUS TREE PLANTING (TYP.)
SCALE: NOT TO SCALE

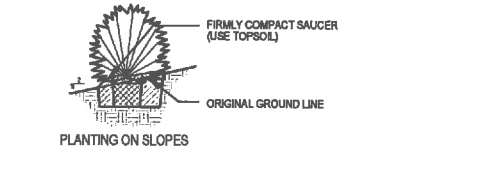
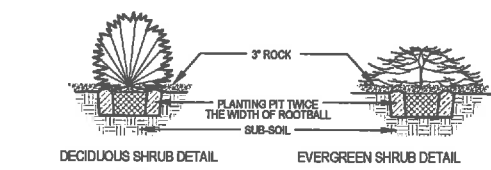


EVERGREEN TREE PLANTING (B&B)
SCALE: NOT TO SCALE

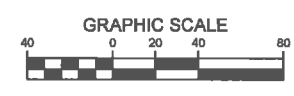
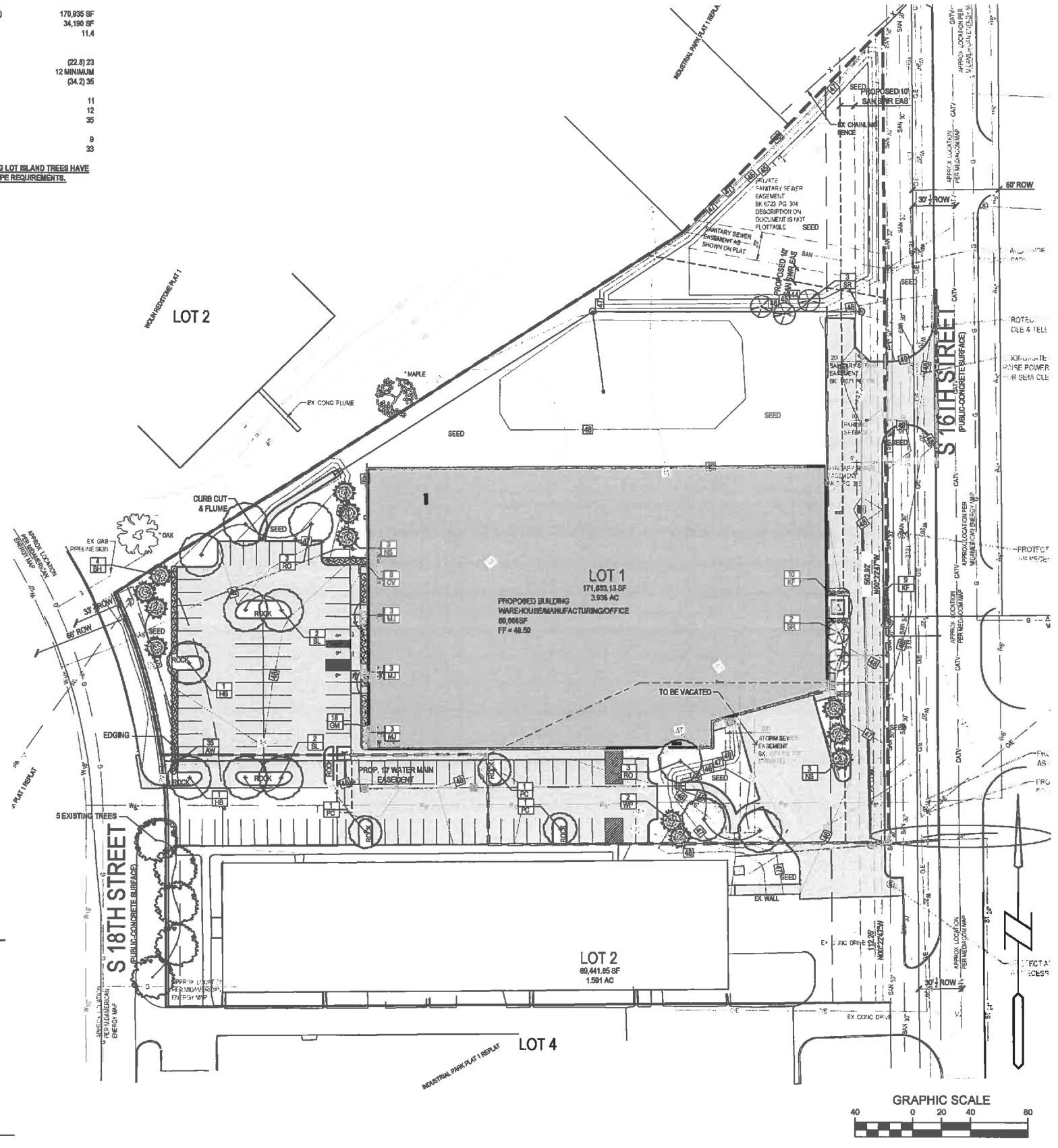


USE HOSE GUARDS AROUND TRUNK ON STAKING WIRE. THE WIRE TO STEEL POSTS PLACED OUTSIDE PLANT PIT.

LEAVE STAKES IN PLACE NO MORE THAN 1 YEAR FROM INSTALLATION. CONTRACTOR RESPONSIBLE FOR REMOVAL.



SHRUB PLANTING (TYP.)
SCALE: NOT TO SCALE



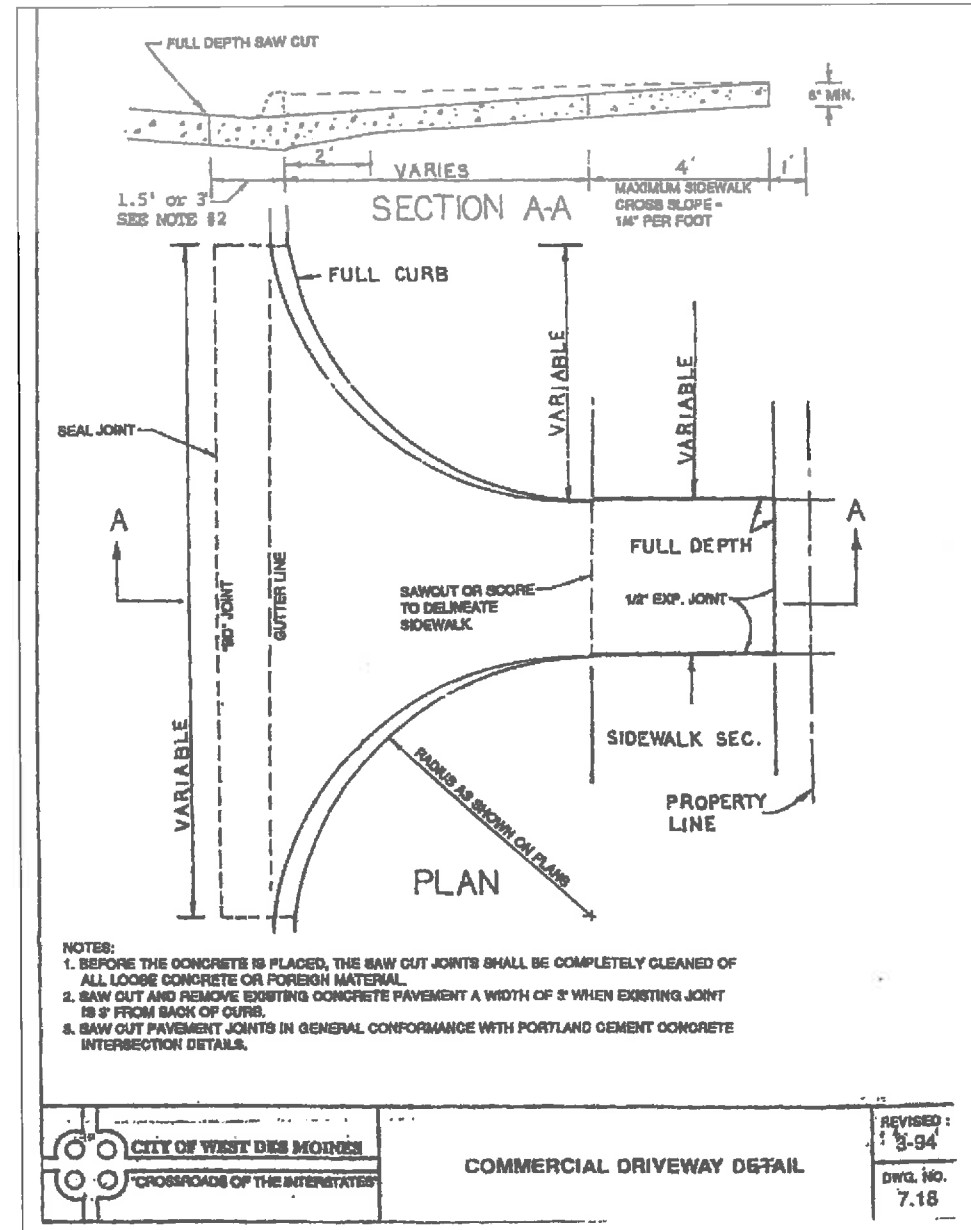
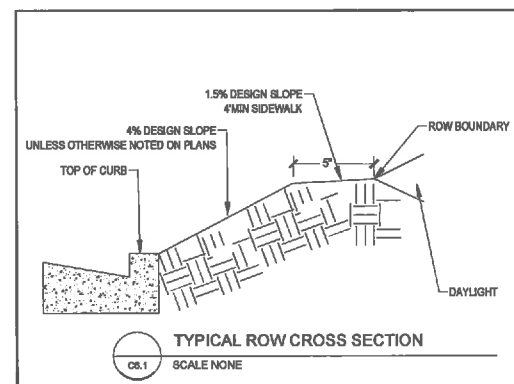
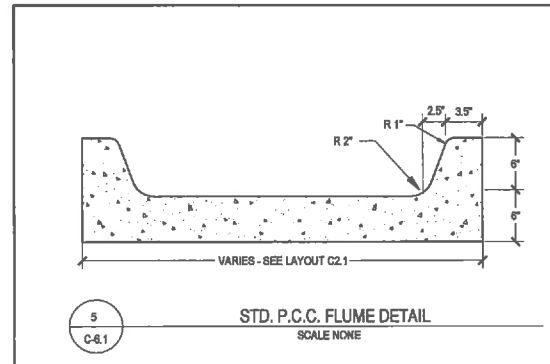
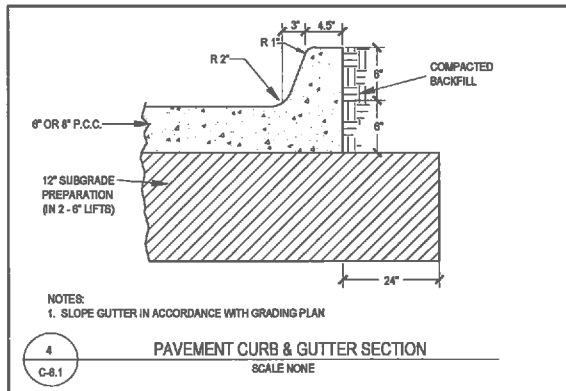
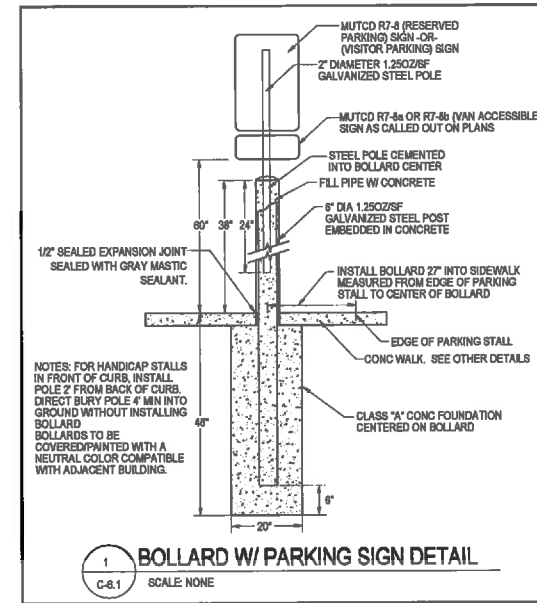
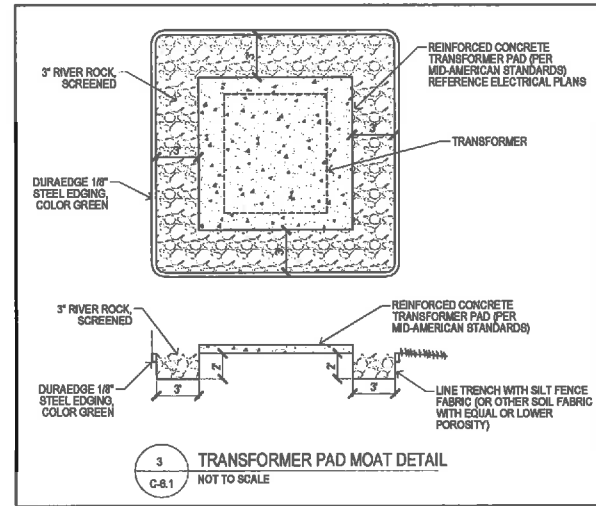
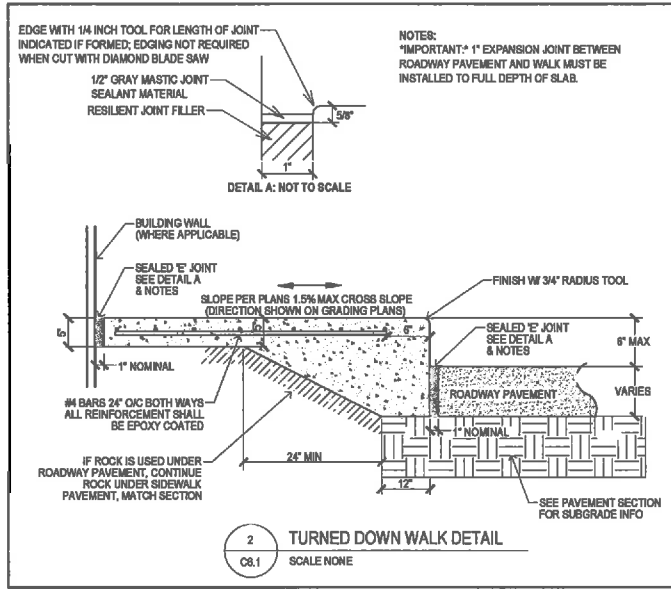
Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515) 276-0667 Fax: (515) 276-0517
Civil Engineering & Land Surveying
Established 1959

**ALL-STATE INDUSTRIES BUILDING EXPANSION
WEST DES MOINES, IOWA
LANDSCAPE PLAN**

REFERENCE NUMBER:	
DRAWN BY:	MJM
CHECKED BY:	DB
REVISION DATE:	3-3-2017 3-29-2017 4-19-2017
PROJECT NUMBER:	110404
SHEET NUMBER:	C5.1

PRELIMINARY- NOT FOR CONSTRUCTION

ALL-STATE INDUSTRIAL PLAT 3 SITE PLAN/PRELIMINARY PLAT



Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50322-8825
Phone: (515) 276-0407 Fax: (515) 276-0417
Civil Engineering & Land Surveying
Established 1959

**ALL-STATE INDUSTRIES BUILDING EXPANSION
WEST DES MOINES, IOWA**

DETAILS SHEET

REFERENCE NUMBER:	
DRAWN BY:	MJW
CHECKED BY:	DB
REVISION DATE:	3-3-2017 3-29-2017 4-19-2017
PROJECT NUMBER:	110404
SHEET NUMBER:	C6.1

PRELIMINARY- NOT FOR CONSTRUCTION

ALL-STAT INDUSTRIAL PLAT 3 STORM WATER POLLUTION PREVENTION PLAN

PROPERTY DESCRIPTION:
LOT 1 AND LOT 2, ALL-STATE INDUSTRIAL PLAT 3, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, SUBJECT TO ALL EASEMENTS AND ENCUMBRANCES OF RECORD SAID TRACT OF LAND CONTAINS 5.35 ACRES.

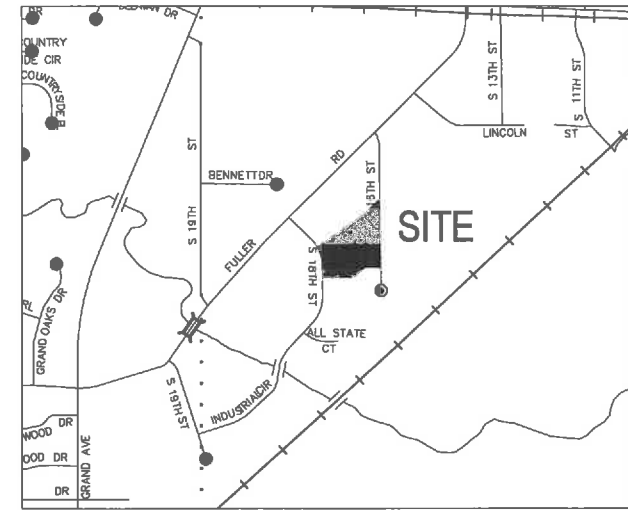
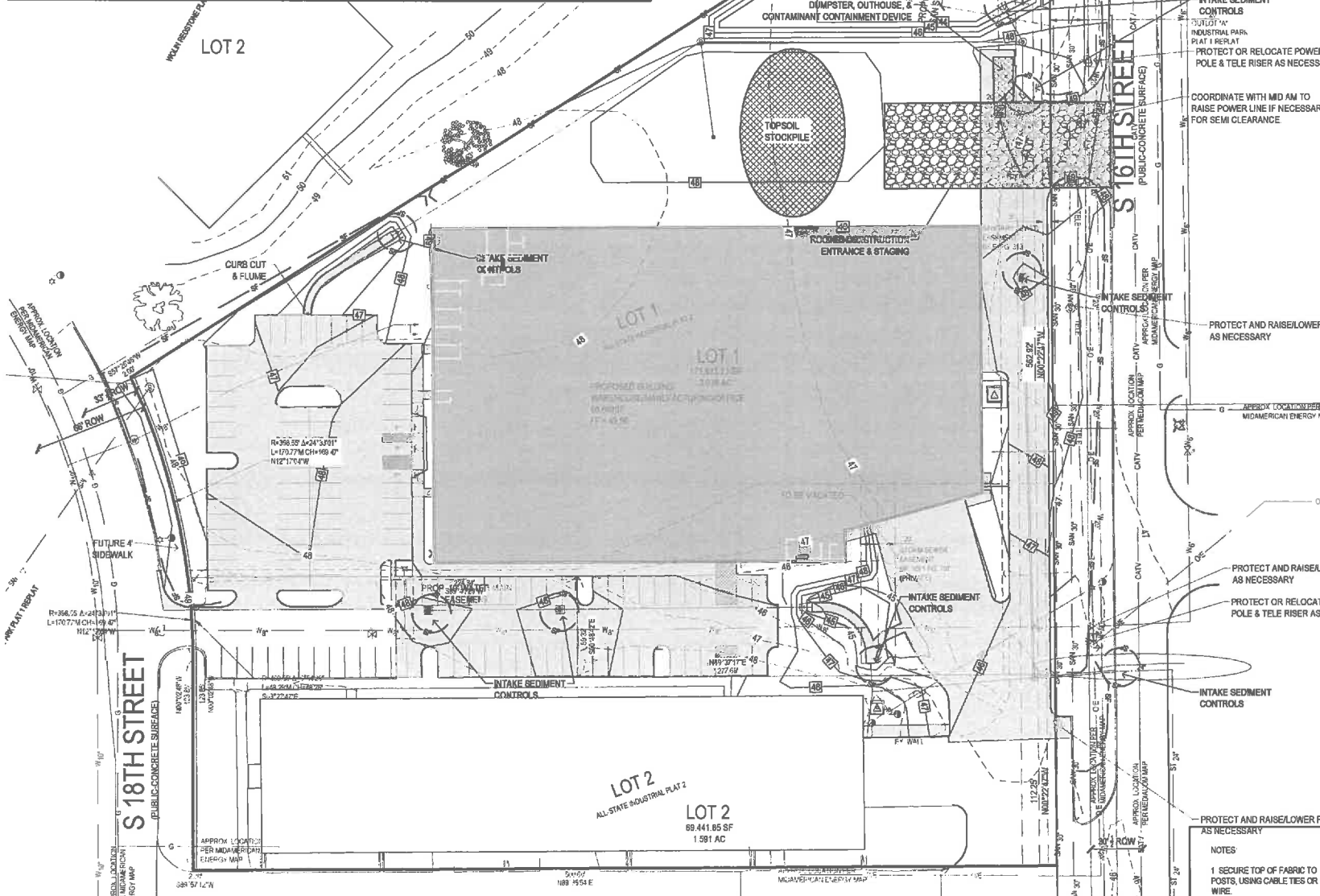
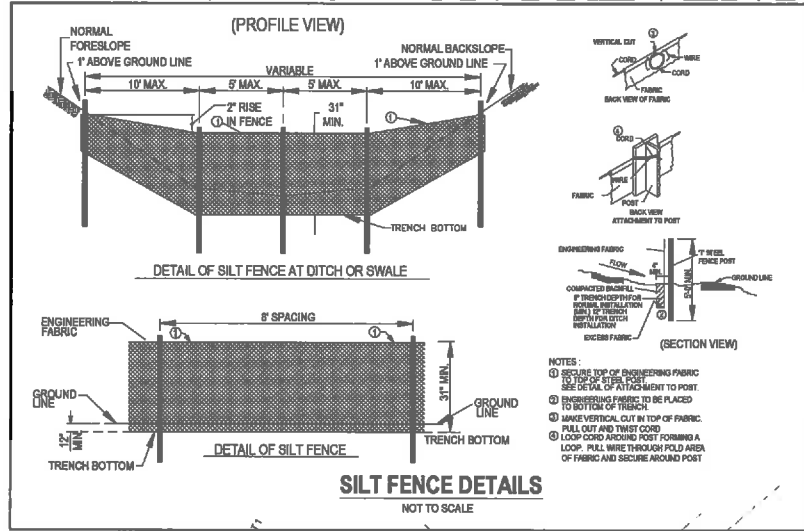
REFERENCE DEEDS:
WARRANTY DEED BOOK 14814 PAGE 847
WARRANTY DEED BOOK 8028 PAGE 573

ADDRESS:
480 S 18TH STREET
WEST DES MOINES, IA 50265

OWNER:
ALL-STATE INVESTMENTS LC
520 S 18TH STREET
WEST DES MOINES, IA 50265

SITE AREA:
170,835SF (3.82ACRES)
BENCHMARK:
BM # 46
560 SOUTH 18TH STREET, 48.5 FEET SOUTH OF THE NORTHWEST CORNER OF THE CITY OF WEST DES MOINES PUBLIC WORKS BUILDING, 4 FEET WEST OF BUILDING. ELEVATION (NAD83) = 819.97 FEET
ELEVATION (NAD83) = 817.27 FEET
ELEVATION (NAD83) = 43.26 FEET

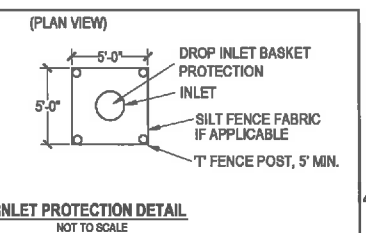
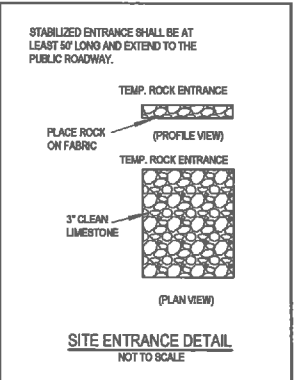
SITE TBM:
BURY BOLT ON HYDRANT EAST SIDE OF S18TH ST. NORTH OF NORTH ENTRANCE TO MOM PUBLIC WORKS BUILDING. ELEVATION (NAD83) = 49.29



- EROSION CONTROL NOTES:**
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 - SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
 - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 - INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 - INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 - OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

- EROSION CONTROL REMOVAL NOTES:**
- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

- LEGEND:**
- EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - SF SILT FENCE
 - SAN SANITARY SEWER
 - ST STORM SEWER
 - W WATER LINE
 - G GAS LINE
 - UW UNDERGROUND ELECTRIC
 - OE OVERHEAD ELECTRIC
 - TELE TELEPHONE LINE
 - FO FIBER OPTIC
 - CATV CABLE TV
 - SM STORM MANHOLE
 - CI CURB INTAKE
 - SI SURFACE INTAKE
 - FE FLARED END SECTION
 - SM SANITARY MANHOLE
 - CO CLEANOUT
 - FD FIRE HYDRANT
 - SP SPRINKLER
 - ICV IRRIGATION CONTROL VALVE
 - WM WATER MANHOLE
 - WELL WELL
 - WV WATER VALVE
 - WSO WATER SHUT OFF
 - YH YARD HYDRANT
 - EM ELECTRIC MANHOLE
 - EM ELECTRIC METER
 - ER ELECTRIC RISER
 - EV ELECTRIC VAULT
 - PP POWER POLE
 - TP TRANSFORMER POLE
 - LP LIGHT POLE
 - EJB ELECTRIC JUNCTION BOX
 - EP ELECTRIC PANEL
 - TR TRANSFORMER
 - GL GROUND LIGHT
 - GW GUY WIRE
 - EH ELECTRIC HANDHOLE
 - GM GAS METER
 - GV GAS VALVE
 - ACU AIR CONDITIONING UNIT
 - TRR TELEPHONE RISER
 - TV TELEPHONE VAULT
 - TM TELEPHONE MANHOLE
 - TSM TRAFFIC SIGNAL MANHOLE
 - FOF FIBER OPTIC FAULT
 - CTR CABLE TV RISER
 - SIGN SIGN



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

ALL-STATE INDUSTRIES BUILDING EXPANSION
WEST DES MOINES, IOWA

REFERENCE NUMBER:
DRAWN BY:
MLW
CHECKED BY:
DB
REVISION DATE:
3-3-2017
3-29-2017
4-19-2017
PROJECT NUMBER:
110404
SHEET NUMBER:
C7.1

Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50323-3625
Phone: (515) 276-0677 Fax: (515) 276-0217
Civil Engineering & Land Surveying
Established 1959

SWPPP

