

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: April 24, 2017

Item: Delavan Storage, 2101 Delavan Drive – Approval of a Site Plan to allow construction of an 18,722 square foot storage building – Iowa Select Farms– SP-003411-2017

Requested Action: Approval of a Site Plan

Case Advisor: J. Bradley Munford 

Applicant's Request: The applicant, Michael Hansen with Iowa Select Farms, represented by Ed Arp of Civil Engineering Consultants Inc. is requesting approval of a site plan to build an 18,722 square foot storage building for a single user. The building will not be used for distribution.

History: The property is undeveloped. On May 19, 1988 the City Council approved the BEH II PUD that zoned this property as Light Industrial. To the west is the recently approved Delavan Townhome development that is currently under construction.

City Council Subcommittee: The proposed site plan features a loading dock for a large semi-truck. The only way the truck can access the dock is by backing in from Delavan Drive. The applicant is requesting a waiver from the City Council under Title 9, Chapter 1, Section 4, Subsection C of the Zoning Code. This item was presented to the Development and Planning City Council Subcommittee on April 17, 2017 to discuss the possibility of the City Council waiving the code requirement. The Subcommittee discussed the waiver, considered the applicant's and staff's points and concluded that this development's situation is unique and expressed support of the waiver request.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff notes the following:

Architecture: Per the PUD, the building designs shall be compatible and not conflict with the residential context of the neighborhood. To the north of the proposal is an apartment complex, to the west, is the recently approved Delavan Townhome development that is currently under construction and to the southwest is a single family neighborhood. The applicant has worked with staff to create a building designs that fit within the architectural context of the neighborhood. The buildings feature a pitched roof, a creative mix of durable exterior material and colors and articulations of the roof line that break up the building mass.

Vehicle Maneuvering and Circulation Waiver: Title 9, Chapter 15, Section 6, Subsection D, requires a site plan to accommodate truck turning movements on site rather than using the public street to maneuver and back into a site. The proposal features a loading dock for a large semi-truck. Given the narrow shape of the site, the only way the truck can access the dock is by backing in from Delavan Drive. Staff had the following concerns about traffic flow and safety:

1. While the truck is backing, it will impede traffic flow in both directions on Delavan Drive.
2. Possible traffic safety issues as drivers following the truck would not expect it to suddenly stop and back up or if drivers try to pass a stopped/backing truck. This is compounded due to the curvature of Delavan at this location.
3. If allowed and problems arise, it may be impossible to fix until the building is demolished and reconstructed, which may be many decades in the future.
4. When previously requested from other industrial and commercial sites with loading docks, our consistent position has been to not allow vehicles to back in off of the street.
5. It will be very difficult for staff to insure that the number or frequency of trucks exceeds the agreed number.

As noted above, the Subcommittee supports the waiver request citing the following reasons:

1. The narrow depth of the property and the length of time the site has been undeveloped indicating it is a difficult site.
2. Delavan Drive being a dead end street with a limited amount of existing and projected traffic.
3. The applicant's operation proposes very limited number of times the truck will be coming to the site (the truck's home base is in Iowa Falls and will travel to the site no more than 5 times a year) with a truck gross vehicle weight that will never exceed 30,000 pounds.
4. The applicant willingness to coordinate loading times so that it will not interfere with the scheduling and operations of the West Des Moines School District's bus facility to the south.
5. The applicant agreeing to demolish the loading dock prior to selling or transferring ownership of the property.
6. The willingness of the applicant to enter into a recorded Development Agreement to document the operational restrictions and future modifications upon a change in ownership.

Staff is recommending conditions of approval that the City Council grant a waiver of Title 9, Chapter 15, Section 6, Subsection D and that a development agreement limiting truck maneuvering on the public street and overall operations is executed and submitted to staff prior to building permits being issued. The agreement will be recorded against that property so that a title search on the property will make future potential owners aware of the restrictions.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Site Plan Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendations and Conditions of Approval: Based upon the preceding review and a finding of consistency with the Comprehensive Plan, staff recommends that the Plan and Zoning Commission adopt a resolution approving the site plan to construction of an 18,722 square foot storage building, subject to the applicant meeting all City Code requirements and the following:

- 1 The City Council granting a waiver to Title 9, Chapter 15, Section 6, Subsection D to allow a semi-truck to use Delavan Drive to back into the sites loading dock.
- 2 The applicant continue to work with staff on minor architectural details such as color. The architecture shall be resolved before building permits are issued.
- 3 The applicant shall sign and execute a Development Agreement pertaining to Vehicle Maneuvering and Circulation to staff prior to the issuance of building permits. The agreement shall include the following conditions:
 - a) Larger semi-trucks shall not be on the site more than 5 times in a calendar year.
 - b) No truck on the site shall exceed a weight of 30,000 pounds.
 - c) Documentation of truck loading times that will not interfere with the scheduling and operations of the West Des Moines School District's bus facility to the south.
 - d) When the property is sold or ownership is transferred, the current owner, Iowa Select Farms or any subsidiary shall demolish the large truck loading dock.
 - e) The Development Agreement shall run with the land and remain in place unless or until the agreement is modified or revoked by the City Council.

Property Owner/Applicant:

Mark Cecot
Iowa Select Farms
5034 Grand Ridge Drive
West Des Moines, Iowa 50265
Mcecot@iowa.Select.com

Applicant's Representatives:

Ed Arp
Civil Engineering Consultants Inc.
2400 86th Street Suite 12
Urbandale, Iowa 50322
Hills@ceclac.com

Attachments:

Attachment A	-	Plan and Zoning Commission Resolution
Exhibit A	-	Conditions of Approval
Attachment B	-	Location Map
Attachment C	-	Site Plan
Attachment D	-	Building Elevations

ATTACHMENT A

RESOLUTION NO.

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, APPROVING THE DELAVAN STORAGE SITE PLAN (SP-003411-2017) FOR THE PURPOSE OF CONSTRUCTING 18,722 SQUARE FOOT STORAGE BUILDING.

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Iowa Select Farms has requested approval of a Site Plan for that approximately 1.72 acre site located at 2101 Delavan Drive to construct an 18,722 square foot storage building;

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, on April 24, 2017, this Commission held a duly-noticed public meeting to consider the applications for the Site Plan;

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report or as amended orally at the Plan and Zoning Commission meeting are adopted.

SECTION 2. The Site Plan (SP-003411-2017) permit to allow construction of an 18,722 square foot storage building located at 2101 Delavan Drive is hereby approved by the Plan and Zoning Commission, subject to compliance with all the conditions in the staff report including conditions added at the meeting and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on April 24, 2017.

Craig Erickson, Chair
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on April 24, 2017, by the following vote:

AYES:
NAYS:
ABSTENTIONS:
ABSENT:

ATTEST:

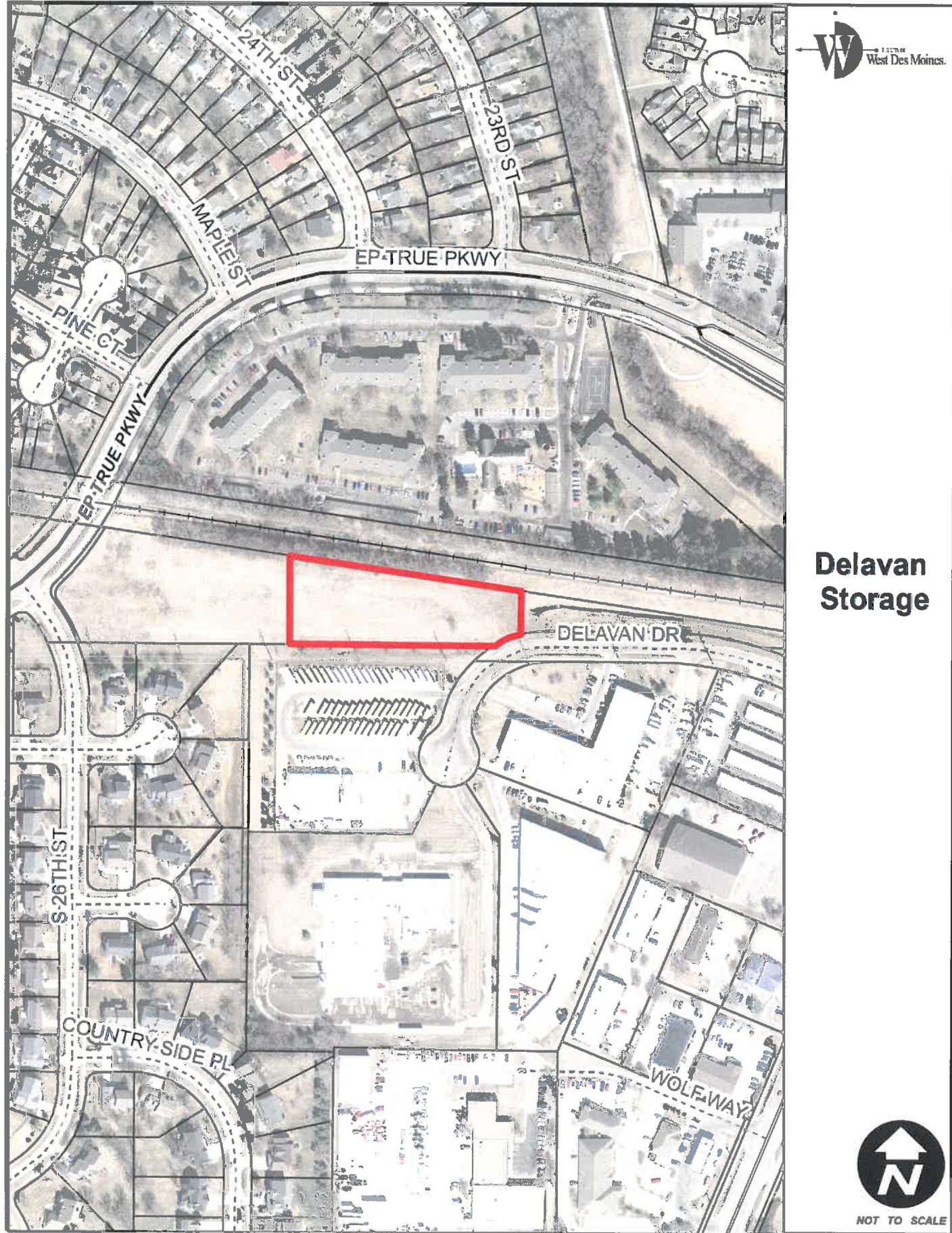
Recording Secretary

EXHIBIT A

EXHIBIT A CONDITIONS OF APPROVAL

1. The City Council granting a waiver to Title 9, Chapter 15, Section 6, Subsection D to allow a semi-truck to use Delavan Drive to back into the sites loading dock.
2. The applicant continue to work with staff on minor architectural details such as color. The architecture shall be resolved before building permits are issued.
3. The applicant shall sign and execute a Development Agreement pertaining to Vehicle Maneuvering and Circulation to staff prior to the issuance of building permits. The agreement shall include the following conditions:
 - a) Larger semi-trucks shall not be on the site more than 5 times in a calendar year.
 - b) No truck on the site shall exceed a weight of 30,000 pounds.
 - c) Documentation of truck loading times that will not interfere with the scheduling and operations of the West Des Moines School District's bus facility to the south.
 - d) When the property is sold or ownership is transferred, the current owner, Iowa Select Farms or any subsidiary shall demolish the large truck loading dock.
 - e) The Development Agreement shall run with the land and remain in place unless or until the agreement is modified or revoked by the City Council.

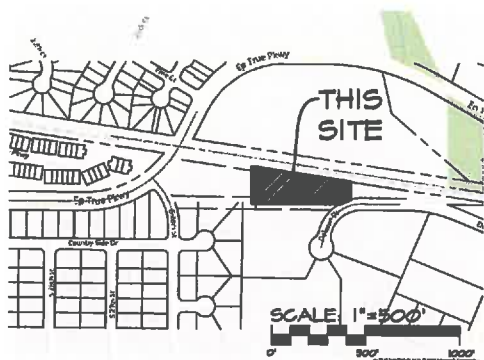
ATTACHMENT B



**Delavan
Storage**

DELAYAN STORAGE 2.0

2101 DELAYAN DRIVE, WEST DES MOINES, IOWA



DRAWING INDEX

SHEET #	SHEET TITLE
1	COVER
2	DIMENSION PLAN
3	UTILITY PLAN
4	GRADING PLAN
5	LANDSCAPE PLAN

UTILITIES
 SANITARY SEWER: CITY OF WEST DES MOINES, WEST DES MOINES PUBLIC WORKS
 WATER: WEST DES MOINES WATER WORKS

AREAS:

AREA	AREA (S.F.)	PERCENT
BUILDINGS	10,122 S.F.	25%
INTERVIOUS	21,740 S.F.	50%
OPEN SPACE	24,778 S.F.	46%
TOTAL	75,285 S.F.	100%

SETBACKS:
 45' FROM DELAYAN DRIVE
 20' FROM RAILROAD R.O.W.
 35' FROM EAST & SOUTH PROPERTY LINES

GENERAL NOTES:

- ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
 - CITY OF WEST DES MOINES: CLINT CARPENTER 222-3480
 - CAPITAL HOMES, L.L.C.
 - CIVIL ENGINEERING CONSULTANTS, INC 515-276-4884
 - WEST DES MOINES WATER WORKS 515-222-3465
 - WEST DES MOINES BUILDING INSPECTION 515-222-3630
- THE LOCATION OF EXISTING FACILITIES AND APPURTENANCES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING TO DETERMINE EXACT FACILITIES LOCATIONS. CIVIL ENGINEERING CONSULTANTS, INC. DOES NOT GUARANTEE THE LOCATION OF EXISTING FACILITIES AS SHOWN OR THAT ALL EXISTING FACILITIES ARE SHOWN. IT IS CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL PUBLIC AND PRIVATE UTILITY PROVIDERS SERVING THIS AREA, AND IOWA ONE CALL, TO DETERMINE THE EXTENT AND PRECISE LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION BEGINS.
- IF THERE IS A DISCREPANCY BETWEEN THE DETAILED PLANS AND QUANTITIES SUMMARY, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
- THE CONTRACTOR SHALL BACKFILL AROUND UNDERGROUND UTILITIES IN 6-INCH LAYERS TO 95% STANDARD PROCTOR DENSITY.
- IT SHOULD BE NOTED THAT PROVISIONS FOR SHORING AND BRACING OF DEEP EXCAVATIONS ARE REQUIRED BY O.S.H.A.
- CONTRACTOR SHALL RECONNECT ALL FIELD TILE INTERCEPTED DURING CONSTRUCTION.
- ALL CONNECTIONS TO EXISTING PUBLIC STRUCTURES NEED TO BE CORE DRILLED.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE IOWA CONSTRUCTION DIVISION-CLINT CARPENTER (222-3480) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE WEST DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL WITH WEST DES MOINES APPENDIX A.
- ALL PUBLIC SEWERS CONSTRUCTED AS PART OF THIS PLAN WILL NEED TO BE TELEVIEWED BY THE CITY OF WEST DES MOINES AS PART OF THE FINAL INSPECTION. CONTACT THE PUBLIC WORKS DEPARTMENT (RDM WESSE 222-3480) TO SCHEDULE TELEVIEWING. PROVIDE A MINIMUM OF 48 HOURS NOTICE.
- TRAFFIC CONTROL SHALL BE PER MUTCD SPECS.
- COORDINATE STAGING AND TRAFFIC CONTROL WITH IOWA EMERGENCY SERVICES.
- LANE CLOSURE NOTICES MUST BE SUBMITTED TO CITY OF IOWA PUBLIC WORKS FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
- IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL IS ALLOWED.
- CONTRACTOR SHALL COORDINATE WITH OTHER PROJECTS IN THE AREA.
- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- ALL DEBRIS SPILLED ON CITY R.O.W. AND ADJOINING PROPERTY SHALL BE REMOVED BY OWNER/CONTRACTOR IN A TIMELY FASHION.
- VERIFY COORDINATES AND BUILDING CORNERS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- NO CONSTRUCTION STAGING SHALL BE ALLOWED ON PAVING.
- IF APPLICABLE, PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS, CONSTRUCTION PLANS FOR SAID IMPROVEMENTS SHALL BE SUBMITTED AND APPROVED BY THE CITY ENGINEER.
- PRIVATE UTILITIES SHALL BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENT AND THE 2012 IPC OR THE 2012 UPC.
- NOTIFY BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTION.

OWNER:
 CAPITAL HOMES, L.L.C.
 ATTN: PETE CUTLER
 475 ALICES ROAD, STE. D
 HAUKEE, IA 50269
 PH: 515-276-1718
 E-MAIL: peter.cutler@capitalhomesiowa.com

APPLICANT:
 IOWA SELECT FARMS
 ATTN: MARK CECOT
 5054 GRAND RIDGE DRIVE
 WEST DES MOINES, IOWA 50265
 MCECOT@IOWASELECT.COM

PROPERTY ADDRESS:
 2101 DELAYAN DRIVE
 WEST DES MOINES, IA 50265

LAND SURVEYOR:
 CIVIL ENGINEERING CONSULTANTS
 ATTN: JEFFREY A. GADDIS, P.L.S. #6361
 240068TH STREET, SUITE #12
 URBANDALE, IA 50522
 PHONE: 515-276-4884 EXT 21
 FAX: 515-276-1084
 E-MAIL: GADDIS@CECLAC.COM

GENERAL LEGEND

PROPOSED	EXISTING
--- PLAT BOUNDARY	--- LOT LINE
--- SECTION LINE	--- SANITARY/STORM MANHOLE
--- LOT LINE	--- WATER VALVE
--- CENTERLINE	--- FIRE HYDRANT
--- EASEMENT LINE	--- STORM SEWER SINGLE INTAKE
--- FLARED END SECTION	--- STORM SEWER DOUBLE INTAKE
--- TYPE SH-301 STORM INTAKE	--- STORM SEWER ROUND INTAKE
--- TYPE SH-302 STORM INTAKE	--- FLARED END SECTION
--- TYPE SH-303 STORM INTAKE	--- DECIDUOUS TREE
--- TYPE SH-304 STORM INTAKE	--- CONIFEROUS TREE
--- TYPE SH-305 STORM INTAKE	--- SHRUB
--- TYPE SH-306 STORM INTAKE	--- POWER POLE
--- TYPE SH-511 STORM INTAKE	--- STREET LIGHT
--- TYPE SH-512 STORM INTAKE	--- GUY ANCHOR
--- TYPE SH-513 STORM INTAKE	--- ELECTRIC TRANSFORMER
--- TYPE SH-401 STORM MANHOLE	--- GAS METER
--- TYPE SH-402 STORM MANHOLE	--- TELEPHONE RISER
--- TYPE SH-403 STORM MANHOLE	--- SIGN
--- TYPE SH-404 STORM MANHOLE	--- CATV UNDERGROUND TELEVISION
--- TYPE SH-301 SANITARY MANHOLE	--- USE UNDERGROUND ELECTRIC
--- TYPE SH-302 SANITARY MANHOLE	--- USE UNDERGROUND GAS
--- TYPE SH-304 SANITARY MANHOLE	--- USE UNDERGROUND FIBER OPTIC
--- STORM/SANITARY CLEANOUT	--- USE UNDERGROUND TELEPHONE
--- WATER VALVE	--- OVERHEAD ELECTRIC
--- FIRE HYDRANT ASSEMBLY	--- SANITARY SEWER WITH SIZE
--- BLOW-OFF HYDRANT	--- STORM SEWER WITH SIZE
--- DETECTABLE MANNING PANEL	--- WATER MAIN WITH SIZE
--- SANITARY SEWER WITH SIZE	--- EXISTING CONTOUR
--- SANITARY SERVICE	--- TREE LINE
--- STORM SEWER WITH SIZE	--- BUILDING SETBACK LINE
--- STORM SERVICE	--- PUBLIC UTILITY EASEMENT
--- WATER SEWER WITH SIZE	--- MINIMUM OPENING ELEVATION
--- WATER SERVICE	
--- PROPOSED CONTOUR	
--- SILT PITCH	
--- RIP RAP	
--- ADDRESS	

SANITARY SEWER NOTES:

- ALL SANITARY SEWER SERVICES SHALL BE 6" SDR 25.3. ALL SERVICES SHALL BE EXTENDED TO WITHIN 10 FEET OF THE BUILDING FOUNDATION.
- THE UTILITY CONTRACTOR SHALL COORDINATE BUILDING SERVICE CONNECTIONS WITH THE BUILDING MECHANICAL CONTRACTOR.
- MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.
- ALL SEWERS SHALL BE CONSTRUCTED UNDER PLUMBING PERMIT.
- EXISTING PIPES WITH NEW SERVICES INSTALLED NEED TO BE TELEVIEWED AND RETESTED AS PART OF THE FINAL INSPECTION.

STORM SEWER NOTES:

- ALL STORM SEWER IS PRIVATE UNLESS NOTED OTHERWISE.
- ALL INTAKES WITHIN PAVED AREAS SHALL HAVE VANE GRATINGS.
- WHERE THE STORM SEWER CROSSED OVER OR LESS THAN 18 INCHES BELOW A WATER MAIN, LOCATE ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL OR REINFORCE CONCRETE PIPE (RCP) WITH FLEXIBLE O-RING GASKET JOINTS AS FAR AS POSSIBLE FROM THE WATER MAIN.
- ALL STORM SEWER CONSTRUCTION SHALL BE BUILT IN ACCORDANCE WITH WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
- ALL F.E.S. TO BE BUILT IN ACCORDANCE WITH THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS FOR SUBDIVISIONS INCLUDING FOOTINGS, TIE LAST THREE SECTIONS AND AFFRON GUARDS.
- ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM.
- CASTING TYPES FOR 18-INCH RCP AREA INTAKES ARE PER SUDAS SPECIFICATIONS.
- ALL PRIVATE INFRASTRUCTURE SHALL BE OWNED & MAINTAINED BY THE OWNER.

PAVING NOTES:

- PROVIDE CURB DROPS FOR SIDEWALKS AT INTERSECTIONS.
- IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
- ALL PAVING SHALL BE 6-INCH REINFORCED P.C.C. WITH 6-INCH CURB. PAVEMENT REMOVED AND REPLACED ON DELAYAN DRIVE SHALL BE REPLACED TO EXISTING PAVEMENT DEPTH.
- ALL PEDESTRIAN RAMP TO BE INSTALLED AS A PART OF THIS PROJECT SHALL HAVE APPROPRIATE DETECTABLE MANNINGS (TRUNCATED DORIES). USE RED/CLAY COLORED FIBERGLASS DORIES.
- ALL REINFORCED STEEL SHALL BE EPOXY COATED.
- COORDINATE STAGING AND TRAFFIC CONTROL WITH IOWA EMERGENCY SERVICES.
- LANE CLOSURE NOTICES MUST BE SUBMITTED TO CITY OF IOWA PUBLIC WORKS FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
- USE APPROPRIATE MEASURES TO PREVENT SLURRY FROM SANGUT OPERATIONS FROM ENTERING STORM SEWERS & OPEN DRAINAGEWAYS.
- PROVIDE 2' BOXOUT AROUND ALL INTAKES AND MANHOLES WITHIN PAVED AREAS. PAVEMENT REMOVAL FOR THE PRIVATE DRIVEWAY CONNECTIONS TO THE PUBLIC STREET SHALL BE TO THE NEAREST TRANSVERSE AND LONGITUDINAL JOINT. VERIFY REMOVAL LIMITS WITH CLINT CARPENTER (222-3480) IOWA CONSTRUCTION DIVISION PRIOR TO ANY REMOVAL. SAID DRIVEWAY WILL NEED TO CONFORM TO CITY OF WEST DES MOINES STANDARD DRAWING T10, COMMERCIAL DRIVEWAY DETAIL.

WATER NOTES:

- ALL WATER MAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD CONSTRUCTION SPECIFICATIONS, WEST DES MOINES WATER WORKS, WEST DES MOINES, IOWA.
- PIPE MATERIAL: 8-INCH & 10-INCH DUCTILE IRON OR ANMA C900 CLASS 150 2/3 W/ TRACER WIRE. 16-INCH: DUCTILE IRON OR ANMA C905 CLASS 150 2/3 W/ TRACER WIRE. TRACER WIRE, NO. 12 ANS SOLID COPPER TRACER WIRE UNDER PIPE, BRINGS TRACER WIRE TO SURFACE AT FIRE HYDRANTS, VALVES, AND NEW DEAD-ENDS. CONNECT NEW TRACER WIRE TO EXISTING TRACER WIRE WITH WATER-PROOF SPLICE.
- HYDRANTS SHALL BE SET 3 1/2 FEET FROM WATER MAIN EXCEPT WHERE CONFLICTS WITH SIDEWALKS.
- WATER MAIN TO HAVE 3.0 FEET BURY TYPICAL.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL PROVISIONS.
- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT WEST DES MOINES WATER WORKS AT 515-222-3465.
- STATIC WATER PRESSURES MAY EXCEED 80PSI. PRESSURE REDUCING VALVES WITH EXPANSION TANKS MAY BE DESIRED BY THE END USER.
- CONTACT WEST DES MOINES WATER WORKS A MINIMUM OF ONE DAY IN ADVANCE OF ANY EXCAVATION WORK NEAR THE 30-INCH DIAMETER WATER MAIN.

GRADING & EROSION CONTROL:

- ALL GRADING & EROSION CONTROL NOTES SHOWN ON GRADING / SHEFF PLANS
- INDIVIDUAL RESPONSIBLE FOR INSURING MUD AND ROCK ARE CLEANED OFF PUBLIC STREETS (PETE CUTLER 515-276-1718)
- INDIVIDUAL RESPONSIBLE FOR INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES (PETE CUTLER 515-276-1718)
- INDIVIDUAL RESPONSIBLE FOR EROSION CONTROL ISUES (PETE CUTLER 515-276-1718)

QUANTITIES

SANITARY SERVICE

QTY	DESCRIPTION
1 EA.	SERVICE

WATER MAIN

2 EA.	20"x8" SERVICE TAP
1 EA.	8"x8"x8" TEE
2 EA.	HYDRANT, REDUCER & 6" VALVE
208 LF.	8" WATER MAIN
1 EA.	WATER SERVICE

STORM SEWER

475 LF.	12-INCH RCP
476 LF.	15-INCH RCP
4 EA.	12-INCH PFS
2 EA.	15-INCH PFS
2 EA.	8-INCH ANIMAL GUARD
1 EA.	14-A" MANHOLE
4 EA.	14-A" INTAKE
1 EA.	14-G" INTAKE

PAVING

2,422 SY.	6-INCH REINFORCED P.C.C.
2,590 SY.	SUBGRADE PREP. WORK

SEEDING & EROSION CONTROL
 QUANTITIES ARE LOCATED ON SHEET #5

PARKING REQUIREMENTS

REQUIRED: 1 STALL / 500 SF OF G.P.A. FIRST 10,000 SF
 THEN 1 STALL / 3,000 SF
 17,714 SF G.P.A. = 22 STALL REQ'D

TOTAL STALLS PROVIDED: 22 STALLS

LEGAL DESCRIPTION

LOT 2, DELAYAN PLAT 5, AN OFFICIAL PLAT RECORDED IN BOOK 1603, PAGE 367-376 AT THE POLK COUNTY RECORDERS OFFICE, CITY OF WEST DES MOINES, POLK COUNTY, IOWA, CONTAINS 1.121 ACRES MORE OR LESS.

FLOOD ZONE DESIGNATION

THE DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION 'X' BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 140220000C REVISED ON FEBRUARY 16, 2009.

LAND AREA

75,285 SQUARE FEET
 1.721 ACRES

COMPREHENSIVE PLAN LAND USE
 LIGHT INDUSTRIAL

ZONING

BEH II PUD (16) - BOOK 6657, PAGE 154
 - LIGHT INDUSTRIAL (PROPOSED LOT 2)

BENCHMARK

WEST DES MOINES BENCHMARK #126
 SOUTHWEST CORNER OF GRAND AVENUE AND E.P. TRUE PARKWAY, 10 FEET WEST OF BACK OF WALK AND 71 FEET SOUTH OF TRAFFIC SIGNAL POLE AT THE SOUTHWEST CORNER OF E.P. TRUE PARKWAY AND GRAND AVENUE.

MDM DATUM = 642.22 FEET
 NAVD83 = 849.23 FEET

WEST DES MOINES BENCHMARK #127
 SOUTHWEST CORNER OF E.P. TRUE AND S. 41ST STREET, 4.5 FEET SOUTH OF THE EAST-NORTH BACK OF WALK AND 4.5 FEET WEST OF THE NORTH-SOUTH BACK OF WALK.

MDM DATUM = 114.46 FEET
 NAVD83 = 849.41 FEET

CONSTRUCTION SCHEDULE

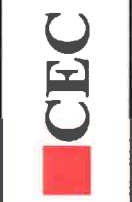
04/30/17 TO 05/15/16 - CLEARING, ROUGH GRADING, SILT FENCE, SEDIMENT BASINS & TEMPORARY SEEDING
 05/15/17 TO 05/31/17 - UTILITY CONSTRUCTION
 06/01/16 TO 07/31/16 - PAVING
 07/31/16 TO 08/31/16 - FINAL GRADING/SEEDING/LANDSCAPING

CERTIFICATION

	I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. JEFFREY A. GADDIS, IOWA LICENSE NO. 18381 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2016 PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS 1 - 2
	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. MELISSA M. HILLS, IOWA REG. NO. 18023 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017 PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS 1 - 3

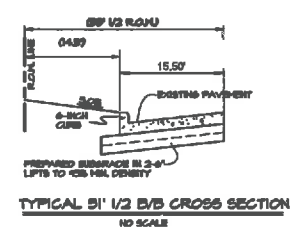
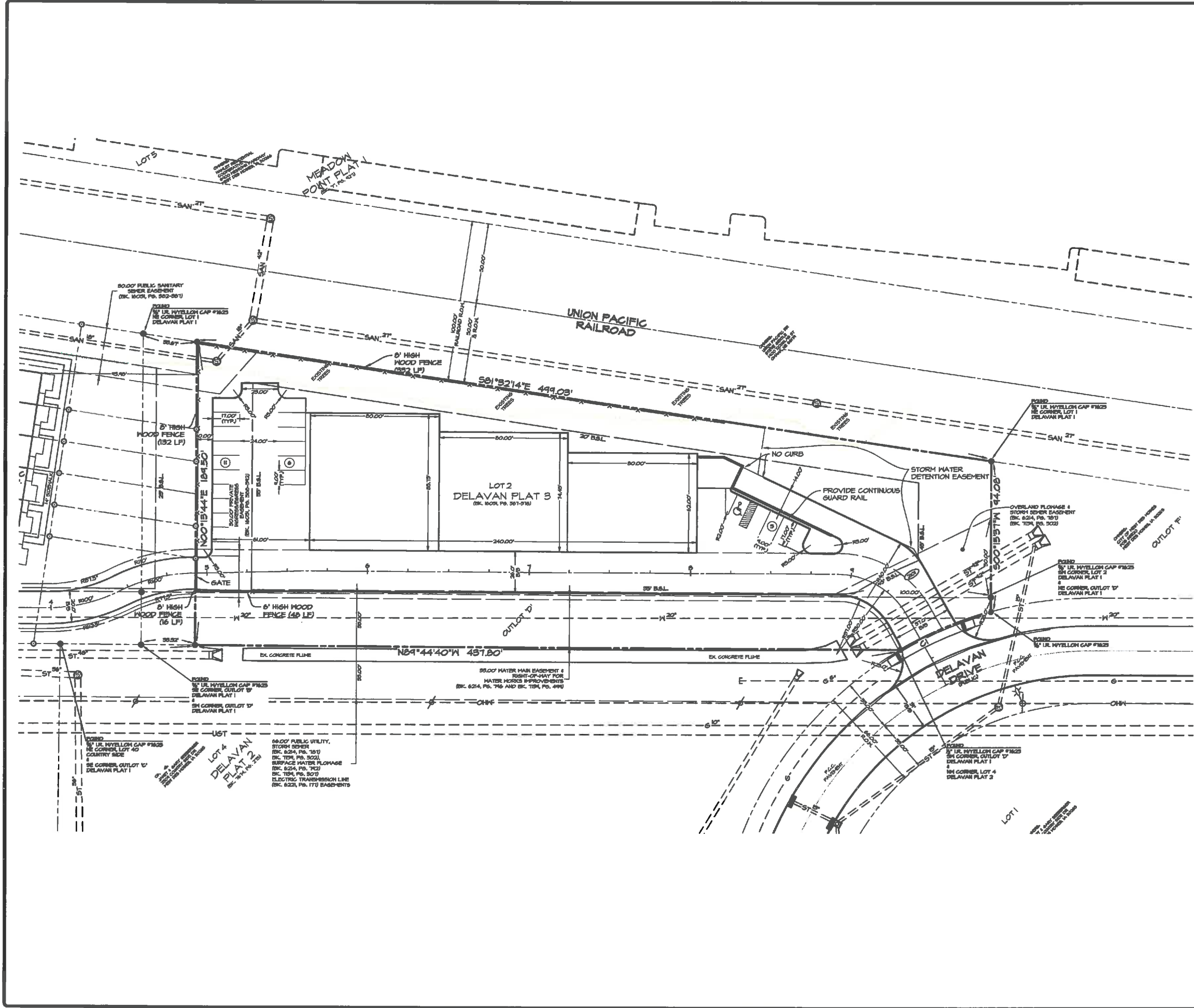
EMAIL: hills@ceclac.com

Civil Engineering Consultants, Inc.
 2400 86th Street - Unit 12 - Des Moines, Iowa 50322
 515.276.4884 - Fax: 515.276.7084 - mail@ceclac.com



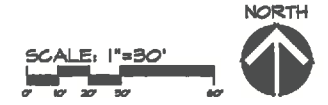
DATE	REVISIONS	COMMENTS
02-04-2017	1	04-H-2017
	2	
	3	
	4	
	5	
	6	

DELAYAN STORAGE 2.0
 2101 DELAYAN DRIVE, WEST DES MOINES, IOWA



CURVE DATA

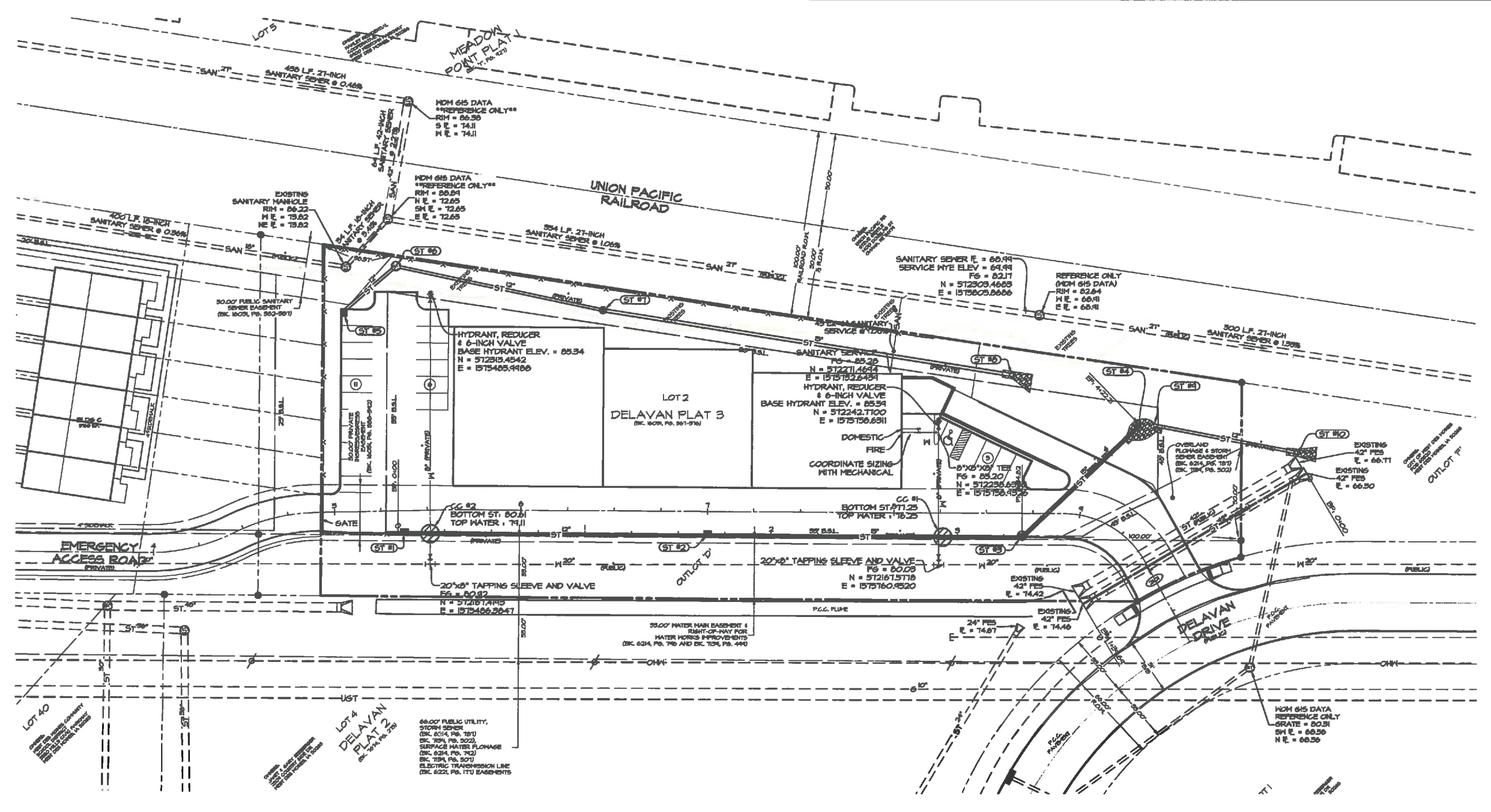
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C1	15°02'41"	255.00'	61.91'	50.71'	61.01'	S66°34'45"W



DATE:	REVISIONS	COMMENTS
02-04-2011	1	104-H-2011
	2	
	3	
	4	
	5	
	6	

DATE OF SURVEY: M.H.
 DESIGNED BY: M.H.
 DRAWN BY: FLD

DELAVAN STORAGE 2.0
 2101 DELAVAN DRIVE, WEST DES MOINES, IOWA
DIMENSION PLAN



ORIFICE PLATE DETAIL - ST#4
 PLACE RESTRICTOR PLATE IN FIRST SECTION OF THE PIPE DOWNSTREAM FROM THE 12" INLET F.E.S.

STORM F.E.S. TABLE		
NAME	LOCATION	ELEVATION
ST #4	STA. 840.00, 12.30' RT. E.	E = 73.00
ST #5	STA. 844.27, 14.80' LT. E.	E = 74.00
ST #6	STA. 844.08, 14.12' LT. E.	E = 74.00
ST #10	STA. 840.47, 100.00' LT. E.	E = 67.71

INTAKE TABLE		
NAME	LOCATION	DETAILS
ST #1	STA. 857.41, 12.30' RT. E.	GRATE = 84.35 OUT E = 81.00
ST #2	STA. 100.00, 15.00' RT. E.	GRATE = 84.35 IN H = 71.38 OUT E = 74.57
ST #3	STA. 844.16, 15.00' RT. E.	GRATE = 82.57 IN H = 71.65 OUT NE = 75.81
ST #5	STA. 840.34, 107.41' LT. E.	GRATE = 84.68 OUT NE = 80.91
ST #7	STA. 848.34, 108.20' LT. E.	GRATE = 82.04 IN H = 74.94 OUT E = 74.84

STORM PIPE TABLE			
PIPE	DIAMETER	LENGTH	SLOPE
ST #1 TO ST #2	12" RCP CLASS III	142 L.F.	1.00%
ST #2 TO ST #5	12" RCP CLASS III	194 L.F.	1.00%
ST #5 TO ST #4	12" RCP CLASS III	87 L.F.	1.00%
ST #5 TO ST #6	12" RCP CLASS III	35 L.F.	0.84%
ST #6 TO ST #1	12" RCP CLASS III	115 L.F.	0.30%
ST #1 TO ST #8	12" RCP CLASS III	224 L.F.	0.40%
ST #8 TO ST #10	12" RCP CLASS III	74 L.F.	1.24%

MANHOLE TABLE		
NAME	LOCATION	DETAILS
ST #6	STA. 848.49, 12.47' LT. E.	R#4 = 66.80 R#1 = 60.66 OUT E = 60.59

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 2400 86th Street, Unit 12, Des Moines, Iowa 50322
 515.276.4884, Fax: 515.276.7084, mail@cecinc.com

CEC

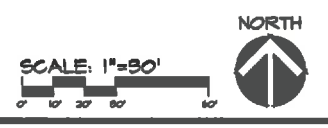
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	2	
	3	
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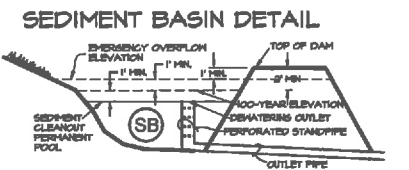
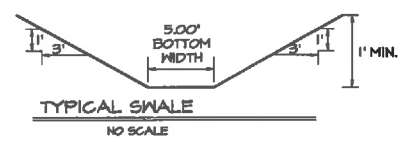
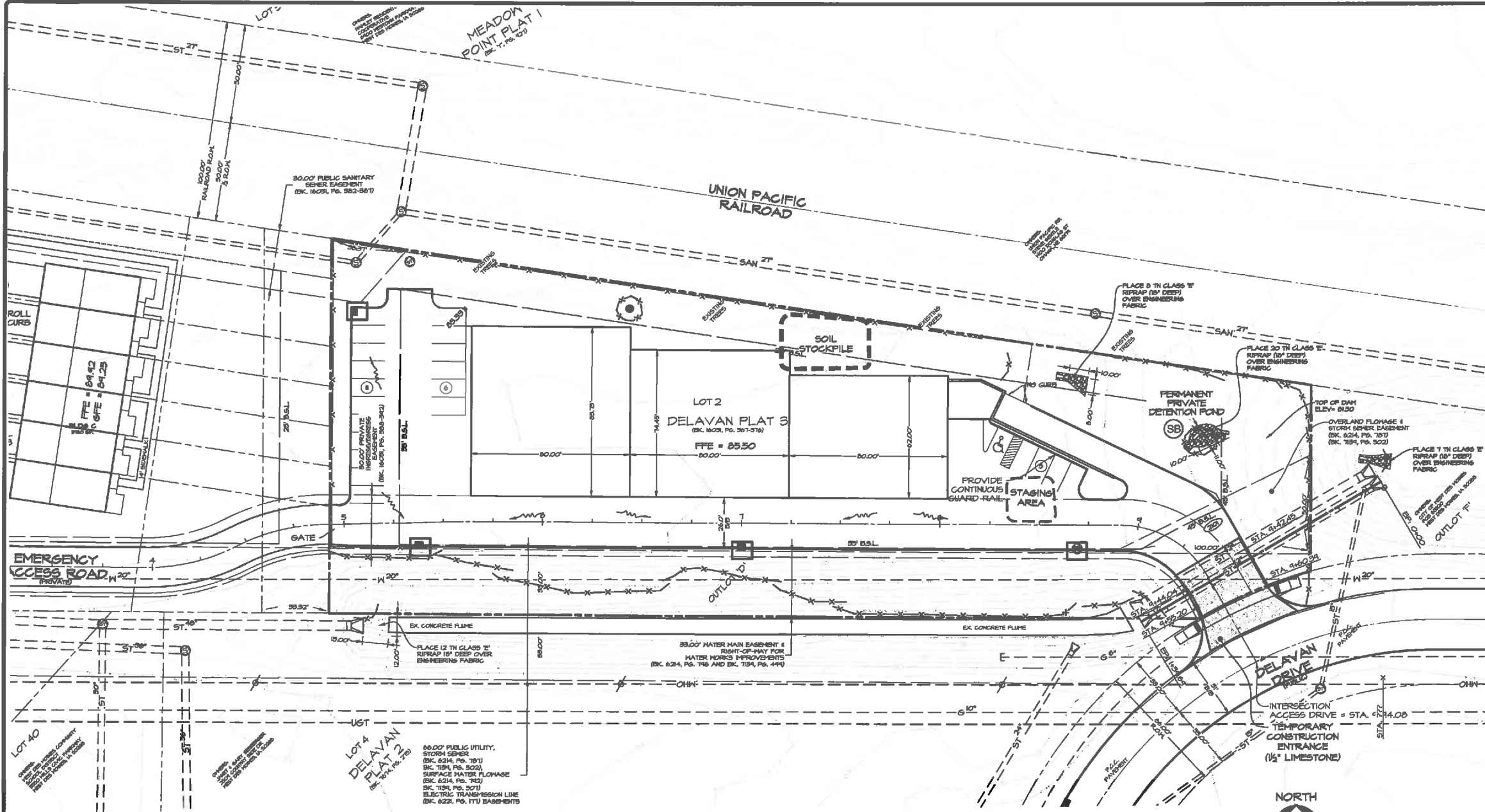
DATE OF SURVEY: _____
 DESIGNED BY: _____
 DRAWN BY: _____

DELAVAN STORAGE 2.0
 2101 DELAVAN DRIVE, WEST DES MOINES, IOWA

UTILITY PLAN

SHEET
 9
 5
 E-1572





QUANTITIES

0.04 AC	SEEDING (TYPE II EROSION CONTROL MIX)
848 LF	SILT FENCE
4 EA.	INLET FILTERS
35 TN	CLASS 1 RIP RAP

REVISIONS	COMMENTS
1	04-14-2011
2	
3	
4	
5	
6	

DATE: 08-04-2011

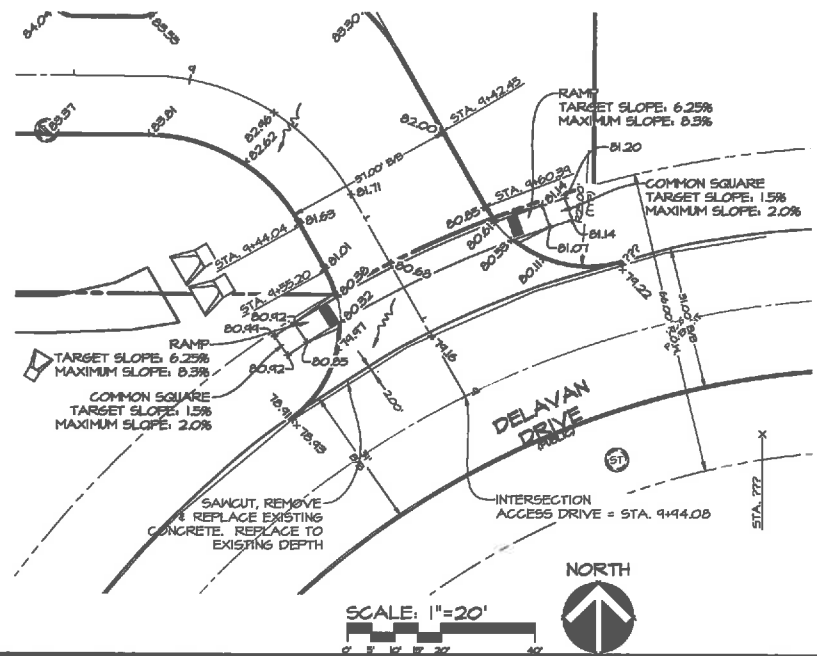
DATE OF SURVEY: MHH

DESIGNED BY: MHH

DRAWN BY: PLD

SIDEWALK NOTES

1. SIDEWALK RAMPS/COMMON SQUARE NOT TO BE CONSTRUCTED UNTIL PUBLIC SIDEWALK IS EXTENDED.



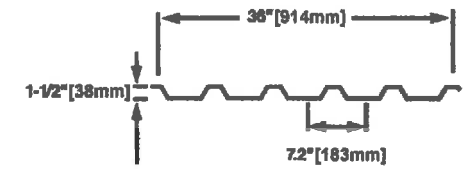
SEEDING NOTES

- FERTILIZER (16-16-16) SHALL BE APPLIED TO THE AREA TO BE SEEDDED AT A RATE OF 650 LBS/ACRE.
- THE AREA TO BE SEEDDED SHALL BE SMOOTH, AND ALL HAZARD AND GULLIES FILLED TO MEET THE DESIRED CROSS SECTION. AREAS ACCESSIBLE TO MACHINERY SHALL BE CULTIVATED TO A DEPTH OF 3". AREAS INACCESSIBLE TO MACHINE SHALL BE CULTIVATED TO A DEPTH OF 1 1/2 INCHES.
- THE FERTILIZER SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 3" WITH A MECHANICAL ROCK PICKER OR A SPRING TOOTH CULTIVATOR.
- ON ALL AREAS ACCESSIBLE TO MACHINERY, A DROP-TYPE SEEDER ATTACHED TO A LANDSCAPE ROLLER SHALL BE USED TO SOW THE GRASS SEED. ON AREAS INACCESSIBLE TO MACHINERY, A CYCLONE SEEDER WILL BE PERMITTED. NO OTHER HAND SEEDING METHOD IS ACCEPTABLE.
- ALL SEEDDED AREAS SHALL BE MULCHED IMMEDIATELY AFTER SEEDING BY APPLYING 2 TONS OF DRY MULCH PER ACRE.
- THE MULCH MAY CONSIST OF STRAW (OAT, WHEAT, BARLEY OR RYE), HAY, BROMEGRASS, TIMOTHY, ORCHARD GRASS, ALFALFA OR CLOVER SHALL NOT BE USED. ALL MATERIAL MUST BE FREE FROM ALL NOXIOUS WEEDS.
- ALL SEEDDED AREAS SHALL BE WATERED ARTIFICIALLY A MINIMUM OF TWICE A DAY FOR THE FIRST WEEK AFTER INSTALLATION, AND ONCE A DAY DURING THE SECOND AND THIRD WEEK AFTER INSTALLATION.

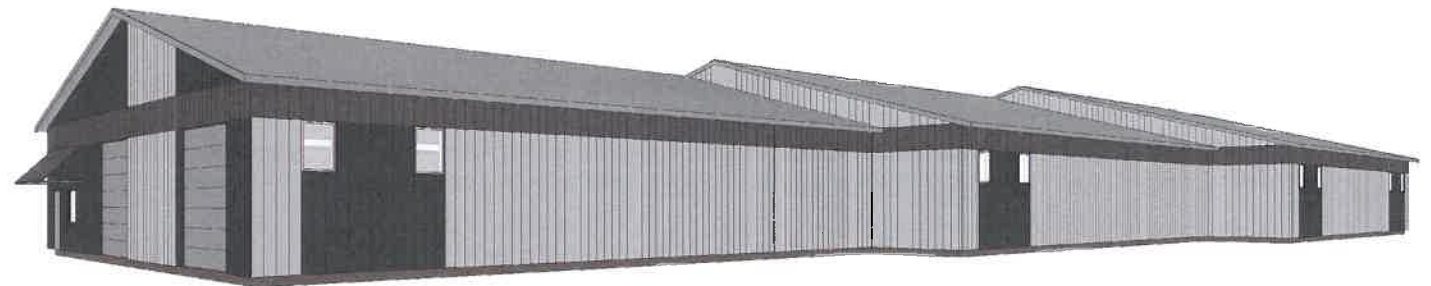
GRADING NOTES

- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WDM STANDARD SPECIFICATIONS.
- STRIP TOPSOIL A MINIMUM OF 4-INCHES FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT.
- STOCKPILE SUFFICIENT TOPSOIL RESERVE A MINIMUM OF 4-INCHES ON UNPAVED AREAS.
- ALL AREAS TO RECEIVE FILL TO BE BENCHED.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISCS TO A DEPTH OF 6-INCHES.
- ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
- THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL NOT DEVIATE FROM OPTIMUM BY MORE THAN -1% TO +4%.
- MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
- FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE, ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
- THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL SILT FENCES.
- ALL AREAS WHICH ARE DISTURBED WILL BE SEEDDED WITH EROSION CONTROL MIX OR SOIDED.
- A MINIMUM OF ONE FOOT OF COMPACTED LOW PLASTICITY COHESIVE SUBGRADE SHALL BE PROVIDED BENEATH ALL PAVEMENTS.
- INSTALL SILT FENCE PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES.
- A COPY OF THE NPDES PERMIT SHALL BE FORWARDED TO THE CITY OF WEST DES MOINES BUILDING DIVISION PRIOR TO CONSTRUCTION.
- ANY SOIL OR SPILL WASHED, TRACKED OR DROPPED ON TO ADJOINING RIGHT-OF-WAYS AND PROPERTY SHALL BE CLEANED UP BY THE CONTRACTOR WITHIN 24 HOURS. EARTH RAMPS SHALL NOT BE CONSTRUCTED IN THE STREET GUTTER.

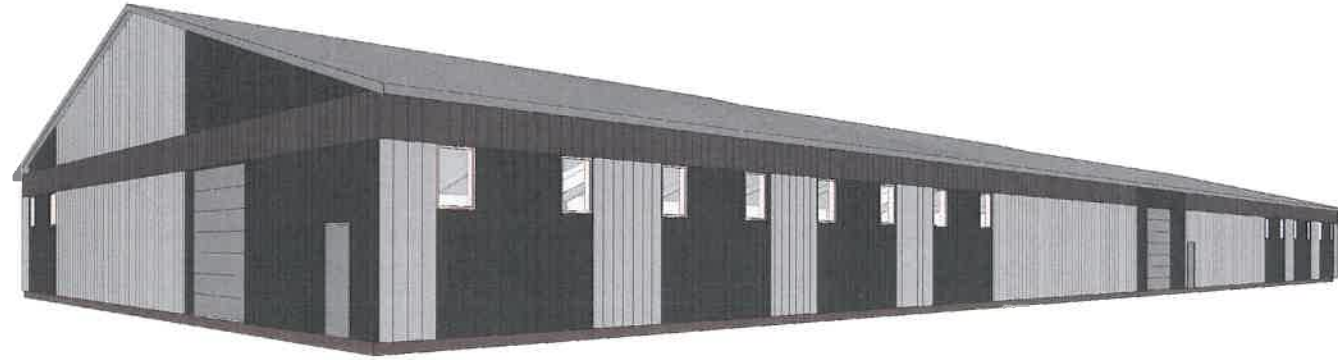
ATTACHMENT D



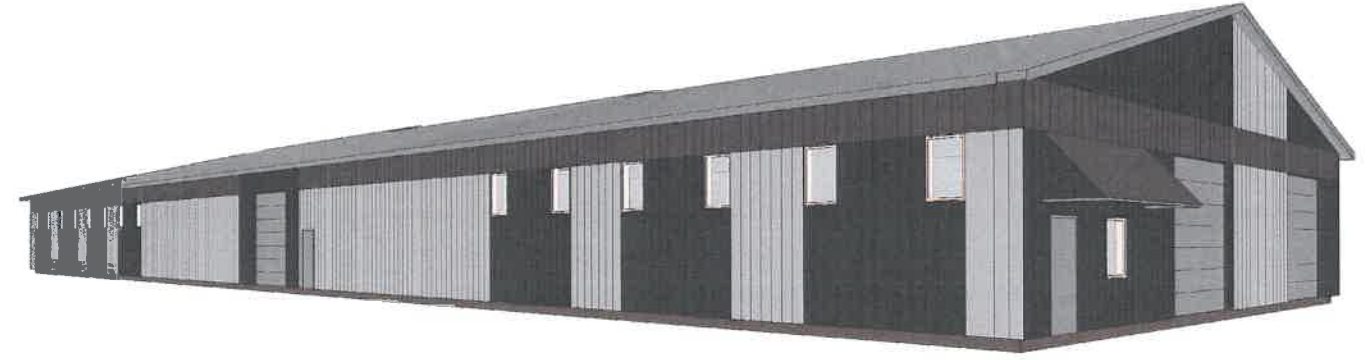
NORTHWEST



NORTHEAST




SOUTHWEST



SOUTHEAST

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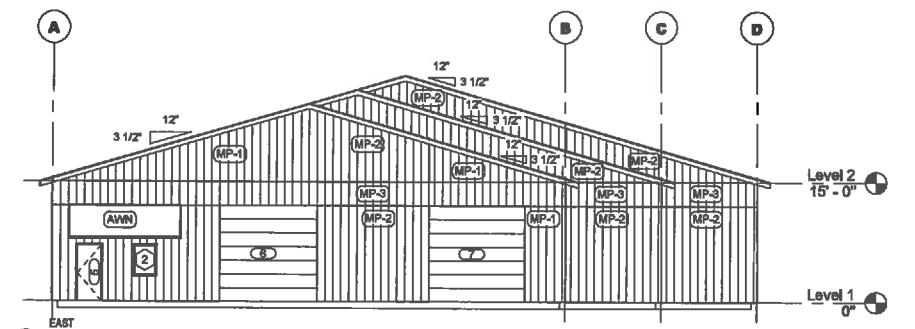
DELANVAN STORAGE
 2101 DELAVAN DRIVE
 WEST DES MOINES, IOWA 50309
 04/18/17

NORTH

 24"x36" SHEET (FULL SIZE)
 - SCALE IS AS NOTED.
 12"x18" SHEET (HALF SIZE)
 - SCALE IS ONE-HALF OF WHAT IS NOTED
 OTHER SHEET SIZES NOT TO SCALE
 SAA JOB #: 17045

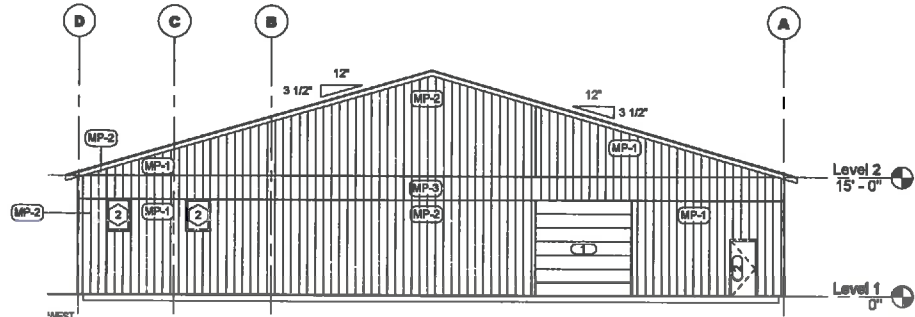
simonson
 simonson & associates architects llc
 1717 ingersoll avenue suite 117 des moines ia 50309
 phn 515 440 5626 www.simonsonassoc.com

Schedule - Exterior Material Key	
AWN	AWNING - COLOIT MATCH MP-3
MP-1	METAL PANEL SIDING COLOR 1
MP-2	METAL PANEL SIDING COLOR 2
MP-3	METAL PANEL SIDING COLOR 3
MP-4	STANDING SEAM METAL ROOF

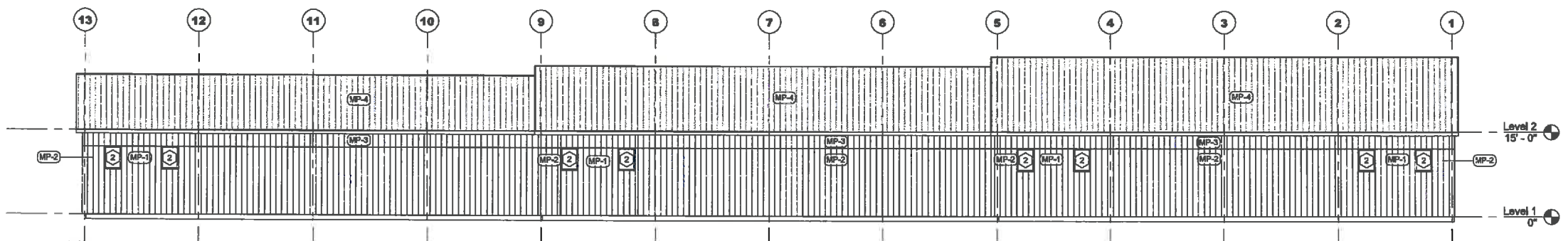
- GENERAL EXTERIOR ELEVATION PLAN NOTES**
- REFER TO ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINES DOCUMENTS.
 - ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND TO UNDER UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL.
 - ANY RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
 - MATERIALS ABOVE CANOPIES & AWNINGS TO BE CONTINUED DOWN BEHIND THEM U.O.N., TYP.
 - NO EXPOSED MASONRY/MATERIAL CORES.
 - INSTALL VERTICAL EXPANSION JOINTS PER STRUCTURAL OR MINIMAL AT COLUMN/GRID LINES AND AT THE HEAD OF DOOR JAMBS/OPENINGS OR AS OTHERWISE NOTED OR WHERE REQUIRED PER STANDARD MATERIAL PRACTICE TO REDUCE STRESS CRACKING. NO CONTROL JOINT/EXPANSION JOINT AT MAIN STRUCTURAL BEARING. KEEP AWAY 2'-0" MIN.
 - CAULK & SEAL ALL TRANSITION-CONTROL-EXPANSION AT ALL EXTERIOR MATERIALS.
 - PROVIDE PREFERABLY CAST REGLETS JUST IN FROM THE OUTER EDGE ON UNDERSIDE OF FACE MATERIAL AT OVERHANGS & SOFFITS.
 - INSULATE AND SEAL TO ENSURE ADEQUATE AIR INFILTRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND SPRINKLER PIPE FREEZING.
 - WHERE EXTERIOR PAVING ADJACENT TO BUILDING, TOP OF PAVING TO BE 1/4" LOWER THAN INTERIOR FINISH FLOOR, SLOPING CONTINUOUSLY AWAY FROM BUILDING A MINIMUM OF 5'. WHERE DOOR STOOP, 4" OUT FROM DOOR 1:4(2%) MAX. SLOPE, AFTER 48" AWAY FROM DOOR 1:20(5%) MAXIMUM SLOPE TO PUBLIC WAY. (REFER TO CIVIL)
 - WHERE NO EXTERIOR PAVING ADJACENT TO BUILDING, TOP OF FINISHED LANDSCAPE A MINIMUM OF 4" BELOW INTERIOR FINISH FLOOR AND 4" BELOW EXTERIOR WALL FLASHING/WEEPS, SLOPING CONTINUOUSLY AWAY FROM BUILDING A MINIMUM OF 5'. (REFER TO CIVIL)
 - ADDRESS SHALL BE PROVIDED ON STREET SIDE OF BUILDING AND ON MONUMENT SIGN. NUMBERS A MINIMUM 5 INCH CONTRASTING COLOR NUMBERS WITH MINIMUM 1/2" STROKE.
 - IF ANY SIGNAGE OR SIGN BARE IS SHOWN IT IS FOR REFERENCE ONLY. FINAL DESIGNS AND/OR ALLOWANCES SHALL BE DETERMINED WITH APPROVED SIGNAGE PERMIT(S).



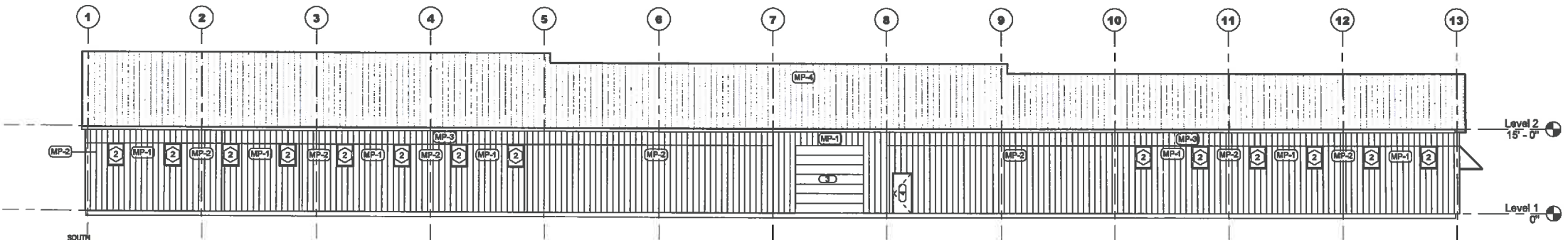
4 EAST EXTERIOR ELEVATIONS
SCALE: 3/32" = 1'-0"



3 WEST EXTERIOR ELEVATIONS
SCALE: 3/32" = 1'-0"



2 NORTH EXTERIOR ELEVATIONS
SCALE: 3/32" = 1'-0"



1 SOUTH EXTERIOR ELEVATIONS
SCALE: 3/32" = 1'-0"

simonson
SIMONSON & ASSOCIATES ARCHITECTS LLC
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515 449 1636 www.simonsonaia.com

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DELANAN STORAGE
2101 DELAVAN DRIVE
WEST DES MOINES, IOWA 50309

NOT FOR CONSTRUCTION

Date: _____
 Issue / Revision: _____
 Rev. # _____
 Job No. 17045
 Project Title: EXTERIOR ELEVATIONS
 Project Manager: _____
 Checker: _____
 Sheet No. _____
A-200
 4/18/2017 8:00:18 AM