

# CITY OF WEST DES MOINES

## COUNCIL AGENDA

**date:** April 16, 2018

**time:** 5:30 P.M.

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MAYOR ..... STEVEN K. GAER  
COUNCILMEMBER AT LARGE ..... RENEE HARDMAN  
COUNCILMEMBER AT LARGE ..... JIM SANDAGER  
COUNCILMEMBER 1<sup>ST</sup> WARD ..... KEVIN L. TREVILLYAN  
COUNCILMEMBER 2<sup>ND</sup> WARD ..... JOHN MICKELSON  
COUNCILMEMBER 3<sup>RD</sup> WARD ..... RUSS TRIMBLE

CITY MANAGER.....TOM HADDEN  
CITY ATTORNEY.....RICHARD SCIESZINSKI  
CITY CLERK.....RYAN JACOBSON

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1. **Call to Order/Pledge of Allegiance/Roll Call/Approval of Agenda**
2. **Citizen Forum** (Pursuant to City Council Procedural Rules citizen remarks are limited to five minutes under this agenda category - if additional time is desired the Mayor/Council may allow continuation as part of the Other Matters portion of the agenda)
3. **Mayor/Council/Manager Report/Other Entities Update**
4. **Consent Agenda**
  - a. Motion - Approval of Minutes of April 2, 2018 Meeting
  - b. Motion - Approval of Bill Lists
  - c. Motion - Approval of Liquor Licenses:
    1. Mangia Tutto, LLC d/b/a Billy Vee's, 304 5<sup>th</sup> Street - Add Outdoor Service Privileges to Existing Class LC Liquor License
    2. Blazin Wings, Inc. d/b/a Buffalo Wild Wings Grill & Bar, 6925 Mills Civic Parkway, Suite #115 - Class LC Liquor License with Sunday Sales and Outdoor Service Privileges - Renewal
    3. Fareway Stores, Inc. d/b/a Fareway Store #153, 329 Grand Avenue - Class LE Liquor License with Carryout Wine and Carryout Beer - Renewal
    4. Foundry Distilling Company, LLC d/b/a Foundry Distilling Company, 111 South 11<sup>th</sup> Street, Suite 100 - Class C Native Distilled Spirits License with Sunday Sales, Living Quarters, and Outdoor Service - New
    5. Migliero Real Estate d/b/a G. Mig's 5th Street Pub, 128 5th Street - Class LC Liquor License with Sunday Sales - Renewal
    6. Hy-Vee, Inc. d/b/a Hy-Vee Market Cafe, 1700 Valley West Drive (Cafe Area) - Class LC Liquor License with Sunday Sales - Renewal
    7. GMRI, Inc. d/b/a The Olive Garden Italian Restaurant #1146, 3600 Westown Parkway - Class LC Liquor License with Sunday Sales - Renewal

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8. Red Robin International, Inc. d/b/a Red Robin America's Gourmet Burgers & Spirits, 6255 Mills Civic Parkway - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
  9. St. Francis of Assisi Roman Catholic Church d/b/a St. Francis of Assisi Church, 7075 Ashworth Road - Class BW Permit with Sunday Sales - Renewal
  10. Scotty's Pub 1, LLC d/b/a Scotty's Pub & Grill, 3781 EP True Parkway - Add Outdoor Service Privileges to Existing Class LC Liquor License
  11. Kelly Midwest Ventures LP d/b/a Staybridge Suites, 6905 Lake Drive - Class LB Liquor License with Sunday Sales - Renewal
  12. Boggs Properties, LLC d/b/a Sully's Irish Pub, 110 Grand Avenue - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
  13. T-Bowl Investments Inc. d/b/a Val Lanes Recreation Center, 100 Ashworth Road - Class LC Liquor License with Sunday Sales - Renewal
  14. Carson Advertising, Inc. d/b/a Vista Pub, 7205 Vista Drive, #116 - Class LC License with Sunday Sales and Outdoor Service - Renewal
  15. Wasabi Group Inc. d/b/a Wasabi, 9500 University Avenue, Suite 2101 - Class LC Liquor License with Carryout Wine, Sunday Sales and Outdoor Service - Renewal
  16. Willow Creek Golf Course, Inc. d/b/a Willow Creek Golf Course, 140 Army Post Road - Class LC Liquor License with Sunday Sales, Living Quarters, and Outdoor Service Privileges - Renewal
- d. Motion - Approval of Acknowledgment/Settlement Agreement - First Violation of Tobacco Laws
- e. Motion - Approval of Extended Sound Permit - Blu Toro, 5585 Mills Civic Parkway, Suite 110
- f. Motion - Approval of Lane Closures for Special Events
1. West Des Moines Girls Softball Parade, April 21, 2018
  2. Miscellaneous Events - Historic Valley Junction Foundation
  3. Mary's Meals Run 5K and 10K, May 12, 2018
- g. Motion - Approval of Purchase and Payment - VMWare Site Recovery Manager
- h. Resolution - Order Construction:
1. 2018 HMA Resurfacing Program
  2. Booneville Road Bridge over Sugar Creek
  3. Intersection Improvements - Intersection of South 51<sup>st</sup> Street and Mills Civic Parkway and Intersection of the Jordan Creek Town Center south entrance and Mills Civic Parkway
- i. Resolution - Accept Work - Walnut Creek Outfall Storm Sewer Project (Building Demolition)
- j. Resolution - Accept Public Improvements:
1. Della Vita Plat 1
  2. Kings Landing Plat 2

- k. Resolution - Establish Public Hearing - Amendment #4 to Westtown V Urban Renewal Area
- l. Resolution - Approval to Initiate Development Agreement - Fore Right, LC
- m. Resolution - Approval of Extension of Entitlement - Office at the Galleria, 645 South 60<sup>th</sup> Street
- n. Motion - Approval of Memorandum of Understanding Regarding Joint Occupancy of Municipal Offices - West Des Moines Water Works
- o. Proclamation - Approval of Proclamations:
  - 1. Earth Day, April 22, 2018
  - 2. Arbor Day, April 27, 2018

**5. Old Business**

- a. Browns Woods Hollow, west of Veterans Parkway and south of Browns Woods Drive - Rezone Property from Medium Density Residential to the Browns Woods Hollow Planned Unit Development (PUD) - City Initiated
  - 1. Ordinance - Approval of Second, Third Readings and Final Adoption
- b. Jordan Creek Town Center, 101 Jordan Creek Parkway - Amend the Planned Unit Development (PUD) to Modify Architectural Requirements and Allow an Additional Architectural Tower within the North Village District of the Jordan Creek Town Center Development - Hy-Vee, Inc.
  - 1. Ordinance - Approval of Second, Third Readings and Final Adoption
- c. Amendment to City Code - Title 9 (Zoning), Chapter 2 (Zoning Rules and Definitions) and Chapter 10 (Performance Standards) - Regulate Membrane Structures in General and Light Industrial Districts - West Des Moines Water Works
  - 1. Ordinance - Approval of Second, Third Readings and Final Adoption
- d. Vacation of a Portion of Wendover Road and Public Roadway Easement and Termination of Public Roadway Easement and Conveyance of Property - City Initiated
  - 1. Ordinance - Approval of Second, Third Readings and Final Adoption
- e. Osmium Urban Renewal Area - Approval of Amended TIF Ordinance - City Initiated
  - 1. Ordinance - Approval of Second, Third Readings and Final Adoption

**6. Public Hearings (5:35 p.m.)**

- a. West Grand Business Park, generally located at the intersection of Grand Avenue and South 88<sup>th</sup> Street - Amend the Planned Unit Development (PUD) to Remove Parcel 12 from the PUD Area - City Initiated (Continued from April 2, 2018)
  - 1. Motion - Continue Public Hearing to April 30, 2018
- b. WDM Public Services, southwest corner of Grand Avenue and South 88<sup>th</sup> Street - Approval of a Planned Unit Development (PUD) to Allow Construction of a Public Services Facility with Associated Amenities - City Initiated (Continued from April 2, 2018)
  - 1. Motion - Continue Public Hearing to April 30, 2018
- c. Nazarene Church Campground, 2001, 2251, and 2296 Fuller Road - Repeal Nazarene Church Campground Planned Unit Development (PUD) - City Initiated
  - 1. Ordinance - Approval of First Reading
- d. Amendment to City Code - Title 9 (Zoning), Chapter 7 (Setback and Bulk Density Regulations) and Chapter 11 (Professional Commerce Park District) - Modify Bulk Regulations and Amend Lot Size and Lot Frontage Requirements for the Professional Commerce Park District - City Initiated
  - 1. Ordinance - Approval of First Reading
- e. Agreement for Private Development - JARCOR, LLC
  - 1. Motion - Continue Public Hearing to April 30, 2018
- f. Veterans Parkway, SE Maffitt Lake Road to SE Adams Street - City Initiated
  - 1. Resolution - Approval of Plans and Specifications
  - 2. Motion - Receive and File Report of Bids
  - 3. Resolution - Award Contract
- g. 2018 PCC Reconstruction Program - City Initiated
  - 1. Resolution - Approval of Plans and Specifications
  - 2. Motion - Receive and File Report of Bids
  - 3. Resolution - Award Contract
- h. 2017 ADA Sidewalk Improvements - City Initiated
  - 1. Resolution - Approval of Plans and Specifications
  - 2. Motion - Receive and File Report of Bids
  - 3. Resolution - Award Contract
- i. Holiday Park Parking Lot Repairs - City Initiated
  - 1. Resolution - Approval of Plans and Specifications
  - 2. Motion - Receive and File Report of Bids
  - 3. Resolution - Award Contract

**7. New Business**

- a. Dawson Ridge, 9450 Booneville Road - Subdivide Property into 13 Single Family Lots and Two Street Lots - 117 Land Company, LLC
  - 1. Resolution - Approval of Preliminary Plat
  
- b. South American Beef, 1860 88<sup>th</sup> Street - Approval of a Site Plan to Construct a 5,582 sq. ft. Office Building - South American Beef
  - 1. Resolution - Approval of Site Plan
  
- c. West Des Moines Association of Professional Fire Fighters Local #3586 and City of West Des Moines - Contract July 1, 2018 thru June 30, 2022 - City of West Des Moines and Local 3586
  - 1. Resolution - Approval of Contract
  
- d. Teamsters Local #238 (Westcom) - Contract July 1, 2018 thru June 30, 2022 - City of West Des Moines and Teamsters Local #238
  - 1. Resolution - Approval of Contract
  
- e. Amendment to City Code - Title 6 (Motor Vehicles and Traffic), Chapter 5 (Rules of the Road) - Use of Electronic Communication Device While Driving (Adopt State Code by Reference) - City Initiated
  - 1. Ordinance - Approval of First Reading
  
- f. Amendment to City Code - Title 6 (Motor Vehicles and Traffic), Chapter 9 (Traffic Schedules), Section 3 (Four-Way Stop Intersections) - 4<sup>th</sup> Street and Vine Street - City Initiated
  - 1. Ordinance - Approval of First Reading, Waiver of Second and Third Readings, and Final Adoption

Note: Due to the importance and time sensitive nature regarding Item 7(f), the City Council may conduct a first reading, waive the second and third readings, and vote on adoption of this ordinance in final form.

**8. Receive, File and/or Refer**

**9. Other Matters**

- a. Legislative Updates
  - 1. Motion - Approval of Subcommittee Recommendations

The City of West Des Moines is pleased to provide accommodations to disabled individuals or groups and encourages their participation in city government. Should special accommodations be required please contact the Clerk's office at least 48 hours in advance, at 222-3600 to have accommodations provided.

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West Des Moines City Council Proceedings  
Monday, April 2, 2018

Mayor Steven K. Gaer opened the regularly scheduled meeting of the City Council of West Des Moines, Iowa, in the Council Chambers of the West Des Moines City Hall on Monday, April 2, 2018 at 5:30 PM. Council members present were: R. Hardman, J. Mickelson, K. Trevillyan, and R. Trimble. Council member J. Sandager participated via telephone.

City Clerk Ryan Jacobson stated staff has made a clarification to Item 7(e) Contract with Firefighters Local 3586 to specify that this is the EMT-Paramedics union contract.

On Item 1. Agenda. It was moved by Trimble, second by Trevillyan approve the agenda as amended.

Vote 18-161: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 2. Public Forum: No one came forward.

On Item 3. Council/Manager/Other Entities Reports:

Council member Hardman reported she assisted with the Police Sergeant interview process. She also attended an open house for MorningStar at Jordan Creek. She also reported she served as an alternate at a meeting of the Public Services Subcommittee and attended the West Des Moines Chamber of Commerce Annual Dinner.

City Manager Tom Hadden introduced the City's new ITS Director Joe Menke.

On Item 4. Consent Agenda.

It was moved by Trevillyan, second by Hardman to approve the consent agenda as presented.

- a. Approval of Minutes of March 19, 2018 and March 26, 2018 Meetings
- b. Approval of Bill Lists
- c. Approval of Liquor Licenses:
  1. BL Restaurant Operations, LLC d/b/a Bar Louie, 7105 Mills Civic Parkway, Suite 150 - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
  2. Two Tees, LLC, d/b/a Blu Toro, 5585 Mills Civic Parkway, Suite 110 - Class LC Liquor License Extension of Outdoor Service - May 4-6, 2018
  3. Foundry Distilling Company, LLC d/b/a Foundry Distilling Company, 111 South 11th Street, Suite 100 - Class A Native Distilled Spirits License - New
  4. New Silk Road, LLC d/b/a Heavenly, 225 5th Street - Class LC Liquor License with Carryout Wine, Sunday Sales, and Outdoor Service Privileges - Renewal

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5. Hy-Vee, Inc. d/b/a Hy-Vee Drugstore #2, 1010 60th Street - Class LE Liquor License with Carryout Wine, Carryout Beer, and Sunday Sales - Renewal
  6. BDF, Inc. d/b/a The Longest Yard, 122 5th Street - Class LC Liquor License with Sunday Sales and Outdoor Service Privileges - Renewal
  7. Your Private Bartender, LLC d/b/a Your Private Bartender, 1701 25th Street, Suite 102 (Events Center West) - Six-Month Class LC Liquor License with Sunday Sales - New
- d. Approval of Order for Violation of Alcohol Laws
  - e. Approval of Revised 2018-19 Committee and Other Assignments
  - f. Approval of Enterprise Agreement and Payment - ESRI
  - g. Approval of Purchase and Payment - Outdoor Warning Siren Control System
  - h. Approval of Recommended Special Use Facility Name - Nellie Phenix Legacy Commons
  - i. Approval of Substituted and Restated 28E Agreement - Polk County Emergency Management
  - j. Order Construction:
    1. 2018 PCC Patching and Medians Program
    2. Library and Law Enforcement Center HVAC Improvements
    3. Valley Junction Alley Improvements, Phase 5A
    4. Veterans Parkway, Alluvion TIF Boundary to SE 50th Street
    5. Veterans Parkway Bridge over I-35
    6. Fairmeadows Park Water Quality Improvements
  - k. Accept Work - 2017 PCC Patching and Medians Program
  - l. Approval of Professional Services Agreement - Library and Law Enforcement Center HVAC Improvements - Commissioning
  - m. Accept Public Improvements - Fareway Plat 1 Sanitary Sewer
  - n. Approval of Transfer of Public Road Jurisdiction - Ashworth Road and 88th Street along I-80
  - o. Establish Just Compensation and Approve Acquisition of Property:
    1. Booneville Road Bridge over Sugar Creek
    2. Valley West Drive and Westtown Parkway Storm Sewer Improvements
  - p. Approval and Acceptance of Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement - New Horizon Academy Day Care, 9040 University Avenue
  - q. Approval and Acceptance of Purchase Agreements and Property Interests - Project Osmium Public Infrastructure
  - r. Approval of Agreement for Partial Removal of Median on South 60th Street - Westwood Baptist Church, 895 South 60th Street
  - s. Approval of Extension to IEDA Economic Development Assistance Contract - Outcomes, Inc.
  - t. Approval and Release of Plat of Survey for the Vacation of a Portion of Wendover Road

Vote 18-162: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

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On Item 5(a) Amendment to City Code - Title 4 (Health and Safety Regulations), Chapter 5 (Solid Waste Control) - Remove the Licensing Requirements for Haulers of Solid Waste, initiated by the City of West Des Moines

It was moved by Trevillyan, second by Hardman to consider the second reading of the ordinance.

Vote 18-163: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trevillyan, second by Hardman to approve the second reading of the ordinance.

Vote 18-164: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

It was moved by Trevillyan, second by Hardman to waive the third reading and adopt the ordinance in final form.

Vote 18-165: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 5(b) Property Tax Rebate Program - Request for Reconsideration of Application, initiated by Ballenger Real Estate, LLC

Mayor Gaer noted additional information has been provided in the form of affidavits from the applicants for Items 5(b) and 5(c). He stated Council member Hardman, as a council member that voted on the prevailing side, has requested these two items be reconsidered.

It was moved by Hardman, second by Mickelson to adopt Resolution - Approval of Application.

Council member Hardman stated since the applicants have submitted their affidavits, she has reconsidered her position and now supports approving the applications for Items 5(b) and 5(c). She believes the two development projects do fit the intention of the property tax rebate program, and she noted an exception had already been granted for a previous project.

Council member Trevillyan stated the exception referenced by Council member Hardman was when the program first started and the materials did not clearly state when the application deadline was, but that has since been clarified. He expressed concerns that approving these applications would set a bad precedent.

Council member Trimble stated he does not believe the affidavits provide sufficient evidence that the project financing was contingent upon receiving the property tax rebate. He noted in



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other situations, ignorance of the law is not an excuse. He stated the program has required the application be submitted prior to obtaining building permits to ensure the project is truly being incentivized by the program and would not otherwise occur without it. He also expressed concerns that approving these applications would set a bad precedent.

Vote 18-166: Hardman, Mickelson, Sandager ...3 yes  
Trevillyan, Trimble ... 2 no

Motion carried.

On Item 5(c) Property Tax Rebate Program - Request for Reconsideration of Application, initiated by LTR Pointe, LLC

It was moved by Hardman, second by Mickelson to adopt Resolution - Approval of Application.

Council members Trevillyan and Trimble reiterated their comments from Item 5(b) as they apply to Item 5(c) as well.

Vote 18-167: Hardman, Mickelson, Sandager ...3 yes  
Trevillyan, Trimble ... 2 no

Motion carried.

On Item 6(a) Mayor Gaer indicated this was the time and place for a public hearing to consider Browns Woods Hollow, west of Veterans Parkway and south of Browns Woods Drive - Change the Land Use Designation from Medium Density Residential to Single Family Residential and Rezone Property from Medium Density Residential to the Browns Woods Hollow Planned Unit Development (PUD), initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on March 16, 2018 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated on a vote of 5-0, with two members absent, the Plan and Zoning Commission recommended City Council approval of the comprehensive plan amendment and rezoning request.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Hardman to adopt Resolution - Approval of Comprehensive Plan Amendment.

Vote 18-168: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

It was moved by Trimble, second by Trevillyan to consider the first reading of the ordinance.

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Vote 18-169: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trimble, second by Trevillyan to approve the first reading of the ordinance.

Vote 18-170: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 6(b) Mayor Gaer indicated this was the time and place for a public hearing to consider Jordan Creek Town Center, 101 Jordan Creek Parkway - Amend the Planned Unit Development (PUD) to Modify Architectural Requirements and Allow an Additional Architectural Tower within the North Village District of the Jordan Creek Town Center Development, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on March 16, 2018 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated on a vote of 5-0, with two members absent, the Plan and Zoning Commission recommended City Council approval of the PUD amendment.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

Mayor Gaer noted Hy-Vee, Inc., on behalf of Wahlburgers restaurants, has requested a sign that is not in compliance with the City's sign ordinance, but staff has identified other Wahlburgers locations with signs that would be in compliance.

Lynne Twedt, Development Services Director, reported the request was for a layered panel sign with all panels illuminated by LED lighting. Since there are other Wahlburgers locations with signs that would be in compliance, staff does not feel it would be necessary to amend the sign ordinance to allow the LED panel signs.

Andrew Reich, Hy-Vee, Inc., 5820 Westown Parkway, acknowledged there are examples out there of restaurants without the LED panel signs, but those were early locations. As the company has grown and the branding has evolved, the company now prefers to maintain the integrity of the brand logo at day and night with the LED panel signs.

Mayor Gaer expressed concerns about amending the sign ordinance, which took years to finalize, in order to allow these LED panel signs.

Council member Trevillyan noted Bar Louie made a similar request for LED panel signs, but their request was not approved.

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Ms. Twedt noted there are other ways to achieve the desired look of the sign, such as using backlighting to illuminate the green background panel, which would be in compliance with the sign ordinance.

Mayor Gaer inquired if the Council approves the first reading of the ordinance as staff recommended it, would the applicant consider that a deal-breaker for the project.

Mr. Reich stated the applicant would prefer the LED panel signs as requested, but the signage would not affect the status of the project, as their preference would be for the project to move forward regardless of the signage.

It was moved by Trevillyan, second by Mickelson to consider the first reading of the ordinance (option B).

Vote 18-171: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trevillyan, second by Mickelson to approve the first reading of the ordinance (option B).

Vote 18-172: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 6(c) West Grand Business Park, generally located at the intersection of Grand Avenue and South 88th Street - Amend the Planned Unit Development (PUD) to Remove Parcel 12 from the PUD Area, initiated by the City of West Des Moines.

It was moved by Trevillyan, second by Trimble to adopt Motion - Continue Public Hearing to April 16, 2018.

Vote 18-173: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 6(d) WDM Public Services, southwest corner of Grand Avenue and South 88th Street - Approval of a Planned Unit Development (PUD) to Allow Construction of a Public Services Facility with Associated Amenities, initiated by the City of West Des Moines.

It was moved by Trevillyan, second by Trimble to adopt Motion - Continue Public Hearing to April 16, 2018.

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Vote 18-174: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 6(e) Mayor Gaer indicated this was the time and place for a public hearing to consider Amendment to City Code - Title 9 (Zoning), Chapter 2 (Zoning Rules and Definitions) and Chapter 10 (Performance Standards) - Regulate Membrane Structures in General and Light Industrial Districts, initiated by West Des Moines Water Works. He asked for the date the notice was published and the City Clerk indicated the notice was published on March 16, 2018 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated on a vote of 5-0, with two members absent, the Plan and Zoning Commission recommended City Council approval of the ordinance amendment.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Mickelson to consider the first reading of the ordinance.

Council member Trevillyan stated he will abstain on this item due to a potential conflict of interest.

Vote 18-175: Hardman, Mickelson, Sandager, Trimble...4 yes  
Trevillyan... 1 abstain due to potential conflict of interest  
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trimble, second by Mickelson to approve the first reading of the ordinance.

Vote 18-176: Hardman, Mickelson, Sandager, Trimble...4 yes  
Trevillyan... 1 abstain due to potential conflict of interest  
Motion carried.

On Item 6(f) Mayor Gaer indicated this was the time and place for a public hearing to consider Vacation of a Portion of Wendover Road and Public Roadway Easement and Termination of Public Roadway Easement and Conveyance of Property, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on March 28, 2018 in the Dallas County News. Mayor Gaer asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

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It was moved by Trimble, second by Hardman to consider the first reading of the ordinance.

Council member Trimble inquired if notification was given to surrounding property owners.

City Attorney Scieszinski responded notification is only given to property owners that would be impacted by the vacation of the roadway, so in this case it would only be the Robert F. Etzel Living Trust.

Vote 18-177: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trimble, second by Hardman to approve the first reading of the ordinance.

Vote 18-178: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

It was moved by Trimble, second by Trevillyan to adopt Resolution - Termination of Public Roadway Easement and Conveyance of Property.

Vote 18-179: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 6(g) Mayor Gaer indicated this was the time and place for a public hearing to consider Sale and Removal of Single-Family Residences Located at 8700 County Line Road and 3476 Adams Street, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on March 28, 2018 in the Des Moines Register and March 29, 2018 in the N. Warren Town and County News. Mayor Gaer asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Trevillyan to adopt Resolution - Open and Close the Public Hearing and Request that City Staff Provide a Subsequent Recommendation.

Vote 18-180: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 6(h) Mayor Gaer indicated this was the time and place for a public hearing to consider Amendment #1 to the Midtown Urban Renewal Area, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was

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published on March 23, 2018 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trevillyan, second by Trimble to adopt Resolution - Approval of Urban Renewal Plan Amendment.

Vote 18-181: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 6(i) Mayor Gaer indicated this was the time and place for a public hearing to consider Raccoon River Drive Culvert near South Jordan Creek Parkway, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on March 23, 2018 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trevillyan, second by Trimble to adopt Resolution - Approval of Plans and Specifications, Motion to Receive and File Report of Bids, and Resolution - Award Contract to Shekar Engineering.

Vote 18-182: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 6(j) Mayor Gaer indicated this was the time and place for a public hearing to consider Valley Junction Activity Center Fire Escape Stairs, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on March 23, 2018 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Trevillyan to adopt Resolution - Approval of Plans and Specifications, Motion to Receive and File Report of Bids, and Resolution - Reject All Bids.

Vote 18-183: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

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On Item 7(a) West Lakes Office Park Lot 2, 7160 University Avenue - Approval of a Site Plan to Allow Construction of a 12,000 sq. ft. Commercial Buildings, initiated by Fore Right LC

It was moved by Trevillyan, second by Hardman to adopt Resolution - Approval and Release of Site Plan, subject to the applicant complying with all applicable City Code requirements and the conditions of approval listed in the Resolution.

Council member Sandager inquired if this project is eligible for the property tax rebate program.

Clyde Evans, Community and Economic Development Director, responded the project is eligible for the program.

Vote 18-184: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 7(b) Southwoods West Plat 2, Lot 1 Plat of Survey, 5000 Westwood Drive - Create One Parcel for Future Transfer of Ownership and One Parcel for Street Right of Way, initiated by the City of West Des Moines

It was moved by Trevillyan, second by Trimble to adopt Resolution - Approval and Release of Plat of Survey, subject to the applicant complying with all applicable City Code requirements.

Council member Trevillyan inquired when the request for bids to sell the parcel will be published.

City Attorney Scieszinski responded staff will try to get the request for bids published as soon as possible.

Vote 18-185: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 7(c) Osmium Urban Renewal Area - Approval of Amended TIF Ordinance, initiated by the City of West Des Moines

It was moved by Trevillyan, second by Trimble to consider the first reading of the ordinance.

Vote 18-186: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trevillyan, second by Trimble to approve the first reading of the ordinance.

April 2, 2018

Vote 18-187: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 7(d) Teamsters Local #238 (Police) - Contract July 1, 2018 thru June 30, 2022, initiated by the City of West Des Moines and Teamsters Local #238

It was moved by Hardman, second by Trevillyan to adopt Resolution - Approval of Contract.

Vote 18-188: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 7(e) West Des Moines EMT - Paramedics and EMT- Basics Local #3586 and City of West Des Moines - Contract July 1, 2018 thru June 30, 2021, initiated by the City of West Des Moines and Local 3586

It was moved by Hardman, second by Trimble to adopt Resolution - Approval of Contract.

Vote 18-189: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes  
Motion carried.

On Item 8 - Receive, File and/or Refer: no items

On Item 9(a) Legislative Updates

Jamie Letzring, Deputy City Manager, provided a brief legislative update, stating Governor Reynolds has signed SF 2117 (Deappropriations Bill), which did not address the property tax backfill for cities, although there are still ongoing discussions about proposed reductions and/or elimination of that backfill. She also reported HSB 681 (Tax Increment Financing) is still pending, which would exclude the school and county levy from tax increment financing. She also reported that HF 2253 (Lease-Purchase Bill) was approved by the Senate with an amendment that will continue to allow some flexibility for public-private partnerships. She also reported that HF 2285 was signed by Governor Reynolds, which allows ground emergency transportation providers to receive supplemental reimbursements from the Federal Government for uncompensated care costs for Medicaid patients.

The meeting was adjourned at 6:15 p.m.

Respectfully submitted,

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Ryan T. Jacobson, CMC  
City Clerk



April 2, 2018

ATTEST:

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Steven K. Gaer, Mayor

**CITY OF WEST DES MOINES**  
CITY COUNCIL ACTION ITEM

The following list(s) of municipal expenditures, all of which have been reviewed and authorized by the respective departments as being justified and properly due and the listing of which have been prepared by Finance departmental staff are being submitted to the City Council for approval:

Regular Bi-Weekly Claims	04/16/18		\$ 2,045,922.43
			Total \$ Amount
EFT Claims	04/16/18		\$ 556,683.92
			Total \$ Amount
Control Pay	04/16/18		\$ 130,705.09
			Total \$ Amount
End of Month & Off-Cycle	04/02/18 to 04/18/18		\$ 300,274.78

Approved by the West Des Moines City Council  
this 16<sup>TH</sup> day of April, 2018.

\_\_\_\_\_  
Tim Stiles, Finance Director

\_\_\_\_\_  
Tom Hadden, City Manager

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan Jacobson, City Clerk

Finance and Administration Committee acknowledgement of disbursement of expenditures:

\_\_\_\_\_  
Russ Trimble, Councilmember

\_\_\_\_\_  
Jim Sandager, Councilmember

\_\_\_\_\_  
John Mickelson (alternate)

City of West Des Moines  
**City Council Report**  
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement  
 Batch Date: 04/16/2018

Type	Date	Number Source	Payee Name	EFT Bank/Account	Transaction Amount
<b>Bank Account: WB VENDOR DISB - WB Vendor Disbursement</b>					
Check	04/16/2018	307666 Accounts Payable	ABACI CONSULTING INC		495.00
Check	04/16/2018	307667 Accounts Payable	AGRILAND FS INC		480.20
Check	04/16/2018	307668 Accounts Payable	AHLERS & COONEY		1,245.00
Check	04/16/2018	307669 Accounts Payable	ALL IOWA PRODUCTS LLC		571.00
Check	04/16/2018	307670 Accounts Payable	ALLIANCE CONSTRUCTION GROUP LLC		111,480.68
Check	04/16/2018	307671 Accounts Payable	AMERICAN SECURITY LLC		1,501.71
Check	04/16/2018	307672 Accounts Payable	ASCHEMAN , PHILIP		125.00
Check	04/16/2018	307673 Accounts Payable	AT& T MOBILITY		163.96
Check	04/16/2018	307674 Accounts Payable	AUREON NETWORK SERVICES		5,100.18
Check	04/16/2018	307675 Accounts Payable	BASICLEIGH COMMUNICATIONS LLC		1,687.50
Check	04/16/2018	307676 Accounts Payable	BENJAMIN DESIGN COLLABORATIVE		1,955.00
Check	04/16/2018	307677 Accounts Payable	BERGSTROM CONSTRUCTION INC		43,248.75
Check	04/16/2018	307678 Accounts Payable	BIG CHAIR LLC		260.00
Check	04/16/2018	307679 Accounts Payable	BJ STORAGE		150.00
Check	04/16/2018	307680 Accounts Payable	BOLTON & MENK INC		18,299.50
Check	04/16/2018	307681 Accounts Payable	BOUND TREE MEDICAL LLC		3,668.17
Check	04/16/2018	307682 Accounts Payable	BROCKWAY MECHANICAL & ROOFING		2,796.54
Check	04/16/2018	307683 Accounts Payable	BROWN , CHIKAKO		160.00
Check	04/16/2018	307684 Accounts Payable	BROWN , MATTHEW ROBERT		367.00
Check	04/16/2018	307685 Accounts Payable	BUELOW , LISA		253.00
Check	04/16/2018	307686 Accounts Payable	CALHOUN-BURNS & ASSOCIATES INC		1,122.50
Check	04/16/2018	307687 Accounts Payable	CAMPBELL , MEREDITH		69.00
Check	04/16/2018	307688 Accounts Payable	CARLSON , BENJAMIN		250.00
Check	04/16/2018	307689 Accounts Payable	CARPENTER UNIFORM CO		734.27
Check	04/16/2018	307690 Accounts Payable	CENTRAL IOWA READY-MIX		177.50
Check	04/16/2018	307691 Accounts Payable	CHAD TORSTENSON EMS MEDIC		6,000.00
Check	04/16/2018	307692 Accounts Payable	CHIAFOS , BRAD		69.00
Check	04/16/2018	307693 Accounts Payable	CINTAS CORP FIRST AID & SAFETY		149.82
Check	04/16/2018	307694 Accounts Payable	CITY OF DES MOINES		531,504.34
Check	04/16/2018	307695 Accounts Payable	CLARK , JAYLA		210.00
Check	04/16/2018	307696 Accounts Payable	CLIENTFIRST CONSULTING GROUP		8,619.09
Check	04/16/2018	307697 Accounts Payable	COMMONWEALTH ELECTRIC		14,250.00
Check	04/16/2018	307698 Accounts Payable	CONCRETE TECHNOLOGIES INC		88,500.93
Check	04/16/2018	307699 Accounts Payable	CREATIVE FORMS & CONCEPTS INC		522.58

City of West Des Moines  
**City Council Report**  
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement  
 Batch Date: 04/16/2018

Type	Date	Number Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	04/16/2018	307700 Accounts Payable	DAO , KEVIN		160.00
Check	04/16/2018	307701 Accounts Payable	DEFENSIVE EDGE TRAINING AND CONSULTING INC		450.00
Check	04/16/2018	307702 Accounts Payable	DEPT OF PUBLIC DEFENSE		550.00
Check	04/16/2018	307703 Accounts Payable	DOWLING , CONNIE		261.00
Check	04/16/2018	307704 Accounts Payable	EARL MAY SEED AND NURSERY		399.60
Check	04/16/2018	307705 Accounts Payable	ELECTRICAL ENGINEERING & EQUIP		259.60
Check	04/16/2018	307706 Accounts Payable	EMBARC		50.00
Check	04/16/2018	307707 Accounts Payable	EMBARKIT INC		3,876.00
Check	04/16/2018	307708 Accounts Payable	EMS TECHNOLOGY SOLUTIONS		459.00
Check	04/16/2018	307709 Accounts Payable	EMSLRC		84.00
Check	04/16/2018	307710 Accounts Payable	ENVISION HOMES HOLDING COMPANY		1,164.94
Check	04/16/2018	307711 Accounts Payable	FASS CONSULTING-FIT RESPONDER		1,225.00
Check	04/16/2018	307712 Accounts Payable	FASTENAL COMPANY		174.91
Check	04/16/2018	307713 Accounts Payable	FLORIST DISTRIBUTING, INC.		58.00
Check	04/16/2018	307714 Accounts Payable	FORECAST PUBLIC ART		2,237.66
Check	04/16/2018	307715 Accounts Payable	FORTERRA CONCRETE PRODUCTS, INC		1,286.00
Check	04/16/2018	307716 Accounts Payable	GATOR EXCAVATING INC		25,517.00
Check	04/16/2018	307717 Accounts Payable	GBA SYSTEMS INTEGRATORS LLC		10,205.00
Check	04/16/2018	307718 Accounts Payable	GENERAL TRAFFIC CONTROLS INC		19,164.00
Check	04/16/2018	307719 Accounts Payable	GEORGE BUTLER ASSOCIATES INC		27,235.50
Check	04/16/2018	307720 Accounts Payable	GRAINGER INC		107.20
Check	04/16/2018	307721 Accounts Payable	GRIMES ASPHALT & PAVING		807.80
Check	04/16/2018	307722 Accounts Payable	HAWKEYE PAVING CORPORATION		40,000.00
Check	04/16/2018	307723 Accounts Payable	HAWKEYE TRUCK EQUIPMENT		1,137.00
Check	04/16/2018	307724 Accounts Payable	HDR ENGINEERING INC		11,221.65
Check	04/16/2018	307725 Accounts Payable	HEALEY , DR HOLLY		1,500.00
Check	04/16/2018	307726 Accounts Payable	HEART OF THE EARTH		520.00
Check	04/16/2018	307727 Accounts Payable	HEIMAN FIRE EQUIPMENT INC		146.49
Check	04/16/2018	307728 Accounts Payable	HERITAGE-CRYSTAL CLEAN LLC		268.12
Check	04/16/2018	307729 Accounts Payable	HILLTOP TIRE SERVICE		295.77
Check	04/16/2018	307730 Accounts Payable	HOME DEPOT CREDIT SERVICES		88.84
Check	04/16/2018	307731 Accounts Payable	HOME INC		12,118.00
Check	04/16/2018	307732 Accounts Payable	HP INC		14,576.00
Check	04/16/2018	307733 Accounts Payable	HY VEE INC		154.96

City of West Des Moines  
**City Council Report**  
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement  
 Batch Date: 04/16/2018

Type	Date	Number Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	04/16/2018	307734 Accounts Payable	ICOR TECHNOLOGY INC		1,060.00
Check	04/16/2018	307735 Accounts Payable	INCENTIVE SERVICES INC		868.49
Check	04/16/2018	307736 Accounts Payable	IOWA CUBS SPORTS TURF MNGT		8,600.00
Check	04/16/2018	307737 Accounts Payable	IOWA DEPARTMENT OF TRANSPORTATION		707.26
Check	04/16/2018	307738 Accounts Payable	IOWA SIGNAL INC		45.00
Check	04/16/2018	307739 Accounts Payable	IRON MOUNTAIN		53.25
Check	04/16/2018	307740 Accounts Payable	ITERIS INC		625.00
Check	04/16/2018	307741 Accounts Payable	JACKSON , KOURTHIN		980.00
Check	04/16/2018	307742 Accounts Payable	JACOBS , CARRIE GRACE		212.50
Check	04/16/2018	307743 Accounts Payable	JACOBSEN AUTO BODY		1,082.01
Check	04/16/2018	307744 Accounts Payable	JCG LAND SERVICES INC		34,713.82
Check	04/16/2018	307745 Accounts Payable	JIM'S JOHNS		291.00
Check	04/16/2018	307746 Accounts Payable	JM IMPRESSIONS ART & DESIGN		390.00
Check	04/16/2018	307747 Accounts Payable	JOHN HEMRY LLC		4,100.00
Check	04/16/2018	307748 Accounts Payable	JORDAN CREEK ANIMAL HOSPITAL		121.55
Check	04/16/2018	307749 Accounts Payable	JORDAN CREEK EXECUTIVE CAR WASH		64.00
Check	04/16/2018	307750 Accounts Payable	KABEL BUSINESS SERVICES		10.00
Check	04/16/2018	307751 Accounts Payable	KLOCKE'S EMERGENCY VEHICLES		1,084.88
Check	04/16/2018	307752 Accounts Payable	KRIEGER , MONICA		69.00
Check	04/16/2018	307753 Accounts Payable	KUM & GO LC		500.00
Check	04/16/2018	307754 Accounts Payable	LACINA , WENDY		345.00
Check	04/16/2018	307755 Accounts Payable	LASER RESOURCES		18,360.78
Check	04/16/2018	307756 Accounts Payable	LEACHMAN LUMBER COMPANY		857.24
Check	04/16/2018	307757 Accounts Payable	LOWE'S HOME CENTER INC		313.83
Check	04/16/2018	307758 Accounts Payable	LUTHER , RITA		490.60
Check	04/16/2018	307759 Accounts Payable	MACDONALD LETTER SERVICE		350.00
Check	04/16/2018	307760 Accounts Payable	MARTIN'S FLAG COMPANY LLC		107.80
Check	04/16/2018	307761 Accounts Payable	MENKE , JOE		17.44
Check	04/16/2018	307762 Accounts Payable	MERCY WEST PHARMACY		1,379.34
Check	04/16/2018	307763 Accounts Payable	MERRILL AXLE AND WHEEL SERVICE		568.98
Check	04/16/2018	307764 Accounts Payable	MIDAMERICAN ENERGY		166,925.70
Check	04/16/2018	307765 Accounts Payable	MIDAMERICAN-WDM-WAUKEE TL		164.61
Check	04/16/2018	307766 Accounts Payable	MIDWEST VETERINARY SUPPLY		32.94
Check	04/16/2018	307767 Accounts Payable	MINTURN INC		53,865.00

City of West Des Moines  
**City Council Report**  
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement  
 Batch Date: 04/16/2018

Type	Date	Number Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	04/16/2018	307768	Accounts Payable	MOTOROLA TRUNKED USERS GROUP	50.00
Check	04/16/2018	307769	Accounts Payable	MTI DISTRIBUTING, INC.	1,184.28
Check	04/16/2018	307770	Accounts Payable	MUNICIPAL COLLECTIONS OF AMER	7.50
Check	04/16/2018	307771	Accounts Payable	MUNICIPAL SUPPLY INC	59.20
Check	04/16/2018	307772	Accounts Payable	MURPHY TOWER SERVICE LLC	1,360.00
Check	04/16/2018	307773	Accounts Payable	NATIONAL CURRICULUM & TRAINING	2,011.25
Check	04/16/2018	307774	Accounts Payable	NESTINGEN INC	6,760.00
Check	04/16/2018	307775	Accounts Payable	NORTH AMERICAN RESCUE INC	424.34
Check	04/16/2018	307776	Accounts Payable	NORTHERN ESCROW INC FBO SYNERGY CONTRACTING LLC	40,597.38
Check	04/16/2018	307777	Accounts Payable	O'HALLORAN INTERNATIONAL INC	286,311.00
Check	04/16/2018	307778	Accounts Payable	O'HERN , KINSEY	138.00
Check	04/16/2018	307779	Accounts Payable	OLSSON ASSOCIATES	5,550.50
Check	04/16/2018	307780	Accounts Payable	ON POINT SECURITY GROUP LLC	172.90
Check	04/16/2018	307781	Accounts Payable	OPN ARCHITECTS	3,038.10
Check	04/16/2018	307782	Accounts Payable	OTANEZ , EVA DER ROCIO ORTIZ	768.75
Check	04/16/2018	307783	Accounts Payable	PALMER GROUP	588.00
Check	04/16/2018	307784	Accounts Payable	PARKER-LENIHAN , SHARON	25.00
Check	04/16/2018	307785	Accounts Payable	PEAK DISTRIBUTING	150.00
Check	04/16/2018	307786	Accounts Payable	POOLEQUIP LLC	1,771.08
Check	04/16/2018	307787	Accounts Payable	QUESTCDN.COM	370.00
Check	04/16/2018	307788	Accounts Payable	RAHE , ALAN	52.00
Check	04/16/2018	307789	Accounts Payable	RHYTHM ENGINEERING, LLC	37,963.00
Check	04/16/2018	307790	Accounts Payable	ROBERT HALF TECHNOLOGY	4,850.02
Check	04/16/2018	307791	Accounts Payable	ROUNDED MINDS INC	1,440.00
Check	04/16/2018	307792	Accounts Payable	SCHILDBERG CONSTRUCTION CO	801.99
Check	04/16/2018	307793	Accounts Payable	SILVERS BUILDING LLC	57,868.86
Check	04/16/2018	307794	Accounts Payable	SIMPLEX GRINNELL	1,073.50
Check	04/16/2018	307795	Accounts Payable	SIXTA , ANDREW	161.00
Check	04/16/2018	307796	Accounts Payable	SM HENTGES & SONS INC	108,070.00
Check	04/16/2018	307797	Accounts Payable	SMITH'S SEWER SERVICE INC	380.00
Check	04/16/2018	307798	Accounts Payable	STIVERS FORD	27,342.00
Check	04/16/2018	307799	Accounts Payable	THE SHREDDER	945.00
Check	04/16/2018	307800	Accounts Payable	THOMAS , CHRIS	260.00
Check	04/16/2018	307801	Accounts Payable	TORRES , FELIX	156.00

City of West Des Moines  
**City Council Report**  
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement  
 Batch Date: 04/16/2018

Type	Date	Number Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	04/16/2018	307802 Accounts Payable	TRIZETTO PROVIDER SOLUTIONS		334.83
Check	04/16/2018	307803 Accounts Payable	TRUE VALUE & V&S VARIETY STORE		208.37
Check	04/16/2018	307804 Accounts Payable	U-SELECT-IT CORPORATION		600.00
Check	04/16/2018	307805 Accounts Payable	UNIFIED CONTRACTING SERVICES		575.00
Check	04/16/2018	307806 Accounts Payable	UNION PACIFIC RAILROAD CO		5.98
Check	04/16/2018	307807 Accounts Payable	USPS-HASLER		2,500.00
Check	04/16/2018	307808 Accounts Payable	VANWALL EQUIPMENT		4,355.01
Check	04/16/2018	307809 Accounts Payable	VAUDT MD , CORY		2,000.00
Check	04/16/2018	307810 Accounts Payable	VEENSTRA & KIMM INC		33,648.38
Check	04/16/2018	307811 Accounts Payable	VERIZON WIRELESS		216.83
Check	04/16/2018	307812 Accounts Payable	VISION MARKETING		233.30
Check	04/16/2018	307813 Accounts Payable	VISION SERVICE PLAN		1,218.05
Check	04/16/2018	307814 Accounts Payable	WAUKEE COMMUNITY SCHOOLS		2,337.50
Check	04/16/2018	307815 Accounts Payable	WEST UNIFIED COMMUNICATIONS SERVICES INC		55.57
Check	04/16/2018	307816 Accounts Payable	WEX BANK		1,175.91
Check	04/16/2018	307817 Accounts Payable	YOGA FOR FIRST RESPONDERS		800.00
Check	04/16/2018	307818 Accounts Payable	ZOSS , BEN		182.00
Check	04/16/2018	307819 Accounts Payable	DMACC		30.00
Check	04/16/2018	307820 Accounts Payable	IOWA STATE UNIVERSITY-FIRE SVC		385.00
Check	04/16/2018	307821 Accounts Payable	TRIPP , DERRICK		859.40
Check	04/16/2018	307822 Accounts Payable	NORTH WARREN TOWN AND COUNTY NEWS		16.97
Check	04/16/2018	307823 Accounts Payable	SECRETARY OF STATE		30.00
Check	04/16/2018	307824 Accounts Payable	SWALLOW , H DENNIS		2,500.00
Check	04/16/2018	307825 Accounts Payable	THOMAS , RONALD P		74,859.00
Check	04/16/2018	307826 Accounts Payable	WARREN COUNTY TREASURER		641.00
Check	04/16/2018	307827 Accounts Payable	VANGENDEREN , ROD		150.40
EFT	04/16/2018	1715 Accounts Payable	ARNOLD MOTOR SUPPLY LLP		1,010.21
EFT	04/16/2018	1716 Accounts Payable	BAUER BUILT		1,138.45
EFT	04/16/2018	1717 Accounts Payable	BAYLESS , RON		69.00
EFT	04/16/2018	1718 Accounts Payable	BROWNELLS INC		504.68
EFT	04/16/2018	1719 Accounts Payable	CITY OF CLIVE		496.65
EFT	04/16/2018	1720 Accounts Payable	DICKINSON , JIM		40.88
EFT	04/16/2018	1721 Accounts Payable	DILLARD , CARLOS		182.00
EFT	04/16/2018	1722 Accounts Payable	EMC RISK SERVICES		14,533.15

City of West Des Moines  
**City Council Report**  
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement  
 Batch Date: 04/16/2018

Type	Date	Number Source	Payee Name	EFT Bank/Account	Transaction Amount
EFT	04/16/2018	1723 Accounts Payable	ENTENMANN ROVIN CO		116.00
EFT	04/16/2018	1724 Accounts Payable	EXCEL MECHANICAL INC		14,849.30
EFT	04/16/2018	1725 Accounts Payable	FBG SERVICE CORPORATION		2,798.00
EFT	04/16/2018	1726 Accounts Payable	FOTH INFRASTRUCTURE & ENVIRONMENT LLC		271,861.11
EFT	04/16/2018	1727 Accounts Payable	HARTPENCE , LAWRENCE		44.67
EFT	04/16/2018	1728 Accounts Payable	HAWN , KIMBERLY		138.00
EFT	04/16/2018	1729 Accounts Payable	IOWA COMMUNITIES ASSURANCE POOL		2,931.98
EFT	04/16/2018	1730 Accounts Payable	IOWA DEPARTMENT OF PUBLIC SAFETY		175.00
EFT	04/16/2018	1731 Accounts Payable	KELTEK INC		13,653.70
EFT	04/16/2018	1732 Accounts Payable	KIRKHAM MICHAEL & ASSOC		46,569.15
EFT	04/16/2018	1733 Accounts Payable	LYNCH , CHRIS		182.00
EFT	04/16/2018	1734 Accounts Payable	MAYDWELL , BRIAN		388.07
EFT	04/16/2018	1735 Accounts Payable	MCCUBBIN , COURTNEY		92.00
EFT	04/16/2018	1736 Accounts Payable	MIDWEST WHEEL		403.60
EFT	04/16/2018	1737 Accounts Payable	ONENECK IT SOLUTIONS LLC		10,908.45
EFT	04/16/2018	1738 Accounts Payable	OUTDOOR RECREATION PRODUCTS		444.00
EFT	04/16/2018	1739 Accounts Payable	RELIABLE MAINTENANCE		10,540.00
EFT	04/16/2018	1740 Accounts Payable	ROAD HUSKY TRAILER CO LLC		73.68
EFT	04/16/2018	1741 Accounts Payable	SCHUT , JOSHUA		155.00
EFT	04/16/2018	1742 Accounts Payable	SHIELDS , CHARLES		268.00
EFT	04/16/2018	1743 Accounts Payable	SHIVE-HATTERY INC		158,304.78
EFT	04/16/2018	1744 Accounts Payable	SWINTON , ASHLEE		1,457.25
EFT	04/16/2018	1745 Accounts Payable	THYCOTIC SOFTWARE LLC		420.90
EFT	04/16/2018	1746 Accounts Payable	YEAGER , LEMAR		1,902.00
EFT	04/16/2018	1747 Accounts Payable	RIVAS , WHITNEY		15.04
EFT	04/16/2018	1748 Accounts Payable	VAUGHAN , DANELL		17.22
WB VENDOR DISB WB Vendor Disbursement Totals:			Transactions: 196		\$2,602,606.35

Checks:	162	\$2,045,922.43
EFTs:	34	\$556,683.92



City of West Des Moines  
**City Council Report**  
 Bank Account: WB CONTROLPAY - WB ControlPay  
 Batch Date: 04/16/2018

Type	Date	Number Source	Payee Name	EFT Bank/Account	Transaction Amount
<b>Bank Account: WB CONTROLPAY - WB ControlPay</b>					
EFT	04/16/2018	2405 Accounts Payable	ADVENTURE LIGHTING		27.36
EFT	04/16/2018	2406 Accounts Payable	AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS		450.50
EFT	04/16/2018	2407 Accounts Payable	ARAMARK UNIFORM SERVICES		656.03
EFT	04/16/2018	2408 Accounts Payable	CAPITAL SANITARY SUPPLY CO INC		1,281.77
EFT	04/16/2018	2409 Accounts Payable	CENTURYLINK		1,218.72
EFT	04/16/2018	2410 Accounts Payable	CLIVE POWER EQUIPMENT		34.93
EFT	04/16/2018	2411 Accounts Payable	CORE AND MAIN LP		520.00
EFT	04/16/2018	2412 Accounts Payable	CORN STATES METAL		280.00
EFT	04/16/2018	2413 Accounts Payable	D&K PRODUCTS		234.00
EFT	04/16/2018	2414 Accounts Payable	DES MOINES STAMP MFG CO		29.60
EFT	04/16/2018	2415 Accounts Payable	ELECTRIC PUMP INC		318.25
EFT	04/16/2018	2416 Accounts Payable	ELECTRONIC ENGINEERING		120.00
EFT	04/16/2018	2417 Accounts Payable	FELD FIRE		6,892.70
EFT	04/16/2018	2418 Accounts Payable	FERGUSON ENTERPRISES INC 226		83.16
EFT	04/16/2018	2419 Accounts Payable	G&L CLOTHING		640.02
EFT	04/16/2018	2420 Accounts Payable	GALLS LLC		2,457.48
EFT	04/16/2018	2421 Accounts Payable	GOODWIN TUCKER		236.50
EFT	04/16/2018	2422 Accounts Payable	HOTSY CLEANING SYSTEMS INC		518.00
EFT	04/16/2018	2423 Accounts Payable	IMAGETEK INC		7,871.25
EFT	04/16/2018	2424 Accounts Payable	INLAND TRUCK PARTS CO		1,369.78
EFT	04/16/2018	2425 Accounts Payable	INTERFLEET INC		2,214.00
EFT	04/16/2018	2426 Accounts Payable	INTERSTATE ALL BATTERY CENTER		249.60
EFT	04/16/2018	2427 Accounts Payable	IOWA WATER MANAGEMENT CORP		561.82
EFT	04/16/2018	2428 Accounts Payable	LEXISNEXIS RISK SOLUTIONS		103.75
EFT	04/16/2018	2429 Accounts Payable	LOGAN CONTRACTORS SUPPLY, INC		333.95
EFT	04/16/2018	2430 Accounts Payable	MEDIACOM		11.47
EFT	04/16/2018	2431 Accounts Payable	MENARDS		205.86
EFT	04/16/2018	2432 Accounts Payable	METHODIST OCCUPATIONAL HEALTH		5,253.00
EFT	04/16/2018	2433 Accounts Payable	METRO WASTE AUTHORITY		36,890.14
EFT	04/16/2018	2434 Accounts Payable	MOORE MEDICAL LLC		231.21
EFT	04/16/2018	2435 Accounts Payable	NATIONAL BAND & TAG		735.00
EFT	04/16/2018	2436 Accounts Payable	NETMOTION WIRELESS INC		6,620.66
EFT	04/16/2018	2437 Accounts Payable	O'KEEFE ELEVATOR COMPANY INC		1,160.00

City of West Des Moines  
**City Council Report**  
 Bank Account: WB CONTROLPAY - WB ControlPay  
 Batch Date: 04/16/2018

Type	Date	Number Source	Payee Name	EFT Bank/Account	Transaction Amount
EFT	04/16/2018	2438 Accounts Payable	PAY-LESS OFFICE PRODUCTS INC		3,383.29
EFT	04/16/2018	2439 Accounts Payable	PRAXAIR		406.48
EFT	04/16/2018	2440 Accounts Payable	PROCTOR MECHANICAL CORP		125.82
EFT	04/16/2018	2441 Accounts Payable	RAINBOW TREECARE		12,960.00
EFT	04/16/2018	2442 Accounts Payable	REAMS SPRINKLER SUPPLY		39.64
EFT	04/16/2018	2443 Accounts Payable	RELIABLE PROPERTY SERVICES		5,121.04
EFT	04/16/2018	2444 Accounts Payable	SHERWIN WILLIAMS		42.04
EFT	04/16/2018	2445 Accounts Payable	SNYDER & ASSOCIATES		8,464.23
EFT	04/16/2018	2446 Accounts Payable	SPECIALTY GRAPHICS INC		120.00
EFT	04/16/2018	2447 Accounts Payable	SPINDUSTRY SYSTEMS INC		4,625.00
EFT	04/16/2018	2448 Accounts Payable	STIVERS FORD (CONTROL PAY)		2,105.42
EFT	04/16/2018	2449 Accounts Payable	THOMSON REUTERS-WEST PAYMENT		731.41
EFT	04/16/2018	2450 Accounts Payable	TOMPKINS INDUSTRIES		65.38
EFT	04/16/2018	2451 Accounts Payable	TRANS IOWA EQUIPMENT CO		3,342.08
EFT	04/16/2018	2452 Accounts Payable	UNIVERSAL PRINTING		357.00
EFT	04/16/2018	2453 Accounts Payable	WALNUT CREEK PROMOTIONS INC		1,365.00
EFT	04/16/2018	2454 Accounts Payable	WASTE MANAGEMENT OF IOWA		62.40
EFT	04/16/2018	2455 Accounts Payable	WORLDPOINT ECC INC		652.06
EFT	04/16/2018	2456 Accounts Payable	ZOLL MEDICAL		6,926.29
WB CONTROLPAY WB ControlPay Totals:			Transactions: 52		\$130,705.09
EFTs:		52	\$130,705.09		

# City Council Report

From Payment Date: 4/2/2018 - To Payment Date: 4/16/2018

Number	Date	Source	Payee Name	Transaction Amount
WB GENERAL OP - WB General Operating				
<u>EFT</u>				
26	04/02/2018	Accounts Payable	WEST BANK	\$2,002.81
27	04/03/2018	Accounts Payable	WEST BANK	\$49.46
28	04/03/2018	Accounts Payable	WEST BANK	\$99.10
29	04/06/2018	Accounts Payable	WEST BANK	\$5,330.08
Type EFT Totals:		4 Transactions		<u>\$7,481.45</u>
WB GENERAL OP - WB General Operating Totals				
WB HUMAN SVCS - WB Human Services				
<u>Check</u>				
10689	04/16/2018	Accounts Payable	ROBIN HILL APARTMENTS	\$250.00
10690	04/16/2018	Accounts Payable	INGERSOLL PARK STUDIOS II	\$100.00
10693	04/16/2018	Accounts Payable	CAMBRIDGE COURT APARTMENTS-HAIGHT & ASSOCIATES	\$245.00
10694	04/16/2018	Accounts Payable	JORDAN CREEK APARTMENTS	\$248.00
10695	04/16/2018	Accounts Payable	WASHINGTON MANOR	\$253.00
10696	04/16/2018	Accounts Payable	FORGET PROPERTIES 3 LLC	\$250.00
10697	04/16/2018	Accounts Payable	COLONIAL VILLAGE APARTMENTS	\$250.00
Type Check Totals:		7 Transactions		<u>\$1,596.00</u>
WB HUMAN SVCS - WB Human Services Totals				
WB SEC 125 - WB Section 125				
<u>EFT</u>				
94	04/16/2018	Accounts Payable	KABEL BUSINESS SERVICES	\$4,843.81
95	04/16/2018	Accounts Payable	KABEL BUSINESS SERVICES	\$2,909.97
Type EFT Totals:		2 Transactions		<u>\$7,753.78</u>
WB SEC 125 - WB Section 125 Totals				
WB WESTPET - WB WestPet				
<u>EFT</u>				
4	04/02/2018	Accounts Payable	WEST BANK	\$340.53
Type EFT Totals:		1 Transactions		<u>\$340.53</u>
WB WESTPET - WB WestPet Totals				

# City Council Report

From Payment Date: 4/2/2018 - To Payment Date: 4/16/2018

WB VENDOR DISB - WB Vendor Disbursement

EFT

1707	04/18/2018	Accounts Payable	IOWA DEPARTMENT OF REVENUE & FINANCE	\$3,305.00
1708	04/17/2018	Accounts Payable	MERGENT INC	\$1,044.00
1709	04/11/2018	Accounts Payable	EMC RISK SERVICES	\$7,656.00
1710	04/16/2018	Accounts Payable	SUN LIFE FINANCIAL	\$36,864.95
1711	04/16/2018	Accounts Payable	DELTA DENTAL OF IOWA	\$9,965.09
1712	04/16/2018	Accounts Payable	DELTA DENTAL OF IOWA	\$9,573.62
1713	04/16/2018	Accounts Payable	WELLMARK BLUE CROSS	\$106,890.66
1714	04/16/2018	Accounts Payable	WELLMARK BLUE CROSS	\$107,803.70
Type EFT Totals:			8 Transactions	<u>\$283,103.02</u>

**TOTAL OFF CYCLE TRANSACTIONS**                      \$300,274.78

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Approval of Liquor Licenses

**DATE:** April 16, 2018

**FINANCIAL IMPACT:** None

**BACKGROUND:** In accordance with the Iowa Code Section 123.1 and the West Des Moines City Code Title 3, Business and Licensing, Chapter 2, Beer and Liquor Control, the following licenses have been investigated and reviewed by the WDM Police Department and, when necessary, by Building Inspection and/or Fire Department staff, and are presented to the City Council for approval. Copies of license applications are available, for your review, in the Office of the City Clerk.

1. Mangia Tutto, LLC d/b/a Billy Vee's, 304 5th Street - Add Outdoor Service Privileges to Existing Class LC Liquor License
2. Blazin Wings, Inc. d/b/a Buffalo Wild Wings Grill & Bar, 6925 Mills Civic Parkway, Suite #115 - Class LC Liquor License with Sunday Sales and Outdoor Service Privileges - Renewal
3. Fareway Stores, Inc. d/b/a Fareway Store #153, 329 Grand Avenue - Class LE Liquor License with Carryout Wine and Carryout Beer - Renewal
4. Foundry Distilling Company, LLC d/b/a Foundry Distilling Company, 111 South 11th Street, Suite 100 - Class C Native Distilled Spirits License with Sunday Sales, Living Quarters, and Outdoor Service - New
5. Migliero Real Estate d/b/a G. Mig's 5th Street Pub, 128 5th Street - Class LC Liquor License with Sunday Sales - Renewal
6. Hy-Vee, Inc. d/b/a Hy-Vee Market Cafe, 1700 Valley West Drive (Cafe Area) - Class LC Liquor License with Sunday Sales - Renewal
7. GMRI, Inc. d/b/a The Olive Garden Italian Restaurant #1146, 3600 Westown Parkway - Class LC Liquor License with Sunday Sales - Renewal
8. Red Robin International, Inc. d/b/a Red Robin America's Gourmet Burgers & Spirits, 6255 Mills Civic Parkway - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
9. St. Francis of Assisi Roman Catholic Church d/b/a St. Francis of Assisi Church, 7075 Ashworth Road - Class BW Permit with Sunday Sales - Renewal
10. Scotty's Pub 1, LLC d/b/a Scotty's Pub & Grill, 3781 EP True Parkway - Add Outdoor Service Privileges to Existing Class LC Liquor License
11. Kelly Midwest Ventures LP d/b/a Staybridge Suites, 6905 Lake Drive - Class LB Liquor License with Sunday Sales - Renewal
12. Boggs Properties, LLC d/b/a Sully's Irish Pub, 110 Grand Avenue - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
13. T-Bowl Investments Inc. d/b/a Val Lanes Recreation Center, 100 Ashworth Road - Class LC Liquor License with Sunday Sales - Renewal
14. Carson Advertising, Inc. d/b/a Vista Pub, 7205 Vista Drive, #116 - Class LC License with Sunday Sales and Outdoor Service - Renewal
15. Wasabi Group Inc. d/b/a Wasabi, 9500 University Avenue, Suite 2101 - Class LC Liquor License with Carryout Wine, Sunday Sales and Outdoor Service - Renewal
16. Willow Creek Golf Course, Inc. d/b/a Willow Creek Golf Course, 140 Army Post Road - Class LC Liquor License with Sunday Sales, Living Quarters, and Outdoor Service Privileges - Renewal

**OUTSTANDING ISSUES** (if any): None

**RECOMMENDATION:** Motion to approve the issuance of liquor licenses in the City of West Des Moines.

**Lead Staff Member:** Ryan T. Jacobson, City Clerk *RTJ*

**STAFF REVIEWS**

Department Director	Ryan T. Jacobson, City Clerk
Appropriations/Finance	
Legal	
Agenda Acceptance	<i>RTJ</i>

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Motion - Approval of Acknowledgment / Settlement Agreement  
for a First Violation of Tobacco Laws

**DATE:** April 16, 2018

**FINANCIAL IMPACT:** \$300.00 (positive impact to City)

**BACKGROUND:**

Pursuant to state law, a \$300.00 civil penalty is assessed against a tobacco permittee who sells tobacco products to a person less than 18 years of age at their respective places of business.

On or about February 1, 2018, an employee of Club Herf, was cited for selling tobacco products to persons under 18 years of age. (Exhibit "A"). On or about March 15, 2018, the City of West Des Moines Legal Department sent a notice of the violation to the permittee. Since that time, said permittee returned signed the Acknowledgment / Settlement Agreement with payment of the fine for its tobacco violation.

**RECOMMENDATION:**

It is recommended that the City Council approve the Acknowledgment / Settlement Agreement and accept payment of the fine regarding the above-referenced violation of tobacco laws.

**Lead Staff Member:** Jason Wittgraf, Assistant City Attorney *JBW*

**STAFF REVIEWS**

Department Director	
Appropriations/Finance	<i>OK for TS</i>
Legal	
Agenda Acceptance	<i>[Signature]</i>

**PUBLICATION(S) (if applicable)**

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW (if applicable)**

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**EXHIBIT "A"**

<b><u>Permittee</u></b>	<b><u>D/B/A</u></b>	<b><u>Date of Violation</u></b>	<b><u>#Violation</u></b>
Christopher Thayer	Club Herf 9500 University Avenue Suite 1101	February 1, 2018	1 <sup>st</sup>



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Approval of Extended Sound Permit  
Blu Toro - Outdoor Concert

**DATE:** April 16, 2018

**FINANCIAL IMPACT:** None

**BACKGROUND:**

On June 28, 2010, the City Council approved several amendments to the Noise Control Ordinance including the provision that City Council approval is required for any sound permit issued for an event going past 10:00 P.M.

Blu Toro, located at 5585 Mills Civic Parkway, Suite 110, has submitted a sound permit application for an outdoor concert, which is scheduled from 3:00 p.m. to 12:00 midnight on Saturday, May 5<sup>th</sup>.

This sound permit request was forwarded to the West Des Moines Police Department for their review and they have no objections to this request. As the event is being proposed to end at 12:00 midnight, City staff is forwarding this to the City Council for review and approval. Blu Toro is a new establishment that opened in December 2016, and this is their first sound permit request.

**OUTSTANDING ISSUES** (if any): None

**RECOMMENDATION:** Motion - Approval of Extended Sound Permit Request made by Blu Toro

**Lead Staff Member:** Ryan T. Jacobson, City Clerk *RTJ*

**STAFF REVIEWS**

Department Director	Ryan T. Jacobson, City Clerk
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Richard Scieszinski, City Attorney
Agenda Acceptance	<i>RTJ</i>

**PUBLICATION(S)** (if applicable)

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee	
Date Reviewed	

**SOUND PERMIT FEES**

- ❖ 1-48 hrs event = \$22.00
- ❖ 2-7 days event = \$44.00
- ❖ Multiple events in one calendar year = \$82.50

**The City Council  
MUST approve any  
sound permit request  
that extends past ten  
o'clock (10:00) P.M.**

Permit applications received less  
than two (2) weeks before the event  
**MAY NOT** be processed by the City  
in time for the event.

**CITY OF WEST DES MOINES  
SOUND PERMIT  
For the Amplification of a Live Performance**

\*Denotes required field

Date 2/9/18 Fee Received: \_\_\_\_\_ Permit No. \_\_\_\_\_  
 \*Applicant's Name: TWO TEES LLC/BLU TORO \*Phone No. 515-707-8117  
 \*Applicant's Complete Address (include city/state/zip): 5585 Mills Civic Pkwy Ste 110 WDM, IA 50264  
 \*Applicant's E-mail Address: anniebaldwin@me.com  
 Have you, the applicant, ever been cited for a violation of the West Des Moines Noise Ordinance? Y  N  
 If yes, explain: \_\_\_\_\_

\*Property owner name: MRES WEST GLEN HOLDINGS, LP

\*Property owner address: 5405 Mills Civic Pkwy Ste 210 WDM, Iowa 50131

I, the undersigned, hereby acknowledge and certify that I am the record fee title holder of the property for which this sound permit is requested, and I hereby consent to this application for a sound permit, for the amplification of a live performance, as described on this application.

\*Signature [Signature] 3/9/18 Date  
 Agent For Owner

Address of proposed activity: 5585 Mills Civic / south parking lot  
 (If in a City park, include name of park)

Describe proposed activity, including time(s), date(s), and number of people attending:  
200 ppl attending -

live band, stage, lighting

May 5, 2018 (Saturday) 3pm-12am

How will the parking for this event be handled? Normal parking / to East 1/2 North

\*Please refer to Page 2, Paragraph J of this application form regarding wattage requirements for the proposed sound equipment as a sound permit may not be deemed necessary.\*

\*Attach an 8 1/2" x 11 1/2" sketch plan of the proposed layout of the sound amplification equipment, including the orientation to and approximate distances from the adjoining properties.

Have the adjoining property owners/residents been notified of the event for which this permit is requested?  Y  N

If so, please list addresses notified (attach additional sheets if necessary):  
I will let Get Fit Grill know & Scooters

Describe what measures will be taken, if any, to minimize the effects of this performance on surrounding property owners.  
Bank is closed, otw, all business activity

Provide any additional information that pertains to this application for a Sound Permit.

**APPLICANT'S CERTIFICATION** - I hereby certify under penalty of perjury that the statements furnished including the drawing, present all information required for this application, and that the facts, statements and information presented are true and correct, and based upon my personal knowledge. I hereby acknowledge my obligation to comply with the West Des Moines Municipal Code as it pertains to this activity and to obtain any and all necessary City, County, State and Federal permits, approvals and/or clearances, if applicable. Further, I hereby certify that I have read, understand and have received a copy of the conditions for the operation of the Sound Permit, and hereby agree to comply with such conditions. I also understand that should I fail to comply with the agreed upon conditions, my permit may be immediately revoked and that all other applicable penalties, including criminal prosecution may be pursued.

Annie Baldwin

2/9/18

\*Applicant's Signature

Date

**FOR STAFF USE ONLY**

**APPROVAL OF SOUND PERMIT**

Approved by: \_\_\_\_\_

Date:

City Council Approval Date:

This sound permit is approved subject to the following exhibits and conditions.

Exhibits:

Conditions:

Expiration Date:

**DENIAL OF SOUND PERMIT**

Denied by: \_\_\_\_\_

Date:

This sound permit is denied based upon the following findings.

Findings:

Copies of this permit have been distributed to the following departments:

- Development Services Department
- City Clerk's Office

- Police Department
- Parks and Recreation Department

MILLS CIVIC PKWY

Drive thru  
↙ ↘

STAGE  
20 x 10 FT

SEATING

BAR

EVENT  
AREA

TABLES

PATIO

Fencing entrance

↕  
S ↑ N

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Approval of Special Event Lane Closures  
West Des Moines Girls Softball Parade

**DATE:** April 16, 2018

**FINANCIAL IMPACT:** None

**BACKGROUND:**

Ordinance 2013 was adopted by the City Council on November 25, 2013, establishing that street or lane closures for special events on arterial or collector streets shall require approval of the City Council.

West Des Moines Girls Softball is hosting their annual parade on Saturday, April 21, 2018. The route will require the brief closure of the following arterial/collector streets:

- Valley West Drive (from Valley High School parking lot entrance to Ashworth Road)
- Ashworth Road (from Valley West Drive to Vine Street)
- Vine Street (from Ashworth Road to 9th Street)

**OUTSTANDING ISSUES** (if any): None

**RECOMMENDATION:** Motion - Approval of Request made by West Des Moines Girls Softball

**Lead Staff Member:** Ryan T. Jacobson, City Clerk *RTJ*

**STAFF REVIEWS**

Department Director	Ryan T. Jacobson, City Clerk
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Richard Scieszinski, City Attorney
Agenda Acceptance	<i>RTJ</i>

**PUBLICATION(S)** (if applicable)

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee	
Date Reviewed	

My Shots

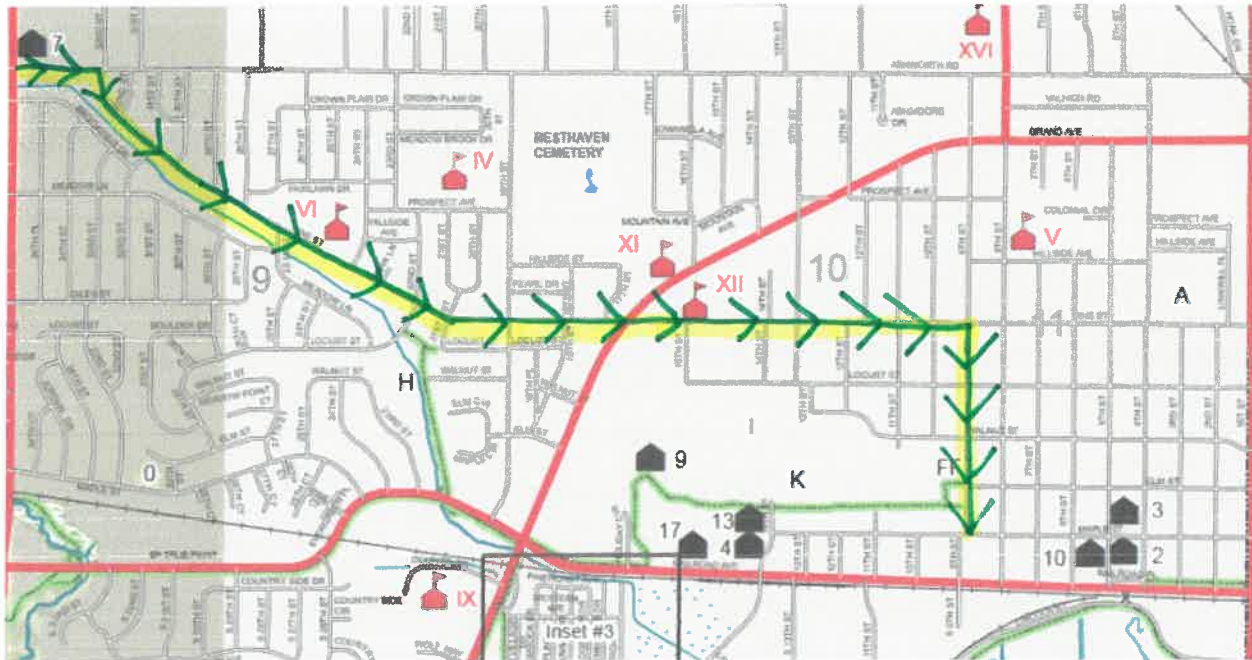
showdocument

[wdm.iowa.gov](http://wdm.iowa.gov)

expires in 14 days



Download



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Approval of Special Event Lane Closures  
Historic Valley Junction Foundation 2018 Events

**DATE:** April 16, 2018

**FINANCIAL IMPACT:** None

**BACKGROUND:**

Ordinance 2013 was adopted by the City Council on November 25, 2013, establishing that street or lane closures for special events on 5th Street in the Historic Valley Junction Business District shall require approval of the City Council.

Below is a list of the events planned by the Historic Valley Junction Foundation that include lane closures on 5th Street.

Thursdays, May 3rd through Sept. 27th	Farmers Market	5th Street (100, 200 and 300 blocks)
Saturday, May 5th	Cinco de Mayo Festival	5th Street (100 block)
Sunday, May 20th	Arts Festival	5th Street (100 and 200 blocks)
Sunday, June 10th	Summer Antique Jamboree	5th Street (100, 200 and 300 blocks)
Tuesday, July 3rd	All Iowa Bash	5th Street (200 and 300 blocks)
Sunday, September 9th	Fall Antique Jamboree	5th Street (100, 200 and 300 blocks)
Sunday, September 16th	Henry Gregor Felsen Car Show	5th Street (100, 200, 300 and 400 blocks)

**OUTSTANDING ISSUES** (if any): None

**RECOMMENDATION:** Motion - Approval of Special Event Lane Closures

**Lead Staff Member:** Ryan T. Jacobson, City Clerk *RTJ*

**STAFF REVIEWS**

Department Director	Ryan T. Jacobson, City Clerk
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Richard Scieszinski, City Attorney
Agenda Acceptance	<i>RTJ</i>

**PUBLICATION(S)** (if applicable)

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee	
Date Reviewed	

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Approval of Special Event Lane Closures  
Mary's Meals Run (10K and 5K)

**DATE:** April 16, 2018

**FINANCIAL IMPACT:** None

**BACKGROUND:**

Ordinance 2013 was adopted by the City Council on November 25, 2013, establishing that street or lane closures for special events on arterial or collector streets shall require approval of the City Council.

Mary's Meals is hosting 10K and 5K running events on Saturday, May 12, 2018, starting at 9:00 a.m. They've modeled their routes after the annual Friendly Sons of St. Patrick 10K and 5K, so the impact will be about the same. It will require the closure of one lane on each of the following arterial/collector streets:

- Railroad Avenue (outer westbound lane) from Grand Avenue to 4th Street
- E.P. True Parkway (outer westbound lane) from Maple Street to Grand Avenue
- Grand Avenue (outer eastbound lane) from Vine Street to 4th Street

**Note:** Many of the other streets along the route are classified as minor collector streets and will have the travel portion reduced in width, as the route will utilize the outer edge of one lane throughout those segments; however both lanes will remain open to vehicular traffic.

**OUTSTANDING ISSUES** (if any): None

**RECOMMENDATION:** Motion - Approval of Request made by Mary's Meals

**Lead Staff Member:** Ryan T. Jacobson, City Clerk *RTJ*

**STAFF REVIEWS**

Department Director	Ryan T. Jacobson, City Clerk
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Richard Scieszinski, City Attorney
Agenda Acceptance	<i>RTJ</i>

**PUBLICATION(S)** (if applicable)

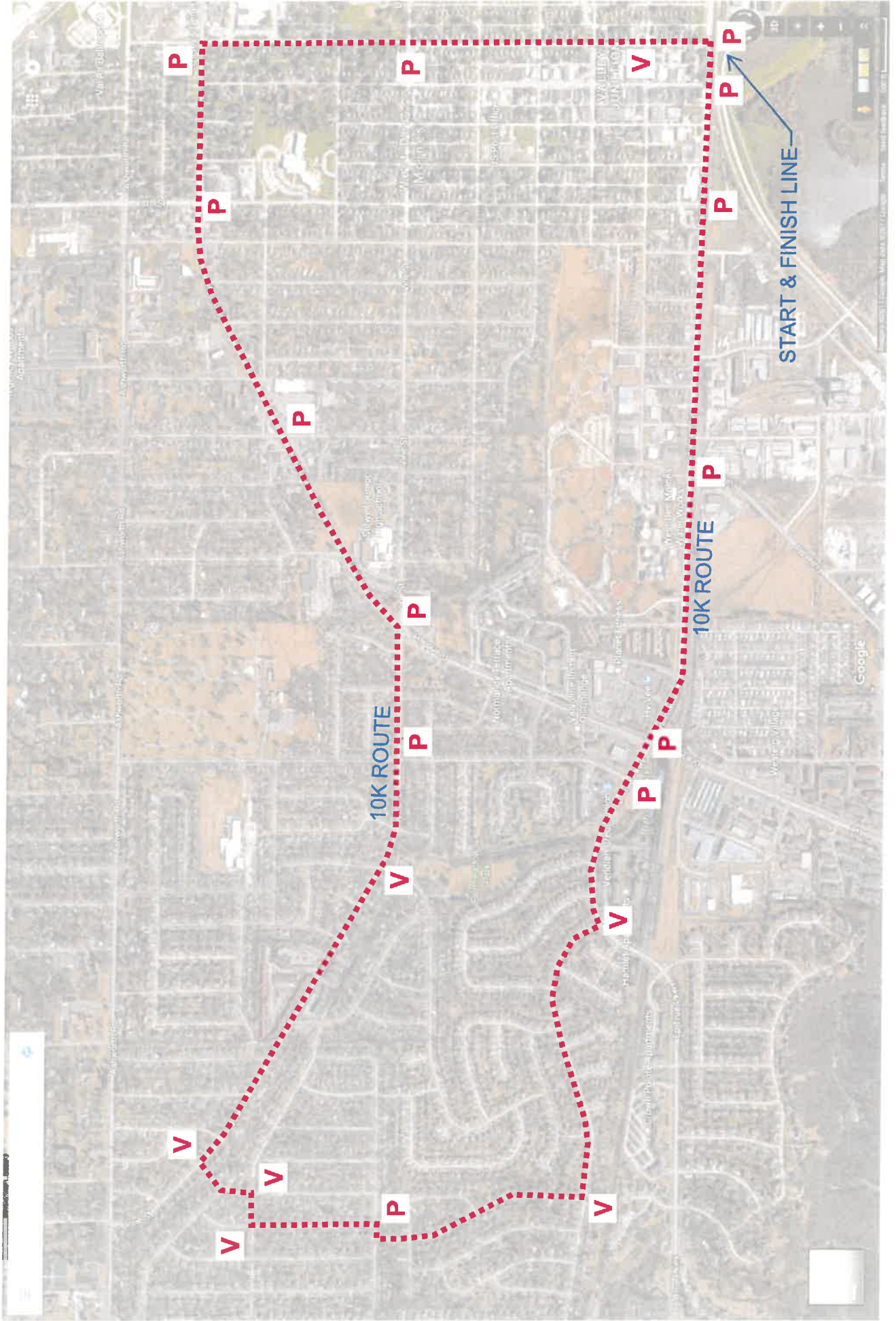
Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee	
Date Reviewed	



# MARY'S MEALS 5K / 10K RACE - 10K ROUTE



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Approval of Purchase and Payment  
VMWare Site Recovery Manager

**DATE:** April 16, 2018

**FINANCIAL IMPACT:** The value of purchase agreement for the software license is \$81,423.84. Funds for this purchase are budgeted in 100.650.700.5400.750

**BACKGROUND:** The City of West Des Moines has an extensive investment in a virtual server infrastructure using software from WMWare. This infrastructure includes two datacenters with redundant servers and storage. VMWare’s Site Recovery Manager (SRM) leverages that infrastructure to provide a method to automate the failover of the computing workload from one datacenter to the other in the case of a failure of the server infrastructure, building issues, or a natural or manmade event that isolates a datacenter. The City has already purchased SRM licenses for the servers associated with the Westcom Dispatch center. These additional licenses provide automated failover for the remainder of the virtual servers for the City of West Des Moines.

The ITS Department issued a Request for Bid for additional software licenses to potential vendors on March 9, 2018. Responses were due on March 28, 2018. Five vendors submitted responses to the Request for Bid. The vendors were 2ndGear, ACS, EmbarkIT, HypertecDirect, and OneNeck

**EVALUATION OF PROPOSALS:** HypertecDirect USA from Tempe, AZ was the lowest qualified bid.

**OUTSTANDING ISSUES** (if any): None

**RECOMMENDATION:** Approval of purchase and payment for the purchase of VMWare SRM licenses from HypertecDirect

**Lead Staff Member:** Darrel Greifzu – Enterprise Applications Manager, Information Technology Services

**STAFF REVIEWS**

Department Director	Joe Menke, Director - IT Services <i>SM</i>
Appropriations/Finance	Tim Stiles, Finance Director <i>Ch for TS</i>
Legal	
Agenda Acceptance	<i>(K)</i>

**PUBLICATION(S)** (if applicable)

Published In	The Des Moines Register
Dates(s) Published	March 9, 2018

**SUBCOMMITTEE REVIEW** (if applicable)

Committee				
Date Reviewed				
Recommendation	<table border="1"> <tr> <td>Yes</td> <td>No</td> <td></td> </tr> </table>	Yes	No	
Yes	No			

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE: April 16, 2018**

**ITEM:**

Resolution - Ordering Construction  
2018 HMA Resurfacing Program

**FINANCIAL IMPACT:**

The Engineering Estimate of Construction Cost for the 2018 HMA Resurfacing Program is \$2,584,858.40. Payments will be made from account no. 500.000.000.5250.490 with the ultimate funding intended to come from Road Use Tax. Funds for the project are available in the FY 18-19 budget, but due to timing of the construction season, this project will begin on an accelerated schedule.

**BACKGROUND:**

A Bid Letting should be scheduled for 2:00 p.m. on Wednesday, May 9, 2018 and a Public Hearing on the project should be scheduled for 5:35 p.m. on Monday, May 14, 2018. The contract would be awarded on Monday, May 14, 2018 and work will begin shortly thereafter.

The 2018 HMA Resurfacing Program includes Portland Cement Concrete (PCC) street repairs and hot mixed asphalt (HMA) overlays at various locations throughout the City of West Des Moines (see attached map). The project is anticipated to be completed by November 16, 2018.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

**OUTSTANDING ISSUES:**

None.

**RECOMMENDATION:**

City Council Adopt:

- Resolution Ordering Construction of the 2018 HMA Resurfacing Program.
- Fixing 2:00 p.m. on Wednesday, May 9, 2018 as the time and date for project Bid Letting.
- Ordering the City Clerk to publish notice of Letting and Public Hearing.

**Lead Staff Member: Brian J. Hemesath, P.E., Interim City Engineer** *BJA*

**STAFF REVIEWS**

Department Director	Brian J. Hemesath, P.E., Interim City Engineer
Appropriations/Finance	Tim Stiles, Finance Director <i>CH Per TS</i>
Legal	Richard Scieszinski, City Attorney <i>JBW</i>
Agenda Acceptance	<i>(Signature)</i>

**PUBLICATION(S)** (if applicable)

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**RESOLUTION ORDERING CONSTRUCTION AND NOTICE OF PUBLIC HEARING ON PLANS,  
SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COST, AND DIRECTING  
ADVERTISEMENT FOR BIDS**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA,**  
that the following described public improvement:

**2018 HMA Resurfacing Program  
Project No. 0510-003-2018**

is hereby ordered to be constructed according to the Plans and Specifications prepared by I+S Group, Inc. of Des Moines, Iowa and now on file in the office of the City Clerk.

**BE IT FURTHER RESOLVED,** that the detailed Plans and Specifications, Form of Contract, Bid Security, and Notice to Bidders are hereby approved, subject to hearing thereon, and that the same are now on file in the office of the City Clerk for public inspection.

**BE IT FURTHER RESOLVED,** that the City Clerk is hereby directed to publish notice of hearing on the Plans and Specifications, Form of Contract, Bid Security and Estimate of Costs for said project to be held at 5:35 p.m. on Monday, May 14, 2018 with said notice published not less than four (4) days nor more than twenty (20) days prior to the date heretofore fixed.

**BE IT FURTHER RESOLVED,** that the City Clerk is hereby directed to publish Notice to Bidders for said project with publication not less than thirteen (13) days nor more than forty-five (45) days prior to the date for receiving bids. Said bids are to be filed prior to 2:00 p.m. on Wednesday, May 9, 2018.

**BE IT FURTHER RESOLVED,** that the bids received for construction of said improvements will be opened, publicly read and tabulated by the City Clerk, Deputy City Clerk, or City Clerk designee at 2:00 p.m. on Wednesday, May 9, 2018 and the results of said bids shall be considered at a meeting of this Council on Monday, May 14, 2018 at 5:35 p.m. and acted upon at said time, or such time as may then be fixed.

**PASSED AND APPROVED** on this **16th** day of **April, 2018.**

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk

# 2018 HMA RESURFACING PROGRAM CITY OF WEST DES MOINES

Location: WEST DES MOINES, IOWA  
 West Des Moines Project #: 0510-003-2018  
 ISG Project #: 17-20908  
 Date: 2018-04-06

## ENGINEER'S OPINION OF CONSTRUCTION COST

ITEM NO.	CONSTRUCTION ITEM	UNIT	QUANTITY	UNIT PRICE	TOTAL AMOUNT
<b>FIXTURE ADJUSTMENTS</b>					
1	MANHOLE ADJUSTMENT, MINOR	EA	22	\$ 3,000.00	\$ 66,000.00
2	INTAKE ADJUSTMENT MINOR, CASTINGS, 1-1/2" RISERS	EA	10	\$ 400.00	\$ 4,000.00
3	WATER VALVE BOX ADJUSTMENT	EA	10	\$ 400.00	\$ 4,000.00
4	WATER VALVE BOX ADJUSTMENT, RETRO TO SLIDE TYPE TOP REPLACEMENT	EA	1	\$ 1,500.00	\$ 1,500.00
<b>STREET PATCHING AND PAVEMENT REPAIR</b>					
5	4" SIDEWALK REPLACEMENT	SY	420	\$ 86.00	\$ 36,120.00
6	6" SIDEWALK REPLACEMENT	SY	349	\$ 92.00	\$ 32,108.00
7	6" DRIVEWAY REPLACEMENT	SY	37	\$ 93.00	\$ 3,441.00
8	PCC CURB AND GUTTER REPLACEMENT	LF	1039	\$ 72.00	\$ 74,808.00
9	DETECTABLE WARNINGS	SF	627	\$ 50.00	\$ 31,350.00
10	FULL DEPTH PATCHES, M-4 MIX, 9", PCC	SY	2747	\$ 126.00	\$ 346,122.00
11	FULL DEPTH PATCHES, 9", 5 HOUR MIX	SY	716	\$ 153.00	\$ 109,548.00
12	FULL DEPTH PATCHES, HMA	SY	185	\$ 110.00	\$ 20,350.00
13	PARTIAL DEPTH PATCHES, HMA	SY	50	\$ 65.00	\$ 3,250.00
14	SURFACE MILLING	SY	48614	\$ 5.75	\$ 279,530.50
15	CRACK CLEANING AND FILLING, EMULSION	LF	35322	\$ 0.80	\$ 28,257.60
<b>HOT MIX ASPHALT (HMA)</b>					
16	HOT MIX ASPHALT HIGH TRAFFIC, INTERMEDIATE COURSE, 1/2 IN. MIX, 75% CRUSHED	TON	4944	\$ 117.00	\$ 578,448.00
17	HOT MIX ASPHALT HIGH TRAFFIC, SURFACE COURSE, 1/2 IN. MIX, 75% CRUSHED	TON	4992	\$ 117.00	\$ 584,064.00
<b>TRAFFIC CONTROL</b>					
18	TRAFFIC CONTROL	LS	1	\$ 96,000.00	\$ 96,000.00
19	PORTABLE DYNAMIC MESSAGE SIGN (PDMS)	DAY	64	\$ 95.00	\$ 6,080.00
20	OFF DUTY POLICE OFFICER	HOURL	32	\$ 75.00	\$ 2,400.00
21	FLAGGER	DAY	28	\$ 450.00	\$ 12,600.00
<b>TRAFFIC SIGNAL</b>					
22	TRAFFIC DETECTION LOOPS	EA	5	\$ 1,000.00	\$ 5,000.00
<b>PAVEMENT MARKINGS</b>					
23	PERMANENT PAINTED PAVEMENT MARKINGS	LF	16591	\$ 1.85	\$ 30,693.35
24	TEMPORARY PAINTED PAVEMENT MARKINGS	LF	18507	\$ 1.85	\$ 34,237.95
25	PERMANENT SYMBOLS AND LEGENDS, PREFORMED THERMOPLASTIC MARKING MATERIAL	EA	171	\$ 450.00	\$ 76,950.00
<b>EARTHWORK AND SEEDING</b>					
26	GRADING, SHAPING, AND SEEDING FOR SIDEWALKS	EA	44	\$ 1,600.00	\$ 70,400.00
27	TEMPORARY ROLLED EROSION CONTROL	SY	100	\$ 11.00	\$ 1,100.00
<b>RAILROAD PROTECTIVE LIABILITY INSURANCE</b>					
28	RAILROAD PROTECTIVE LIABILITY INSURANCE	LS	1	\$ 29,000.00	\$ 29,000.00
<b>CONSTRUCTION SURVEY</b>					
29	CONSTRUCTION SURVEY	LS	1	\$ 17,500.00	\$ 17,500.00
<b>TOTAL CONSTRUCTION COSTS</b>					<b>\$ 2,584,858.40</b>



I HERBY CERTIFY THAT THIS IS A TRUE AND ACCURATE ACCOUNT OF ESTIMATED COSTS

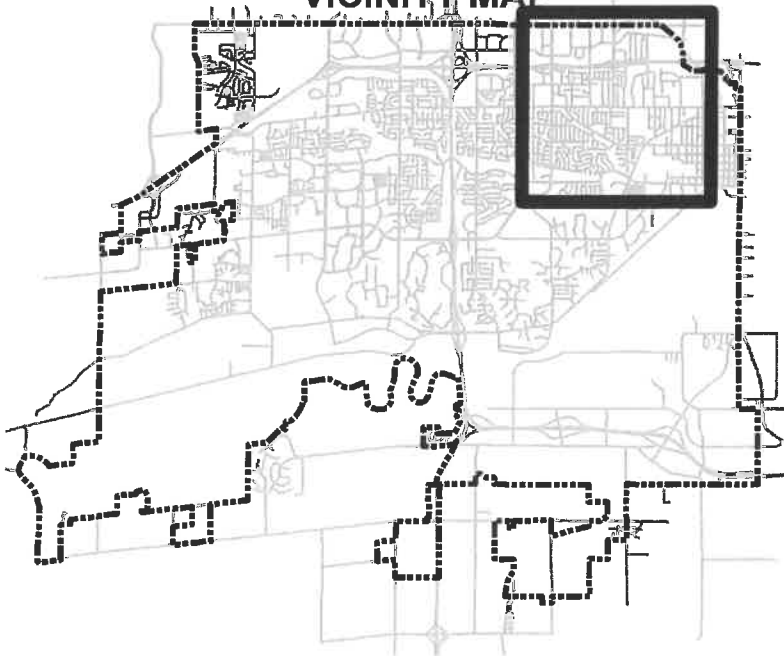
*Derek A. Johnson*

DATE : 04/06/2018

LICENSE NUMBER 20894



**VICINITY MAP**



**LEGEND**

PROJECT LOCATION



PROJECT:

**2018 HMA Resurfacing Program**

LOCATION:

**Various Locations**

DRAWN BY: JDR

DATE: 4/11/2018

PROJECT NUMBER : 0510-003-2018  
SUBDIVISION NAME:

SHT. 1 of 1



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE: April 16, 2018**

**ITEM:**

Resolution - Ordering Construction  
Booneville Road Bridge over Sugar Creek

**FINANCIAL IMPACT:**

The Engineering Estimate of Construction Cost for the Booneville Road Bridge over Sugar Creek is \$1,766,849.60. Payments will be made from account no. 660.000.000.5250.490 with the ultimate funding intended to come from Stormwater Utility Fees. Funds for the project are available in the FY 18-19 budget, but due to timing of the construction season, this project will begin on an accelerated schedule.

**BACKGROUND:**

A Bid Letting should be scheduled for 2:00 p.m. on Wednesday, May 9, 2018 and a Public Hearing on the project should be scheduled for 5:35 p.m. on Monday, May 14, 2018. The contract would be awarded on Monday, May 14, 2018 and work will begin shortly thereafter.

This project consists of the replacement of an existing multi-plate culvert on Booneville Road at Sugar Creek with a new 150-ft x 30-ft continuous span concrete slab bridge with 5-ft sidewalks. The project also includes the installation of watermain under Sugar Creek over to South 95th Street. The project is anticipated to be completed by October 31, 2018.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

**OUTSTANDING ISSUES:** None.

**RECOMMENDATION:**

City Council Adopt:

- Resolution Ordering Construction of the Booneville Road Bridge over Sugar Creek.
- Fixing 2:00 p.m. on Wednesday, May 9, 2018 as the time and date for project Bid Letting.
- Ordering the City Clerk to publish notice of Letting and Public Hearing.

**Lead Staff Member:** Brian J. Hemesath, P.E., Interim City Engineer *BOA*

**STAFF REVIEWS**

Department Director	Brian J. Hemesath, P.E., Interim City Engineer
Appropriations/Finance	Tim Stiles, Finance Director <i>CS for TS</i>
Legal	Richard Scieszinski, City Attorney <i>JBW</i>
Agenda Acceptance	<i>BA</i>

**PUBLICATION(S)** (if applicable)

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**RESOLUTION ORDERING CONSTRUCTION AND NOTICE OF PUBLIC HEARING ON PLANS,  
SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COST, AND DIRECTING  
ADVERTISEMENT FOR BIDS**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA,**  
that the following described public improvement:

**Booneville Road Bridge over Sugar Creek  
Project No. 0510-072-2017**

is hereby ordered to be constructed according to the Plans and Specifications prepared by Foth Infrastructure & Environment of Johnston, Iowa and now on file in the office of the City Clerk.

**BE IT FURTHER RESOLVED,** that the detailed Plans and Specifications, Form of Contract, Bid Security, and Notice to Bidders are hereby approved, subject to hearing thereon, and that the same are now on file in the office of the City Clerk for public inspection.

**BE IT FURTHER RESOLVED,** that the City Clerk is hereby directed to publish notice of hearing on the Plans and Specifications, Form of Contract, Bid Security and Estimate of Costs for said project to be held at 5:35 p.m. on Monday, May 14, 2018 with said notice published not less than four (4) days nor more than twenty (20) days prior to the date heretofore fixed.

**BE IT FURTHER RESOLVED,** that the City Clerk is hereby directed to publish Notice to Bidders for said project with publication not less than thirteen (13) days nor more than forty-five (45) days prior to the date for receiving bids. Said bids are to be filed prior to 2:00 p.m. on Wednesday, May 9, 2018.

**BE IT FURTHER RESOLVED,** that the bids received for construction of said improvements will be opened, publicly read and tabulated by the City Clerk, Deputy City Clerk, or City Clerk designee at 2:00 p.m. on Wednesday, May 9, 2018 and the results of said bids shall be considered at a meeting of this Council on Monday, May 14, 2018 at 5:35 p.m. and acted upon at said time, or such time as may then be fixed.

**PASSED AND APPROVED** on this 16th day of April, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk





ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COST



Booneville Road Bridge Replacement Over Sugar Creek
West Des Moines Contract No. 0510-072-2017 (Approx. 1073 LF)

Letting Date: May 9, 2018

Table with 7 columns: ITEM NO., ITEM CODE, ITEM DESCRIPTION, UNIT, ESTIMATED QUANTITY, UNIT PRICE, EXTENDED PRICE. Rows include divisions 1 through 9 with various construction items like earthwork, water mains, and landscaping.



ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COST

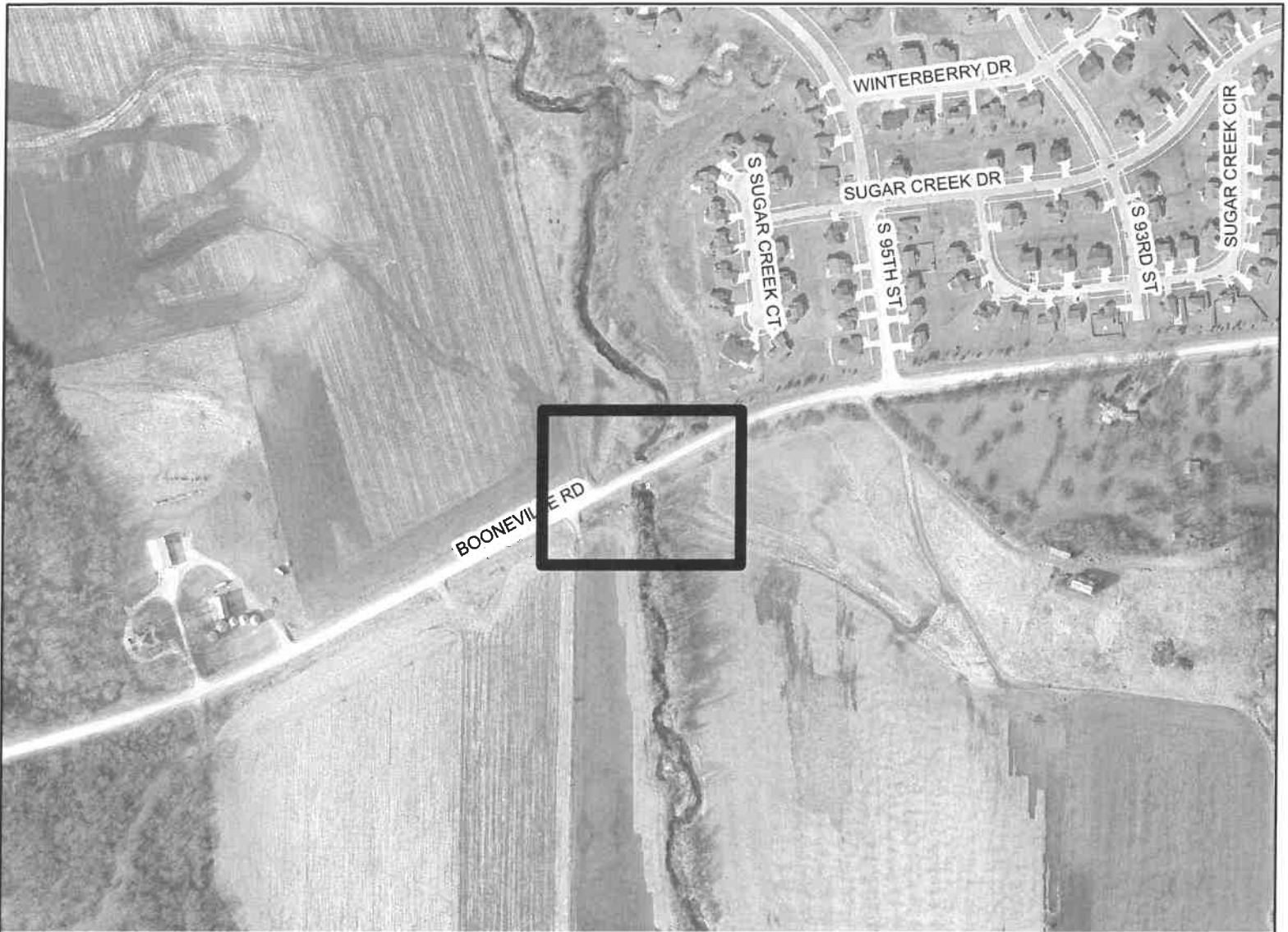


**Booneville Road Bridge Replacement  
Over Sugar Creek**  
West Des Moines Contract No. 0510-072-2017  
(Approx. 1073 LF)

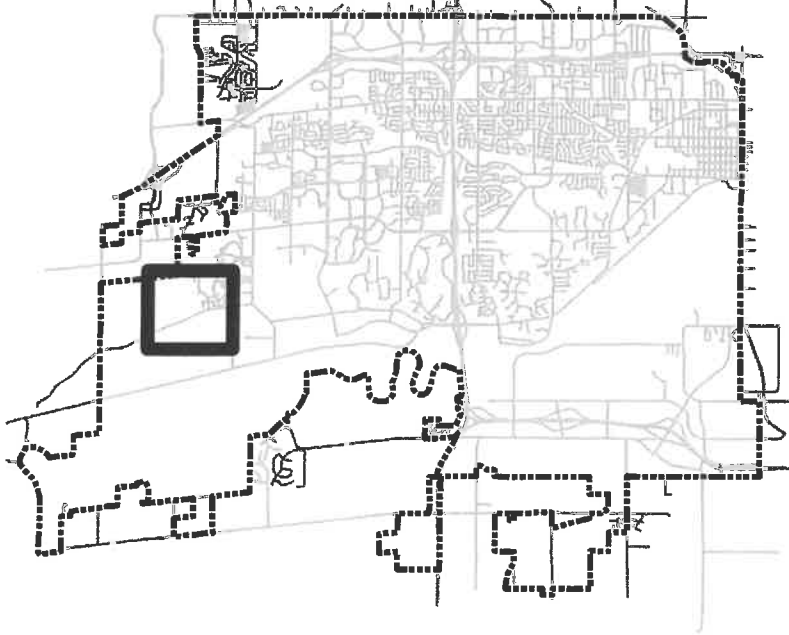
Letting Date: May 9, 2018

ITEM NO.	ITEM CODE	ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT PRICE	EXTENDED PRICE
<b>DIVISION 10 - DEMOLITION</b>						
		(NOT USED)				
<b>DIVISION 11 - MISCELLANEOUS</b>						
11.1	11010-A-1000	CONSTRUCTION SURVEY	LS	1	\$ 20,000.00	\$ 20,000.00
11.2	11050-A-1000	CONCRETE WASHOUT	LS	1	\$ 7,500.00	\$ 7,500.00
<b>DIVISION 12 - STRUCTURES</b>						
12.1	2402-2720000	EXCAVATION, CLASS 20	CY	130	\$ 35.00	\$ 4,550.00
12.2	2402-2721000	EXCAVATION, CLASS 21	CY	220	\$ 140.00	\$ 30,800.00
12.3	2403-0100010	STRUCTURAL CONCRETE (BRIDGE)	CY	820.5	\$ 625.00	\$ 512,812.50
12.4	2404-7775000	REINFORCING STEEL	LB	12540	\$ 1.10	\$ 13,794.00
12.5	2404-7775005	REINFORCING STEEL, EPOXY COATED	LB	124380	\$ 1.10	\$ 136,818.00
12.6	2404-7775009	REINFORCING STEEL, STAINLESS STEEL	LB	276	\$ 8.00	\$ 2,208.00
12.7	2414-6424110	CONCRETE BARRIER RAILING	LF	303.2	\$ 75.00	\$ 22,740.00
12.8	2414-6446100	ALUMINUM PEDESTRIAN HAND RAILING	LF	356.4	\$ 150.00	\$ 53,460.00
12.9	2414-6460000	ORNAMENTAL METAL RAILING	LF	320.0	\$ 560.00	\$ 179,200.00
12.10	2501-0201057	PILES, STEEL, HP 10 X 57	LF	630	\$ 38.00	\$ 23,940.00
12.11	2501-0201473	PILES, STEEL, HP 14 X 73	LF	1080	\$ 55.00	\$ 59,400.00
12.12	2501-6335010	PREBORED HOLES	LF	140	\$ 55.00	\$ 7,700.00
12.13	2507-2638650	BRIDGE WING ARMORING - EROSION STONE	SY	13	\$ 80.00	\$ 1,040.00
12.14	2599-6999010	TEMPORARY STREAM ACCESS	LS	1	\$ 25,000.00	\$ 25,000.00
<b>CONSTRUCTION SUBTOTAL</b>						\$ 1,766,849.60
CONTINGENCY						0%
<b>OPINION OF PROBABLE CONSTRUCTION COST</b>						<b>\$ 1,766,849.60</b>

	<p>I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.</p>
	<p><i>Bradley D. Hopkey</i>      4/9/18          _____          BRADLEY D. HOPKEY, P.E.      DATE          License Number: 16305          My license renewal date is DECEMBER 31, 2019.          Pages or sheets covered by this seal:  <u>PAGES 1-2</u></p>



**VICINITY MAP**



**LEGEND**

PROJECT LOCATION 



PROJECT: **Booneville Road Bridge Replacement over Sugar Creek**

LOCATION: **Exhibit "A"**

DRAWN BY: JDR	DATE: 8/7/2017	PROJECT NUMBER: 0510-072-2017 SUBDIVISION NAME:	SHT. 1 of 1
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**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**4(h)3**

**DATE: April 16, 2018**

**ITEM:**

Resolution - Ordering Construction  
Intersection Improvements - South 51st Street & Mills Civic Parkway and Mall Entrance & Mills Civic Parkway

**FINANCIAL IMPACT:**

The Engineering Estimate of Construction Cost for the Intersection Improvements at South 51st Street & Mills Civic Parkway and the Mall Entrance & Mills Civic Parkway is \$262,869.00. Payments will be made from account no. 500.000.000.5250.490 with the ultimate funding intended to come from Jordan Creek Urban Renewal TIF for the Mall Entrance & Mills Civic Parkway Intersection and General Obligation Bonds for South 51<sup>st</sup> Street & Mills Civic Parkway. Funds for the project are available in the FY 18-19 budget, but due to timing of the construction season, this project will begin on an accelerated schedule.

**BACKGROUND:**

A Bid Letting should be scheduled for 2:00 p.m. on Wednesday, May 9, 2018 and a Public Hearing on the project should be scheduled for 5:35 p.m. on Monday, May 14, 2018. The contract would be awarded on Monday, May 14, 2018 and work will begin shortly thereafter.

This project will include construction of dedicated right-turn lanes at two major intersections to improve traffic congestion. A southbound right-turn lane will be constructed along South 51st Street at the intersection of Mills Civic Parkway. A westbound right-turn lane will be constructed along Mills Civic Parkway at the intersection of the south entrance to the Jordan Creek Town Center. Turn lane construction will include modifications to the existing storm sewer, traffic signal modifications, sidewalk reconstruction, and surface restoration. The project is anticipated to be completed by August 31, 2018.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

**OUTSTANDING ISSUES:** None.

**RECOMMENDATION:**

City Council Adopt:

- Resolution Ordering Construction of the Intersection Improvements at South 51<sup>st</sup> Street & Mills Civic Parkway and Mall Entrance & Mills Civic Parkway.
- Fixing 2:00 p.m. on Wednesday, May 9, 2018 as the time and date for project Bid Letting.
- Ordering the City Clerk to publish notice of Letting and Public Hearing.

**Lead Staff Member: Brian J. Hemesath, P.E., Interim City Engineer** *BJA*

**STAFF REVIEWS**

Department Director	Brian J. Hemesath, P.E., Interim City Engineer
Appropriations/Finance	Tim Stiles, Finance Director <i>CS for TS</i>
Legal	Richard Scieszinski, City Attorney <i>JBW</i>
Agenda Acceptance	<i>(initials)</i>

**PUBLICATION(S) (if applicable)**

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW (if applicable)**

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**RESOLUTION ORDERING CONSTRUCTION AND NOTICE OF PUBLIC HEARING ON PLANS,  
SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COST, AND DIRECTING  
ADVERTISEMENT FOR BIDS**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, that the following described public improvement:

**Intersection Improvements - South 51<sup>st</sup> Street & Mills Civic Parkway  
and Mall Entrance & Mills Civic Parkway  
Project No. 0510-079-2017**

is hereby ordered to be constructed according to the Plans and Specifications prepared by Snyder & Associates, Inc. of Ankeny, Iowa and now on file in the office of the City Clerk.

**BE IT FURTHER RESOLVED**, that the detailed Plans and Specifications, Form of Contract, Bid Security, and Notice to Bidders are hereby approved, subject to hearing thereon, and that the same are now on file in the office of the City Clerk for public inspection.

**BE IT FURTHER RESOLVED**, that the City Clerk is hereby directed to publish notice of hearing on the Plans and Specifications, Form of Contract, Bid Security and Estimate of Costs for said project to be held at 5:35 p.m. on Monday, May 14, 2018 with said notice published not less than four (4) days nor more than twenty (20) days prior to the date heretofore fixed.

**BE IT FURTHER RESOLVED**, that the City Clerk is hereby directed to publish Notice to Bidders for said project with publication not less than thirteen (13) days nor more than forty-five (45) days prior to the date for receiving bids. Said bids are to be filed prior to 2:00 p.m. on Wednesday, May 9, 2018.

**BE IT FURTHER RESOLVED**, that the bids received for construction of said improvements will be opened, publicly read and tabulated by the City Clerk, Deputy City Clerk, or City Clerk designee at 2:00 p.m. on Wednesday, May 9, 2018 and the results of said bids shall be considered at a meeting of this Council on Monday, May 14, 2018 at 5:35 p.m. and acted upon at said time, or such time as may then be fixed.

**PASSED AND APPROVED** on this 16th day of April, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk

OPINION OF PROBABLE CONSTRUCTION COSTS



MILLS CIVIC PARKWAY/MALL ENTRANCE AND MILLS CIVIC PARKWAY/SOUTH 51ST STREET INTERSECTION IMPROVEMENTS

WEST DES MOINES, IOWA  
WDM Project No. 0510-079-2017  
Prepared: April 9, 2018

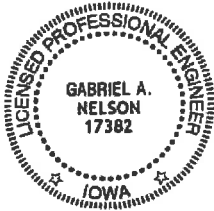
ITEM #	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	EXTENDED PRICE
<b>EARTHWORK</b>					
2.1	Class 10 Excavation	260	CY	\$ 35.00	\$ 9,100.00
2.2	Special Backfill	350	TON	\$ 40.00	\$ 14,000.00
<b>SEWERS AND DRAINS</b>					
4.1	Storm Sewer, Trenched, RCP, 15"	29	LF	\$ 250.00	\$ 7,250.00
<b>WATER MAIN AND APPURTENANCES</b>					
5.1	Fire Hydrant Adjustment	1	EA	\$ 1,000.00	\$ 1,000.00
<b>STRUCTURES FOR SANITARY AND STORM</b>					
6.1	Manhole Type SW-402 (Top-Only)	2	EA	\$ 2,000.00	\$ 4,000.00
6.2	Intake Type SW-501	1	EA	\$ 5,000.00	\$ 5,000.00
6.3	Intake Type SW-505	1	EA	\$ 6,500.00	\$ 6,500.00
6.4	Removal of Existing Structure (Top-Only)	2	EA	\$ 500.00	\$ 1,000.00
<b>STREETS AND RELATED WORK</b>					
7.1	PCC Pavement, 9" Reinforced	1100	SY	\$ 105.00	\$ 115,500.00
7.2	Removal of Sidewalk	120	SY	\$ 35.00	\$ 4,200.00
7.3	Sidewalk, PCC, 4"	23	SY	\$ 110.00	\$ 2,530.00
7.4	Sidewalk, PCC, 5"	28	SY	\$ 120.00	\$ 3,360.00
7.5	Sidewalk, PCC, 6"	57	SY	\$ 130.00	\$ 7,410.00
7.6	Detectable Warning	30	SF	\$ 75.00	\$ 2,250.00
7.7	Removal of Pavement	260	SY	\$ 45.00	\$ 11,700.00
7.8	Curb and Gutter Removal	550	LF	\$ 35.00	\$ 19,250.00
<b>TRAFFIC CONTROL</b>					
8.1	Traffic Signal Modification	1	LS	\$ 7,500.00	\$ 7,500.00
8.2	Painted Pavement Markings, Durable	6.53	STA	\$ 300.00	\$ 1,959.00
8.3	Painted Symbols and Legends, Durable	6	EA	\$ 135.00	\$ 810.00
8.4	Traffic Control	1	LS	\$ 15,000.00	\$ 15,000.00
<b>SITE WORK AND LANDSCAPING</b>					
9.1	Sod	88	SQ	\$ 75.00	\$ 6,600.00
9.2	Filter Sock, 8"	750	LF	\$ 5.00	\$ 3,750.00
9.3	Filter Sock Removal	750	LF	\$ 2.00	\$ 1,500.00
9.4	Erosion Control Mulching, Hydromulching	0.2	ACRE	\$ 12,000.00	\$ 2,400.00
9.5	Inlet Protection Device, Drop-In	2	EA	\$ 250.00	\$ 500.00
9.6	Inlet Protection Device, Maintenance	4	EA	\$ 200.00	\$ 800.00
<b>GENERAL PROVISIONS</b>					
11.1	Construction Survey	1	LS	\$ 6,000.00	\$ 6,000.00
11.2	Concrete Washout	1	LS	\$ 2,000.00	\$ 2,000.00
<b>CONSTRUCTION TOTAL:</b>					<b>\$ 262,869.00</b>

OPINION OF PROBABLE CONSTRUCTION COSTS



MILLS CIVIC PARKWAY/MALL ENTRANCE AND MILLS CIVIC  
PARKWAY/SOUTH 51ST STREET INTERSECTION IMPROVEMENTS  
WEST DES MOINES, IOWA  
WDM Project No. 0510-079-2017  
Prepared: April 9, 2018

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I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed professional engineer under the laws of the State of Iowa.

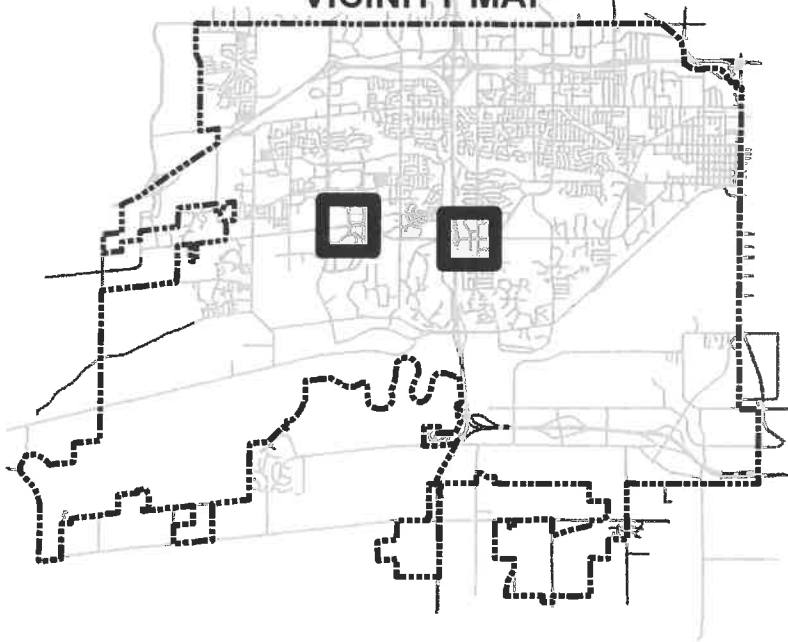
A handwritten signature in cursive script, appearing to read 'Gabriel A. Nelson', written over a horizontal line.

Gabriel A. Nelson, P.E.  
My License Number : 17382  
My License Renewal Date is December 31, 2018

04/09/18  
Date



**VICINITY MAP**



**LEGEND**

PROJECT LOCATION



PROJECT:

**Intersection Improvements**

LOCATION: **S 51st St & Mills Civic Pkwy, Jordan Creek Mall South Entrance & Mills Civic Pkwy**

DRAWN BY: JDR

DATE: 07/21/2017

PROJECT NUMBER: 0510-079-2017  
SUBDIVISION NAME:

SHT. 1 of 1



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE: April 16, 2018**

**ITEM:**

Resolution - Accepting Work  
Walnut Creek Outfall Storm Sewer Project (Building Demolition)

**FINANCIAL IMPACT:**

The total construction cost for the Building Demolition on the Walnut Creek Outfall Storm Sewer Project was \$45,812.00 which was paid from account no. 660.000.000.5250.490 with ultimate funding intended to come from Stormwater Utility Fees. The original cost of the project was \$44,830.00. There was one (1) Change Order on the project that totaled \$982.00.

**BACKGROUND:**

Carter Construction was working under an agreement dated October 12, 2017 for construction services for the Building Demolition on the Walnut Creek Outfall Storm Sewer Project. Work on this project included demolition of two buildings (former Vet Clinic and Sully's Irish Pub) in advance of the Walnut Creek Outfall Storm Sewer construction.

This action accepts the public improvements and authorizes staff to pay the retainage no sooner than 30 days.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

**OUTSTANDING ISSUES:**

None.

**RECOMMENDATION:**

City Council Adopt:

- Resolution Accepting Work for Walnut Creek Outfall Storm Sewer Project (Building Demolition).

**Lead Staff Member: Brian J. Hemesath, P.E., Interim City Engineer** *BJA*

**STAFF REVIEWS**

Department Director	Brian J. Hemesath, P.E., Interim City Engineer
Appropriations/Finance	Tim Stiles, Finance Director <i>TS</i>
Legal	Richard Scieszinski, City Attorney <i>RS</i>
Agenda Acceptance	<i>W</i>

**PUBLICATION(S) (if applicable)**

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW (if applicable)**

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**RESOLUTION ACCEPTING WORK**

**WHEREAS**, on October 12, 2017, the City entered into a contract with Carter Construction of Van Meter, Iowa for the following described public improvement:

**Walnut Creek Outfall Storm Sewer Project (Building Demolition)  
Project No. 0510-009-2013**

and,

**WHEREAS**, said contractor has substantially completed the construction of said improvement in accordance with plans and specifications as shown by the report of the City Engineer filed with the City Clerk on April 16, 2018; and,

**WHEREAS**, the City has retained 5% of the construction costs;

therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, that said report of the City Engineer is hereby approved and said public improvement is accepted as having been substantially completed in accordance with plans and specifications and the total final construction cost of said improvement is \$45,812.00 as shown in said report, and that the Finance Director is hereby authorized to make payment to the Contractor in the amount of \$2,290.60, which includes retainage for the project, no sooner than 30 days subject to the Contractor satisfying all the conditions of the contract.

**PASSED AND APPROVED** on this 16th day of April, 2018.

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Steven K. Gaer, Mayor

ATTEST:

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Ryan T. Jacobson  
City Clerk



## RETAINAGE

**Owner:**  
 City of West Des Moines  
 4200 Mills Civic Parkway  
 Boone, IA 50036

**Engineer:**  
 Foth Infrastructure & Environment  
 8191 Birchwood Court, Ste L  
 West Des Moines, IA 50265

**Contractor:**  
 Carter Construction Group  
 PO Box 128  
 Van Meter, IA 50261

<b>Project Title</b>	Walnut Creek Outfall Building Demolition	
<b>City of West Des Moines</b>	2018-00000404	
<b>DOT Project No.:</b>		
<b>Orig. Contract Amount &amp; Date</b>	\$44,830.00	10/12/2017
<b>Notice to Proceed Date</b>	10/23/2017	
<b>Estimated Completion Date</b>	11/24/2017	
<b>Pay Period</b>	11/24/2017	to 1/22/2018
<b>Pay Request Number</b>	Retainage	
<b>Date</b>	1/22/2018	
<b>Contract ID</b>	0510-009-2013	

BID ITEMS								
Item No.	Item Code	Description	Unit	Est. Qty.	Unit Price	Extended Price	Quantity Completed	Value Completed
4.1	SPECIAL	SANITARY SEWER SERVICE, ABANDON	EA	2	\$1,020.00	\$2,040.00	2.00	2040
5.1	SPECIAL	WATER SERVICE, ABANDON	EA	2	\$3,200.00	\$6,400.00	3.00	9600
7.1	7010-J-1000	GRANULAR SURFACING	TON	240	\$28.50	\$6,840.00	240.00	6840
7.2	7030-E-1004	SIDEWALK, PCC, 4 IN.	SY	38	\$60.00	\$2,280.00	25.30	1518
7.3	7030-H-1060	DRIVEWAY, PAVED, PCC, 6 IN.	SY	56	\$70.00	\$3,920.00	35.20	2464
8.1	8010-D-1000	TRAFFIC CONTROL	LS	1	\$575.00	\$575.00	1.00	575
9.1	9040-A-1000	EROSION CONTROL	LS	1	\$1,900.00	\$1,900.00	1.00	1900
10.1	10010-A-1000	DEMOLITION OF BUILDING STRUCTURES	LS	1	\$20,875.00	\$20,875.00	1.00	20875
<b>TOTAL</b>						<b>\$44,830.00</b>		<b>\$45,812.00</b>


MATERIALS STORED SUMMARY			
Description	# of Units	Unit Price	Extended Cost
<b>TOTAL</b>			<b>\$0.00</b>

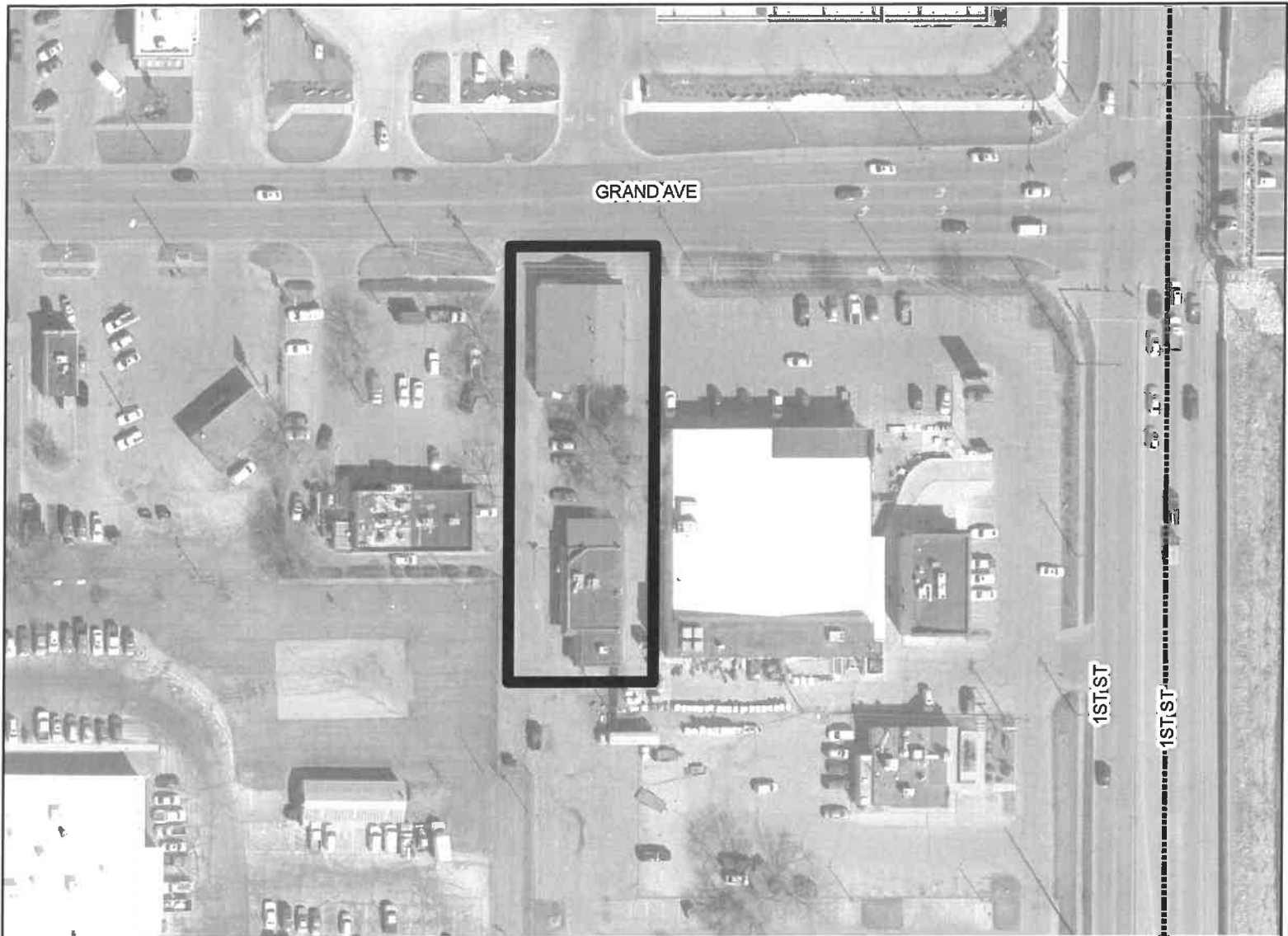
PAY REQUEST SUMMARY		
	Total Approved	Total Completed
Contract Price	\$44,830.00	\$45,812.00
Change Order 1	\$982.00	
Change Order 2	\$0.00	
Change Order 3	\$0.00	
Revised Contract Price	\$45,812.00	\$45,812.00
Materials Stored		\$0.00
Retainage 5.0%		\$0.00
Total Earned Less Retainage		\$45,812.00
Total Previously Approved (list each)	Pay Request 1	\$43,521.40
	Pay Request 2	
Total Previously Approved		\$43,521.40
Amount Due This Request		\$2,290.60
Percent Complete		100.0%
Percent of Contract Period Utilized (In Calendar Days, Based on Notice to Proceed Date & Contract Completion Date)		100.0%

The amount \$2,290.60 is recommended for approval for payment in accordance with the terms of the Contract.

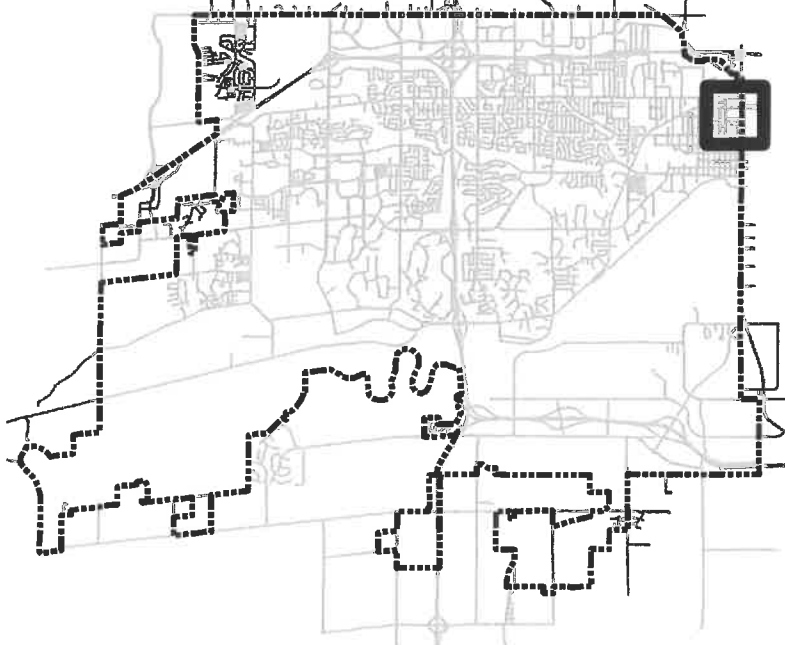
<b>Carter Construction Group</b> <input type="checkbox"/>
<b>NAME:</b> Dennis Carter
<b>TITLE:</b> Project Manager
<b>DATE:</b>
<b>SIGNATURE:</b>

<b>FOTH INFRASTRUCTURE &amp; ENVIRONMENT</b> <input type="checkbox"/>
<b>NAME:</b> Patrick Kueter, P.E.
<b>TITLE:</b> Project Manager
<b>DATE:</b>
<b>SIGNATURE:</b>

<b>CITY OF WEST DES MOINES</b> <i>sm CSC</i> <input type="checkbox"/>
<b>NAME:</b> Brian J. Hemaseth, P.E.
<b>TITLE:</b> Interim City Engineer
<b>DATE:</b> 4.12.18
<b>SIGNATURE:</b> 



**VICINITY MAP**



**LEGEND**

PROJECT LOCATION



PROJECT: **Walnut Creek Outfall Storm Sewer (Building Demolition)**

LOCATION: **'Exhibit A'**

DRAWN BY: JDR

DATE: 4/11/2018

PROJECT NUMBER: 0510-009-2013  
SUBDIVISION NAME:

SHT. 1 of 1

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE: April 16, 2018**

**ITEM:**

Resolution - Accepting Public Improvements  
Della Vita Plat 1

**FINANCIAL IMPACT:**

None at this time. The City will assume ownership of the public improvements, along with associated maintenance.

**BACKGROUND:**

McAninch Corporation and Alliance Construction have substantially completed the installation of public sanitary sewer, storm sewer, and paving at Della Vita Plat 1 in accordance with the plans prepared by Civil Design Advantage and the specifications of the City. These improvements have been inspected by the City.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

**OUTSTANDING ISSUES:**

None.



**RECOMMENDATION:**

City Council Adopt:

- Resolution Accepting Public Improvements for Della Vita Plat 1.

**Lead Staff Member: Brian J. Hemesath, P.E., Interim City Engineer** 

**STAFF REVIEWS**

Department Director	Brian J. Hemesath, P.E., Interim City Engineer
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Richard Scieszinski, City Attorney 
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW (if applicable)**

Committee				
Date Reviewed				
Recommendation	<table border="1"> <tr> <td>Yes</td> <td>No</td> <td>Split</td> </tr> </table>	Yes	No	Split
Yes	No	Split		

**RESOLUTION ACCEPTING PUBLIC IMPROVEMENTS**

**WHEREAS**, a Preliminary Plat for Della Vita Plat 1 was reviewed and approved by the City Council of West Des Moines, Iowa, at a meeting held on February 21, 2017; and,

**WHEREAS**, a Final Plat for Della Vita Plat 1 was submitted for review by the City Council of West Des Moines, Iowa, on November 13, 2017 and was found to be generally consistent with the Preliminary Plat; and,

**WHEREAS**, the West Des Moines City Council adopted a Resolution which approved the Final Plat for Della Vita Plat 1 at their meeting on November 13, 2017 subject to any conditions of approval and contingent upon construction and acceptance of all public streets and utilities; sureties were provided for said Public Improvements in lieu of completion with the Final Plat approval.

**WHEREAS**, on May 11, 2017 the Construction Plans were approved by the West Des Moines City Engineer, said improvements being described as follows:

**Della Vita Plat 1**

therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, the public improvements for Della Vita Plat 1 are hereby accepted and are hereby dedicated for public purposes.

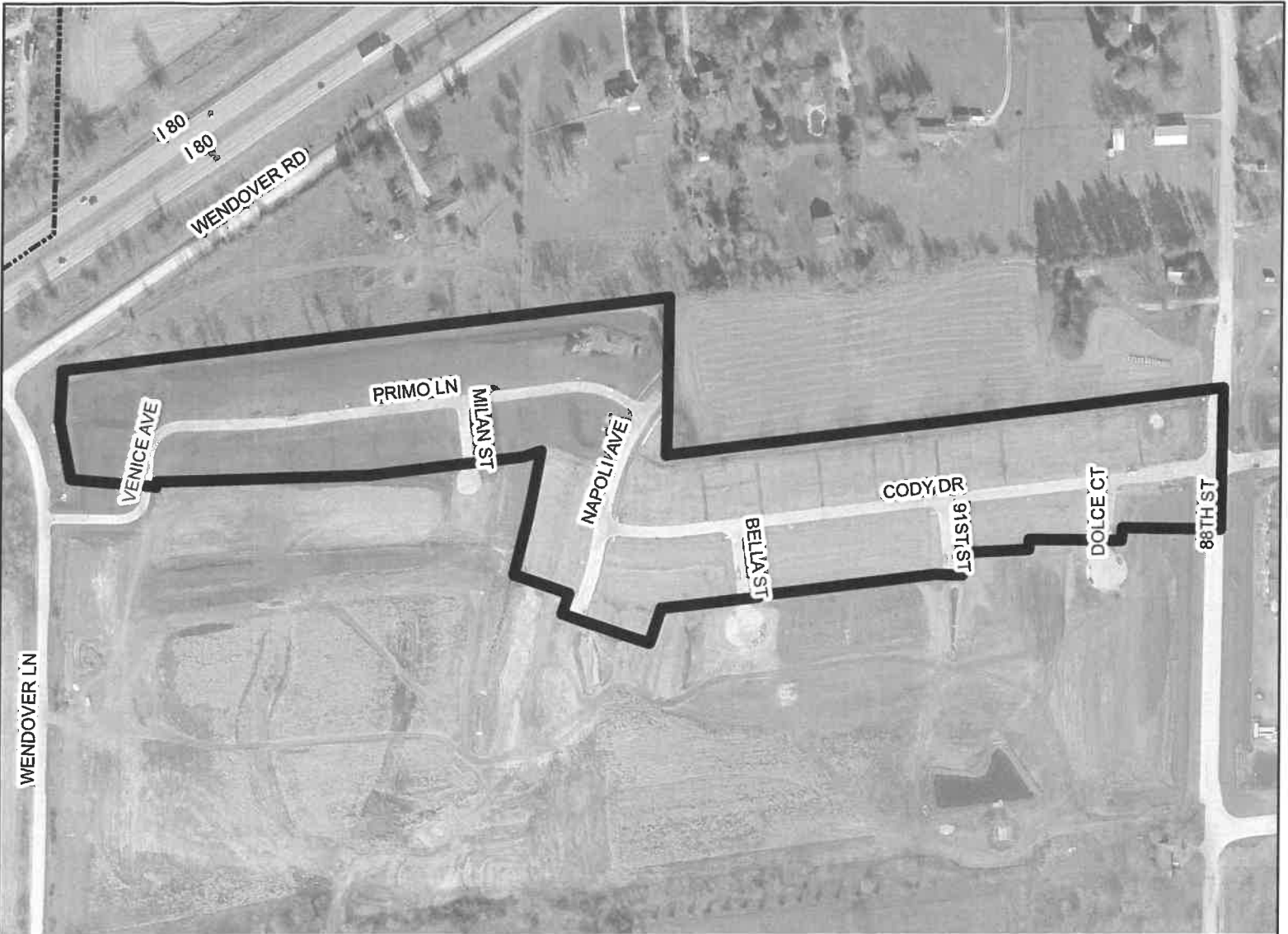
**BE IT FURTHER RESOLVED**, sureties for construction of the public improvements for Della Vita Plat 1 are hereby released.

**PASSED AND APPROVED** this 16th day of **April, 2018**.

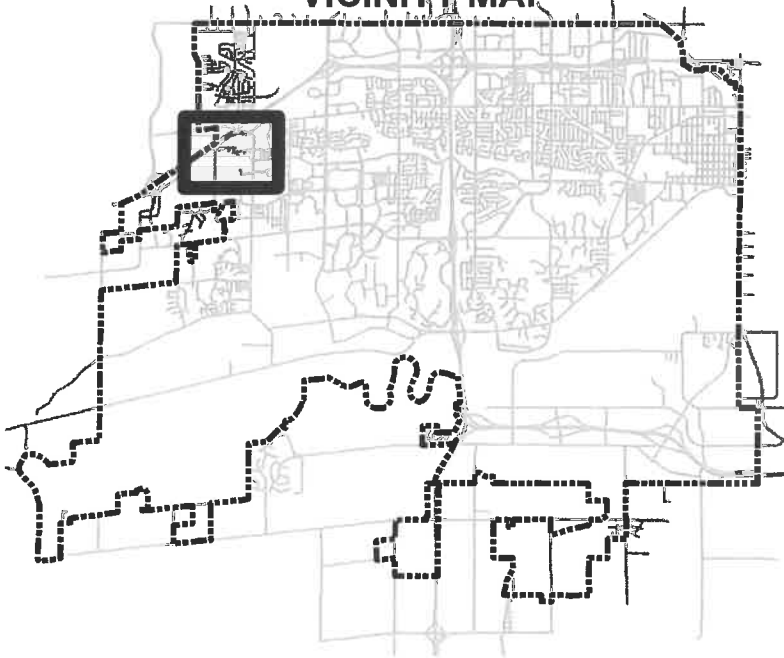
\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk



**VICINITY MAP**



**LEGEND**

PROJECT LOCATION



PROJECT:

**Della Vita Plat 01**

LOCATION:

**Exhibit "A"**

DRAWN BY: JDR

DATE: 4/11/2018

PROJECT NUMBER/NAME: Della Vita Plat 01

SHT. 1 of 1



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE: April 16, 2018**

**ITEM:**

Resolution - Accepting Public Improvements  
Kings Landing Plat 2

**FINANCIAL IMPACT:**

None at this time. The City will assume ownership of the public improvements, along with associated maintenance.

**BACKGROUND:**

Seamus Excavating, Priority Excavating, and Sternquist Construction have substantially completed the installation of public sanitary sewer, storm sewer, and paving at Kings Landing Plat 2 in accordance with the plans prepared by Civil Design Advantage and the specifications of the City. These improvements have been inspected by the City.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

**OUTSTANDING ISSUES:**

None.

**RECOMMENDATION:**

City Council Adopt:

- Resolution Accepting Public Improvements for Kings Landing Plat 2.

**Lead Staff Member: Brian J. Hemesath, P.E., Interim City Engineer** *BOA*

**STAFF REVIEWS**

Department Director	Brian J. Hemesath, P.E., Interim City Engineer
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Richard Scieszinski, City Attorney <i>RS</i>
Agenda Acceptance	<i>KS</i>

**PUBLICATION(S) (if applicable)**

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW (if applicable)**

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**RESOLUTION ACCEPTING PUBLIC IMPROVEMENTS**

**WHEREAS**, a Preliminary Plat for Kings Landing Plat 2 was reviewed and approved by the City Council of West Des Moines, Iowa, at a meeting held on March 6, 2017; and,

**WHEREAS**, a Final Plat for Kings Landing Plat 2 was submitted for review by the City Council of West Des Moines, Iowa, on November 13, 2017 and was found to be generally consistent with the Preliminary Plat; and,

**WHEREAS**, the West Des Moines City Council adopted a Resolution which approved the Final Plat for Kings Landing Plat 2 at their meeting on November 13, 2017 subject to any conditions of approval and contingent upon construction and acceptance of all public streets and utilities; sureties were provided for said Public Improvements in lieu of completion with the Final Plat approval.

**WHEREAS**, on April 24, 2017 the Construction Plans were approved by the West Des Moines City Engineer, said improvements being described as follows:

**Kings Landing Plat 2**

therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, the public improvements for Kings Landing Plat 2 are hereby accepted and are hereby dedicated for public purposes.

**BE IT FURTHER RESOLVED**, sureties for construction of the public improvements for Kings Landing Plat 2 are hereby released.

**PASSED AND APPROVED** this 16th day of April, 2018.

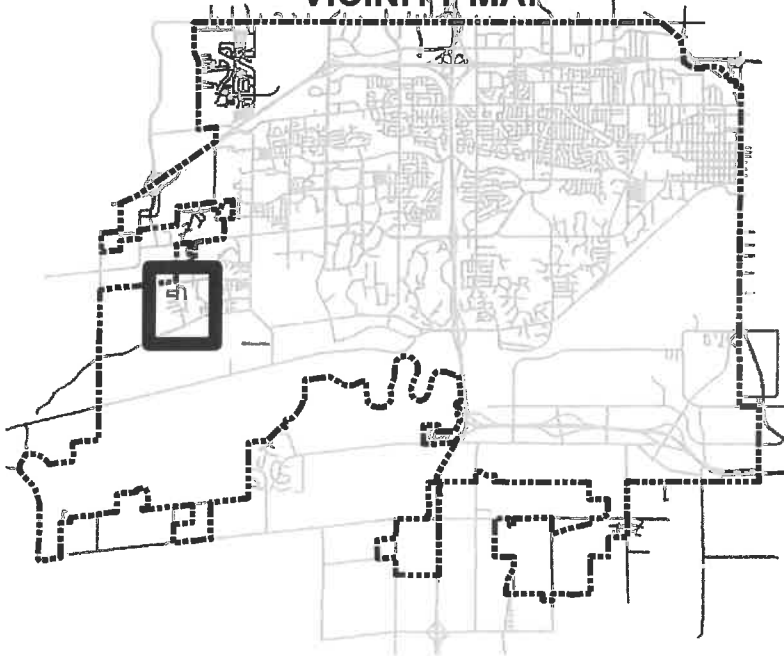
\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk



**VICINITY MAP**



**LEGEND**

PROJECT LOCATION 



PROJECT:	<b>Kings Landing Plat 02</b>		
LOCATION:	<b>Exhibit "A"</b>		
DRAWN BY: JDR	DATE: 4/11/2018	PROJECT NUMBER/NAME: Kings Landing Plat 02	SHT. 1 of 1

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Setting Dates of Public Hearing – Westown V Urban Renewal Area    **DATE:** April 16, 2018  
Amendment No. 4- City Initiated

**RESOLUTION:** Establish Public Hearing – Urban Renewal Plan –  
Amendment No. 4 Westown V Renewal Area

**FINANCIAL IMPACT:** Because of Development Agreements the City is initiating within this Urban Renewal Area, the City anticipates expending not more than \$866,000.

**BACKGROUND:** The City Council approved the Westown V Urban Renewal Plan on November 2, 2009. Amendments to the Plan were made on November 12, 2012, September 22, 2014, and May 4, 2015. This Amendment No. 4 will not change the Urban Renewal Area boundary. Instead, this Amendment No. 4 identifies additional projects and clarified infrastructure projects as well as economic development projects within the Plan.

The additional projects and clarified infrastructure projects identified in this Amendment No. 4 are not commitments within proposed or outstanding Development Agreements within this Urban Renewal Area. The inclusion of these projects within the Plan allow the eligibility of funding with TIF in the future, upon City Council approval, if the TIF funds become available.

The City plans to enter into Development Agreements with Clinic Investments, Inc., and Fore Right L.C., respectively. Clinic Investments, Inc. has been approved by City Council under the Property Tax Rebate Program, and Fore Right, L.C. is pending approval on this April 16, 2018 Council agenda.

**OUTSTANDING ISSUES:** There are no outstanding issues regarding this proposed amendment.

**RECOMMENDATION:** Staff recommends the City Council approve a resolution setting May 14, 2018 as the public hearing date for the Amendment No. 4 to the Westown V Urban Renewal Plan.

Lead Staff Member: Katie Hernandez, Business Development Coordinator *KH*

**STAFF REVIEWS**

Department Director	Clyde Evans, Community and Economic Development Department <i>CE</i>
Appropriations/Finance	
Legal	<i>D</i>
Agenda Acceptance	<i>KA</i>

**PUBLICATION(S) (if applicable)**

Published In	NA
Date(s) Published	NA
Letter sent to surrounding property owners	NA

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Finance & Administration		
Date Reviewed	4/11/2018		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Exhibit I - Resolution
- Exhibit II - Proposed Westown V Urban Renewal Plan Amendment No. 4

RESOLUTION NO. \_\_\_\_\_

Resolution Setting Date for Public Hearing on Urban Renewal Plan Amendment

WHEREAS, the City Council of the City of West Des Moines, Iowa by resolution previously established the Westown Parkway V Urban Renewal Area (the “Urban Renewal Area”) and adopted an urban renewal plan (the “Plan”) for the governance of initiatives and projects therein; and

WHEREAS, an amendment (the “Amendment”) to the Plan has been prepared which (1) updates the description of the City’s street improvement project at 60<sup>th</sup> and Westown Parkway, previously approved in a prior amendment to the Plan; and (2) authorizes the undertaking of new urban renewal projects in the Urban Renewal Area consisting of (a) providing tax increment financing support to Clinic Investments, Inc. in connection with the construction of a new ambulatory surgical center at 6200 Westown Parkway for use in the business operations of Wolfe Surgery Center, LLC; (b) providing tax increment financing support the Fore Right L.C. in connection with the construction of new building situated at 1840 71<sup>st</sup> Street; (c) using tax increment financing to pay the costs of constructing turn lane improvements at the intersection of Jordan Creek Parkway and Lake Drive; and (d) using tax increment financing to pay the costs of constructing a multi-use trail on and along 68<sup>th</sup> Street; and it is now necessary that a date be set for a public hearing on the Amendment; and

NOW, THEREFORE, Be It Resolved by the City Council of the City of West Des Moines, Iowa, as follows:

Section 1. This City Council will meet at the Council Chambers in City Hall, 4200 Mills Civic Parkway, West Des Moines, Iowa, on May 14, 2018, at 5:30 p.m., at which time and place it will hold a public hearing on the proposed Amendment.

Section 2. The City Clerk shall publish notice of said hearing, the same being in the form attached hereto, which publication shall be made in a legal newspaper of general circulation in the City, which publication shall be not less than four (4) and not more than twenty (20) days before the date set for hearing.

Section 3. Pursuant to Section 403.5 of the Code of Iowa, Clyde Evans is hereby designated as the City's representative in connection with the consultation process which is required under that section of the urban renewal law.

Passed and approved this April 16, 2018.

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Mayor

Attest:

---

City Clerk

NOTICE OF PUBLIC HEARING ON PROPOSED URBAN RENEWAL PLAN  
AMENDMENT

Notice Is Hereby Given: That at 5:30 p.m., at the Council Chambers in City Hall, 4200 Mills Civic Parkway, West Des Moines, Iowa, on May 14, 2018, the City Council of the City of West Des Moines, Iowa, will hold a public hearing on the question of amending the urban renewal plan for the Westtown Parkway V Urban Renewal Area (the "Urban Renewal Area") which (1) updates the description of the City's street improvement project at 60<sup>th</sup> and Westtown Parkway, previously approved in a prior amendment to the Plan; and (2) authorizes the undertaking of new urban renewal projects in the Urban Renewal Area consisting of (a) providing tax increment financing support to Clinic Investments, Inc. in connection with the construction of a new ambulatory surgical center at 6200 Westtown Parkway for use in the business operations of Wolfe Surgery Center, LLC; (b) providing tax increment financing support the Fore Right L.C. in connection with the construction of new building situated at 1840 71<sup>st</sup> Street; (c) using tax increment financing to pay the costs of constructing turn lane improvements at the intersection of Jordan Creek Parkway and Lake Drive; and (d) using tax increment financing to pay the costs of constructing a multi-use trail on and along 68<sup>th</sup> Street. A copy of the amendment is on file for public inspection in the office of the City Clerk.

At said hearing any interested person may file written objections or comments and may be heard orally with respect to the subject matters of the hearing.

Ryan Jacobson  
City Clerk

CITY OF WEST DES MOINES, IOWA  
URBAN RENEWAL PLAN AMENDMENT #4  
WESTOWN V URBAN RENEWAL AREA

May, 2018

The Urban Renewal Plan (the “Plan”) for the Westtown V Urban Renewal Area (the “Urban Renewal Area”) is being amended for the purpose of identifying a new urban renewal project to be undertaken therein.

**1) Identification of Project.** By virtue of this amendment, the list of authorized urban renewal projects in the Plan is hereby amended to include the following project descriptions:

A.

**Name of Project:** Clinic Investments, Inc. Development Project

**Name of Urban Renewal Area:** Westtown V Urban Renewal Area

**Date of Council Approval of Project:** May 14, 2018

**Description of the Project:** Clinic Investments, Inc. (the “Developer”) has proposed to undertake the construction of a 24,000 square feet ambulatory surgical center with six (6) operating rooms (the “Wolfe Development Project”) located at 6200 West Parkway in the Urban Renewal Area (the “Wolfe Development Property”) for use in the business operations of Wolfe Surgery Center, LLC.

It has been requested that the City provide tax increment financing assistance to the Developer in support of the efforts to complete, operate and maintain the Wolfe Development Project.

The costs incurred by the City in providing tax increment financing assistance to the Developer will include legal and administrative fees (the “Admin Fees”) in an amount not to exceed \$8,000.

**Description of Public Infrastructure to be Constructed in Connection with the Project:** It is not anticipated that the City will undertake any public infrastructure improvements in connection with the Wolfe Development Project.

**Description of Properties to be Acquired in Connection with the Project:** It is not anticipated that the City will acquire real property in connection with the Wolfe Development Project.



**Description of Use of TIF for the Project:** The City intends to enter into a Development Agreement with the Developer with respect to the construction and use of the completed Wolfe Development Project and to provide annual appropriation economic development payments (the “Payments”) to the Developer thereunder. The Payments will be funded with incremental property tax revenues to be derived from the Wolfe Development Property. It is anticipated that the City’s total commitment of incremental property tax revenues with respect to the Wolfe Development Project will not exceed \$490,000, plus the Admin Fees.

**B.**

**Name of Project:** Fore Right L.C. Development Project

**Name of Urban Renewal Area:** Westtown V Urban Renewal Area

**Date of Council Approval of Project:** May 14, 2018

**Description of the Project:** Fore Right L.C. (the “Developer”) has proposed to undertake the construction of a new building (the “Fore Right Development Project”) located at 1840 71<sup>st</sup> St. in the Urban Renewal Area (the “Fore Right Development Property”).

It has been requested that the City provide tax increment financing assistance to the Developer in support of the efforts to complete, operate and maintain the Fore Right Development Project.

The costs incurred by the City in providing tax increment financing assistance to the Developer will include legal and administrative fees (the “Admin Fees”) in an amount not to exceed \$8,000.

**Description of Public Infrastructure to be Constructed in Connection with the Project:** It is not anticipated that the City will undertake any public infrastructure improvements in connection with the Fore Right Development Project.

**Description of Properties to be Acquired in Connection with the Project:** It is not anticipated that the City will acquire real property in connection with the Fore Right Development Project.

**Description of Use of TIF for the Project:** The City intends to enter into a Development Agreement with the Developer with respect to the construction and use of the completed Fore Right Development Project and to provide annual appropriation economic development payments (the “Payments”) to the Developer thereunder. The Payments will be funded with incremental property tax revenues to be derived from the Fore Right Development Property. It is anticipated that the City’s total commitment of incremental property tax revenues with respect to the Fore Right Development Project will not exceed \$360,000, plus the Admin Fees.

**C.**

**Name of Project:** Jordan Creek Parkway and Lake Drive Turn Lane Project

**Name of Urban Renewal Area:** Westtown V Urban Renewal Area

**Date of Council Approval of Project:** May 14, 2018

**Description of Project and Project Site:** The Jordan Creek Parkway and Lake Drive Turn Lane Project will consist of the construction of a northbound right-turn lane at the intersection of Jordan Creek Parkway and Lake Drive in the Urban Renewal Area; and the incidental utility, landscaping, site clearance and cleanup work related thereto.

It is expected that the completed Jordan Creek Parkway and Lake Drive Turn Lane Project will cause increased and improved ability of the City to provide adequate transportation infrastructure for the growth and retention of commercial enterprises in the City.

**Description of Properties to be Acquired in Connection with Project:** The City will acquire such easement territory and rights-of-way as are necessary to successfully undertake the Jordan Creek Parkway and Lake Drive Turn Lane Project.

**Description of Use of TIF for the Project:** It is anticipated that the City will pay for the Jordan Creek Parkway and Lake Drive Turn Lane Project with either borrowed funds and/or the proceeds of an internal advance of City funds on-hand. In either case, the City's obligation will be repaid with incremental property tax revenues. It is anticipated that the City's use of incremental property tax revenues for the Jordan Creek Parkway and Lake Drive Turn Lane Project will not exceed \$500,000.

**D.**

**Name of Project:** 68<sup>th</sup> Street Trail Connection Project

**Name of Urban Renewal Area:** Westtown V Urban Renewal Area

**Date of Council Approval of Project:** May 14, 2018

**Description of Project and Project Site:** The 68th Street Trail Connection Project will consist of the construction of a new trail; and the incidental utility, landscaping, site clearance and cleanup work related thereto on and along 68th Street from its intersection with University Avenue on the north and continuing south to and including its intersection with Westtown Parkway. The completion of the 68<sup>th</sup> Street Trail Connection Project is contingent upon the installation of a proposed trail connection to the incorporated limits of the City of West Des Moines by the City of Clive on and along 68<sup>th</sup> Street/Country Club Boulevard situated north of University Avenue.

It is expected that the completed 68th Street Trail Connection Project will cause increased and improved ability of the City to provide a more connected sidewalk network in order to

better accommodate pedestrian traffic in the Urban Renewal Area which will encourage future economic development therein.

**Description of Properties to be Acquired in Connection with Project:** The City will acquire such easement territory and rights-of-way as are necessary to successfully undertake the 68th Street Trail Connection Project.

**Description of Use of TIF for the Project:** It is anticipated that the City will pay for the 68th Street Trail Connection Project with either borrowed funds and/or the proceeds of an internal advance of City funds on-hand. In either case, the City's obligation will be repaid with incremental property tax revenues. It is anticipated that the City's use of incremental property tax revenues for the 68th Street Trail Connection Project will not exceed \$300,000.

**2) Update Description of the City's 60<sup>th</sup> Street and Westown Parkway Street Improvement Project.** The City approved the 60<sup>th</sup> Street and Westown Parkway Street Improvement Project in the May, 2015 Amendment to the Plan. It is now necessary to update the description of the 60<sup>th</sup> Street and Westown Parkway Street Improvement Project, as follows:

**Name of Project:** 60<sup>th</sup> Street and Westown Parkway Street Improvement Project

**Name of Urban Renewal Area:** Westown V Urban Renewal Area

**Date of Council Approval of Project:** May 4, 2015, as amended May 14, 2018

**Description of Project and Project Site:** The 60<sup>th</sup> Street and Westown Parkway Street Improvement Project will consist of the construction certain street improvements at the intersection of 60<sup>th</sup> Street and Westown Parkway including the (i) construction of an eastbound right-turn lane on Westown Parkway; (ii) widening of Westown Parkway to accommodate westbound dual left-turn lanes; (iii) modification of the island on the east leg of Westown Parkway to lengthen the westbound left-turn storage; (iv) construction of a northbound right-turn lane on 60<sup>th</sup> Street; (v) modification of the island on the north leg of 60<sup>th</sup> Street to lengthen southbound left-turn storage; and (vi) the incidental utility, landscaping, site clearance and cleanup work related thereto.

It is expected that the completed 60<sup>th</sup> Street and Westown Parkway Street Improvement Project will cause increased and improved ability of the City to provide adequate transportation infrastructure for the growth and retention of commercial enterprises in the City.

**Description of Properties to be Acquired in Connection with Project:** The City will acquire such easement territory and rights-of-way as are necessary to successfully undertake the 60<sup>th</sup> Street and Westown Parkway Street Improvement Project.

**Description of Use of TIF for the Project:** It is anticipated that the City will pay for the 60<sup>th</sup> Street and Westown Parkway Street Improvement Project with either borrowed funds and/or the proceeds of an internal advance of City funds on-hand. In either case, the City's

obligation will be repaid with incremental property tax revenues. It is anticipated that the City's use of incremental property tax revenues for the 60<sup>th</sup> Street and Westown Parkway Street Improvement Project will not exceed \$2,000,000.

**3) Required Financial Information.** The following information is provided in accordance with the requirements of Section 403.17 of the Code of Iowa:

Constitutional debt limit of the City: \$359,449,675

Outstanding general obligation debt of the City: \$159,200,000

Proposed debt to be incurred in under this  
May, 2018 Amendment: \$3,666,000\*

\*It is anticipated that some or all of the debt incurred hereunder may be made subject to annual appropriation by the City Council.

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Approval to Initiate a Development Agreement between Fore Right, L.C. and the City of West Des Moines      **DATE:** April 16, 2018

**RESOLUTION:** Approval to proceed with the preparation of a Development Agreement

**FINANCIAL IMPACT:** The applicant has agreed to a figure of \$2.9 million as the value of the Minimum Assessment agreement. The company will need to sign a development agreement with the City that would include a minimum assessment agreement to guarantee the investment, to guarantee the valuation for ten (10) years, and to guarantee the retention/creation of five (5) FTEs.

**BACKGROUND:** On September 6, 2016, the City Council adopted a resolution creating the Property Tax Rebate Pilot Program to stimulate economic development activity in certain areas of the City. Basically, the program would provide a five year, 100% rebate of the incremental increase in property taxes on a property if the owner of the property would expend a minimum of \$500,000 on building upgrades/construction. The program also required the creation/retention of a minimum of five jobs.

On April 9, 2018, Fore Right, L.C. filed an application with the City to be considered for the program. Review of the application indicates that they are proposing the construction of a 12,000 square-foot retail building on the eastern portion of their property located at 7160 University Avenue. Fore Right, L.C. has committed to the retention of five (5) full-time positions. Based upon a minimum assessed valuation of \$2,900,000, the property tax rebate would be approximately \$69,807 annually or \$349,035 over the five years of the rebate.

Staff has reviewed their proposal and has found it complete.

The project site is within the Westtown V Urban Renewal Area.

This proposal was reviewed by the Finance & Administration Council Subcommittee and funding from the Property Tax Rebate Program has been recommended for approval.

The site plan for the project was approved by the City Council at the Council meeting on April 2, 2018. The applicant would like to commence construction as soon as possible. To that end, the applicant is requesting authorization from the City Council to be able to request and receive a building permit prior to Development Agreement approval. The Finance and Administration City Council Subcommittee was in favor of granting that approval.

**OUTSTANDING ISSUES:** There are no outstanding issues.

**RECOMMENDATION:** The Finance and Administration City Council Subcommittee is recommending adoption of a resolution approving initiation of the Development Agreement, and authorization to commence building construction.

Lead Staff Member: Clyde Evans, AICP, Community & Economic Development Director

**STAFF REVIEWS**

Department Director	Clyde Evans, Community and Economic Development Director
Appropriations/Finance	Tim Stiles, Finance Director
Legal	
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

Published In	N/A
Date(s) Published	N/A
Letter sent to surrounding property owners	N/A

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Finance & Administration		
Date Reviewed	April 11, 2018		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Exhibit I - Application for assistance under the Property Tax Rebate Program
- Exhibit II - Resolution

Date of Application: 4.9.2018

Address of Development Property: 7160 University Ave

County Assessor District/Parcel Number of Development Property: 1601104002

Located in an existing Urban Renewal Area? If yes, please identify the Area:  
West Lakes

Owner of Development Property (please provide the following information):

Full Legal Name: FORE RIGHT, L.C.

Address (if different from above): 1840 N.W. 118th St, Ste 100 Clive, IA 50525

Nature of Entity (individual, corporation, LLC, etc.): L.C.

If legal entity, identify state of incorp./organization: Iowa

Name and title of signatory to potential Development Agreement on behalf of Owner:

Darin Ferguson, manager

Phone Number: 515.778.6683

E-Mail Address: darin@fergusonres.com

Existing property use (commercial, industrial, retail, office, vacant, other – please specify):

Vacant Land

Proposed property use (commercial, industrial, retail, office, other- please specify):

retail office building (multi-tenant)

Nature of Improvements:  New Construction  Addition  Rehabilitation

Describe proposed Project:

12,000 +/- s.f. building on west portion of the ground

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Estimated Project Start Date: June/July 2018 Estimated Completion Date:

1st Quarter 2019

Please complete the table below with projected expenditures related to this project.

Budget Item	Amount
Building Construction	1,680,000.00
Building Addition	
Building Remodeling	
Machinery & Equipment	
Tenant Improvements (if applicable)	720,000
Technology Investments	
Furniture & Fixtures	TBD
Other Major Investments (specify below)	
<b>TOTAL</b>	

Define and indicate the approximate value of the Project upon completion (only the building and improvement costs that will affect taxable valuation, NOT land, equipment or machinery): 2,400,000.00

How many jobs will this project create or retain?

Create: Full-Time 10 Part-Time \_\_\_\_\_  
 Retain: Full-Time 5 Part-Time \_\_\_\_\_

Will you be applying for a High Quality Jobs or other Agreement with the State? No If so, has an application been filed? \_\_\_\_\_ If yes, please provide a copy.

Does this Project involve the relocation of a business enterprise (or substantial portion thereof) from another Iowa county or city? \_\_\_\_\_ If yes, please explain:

Is the Owner of the Development Property also the Developer for this Project? Yes If not, in response to each item below, please identify the full legal name of the entity, the nature of the entity, its state of incorporation (if applicable) and the name and title of that entity's signatory to any Development Agreement):

Which entity will be responsible for constructing the building/improvements on the Development Property?

Which entity will be entitled to receive the Tax Increment Rebates?



Which entity will occupy and operate the business in the building/improvements?

TBD

Is the owner leasing the building to another entity that is operating the business? Yes If, yes, please explain:

Speculative

Is the Development Property currently subject to any property tax exemption or any other property tax rebate? No If yes, explain: \_\_\_\_\_

Have you applied for any other property tax exemption or rebate for the Development Property? No If yes, explain: \_\_\_\_\_

Does any public official or employee of the City who exercises or has exercised any responsibilities or discretion with respect to the Project, or who is in a position to participate in a decision-making process or gain insider information with regard to the Project, have interest, direct or indirect, in the Project or any contract or subcontract (actual or proposed) in connection with the Project? No If yes, explain: \_\_\_\_\_

**RESOLUTION**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, AUTHORIZING STAFF TO INITIATE THE PREPARATION OF A DEVELOPMENT AGREEMENT FOR ECONOMIC DEVELOPMENT ASSISTANCE CONTRACT BETWEEN FORE RIGHT, L.C., AND THE CITY OF WEST DES MOINES FOR ASSISTANCE UNDER THE PROPERTY TAX REBATE PROGRAM.**

**WHEREAS**, Fore Right, L.C., proposes to undertake the construction of a 12,000 square foot retail building to be located at 7160 University Avenue;

**WHEREAS**, Fore Right, L.C., filed a formal application on April 9, 2018, with the City for financial assistance under the City's Property Tax Rebate Program;

**WHEREAS**, the application for assistance from Fore Right, L.C., has been found complete;

**WHEREAS**, Fore Right, L.C., has committed to retaining 5 full-time jobs;

**WHEREAS**, the Finance and Administration City Council Subcommittee at their meeting on April 11, 2018, recommended that the City Council approve Fore Right, L.C.'s request;

**WHEREAS**, the City is prepared to offer property tax rebates under the Property Tax Rebate Program;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA HAS** directed staff to initiate the preparation of a Development Agreement on behalf of the City with Fore Right, L.C.

**PASSED AND ADOPTED** this 16<sup>th</sup> day of April, 2018.

---

Steven K. Gaer, Mayor

Attest:

---

Ryan T. Jacobson, City Clerk

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE: April 16, 2018**

**ITEM:** Office at the Galleria, 645 S. 60th Street – Extension of Entitlement to allow the construction of a three-story office/bank building - Chilipeppers, LLC – OSP-2006-008

**RESOLUTION:** Approval of Extension of Entitlement for the Office at the Galleria

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** The applicant, Doug Siedenburg, with Chilipeppers, LLC is requesting an extension of entitlement for a site plan to allow construction of an office/bank building to be located at 645 S. 60th Street in the Galleria at Jordan Creek development. The approved site plan for the building proposes the construction of a 3-story, 37,240 sq. ft. office building including a 6,173 sq. ft. bank. The site plan was originally approved by the City Council on May 8, 2006. The following entitlement extensions have been approved:

- On March 24, 2008, the Council extended entitlement to May 8, 2009.
- On April 20, 2009, the Council extended entitlement to May 8, 2010.
- On May 3, 2010, the Council extended entitlement to May 8, 2011.
- On April 4, 2011 the Council extended entitlement to May 8, 2012.
- On April 16, 2012 the Council extended entitlement to May 8, 2013.
- On April 15, 2013 the Council extended entitlement to May 8, 2014.
- On April 7, 2014 the Council extended entitlement to May 8, 2015.
- On April 20, 2015 the Council extended entitlement to May 8, 2016.
- On May 2, 2016 the Council extended entitlement to May 8, 2017.
- On April 17, 2017 the Council extended entitlement to May 8, 2018.

**CITY COUNCIL SUBCOMMITTEE:** This item was not presented to the Development and Planning City Council Subcommittee this year. The entitlement request was presented to the Subcommittee in previous years with the Subcommittee supporting the extension request.

**OUTSTANDING ISSUES:** There are no outstanding issues. The applicant has stated they are in agreement with all of staff's recommended conditions of approval.

**FINDINGS:** This request has been reviewed by city staff, and based upon that review, the following findings have been made:

1. There have been no changes to the provisions of the comprehensive plan or zoning regulations applicable to the project since the approval of the entitlement;
2. There have been no changes in the character of the site or its surroundings which affect how the standards of the comprehensive plan or zoning regulations apply to the project; and,
3. There have been no changes in the character of the site or its surroundings which detrimentally affect the environment.

**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the City Council approve a one-year extension of entitlement for the Office at the Galleria building (OSP-2006-008) to May 8, 2019, subject to the applicant meeting all City Code requirements and the following:

1. Prior to initiating any grading or construction activity on the site, the applicant providing written confirmation to the Building Division that if necessary a current National Pollutant Discharge Elimination System (NPDES) Permit has been obtained from the Iowa Department of Natural Resources (IDNR);
2. Prior to issuance of any occupancy permits, including temporary occupancy permits, the applicant complying with the City's Storm Water Ordinance (adopted November 1, 2007) which requires the

execution of a “Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement” for post-construction storm water issues; and,

3. The applicant acknowledging that the building will have to be constructed in accordance with adopted building and fire codes which are in existence at the time when the building permit is requested.

Lead Staff Member: Lynne Twedt

**STAFF REVIEWS**

Department Director	JK
Appropriations/Finance	
Legal	
Agenda Acceptance	WT

**PUBLICATION(S)** (if applicable)

Published In	n/a
Date(s) Published	n/a
Letter sent to surrounding property owners	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee	n/a		
Date Reviewed			
Recommendation	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Attachment A - Location Map
- Attachment B - Request Letter
- Attachment C - City Council Resolution



# Office at the Galleria Location Map



1:5,870



978.3 0 489.14 978.3 Feet

NAD\_1983\_StatePlane\_Iowa\_South\_FIPS\_1402\_Feet  
© City of West Des Moines, Iowa

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

**Chilipeppers, L.L.C.**  
1350 NW 138<sup>th</sup> Street, Suite 450  
Clive, IA 50325  
Ph: 515-223-6222 Fx: 515-224-6777

Mach 30, 2018

West Des Moines City Council  
City of West Des Moines  
C/O Lynne Twedt  
4200 Mills Civic Parkway  
West Des Moines, IA 50265-0320

Honorable Council Members,

This letter is written on behalf of Chilipeppers, L.L.C., owner of Lot 1 Galleria Jordan Creek Plat #9, an official plat of the City of West Des Moines, Dallas County, Iowa.

The City has approved entitlements for an approximately 36,390 s.f. three-story office building.


With this letter, we respectfully request a one-year extension of the approved site plan.

We are available to answer any questions you may have.

Thank you for your consideration.

Respectfully,

CHILIPEPPERS, L.L.C.



Douglas A. Siedenburg  
Managing Member

cc: Michael Whalen, Member

Prepared by: LTwedt, Development Services, City of WDM, P.O. Box 65320, West Des Moines, IA 50265-0320, 515-222-3620  
 When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

### RESOLUTION

#### **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING AN EXTENSION OF ENTITLEMENT FOR AN APPROVED OVERLAY DISTRICT SITE PLAN (OSP-2006-008) TO CONSTRUCT AN OFFICE BUILDING**

**WHEREAS**, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Chilipeppers LLC, has requested an extension of entitlement to May 8, 2019 for an approved Overlay District Site Plan Development Permit (OSP-2006-008) for that certain 2.44 acre site, located at 645 S60th Street, for the purpose of constructing a three-story office/bank building;

#### Legal Description of Property

LOT 1, GALLERIA AT JORDAN CREEK PLAT 9,  
 CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, on, April 16, 2018, this City Council held a duly-noticed hearing to consider the request for an extension of entitlement to May 8, 2019, for the approved Overlay District Site Plan (OSP-2006-008);

**NOW, THEREFORE**, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report, dated April 16, 2018, or as amended orally at the City Council hearing of April 16, 2018, are adopted.

SECTION 2. EXTENSION OF ENTITLEMENT TO MAY 8, 2019, FOR APPROVED OVERLAY DISTRICT SITE PLAN (OSP-2006-008) is approved, subject to compliance with all the conditions in the staff report, dated April 16, 2018, including conditions added at the Hearing, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on April 16, 2018.

---

Steven K. Gaer, Mayor

ATTEST:

---

Ryan T. Jacobson  
City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on April 16, 2018, by the following vote:

AYES:  
NAYS:  
ABSTENTIONS:  
ABSENT:

ATTEST:

---

Ryan T. Jacobson  
City Clerk



**Exhibit "A"**  
**Conditions of Approval**

1. Prior to initiating any grading or construction activity on the site, the applicant providing written confirmation to the Building Division that if necessary a current National Pollutant Discharge Elimination System (NPDES) Permit has been obtained from the Iowa Department of Natural Resources (IDNR);
2. Prior to issuance of any occupancy permits, including temporary occupancy permits, the applicant complying with the City's Storm Water Ordinance (adopted November 1, 2007) which requires the execution of a "Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement" for post-construction storm water issues; and,
3. The applicant acknowledging that the building will have to be constructed in accordance with adopted building and fire codes which are in existence at the time when the building permit is requested.

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE: April 16, 2018**

**ITEM:**        Motion    -    Approval of Memorandum of Understanding between the City of West Des Moines and the West Des Moines Water Works

**FINANCIAL IMPACT:**    Undetermined.

**SYNOPSIS:**    In 1994 the City of West Des Moines and the West Des Moines Water Works entered into an agreement regarding the joint occupancy of municipal offices in the West Des Moines Public Library. The agreement was amended in 2001 to address the joint occupancy in the newly constructed West Des Moines City Hall. Duration of the agreement was to be for a period of 99 years or until such time that the parties mutually agree that Water Works should relocate. The agreement and amendment to the agreement provide that Water Works pay the City the proportionate cost incurred by the City to construct the space to be occupied by Water Works. Based upon the occupancy by Water Works of 4875 square feet, and payment for an additional 478 square feet for common space, Water Works has paid the City \$832,241.25. The agreement also requires Water Works to continue to pay its proportionate share for on-going maintenance and utility expenses.

Due to the need for additional office space in City Hall to house City operations, a Memorandum of Understanding (MOU) has been drafted to determine the current fair market value of the space occupied by Water Works, should an agreement be reached for Water Works to relocate. The attached MOU establishes 11.9 percent as the proportionate interest of Water Works in City Hall and establishes, through an appraisal process, the monetized value of Water Works' interest.

A Water Works Board of Trustees subcommittee and the City's Finance and Administration subcommittee have both recommended approval of the MOU, with consideration by the full Water Works Board of Trustees to occur on April 16.

**RECOMMENDATION:**    Approve the Memorandum of Understanding between the City of West Des Moines and the West Des Moines Water Works

**Lead Staff Member:** Richard J. Scieszinski, City Attorney 

**STAFF REVIEWS**

Department Director	
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Richard J. Scieszinski, City Attorney
Agenda Acceptance	Ryan T. Jacobson, City Clerk

**PUBLICATION(S) (if applicable)**

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Finance & Administration
Dates Reviewed	April 11, 2018

## MEMORANDUM OF UNDERSTANDING

This Memorandum of Understanding ("Memorandum") is made as of the \_\_\_\_ day of April, 2018 by and between the City of West Des Moines, Iowa ("City") and the West Des Moines Water Works ("Water Works"), both organized and existing under the laws of the State of Iowa.

### WITNESSETH:

WHEREAS, on August 1, 1994 the City and Water Works (hereinafter "Parties") entered into an Agreement regarding the joint occupancy of municipal offices located in the West Des Moines Public Library (hereinafter "Library") and any future joint facility; and

WHEREAS, the Agreement addressed the payment amount, payment terms and space to be occupied as municipal offices by the Water Works in the Library and any future joint facility and provided Water Works the ability to relocate from the Library and any future joint facility upon mutual agreement of the Parties; and

WHEREAS, on June 11, 2001 the Parties approved an Amendment to the Agreement to establish additional terms and conditions regarding the joint occupancy by the Parties of West Des Moines City Hall; and

WHEREAS, consideration is now being given by Water Works regarding relocation from City Hall due to potential space allocation restraints and other logistical issues encountered by City; and

WHEREAS, consistent with the terms and conditions of the Agreement and Amendment to the Agreement, the Parties seek to accurately determine the fair market value of the interest owned by Water Works in the municipal office space located in West Des Moines City Hall; and

WHEREAS, determining the fair market value of the interest owned by Water Works is being done to initiate discussion regarding options available to the Parties and does not signify or require relocation of Water Works from West Des Moines City Hall or termination of the Agreement and Amendment to the Agreement.

NOW, THEREFORE, in consideration of the mutual covenants and agreements set forth herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City and Water Works enter into this Memorandum of Understanding.

### 1. ACKNOWLEDGMENT AND AGREEMENT OF EACH PARTY'S INTEREST.

The Parties acknowledge that the interest acquired by Water Works in the West Des Moines City Hall was derived from the payment made by Water Works to the City for the proportional cost to develop the Library and City Hall sites and construct the improvements as detailed and set forth in Paragraph 2 of the Agreement and Paragraph 3

of the Amendment to the Agreement. The Parties further agree that calculation of the payment to be made by the City to Water Works upon relocation by Water Works from City Hall as provided in Paragraph 7 of the Agreement shall be based upon the current appraised fair market value of City Hall as a free-standing office building and parking lot using the approach determined most appropriate by the appraiser.

2. DETERMINATION OF WATER WORKS INTEREST.

The ownership interest of Water Works in the West Des Moines City Hall shall be 11.9 percent, which is obtained by calculating the percentage total net floor space of 4875 square feet and net common area of 478 square feet for which Water Works paid the City to the total gross floor space of 44,900 square feet comprising City Hall ( $5353 \div 44,900 = 11.9\%$ ). The fair cash market value of the ownership interest of Water Works in City Hall shall be 11.9 percent of the appraised fair market value of City Hall.

3. APPRAISAL.

The Parties agree that Commercial Appraisers of Iowa, an M.A.I. (Member of Appraisal Institute) designated entity ("Appraiser"), will determine the fair market value and prepare an appraisal of City Hall. The appraisal will be the joint-property of each Party, and each Party will be responsible for and pay one half of the total cost of the appraisal.

4. DETERMINATION OF FAIR MARKET VALUE.

The appraisal of Commercial Appraisers of Iowa shall be used to establish the fair market value of City Hall for purposes of determining the proportionate financial interest of Water Works as calculated in Paragraph 2, above. In the event one or both Parties determine that an additional appraisal is necessary, a second M.A.I. appraisal may be obtained. The Parties must mutually agree to the choice of the second appraiser and shall share equally in the cost of the second appraisal. In the event a second appraisal is obtained and the fair market value of the second appraisal deviates no more than ten percent from the fair market value established by Commercial Appraisers of Iowa, the determination of the final fair market value of City Hall shall be the average of the fair market value established by the two appraisals. If, in the event the fair market value established by the second appraisal deviates more than ten percent from the fair market value established by Commercial Appraisers of Iowa, and unless otherwise mutually agreed by the Parties, a third M.A.I. appraisal upon which both Parties mutually agree shall be obtained at equal cost to the Parties. In such an event, the average of the fair market value established by the two appraisals which are closest to each other shall determine the final fair market value of City Hall.

5. OUTSTANDING OBLIGATIONS.

The Parties agree that upon relocation of Water Works from City Hall, the payment made by the City to Water Works shall constitute full, final and complete compensation to

Water Works for its interest in City Hall. The Parties further agree that additional financial obligations of the Parties regarding maintenance and utility costs existing under the Agreement and Amendment to the Agreement, if any, shall be addressed separately.

6. RELOCATION.

The Parties acknowledge that the Agreement and Amendment to the Agreement require the City and Water Works to mutually agree that Water Works relocate from City Hall due to space allocation constraints and/or logistical needs. The parties additionally acknowledge that City has determined additional space is necessary to accommodate current and long-term staffing requirements. The Parties further agree that this Memorandum of Understanding addresses the manner in which the financial interest of Water Works in City Hall is determined, but does not require the relocation of Water Works from City Hall unless there is mutual agreement of the Parties.

7. APPROVAL OF MEMORANDUM OF AGREEMENT.

This Memorandum of Agreement shall be of no force of effect unless and until approved by both the West Des Moines Water Works Board of Trustees and the City Council of the City of West Des Moines.

**IN WITNESS WHEREOF**, the parties have executed this Memorandum of Agreement on the day and year above first written.

**CITY OF WEST DES MOINES, IOWA**

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk

COUNTY OF POLK            )  
  ) ss  
STATE OF IOWA            )

This document was acknowledged before me on this \_\_ day of April, 2018 by Steven K. Gaer and Ryan T. Jacobson, Mayor and City Clerk, respectively, as approved by the City Council of the City of West Des Moines in Resolution \_\_ on April \_\_, 2018, and on behalf of whom this record was executed.

\_\_\_\_\_  
Notary

**WEST DES MOINES WATER WORKS**

\_\_\_\_\_  
Brian P. Rickert, Chair  
Board of Trustees

ATTEST:

\_\_\_\_\_  
Secretary

COUNTY OF POLK            )  
  ) ss  
STATE OF IOWA            )

This document was acknowledged before me on this \_\_ day of April, 2018 by Brian P. Rickert and \_\_\_\_\_, Chair and Secretary, respectively, as approved by the West Des Moines Board of Water Works Trustees in Resolution \_\_\_ on April \_\_, 2018, and on behalf of whom this record was executed.

\_\_\_\_\_  
Notary

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE:** April 16, 2018

**ITEM:** Proclamation – Earth Day – April 22, 2018

**FINANCIAL IMPACT:** None

**BACKGROUND:** The attached proclamation designates Sunday, April 22, 2018 as Earth Day. This proclamation is to promote awareness about outdoor recreation and environmental education in West Des Moines.



**OUTSTANDING ISSUES:** None

**RECOMMENDATION:** That the Council approve the proclamation designating Sunday, April 22, 2018 as Earth Day in West Des Moines.

**Lead Staff Member:** David Sadler, Superintendent of Parks



**STAFF REVIEWS**

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

**PUBLICATION(S)** (if applicable)

Published In	N/A
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee	N/A		
Date Reviewed			
Recommendation	Yes	No	Split

## PROCLAMATION

**WHEREAS**, on the first Earth Day in 1970, 22 million Americans celebrated clean air, land, and water;

**WHEREAS**, Earth Day, created by Senator Gaylord Nelson, led to the creation of the United States Environmental Protection Agency with the passing of the Clean Air, Clean Water, and Endangered Species Acts;

**WHEREAS**, activities on Earth Day are designed to create awareness of environmental issues and promote healthy living;

**WHEREAS**, environmental education is critical for our youth in an ever changing world of technology;

**AND, WHEREAS**, living a healthy lifestyle and connecting with nature through participation in outdoor recreation provides mental and physical well-being and fosters stewardship.

**NOW, THEREFORE**, I, Mayor of the City of West Des Moines, do hereby proclaim April 22, 2018 as **EARTH DAY** in the City of West Des Moines, and I, Mayor Steven K. Gaer urge all citizens to celebrate Earth Day and support efforts to promote environmental education and living a healthier lifestyle through connections with nature.

Dated April 16, 2018.

---

Steven K. Gaer, Mayor

ATTEST:

---

Ryan Jacobson, City Clerk



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE:** April 16, 2018

**ITEM:** Proclamation – Arbor Day – April 27, 2018

**FINANCIAL IMPACT:** None



**BACKGROUND:** The attached proclamation designates Friday, April 27, 2018 as Arbor Day. This proclamation is necessary in order for the City to qualify as a Tree City USA. It also demonstrates the City's commitment to trees and tree planting.

**OUTSTANDING ISSUES:** None

**RECOMMENDATION:** That the Council approve the proclamation designating Friday, April 27, 2018 as Arbor Day in West Des Moines.

**Lead Staff Member:** John Olds, Urban Forestry Supervisor

**STAFF REVIEWS**

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

**PUBLICATION(S)** (if applicable)

Published In	N/A
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee	N/A		
Date Reviewed			
Recommendation	Yes	No	Split

## **PROCLAMATION**

**WHEREAS**, in 1872 J. Sterling Morton proposed to the Nebraska Board of Agriculture that a special day be set aside for the planting of trees, and

**WHEREAS**, this holiday, called Arbor Day, was first observed with the planting of more than a million trees in Nebraska, and Arbor Day is now observed throughout the nation and the world, and

**WHEREAS**, trees can reduce the erosion of our precious topsoil by wind and water, cut heating and cooling costs, moderate the temperature, clean the air, produce oxygen and provide habitat for wildlife, and

**WHEREAS**, trees in our city increase property values, enhance the economic vitality of business areas, beautify our community and provide a source of joy and renewal,

**NOW, THEREFORE**, I, Mayor of the City of West Des Moines, do hereby proclaim April 27, 2018, as

### **ARBOR DAY**

in the City of West Des Moines, and I, Mayor Steven K. Gaer urge all citizens to celebrate Arbor Day and support efforts to protect our trees and woodlands and to plant trees to promote the well-being of this and future generations.

Dated this 16<sup>th</sup> day of April, 2018.

---

Steven K. Gaer, Mayor

ATTEST:

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Ryan Jacobson, City Clerk

**NO CHANGE FROM PREVIOUS READING**

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**Date: April 16, 2018**

**ITEM:** Browns Woods Hollow – West of Veterans Parkway and South of Browns Woods Drive – Rezone property from Residential Medium Density (RM-8) to Browns Woods Hollow PUD with underlying zoning of Single Family Residential (R-1) – City Initiated – ZC-003792-2018

**ORDINANCE: Approval of Second Reading, Waive Third Reading, and Adopt in Final Form**

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** The City of West Des Moines is requesting the approval of the zone change from Residential Medium Density (RM-8) to Browns Woods Planned Unit Development (PUD) with underlying zoning of Residential Single Family (RS-5).

Previous Council Action:

Vote: 5-0 approval

Date: April 2, 2018

Motion: Approval of the First Reading of the Ordinance

The City Council also adopted a resolution to change the land use of the subject property from Medium Density Residential to Single Family Residential.

**OUTSTANDING ISSUES:** There are no outstanding issues.

**RECOMMENDATION – REZONING REQUEST:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the City Council approve the second reading, waive the third reading and adopt the Browns Woods Hollow PUD Ordinance in final form.

Lead Planner: Mackenzie Locey

**Staff Reviews:**

Department Director	<i>ML</i>
Appropriations/Finance	<i>LS</i>
Legal	<i>[Signature]</i>
Agenda Acceptance	<i>[Signature]</i>

**PUBLICATION(S) (if applicable)**

Published In	Des Moines Register Community Section
Date(s) Published	March 16, 2018
Letter sent to surrounding property owners	March 9, 2018

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Development & Planning		
Date Reviewed	March 5, 2018		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

Exhibit I - Proposed Ordinance  
Attachment A - Sketch plan

Prepared by: M. Locey, Development Services, P.O. Box 65320, West Des Moines, IA 50265-0320, (515)222-3620  
When Recorded, Return to: City Clerk, City of West Des Moines, P.O. Box 65320, West Des Moines, IA 50265-0320

**ORDINANCE NO.**

**AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP AND THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA, 2014, BY AMENDING TITLE 9, ZONING, CHAPTER 9, PLANNED UNIT DEVELOPMENT DISTRICT, PERTAINING TO P.U.D. (PLANNED UNIT DEVELOPMENT) DISTRICT REGULATIONS AND GUIDELINES.**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:**

**SECTION 1. AMENDMENT:** Amend the Zoning Map of the City of West Des Moines, Iowa, by changing the following legally described property from "Unzoned" to **Browns Woods Hollow Planned Unit Development (PUD)** of West Des Moines, Iowa:

**Legal Description**

A TRACT OF LAND BEING A PART OF THE NORTHWEST 1/4 OF SECTION 26, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M., WEST DES MOINES, POLK COUNTY, IOWA. SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST 1/4 CORNER OF SECTION 26, TOWNSHIP 78 NORTH, RANGE 25 WEST OF 5TH P.M., WEST DES MOINES, POLK COUNTY, IOWA; THENCE S00°18'26"E, 420.19 FEET ALONG THE WEST LINE OF SAID SECTION 26; THENCE S89°34'26"E, 1716.54 FEET TO THE WESTERLY RIGHT-OF-WAY OF VETERANS PARKWAY AS IT IS PRESENTLY ESTABLISHED AND TO A NON-TANGENT 1554.52 FEET RADIUS CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY 452.09 FEET ALONG SAID WESTERLY RIGHT-OF-WAY AND SAID CURVE, SAID CURVE HAS A CHORD LENGTH OF 450.50 FEET AND A CHORD BEARING OF S24°04'33"W, TO THE SOUTH LINE OF SAID NORTHWEST 1/4 ; THENCE N89°5 1 ' 1 4"W, 1529.98 FEET ALONG SAID SOUTH LINE TO THE WEST 1/4 CORNER OF SECTION 26 AND THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 15.623 ACRES MORE OR LESS.

SAID TRACT OF LAND BEING SUBJECT TO ALL EASEMENTS OF RECORD.

**SECTION 2. SKETCH PLAN:** Attached hereto and made a part of this rezoning approval, for concept description and delineation is the Sketch Plan document for the Browns Woods Hollow PUD marked Exhibit "A". Wherever conflict occurs between the written text in this document and the notations on the Sketch Plan, the written text shall prevail. The Sketch Plan is a graphic representation of the property included in the PUD delineating the approximate location and configuration of the Parcels for the purpose of easier reference for the applicable regulations of this Ordinance.

**SECTION 3. REQUIRED PLANS:** Prior to or in conjunction with development or transfer of ownership of any portion of the property covered by this PUD, the following plans shall be required:

- A. Preliminary Plat and Final Plat: The area included within the PUD shall be platted in accordance with the City's Subdivision Ordinance. Parcels identified on a plat as Outlots shall be unbuildable until such time that the Outlot is re-platted into a developable lot via the Preliminary and Final Platting processes.

**SECTION 4. CONDITIONS:** Whereas, Title 9, Chapter 9, PUD Planned Unit Development District of the City Code, establishes certain regulations and guidelines pertaining to accompanying information required on plat and site plan documents. Now, therefore, the following conditions, restrictions, and regulations are adopted as part of this approval:

- A. General Conditions: In addition to the PUD Sketch Plan Map, the following general development criteria shall be integrated into and made a part of this planned unit development.
1. General Conformance To Subdivision Ordinance: All subdivisions, public and private streets, public or private street rights-of-way and general development shall adhere to the standards and design criteria set forth in the West Des Moines Subdivision Ordinance and/or established City policies pertaining thereto, unless otherwise stated within this Ordinance.
  2. General Conformance to Zoning Ordinance: Unless otherwise specified herein, the development of the Browns Woods Hollow PUD shall comply with the provisions of the West Des Moines Zoning Ordinance.
  3. Flood Hazard: In all areas within a 100-year frequency flood hazard zone, or adjoining drainage ways, and detention ponding areas involving potential flood hazards, no building shall be erected which has a lowest level floor, including basements, less than one foot (1') above the determined level of the 100-year frequency flood event. Buildings shall not be permitted within twenty five feet (25') of any easement or property boundary of a major drainage way, storm water detention basin or pond unless said location is approved as part of the development entitlement by the city council and said building is structurally designed accordingly.
  4. Developer Responsibilities: The Developer, their successors and/or assigns, if any, shall pay all planning, engineering, and construction costs for the development of the planned unit development, as required by this Ordinance and approved site plans and the cost of all streets, storm sewers, sanitary sewers, drainageway improvements, detention basins, water mains, buffers and other improvements as required for rights-of-way or public easements within the Browns Woods Hollow PUD, unless otherwise approved by the City Council.
  6. Sanitary Sewer: Any proposed change in approved land use densities for the PUD will require an analysis of the downstream sanitary sewer capacity to assure that adequate capacity is available for the proposed change in approved land use densities.
  7. Street Lighting: The Developer shall be responsible for all costs associated with the installation of public street lights within or adjacent to any area proposed to be platted or included within a development.
  8. Mailboxes: The Developer shall be responsible for installation of any required Cluster Box Units (CBUs / mailboxes) as per the local U.S. Postal Service Post Office.

**SECTION 5. PARKLAND DEDICATION:** An area of land calculated by a set formula based upon the density (total number of dwelling units) of the proposed development is required to be dedicated for purposes of a public park and greenway as per city code. A Parkland Dedication Agreement, acceptable to the Parks and Recreation Department, detailing the specifics related to the Parkland Dedication requirements for the development of any area contained within the PUD is required prior to the associated Final Plat being approved.

**SECTION 6. MASTER PROPERTY OWNERS ASSOCIATION:** If deemed applicable, proper action shall be taken to establish a master property owners association. The Browns Woods Hollow property owners association shall be responsible for the ongoing upkeep and maintenance of any privately owned common grounds such as the buffer parks, storm water detention facilities, greenways, plazas and other common space, as outlined in the association documents and any other specific development improvements noted as their responsibility in this ordinance.

**SECTION 7. LAND USE DESIGN CRITERIA:** In addition to the general criteria as stated above, the following land use regulations, development standards, and design criteria shall apply to the development of all areas designated on the Sketch Plan:

- A. Parcel A: All general use regulations and provisions set forth in Title 9, Zoning of the West Des Moines City Code for Residential Single Family (RS-5) zoning district shall apply to Parcel A as identified on the PUD sketch (Exhibit A), unless noted otherwise in this ordinance.
  - 1. All lots shall be a minimum of fifty feet (50') in width, except corner lots which shall provide an additional 25'. No additional lot width shall be required on those non-corner lots which exceed 5,000 square feet in lot size.
  - 2. Side yard setbacks will be seven (7) feet minimum to the foundation of the building, no portion of the structure (overhangs, eaves, bay windows, fire boxes, egress windows, and the like) shall encroach into this setback more than two (2) feet.

**SECTION 8. ARCHITECTURE:** The intent is to provide a variety of building façades throughout this development for visual interest. This may be accomplished by such things as variety of building types, attention in application of exterior building details, use of various window and doors styles, change in building mass or roof forms, and varied use of materials and colors.

- A. Buildings should use materials such as brick, stone, stucco, siding or shakes, decorative trim or combination of materials to enhance architectural style and building elements. Exterior designs should implement appropriately scaled trim to provide detailing, rationalize façade changes, and provide visual interest. Changes in materials should generally be aligned with changes in plane or roof form to emphasize these changes in building mass. Structural elements such as posts or columns shall be sized to the scale of the building and detailed appropriately to the style. When used, masonry materials shall start and stop at changes in wall plane or wrap corners a suitable distance to give authenticity to the material. Fenestration (door and window openings) shall be sized to the scale of the building and be compatible to the chosen architectural style.
- B. Entrances into buildings should be easily identified through the use of building design and detailing. Buildings in which the garage projects in front of the main plane and/or entry to the house should look for ways to draw visual attention to the entry and away from the garage. Projected or recessed entryways, porches or extended rooflines along with changes in building material are examples that can create this effect.
- C. Detached garages should be clad in the same materials and incorporate similar architectural details of the primary buildings with the use of roof forms, windows, doors and other facade detailing.

**SECTION 9. LANDSCAPING:** Buffering between districts or parcels and uses shall be required as set forth in Title 9, Chapter 5 and Chapter 19 of the Zoning Ordinance, except as noted otherwise in this Ordinance.

- A. All double frontage lots shall provide a minimum 30' buffer in accordance with city code. Rear yard setbacks for single family lots are measured from the interior boundary of the buffer.
- B. No buffer shall be required along the western boundary of the property.
- C. A 30' Buffer Park shall be provided for all lots adjacent to Veterans Parkway, with landscaping according to Title 9, Chapter 19.
- D. If the parcel to the south is already developed as Residential Medium Density at the time of the development of this parcel, a 30' Buffer Park shall be required along the southern boundary of the parcel due to this change of land use to a lesser density land use than the property to the south. If the property to the south is approved for a zone change to a lesser density, then the buffer is no longer required.
- E. Trees that will encroach into any vehicle or pedestrian use area or travel lane shall be of a variety that will accommodate pruning to allow for the minimum clearance height (fourteen feet (14') over vehicle travel lanes; eight feet (8') over pedestrian travel lanes) without adversely affecting the overall natural shape of the variety. Maintaining trees to these clearance levels is the responsibility of the property owner.
- F. No vegetation which obstructs visibility shall be located within the site triangle of intersecting streets and drives.

**SECTION 10. SIGNAGE REGULATIONS:** Signage shall comply with all provisions and standards of Title 9, Chapter 18 of the West Des Moines City Code for the Residential Single Family (RS-5) zoning district.

**SECTION 11. STORM WATER MANAGEMENT:** Storm Water Management Plans prepared by a Professional Engineer licensed in the State of Iowa, will be required in conjunction with the submittal of a Preliminary Plat. All Storm Water Management Plans shall comply with the City's current design standards for storm water management. The method of storm water management and the storm water conveyance system shall be determined prior to City approval of any development proposal.

At time of platting ownership and repair and maintenance responsibility for all storm water detention areas and private storm water detention outlet structures will need to be established through the execution of a Storm Water Facility Maintenance Agreement.

**SECTION 12. PUBLIC IMPROVEMENTS AND RIGHT-OF-WAY DEDICATION:** The developer shall be responsible for constructing and/or installing the public infrastructure necessary to support development within the subdivision in a manner that will assure that the public infrastructure functions at an acceptable level of service (per the City's Comprehensive Plan) and that will comply with all City Ordinances. At the time of subdivision platting into developable lots, the subdivider shall construct, provide the necessary surety or city acceptable agreements to provide for the construction and/or installation of all required public infrastructure improvements in accordance with the City's Subdivision Ordinance.

**SECTION 13. TRAFFIC REPORTS:** A Traffic Impact Study (Traffic Report) dated February 20, 2018, has been prepared by the City of West Des Moines for the Browns Woods Hollow development. The Traffic Report caps the traffic generated from all property within this PUD at 489 average daily trips, with 36 AM peak hour trips and 46 PM peak hour trips. The Traffic Report, along with previous studies for the area, outlines the ultimate geometry for the major roadways in the vicinity of the Browns Woods Hollow development. Prior to, or in conjunction with the subdivision of any parcel, or portion of a parcel, the Developer shall have the traffic report reviewed by the City's traffic consultant to ensure that the provisions and assumptions of the original traffic report are still valid and applicable.

**SECTION 14. SAVINGS CLAUSE:** If any section, provision, sentence, clause, phrase or part of the Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

**SECTION 15. EFFECTIVE DATE:** This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

Approved and passed by the City Council on the \_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

**ATTEST:**

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk

I certify that the foregoing was published as Ordinance No. \_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk

# ATTACHMENT A

## Browns Woods Hollow Planned Unit Development



- Legend**
- Corporate Limits
  - Parcels



1: 9,028

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

1,504.7 0 752.33 1,504.7 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© City of West Des Moines, Iowa



**NO CHANGE FROM PREVIOUS READING****CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION****Date: April 16, 2018**

**ITEM:** Jordan Creek Town Center PUD Amendment, 101 Jordan Creek Parkway – Amend the Jordan Creek Town Center PUD (Planned Unit Development) to modify architectural requirements, allow an additional architectural tower, and regulate signage within the north village district of the Jordan Creek Town Center development– Hy-Vee, Inc. – ZC-003790-2018

**ORDINANCE: Approval of Second Reading, Waive Third and Adopt in Final Form**

**FINANCIAL IMPACT:** None

**BACKGROUND:** The applicant, Hy-Vee Inc. with permission of the owner, GGP Jordan Creek LLC, is requesting an amendment to the Jordan Creek Town Center Planned Unit Development (PUD) to modify architectural requirements to allow for more individual business façade designs, materials, and colors, allow incorporation of an additional architectural tower, and regulate signage within the north village district of the Jordan Creek Town Center development. The applicant is planning to locate a Wahlburgers Restaurant in the existing tenant space south of Bar Louie (the former Family Christian Store space). The applicant is proposing to renovate the building's exterior and add an enclosed patio. The renovation includes a new architectural tower and new building finishes, materials, and colors to complement their branded identity.

Previous Council Action:

Vote: 5-0 approval

Date: April 2, 2018

Motion: Approval of the First Reading of the amendment to City Code as reflected in Option B.

City Council Discussion: At the April 2, 2018 meeting, staff provided two different PUD Ordinance amendments. Amendment Option A reflected the Plan and Zoning Commission's direction on signage and Amendment Option B reflected that originally proposed by staff and provided for wall and projecting signage consistent with the adopted sign code. Staff did not support a deviation from the City sign code requirement as proposed in the Commission's action since the revised sign code was just approved last year, other businesses have abided by the requirements, and there is a way to construct the Wahlburgers' signs that meet code without changing their logo. The City Council agreed with staff that the signage can and should be constructed in accordance with the adopted sign code and voted to approve Option B as provided.

The applicant has since submitted cut sheets for a revised logo sign and projecting sign that will meet the sign code requirements and also the requirements of the Jordan Creek Town Center PUD.

**OUTSTANDING ISSUES:** There are no outstanding issues.

**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the City Council approve the second reading, waive the third reading and adopt the amendment to the Jordan Creek Town Center PUD (Planned Unit Development) to modify architectural requirements, allow an additional architectural tower, and regulate signage within the north village district of the Jordan Creek Town Center development.

Lead Staff Member: Brian Portz, Planner **BP**

**STAFF REVIEWS:**

Department Director	JA
Appropriations/Finance	
Legal	
Agenda Acceptance	JS (R)

**PUBLICATION(S) (if applicable)**

Published In	Des Moines Register	
Date(s) Published	March 16, 2018	
Letter sent to surrounding property owners	March 16, 2018	

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Planning and Development		
Date Reviewed	January 22, 2018 and February 20, 2018		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

Exhibit I - Proposed Ordinance

Prepared by: B. Portz, Development Services, PO Box 65320 West Des Moines IA 50265-0320 (515) 222-3630  
When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

**ORDINANCE NO.**

**AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA 2014, AND ORDINANCE #1219, #1447, #1481, #1578, #1586, #1939, #1986, #2016 AND #2023 PERTAINING TO P.U.D. (PLANNED UNIT DEVELOPMENT) DISTRICT REGULATIONS AND GUIDELINES TO AMEND THE JORDAN CREEK TOWN CENTER PLANNED UNIT DEVELOPMENT (PUD) TO MODIFY ARCHITECTURE AND SIGN REGULATIONS**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:**

**SECTION 1. AMENDMENT.** Amend Ordinances #1219, #1447, #1481, #1578, #1586, #1939, #1986, #2016 and #2023, **Jordan Creek Town Center PUD**, Section 047-06 (*Conditions*), Subsection B (*Land Use Design Criteria*), Subsection 3 (*Parcel 3*), Subsection d (*Architecture*) by adding the text in bold italic lettering:

d. Architecture: The architectural design of any building shall be acceptable to the city. The primary elements of the exterior of all buildings in parcel 3 shall be face brick. The city council, after having received a recommendation from the plan and zoning commission, shall determine the appropriateness of an architectural material when used as a building element as to whether the material enhances the physical appearance of the development, or provides continuity desired to unite all structures within the development into one project concept.

***Multi-Tenant Buildings: It's the intent of the North Village District of parcel 3 to develop into a vibrant and eclectic main street atmosphere. It is anticipated that individual tenants may want to incorporate materials, colors, details or an architectural style that is specific to the tenant's corporate identity. Incorporation of these elements into the existing context is encouraged, however prototypical franchised architecture is not permitted. Use of bright, attention getting materials and color choices should be limited to accent areas to avoid expensive alterations of the façade with the transition of tenants.***

Attention should be paid to breaking up solid walls by incorporating window elements, introduction of multiple planes, and articulation of surfaces through the use of various materials. ***Tower elements may be incorporated as an enhancement of the architectural design of the building or tenant space.*** Elements of a streetscape should be provided within the development where possible. Such elements may include individual storefronts; sidewalks and sidewalk amenities such as benches; planters; or other design elements; themed pedestrian scale lighting and signage, and awnings.

**SECTION 2. AMENDMENT.** Amend Ordinances #1219, #1447, #1481, #1578, #1586, #1939, #1986, #2016 and #2023, **Jordan Creek Town Center PUD**, Section 047-07 (*Signage Regulation*), Subsection F (*Wall Signs*), Subsection 3 (*Multi-Tenant Buildings*) by deleting the highlighted strikethrough text and replacing with the text in bold italic lettering:

~~3. Multi-Tenant Buildings: Wall signs allowable for multi-tenant buildings in parcel 3 shall be determined under the sign ordinance. Within the north village district, signage for one tenant within the building may be placed on the tower element above the main roof of the building if the following criteria can be met:~~

- ~~a. The tenant occupies a minimum of forty three percent (43%) of the gross floor area of the building;~~
- ~~b. No other current tenant has already placed a sign on the tower;~~
- ~~c. The sign may be designed as a panel sign with a translucent sign face;~~
- ~~d. The size of the sign shall be included in the total allowed for the tenant space of the advertised tenant and may be transferred to the tower if the tenant is not the tenant immediately below the tower element.~~

**3. Multi-Tenant Buildings: Wall signs allowable for multi-tenant buildings in parcel 3 shall be determined under the sign ordinance. Within the north village district, signage may be placed on tower elements above the main roof of the building if the following criteria can be met:**

- a. Each tower element contains identification for only one tenant.**
- b. Panel signs are contoured to the shape of the logo minimizing the amount of panel area and shall provide a 3-dimensional projection from the background of the surrounding sign area.**
- c. The contoured panel portion of signs on towers may be internally illuminated, however, the background within the sign shall be opaque and may not be internally illuminated. Halo lighting from the dimensional portion of the sign may be allowed to provide subtle background illumination within the sign or the wall behind the sign. Architectural lighting shall be permitted when incorporated as a building accent and shall not be considered part of a tower sign.**
- d. The maximum square footage of signage on each tower does not exceed 40 square feet. The square footage of signage placed on the tower shall be included in the total square footage of allowed wall signage for the tenant space of the advertised tenant and may be transferred to the tower even if the tenant is not the tenant immediately below the tower element.**

**SECTION 3. SAVINGS CLAUSE.** If any section, provision, sentence, clause, phrase or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

**SECTION 4. VIOLATIONS AND PENALTIES.** Any person who violates the provisions of this Ordinance upon conviction shall be punished as set forth in title 1, Chapter 4, Section 1 and Section 2 of the City Code of the City of West Des Moines, Iowa.

**SECTION 5. OTHER REMEDIES.** In addition to the provisions set out in the Violations and Penalties Section herein, the City may proceed in law or equity against any person, firm, or corporation for violation of any section or subsection of this Ordinance.

**SECTION 6. EFFECTIVE DATE.** This Ordinance shall be in full force and effect from and after its passage, approval, and publication as provided by law.

Approved and passed by the City Council on the \_\_\_\_ day of \_\_\_\_\_, 2018

\_\_\_\_\_  
Steven K. Gaer, Mayor

**ATTEST:**

\_\_\_\_\_  
Ryan Jacobson  
City Clerk

I certify that the foregoing was published as Ordinance No. \_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
Ryan Jacobson  
City Clerk

**NO CHANGE FROM PREVIOUS READING**

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**Date: April 16, 2018**

**ITEM:** Amendment to City Code – Amend Title 9 (Zoning), Chapter 2 (Zoning Rules and Definitions) and Chapter 10 (Performance Standards) to regulate membrane structures in General Industrial and Light Industrial districts – West Des Moines Water Works (AO-003771-2018)

**ORDINANCE:** Approval of Second Reading of Ordinance, Waive Third Reading and Adopt in Final Form

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** West Des Moines Water Works requests an amendment to the following noted chapters and sections of Title 9 (Zoning) to permit and identify regulations pertaining to membrane structures.

- Title 9 (Zoning):
  - Chapter 2 (Zoning Rules and Definitions), Section 2 (Definitions)
  - Chapter 10 (Performance Standards), Section 4 (Specific Use Regulations)

The applicant is proposing to construct a membrane structure over an existing stockpile of materials at 300 S. 16<sup>th</sup> Street. The zoning of the property is General Industrial. Current code does not allow permanent membrane structures anywhere in the City. Through discussions with staff, the applicant is requesting to amend city code to allow membrane structures in the General and Light Industrial districts within the City.

Previous Council Action:

Vote: 4-0 approval, with Councilmember Trevillyan abstaining  
Date: April 2, 2018  
Approval of the First Reading of the Ordinance.

**OUTSTANDING ISSUES:** There are no outstanding issues

**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the City Council approve the second reading, waive the third reading and adopt the Ordinance in final form, subject to the applicant meeting all City Code requirements

Lead Planner: Brian Portz, AICP 

**Staff Reviews:**

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

Published In	Des Moines Register	
Date(s) Published	March 16, 2018	
Letter sent to surrounding property owners		N/A

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Development & Planning		
Date Reviewed	March 19, 2018		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

Exhibit I - Ordinance

Prepared by: B. Portz, West Des Moines Development Services, PO Box 65320, West Des Moines, IA 50265, 515-222-3620  
When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

ORDINANCE NO.

**AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA, 2014, TITLE 9 (ZONING), CHAPTER 2 (ZONING RULES AND DEFINITIONS), SECTION 2 (DEFINITIONS), AND CHAPTER 10 (PERFORMANCE STANDARDS), SECTION 4 (SPECIFIC USE REGULATIONS), TO ALLOW MEMBRANE STRUCTURES IN THE GENERAL AND LIGHT INDUSTRIAL DISTRICTS**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:**

**Section 1. Amendment.** Title 9: Zoning, Chapter 2 (*Zoning Rules and Definitions*), Section 2 (*Definitions*) is hereby amended by adding the text in bold italic lettering in alphabetical order:

**HOOP HOUSE:** A building or accessory structure constructed of a framework of hoops or bows and covered by light weight translucent materials, which is devoted only to the protection or cultivation of flowers or other tender plants and are considered seasonal in nature (*in service up to 180 days*). Hoop houses cannot be utilized for the storage of items or vehicles. Semi-opaque or opaque material cannot be utilized as a covering material.

**MEMBRANE STRUCTURE:** *A building or accessory structure constructed partially or completely with a fabric membrane supported by air, cables, structural frames or tensile frames, which is devoted to the protection of bulk materials such as gravel, road stone, roadway salt, sand, soil, etc., and are considered permanent in nature (in service greater than 180 days). A tent or hoop house, as defined elsewhere in this Title, shall not be considered a membrane structure. See Chapter 10 of this Title for specific requirements for Membrane Structures.*

**Section 2. Amendment.** Title 9: Zoning, Chapter 10 (*Performance Standards*), Section 4 (*Specific Use Regulations*), Subsection K is hereby amended by adding the text in bold italic lettering:

K. The Following Standards Shall Apply To All Industrial Districts Unless Noted Otherwise Within This Title:

9. **Membrane Structures:** *Membrane Structures are allowed only in General Industrial and Light Industrial zoning districts for the storage of bulk materials and limited equipment necessary to load, unload, or move said materials. Structures must have foundations and/or sidewalls constructed with durable materials to the anticipated material height at the exterior walls and be designed to withstand the loads and impacts related to the storage, loading, and unloading of bulk materials. Membrane cladding and the related support structure can only be utilized for the portion of the structure not subject to bulk material loads or impacts, and must have a minimum of a 10 year useful life. In the event that the membrane structure becomes torn or falls into disrepair, it shall be removed or replaced. Failure to do so will be considered a public nuisance and the structure will be abated in accordance with Title 4, Chapter 4, "Nuisances", of this code. Structures must meet all adopted building and fire codes and comply with applicable setback and bulk regulations for the specific zoning district*

*where they are located. In addition to the size of each structure(s) and materials being stored, structures located within 20' of another shall be treated as one for the purposes of determining fire suppression requirements.*

**Section 3. Repealer.** All ordinances or parts of ordinances in conflict with the provision of this ordinance are hereby repealed.

**Section 4. Savings Clause.** If any section, provision, sentence, clause, phrase or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

**Section 5. Violations and Penalties.** Any person who violates the provisions of this Ordinance upon conviction shall be punished as set forth in Section 1-4-1 of the City Code of the City of West Des Moines, Iowa.

**Section 6. Other Remedies.** In addition to the provisions set out in the Violations and Penalties Section herein, the City may proceed in law or equity against any person, firm or corporation for violation of any section or subsection of this Ordinance.

**Section 7. Effective Date.** This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

Passed by the City Council on the \_\_\_\_ day of \_\_\_\_\_, 2018, and approved this \_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T Jacobson  
City Clerk

The foregoing Ordinance No. \_\_\_\_\_ was adopted by the Council for the City of West Des Moines, Iowa, on \_\_\_\_\_, 2018, and was published in the Des Moines Register on \_\_\_\_\_, 2018.

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**NO CHANGE FROM PREVIOUS READING**

**DATE: April 16, 2018**

**ITEM:**           **Ordinance** –     Second reading, waiver of third reading, and final approval of the vacation of a portion of Wendover Road and public roadway easement

**FINANCIAL IMPACT:** None

**SYNOPSIS:**     In 1995 a 150-foot public roadway easement was platted for use as future street right of way as part of the Rebel Ridge Estates Final Plat. In October, 2015 the West Des Moines City Council approved the construction of the 105th Street Improvements (n/k/a Grand Prairie Parkway) located between Wendover Road and Mills Civil Parkway, allowing the public roadway easement and a portion of Wendover Road to be vacated. In acquiring property for the 105<sup>th</sup> Street Improvements, the City negotiated an agreement with the Robert F. Etzel Living Trust that provided that the City convey the vacated portion of Wendover Road to the Trust and terminate the public roadway easement. Upon termination of the easement, all rights will revert to the Robert F. Etzel Living Trust, as underlying fee owner.

**RECOMMENDATION:**

Approve - Second reading, waive the third reading, and final approval of the Ordinance vacating a portion of Wendover Road.

**Lead Staff Member:**     Richard J. Scieszinski, City Attorney 

**STAFF REVIEWS**

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

Published In	Dallas County News
Dates(s) Published	March 28, 2018

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	
Date Reviewed	
Recommendation	

**ORDINANCE**  
**(Type of Document)**

---

**Preparer Information:**            **Richard J. Scieszinski, City Attorney**  
   **4200 Mills Civic Parkway**  
   **PO Box 65320**  
   **West Des Moines, IA 50265**  
   **515-222-3614**

**Taxpayer Information:**    **N/A**

**Return Document To:**            **City Clerk**  
   **City of West Des Moines**  
   **PO Box 65320**  
   **West Des Moines IA 50265**  
   **515-222-3603**

**Grantors:**                            **N/A**

**Grantees:**                          **N/A**

**Legal Description:**                **as shown on the attached**

**Related documents:**            **Resolution Approving Plat of Survey recorded in Book 2018 Page \_\_\_\_\_ and**  
   **Plat of Survey recorded in Book 2018 Page \_\_\_\_\_.**

**CHAD C. AIRHART**  
**DALLAS COUNTY RECORDER**  
**801 COURT STREET RM 203**  
**ADEL, IOWA 50003**  
**Phone # 515-993-5804**  
**Fax # 515-993-5970**

Prepared by: Richard J. Scieszinski, City Attorney, PO Box 65320, West Des Moines, IA 50265-0320 (515) 222-3614  
Return to: City Clerk, City of West Des Moines, P.O. Box 65320, West Des Moines IA 50265 (515) 222-3600

SPACE ABOVE THIS LINE FOR RECORDER

ORDINANCE NO. \_\_\_\_\_

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:

**SECTION 1.** Pursuant to Title 7, Chapter 1, Section 10 of the West Des Moines Code of Ordinances, "VACATION AND DISPOSAL," it has been determined that the following City right-of-way is no longer necessary for public use and that vacation of the right-of-way will not deny access to abutting property:

That portion of Wendover Road, West Des Moines, Dallas County, Iowa, legally described as follows:

A parcel of land located in Lot A of Rebel Ridge Estates, an Official Plat, now included in and forming a part of the City of West Des Moines, Dallas County, Iowa, more particularly described as follows:

Commencing at the Northeast Corner of the Northwest Quarter of the Northeast Quarter of Section 16, Township 78 North, Range 26 West of the Fifth Principal Meridian, thence South 83°51'08" West, 42.89 feet along the North Line of said Northwest Quarter of the Northeast Quarter to the Point of beginning; thence South 01°10'42" West, 45.37 feet to the South line of Lot A of Rebel Ridge Estates; thence South 83°51'08" West, 444.38 feet along said South line; thence North 26°45'14" East, 53.60 feet to said North line of the Northwest Quarter of the Northeast Quarter; thence North 83°51'08" East, 421.05 feet along said North line to the Point of Beginning, Containing 19,472 square feet or 0.45 acres more or less.

**SECTION 2. SAVINGS CLAUSE.** If any section, provision, sentence, clause, phrase or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase, or part hereof not adjudged invalid, or unconstitutional.

**SECTION 3. EFFECTIVE DATE.** This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

**SECTION 4. ADDRESS REMOVAL.** The above legally-described portion of Wendover Road shall be removed from the re-aligned Wendover Road addressing system in Dallas County, Iowa.

PASSED AND APPROVED by this \_\_\_\_\_ day of April, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk

I certify that the foregoing was published as Ordinance No. \_\_\_\_\_ on the \_\_\_\_\_ day of April, 2018.

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk

**NO CHANGE FROM PREVIOUS READING**

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Osmium TIF Ordinance Amendment  
City-Initiated

**DATE:** April 16, 2018

**ORDINANCE:** Approval of Second Reading, Waive Third Reading, and Adoption in Final Form

**FINANCIAL IMPACT:** There is no financial impact identified at this time.

**BACKGROUND:** The City Council approved the Osmium Urban Renewal Plan on November 14, 2016. The TIF District was later adopted by Ordinance 2217 on May 1, 2017. The legal description identified in Ordinance 2217 includes agricultural parcels in Warren County that are not currently within the Osmium Urban Renewal Area boundary and must be removed. This ordinance amendment will remove the agricultural parcels from the original TIF District in order to be in compliance with Iowa Code 403.

As required by law, on April 2, 2018, the City Council voted 5-0 to approve the first reading of the TIF Ordinance.

**OUTSTANDING ISSUES:** There are no outstanding issues.

**RECOMMENDATION:** Staff recommends approval of the second reading of this Ordinance amendment to the Osmium TIF district boundaries.

Lead Staff Member: Katie Hernandez, Community and Economic Development

**STAFF REVIEWS**

Department Director	Clyde E. Evans, Community and Economic Development Department <i>C.E.E.</i>
Appropriations/Finance	
Legal	
Agenda Acceptance	<i>[Signature]</i>

**PUBLICATION(S) (if applicable)**

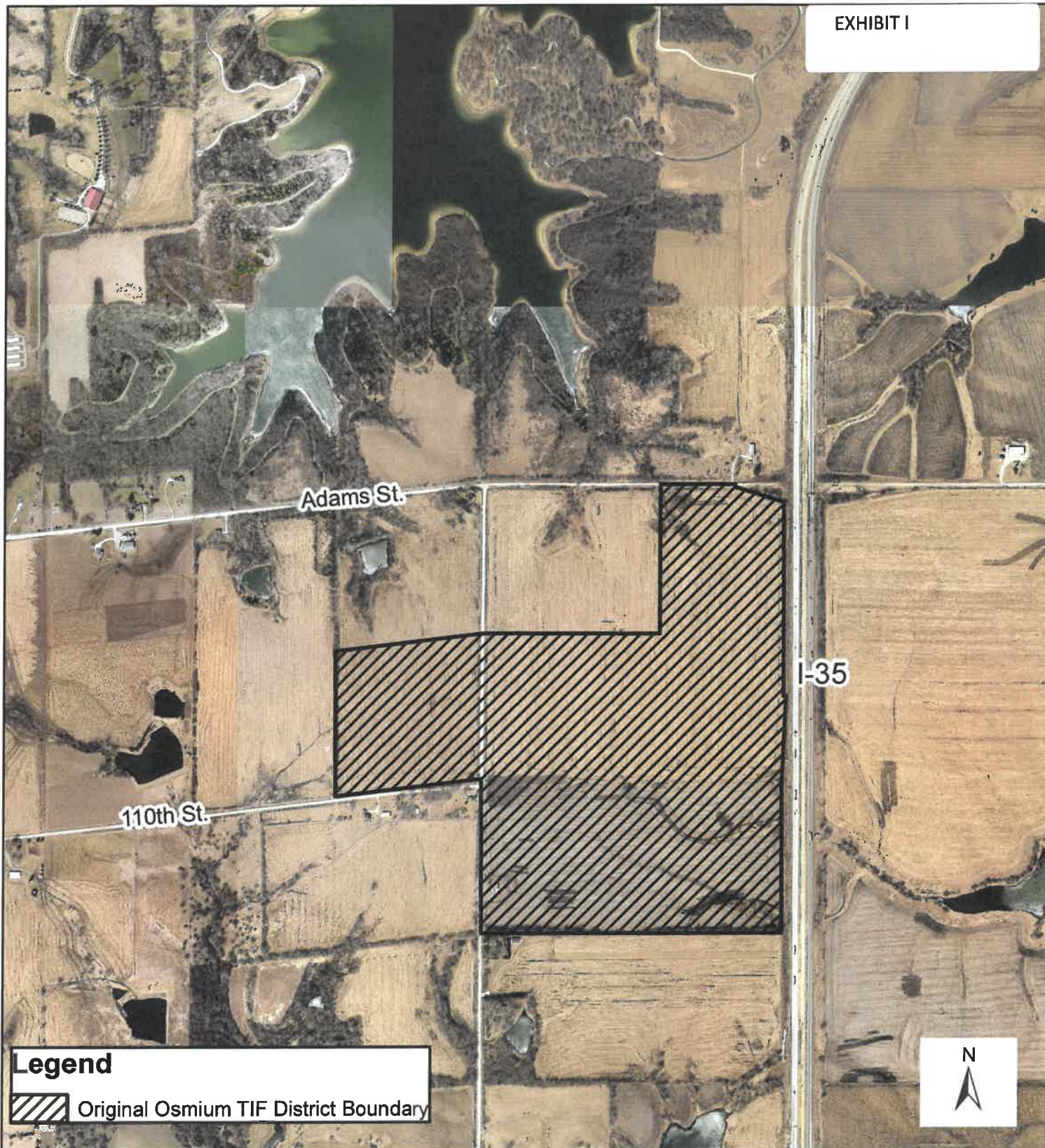
Published In	N/A
Date(s) Published	N/A
Letter sent to surrounding property owners	NA

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	N/A		
Date Reviewed	N/A		
Recommendation	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Exhibit I - Original Osmium TIF District
- Exhibit II - Map of Amended Osmium TIF District
- Exhibit III - Amended TIF Ordinance for Osmium Urban Renewal Area



**Legend**

 Original Osmium TIF District Boundary



**CITY OF WEST DES MOINES**



PROJECT:

**ORIGINAL OSMIUM TIF DISTRICT**

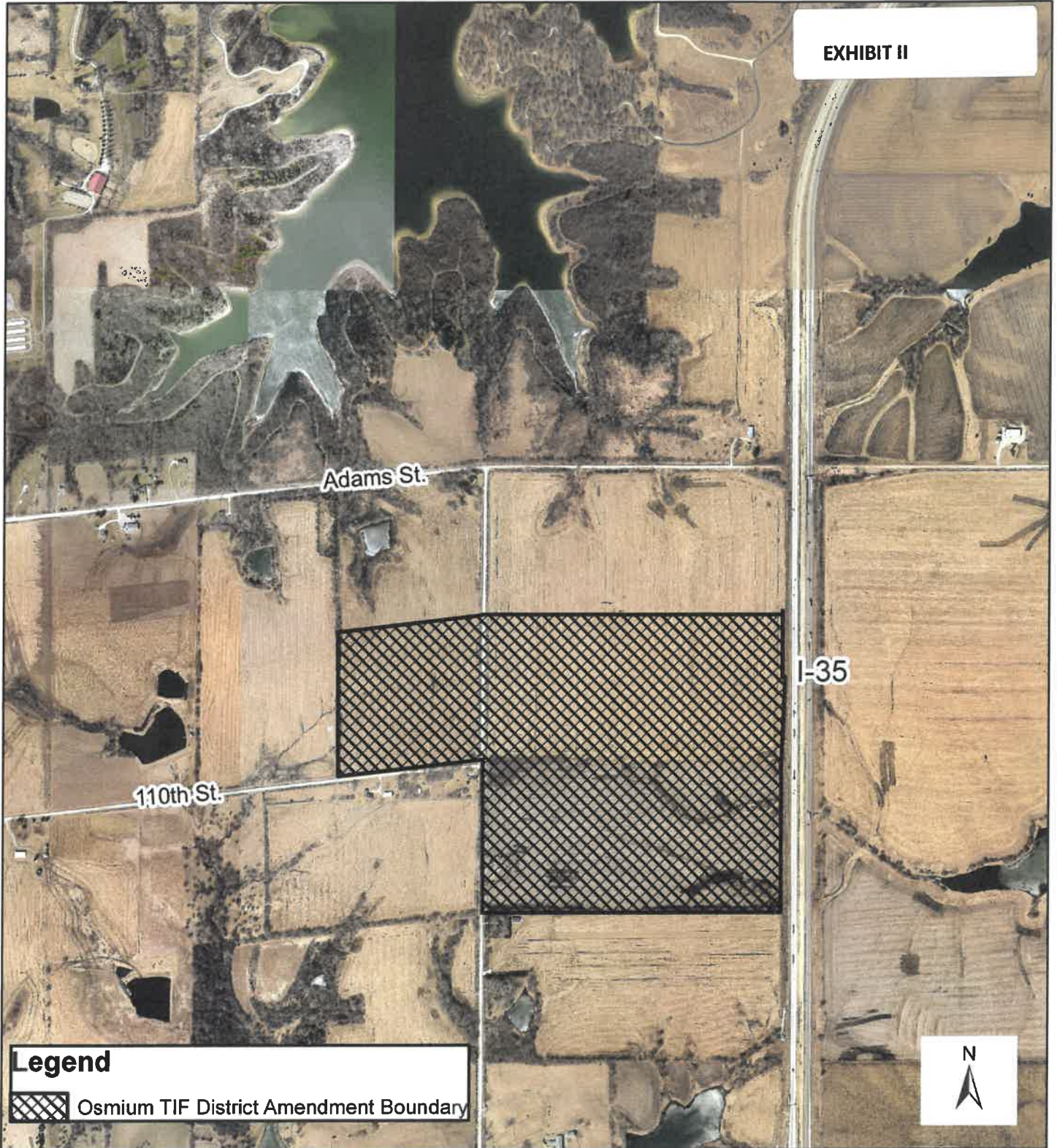
LOCATION:

**WARREN COUNTY | MADISON COUNTY**

DRAWN BY: KLH

DATE: 3/13/2018

1 OF 1



**Legend**

 Osmium TIF District Amendment Boundary



**CITY OF WEST DES MOINES**



PROJECT:

**OSMIUM TIF DISTRICT AMENDMENT**

LOCATION:

**WARREN COUNTY | MADISON COUNTY**

DRAWN BY: KLH

DATE: 3/13/2018

1 OF 1

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE REPEALING ORDINANCE NO. 2217 AND PROVIDING THAT GENERAL PROPERTY TAXES LEVIED AND COLLECTED EACH YEAR ON CERTAIN PROPERTY LOCATED WITHIN THE OSMIUM URBAN RENEWAL AREA, IN THE CITY OF WEST DES MOINES, COUNTIES OF MADISON AND WARREN, STATE OF IOWA, BY AND FOR THE BENEFIT OF THE STATE OF IOWA, CITY OF WEST DES MOINES, COUNTIES OF MADISON AND WARREN, WINTerset COMMUNITY SCHOOL DISTRICT, NORWALK COMMUNITY SCHOOL DISTRICT AND OTHER TAXING DISTRICTS, BE PAID TO A SPECIAL FUND FOR PAYMENT OF PRINCIPAL AND INTEREST ON LOANS, MONIES ADVANCED TO AND INDEBTEDNESS, INCLUDING BONDS ISSUED OR TO BE ISSUED, INCURRED BY THE CITY IN CONNECTION WITH THE OSMIUM URBAN RENEWAL AREA (**MICROSOFT PARCEL**) (CORRECTED LEGAL DESCRIPTION)

WHEREAS, the City Council of the City of West Des Moines, Iowa (the “City”) previously enacted Ordinance No. 2217 providing for the division of taxes levied on taxable property in the Osmium Urban Renewal Area pursuant to Section 403.19 of the Code of Iowa; and

WHEREAS, pursuant to that ordinance, a portion of the Osmium Urban Renewal Area in the City of West Des Moines was designated a “tax increment district”; and

WHEREAS, the City Council now desires to repeal Ordinance No. 2217 and adopt a new ordinance establishing a “tax increment district” for the Osmium Urban Renewal Area in order to clarify the boundaries of the “tax increment district” by excluding from the legal description of the tax increment district certain property lying outside the Osmium Urban Renewal Area;

BE IT ENACTED by the City Council of the City of West Des Moines, Iowa:

Section 1. Ordinance No. 2217 is hereby repealed.

Section 2. Purpose. The purpose of this ordinance is to provide for the division of taxes levied on certain taxable property in the Osmium Urban Renewal Area of the City of West Des Moines, Iowa, each year by and for the benefit of the state, city, county, school districts or other taxing districts after the effective date of this ordinance in order to create a special fund to pay the principal of and interest on loans, moneys advanced to or indebtedness, including bonds proposed to be issued by the City of West Des Moines to finance projects in such area.

Section 3. Definitions. For use within the remainder of this ordinance the following terms shall have the following meanings:

“City” shall mean the City of West Des Moines, Iowa.

“Counties” shall mean Madison County and Warren County

“Tax Increment Financing District” shall mean certain real property situated in the Osmium Urban Renewal Area, legally described as follows:

*THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE1/4 SE1/4) SECTION 1, TOWNSHIP 77 NORTH, RANGE 26 WEST OF THE 5TH PRINCIPAL MERIDIAN, MADISON COUNTY, IOWA.*

*AND*

*PARCEL 1:*

*THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER (NW1/4 NW1/4) OF SECTION 7, TOWNSHIP 77 NORTH, RANGE 25 WEST OF THE 5TH PRINCIPAL MERIDIAN, WARREN COUNTY, IOWA.*

*PARCEL 2:*

*THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER (NE1/4 NW1/4) OF SECTION 7, TOWNSHIP 77 NORTH, RANGE 25 WEST OF THE 5TH PRINCIPAL MERIDIAN, WARREN COUNTY, IOWA: EXCEPT THAT PART DEEDED TO THE STATE OF IOWA IN BOOK 125, PAGE 121: AND EXCEPT THAT PART DEEDED TO THE STATE OF IOWA IN BOOK 2012, PAGE 10015.*

*PARCEL 3 & 4:*

*THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER (SE1/4 SW1/4) OF SECTION 6, TOWNSHIP 77 NORTH, RANGE 25 WEST OF THE 5TH PRINCIPAL MERIDIAN, WARREN COUNTY, IOWA: EXCEPT THAT PART DEEDED TO THE STATE OF IOWA IN BOOK 125, PAGE 122: AND EXCEPT THAT PART DEEDED TO THE STATE OF IOWA IN BOOK 2012, PAGE 10015.*

*PARCEL 5:*

*THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW1/4 SW1/4) OF SECTION 6, TOWNSHIP 77 NORTH, RANGE 25 WEST OF THE 5TH PRINCIPAL MERIDIAN, WARREN COUNTY, IOWA.*

“Urban Renewal Area” shall mean the entirety of the Osmium Urban Renewal Area as amended from time to time.

Section 4. Provisions for Division of Taxes Levied on Taxable Property in the Tax Increment Financing District. After the effective date of this ordinance, the taxes levied on the taxable property in the Tax Increment Financing District each year by and for the benefit of the State of Iowa, the City, the Counties and any school district or other taxing district in which the Tax Increment Financing District is located, shall be divided as follows:

(a) that portion of the taxes which would be produced by the rate at which the tax is levied each year by or for each of the taxing districts upon the total sum of the assessed value of the taxable property in the Tax Increment Financing District as shown on the assessment roll as of January 1 of the calendar year preceding the first calendar year in which the City certifies to



the County Auditors the amount of loans, advances, indebtedness, or bonds payable from the special fund referred to in paragraph (b) below, shall be allocated to and when collected be paid into the fund for the respective taxing district as taxes by or for said taxing district into which all other property taxes are paid. For the purpose of allocating taxes levied by or for any taxing district which did not include the territory in the Tax Increment Financing District on the effective date of this ordinance, but to which the territory has been annexed or otherwise included after the effective date, the assessment roll applicable to property in the annexed territory as of January 1 of the calendar year preceding the effective date of the ordinance which amends the plan for the Tax Increment Financing District to include the annexed area, shall be used in determining the assessed valuation of the taxable property in the annexed area.

(b) that portion of the taxes each year in excess of such amounts shall be allocated to and when collected be paid into a special fund of the City to pay the principal of and interest on loans, moneys advanced to or indebtedness, whether funded, refunded, assumed or otherwise, including bonds issued under the authority of Section 403.9(1), of the Code of Iowa, incurred by the City to finance or refinance, in whole or in part, projects in the Urban Renewal Area, and to provide assistance for low and moderate-income family housing as provided in Section 403.22, except that taxes for the regular and voter-approved physical plant and equipment levy of a school district imposed pursuant to Section 298.2 of the Code of Iowa, taxes for the instructional support program levy of a school district imposed pursuant to Section 257.19 of the Code of Iowa and taxes for the payment of bonds and interest of each taxing district shall be collected against all taxable property within the taxing district without limitation by the provisions of this ordinance. Unless and until the total assessed valuation of the taxable property in the Tax Increment Financing District exceeds the total assessed value of the taxable property in such area as shown by the assessment roll referred to in subsection (a) of this section, all of the taxes levied and collected upon the taxable property in the Tax Increment Financing District shall be paid into the funds for the respective taxing districts as taxes by or for said taxing districts in the same manner as all other property taxes. When such loans, advances, indebtedness, and bonds, if any, and interest thereon, have been paid, all money thereafter received from taxes upon the taxable property in the Tax Increment Financing District shall be paid into the funds for the respective taxing districts in the same manner as taxes on all other property.

(c) the portion of taxes mentioned in subsection (b) of this section and the special fund into which that portion shall be paid may be irrevocably pledged by the City for the payment of the principal and interest on loans, advances, bonds issued under the authority of Section 403.9(1) of the Code of Iowa, or indebtedness incurred by the City to finance or refinance in whole or in part projects in the Urban Renewal Area.

(d) as used in this section, the word "taxes" includes, but is not limited to, all levies on an ad valorem basis upon land or real property.

Section 5. Repealer. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section 6. Saving Clause. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the

ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

Section 7. Effective Date. This ordinance shall be effective after its final passage, approval and publication as provided by law.

Section 8. This Ordinance shall be codified in Title I, Chapter 10, Article B of the City Code for West Des Moines, Iowa.

First consideration passed by the City Council of the City of West Des Moines, Iowa, the 2<sup>nd</sup> day of April, 2018.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

•••••

Second and final consideration passed by the City Council of the City of West Des Moines, Iowa, the 16<sup>th</sup> day of April, 2018.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

**CITY OF WEST DES MOINES**  
**MEMORANDUM**

**TO:** Honorable Mayor Gaer and Members of the City Council

**FROM:** Brian Portz, Planner *BP*

**DATE:** April 16, 2018

**RE:** Item 6a– West Grand Business Park – PUD Amendment to remove Parcel 12 from the PUD

The proposed amendment to the West Grand Business Park removes a parcel from the PUD with the intent to place it into its own PUD governing the development of the future West Des Moines Public Services site. The PUD associated with the Public Services site is not ready to proceed for approvals as staff and the applicant continue to finalize PUD language and anticipated architecture. In order to avoid having the parcel removed from the West Grand Business Park development and not immediately put into the new PUD, staff requests a deferral of item 6c, West Grand Business Park PUD Amendment to the April 30, 2018 City Council meeting as it is expected that the West Des Moines Public Services PUD will be ready for consideration at this meeting. This item was also deferred by the Plan and Zoning Commission until their April 23, 2018 meeting.

**Recommendation:** Deferral of Item 6a to the April 30, 2018 City Council meeting.

cc. Lynne Twedt, Director of Development Services  
Tom Hadden, City Manager

**CITY OF WEST DES MOINES  
MEMORANDUM**

**TO:** Honorable Mayor Gaer and Members of the City Council  
**FROM:** Brian Portz, Planner *BP*  
**DATE:** April 16, 2018  
**RE:** Item 6b – West Des Moines Public Services PUD

The applicant is requesting a deferral of item 6d, West Des Moines Public Services PUD to the April 30, 2018 City Council meeting to allow additional time for staff and the applicant to review the proposed PUD Ordinance. This item was also deferred by the Plan and Zoning Commission until their April 23, 2018 meeting.

**Recommendation:** Deferral of Item 6b to the April 30, 2018 City Council meeting.

cc. Lynne Twedt, Director of Development Services  
Tom Hadden, City Manager

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**Date: April 16, 2018**

**ITEM:** Nazarene Church Campground – 2001, 2251, and 2296 Fuller Road – Repeal Nazarene Church Campground Planned Unit Development – City Initiated –ZC-003832-2018

**ORDINANCE: Approval of First Reading of the Ordinance**

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** The City of West Des Moines is requesting that the Nazarene Church Campground Planned Unit Development ordinance be repealed. In January 2014, the City Council approved a rezoning of the then Walnut Creek Church property at 2251 Fuller Road to change the zoning of the property from Nazarene Church Campground PUD to Open Space; however, the ordinance changed the zoning map, but did not repeal the Planned Unit Development Ordinance. This action is to officially repeal the Nazarene Church Campground ordinance and removed it from codification (see Exhibit II – Proposed Ordinance)

**Plan and Zoning Commission Action:**

Vote: 7-0 approval

Date: April 9, 2018

Motion: Adopt a resolution recommending the City Council approve the first reading of the amendment to repeal the Nazarene Church Campground PUD.

**OUTSTANDING ISSUES:** There are no outstanding issues.

The following items of interest are noted in the attached Plan and Zoning Commission report (see Exhibit I):

- Applicant's Request
- History
- City Council Subcommittee
- Staff Review and Comments
- Comprehensive Plan Consistency
- Noticing Information
- Staff Recommendations and Conditions of Approval

**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, the Plan and Zoning Commission recommends the City Council approve the ordinance to repeal the Nazarene Church Campground Planned Unit Development.

Lead Staff Member: Kara Tragesser, AICP



**Staff Reviews:**

Department Director	
Appropriations/Finance	
Legal	JBW
Agenda Acceptance	JBW

**PUBLICATION(S) (if applicable)**

Published In	Des Moines Register
Date(s) Published	March 28, 2018
Letter sent to surrounding property owners	March 28, 2018

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	N/A		
Date Reviewed			
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Exhibit I - Plan and Zoning Commission Communication
  - Attachment A- Plan & Zoning Commission Resolution
  - Exhibit A – Conditions of Approval
  - Attachment B - Proposed Ordinance (now Exhibit II)
- Exhibit II - Proposed Ordinance

**CITY OF WEST DES MOINES  
PLAN AND ZONING COMMISSION COMMUNICATION**

**Meeting Date:** April 9, 2018

**Item:** Nazarene Church Campground – 2001, 2251, and 2296 Fuller Road – Repeal Nazarene Church Campground Planned Unit Development – City Initiated – ZC-003832-2018

**Resolution:** Approval of Rezoning Request

**Requested Action:** Recommend approval of a Zone Change

**Case Advisor:** Kara V. Tragesser, AICP 

**Applicant's Request:** The City of West Des Moines is requesting that the Nazarene Church Campground Planned Unit Development ordinance be repealed. In January 2014, the City Council approved a rezoning of the then Walnut Creek Church property at 2251 Fuller Road to change the zoning of the property from Nazarene Church Campground PUD to Open Space; however, the ordinance approved change the zoning map, but did not repeal the Planned Unit Development Ordinance. This action is to officially repeal the Nazarene Church Campground ordinance and removed it from codification (see Attachment B – Proposed Ordinance).

**History:** The property was zoned Nazarene Church Campground in 2003. No current development is pending to change the campground buildings.

**City Council Subcommittee:** Due to the nature of the request which follows up on the 2014 action which intended the PUD to be eliminated from the property, this request was not presented to the Development and Planning City Council Subcommittee.

**Staff Review and Comment:** None.

**Comprehensive Plan Consistency:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**Noticing Information:** On March 28, 2018, notice for the April 9, 2018, Plan and Zoning Commission and the April 16, 2018, City Council public hearings on this project was published in the Des Moines Register Community Section. Notice of these public hearings was also mailed to all surrounding property owners within 370 feet of the subject property on March 28, 2018.

**Staff Recommendation and Conditions of Approval – Rezoning Request:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending to the City Council approval of a zone change for property located at 2001, 2251, and 2296 Fuller Road to repeal the Nazarene Church Campground Planned Unit Development.

**ATTACHMENTS:**

- Attachment A - Plan and Zoning Commission Resolution – Zone Change
- Exhibit A - Conditions of Approval
- Attachment B - Proposed Ordinance

RESOLUTION NO. PZC -18#017

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE THE REZONING REQUEST (ZC-003832-2018) FOR THE PURPOSE OF REPEALING THE NAZARENE CHURCH CAMPGROUND PLANNED UNIT DEVELOPMENT (#67)

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, The City of West Des Moines requests approval of a Rezoning Request for that property legally described in Exhibit B;

WHEREAS, studies and investigations were made and staff reports and recommendations were submitted which are made a part of this record and herein incorporated by reference;

WHEREAS, on April 9, 2018, this Commission held a duly-noticed hearing to consider the application for the Rezoning Request (ZC-003832-2018);

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:


SECTION 1. The findings, for approval, in the staff report, dated April 9, 2018, or as amended orally at the Plan and Zoning Commission hearing of April 9, 2018, are adopted.

SECTION 2. REZONING REQUEST (ZC-003832-2018) to repeal the Nazarene Church Campground PUD in its entirety while maintaining the zoning of Open Space as approved in January 2014 under Ordinance 2019 is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report, dated April 9, 2018, including conditions added at the Hearing, and attached hereto as Exhibit "A", if any. Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on April 9, 2018.

  
Craig Erickson, Chair  
Plan and Zoning Commission

ATTEST:

  
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on April 9, 2018, by the following vote:

- AYES: Andersen, Christianson, Costa, Crowley, Drake, Hatfield, Southworth
- NAYS:
- ABSTENTIONS:
- ABSENT:

ATTEST:

  
Recording Secretary



**EXHIBIT A**  
**Conditions of Approval**

None.

Prepared by: K Tragesser, Development Services, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265  
Return To: City Clerk, City of West Des Moines, P.O. Box 65320, West Des Moines, IA 50265  
Tax Statement: Not Applicable

**ORDINANCE # \_\_\_\_\_**

**AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP AND THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA, 2014, BY AMENDING TITLE 9, ZONING, CHAPTER 9, PLANNED UNIT DEVELOPMENT DISTRICT, PERTAINING TO P.U.D. (PLANNED UNIT DEVELOPMENT) DISTRICT REGULATIONS AND GUIDELINES FOR THE NAZARENE CHURCH CAMPGROUND PUD #67**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:**

**SECTION 1. AMENDMENT.** Ordinances 1557 and 2019 Nazarene Church Campground PUD #67 are hereby amended by renaming the Planned Unit Development from “Nazarene Church Campground” to ‘Reserved”.

**SECTION 2. AMENDMENT:** Amend Ordinance 2019 to repeal the language of the Nazarene Church Campground #67 Planned Unit Development in its entirety, while retaining the zoning designation approved with Ordinance 2019.

**SECTION 3. SAVINGS CLAUSE:** If any section, provision, sentence, clause, phrase or part of the Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

**SECTION 4. EFFECTIVE DATE:** This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

Passed and approved by the City Council on this \_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

**ATTEST:**

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk

I certify that the foregoing was published as Ordinance No. \_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**Date: April 16, 2018**

**ITEM:** Amendment to City Code – Title 9 (Zoning), Chapter 7 (Setback and Bulk Density Regulations), Section 4 (Setback And Bulk Density Regulations) Table 7.9 (Bulk Regulations For Principal and Accessory Structures In Industrial, Office and Open Space Districts) to Modify Bulk Regulations for the Professional Commerce Park District And Amend Title 9 (Zoning), Chapter 11 (Professional Commerce Park District) Section 5 (Site Plans, Lot Area, Lot Frontage, And Yard Requirements) to Amend Lot Size and Lot Frontage Requirements– City Initiated – AO-003833-2018

**ORDINANCE: Approval of First Reading of the Ordinance**

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** The City of West Des Moines is requesting amendments to Title 9, Zoning, Chapters 7 (Bulk Regulations) and 11 (Professional Commerce Park) to change the minimum lot size from two acres to 60,000 sq. ft., change the minimum lot frontage from 350 feet to 150 feet, and eliminate conflicting information. The sections requested to be amended are:

- Chapter 7 (Setback and Bulk Density Regulations), Section 4 (Setback And Bulk Density Regulations) Table 7.9 (Bulk Regulations For Principal and Accessory Structures In Industrial, Office and Open Space Districts)
- Chapter 11 (Professional Commerce Park District) Section 5 (Site Plans, Lot Area, Lot Frontage, And Yard Requirements)

**Plan and Zoning Commission Action:**

Vote: 7-0 Approval

Date: April 9, 2018

Motion: Approve a resolution recommending the City Council approve the ordinance amendment.

**OUTSTANDING ISSUES:** There are no outstanding issues.

The following items of interest are noted in the attached Plan and Zoning Commission report (see Exhibit I):

- Applicant's Request
- History
- City Council Subcommittee - *Development & Planning: March 19, 2018*
- Staff Review and Comment
  - *The Professional Commerce Park District (PCP)*
  - *Changing the lot size and street frontage for the PCP district*
  - *Eliminating conflicting information*
- Noticing Information
- Staff Recommendation and Conditions of Approval

**RECOMMENDATION:** Based upon the preceding review the Plan and Zoning Commission recommends the City Council approve the first reading to amend City Code, Title 9 (Zoning), Chapter 7 (Setback and Bulk Density Regulations), Section 4 (Setback And Bulk Density Regulations) Table 7.9 (Bulk Regulations For Principal and Accessory Structures In Industrial, Office and Open Space Districts) to Modify Bulk Regulations for the Professional Commerce Park District And Amend Title 9 (Zoning), Chapter 11 (Professional Commerce Park District) Section 5 (Site Plans, Lot Area, Lot Frontage, And Yard Requirements) to Amend Lot Size and Lot Frontage Requirements.

Lead Staff Member: Kara Tragesser, AICP 

**Staff Reviews:**

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

Published In	Des Moines Register
Date(s) Published	April 2, 2018
Letter sent to surrounding property owners	N/A

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Development & Planning		
Date Reviewed	March 19, 2018		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Exhibit I - Plan and Zoning Commission Communication
- Attachment A - Plan & Zoning Commission Resolution
- Exhibit A – Conditions of Approval
- Attachment B - PCP Percentage Chart
- Attachment C - Proposed Ordinance (*moved to Exhibit II*)
- Exhibit II - Ordinance

**CITY OF WEST DES MOINES  
PLAN AND ZONING COMMISSION COMMUNICATION**

**Meeting Date:** April 9, 2018

**Item:** Amendment to City Code – Title 9 (Zoning), Chapter 7 (Setback and Bulk Density Regulations), Section 4 (Setback And Bulk Density Regulations) Table 7.9 (Bulk Regulations For Principal and Accessory Structures In Industrial, Office and Open Space Districts) to Modify Bulk Regulations for the Professional Commerce Park District And Amend Title 9 (Zoning), Chapter 11 (Professional Commerce Park District) Section 5 (Site Plans, Lot Area, Lot Frontage, And Yard Requirements) to Amend Lot Size and Lot Frontage Requirements– City Initiated – AO-003833-2018

Resolution: Approval of Amendment to City Code

**Requested Action:** Recommend approval of Amendment to City Code

**Case Advisor:** Kara V. Tragesser, AICP 

**Applicant's Request:** The City of West Des Moines is requesting amendments to Title 9, Zoning, Chapters 7 (Bulk Regulations) and 11 (Professional Commerce Park) to change the minimum lot size from two acres to 60,000 sq. ft., change the minimum lot frontage from 350 feet to 150 feet, and eliminate conflicting information. The sections requested to be amended are:

- Chapter 7 (Setback and Bulk Density Regulations), Section 4 (Setback And Bulk Density Regulations) Table 7.9 (Bulk Regulations For Principal and Accessory Structures In Industrial, Office and Open Space Districts)
- Chapter 11 (Professional Commerce Park District) Section 5 (Site Plans, Lot Area, Lot Frontage, And Yard Requirements)

**City Council Subcommittee:** This item was presented to the Development and Planning City Council Subcommittee on March 19, 2018. The Subcommittee supported the proposed amendment.

**Staff Review and Comment:** There are no outstanding issues. Staff notes the following:

- *The Professional Commerce Park District (PCP):* this district has been in place since 1969 and served its purpose to build the large office campuses along Westown Parkway. It also was used as a tool to enable a higher level of architecture and encourage innovation in architecture. No new PCP zones are being designated and instead the Office zone and the various commercial zones are being used to designate zoning of the land uses allowed in the PCP district.
- *Changing the lot size and street frontage for the PCP district:* Staff recommends changing the minimum lot size from two acres to 60,000 square feet on par with the larger commercial districts. This change also brings 11 percent of the parcels now zoned PCP into compliance with the minimum lot standard, totaling 79 percent of parcels zoned PCP being in compliance from 68 percent (see Attachment B – PCP Percentage Chart). With the change in minimum lot size, staff also recommends that the minimum lot frontage be lessened from 350 feet to 150 feet. The change in lot frontage is needed to compensate for the lower acreage requirement and still allow the parcel to use a monument sign if one is wanted (150 feet frontage being the minimum amount of frontage to qualify for a monument sign).
- *Eliminating Conflicting Information:* As outlined in the ordinance, there are two sections being recommended for change, one is the bulk density section and one comes from the PCP Chapter. Section 2 of the ordinance deletes a portion of the PCP chapter of the zoning code. In the part to be deleted, one provision was that site plans were to have a minimum site plan size of 20 acres. This provision conflicted and was confusing with the minimum lot size requirement of two acres. This part of the chapter also indicated that no minimum lot size was required, which again conflicted with and caused confusion with the two acre minimum lot size. The third provision indicated the minimum lot frontage of 350 feet, which Staff is recommending change to 150 feet, and this requirements is included

with the bulk density requirements which is duplicative. The rest of the third provision was again redundant with the bulk density requirements.

**Comprehensive Plan Consistency:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**Noticing Information:** On April 2, 2018, notice for the April 9, 2018, Plan and Zoning Commission and the April 16, 2018, City Council public hearings on this project was published in the Des Moines Register.

**Staff Recommendation and Conditions of Approval – Rezoning Request:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending to the City Council approval of the amendment to code as outlined in the proposed ordinance (see Attachment C – Proposed Ordinance) to amend bulk and density regulations.

**ATTACHMENTS:**

Attachment A	-	Plan and Zoning Commission Resolution – Ordinance Amendment
Exhibit A	-	Conditions of Approval
Attachment B	-	PCP Property Percentage Chart
Attachment C	-	Proposed Ordinance

RESOLUTION NO. PZC -18-021

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE AN ORDINANCE TO AMEND TITLE 9 (ZONING), CHAPTER 7 (SETBACK AND BULK DENSITY REGULATIONS), SECTION 4 (SETBACK AND BULK DENSITY REGULATIONS) AND AMEND TITLE 9 (ZONING), CHAPTER 11 (PROFESSIONAL COMMERCE PARK DISTRICT) SECTION 5 (SITE PLANS, LOT AREA, LOT FRONTAGE, AND YARD REQUIREMENTS) TO AMEND LOT SIZE AND LOT FRONTAGE REQUIREMENTS**

**WHEREAS**, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, staff requests an amendment to Title 9 (Zoning), Chapter 7 (Setback and Bulk Density Regulations), Section 4 (Setback and Bulk Density Regulations) Table 7.9 (Bulk Regulations for Principal and Accessory Structures In Industrial, Office And Open Space Districts) to modify bulk regulations for the Professional Commerce Park District and amend Title 9 (Zoning), Chapter 11 (Professional Commerce Park District) Section 5 (Site Plans, Lot Area, Lot Frontage, And Yard Requirements) to amend lot size and lot frontage requirements;

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, this Commission held a duly-noticed hearing to consider the application for an amendment to ordinance;

**WHEREAS**, this Commission did consider the application for an amendment to ordinance;

**NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

**SECTION 1.** The findings for approval in the staff report or as amended orally at the Plan and Zoning Commission public hearing are adopted.

**SECTION 2.** The AMENDMENT TO ORDINANCE (AO-003833-2018) is recommended to the City Council for approval, as stated in the staff report or as amended in the attached Exhibit A.

PASSED AND ADOPTED on April 9, 2018

  
Craig Erickson, Chair  
Plan and Zoning Commission

ATTEST:   
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on April 9, 2018, by the following vote:

AYES: Andersen, Christianson, Costa, Crowley, Drake, Hatfield, Southworth

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:   
Recording Secretary

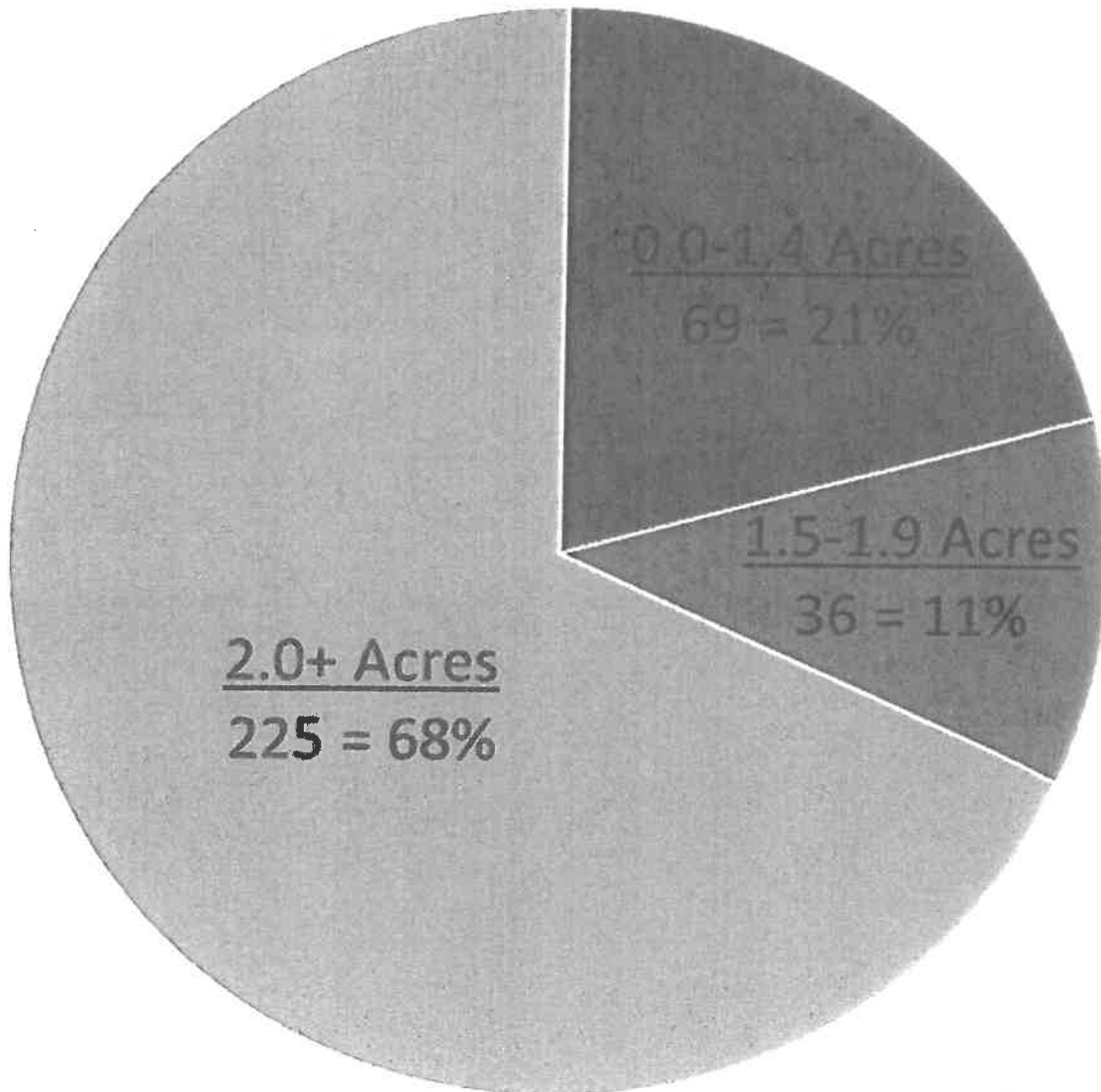
**EXHIBIT A**  
**Conditions of Approval**

None.



PCP Property Percentage Chart

This chart illustrates the number of parcel zoned Professional Commerce Park and the percent of parcels over and under two acres. Please note that those parcels between 1.5 and 1.9 acres is 11 percent of the total. Those parcels will no longer be non-conforming as to lot size with the proposed ordinance change, bringing the total percent of lots meeting the two acres minimum lot size to 79% of the parcels zoned PCP at this time. This percentage is subject to change with potential zoning changes in the future.

**Number of PCP Parcels by Size**

Prepared by: K Tragesser, West Des Moines Development Services, PO Box 65320, West Des Moines, IA 50265, 515-222-3620  
When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

**ORDINANCE NO.**

**AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA 2014 BY AMENDING TITLE 9 (ZONING), CHAPTER 7 (SETBACK AND BULK DENSITY REGULATIONS), SECTION 4 (SETBACK AND BULK DENSITY REGULATIONS) AND AMEND TITLE 9 (ZONING), CHAPTER 11 (PROFESSIONAL COMMERCE PARK DISTRICT) SECTION 5 (SITE PLANS, LOT AREA, LOT FRONTAGE, AND YARD REQUIREMENTS) TO AMEND LOT SIZE AND LOT FRONTAGE REQUIREMENTS**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:**

**Section 1. Amendment.** Title 9 (Zoning), Chapter 7 (Setback and Bulk Density Regulations), Section 4 (Setback and Bulk Density Regulations) Table 7.9 (Bulk Regulations For Principal and Accessory Structures In Industrial, Office and Open Space Districts), is hereby amended by adding the text in bold italic lettering and deleting the highlighted strikethrough text:

TABLE 7.9  
BULK REGULATIONS  
FOR PRINCIPAL AND ACCESSORY STRUCTURES IN INDUSTRIAL, OFFICE AND OPEN SPACE  
DISTRICTS

[Table on Next Page]

Required Standards	BP	VJLI	LI	GI	OF	PCP	OS	
Minimum lot area <sup>1</sup>	20,000 square feet	7,250 square feet	10,000 square feet	20,000 square feet	10,000 square feet	<del>2 acres</del> <b>60,000 square feet</b>	20 acres	
Minimum setback (feet) <sup>2</sup>								
-	Front yard	50	15	30	40	30	50	50
-	Rear yard	50	10 (from alleyway)	35	35	35	50	50
	If abuts like zoning district			15		15	25	
-	Side yard	50	10	20	35	10	50	50
	If abuts like zoning district		0	0	0	0	25	
	If abuts residential zoned or used property		10					
Minimum lot width (feet)	75	50	75	75	80	<del>350</del> <b>150</b>	200	
Maximum height (feet)	60 <sup>3</sup>	15 30 <sup>4</sup>	60 <sup>3</sup>	60 <sup>3</sup>	36 <sup>3</sup>	60 <sup>3</sup>	60 <sup>3</sup>	
Open space required (minimum percentage)	35	20	20	20	25	35	75	

**Section 2. Amendment.** Title 9 (Zoning), Chapter 11 Professional Commerce Park District), Section 5 (Site Plans, Lot Area, Lot Frontage, and Yard Requirements), is hereby deleted in its entirety and subsequent sections renumbered.

**~~5. SITE PLANS, LOT AREA, LOT FRONTAGE AND YARD REQUIREMENTS:~~**

~~A. Site Plans: No site plan shall be less than twenty (20) acres in area, exclusive of road rights of way.~~

~~C. Lot Frontage And Yard Requirements: No lot shall be less than three hundred fifty feet (350') in width and no building shall be placed, located, constructed or erected within fifty feet (50') of any boundary line of the lot under ownership.~~

**Section 3. Repealer.** All ordinances or parts of ordinances in conflict with the provision of this ordinance are hereby repealed.

**Section 4. Savings Clause.** If any section, provision, sentence, clause, phrase or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

**Section 5. Violations and Penalties.** Any person who violates the provisions of this Ordinance upon conviction shall be punished as set forth in Section 1-4-1 of the City Code of the City of West Des Moines, Iowa.

**Section 6. Other Remedies.** In addition to the provisions set out in the Violations and Penalties Section herein, the City may proceed in law or equity against any person, firm or corporation for violation of any section or subsection of this Ordinance.

**Section 7. Effective Date.** This Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

Passed by the City Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2018, and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T Jacobson  
City Clerk

The foregoing Ordinance No. \_\_\_\_\_ was adopted by the Council for the City of West Des Moines, Iowa, on \_\_\_\_\_, 2018, and was published in the Des Moines Register on \_\_\_\_\_, 2018.

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk

# CITY OF WEST DES MOINES

## MEMORANDUM

**TO:** Mayor and City Council

**FROM:** Clyde Evans, AICP, Director, Community and Economic Development *CEE*

**DATE:** April 16, 2018

**RE:** Continuation of Development Agreement with JARCOR 6(e)

Staff is requesting that this item be continued to the City Council meeting of April 30, 2018, in order to allow adequate time for the applicant to review the proposed Development Agreement.

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE: April 16, 2018**

**ITEM:**

Public Hearing (5:35 p.m.)  
Veterans Parkway – SE Maffitt Lake Road to SE Adams Street

**FINANCIAL IMPACT:**

The Engineering Estimate of Construction Cost was estimated to be \$6,761,175.00 for Veterans Parkway – SE Maffitt Lake Road to SE Adams Street. There were nine (9) bids submitted with the low bid of \$4,378,301.40 being submitted by McAninch Corporation of Des Moines, Iowa. Payments will be made from account no. 500.000.000.5250.490 with the ultimate funding intended to come from Alluvion Urban Renewal Area TIF.

**BACKGROUND:**

The project will extend Veterans Parkway from SE Maffitt Lake Road near IA-5 to approximately 1,000 feet southwest of SE Adams Street. The project includes grading and drainage improvements to support an ultimate 6-lane urban arterial street and paving of a 3-lane interim section. The project is anticipated to be completed by November 16, 2018.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

**OUTSTANDING ISSUES:** None.

**RECOMMENDATION:**

City Council Adopt:

- Resolution adopting Plans, Specifications, Form of Contract, and Estimate of Costs for Veterans Parkway – SE Maffitt Lake Road to SE Adams Street;
- Motion receiving and filing Report of Bids;
- Resolution waiving bid irregularities and awarding the construction contract to McAninch Corporation.

**Lead Staff Member:** Brian J. Hemesath, P.E., Interim City Engineer *BCH*

**STAFF REVIEWS**

Department Director	Brian J. Hemesath, P.E., Interim City Engineer
Appropriations/Finance	Tim Stiles, Finance Director <i>TS</i>
Legal	Richard Scieszinski, City Attorney <i>RS</i>
Agenda Acceptance	<i>AS</i>

**PUBLICATION(S)** (if applicable)

Published In	Des Moines Register
Dates(s) Published	April 6, 2018

**SUBCOMMITTEE REVIEW** (if applicable)

Committee				
Date Reviewed				
Recommendation	<table border="1" style="display: inline-table;"> <tr> <td>Yes</td> <td>No</td> <td>Split</td> </tr> </table>	Yes	No	Split
Yes	No	Split		

**RESOLUTION APPROVING ADOPTING PLANS, SPECIFICATIONS, FORM OF CONTRACT, AND ESTIMATE OF COST**

**WHEREAS**, on March 19, 2018, Plans, Specifications, Form of Contract, and Estimate of Cost were filed with the City Clerk for the following described public improvement:

**Veterans Parkway – SE Maffitt Lake Road to SE Adams Street  
Project No. 0510-007-2017**

and,

**WHEREAS**, notice of hearing on Plans, Specifications, Form of Contract, and Estimate of Cost for said public improvements were published as required by law;

therefore,

**BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES**, that the Plans, Specifications, Form of Contract, and Estimate of Costs for said Public Improvement are hereby approved.

**PASSED AND APPROVED** on this 16th day of April, 2018.

---

Steven K. Gaer, Mayor

ATTEST:

---

Ryan T. Jacobson, City Clerk

**RESOLUTION APPROVING THE AWARDING OF A CONTRACT**

**WHEREAS**, the City Council of the City of West Des Moines has heretofore directed advertisement for bids for the following described public improvement:

**Veterans Parkway – SE Maffitt Lake Road to SE Adams Street  
Project No. 0510-007-2017**

and,

**WHEREAS**, bids have been received and opened by the City Clerk and placed on file by the City Council; and,

**WHEREAS**, an irregularity was noted on one of the bids that was received; and,

**WHEREAS**, the irregularity noted was not substantive in nature; and,

**WHEREAS**, the bid of McAninch Corporation in the amount of \$4,378,301.40 was the lowest responsible bid received for said public improvement;

therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, waives the irregularity in the bids that were received.

**BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, that a contract for the Veterans Parkway – SE Maffitt Lake Road to SE Adams Street is hereby awarded to McAninch Corporation in the amount of \$4,378,301.40 and the bond of said bidder for the project is hereby fixed in the same amount.

**BE IT FURTHER RESOLVED** that the City Engineer is authorized and directed to return bid bond(s) and/or check(s) to any unsuccessful bidder.

**BE IT FURTHER RESOLVED** that work on said project may commence as soon as the final contract and bond have been approved by the City Engineer and have been signed by the City Clerk and after the contractor is given a written notice to proceed by the City Engineer.

**PASSED AND ADOPTED** on this **16th** day of **April, 2018**.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk





BID TABULATION  
 VETERANS PARKWAY PROJECT  
 SE MAFFITTI LAKE ROAD TO ADAMS STREET  
 WEST DES MOINES, IA  
 PROJECT NO. 0510-007-2017

H. R. GREEN, INC.  
 5525 MERLE HAY RD., STE. 200  
 JOHNSTON, IOWA 50131  
 PH: 515-278-2913  
 FAX: 515-278-1846  
 Bid Date: April 11, 2018 - 2:00 P.M.  
 HR Green Project No. 40160040  
 Engineer's Estimate = \$4,761,176.00

Unit	Quantity	McAninch Corporation 4001 Delaware Avenue Des Moines, IA 50313	Concrete Technologies, Inc. 3809 109th Street, Suite D Urbandale, IA 50322	Elder Corporation 5088 E. University Des Moines, IA 50327	S. M. Hentges & Sons Inc. 650 Quaker Avenue Jordan, MN 55352	Manatt's, Inc. 6333 NW Beaver Johnston, IA 50131
		Unit Price	Unit Price	Unit Price	Unit Price	Unit Price
<b>Division 2 - Earthwork</b>						
LS	1	\$ 83,240.00	\$ 28,000.00	\$ 28,000.00	\$ 66,600.00	\$ 50,000.00
LS	1	\$ 3.35	\$ 5.00	\$ 201,000.00	\$ 3.75	\$ 5.00
C7	40,200	\$ 134,670.00	\$ 5.00	\$ 201,000.00	\$ 3.75	\$ 5.00
C7	75,000	\$ 328,250.00	\$ 4.00	\$ 300,000.00	\$ 4.75	\$ 5.00
C7	12,500	\$ 64,125.00	\$ 10.00	\$ 125,000.00	\$ 7.85	\$ 10.00
S7	36,600	\$ 105,774.00	\$ 2.50	\$ 91,500.00	\$ 4.25	\$ 2.50
LF	170	\$ 3,060.00	\$ 23.00	\$ 3,910.00	\$ 12.00	\$ 23.00
<b>Division 4 - Sewers and Drains</b>						
LF	2,451	\$ 54.00	\$ 134,805.00	\$ 55.00	\$ 149,511.00	\$ 55.00
LF	1,564	\$ 56.00	\$ 89,148.00	\$ 57.00	\$ 89,148.00	\$ 57.00
LF	715	\$ 69.00	\$ 49,620.00	\$ 70.00	\$ 50,050.00	\$ 70.00
LF	947	\$ 87.00	\$ 82,389.00	\$ 100.00	\$ 94,700.00	\$ 100.00
LF	233	\$ 109.00	\$ 25,164.00	\$ 114.00	\$ 26,562.00	\$ 114.00
LF	162	\$ 154.00	\$ 24,948.00	\$ 164.00	\$ 26,562.00	\$ 164.00
LF	233	\$ 166.00	\$ 43,338.00	\$ 181.00	\$ 44,503.00	\$ 181.00
LF	27	\$ 373.00	\$ 10,071.00	\$ 330.00	\$ 8,910.00	\$ 330.00
EA	2	\$ 1,242.00	\$ 2,546.00	\$ 1,700.00	\$ 3,200.00	\$ 4,800.00
EA	1	\$ 1,546.00	\$ 1,546.00	\$ 2,100.00	\$ 2,100.00	\$ 2,100.00
EA	4	\$ 1,749.00	\$ 6,992.00	\$ 2,300.00	\$ 9,200.00	\$ 3,300.00
EA	1	\$ 2,321.00	\$ 2,321.00	\$ 3,000.00	\$ 3,000.00	\$ 3,000.00
EA	1	\$ 1,875.00	\$ 1,875.00	\$ 2,700.00	\$ 2,700.00	\$ 2,700.00
EA	1	\$ 2,080.00	\$ 2,080.00	\$ 2,800.00	\$ 2,800.00	\$ 2,800.00
EA	1	\$ 2,170.00	\$ 2,170.00	\$ 2,800.00	\$ 2,800.00	\$ 2,800.00
EA	1	\$ 25,987.00	\$ 25,987.00	\$ 41,000.00	\$ 36,200.00	\$ 41,000.00
LS	1	\$ 12.24	\$ 8.75	\$ 12.00	\$ 12.75	\$ 12.00
EA	34	\$ 459.00	\$ 15,606.00	\$ 450.00	\$ 15,300.00	\$ 450.00
EA	33	\$ 306.00	\$ 10,098.00	\$ 300.00	\$ 9,900.00	\$ 300.00
STA	20	\$ 420.00	\$ 8,400.00	\$ 850.00	\$ 17,000.00	\$ 850.00
LF	500	\$ 27.00	\$ 13,500.00	\$ 35.00	\$ 17,500.00	\$ 35.00
<b>Division 5 - Water Mains and Appurtenances</b>						
LF	2,395	\$ 103.00	\$ 246,685.00	\$ 93.00	\$ 222,735.00	\$ 93.00
LF	877	\$ 149.00	\$ 130,673.00	\$ 136.00	\$ 119,646.00	\$ 136.00
LF	2,195	\$ 85.00	\$ 186,175.00	\$ 81.00	\$ 177,995.00	\$ 81.00
LF	135	\$ 50.00	\$ 6,750.00	\$ 51.00	\$ 6,885.00	\$ 51.00
LBS	5,433	\$ 4.50	\$ 24,448.50	\$ 5.00	\$ 27,165.00	\$ 5.00
EA	3	\$ 16,837.00	\$ 50,511.00	\$ 18,000.00	\$ 54,000.00	\$ 18,000.00
EA	5	\$ 5,558.00	\$ 27,790.00	\$ 6,000.00	\$ 30,000.00	\$ 6,000.00
EA	1	\$ 1,865.00	\$ 1,865.00	\$ 2,100.00	\$ 2,100.00	\$ 2,100.00
EA	2	\$ 15,900.00	\$ 30,800.00	\$ 21,000.00	\$ 42,000.00	\$ 21,000.00
EA	1	\$ 491.00	\$ 491.00	\$ 360.00	\$ 360.00	\$ 360.00
EA	10	\$ 4,782.00	\$ 47,820.00	\$ 4,900.00	\$ 49,000.00	\$ 4,900.00
EA	1	\$ 1,935.00	\$ 1,935.00	\$ 3,100.00	\$ 3,100.00	\$ 3,100.00
EA	4	\$ 1,786.00	\$ 7,144.00	\$ 860.00	\$ 3,440.00	\$ 860.00
<b>Division 6 - Structures for Sanitary and Storm Sewers</b>						
EA	14	\$ 2,635.00	\$ 36,890.00	\$ 3,500.00	\$ 49,000.00	\$ 3,500.00
EA	14	\$ 4,151.00	\$ 58,114.00	\$ 4,300.00	\$ 60,200.00	\$ 4,300.00
EA	2	\$ 6,534.00	\$ 13,068.00	\$ 6,900.00	\$ 13,800.00	\$ 6,900.00
EA	2	\$ 4,164.00	\$ 8,328.00	\$ 4,300.00	\$ 8,600.00	\$ 4,300.00
EA	1	\$ 3,797.00	\$ 3,797.00	\$ 4,300.00	\$ 4,300.00	\$ 4,300.00
EA	1	\$ 8,096.00	\$ 8,096.00	\$ 6,400.00	\$ 6,400.00	\$ 6,400.00
EA	1	\$ 5,519.00	\$ 5,519.00	\$ 6,000.00	\$ 6,000.00	\$ 6,000.00
EA	3	\$ 26,976.00	\$ 80,728.00	\$ 24,000.00	\$ 72,000.00	\$ 24,000.00
EA	1	\$ 14,777.00	\$ 14,777.00	\$ 14,000.00	\$ 14,000.00	\$ 14,000.00
EA	2	\$ 18,459.00	\$ 36,918.00	\$ 15,000.00	\$ 30,000.00	\$ 15,000.00
EA	1	\$ 1,459.00	\$ 1,459.00	\$ 1,500.00	\$ 1,500.00	\$ 1,500.00
EA	2	\$ 5,525.00	\$ 11,050.00	\$ 5,500.00	\$ 11,000.00	\$ 5,500.00
EA	2	\$ 2,142.00	\$ 4,284.00	\$ 2,200.00	\$ 4,400.00	\$ 2,200.00
LS	1	\$ 626.00	\$ 626.00	\$ 1,600.00	\$ 1,600.00	\$ 1,600.00
EA	1	\$ 411.00	\$ 411.00	\$ 330.00	\$ 330.00	\$ 330.00





BID TABULATION  
 VETERANS PARKWAY PROJECT  
 SE MAFFITT LAKE ROAD TO ADAMS STREET  
 WEST DES MOINES, IA  
 PROJECT NO. 0510-007-2017



		McAninch Corporation	Concrete Technologies, Inc.	Elder Corporation	S. M. Henjiges & Sons Inc.	Mannett's, Inc.
<b>Division 7 - Streets and Related Work</b>						
7.1	Pavement, PCC 10"	\$ 60.00	\$ 87,750.00	\$ 59.00	\$ 81,500.00	\$ 67.00
7.2	Pavement, PCC 9" Reinforced	\$ 40.50	\$ 1,072,250.00	\$ 40.00	\$ 1,088,500.00	\$ 44.25
7.3	Pavement, PCC 8" Reinforced	\$ 53.00	\$ 94,075.00	\$ 53.00	\$ 95,850.00	\$ 68.00
7.4	Pavement, PCC 7" Reinforced	\$ 49.00	\$ 73,010.00	\$ 48.00	\$ 71,520.00	\$ 57.00
7.5	Concrete Median	\$ 82.50	\$ 20,625.00	\$ 81.00	\$ 20,500.00	\$ 85.00
7.6	PCC Pavement Samples and Testing	\$ 3,770.00	\$ 3,700.00	\$ 3,760.00	\$ 3,700.00	\$ 3,000.00
7.7	Temporary Pavement, 6"	\$ 50.50	\$ 22,275.00	\$ 50.00	\$ 22,500.00	\$ 45.00
7.8	Shared Use Path, Recreational Trail, PCC, 6" Reinforced	\$ 38.00	\$ 30,400.00	\$ 37.00	\$ 30,400.00	\$ 37.70
7.9	Special Subgrade Preparation for Shared Use Path	\$ 2.30	\$ 3,380.00	\$ 3.00	\$ 3,380.00	\$ 3.00
7.10	Detachable Warning	\$ 41.00	\$ 2,050.00	\$ 40.00	\$ 2,000.00	\$ 45.00
7.11	Driveway, Paved, PCC 6"	\$ 44.00	\$ 13,200.00	\$ 43.00	\$ 12,800.00	\$ 48.75
7.12	Pavement Removal	\$ 7.00	\$ 48,900.00	\$ 5.00	\$ 33,500.00	\$ 5.00
7.13	Engineering Fabric	\$ 3.20	\$ 2,713.60	\$ 3.00	\$ 2,544.00	\$ 3.00
7.14	Granular Roadway, Class 'A' Crushed Stone	\$ 24.50	\$ 20,825.00	\$ 28.00	\$ 23,800.00	\$ 28.00
7.15	Granular Shoulder	\$ 30.50	\$ 3,950.00	\$ 38.00	\$ 3,800.00	\$ 44.00
7.16	Cold Weather Protection, PCC Paving	\$ 9.70	\$ 31,495.90	\$ 10.00	\$ 32,470.00	\$ 9.50
<b>Division 8 - Traffic Control</b>						
8.1	Painted Pavement Markings, Solvent/Waterborne	\$ 35.70	\$ 7,487.00	\$ 35.00	\$ 7,350.00	\$ 35.00
8.2	Painted Symbols and Legends, Solvent/Waterborne	\$ 97.00	\$ 2,522.00	\$ 125.00	\$ 3,250.00	\$ 128.00
8.3	Pavement Markings Removed	\$ 56.00	\$ 672.00	\$ 100.00	\$ 1,200.00	\$ 56.00
8.4	Traffic Control	\$ 120,800.00	\$ 120,800.00	\$ 270,000.00	\$ 200,800.00	\$ 100,000.00
8.5	Temporary Traffic Signal	\$ 15,300.00	\$ 28,250.00	\$ 28,000.00	\$ 29,900.00	\$ 148,000.00
8.6	Safety Closure	\$ 102.00	\$ 1,020.00	\$ 175.00	\$ 1,770.00	\$ 180.00
8.7	Flags	\$ 400.00	\$ 4,000.00	\$ 500.00	\$ 5,000.00	\$ 23,000.00
<b>Division 9 - Site Work and Landscaping</b>						
9.1	Seeding and Fertilizing, Urban	\$ 1,074.00	\$ 9,839.00	\$ 1,300.00	\$ 11,700.00	\$ 1,050.00
9.2	Seeding and Fertilizing, Rural	\$ 689.00	\$ 17,814.00	\$ 820.00	\$ 21,320.00	\$ 675.00
9.3	Stabilize Crops, Seeding and Fertilizing	\$ 153.00	\$ 4,896.00	\$ 181.00	\$ 5,792.00	\$ 155.00
9.4	Mulch	\$ 489.00	\$ 34,425.00	\$ 540.00	\$ 40,500.00	\$ 459.00
9.5	Roadside Stray for Weed Control	\$ 281.00	\$ 8,430.00	\$ 330.00	\$ 9,900.00	\$ 280.50
9.6	SWPPP Management	\$ 4,590.00	\$ 4,590.00	\$ 5,400.00	\$ 4,500.00	\$ 4,500.00
9.7	Wedge, Straw, 12'	\$ 2.24	\$ 11,200.00	\$ 3.00	\$ 15,000.00	\$ 2.25
9.8	Wedge, Removal	\$ 0.20	\$ 1,000.00	\$ 0.25	\$ 1,250.00	\$ 0.20
9.9	Blk. Cap, Erosion Stone	\$ 38.00	\$ 7,600.00	\$ 70.00	\$ 14,000.00	\$ 70.00
9.10	Blk. Cap, Class E	\$ 48.50	\$ 29,100.00	\$ 62.00	\$ 37,200.00	\$ 84.00
9.11	Silt Fence	\$ 1.53	\$ 15,300.00	\$ 2.00	\$ 20,000.00	\$ 1.55
9.12	Silt Fence and Silt Fence for Ditch Check, Removal of Silt Fence	\$ 1.53	\$ 15,300.00	\$ 2.00	\$ 20,000.00	\$ 1.55
9.13	Sediment	\$ 0.10	\$ 1,000.00	\$ 0.25	\$ 2,500.00	\$ 0.10
9.14	Device	\$ 0.20	\$ 2,000.00	\$ 0.25	\$ 2,500.00	\$ 0.20
9.15	Turf Reinforcement Mats, Type I	\$ 66.00	\$ 980.00	\$ 79.00	\$ 1,185.00	\$ 66.00
9.16	Inlet Protection Device, Drop In	\$ 153.00	\$ 7,956.00	\$ 181.00	\$ 9,412.00	\$ 153.00
9.17	Inlet Protection Device, Maintenance	\$ 15.00	\$ 780.00	\$ 18.00	\$ 936.00	\$ 15.00
9.18	Removal and Reinstallation of Existing Fence, Wood	\$ 30.00	\$ 1,650.00	\$ 52.60	\$ 2,883.00	\$ 31.00
9.19	Temporary Fence	\$ 8.15	\$ 2,249.40	\$ 8.70	\$ 2,401.20	\$ 8.00
<b>Division 10 - Demolition</b>						
10.1	Demolition Work	\$ 81,900.00	\$ 81,900.00	\$ 32,000.00	\$ 32,000.00	\$ 53,000.00
10.2	Abandon Well	\$ 2,950.00	\$ 5,900.00	\$ 2,000.00	\$ 4,000.00	\$ 2,000.00
<b>Division 11 - Miscellaneous</b>						
11.1	Construction Survey	\$ 26,500.00	\$ 26,500.00	\$ 26,000.00	\$ 26,000.00	\$ 20,975.00
11.2	Maintenance of Postal Service	\$ 1,020.00	\$ 1,020.00	\$ 2,065.00	\$ 3,800.00	\$ 1,000.00
11.3	Maintenance of Solid Waste Collection	\$ 6,410.00	\$ 8,410.00	\$ 1,900.00	\$ 6,400.00	\$ 8,500.00
11.4	Concrete Washout	\$ 2,450.00	\$ 2,450.00	\$ 2,400.00	\$ 2,400.00	\$ 2,800.00
<b>TOTAL</b>		\$ 4,376,391.40	\$ 4,582,941.95	\$ 4,574,900.00	\$ 4,637,470.00	\$ 4,664,419.00

Denotes corrected error on tabulation of bids



BID TABULATION  
 VETERANS PARKWAY PROJECT  
 SE MAFFITT LAKE ROAD TO ADAMS STREET  
 WEST DES MOINES, IA  
 PROJECT NO. 0510-007-2017

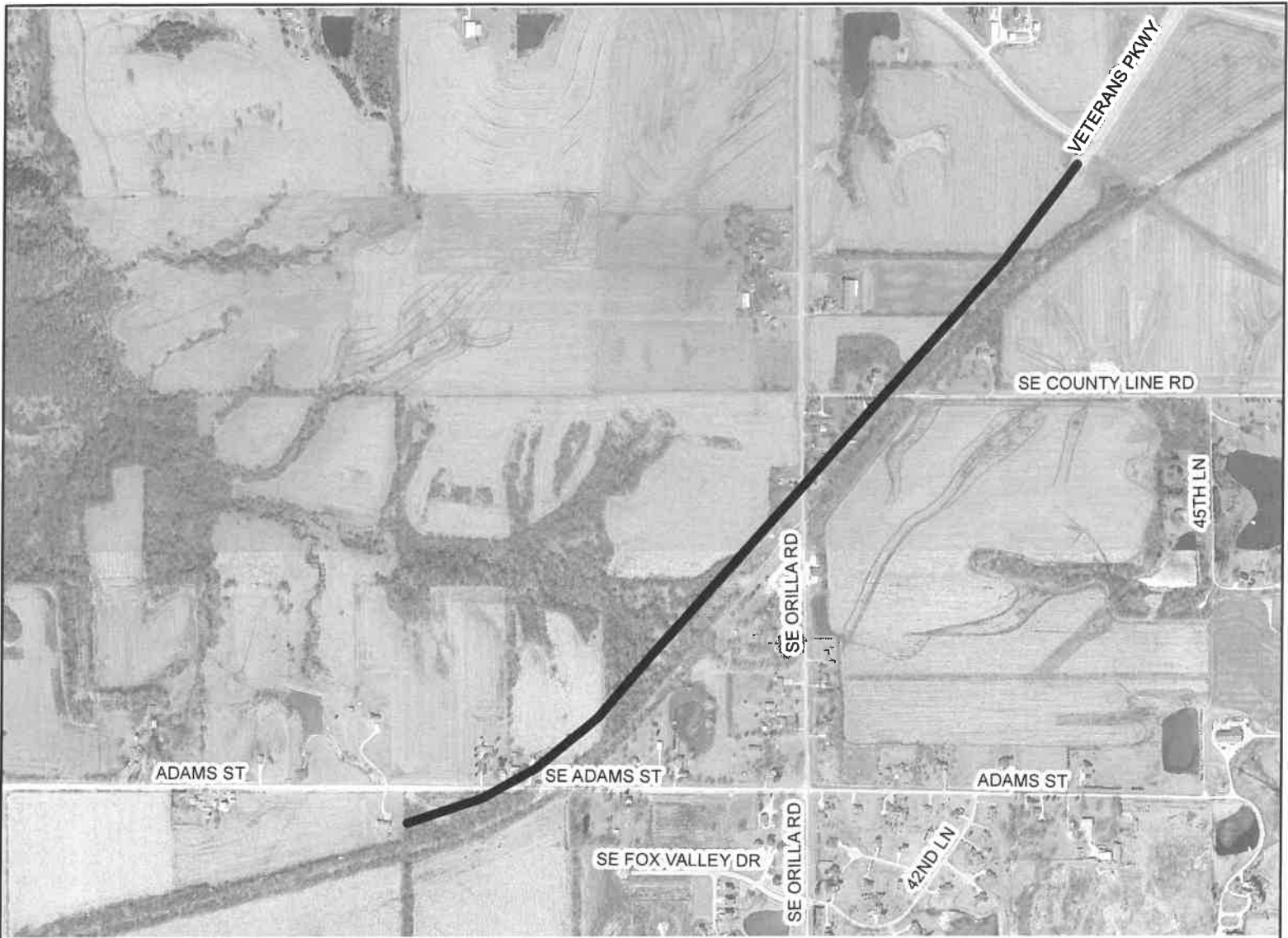
H. R. GREEN, INC.  
 5525 MERLE HAY RD., STE. 200  
 JOHNSTON, IOWA 50131  
 PH: 515-278-2313  
 FAX: 515-278-1846

Bid Date: April 11, 2018 - 2:00 P.M.  
 HR Green Project No. 40160040  
 Engineer's Estimate = \$6,761,175.00

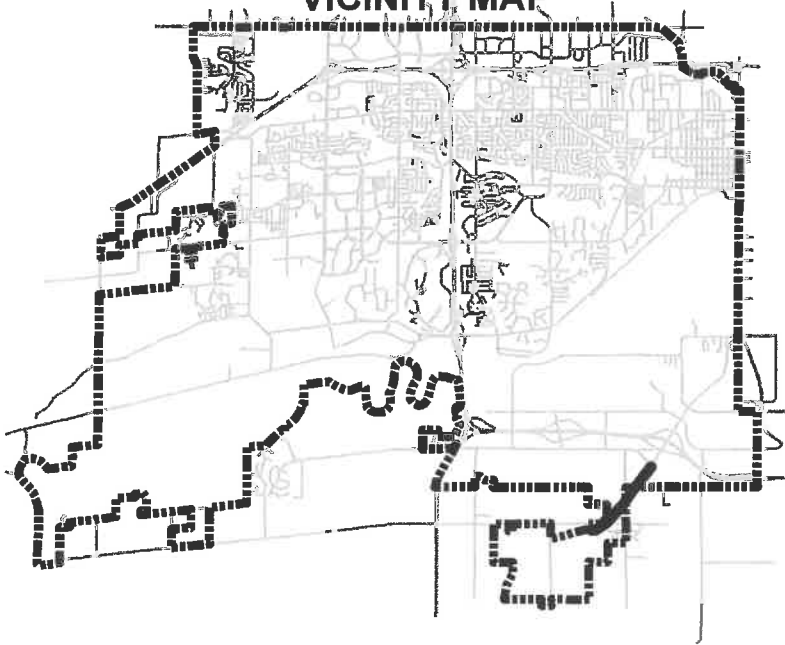
Unit	Quantity	Alliance Construction Group 3000 SE Grimes Blvd, Suite 800 Grimes, IA 50111	Flynn Company, Inc. PO Box 327 Dubuque, IA 52004	Corell Contractor, Inc. 1300 Lincoln St. West Des Moines, IA 50265	Rally Construction Co. 110 East Main Ossian, IA 52161						
						Unit Price	Total	Unit Price	Total	Unit Price	Total
<b>Division 2 - Earthwork</b>											
2.1	Cleaning and Grubbing	LS 40	200	\$ 61,300.00	\$ 61,300.00	\$ 28,000.00	\$ 28,000.00	\$ 243,506.00	\$ 243,506.00	\$ 65,000.00	\$ 65,000.00
2.2	Topsoil, Strip, Soakaway and Resigread	CY	12,500	\$ 3.55	\$ 44,375.00	\$ 3,000.00	\$ 3,000.00	\$ 4,375.00	\$ 4,375.00	\$ 3.75	\$ 45,750.00
2.3	Excavation, Class 10	CY	75,000	\$ 3.66	\$ 274,950.00	\$ 300,000.00	\$ 300,000.00	\$ 5,150.00	\$ 5,150.00	\$ 7.25	\$ 543,750.00
2.4	Class 10, Constructer Furnished Borrow	CY	12,500	\$ 10.26	\$ 128,250.00	\$ 10,000.00	\$ 10,000.00	\$ 14,000.00	\$ 14,000.00	\$ 16.50	\$ 206,250.00
2.5	Subgrade Preparation, 1"±	SY	36,600	\$ 2.15	\$ 78,690.00	\$ 2,300.00	\$ 2,300.00	\$ 2,500.00	\$ 2,500.00	\$ 1.50	\$ 54,900.00
2.6	Removal of Pipe Culvert, Less Than or Equal to 36"	LF	170	\$ 23.50	\$ 3,995.00	\$ 3,910.00	\$ 3,910.00	\$ 50.00	\$ 50.00	\$ 20.00	\$ 3,400.00
<b>Division 4 - Sewers and Drains</b>											
4.1	Storm Sewer, Trenched, RCP 37500, 15"	LF	2,451	\$ 55.00	\$ 134,805.00	\$ 134,805.00	\$ 134,805.00	\$ 71.00	\$ 174,021.00	\$ 65.00	\$ 159,315.00
4.2	Storm Sewer, Trenched, RCP 37500, 16"	LF	1,964	\$ 57.00	\$ 112,028.00	\$ 112,028.00	\$ 112,028.00	\$ 75.00	\$ 147,172.00	\$ 70.00	\$ 139,480.00
4.3	Storm Sewer, Trenched, RCP 20000, 24"	LF	715	\$ 70.00	\$ 50,050.00	\$ 50,050.00	\$ 50,050.00	\$ 90.00	\$ 64,350.00	\$ 78.00	\$ 55,770.00
4.4	Storm Sewer, Trenched, RCP 20000, 30"	LF	947	\$ 100.00	\$ 94,700.00	\$ 100,000.00	\$ 100,000.00	\$ 68.00	\$ 64,300.00	\$ 105.00	\$ 99,435.00
4.5	Storm Sewer, Trenched, RCP 20000, 36"	LF	233	\$ 114.00	\$ 26,562.00	\$ 114,000.00	\$ 114,000.00	\$ 110.00	\$ 25,630.00	\$ 135.00	\$ 31,455.00
4.6	Storm Sewer, Trenched, RCP 20000, 48"	LF	162	\$ 184.00	\$ 29,808.00	\$ 184,000.00	\$ 184,000.00	\$ 188.00	\$ 30,456.00	\$ 185.00	\$ 29,870.00
4.7	Storm Sewer, Trenched, RCP 20000, 54"	LF	233	\$ 191.00	\$ 44,503.00	\$ 191,000.00	\$ 191,000.00	\$ 230.00	\$ 53,580.00	\$ 240.00	\$ 55,920.00
4.8	Storm Sewer, Trenched, RCP 30000, 65" x 40"	LF	27	\$ 330.00	\$ 8,910.00	\$ 8,910.00	\$ 8,910.00	\$ 330.00	\$ 8,910.00	\$ 310.00	\$ 8,370.00
4.9	Pipe Apron, RCP, 15"	EA	2	\$ 1,700.00	\$ 3,400.00	\$ 1,700.00	\$ 1,700.00	\$ 1,850.00	\$ 3,700.00	\$ 1,700.00	\$ 3,400.00
4.10	Pipe Apron, RCP, 24"	EA	1	\$ 2,100.00	\$ 2,100.00	\$ 2,100.00	\$ 2,100.00	\$ 2,200.00	\$ 2,200.00	\$ 2,000.00	\$ 2,000.00
4.11	Pipe Apron, RCP, 30"	EA	4	\$ 3,000.00	\$ 12,000.00	\$ 3,000.00	\$ 3,000.00	\$ 3,275.00	\$ 13,100.00	\$ 3,000.00	\$ 12,000.00
4.12	Pipe Apron, RCP, 36"	EA	1	\$ 2,700.00	\$ 2,700.00	\$ 2,700.00	\$ 2,700.00	\$ 3,000.00	\$ 3,000.00	\$ 2,500.00	\$ 2,500.00
4.13	Pipe Apron, RCP, 48"	EA	1	\$ 2,900.00	\$ 2,900.00	\$ 2,900.00	\$ 2,900.00	\$ 3,000.00	\$ 3,000.00	\$ 2,700.00	\$ 2,700.00
4.14	Pipe Apron, RCP, 54"	EA	1	\$ 3,200.00	\$ 3,200.00	\$ 3,200.00	\$ 3,200.00	\$ 4,500.00	\$ 4,500.00	\$ 2,800.00	\$ 2,800.00
4.15	Clean Out Pipe Culvert	LS	1	\$ 41,000.00	\$ 41,000.00	\$ 41,000.00	\$ 41,000.00	\$ 34,500.00	\$ 34,500.00	\$ 30,000.00	\$ 30,000.00
4.16	Subdrain, Type 1 (Longitudinal), PVC 6"	LF	8,675	\$ 12.00	\$ 104,100.00	\$ 12,000.00	\$ 12,000.00	\$ 15.50	\$ 134,462.50	\$ 12.00	\$ 104,100.00
4.17	Subdrain, Type 1 (Longitudinal), PVC 6"	EA	34	\$ 910.00	\$ 30,940.00	\$ 810.00	\$ 810.00	\$ 550.00	\$ 18,700.00	\$ 450.00	\$ 15,300.00
4.18	Subdrain, Type 1 (Longitudinal), PVC 6"	EA	33	\$ 440.00	\$ 14,520.00	\$ 440.00	\$ 440.00	\$ 400.00	\$ 13,200.00	\$ 300.00	\$ 9,900.00
4.19	Subdrain Outlet and Connections	STA	20	\$ 950.00	\$ 19,000.00	\$ 950.00	\$ 950.00	\$ 900.00	\$ 18,000.00	\$ 125.00	\$ 2,500.00
4.20	Leaching Tile Lines	LF	500	\$ 35.00	\$ 17,500.00	\$ 17,500.00	\$ 17,500.00	\$ 26.00	\$ 13,000.00	\$ 32.00	\$ 16,000.00
4.21	Subdrain, Tile, 12"	LF	2,385	\$ 93.00	\$ 222,735.00	\$ 93.00	\$ 222,735.00	\$ 112.00	\$ 268,240.00	\$ 100.00	\$ 239,500.00
5.1	Water Main, Trenched, PVC, 24" Unrestrained Joint	LF	677	\$ 196.00	\$ 133,692.00	\$ 196.00	\$ 133,692.00	\$ 200.00	\$ 135,200.00	\$ 210.00	\$ 142,170.00
5.2	Water Main, Trenched, PVC, 24" Unrestrained Joint	LF	2,195	\$ 51.00	\$ 111,945.00	\$ 111,945.00	\$ 111,945.00	\$ 57.00	\$ 125,115.00	\$ 65.00	\$ 142,875.00
5.3	Water Main, Trenched, PVC, 16" Unrestrained Joint	LF	879	\$ 91.00	\$ 79,989.00	\$ 91.00	\$ 79,989.00	\$ 100.00	\$ 87,900.00	\$ 110.00	\$ 96,690.00
5.4	Water Main, Trenched, PVC, 16" Unrestrained Joint	LF	135	\$ 81.00	\$ 10,935.00	\$ 81.00	\$ 10,935.00	\$ 100.00	\$ 13,500.00	\$ 100.00	\$ 13,500.00
5.5	Water Main, Trenched, PVC, 12" Unrestrained Joint	LF	5,433	\$ 5.00	\$ 27,165.00	\$ 5.00	\$ 27,165.00	\$ 6.50	\$ 35,314.50	\$ 8.00	\$ 43,464.00
5.6	Water Main Fittings, Ductile Iron	LBS	5,433	\$ 5.00	\$ 27,165.00	\$ 5.00	\$ 27,165.00	\$ 6.50	\$ 35,314.50	\$ 8.00	\$ 43,464.00
5.7	Valve, DI MJ, Resilient Wedge with Valve Box, 24"	EA	3	\$ 18,000.00	\$ 54,000.00	\$ 18,000.00	\$ 18,000.00	\$ 18,500.00	\$ 55,500.00	\$ 18,000.00	\$ 54,000.00
5.8	Valve, DI MJ, Resilient Wedge with Valve Box, 16"	EA	5	\$ 6,000.00	\$ 30,000.00	\$ 6,000.00	\$ 6,000.00	\$ 6,200.00	\$ 31,000.00	\$ 6,500.00	\$ 32,500.00
5.9	Valve, DI MJ, Resilient Wedge with Valve Box, 12"	EA	1	\$ 2,100.00	\$ 2,100.00	\$ 2,100.00	\$ 2,100.00	\$ 2,300.00	\$ 2,300.00	\$ 2,400.00	\$ 2,400.00
<b>Division 5 - Structures for Sanitary and Storm Sewers</b>											
5.10	Tapping Valve Assembly, 16"x15" Sleeve with 16" RW Gate Valve and Box	EA	2	\$ 21,000.00	\$ 42,000.00	\$ 21,000.00	\$ 42,000.00	\$ 22,800.00	\$ 45,600.00	\$ 18,000.00	\$ 36,000.00
5.11	Valve Box Replacement	EA	1	\$ 360.00	\$ 360.00	\$ 360.00	\$ 360.00	\$ 1,150.00	\$ 1,150.00	\$ 600.00	\$ 600.00
5.12	Fire Hydrant Assembly	EA	10	\$ 4,900.00	\$ 49,000.00	\$ 4,900.00	\$ 49,000.00	\$ 4,350.00	\$ 43,500.00	\$ 5,000.00	\$ 50,000.00
5.13	Fire Hydrant Reinstallation	EA	1	\$ 3,100.00	\$ 3,100.00	\$ 3,100.00	\$ 3,100.00	\$ 4,200.00	\$ 4,200.00	\$ 2,800.00	\$ 2,800.00
5.14	Removal of Water Service	EA	4	\$ 860.00	\$ 3,440.00	\$ 860.00	\$ 3,440.00	\$ 4,500.00	\$ 18,000.00	\$ 1,200.00	\$ 4,800.00
<b>Division 6 - Structures for Sanitary and Storm Sewers</b>											
6.1	Intake Type SW-501 Modified	EA	14	\$ 3,500.00	\$ 49,000.00	\$ 4,200.00	\$ 58,800.00	\$ 2,500.00	\$ 35,000.00	\$ 3,100.00	\$ 43,400.00
6.2	Intake Type SW-503	EA	14	\$ 4,300.00	\$ 60,200.00	\$ 5,000.00	\$ 70,000.00	\$ 4,400.00	\$ 61,600.00	\$ 4,600.00	\$ 64,400.00
6.3	Intake Type SW-505 Modified	EA	2	\$ 6,800.00	\$ 13,600.00	\$ 7,600.00	\$ 15,200.00	\$ 4,200.00	\$ 8,400.00	\$ 6,700.00	\$ 13,400.00
6.4	Intake Type SW-505 Modified	EA	2	\$ 5,200.00	\$ 10,400.00	\$ 5,600.00	\$ 11,200.00	\$ 4,000.00	\$ 8,000.00	\$ 5,000.00	\$ 10,000.00
6.5A	Intake Type SW-505 Modified	EA	1	\$ 4,300.00	\$ 4,300.00	\$ 5,000.00	\$ 5,000.00	\$ 4,000.00	\$ 4,000.00	\$ 5,000.00	\$ 5,000.00
6.5B	Intake Type SW-506	EA	1	\$ 6,800.00	\$ 6,800.00	\$ 7,400.00	\$ 7,400.00	\$ 6,500.00	\$ 6,500.00	\$ 7,900.00	\$ 7,900.00
6.5C	Intake Type SW-506 Modified	EA	1	\$ 6,800.00	\$ 6,800.00	\$ 7,400.00	\$ 7,400.00	\$ 6,500.00	\$ 6,500.00	\$ 7,900.00	\$ 7,900.00
6.6	Intake Type SW-506 Modified 1	EA	3	\$ 24,000.00	\$ 72,000.00	\$ 24,000.00	\$ 72,000.00	\$ 18,500.00	\$ 55,500.00	\$ 26,000.00	\$ 78,000.00
6.7	Intake Type SW-506 Modified 2	EA	3	\$ 14,000.00	\$ 42,000.00	\$ 14,700.00	\$ 44,100.00	\$ 9,700.00	\$ 29,100.00	\$ 16,500.00	\$ 49,500.00
6.8	Intake Type SW-506 Modified 3	EA	2	\$ 15,000.00	\$ 30,000.00	\$ 15,700.00	\$ 31,400.00	\$ 11,800.00	\$ 23,600.00	\$ 19,000.00	\$ 38,000.00
6.9	Intake Type SW-512	EA	1	\$ 1,900.00	\$ 1,900.00	\$ 2,200.00	\$ 2,200.00	\$ 1,600.00	\$ 1,600.00	\$ 2,000.00	\$ 2,000.00
6.10	Intake Type SW-513	EA	1	\$ 5,500.00	\$ 5,500.00	\$ 6,200.00	\$ 6,200.00	\$ 5,200.00	\$ 5,200.00	\$ 6,500.00	\$ 6,500.00
6.11	Main Alignment, Major	EA	2	\$ 2,200.00	\$ 4,400.00	\$ 2,700.00	\$ 5,400.00	\$ 3,000.00	\$ 6,000.00	\$ 5,000.00	\$ 10,000.00
6.12	Office Plans, Finish and Install	LS	1	\$ 1,600.00	\$ 1,600.00	\$ 1,600.00	\$ 1,600.00	\$ 675.00	\$ 675.00	\$ 4,000.00	\$ 4,000.00
6.13	Storm Sewer Plug	EA	1	\$ 330.00	\$ 330.00	\$ 330.00	\$ 330.00	\$ 400.00	\$ 400.00	\$ 250.00	\$ 250.00







**VICINITY MAP**



**LEGEND**

PROJECT LOCATION 



PROJECT:	<b>Veterans Parkway</b>			
LOCATION:	<b>SE Maffitt Lake Road to Adams Street</b>			
DRAWN BY:	JDR	DATE:	8/31/16	PROJECT: 0510-007-2017
				SHT. 1 of 1

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE: April 16, 2018**

**ITEM:**

Public Hearing (5:35 p.m.)  
2018 PCC Reconstruction Program

**FINANCIAL IMPACT:**

The Engineering Estimate of Construction Cost was estimated to be \$595,800.00 for the 2018 PCC Reconstruction Program. There were six (6) bids submitted with the low bid of \$460,547.30 being submitted by Alliance Construction Group of Grimes, Iowa. Payments will be made from account no. 500.000.000.5250.490 with the ultimate funding intended to come from Road Use Tax. Funds for the project are available in the FY 18-19 budget, but due to timing of the construction season, this project will begin on an accelerated schedule.

**BACKGROUND:**

This project involves complete reconstruction of 3rd Street from Walnut Street to Vine Street and includes pavement removal, grading, necessary storm sewer construction, and other related miscellaneous work required to reconstruct these streets. The project is anticipated to be completed by August 10, 2018.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

**OUTSTANDING ISSUES:** None.

**RECOMMENDATION:**

City Council Adopt:

- Resolution adopting Plans, Specifications, Form of Contract, and Estimate of Costs for 2018 PCC Reconstruction Program;
- Motion receiving and filing Report of Bids;
- Resolution waiving bid irregularities and awarding the construction contract to Alliance Construction Group.

**Lead Staff Member:** Brian J. Hemesath, P.E., Interim City Engineer *PH*

**STAFF REVIEWS**

Department Director	Brian J. Hemesath, P.E., Interim City Engineer
Appropriations/Finance	Tim Stiles, Finance Director <i>CA PETS</i>
Legal	Richard Scieszinski, City Attorney <i>RS</i>
Agenda Acceptance	<i>h</i>

**PUBLICATION(S)** (if applicable)

Published In	Des Moines Register
Dates(s) Published	April 6, 2018

**SUBCOMMITTEE REVIEW** (if applicable)

Committee	
Date Reviewed	
Recommendation	Yes    No    Split

**RESOLUTION APPROVING ADOPTING PLANS, SPECIFICATIONS, FORM OF CONTRACT,  
AND ESTIMATE OF COST**

**WHEREAS**, on March 19, 2018, Plans, Specifications, Form of Contract, and Estimate of Cost were filed with the City Clerk for the following described public improvement:

**2018 PCC Reconstruction Program  
Project No. 0510-001-2018**

and,

**WHEREAS**, notice of hearing on Plans, Specifications, Form of Contract, and Estimate of Cost for said public improvements were published as required by law;

therefore,

**BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES**, that the Plans, Specifications, Form of Contract, and Estimate of Costs for said Public Improvement are hereby approved.

**PASSED AND APPROVED** on this **16th** day of **April, 2018**.

---

Steven K. Gaer, Mayor

ATTEST:

---

Ryan T. Jacobson, City Clerk

**RESOLUTION APPROVING THE AWARDING OF A CONTRACT**

**WHEREAS**, the City Council of the City of West Des Moines has heretofore directed advertisement for bids for the following described public improvement:

**2018 PCC Reconstruction Program  
Project No. 0510-001-2018**

and,

**WHEREAS**, bids have been received and opened by the City Clerk and placed on file by the City Council; and,

**WHEREAS**, an irregularity was noted on one of the bids that was received; and,

**WHEREAS**, the irregularity noted was not substantive in nature; and,

**WHEREAS**, the bid of Alliance Construction Group in the amount of \$460,547.30 was the lowest responsible bid received for said public improvement;

therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, waives the irregularity in the bids that were received.

**BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, that a contract for the 2018 PCC Reconstruction Program is hereby awarded to Alliance Construction Group in the amount of \$460,547.30 and the bond of said bidder for the project is hereby fixed in the same amount.

**BE IT FURTHER RESOLVED** that the City Engineer is authorized and directed to return bid bond(s) and/or check(s) to any unsuccessful bidder.

**BE IT FURTHER RESOLVED** that work on said project may commence as soon as the final contract and bond have been approved by the City Engineer and have been signed by the City Clerk and after the contractor is given a written notice to proceed by the City Engineer.

**PASSED AND ADOPTED** on this 16th day of April, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk



City of West Des Moines  
2018 PCC Reconstruction Project  
West Des Moines, Iowa  
TABULATION OF BIDS  
April 11, 2018 @ 2:00 PM



309 E 5th Street  
Suite 202  
Des Moines, IA 50319-1981  
Ph: (515) 259-9190  
Fax: (515) 233-6430  
Bolton-Menk.com

Line No.	Description	Unit	Quantity	Engineer's Estimate		Alliance Construction Group		Concrete Technologies Inc		Abraxas Concrete Construction		Starmist Construction Inc		Victor, IA		Hawkeye Paving Corporation	
				Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
1	TRAFFIC CONTROL	LS	1.00	\$10,000.00	\$10,000.00	\$5,850.00	\$5,850.00	\$28,000.00	\$28,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$15,000.00	\$15,000.00	\$15,000.00	\$15,000.00
2	CLEARING AND GRUBBING	LF	1.00	\$30.00	\$30.00	\$30.00	\$30.00	\$4,250.00	\$4,250.00	\$4,250.00	\$4,250.00	\$4,250.00	\$4,250.00	\$4,250.00	\$4,250.00	\$4,250.00	\$4,250.00
3	TOPSOIL ON-SITE	CF	200.00	\$20.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00
4	EXCAVATION CLASS 10	CF	743.00	\$15.00	\$11,145.00	\$11,145.00	\$11,145.00	\$11,145.00	\$11,145.00	\$11,145.00	\$11,145.00	\$11,145.00	\$11,145.00	\$11,145.00	\$11,145.00	\$11,145.00	\$11,145.00
5	BELOW GRADE EXCAVATION (CORE OUT)	CF	100.00	\$15.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00
6	SUBGRADE PREPARATION	CF	240.00	\$10.00	\$2,400.00	\$2,400.00	\$2,400.00	\$2,400.00	\$2,400.00	\$2,400.00	\$2,400.00	\$2,400.00	\$2,400.00	\$2,400.00	\$2,400.00	\$2,400.00	\$2,400.00
7	SUBGRADE TRENCH SURBASE 6"	SY	240.00	\$15.00	\$3,600.00	\$3,600.00	\$3,600.00	\$3,600.00	\$3,600.00	\$3,600.00	\$3,600.00	\$3,600.00	\$3,600.00	\$3,600.00	\$3,600.00	\$3,600.00	\$3,600.00
8	REPLACEMENT OF UNSUITABLE BACKFILL MATERIAL	CF	100.00	\$15.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00
9	REPLACEMENT OF UNSUITABLE BACKFILL MATERIAL	CF	100.00	\$15.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00	\$1,500.00
10	STORM SEWER TRENCHED RCP 12"	LF	380.00	\$110.00	\$41,800.00	\$41,800.00	\$41,800.00	\$41,800.00	\$41,800.00	\$41,800.00	\$41,800.00	\$41,800.00	\$41,800.00	\$41,800.00	\$41,800.00	\$41,800.00	\$41,800.00
11	STORM SEWER TRENCHED RCP 15"	LF	36.00	\$135.00	\$4,860.00	\$4,860.00	\$4,860.00	\$4,860.00	\$4,860.00	\$4,860.00	\$4,860.00	\$4,860.00	\$4,860.00	\$4,860.00	\$4,860.00	\$4,860.00	\$4,860.00
12	STORM SEWER TRENCHED DIP 12"	LF	76.00	\$135.00	\$10,260.00	\$10,260.00	\$10,260.00	\$10,260.00	\$10,260.00	\$10,260.00	\$10,260.00	\$10,260.00	\$10,260.00	\$10,260.00	\$10,260.00	\$10,260.00	\$10,260.00
13	STORM SEWER TRENCHED RCP 12"	LF	134.00	\$120.00	\$16,080.00	\$16,080.00	\$16,080.00	\$16,080.00	\$16,080.00	\$16,080.00	\$16,080.00	\$16,080.00	\$16,080.00	\$16,080.00	\$16,080.00	\$16,080.00	\$16,080.00
14	SUBDRAIN CLEANOUT, TYPE A-1, 6"	EA	6.00	\$1,500.00	\$9,000.00	\$9,000.00	\$9,000.00	\$9,000.00	\$9,000.00	\$9,000.00	\$9,000.00	\$9,000.00	\$9,000.00	\$9,000.00	\$9,000.00	\$9,000.00	\$9,000.00
15	SUBDRAIN OUTLETS AND CONNECTIONS, CMP, 6"	EA	6.00	\$1,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00
16	WATER SERVICE STUB, COPPER, 1"	EA	6.00	\$1,700.00	\$10,200.00	\$10,200.00	\$10,200.00	\$10,200.00	\$10,200.00	\$10,200.00	\$10,200.00	\$10,200.00	\$10,200.00	\$10,200.00	\$10,200.00	\$10,200.00	\$10,200.00
17	VALVE BOX EXTENSION	EA	6.00	\$650.00	\$3,900.00	\$3,900.00	\$3,900.00	\$3,900.00	\$3,900.00	\$3,900.00	\$3,900.00	\$3,900.00	\$3,900.00	\$3,900.00	\$3,900.00	\$3,900.00	\$3,900.00
18	FIRE HYDRANT ADJUSTMENT	EA	4.00	\$1,800.00	\$7,200.00	\$7,200.00	\$7,200.00	\$7,200.00	\$7,200.00	\$7,200.00	\$7,200.00	\$7,200.00	\$7,200.00	\$7,200.00	\$7,200.00	\$7,200.00	\$7,200.00
19	INTAKE TYPE SW-501	EA	4.00	\$3,200.00	\$12,800.00	\$12,800.00	\$12,800.00	\$12,800.00	\$12,800.00	\$12,800.00	\$12,800.00	\$12,800.00	\$12,800.00	\$12,800.00	\$12,800.00	\$12,800.00	\$12,800.00
20	CONNECTION TO EXISTING INTAKE	EA	2.00	\$1,900.00	\$3,800.00	\$3,800.00	\$3,800.00	\$3,800.00	\$3,800.00	\$3,800.00	\$3,800.00	\$3,800.00	\$3,800.00	\$3,800.00	\$3,800.00	\$3,800.00	\$3,800.00
21	PAVEMENT PCC 6"	SY	2967.00	\$55.00	\$163,385.00	\$163,385.00	\$163,385.00	\$163,385.00	\$163,385.00	\$163,385.00	\$163,385.00	\$163,385.00	\$163,385.00	\$163,385.00	\$163,385.00	\$163,385.00	\$163,385.00
22	REMOVAL OF SIDEWALK AND DRIVEWAY	SY	1010.00	\$20.00	\$20,200.00	\$20,200.00	\$20,200.00	\$20,200.00	\$20,200.00	\$20,200.00	\$20,200.00	\$20,200.00	\$20,200.00	\$20,200.00	\$20,200.00	\$20,200.00	\$20,200.00
23	SIDEWALK PCC 6"	SY	1010.00	\$25.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00
24	DRIVEWAY PAVED PCC 6"	SY	1010.00	\$25.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00	\$25,250.00
25	PAVEMENT REMOVAL	SY	2967.00	\$10.00	\$29,670.00	\$29,670.00	\$29,670.00	\$29,670.00	\$29,670.00	\$29,670.00	\$29,670.00	\$29,670.00	\$29,670.00	\$29,670.00	\$29,670.00	\$29,670.00	\$29,670.00
26	SOB PREPARATION	EA	400.00	\$55.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00
27	SOB PREPARATION	EA	400.00	\$55.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00
28	SOB PREPARATION	EA	400.00	\$55.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00	\$22,000.00
29	FILTER SOCK 18" INSTALL AND REMOVE	LS	1.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00
30	EROSION CONTROL MULCHING, HYDROMULCHING	AC	3140.00	\$4.50	\$14,130.00	\$14,130.00	\$14,130.00	\$14,130.00	\$14,130.00	\$14,130.00	\$14,130.00	\$14,130.00	\$14,130.00	\$14,130.00	\$14,130.00	\$14,130.00	\$14,130.00
31	INLET PROTECTION DEVICE, INSTALL, MAINTAIN, AND REMOVE	EA	30.00	\$140.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00	\$4,200.00
32	CONSTRUCTION SURVEY	LS	1.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00
33	MAINTENANCE OF SOLID WASTE COLLECTION	LS	1.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00
<b>TOTAL - BASE BID</b>					<b>\$555,900.00</b>	<b>\$460,547.36</b>	<b>\$460,547.36</b>	<b>\$460,547.36</b>	<b>\$460,547.36</b>	<b>\$460,547.36</b>	<b>\$460,547.36</b>	<b>\$460,547.36</b>	<b>\$460,547.36</b>	<b>\$460,547.36</b>	<b>\$460,547.36</b>	<b>\$460,547.36</b>	<b>\$460,547.36</b>

Denotes mfr error on bid proposal

I hereby certify that this engineering document was prepared by me, or under my direct personal supervision and that I am a duly licensed professional engineer under the laws of the state of Iowa

*Charles N. Kahlsdorf*  
Charles N. Kahlsdorf, P.E.  
Reg. No. 23243

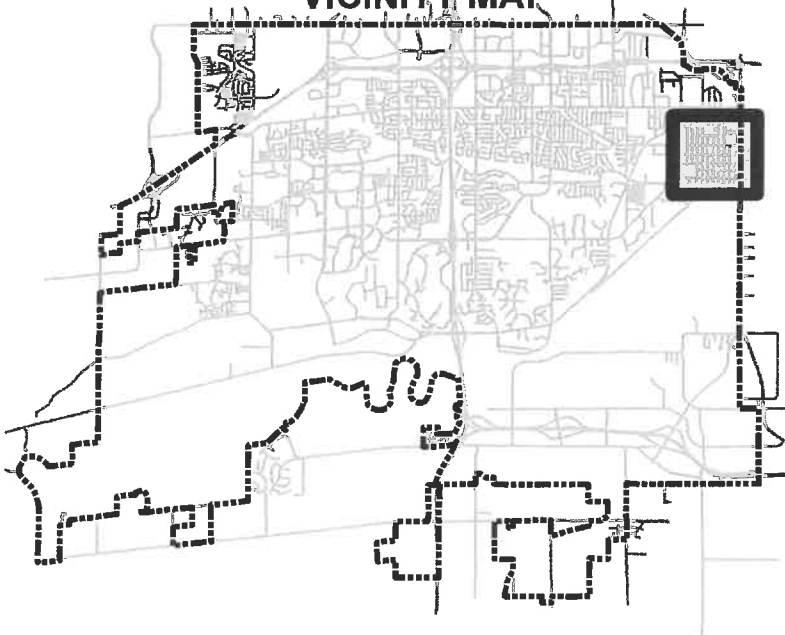
4/11/2018  
Date

11-Apr-18  
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Page 1 of 1



**VICINITY MAP**



**LEGEND**

PROJECT LOCATION



PROJECT:	<b>2018 PCC Reconstruction Program</b>		
LOCATION:	<b>3rd St, Walnut St to Vine St</b>		
DRAWN BY: JDR	DATE: 8/7/2017	PROJECT NUMBER: 0510-001-2018 SUBDIVISION NAME:	SHT. 1 of 1

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE: April 16, 2018**

**ITEM:**

Public Hearing (5:35 p.m.)  
2017 ADA Sidewalk Improvements

**FINANCIAL IMPACT:**

The Engineering Estimate of Construction Cost was estimated to be \$279,131.00 for the 2017 ADA Sidewalk Improvements. There were four (4) bids submitted with the low bid of \$249,956.00 being submitted by Westward Properties of Leon, Iowa. Payments will be made from account no. 500.000.000.5250.490 with the ultimate funding intended to come from Road Use Tax.

**BACKGROUND:**

This project consists of replacement of approximately 70 sidewalk ramps at various locations throughout the City. The sidewalk ramps being replaced as part of this project are mostly adjacent to streets in the City's 2016 & 2017 HMA Resurfacing Programs to bring them into compliance with the Americans with Disabilities Act (ADA). The project is anticipated to be completed by September 30, 2018.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

**OUTSTANDING ISSUES:** None.

**RECOMMENDATION:**

City Council Adopt:

- Resolution adopting Plans, Specifications, Form of Contract, and Estimate of Costs for 2017 ADA Sidewalk Improvements;
- Motion receiving and filing Report of Bids;
- Resolution waiving bid irregularities and awarding the construction contract to Westward Properties.

**Lead Staff Member: Brian J. Hemesath, P.E., Interim City Engineer** *BJA*

**STAFF REVIEWS**

Department Director	Brian J. Hemesath, P.E., Interim City Engineer
Appropriations/Finance	Tim Stiles, Finance Director <i>CS for TS</i>
Legal	Richard Scieszinski, City Attorney
Agenda Acceptance	<i>MA</i>

**PUBLICATION(S) (if applicable)**

Published In	Des Moines Register
Dates(s) Published	April 6, 2018

**SUBCOMMITTEE REVIEW (if applicable)**

Committee				
Date Reviewed				
Recommendation	<table border="1"> <tr> <td>Yes</td> <td>No</td> <td>Split</td> </tr> </table>	Yes	No	Split
Yes	No	Split		

**RESOLUTION APPROVING ADOPTING PLANS, SPECIFICATIONS, FORM OF CONTRACT, AND ESTIMATE OF COST**

**WHEREAS**, on March 19, 2018, Plans, Specifications, Form of Contract, and Estimate of Cost were filed with the City Clerk for the following described public improvement:

**2017 ADA Sidewalk Improvements  
Project No. 0510-063-2017**

and,

**WHEREAS**, notice of hearing on Plans, Specifications, Form of Contract, and Estimate of Cost for said public improvements were published as required by law;

therefore,

**BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES**, that the Plans, Specifications, Form of Contract, and Estimate of Costs for said Public Improvement are hereby approved.

**PASSED AND APPROVED** on this **16th** day of **April, 2018**.

---

Steven K. Gaer, Mayor

ATTEST:

---

Ryan T. Jacobson, City Clerk

**RESOLUTION APPROVING THE AWARDING OF A CONTRACT**

**WHEREAS**, the City Council of the City of West Des Moines has heretofore directed advertisement for bids for the following described public improvement:

**2017 ADA Sidewalk Improvements  
Project No. 0510-063-2017**

and,

**WHEREAS**, bids have been received and opened by the City Clerk and placed on file by the City Council; and,

**WHEREAS**, an irregularity was noted on one of the bids that was received; and,

**WHEREAS**, the irregularity noted was not substantive in nature; and,

**WHEREAS**, the bid of Westward Properties in the amount of \$249,956.00 was the lowest responsible bid received for said public improvement;

therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, waives the irregularity in the bids that were received.

**BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, that a contract for the 2017 ADA Sidewalk Improvements is hereby awarded to Westward Properties in the amount of \$249,956.00 and the bond of said bidder for the project is hereby fixed in the same amount.

**BE IT FURTHER RESOLVED** that the City Engineer is authorized and directed to return bid bond(s) and/or check(s) to any unsuccessful bidder.

**BE IT FURTHER RESOLVED** that work on said project may commence as soon as the final contract and bond have been approved by the City Engineer and have been signed by the City Clerk and after the contractor is given a written notice to proceed by the City Engineer.

**PASSED AND ADOPTED** on this **16th** day of **April, 2018**.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk

City of West Des Moines  
 2017 ADA Sidewalk Improvements Project  
 West Des Moines, Iowa  
 April 11, 2018 @ 2:00 PM



309 E 5th Street  
 Suite 202  
 Des Moines, IA 50309-1981  
 Ph: (515) 259-9190  
 Fax: (515) 233-4430  
 Bolton-Menk.com

Line No.	Description	Unit	Quantity	Engineer's Estimate		Westward Properties Leon, IA		T-Zack Concrete, Inc Le Center, MN		Hill Contracting Leon, IA		Howrey Construction Rockwell City, IA	
				Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
1	TRAFFIC CONTROL	LS	1.00	\$15,000.00	\$15,000.00	\$20,000.00	\$20,000.00	\$30,000.00	\$30,000.00	\$15,000.00	\$15,000.00	\$40,000.00	\$40,000.00
2	TOPSOIL OFF-SITE	LS	1.00	\$6,000.00	\$6,000.00	\$5,000.00	\$5,000.00	\$15,500.00	\$15,500.00	\$5,000.00	\$5,000.00	\$15,000.00	\$15,000.00
3	EXCAVATION, CLASS 10 (CUT)	CY	75.00	\$75.00	\$5,625.00	\$100.00	\$7,500.00	\$45.00	\$3,375.00	\$1,000.00	\$7,500.00	\$1,000.00	\$7,500.00
4	MANHOLE ADJUSTMENT MINOR	EA	6.00	\$1,000.00	\$6,000.00	\$500.00	\$3,000.00	\$200.00	\$1,200.00	\$1,000.00	\$6,000.00	\$750.00	\$4,500.00
5	CURB AND GUTTER, PCC	LF	1044.00	\$15.00	\$15,660.00	\$15.00	\$15,660.00	\$44.00	\$45,936.00	\$100.00	\$104,400.00	\$80.00	\$83,520.00
6	REMOVAL OF SIDEWALK	SY	969.00	\$20.00	\$19,380.00	\$15.00	\$14,535.00	\$17.00	\$16,473.00	\$15.00	\$14,535.00	\$25.00	\$24,225.00
7	REMOVAL OF TRAIL	LF	47.00	\$20.00	\$940.00	\$12.00	\$564.00	\$17.00	\$799.00	\$50.00	\$2,350.00	\$80.00	\$3,760.00
8	REMOVAL OF CURB	LF	1016.00	\$20.00	\$20,320.00	\$15.00	\$15,240.00	\$7.00	\$7,112.00	\$10.00	\$10,160.00	\$25.00	\$25,400.00
9	TRAIL, REINFORCED, PCC, 6"	SY	96.00	\$125.00	\$11,900.00	\$80.00	\$7,680.00	\$102.00	\$9,720.00	\$100.00	\$9,600.00	\$140.00	\$13,440.00
10	SIDEWALK, PCC, 4"	SY	557.00	\$90.00	\$50,130.00	\$48.00	\$26,736.00	\$102.00	\$56,814.00	\$70.00	\$39,060.00	\$135.00	\$75,150.00
11	SIDEWALK, PCC, 6"	SY	377.00	\$120.00	\$45,240.00	\$55.00	\$20,735.00	\$102.00	\$38,454.00	\$80.00	\$30,160.00	\$190.00	\$71,630.00
12	DETECTABLE WARNING	SF	784.00	\$10.00	\$7,840.00	\$40.00	\$31,360.00	\$44.00	\$34,496.00	\$50.00	\$39,200.00	\$50.00	\$39,200.00
13	PAINTED PAVEMENT MARKINGS, SOLVENT/WATERBORNE	LS	1.00	\$1,000.00	\$1,000.00	\$2,000.00	\$2,000.00	\$2,500.00	\$2,500.00	\$5,000.00	\$5,000.00	\$14,000.00	\$14,000.00
14	HYDRAULIC SEEDING, SEEDING, FERTILIZING, AND MULCHING	SF	1620.00	\$2.90	\$4,698.00	\$1.50	\$2,430.00	\$0.70	\$1,134.00	\$1.00	\$1,620.00	\$2.50	\$4,050.00
15	SOIL	SQ	73.00	\$150.00	\$10,950.00	\$100.00	\$7,300.00	\$0.70	\$51.10	\$1.00	\$73.00	\$2.50	\$182.50
16	FILTER SOCK	LF	1044.00	\$2.00	\$2,088.00	\$4.00	\$4,176.00	\$0.10	\$104.40	\$1.00	\$1,044.00	\$5.00	\$5,220.00
17	TEMPORARY RECP	SF	8920.00	\$1.00	\$8,920.00	\$1.00	\$8,920.00	\$0.50	\$4,460.00	\$2.50	\$22,300.00	\$1.00	\$8,920.00
<b>TOTAL BASE BID</b>					<b>\$279,131.00</b>		<b>\$249,956.00</b>		<b>\$274,074.40</b>		<b>\$325,635.00</b>		<b>\$447,235.00</b>

Denotes math error on bid proposal

I hereby certify that this engineering document was prepared by me, or under my direct personal supervision and that I am a duly licensed professional engineer under the laws of the State of Iowa

*Charles N Kahlesdorf*

4/11/2018

Charles N Kahlesdorf, P.E.  
 Reg. No. 23243

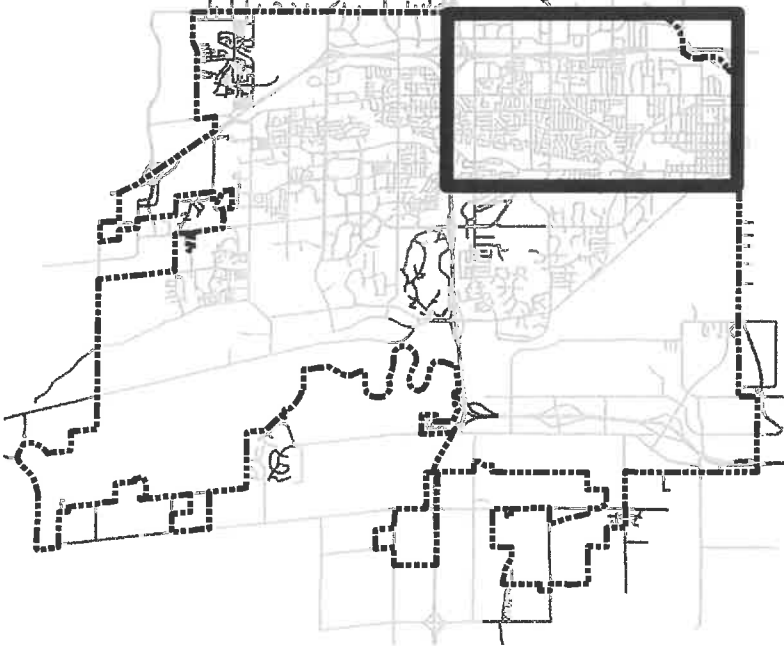
Date



11-Apr-18  
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**VICINITY MAP**



**LEGEND**

PROJECT LOCATION ●



PROJECT:

**2017 ADA Sidewalks Program**

LOCATION:

**Exhibit "A"**

DRAWN BY: JDR

DATE: 3/14/2018

PROJECT NUMBER : 0510-063-2017  
SUBDIVISION NAME:

SHT. 1 of 1

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE:** April 16, 2018

- ITEM:** Public Hearing – Holiday Park Parking Lot Repairs
1. Resolution – Approval of Plans and Specifications
  2. Motion – Receive and File Report of Bids
  3. Resolution – Approve Contract

**FINANCIAL IMPACT:** Total expense of \$91,685.00 which includes \$88,485.00 base bid plus \$3,200.00 add alternate. There is a total budget of \$110,000 available for this project including \$50,000 available in FY 17-18, and \$60,000 available in FY 18-19. Project expenses will be paid with budgeted funds in the Concrete Renovations in Parks C.I.P. account (0510 069 2017). The project will be constructed this summer in two phases over two fiscal years

**BACKGROUND:** The Council is asked to approve the plans and specifications for the Holiday Park Parking Lot Repairs project and to receive and file the report of bids that is attached. Nine (9) bids were received for the project with the lowest responsible base bid submitted by Concrete Connection, LLC of Johnston, Iowa. The opinion of probable cost for the project was \$106,554.




This resolution is for the repair and replacement of portions of existing concrete parking lot paving located in Holiday Park. Portions of the repairs will be done this spring prior to opening of the Holiday Park Aquatic Center, with other repairs later this fall after the busy pool and ballfield season has concluded. One add-alternate is being included for paving of drainage flumes connecting parking lots to the larger existing concrete flume running through the park. The majority of defects in the paving involve cracking and settlement issues. Defective areas of the paving are being replaced with reinforced concrete to help prevent future problems. This will further extend the life of the new pavement.

**OUTSTANDING ISSUES:** None.

**RECOMMENDATION:** That the Council hold the public hearing and pass the resolution to approve the plans and specifications, move to receive and file the report of bids, and award the contract for the Holiday Park Parking Lot Repairs in the amount of \$91,685.00.

**Lead Staff Member:** David Sadler, Superintendent of Parks 

**STAFF REVIEWS**

Department Director	Sally Ortgies, Director of Parks and Recreation 
Appropriations/Finance	Tim Stiles, Finance Director 
Legal	Richard Scieszinski, City Attorney
Agenda Acceptance	

**PUBLICATION(S)** (if applicable)

Published In	Des Moines Register
Dates(s) Published	April 6, 2018

**SUBCOMMITTEE REVIEW** (if applicable)

Committee	N/A		
Date Reviewed			
Recommendation	Yes	No	Split



**Resolution Adopting Plans,  
Specifications, Form of Contract, and  
Estimate of Cost**

**WHEREAS**, on March 19, 2018 Plans, Specifications, Form of Contract, and Estimate of Cost were filed with the City Clerk for the following described public improvement:

**Holiday Park Parking Lot Repairs**

and,

**WHEREAS**, notice of hearing on Plans, Specifications, Form of Contract, and Estimate of Cost for said public improvements was published as required by law;

therefore

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, that the Plans, Specifications, Form of Contract, and Estimate of Cost for said public improvement are hereby approved.

**PASSED AND APPROVED** this 16<sup>th</sup> day of April, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk

**Resolution Approving Contract**

**WHEREAS**, the City Council of the City of West Des Moines has heretofore directed advertisement for bids for the following described public improvement:

**Holiday Park Parking Lot Repairs**

and,

**WHEREAS**, bids have been received and opened by the City Clerk, Deputy City Clerk, or designee and placed on file by the City Council.

and,

**WHEREAS**, the bid of Concrete Connection, LLC of Johnston, Iowa in the amount of \$91,685.00 is the lowest responsible bid received for said public improvement, therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA**, that a contract for the Holiday Park Parking Lot Repairs is hereby awarded to Concrete Connection, LLC in the amount of \$91,685.00 and the bond of said bidder for the project is hereby fixed in the same amount.

**BE IT FURTHER RESOLVED** that the Director of Parks and Recreation is authorized and directed to return bid bonds and/or checks to any unsuccessful bidder.

**BE IT FURTHER RESOLVED** that work on said project may commence as soon as the final contract and bond have been approved by the Director of Parks and Recreation and have been signed by the Director of Finance and after the contractor is given a written notice to proceed by the Director of Parks and Recreation.

**PASSED AND APPROVED** this 16<sup>th</sup> day of April, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk

**City of West Des Moines**  
**Holiday Park Parking Lot Repairs**  
**Project No. 0510 069 2017**  
**Tabulation of Bids**  
**April 11, 2018**  
**Engineers Estimate: \$106,436.40**

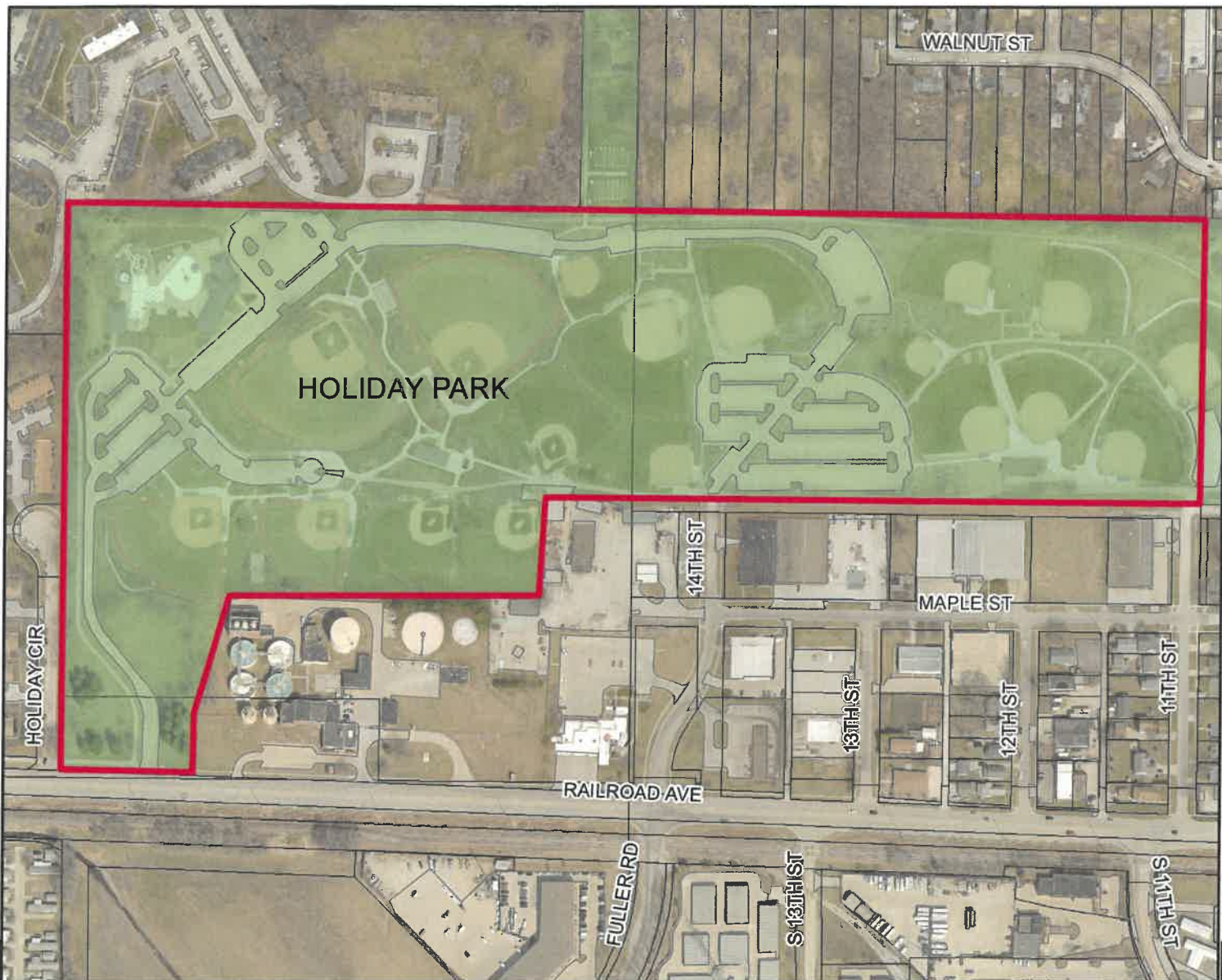
I hereby certify that this is a true and correct tabulation of bids received on  
 April 11, 2018 for the Holiday Park Parking Lot Repairs, In  
 West Des Moines, Iowa.  
 Marco Alvarez, P.L.A. License # 694 Date: 04/11/18



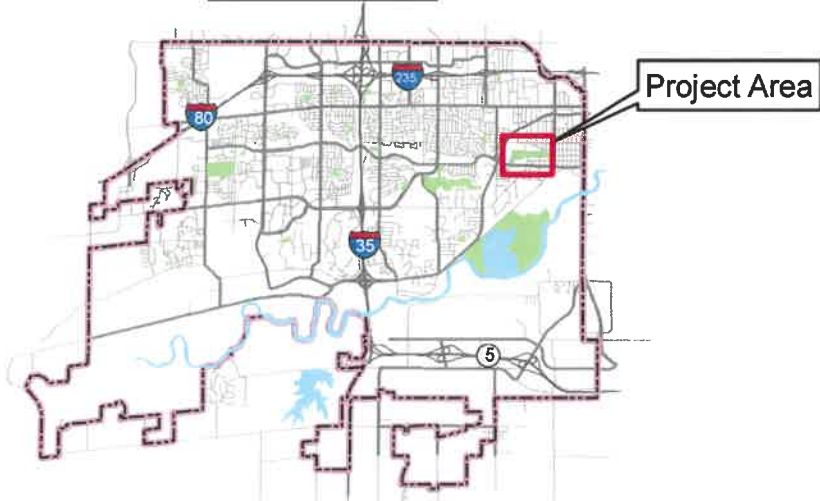
Item #	Item	Unit	Quantity	Concrete Connection LLC Johnston, IA		Westward Properties Leon, IA		Hill Contracting Leon, IA		J.T. Concrete, INC. Des Moines, IA		The Concrete Company Grimes, IA	
				Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
1	Mobilization	LS	1	5,555.55	\$ 5,555.55	500.00	\$ 500.00	2,000.00	\$ 2,000.00	3,000.00	\$ 3,000.00	5,000.00	\$ 5,000.00
2	Traffic Control	LS	1	750.00	\$ 750.00	500.00	\$ 500.00	1,000.00	\$ 1,000.00	4,500.00	\$ 4,500.00	3,000.00	\$ 3,000.00
3	Concrete Removal	SF	9,704	1.25	\$ 12,130.00	12,130.00	\$ 12,130.00	1.00	\$ 9,704.00	1.00	\$ 9,704.00	1.50	\$ 14,556.00
4	Pavement, Reinforced PCC, 7"	SF	8,797	5.35	\$ 47,063.95	6.25	\$ 54,981.25	6.25	\$ 54,981.25	6.41	\$ 56,388.77	6.35	\$ 55,860.95
5	Sidewalk, Reinforced PCC, 5"	SF	907	4.50	\$ 4,081.50	4.85	\$ 4,398.95	5.00	\$ 4,535.00	4.70	\$ 4,262.90	5.80	\$ 5,260.60
6	Curb & Gutter Patch, PCC; 24"	LF	444	28.00	\$ 12,432.00	35.00	\$ 15,640.00	50.00	\$ 22,200.00	30.00	\$ 13,320.00	25.00	\$ 11,100.00
7	Parking Lot Striping	SF	434	8.00	\$ 3,472.00	2.00	\$ 868.00	1.00	\$ 434.00	2.00	\$ 868.00	4.50	\$ 1,953.00
8	Site Restoration - Backfill & Seed	LS	1	3,000.00	\$ 3,000.00	1,000.00	\$ 1,000.00	1,000.00	\$ 1,000.00	4,000.00	\$ 4,000.00	2,850.00	\$ 2,850.00
<b>TOTAL</b>				<b>\$ 88,485.00</b>		<b>\$ 89,918.20</b>		<b>\$ 95,854.25</b>		<b>\$ 96,043.67</b>		<b>\$ 99,580.55</b>	
<b>Add-Alternate #1</b>													
1	Drainage Flume, PCC, 36" Wide	LF	80	40.00	\$ 3,200.00	40.00	\$ 3,200.00	125.00	\$ 10,000.00	30.00	\$ 2,400.00	80.00	\$ 6,400.00

Item #	Item	Unit	Quantity	Henriksen Contracting, LLC Grimes, IA		Tricrete Construction, LLC Urbandale, IA		Howey Construction Rockwell City, IA		Speck USA, INC. Moines, IA		Des Moines, IA
				Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	
1				3,000.00	\$ 3,000.00	5,500.00	\$ 5,500.00	8,000.00	\$ 8,000.00	2,000.00	\$ 2,000.00	2,000.00
2				5,000.00	\$ 5,000.00	3,000.00	\$ 3,000.00	6,000.00	\$ 6,000.00	1,000.00	\$ 1,000.00	1,000.00
3				1.50	\$ 14,556.00	2.00	\$ 19,408.00	2.00	\$ 19,408.00	1.50	\$ 14,556.00	1,000.00
4				4.95	\$ 43,545.15	5.40	\$ 47,503.80	6.00	\$ 52,782.00	9.00	\$ 79,173.00	6.00
5				3.75	\$ 3,401.25	5.00	\$ 4,535.00	6.25	\$ 5,668.75	6.00	\$ 5,442.00	6.00
6				65.00	\$ 28,860.00	40.00	\$ 17,760.00	32.00	\$ 14,208.00	50.00	\$ 22,200.00	50.00
7				2.25	\$ 976.50	8.64	\$ 3,750.19	5.00	\$ 2,170.00	1.15	\$ 499.10	1.15
8				2,500.00	\$ 2,500.00	5,500.00	\$ 5,500.00	2,000.00	\$ 2,000.00	1,000.00	\$ 1,000.00	1,000.00
<b>TOTAL</b>				<b>\$ 101,838.90</b>		<b>\$ 106,956.99</b>		<b>\$ 110,236.75</b>		<b>\$ 125,870.10</b>		
<b>Add-Alternate #1</b>												
1	Drainage Flume, PCC, 36" Wide	LF	80	35.00	\$ 2,800.00	18.00	\$ 1,440.00	108.00	\$ 8,640.00	56.25	\$ 4,500.00	4,500.00

Denotes math error on proposal



**VICINITY MAP**



**LEGEND**

 Project Location



PROJECT:

**HOLIDAY PARK PARKING LOT REPAIRS**

LOCATION:

**1701 RAILROAD AVE**

DRAWN BY: **MAA**

DATE: **3/15/2018**

PROJECT NO.: **0510 069 2017**

SHT. **1 of 1**

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**Date: April 16, 2018**

**ITEM:** Dawson Ridge, 9450 Booneville Road – Subdivide property into 13 single family lots, and 2 street lots– 117 Land Company LLC. – PP-003738-2018

**RESOLUTION:** Approval of Preliminary Plat

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** The applicant, Emily Harding of Civil Design Advantage, on behalf of Rob Myers of 117 Land Company LLC, is requesting approval of a Preliminary Plat for approximately 12.69 acres located at 9450 Booneville Road. The applicant proposes to subdivide the property into 13 single family lots, and 2 street lots. The existing home on the proposed lot one will remain.

Plan and Zoning Commission Action:

Vote: 7-0 approval

Date: April 9, 2018

Motion: Adopt a resolution recommending the City Council approve the Preliminary Plat Request

**OUTSTANDING ISSUES:** There are no outstanding issues. The applicant has stated that they are in agreement with all of staff's recommendations and conditions. The following items of interest are noted in the attached Plan and Zoning Commission report (see Exhibit I):

- Applicant's Request
- History
- City Council Subcommittee - *Development & Planning: January 8, 2018*
- Staff Review and Comments
  - *Temporary Construction Easement*
  - *Parkland Dedication*
- Comprehensive Plan Consistency
- Findings
- Staff Recommendations and Conditions of Approval
- Owner/Applicant/Applicant Representative Information

**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, the Plan and Zoning Commission recommends the City Council approve the Dawson Ridge Preliminary Plat to allow a platting of 13 single family lots, and 2 street lots, subject to the applicant meeting all City Code requirements and the following:

1. Applicant acknowledging and agreeing that a Temporary Construction Easement along the north edge of the plat shall be submitted prior to the approval of the final plat.
2. Applicant acknowledging and agreeing that no structure, landscaping or other physical impedance, including but not limited to, sheds, gazebos, fences, play structures, trees, or bushes shall be located in the Temporary Construction Easement until the improvements to Booneville Road are completed.

Lead Staff Member: J. Bradley Munford

**Staff Reviews:**

Department Director	
Appropriations/Finance	
Legal	JBW
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

Published In	not required
Date(s) Published	n/a
Letter sent to surrounding property owners	n/a

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Development & Planning		
Date Reviewed	1/8/2018		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**

- Exhibit I - Plan and Zoning Commission Communication
  - Attachment A - Plan and Zoning Commission Resolution
  - Exhibit A - Conditions of Approval
  - Attachment B - Location Map
  - Attachment C - Preliminary Plat
- Exhibit II - City Council Resolution
  - Exhibit A - Conditions of Approval

**CITY OF WEST DES MOINES  
PLAN AND ZONING COMMISSION COMMUNICATION**

**Meeting Date:** April 9, 2018

**Item:** Dawson Ridge, 9450 Booneville Road – Subdivide property into 13 single family lots, and 2 street lots– 117 Land Company LLC. – PP-003738-2018

**Requested Action:** Approval of Preliminary Plat

**Case Advisor:** J. Bradley Munford

**Applicant’s Request:** The applicant, Emily Harding of Civil Design Advantage, on behalf of Rob Myers of 117 Land Company LLC, is requesting approval of a Preliminary Plat for approximately 12.69 acres located at 9450 Booneville Road. The applicant proposes to subdivide the property into 13 single family lots, and 2 street lots. The existing home on the proposed lot one will remain.

**History:** The home on the property was built in Dallas County in 1950. The property was annexed into the city in 2003 as a part of the Mills Civic Parkway Annexation. In 2010, the parcel was designated on the adopted Comprehensive Plan as Single Family Residential. The City Council approved the Residential Single Family (RS-8) zoning classification on this property on August 7, 2017. On February 5, 2018 the City Council approved a Plat of Survey to create a 58,520 square foot parcel for transfer of ownership of the existing home.

**City Council Subcommittee:** Dawson Ridge Preliminary Plat was presented to Development and Planning Subcommittee for information at its January 8, 2018 meeting. The Subcommittee was supportive of the preliminary plat.

**Staff Review and Comment:** This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff would note the following items of interest:

- **Temporary Construction Easement:** Currently this section of Booneville Road is unimproved. The Ultimate Street Circulation Map in the City’s Comprehensive Plan designates Booneville Road as a Major Collector. The City will make improvements to the road in the reasonably near future. The applicant has worked with staff and has agreed that with the approval of the final plat, they will provide a Temporary Construction Easement along the north edge of the plat. As a part of this Preliminary Plat approval, staff recommends a condition that states that the Temporary Construction Easement shall be submitted prior to the approval of the final plat and that nothing can be constructed or planted in the easement until Booneville Road is improved.
- **Parkland Dedication:** By ordinance, residential developments are required to provide land dedication for parks and greenways, or some type of recreational improvement in lieu of land dedication. Based on conversations with the applicant, they have agreed that once the final plat is approved, they will construct a portion of the 10 foot wide trail between Harper Lane and Stagecoach Drive as part of the parkland dedication requirements for this project.

**Comprehensive Plan Consistency:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**Findings:** This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding

has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.

2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

**Staff Recommendation And Conditions Of Approval:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Dawson Ridge Preliminary Plat to create 13 single family lots, and 2 street lots, subject to the applicant meeting all City Code requirements and the following:

1. Applicant acknowledging and agreeing that a Temporary Construction Easement along the north edge of the plat shall be submitted prior to the approval of the final plat.
2. Applicant acknowledging and agreeing that no structure, landscaping or other physical impedance, including but not limited to, sheds, gazebos, fences, play structures, trees, or bushes shall be located in the Temporary Construction Easement until the improvements to Booneville Road are completed.

**Applicant:** 117 Land Company LLC  
9550 Hickman Road  
Clive, Iowa 50325  
[rob@youriowalots.com](mailto:rob@youriowalots.com)

**Applicant Representative:** Civil Design Advantage  
Emily Harding  
3405 SE Crossroads Drive, Suite G  
Grimes, IA 50111  
[emilyh@cda-eng.com](mailto:emilyh@cda-eng.com)

**ATTACHMENTS:**

Attachment A - Plan and Zoning Commission Resolution  
Exhibit A - Conditions of Approval  
Attachment B - Location Map  
Attachment C - Preliminary Plat



RESOLUTION NO. PZC-18-023

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE DAWSONS RIDGE PRELIMINARY PLAT TO SUBDIVIDE THE PROPERTY INTO 13 SINGLE FAMILY LOTS, AND 2 STREET LOTS.**

**WHEREAS**, pursuant to the provisions of Title 10, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, 117 Land Company LLC, has requested approval for a Preliminary Plat (PP-003738-2018) to create 13 single family residential lots, and 2 public street lots on the 12.69 acre site located at 9450 Booneville Road;

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, on April 9, 2018, this Commission held a duly-noticed public meeting to consider the application for Dawson Ridge Preliminary Plat (PP-003738-2018);

**NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

SECTION 1. The findings, for approval, in the staff report or as amended orally at the Plan and Zoning Commission meeting are adopted.

SECTION 2. PRELIMINARY PLAT (PP-003738-2018) to subdivide the property into 13 single family residential lots, and 2 public street lots, is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report including conditions added at the meeting, and attached hereto as Exhibit "A." Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on April 9, 2018.

  
Craig Erickson, Chairperson  
Plan and Zoning Commission

ATTEST:

  
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on April 9, 2018, by the following vote:


AYES: Andersen, Christianson, Costa, Crowley, Drake, Hatfield, Southworth

NAYS:

ABSTENTIONS:

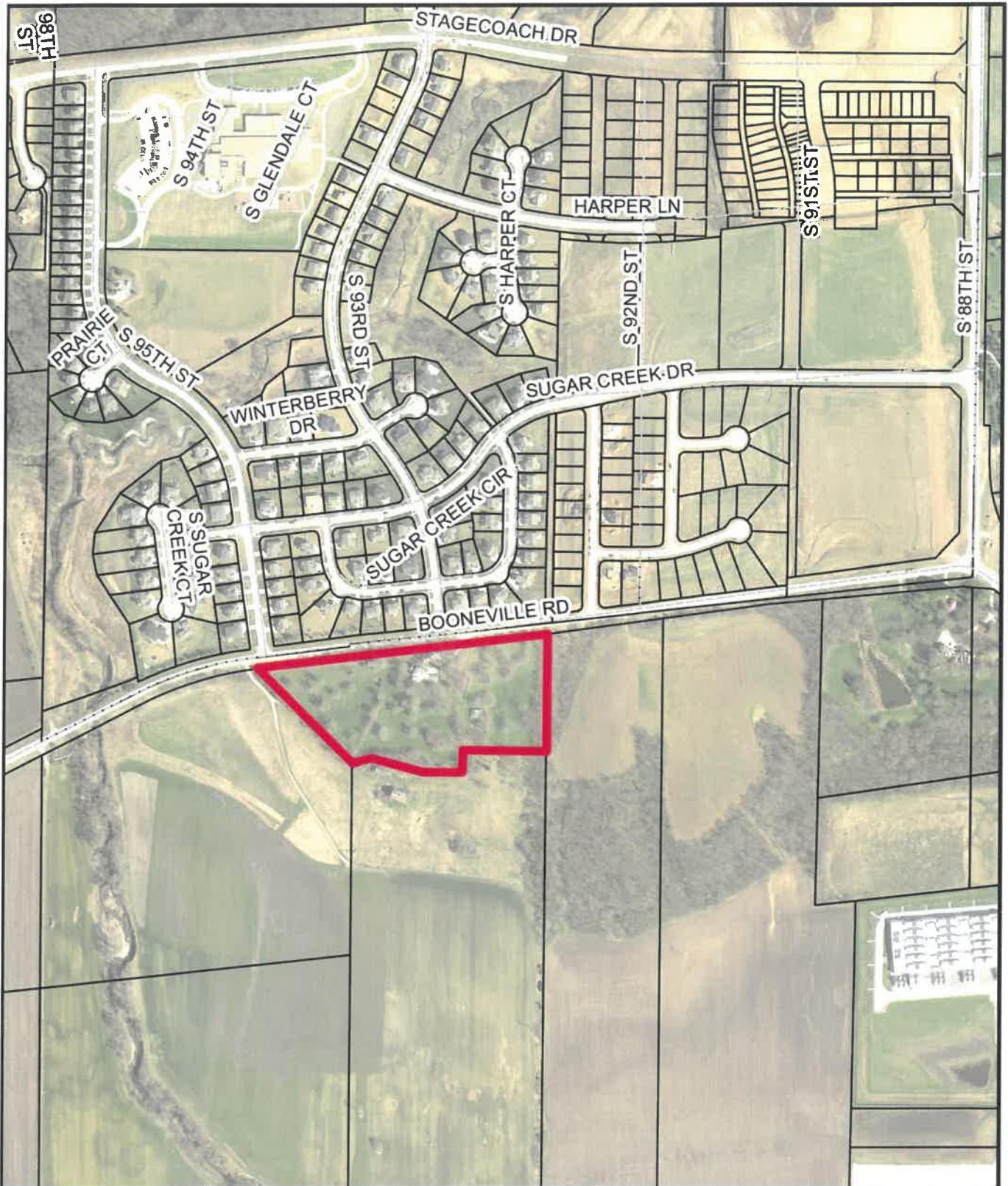
ABSENT:

ATTEST:

  
Recording Secretary

**Exhibit A  
CONDITIONS OF APPROVAL**

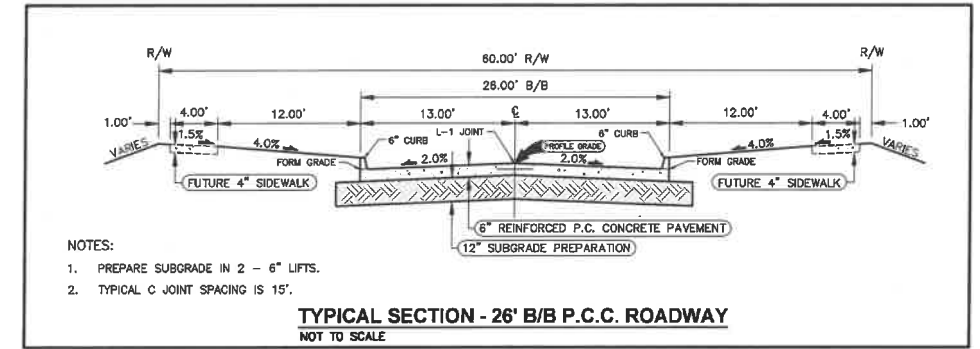
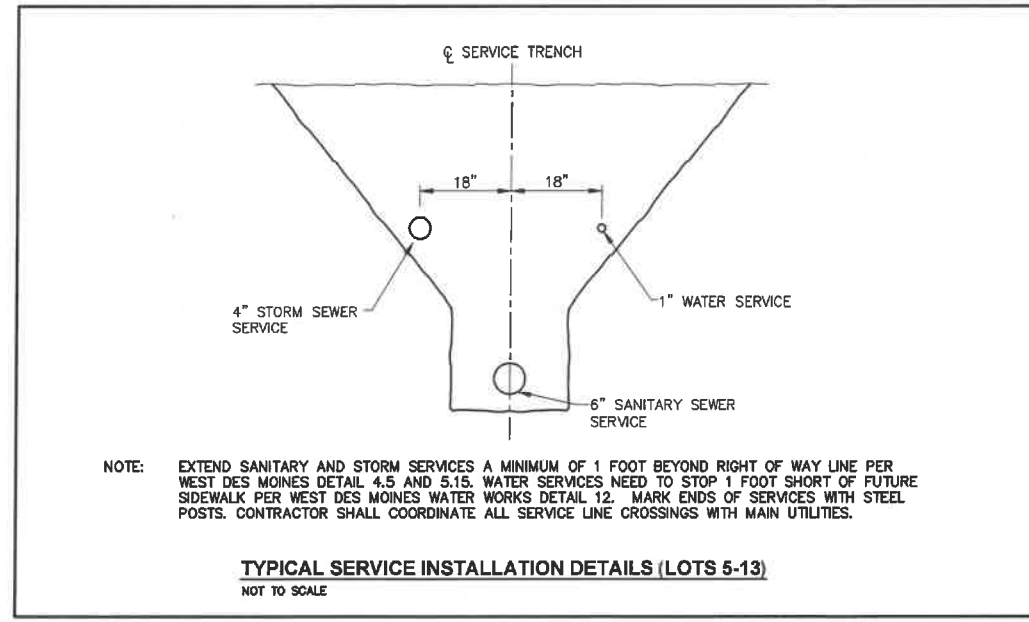
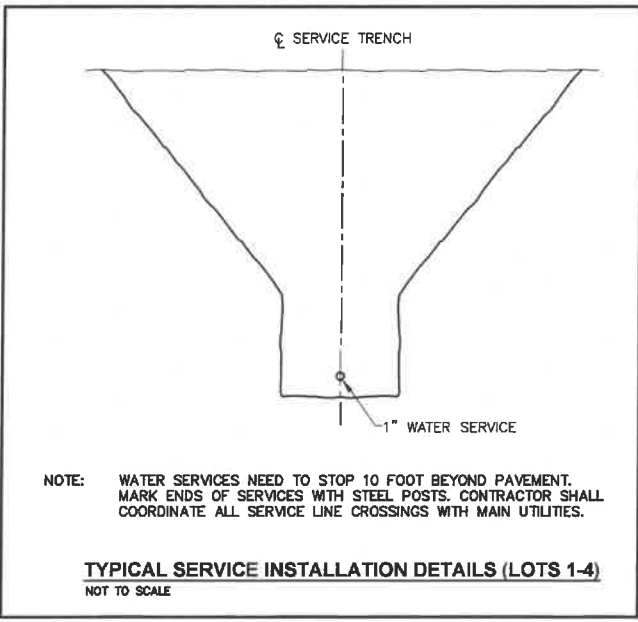
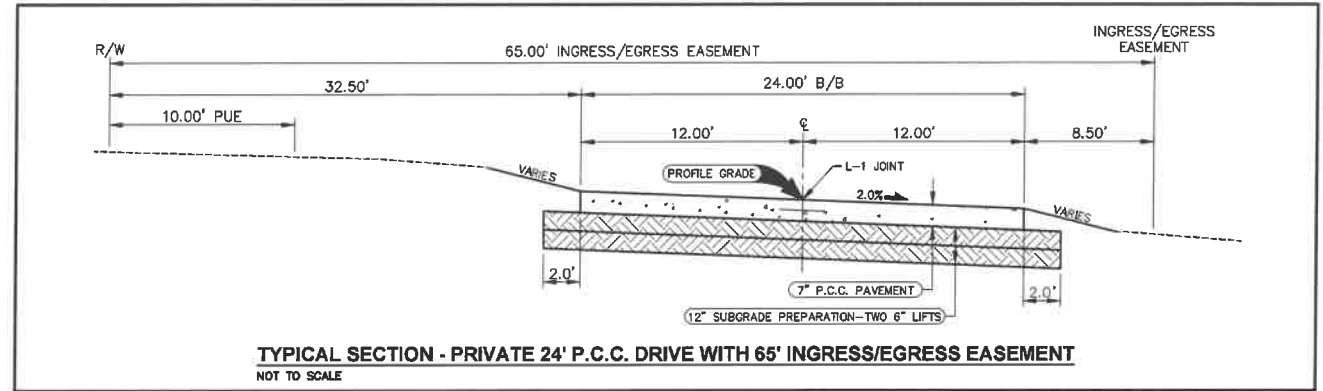
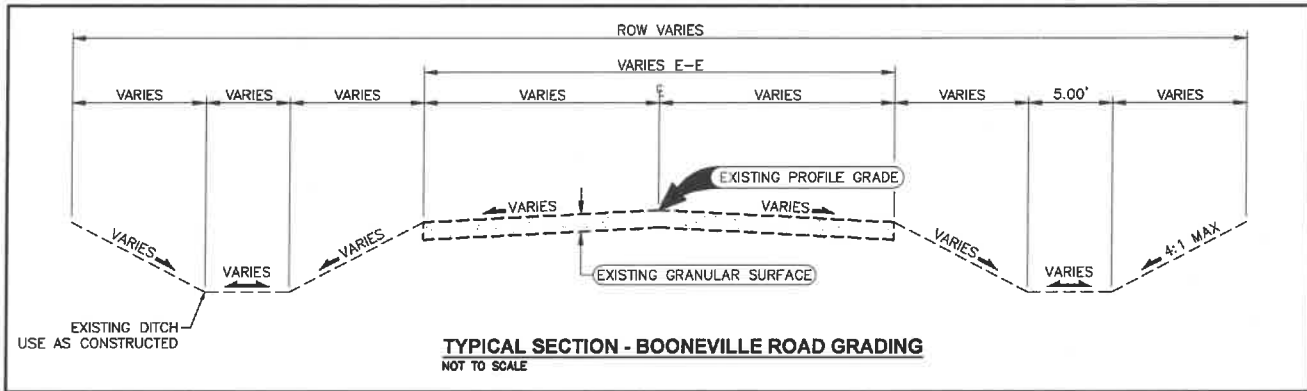
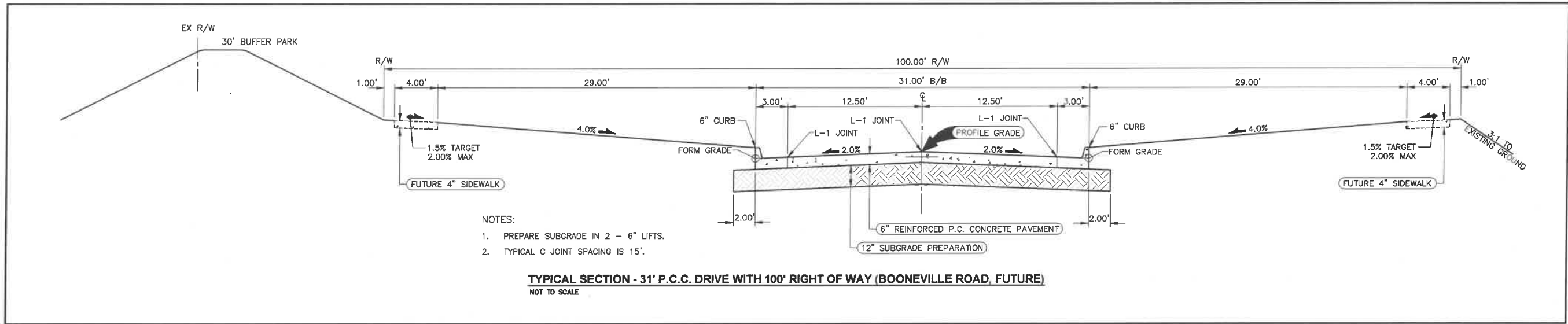
1. Applicant acknowledging and agreeing that a Temporary Construction Easement along the north edge of the plat shall be submitted prior to the approval of the final plat.
2. Applicant acknowledging and agreeing that no structure, landscaping or other physical impedance, including but not limited to, sheds, gazebos, fences, play structures, trees, or bushes shall be located in the Temporary Construction Easement until the improvements to Booneville Road are completed.



### Dawson Ridge







FILE: H:\2024\Projects\1704.214-1704.214 PRELIMINARY PLAT.DWG  
 FILE NAME: 2/21/24  
 DATE PLOTTED: 2/21/2024 2:48 PM  
 PLOTTED BY: ENR PLANNING TECH

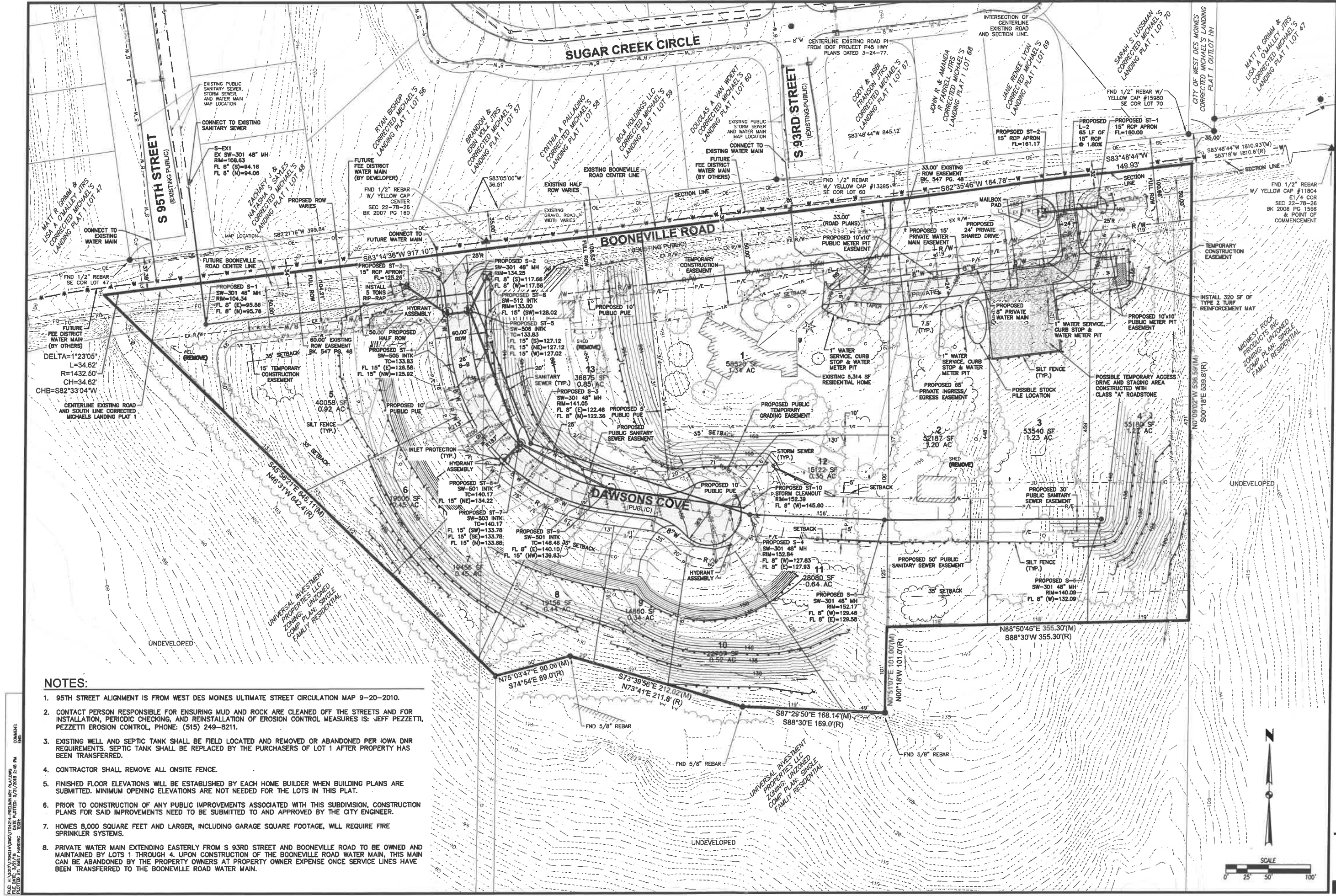
REVISIONS	DATE
THIRD SUBMITTAL	3/21/18
SECOND SUBMITTAL	3/01/18
FIRST SUBMITTAL	12/28/17

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410



CIVIL DESIGN ADVANTAGE  
 WEST DES MOINES, IOWA

**DAWSONS RIDGE**  
**PRELIMINARY PLAT**



**NOTES:**

- 95TH STREET ALIGNMENT IS FROM WEST DES MOINES ULTIMATE STREET CIRCULATION MAP 9-20-2010.
- CONTACT PERSON RESPONSIBLE FOR ENSURING MUD AND ROCK ARE CLEANED OFF THE STREETS AND FOR INSTALLATION, PERIODIC CHECKING, AND REINSTALLATION OF EROSION CONTROL MEASURES IS: JEFF PEZZETTI, PEZZETTI EROSION CONTROL, PHONE: (515) 249-8211.
- EXISTING WELL AND SEPTIC TANK SHALL BE FIELD LOCATED AND REMOVED OR ABANDONED PER IOWA DNR REQUIREMENTS. SEPTIC TANK SHALL BE REPLACED BY THE PURCHASERS OF LOT 1 AFTER PROPERTY HAS BEEN TRANSFERRED.
- CONTRACTOR SHALL REMOVE ALL ONSITE FENCE.
- FINISHED FLOOR ELEVATIONS WILL BE ESTABLISHED BY EACH HOME BUILDER WHEN BUILDING PLANS ARE SUBMITTED. MINIMUM OPENING ELEVATIONS ARE NOT NEEDED FOR THE LOTS IN THIS PLAT.
- PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
- HOMES 8,000 SQUARE FEET AND LARGER, INCLUDING GARAGE SQUARE FOOTAGE, WILL REQUIRE FIRE SPRINKLER SYSTEMS.
- PRIVATE WATER MAIN EXTENDING EASTERLY FROM S 93RD STREET AND BOONEVILLE ROAD TO BE OWNED AND MAINTAINED BY LOTS 1 THROUGH 4. UPON CONSTRUCTION OF THE BOONEVILLE ROAD WATER MAIN, THIS MAIN CAN BE ABANDONED BY THE PROPERTY OWNERS AT PROPERTY OWNER EXPENSE ONCE SERVICE LINES HAVE BEEN TRANSFERRED TO THE BOONEVILLE ROAD WATER MAIN.

COMMENT: ENG  
 DATE: 3/27/19  
 FILE DATE: 3/27/19  
 DATE PLOTTED: 3/27/2019 2:48 PM  
 PLOTTED BY: EARLY HARDING

DATE	REVISIONS
3/27/19	
3/27/19	
3/27/19	

THIRD SUBMITTAL  
 SECOND SUBMITTAL  
 FIRST SUBMITTAL  
 3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 ENGINEER: ENH  
 TECH: MDM



CIVIL DESIGN ADVANTAGE  
 WEST DES MOINES, IOWA

**DAWSONS RIDGE**  
**PRELIMINARY PLAT**

Prepared by: J.B. Munford City of West Des Moines Development Services, P.O. Box 65320, West Des Moines, IA 50265-0320, 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

**RESOLUTION**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING THE DAWSON RIDGE PRELIMINARY PLAT (PP-003738-2018) TO SUBDIVIDE THE PROPERTY 13 SINGLE FAMILY LOTS, AND 2 STREET LOTS**

**WHEREAS**, pursuant to the provisions of Title 10, Subdivision Regulations, and Title 9, Zoning Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, 117 Land Company LLC., has requested approval for a Preliminary Plat (PP-003738-2018) for approximately 12.69 acre site located at 9450 Booneville Road;

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, on April 9, 2018, the Plan and Zoning Commission did recommend to the City Council approval of the Dawson Ridge Preliminary Plat (PP-003738-2018);

**WHEREAS**, on, April 16, 2018, this City Council held a duly-noticed meeting to consider the application for Dawson Ridge Preliminary Plat (PP-003738-2018);

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

**SECTION 1.** The finding of consistency with the Comprehensive Plan as stated in the staff report, dated April 16, 2018, or as amended orally at the City Council hearing of April 16, 2018, are adopted.

**SECTION 2.** Dawson Ridge Preliminary Plat (PP-003738-2018) to subdivide the property into 13 single family lots, and 2 street lots is approved, subject to compliance with all the conditions in the staff report, dated April 16, 2018, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

**PASSED AND ADOPTED** on April 16, 2018.

\_\_\_\_\_  
Steven K. Gaer  
Mayor

ATTEST:

---

Ryan T. Jacobson  
City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on April 16, 2018, by the following vote:

ATTEST:

---

Ryan T. Jacobson  
City Clerk



**Exhibit A**  
**CONDITIONS OF APPROVAL**

1. Applicant acknowledging and agreeing that a Temporary Construction Easement along the north edge of the plat shall be submitted prior to the approval of the final plat.
2. Applicant acknowledging and agreeing that no structure, landscaping or other physical impedance, including but not limited to, sheds, gazebos, fences, play structures, trees, or bushes shall be located in the Temporary Construction Easement until the improvements to Booneville Road are completed.

CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION

DATE: April 16, 2018

**ITEM:** South American Beef, 1860 88th Street – Approval of Site Plan to Construct a 5,582 sq. ft. Office Building – South American Beef - SP-003558-2017

**RESOLUTION:** Approval of Site Plan.

**FINANCIAL IMPACT:** Undetermined.

**BACKGROUND:** The applicant, Alejandra Vidal-Soler, DBA South American Beef, is requesting approval of a site plan to construct a 5,582 sq. ft. office building at 1860 88th Street (see Exhibit I, Attachments B – Location Map, Attachment C –Site Plan, and Attachment D – Elevations).

Plan and Zoning Commission Action:

Vote: 7-0 approval

Date: April 9, 2018

Motion: Adopt a resolution recommending the City Council approve the site plan.

**OUTSTANDING ISSUES:** There are no outstanding issues.

The following items of interest are noted in the attached Plan and Zoning Commission report (see Exhibit I):




- Applicant’s Request
- History
- City Council Subcommittee – *Development and Planning (November 13, 2017)*
- Staff Review and Comments
  - *Architecture*
- Comprehensive Plan Consistency
- Findings
- Staff Recommendation and Conditions of Approval
- Owner/Applicant/Applicant Representative Information

**RECOMMENDATION:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, the Plan and Zoning Commission recommends the City Council adopt a resolution to approve a Site Plan for construction of a 5,582 sq. ft. office building, subject to the applicant meeting all City Code requirements and the following:

1. If planned roof top mechanical equipment is installed and exceeds the planned parapet height, the applicant will be responsible for providing additional screening of the mechanical equipment with either an architectural solution or other method acceptable to the City.
2. That site improvements proposed with the site plan are installed, inspected by the City, and determined complete, prior to final occupancy of the building.
3. That architectural elevations are revised per staff comments and acceptable to the City, prior to obtaining a building permit.

Lead Staff Member: Kara Tragesser, AICP 

**STAFF REVIEWS**

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

Published In	N/A
Date(s) Published	
Letter sent to surrounding property owners	

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Development & Planning Subcommittee		
Date Reviewed	November 13, 2017		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

**ATTACHMENTS:**


- Exhibit I - Plan and Zoning Commission Communication
  - Attachment A - Plan and Zoning Commission Resolution
  - Exhibit A – Conditions of Approval
  - Attachment B - Location Map
  - Attachment C - Site Plan
  - Attachment D - Elevations
- Exhibit II - City Council Resolution
  - Exhibit A – Conditions of Approval

**CITY OF WEST DES MOINES  
PLAN AND ZONING COMMISSION COMMUNICATION**

**Meeting Date:** April 9, 2018

**Item:** South American Beef, 1860 88<sup>th</sup> Street – Approval of Site Plan to Construct a 5,582 sq. ft. Office Building – South American Beef - SP-003558-2017

**Requested Action:** Approval of Site Plan

**Case Advisor:** Kara V. Tragesser, AICP 

**Applicant's Request:** The applicant, South American Beef, is requesting approval of a site plan to construct a 5,582 sq. ft. office building at 1860 88<sup>th</sup> Street (see Attachments B – Location Map, Attachment C – Site Plan, and Attachment D – Elevations).

**History:** The property is undeveloped and is a part of the Greenway Crossing Planned Unit Development.

**City Council Subcommittee:** This project was presented to Development and Planning Subcommittee on November 13, 2017. The Subcommittee is supportive of the project.

**Staff Review and Comment:** This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff notes the following:

- **Architecture:** The applicant's architectural representative has provided two possibilities for materials on the building. The design of the building is acceptable to the City and either of the color and material choices are acceptable, but the applicant has not informed Staff which elevation will be selected. There are comments outstanding on the use one of the materials (the darker brick option), but this isn't considered an impediment to approval of the site plan.

**Comprehensive Plan Consistency:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**Findings:** This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.

5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

**Staff Recommendations and Conditions of Approval:** Based upon the preceding review and a finding of consistency with the Comprehensive Plan, staff recommends that the Plan and Zoning Commission adopt a resolution approving the site plan to construct a 5,582 sq. ft. office building, subject to the applicant meeting all City Code requirements and the following:

1. If planned roof top mechanical equipment is installed and exceeds the planned parapet height, the applicant will be responsible for providing additional screening of the mechanical equipment with either an architectural solution or other method acceptable to the City.
2. That site improvements proposed with the site plan are installed, inspected by the City, and determined complete, prior to final occupancy of the building.
3. That architectural elevations are revised per staff comments and acceptable to the City, prior to obtaining a building permit.

**Owner/Applicant**            Alejandra Vidal-Solar  
   South American Beef  
   6707 Douglas Avenue  
   Urbandale IA 50322

**Applicant Representative:**        Randy Zerr  
   McClure Engineering Company  
   1360 NW 121<sup>st</sup> Street  
   Clive IA 50325  
   515-964-1229  
   rzerr@mecresults.com

**Attachments:**

Attachment A	-	Plan and Zoning Commission Resolution
Attachment B	-	Location Map
Attachment C	-	Site Plan
Attachment D	-	Elevations

**RESOLUTION NO. PZC -18-022**

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, APPROVING THE SOUTH AMERICAN BEEF SITE PLAN (SP-003558-2017) TO CONSTRUCT AT 5,582 SQ. FT. DAY OFFICE BUILDING AT 1860 88<sup>TH</sup> STREET**

**WHEREAS**, pursuant to the provisions of Title 10, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, South American Beef requests approval for a Site Plan (SP-003558-2017) to construct a 5,582 sq. ft. office building at 1860 88<sup>th</sup> Street;

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, on April 9, 2018, this Commission held a duly-noticed public meeting to consider the application for a Site Plan;

**NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

**SECTION 1.** The findings, for approval, in the staff report, April 9, 2018, or as amended orally at the Plan and Zoning Commission meeting, are adopted.

**SECTION 2.** The Site plan to construct a 5,582 sq. ft. office building is hereby approved by the Plan and Zoning Commission, subject to compliance with all the conditions in the staff report including conditions added at the meeting and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on April 9, 2018.

  
Craig Erickson, Chair  
Plan and Zoning Commission

ATTEST:

  
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on April 9, 2018

AYES: Andersen, Christianson, Costa, Crowley, Drake, Hatfield, Southworth

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

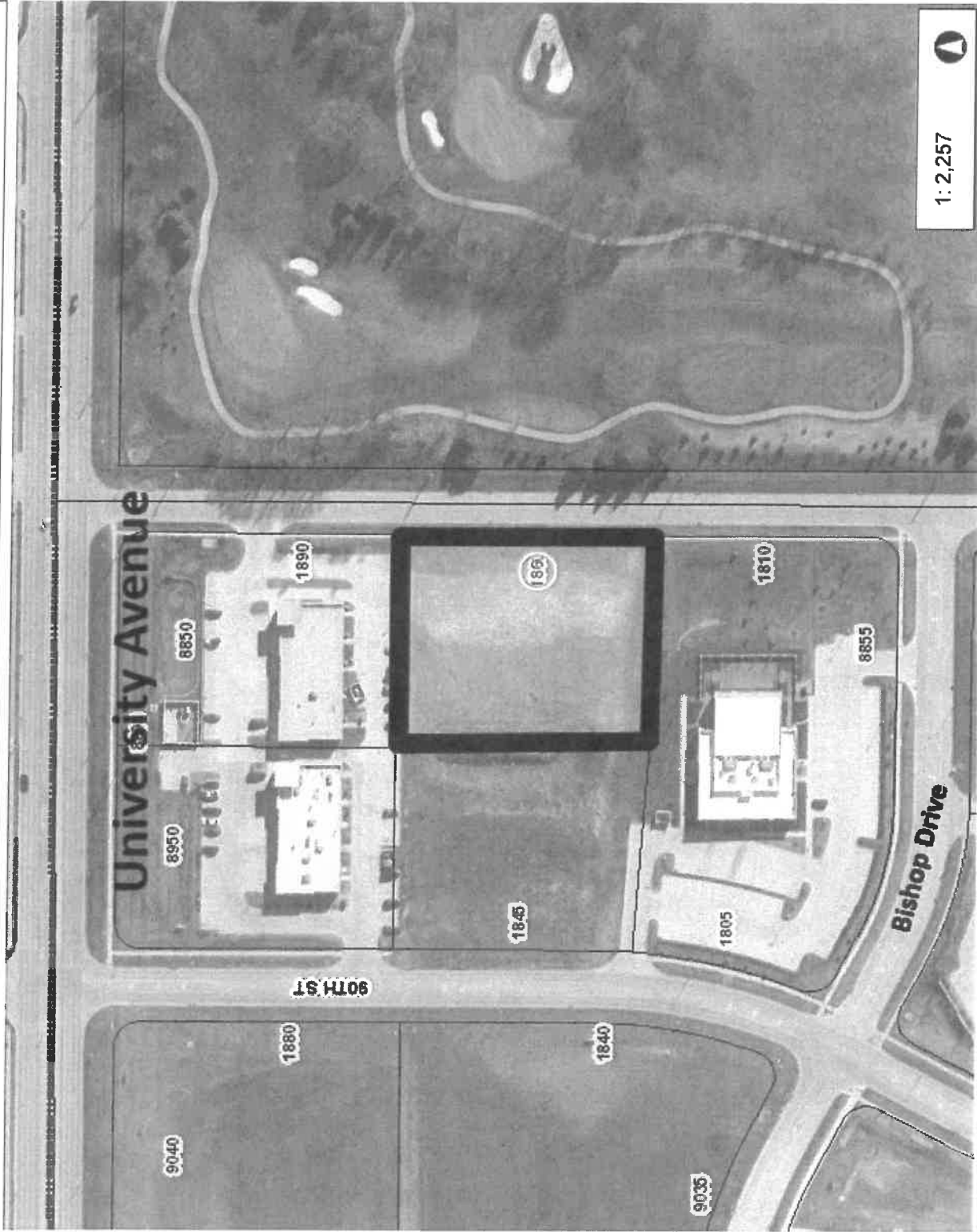
  
Recording Secretary

**EXHIBIT A  
CONDITIONS OF APPROVAL**

1. If planned roof top mechanical equipment is installed and exceeds the planned parapet height, the applicant will be responsible for providing additional screening of the mechanical equipment with either an architectural solution or other method acceptable to the City.
2. That site improvements proposed with the site plan are installed, inspected by the City, and determined complete, prior to final occupancy of the building.
3. That architectural elevations are revised per staff comments and acceptable to the City, prior to obtaining a building permit.



# South American Beef 1860 88th Street



1: 2,257

### Legend

- Addresses
- Corporate Limits
- Parcels



Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

376.2 0 188.08 376.2 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© City of West Des Moines, Iowa



# SOUTH AMERICAN BEEF SITE PLAN

CITY OF WEST DES MOINES, COUNTY OF DALLAS, STATE OF IOWA

**OWNER/APPLICANT**  
 6702 HANCOCK AVENUE  
 URUBANDA, IOWA 50253  
 PH: 515-944-3328  
 ATR: ALANDALY@DALLAS.IOWA.GOV

**ENGINEER**  
 ACCLURE ENGINEERING  
 1340 RFW 21315, Des Moines, IA 50319  
 PH: 515-281-2121  
 ATR: R. ZIMMERMAN

**SURVEYOR ARCHITECT**  
 SHIFFER ASSOCIATES ARCHITECTS, P.C.  
 1000 UNIVERSITY AVENUE, SUITE 100  
 DES MOINES, IOWA 50319  
 PH: 515-244-4443  
 ATR: ROSS WITTMANN

**PROJECT SITUS ADDRESS**  
 1800 88TH STREET

**PROPERTY DESCRIPTION**

LOT 1 OF GRENWAY CROSSING PHASE 3, AN OFFICIAL MAP, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA, TOGETHER WITH ALL SERVIENT ESTATED APPURTENANT THEREON, AND SERVIENT TO THE EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD, AND THE EXISTING ZONING AND OTHER APPLICABLE BUILDING REGULATIONS.

**FLOODPLAIN NOTE**

THE ENTIRE SITE IS WITHIN MAP NUMBER 1902310001C. THE SAID MAP NUMBER IS CONSIDERED A NON-PRINTED FLOOD AND BOUNDARY FOR THE FEDERAL EMERGENCY MANAGEMENT ADMINISTRATION (FEMA). THEREFORE, IT IS ASSUMED THAT THE SITE IS WITHIN A FLOODPLAIN. THE MAP NUMBER 1902310001C HAS A REVISED DATE OF FEBRUARY 14, 2004.

**HORIZONTAL DATUM**

NAD83, LOW DISTORTION PROJECTION (DPM), IOWA ZONE 8, US FOOT

**VERTICAL DATUM**

BM #1, WEST DES MOINES STANDARD BENCH MARK #29 INTERSECTION OF 88TH STREET AND UNIVERSITY AVENUE, CHAIN LINK FENCE, ELEVATION = 219.25  
 BM #2, WEST DES MOINES STANDARD BENCH MARK #63 INTERSECTION OF UNIVERSITY AVENUE AND 98TH STREET, 30 FEET WEST OF THE CENTER LINE OF 88TH STREET, 1.17 SOUTH OF UNIVERSITY AVENUE CENTER LINE, ELEVATION = 217.57

CONSTRUCTION STAKING SURVEYOR SHALL VERIFY HORIZONTAL AND VERTICAL CONTROLS PRIOR TO COMMENCING PROJECT STAKING ACTIVITIES.  
 NAD83 CONVERSION = CITY DATUM + 774.01'

SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
01	COVER SHEET	GENERAL NOTES AND LEGEND
02	GENERAL NOTES AND LEGEND	EXISTING CONDITIONS
03	BR-01	EXISTING CONDITIONS
04	BR-02	EXISTING CONDITIONS
05	BR-03	EXISTING CONDITIONS
06	BR-04	EXISTING CONDITIONS
07	GR-01	DETAILED GRADING PLAN
08	GR-02	DETAILED GRADING PLAN
09	UT-01	UTILITY PLAN
10	UT-02	UTILITY PLAN
11	UT-03	UTILITY PLAN
12	UT-04	UTILITY PLAN
13	UT-05	UTILITY PLAN

DEVELOPMENT SUMMARY		FUTURE USE, (SEE ACCESS #1)	
TYPE OF USE	COMMERCIAL	TYPE OF USE	COMMERCIAL
HEIGHT	REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS	HEIGHT	REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS
GROSS FLOOR AREA	5,886 SF. (IND. COVER BUILDING)	GROSS FLOOR AREA	5,886 SF. (IND. COVER BUILDING)
REQUIRED PARKING	115 SPACES (PER)	REQUIRED PARKING	115 SPACES (PER)
PROPOSED PARKING	21,303 SF. (PER)	PROPOSED PARKING	21,303 SF. (PER)
EXISTING PARKING	0 SPACES (PER)	EXISTING PARKING	0 SPACES (PER)
PROPOSED PARKING	21,303 SF. (PER)	PROPOSED PARKING	21,303 SF. (PER)
REQUIRED PARKING	115 SPACES (PER)	REQUIRED PARKING	115 SPACES (PER)
PROPOSED PARKING	21,303 SF. (PER)	PROPOSED PARKING	21,303 SF. (PER)

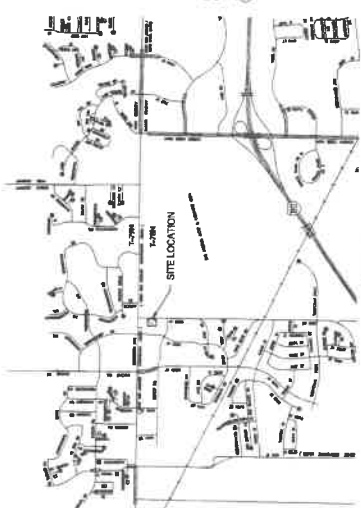
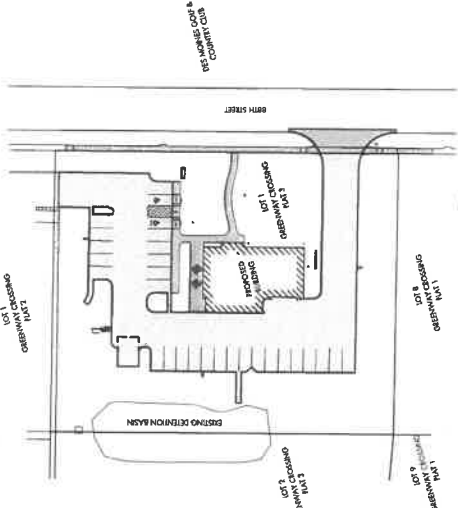
ZONING SUMMARY	
EXISTING ZONING	IND. COVER (IND. COVER AND PARCEL 1)
PROPOSED ZONING	IND. COVER (IND. COVER AND PARCEL 1)

EXISTING / PROPOSED USE	
EXISTING	UNDEVELOPED
PROPOSED	OFFICE

BULK REGULATIONS SUMMARY	
FRONT (EAST SIDE)	30 FEET
SIDE (NORTH AND SOUTH SIDES)	NONE
REAR (WEST SIDE)	30 FEET
MAXIMUM BUILDING HEIGHT	30 FEET



ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY/EASEMENTS, ANY/OR ARTY SHALL COMPLY WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, URM METRO DESIGN STANDARDS AND "WOW ADVERTISEMENTS".

**McCLURE ENGINEERING CO**  
 building strong communities  
 1340 RFW 21315, Des Moines, IA 50319  
 PH: 515-281-2121  
 ATR: R. ZIMMERMAN

**COVER SHEET**  
 South American Beef Site Plan  
 West Des Moines, Iowa  
 20070701  
 JRM 2/07  
 R. Zimmermann  
 B. Bradburn  
 R. Zimm  
 W. Bradburn  
 GN-01 01/13  
 CITY SPEC-04









building strong communities.

1520 W. 121st Street  
 Omaha, NE 68147  
 402-426-1234  
 Fax: 402-426-1235

**NOTES:**  
 1. ALL CURB, OTHER THAN CURB, 4" IN THICKNESS AND 30" WIDE SHALL BE 4" IN THICKNESS. SETTS TO BE DETAIL FOR TOP OF CURB TO BE SHOWN ON CURB AND CURB (NOT IN THIS SECTION).  
 2. ALL CURB SHALL BE CONCRETE WITH FINISHING GRADES AT ALL PUBLIC INTERSECTIONS TO BE SHOWN ON CURB AND CURB (NOT IN THIS SECTION).  
 3. SETTS TO SHEETS 6 AND 7 FOR VARIOUS SPOT ELEVATION ENHANCEMENTS.

**NOTE**  
 REUSE TO COMMENCING CONSTRUCTION ACTIVITIES WITH THE GRADING, CURB, AND SLOPE AND SOUTH AMERICAN REEF AND CONDUIT. ALL CONSTRUCTION ACTIVITIES WITH THE OWNER OR OWNER'S REPRESENTATIVE OF GROUNDWAY CROSSING PLAN # 2.

**SPOT ELEVATION LEGEND**

1000.00	RETAINMENT ELEVATION
1001.10	FINISHED GRADE (TOP SURFACE)
1002.10	FINISHED GRADE (SIDE SURFACE)
1003.10	TOP OF CURB
1004.10	TOP OF SLOPE
1005.10	TOP OF SLAB
1006.10	FINISHED GRADE AT PROPERTY



**GRADING AND EROSION CONTROL PLAN**

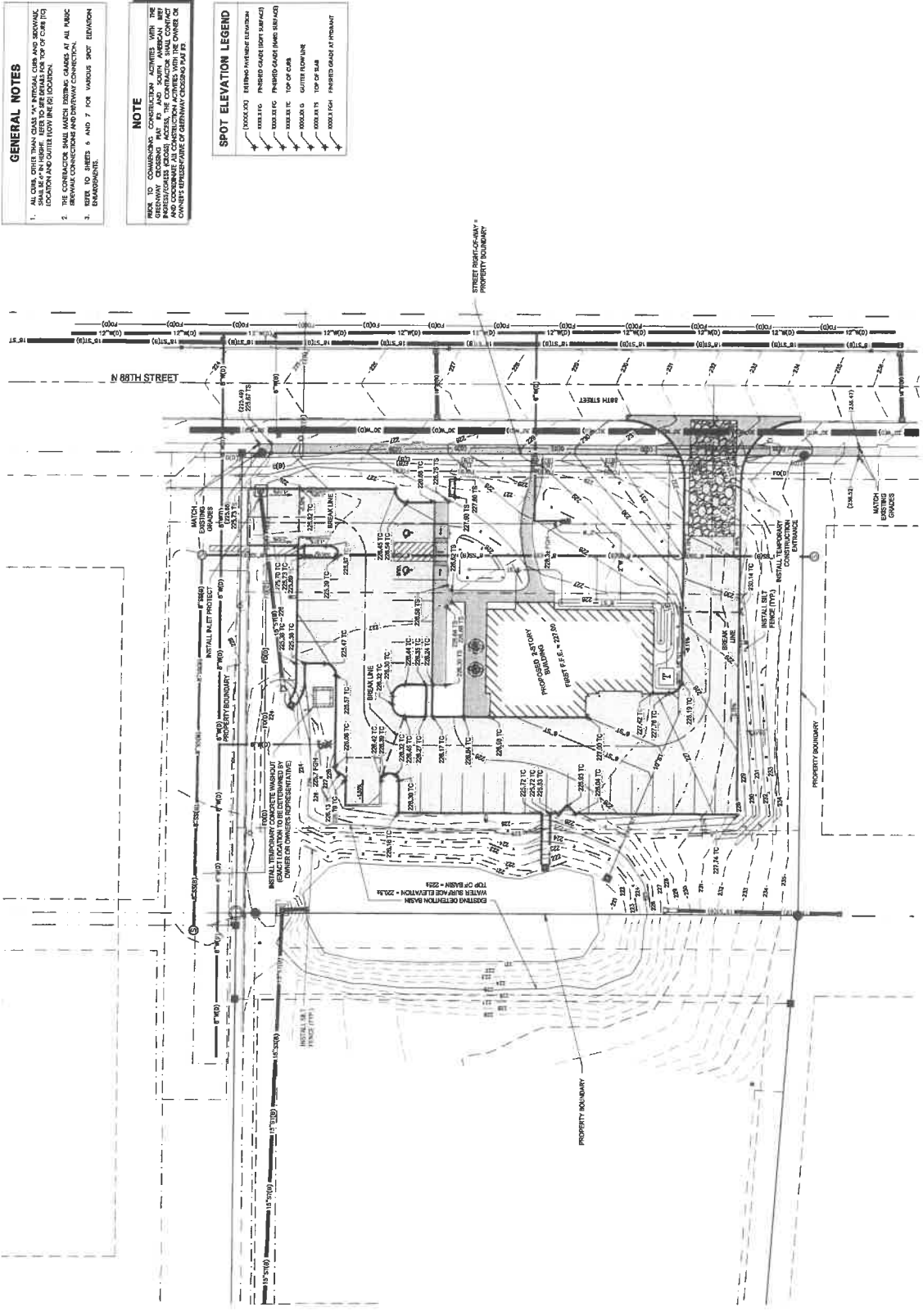
South American Beef  
 Site Plan

West One Madison Street  
 2017010  
 July 2017

Prepared by:  
 R. Zarr  
 Checked by:  
 B. Brundman

Sheet No.  
**CR-01**  
 Date  
**05/13**

CITY SITE PLAN



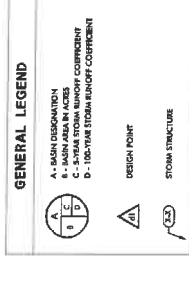




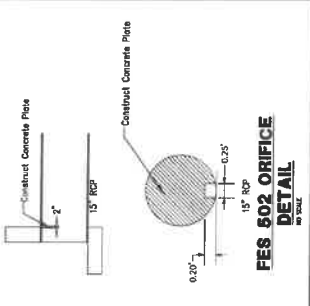




**GENERAL NOTE**  
REFER TO THE STORM WATER MANAGEMENT PLAN DRAWING FOR SOUP  
AMERICAN BEEF FOR DETAILED STORM WATER CALCULATIONS.



**NOTE:** THE EXISTING CONCRETE BASIN CHANGES BEYOND THIS DRAWING FROM THE OFFICE CONCENTRATIONS AT EXISTING EXCESSIVE NUMBER 27. THE EXISTING 15" RCP AND 15" DIA. CONCRETE BASIN SHALL BE REMOVED AND REPLACED WITH THE EXISTING 15" RCP AND 15" DIA. CONCRETE BASIN AS SHOWN AND 2) CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND RECONSTRUCTION OF THE EXISTING CONCRETE BASIN AS SHOWN.

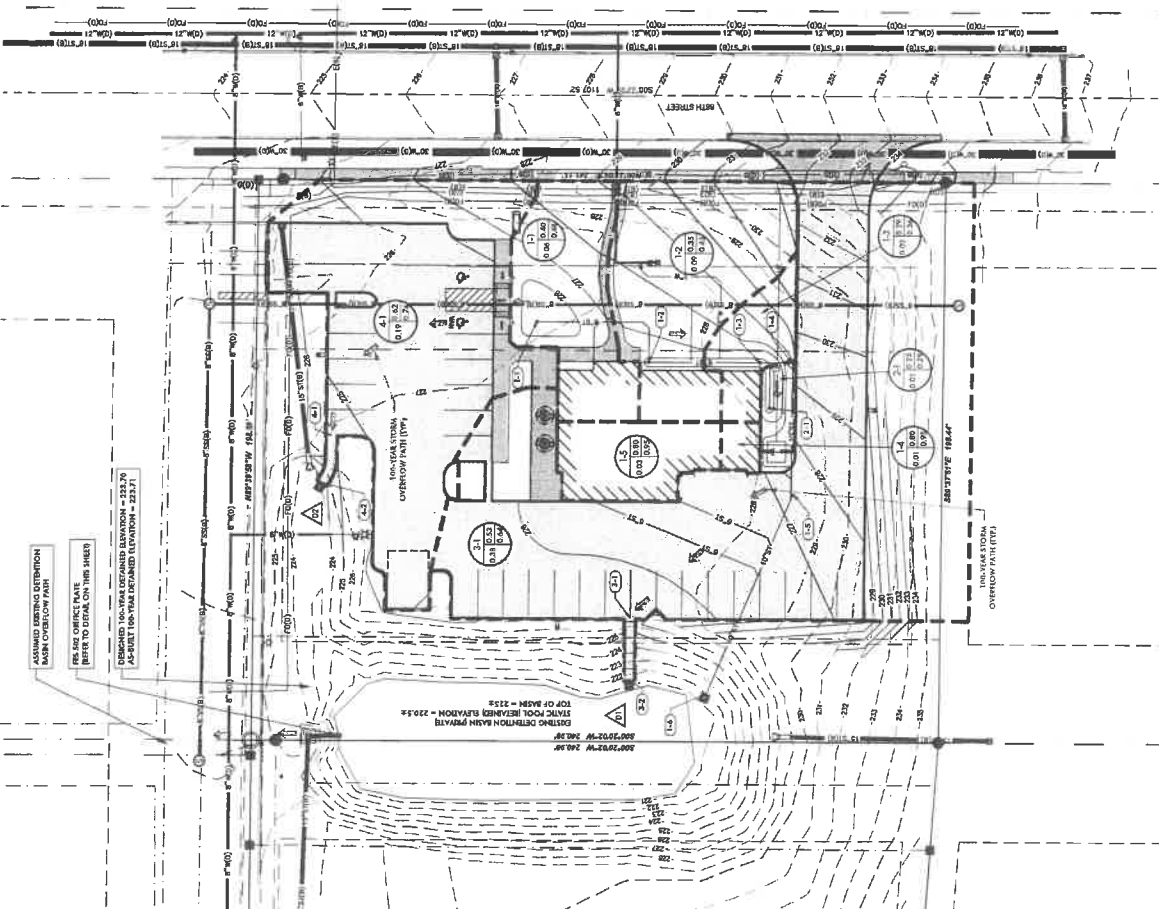


**EXISTING DETENTION BASIN STAGE STORAGE TABLE**

ELEVATION (FT)	STAGE AREA (SQ FT)	DEPTH (FT)	AVERAGE DEPTH (FT)	VOLUME (CU YD)	CONCRETE VOLUME (CU YD)	CONCRETE VOLUME (CU YD)
221	5,972	NA	NA	0	NA	NA
222	6,978	1	5.978	5,978	5,945	5,945
223	7,813	1	7,155	13,171	7,187	13,152
224	9,243	1	8,774	21,845	8,760	21,973
225	11,973	1	10,818	32,748	10,890	32,713

**EXISTING DETENTION BASIN INFORMATION**

- THE EXISTING DETENTION BASIN SHALL BE REMOVED AND REPLACED WITH THE EXISTING CONCRETE BASIN AS SHOWN AND THE EXISTING CONCRETE BASIN SHALL BE REMOVED AND REPLACED WITH THE EXISTING CONCRETE BASIN AS SHOWN.
- THE EXISTING DETENTION BASIN SHALL BE REMOVED AND REPLACED WITH THE EXISTING CONCRETE BASIN AS SHOWN AND THE EXISTING CONCRETE BASIN SHALL BE REMOVED AND REPLACED WITH THE EXISTING CONCRETE BASIN AS SHOWN.



ASSUMED EXISTING DETENTION BASIN OVERFLOW PATH  
REFER TO DETAIL ON THIS SHEET  
DESIGNED 100-YEAR EXISTING ELEVATION = 223.70  
AS-BUILT 100-YEAR EXISTING ELEVATION = 223.70

EXISTING DETENTION BASIN (REMOVED)  
NEW DETENTION BASIN (CONCRETE)  
15" RCP

NOTES:  
1. ALL PLANT MATERIAL SHALL BE AT LEAST 10% ABOVE MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).  
2. PROVIDE 3-INCH DEPTH SHREDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MINIMUM 3-FOOT FERTILIZER AND IN ALL AREAS INDICATED ON PLAN.  
3. ALL PLANT MATERIAL SHALL BE AT LEAST 10% ABOVE MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).  
4. PROVIDE 3-INCH DEPTH SHREDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MINIMUM 3-FOOT FERTILIZER AND IN ALL AREAS INDICATED ON PLAN.  
5. ALL PLANT MATERIAL SHALL BE AT LEAST 10% ABOVE MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).  
6. PROVIDE 3-INCH DEPTH SHREDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MINIMUM 3-FOOT FERTILIZER AND IN ALL AREAS INDICATED ON PLAN.  
7. ALL PLANT MATERIAL SHALL BE AT LEAST 10% ABOVE MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).  
8. PROVIDE 3-INCH DEPTH SHREDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MINIMUM 3-FOOT FERTILIZER AND IN ALL AREAS INDICATED ON PLAN.  
9. ALL PLANT MATERIAL SHALL BE AT LEAST 10% ABOVE MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).  
10. PROVIDE 3-INCH DEPTH SHREDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MINIMUM 3-FOOT FERTILIZER AND IN ALL AREAS INDICATED ON PLAN.

**GENERAL NOTES**

- ALL PLANT MATERIAL SHALL BE AT LEAST 10% ABOVE MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- PROVIDE 3-INCH DEPTH SHREDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MINIMUM 3-FOOT FERTILIZER AND IN ALL AREAS INDICATED ON PLAN.

**LANDSCAPE AND OPEN SPACE REGULATIONS**

**SITE AREA:** 1.16 ACRES (47,851 SQUARE FEET)

**REZONING:** R-10

**STREET:** 24th STREET

**OPEN SPACE REQUIRED:** 11,840 SQUARE FEET

**OPEN SPACE PROVIDED:** 27,232 SQUARE FEET

**OPEN SPACE / LANDSCAPING REQUIRED:**

**TREES REQUIRED:** 8

**TREES PROVIDED:** 9 OVERSTORY, 22 UNDERSTORY AND 17 DECIDUOUS UNDERSTORY

**SHRUBS REQUIRED:** 24

**SHRUBS PROVIDED:** 44

**DECIDUOUS OVERSTORY TREES:** 2 INCH MINIMUM CALIPER

**DECIDUOUS UNDERSTORY TREES:** 1.5 INCH MINIMUM CALIPER

**PLANT MATERIAL SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITIES	COMMENTS
TREES	QUERCUS BIRBA	BED OAK	2" CAL. BB	2	CENTRAL DOMINANT LEADER
	ACER FRAXINOIDES VESTRIS	SWITCH HAZEL	2" CAL. BB	4	CENTRAL DOMINANT LEADER
	FRAXINUS EUROPAEA	ASH	2" CAL. BB	4	CENTRAL DOMINANT LEADER
	PRUNUS DOMINICA	BLACK CHERRY	6" HT. BB	19	DISPERSE FULL
	FRAXINUS EUROPAEA	ASH	6" HT. BB	12	DISPERSE FULL
	BETULA PULVERULENTA 'SUNSHINE'	YELLOW PINE	6" HT. BB	7	TREE FORM
	MAHONIA AQUIFOLIUM	DOUGLASS SPRUCE	6" HT. BB	9	TREE FORM
SHRUBS	SYRINGA VERTICILLATA	PLUM	2 1/2" HT. CRT	12	
	SYRINGA VERTICILLATA	PLUM	2 1/2" HT. CRT	12	
GRASSES	ANEMONE	ANEMONE	12" HT. CRT	45	1P O.C.



LANDSCAPE PLAN

South American Beef  
Site Plan

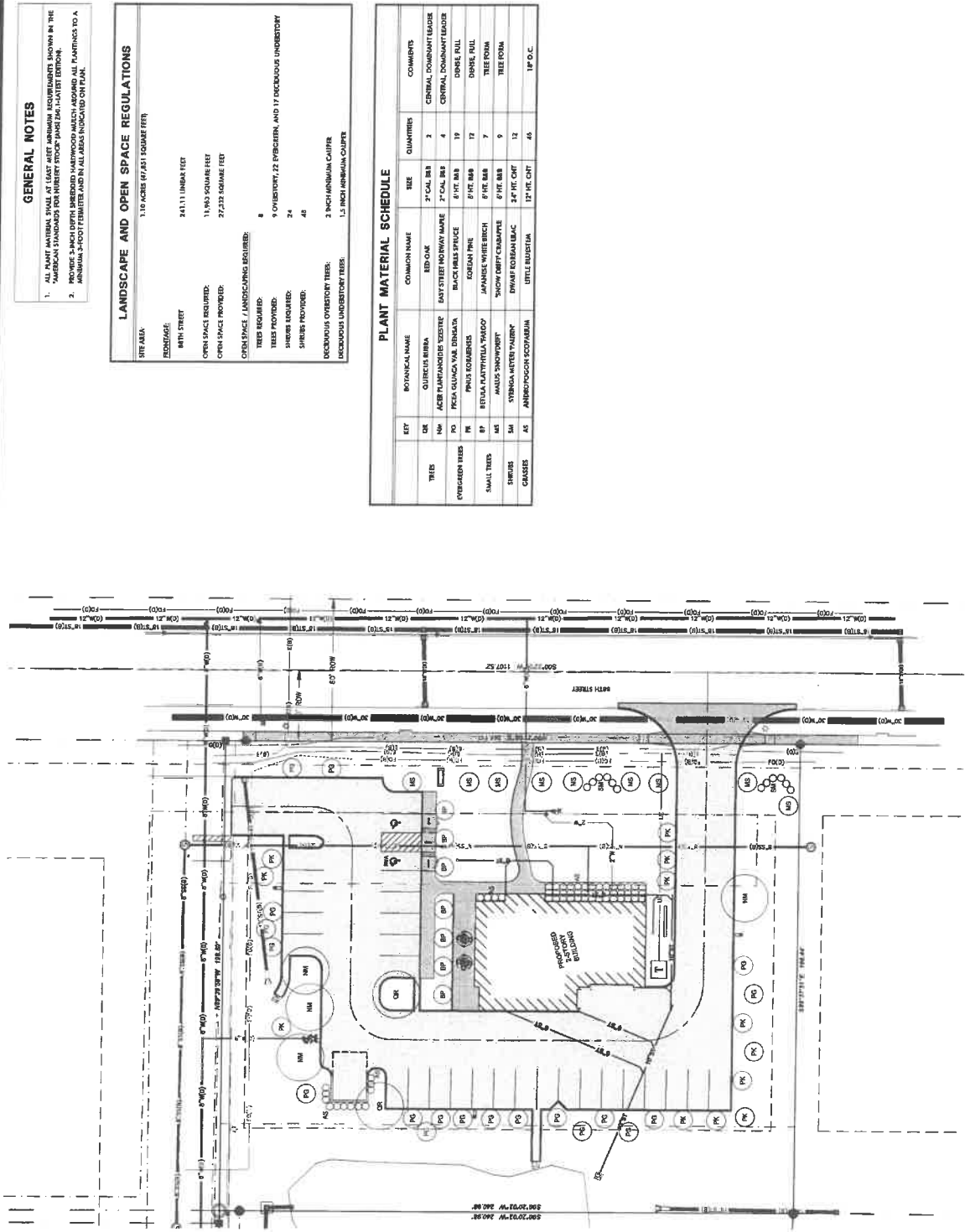
Walt Don Johnson, Inc.  
1201 70th St  
Des Moines, IA 50317  
July 2017

DESIGNED BY:  
R. Zarr

CHECKED BY:  
B. Broadman

DATE:  
10/13

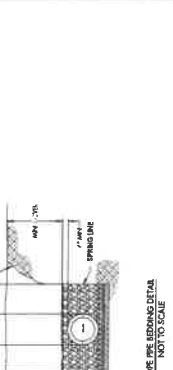
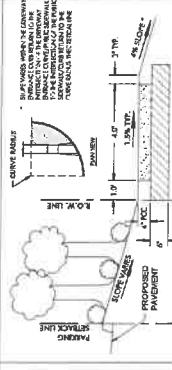
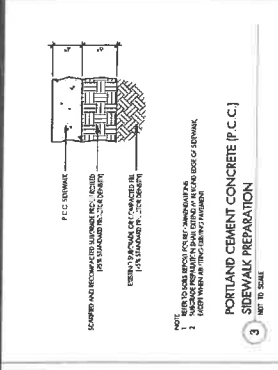
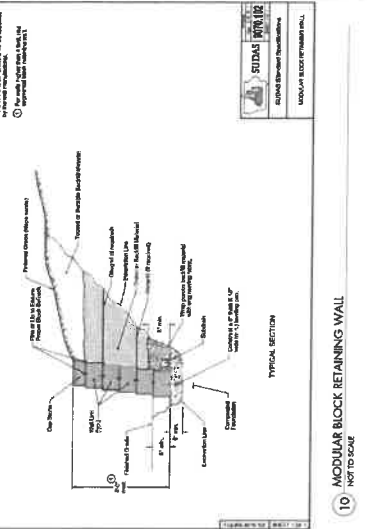
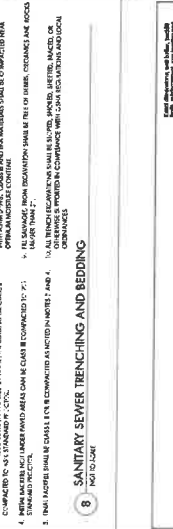
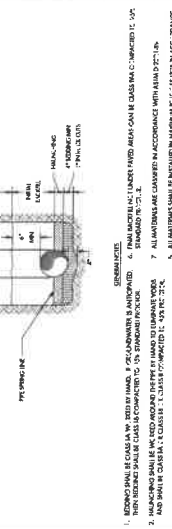
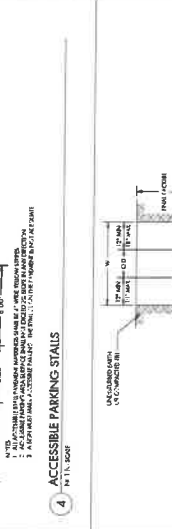
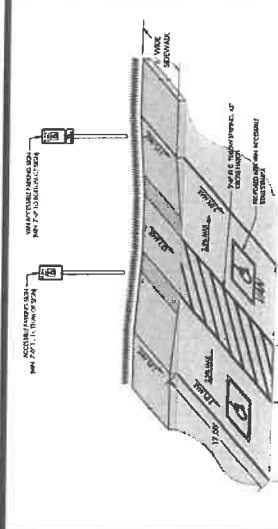
CITY SITE PLAN



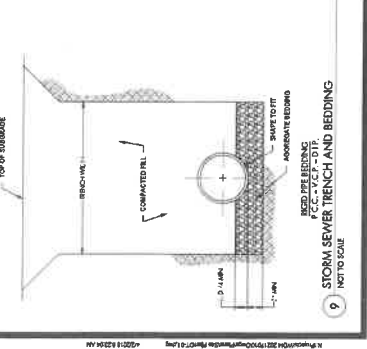
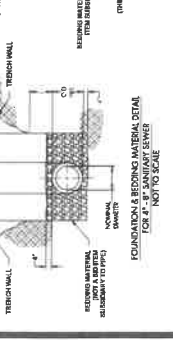
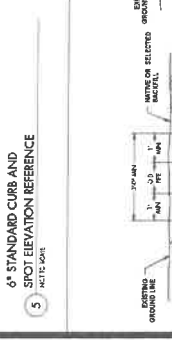
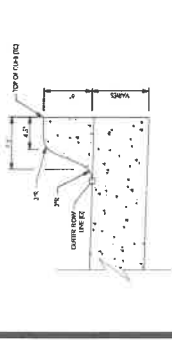
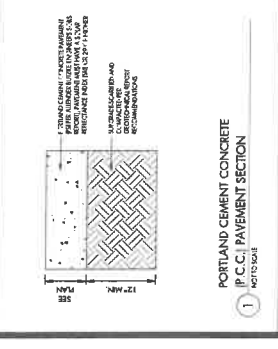
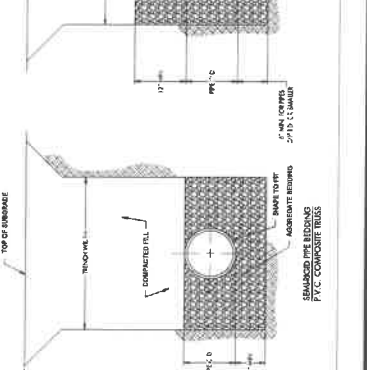
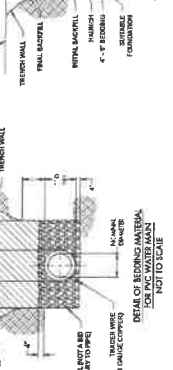
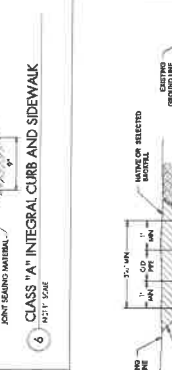
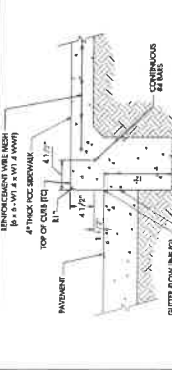
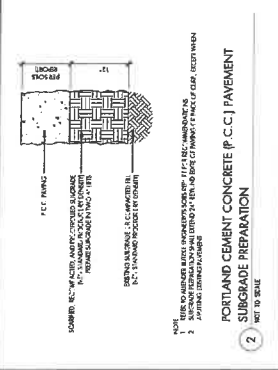
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2. ALL MATERIALS ARE TO BE CLASSIFIED AS PER THE SPECIFICATIONS.  
3. ALL MATERIALS ARE TO BE CLASSIFIED AS PER THE SPECIFICATIONS.  
4. ALL MATERIALS ARE TO BE CLASSIFIED AS PER THE SPECIFICATIONS.  
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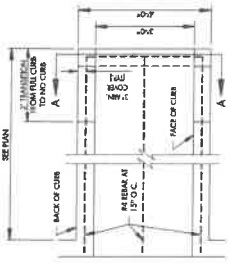
**South American Beef Sile Pile**  
West Des Moines, Iowa  
28217010  
July 2017

**Drawn by:** R. Zarr  
**Checked by:** B. Broderson  
**Date:** 11/13  
**Sheet No.:** DT-01  
**City Site Plan**

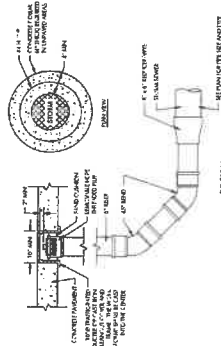


PIPE DIAMETER (INCHES)	MINIMUM COVER (INCHES)	MINIMUM WIDTH (INCHES)	MINIMUM DEPTH (INCHES)	MINIMUM WIDTH (INCHES)	MINIMUM DEPTH (INCHES)
12"	24"	48"	36"	48"	36"
18"	36"	72"	54"	72"	54"
24"	48"	96"	72"	96"	72"
30"	60"	120"	90"	120"	90"
36"	72"	144"	108"	144"	108"
42"	84"	168"	126"	168"	126"
48"	96"	192"	144"	192"	144"
54"	108"	216"	162"	216"	162"
60"	120"	240"	180"	240"	180"
66"	132"	264"	198"	264"	198"
72"	144"	288"	216"	288"	216"
78"	156"	312"	234"	312"	234"
84"	168"	336"	252"	336"	252"
90"	180"	360"	270"	360"	270"
96"	192"	384"	288"	384"	288"
102"	204"	408"	306"	408"	306"
108"	216"	432"	324"	432"	324"
114"	228"	456"	342"	456"	342"
120"	240"	480"	360"	480"	360"

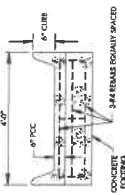




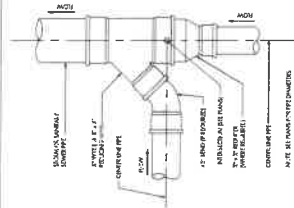
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NOT TO SCALE



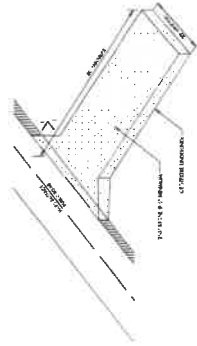
2 CONCRETE LETDOWN FLUME  
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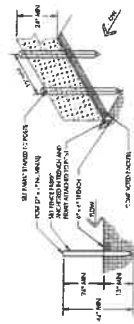
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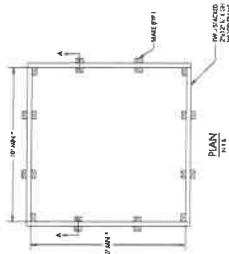
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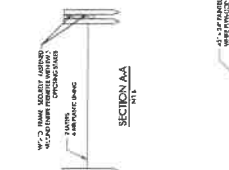
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NOT TO SCALE



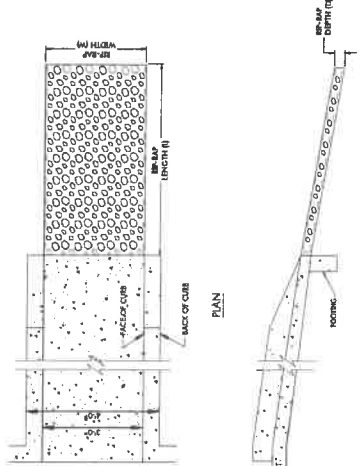
6 TEMPORARY CONSTRUCTION ENTRANCE  
NOT TO SCALE



7 TEMPORARY CONCRETE WASHOUT  
NOT TO SCALE



8 ROCK RIB AFTON FOR CONCRETE LETDOWN FLUME  
NOT TO SCALE



9 PIPE BOULDER  
NOT TO SCALE

**SITE DETAILS**

South American Beef  
Site Plan

Wall Date: 10/10/10  
2010.10.10  
10/10/10

Drawn by:  
R. Zarr  
Checked by:  
B. Brodman  
Date:  
12/1/13

DT-02 12/1/13  
CITY SUEPANK

**TRASH DUMPSTER  
ENCLOSURE DETAILS**

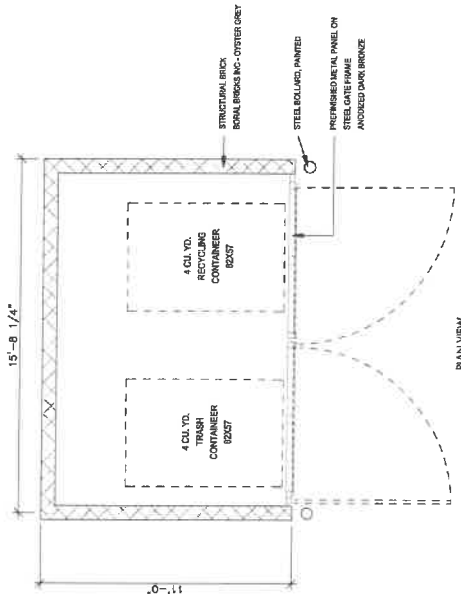
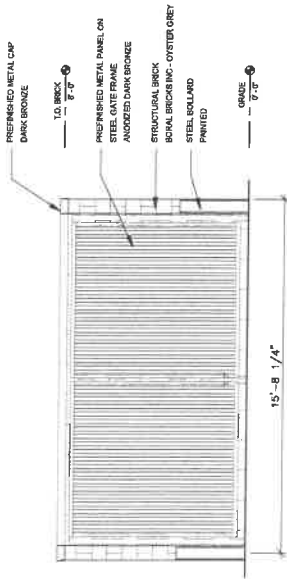
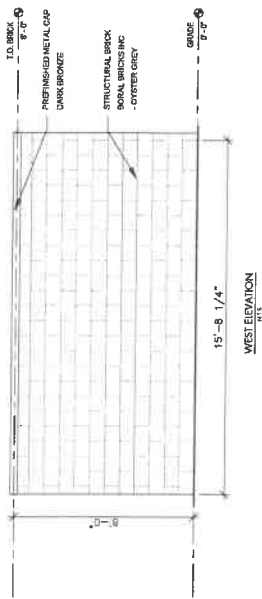
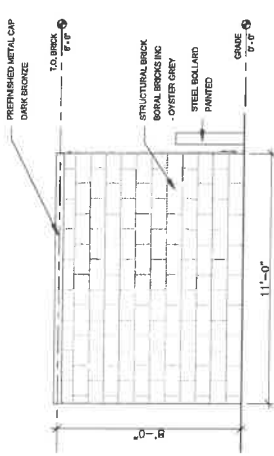
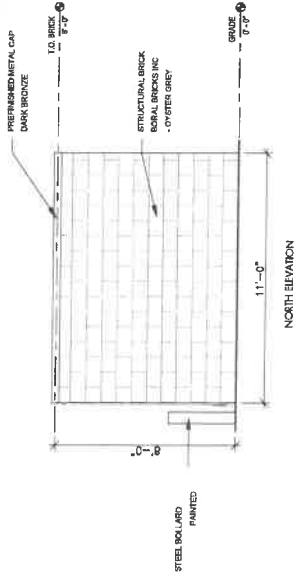
**South American Beef  
Site Plan**

West Chesapeake, James  
200703D  
July 2017  
ENCLOSURE

Drawn by  
R. Zarr  
Checked by  
B. Brodman  
Project No. 100

DATE  
**DT-03 13/13**

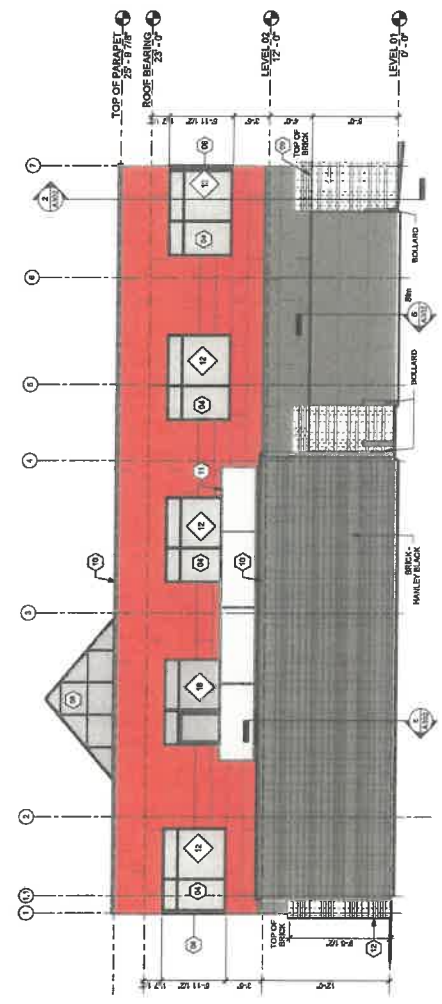
SCALE  
G1:1 STEP: 1/8"



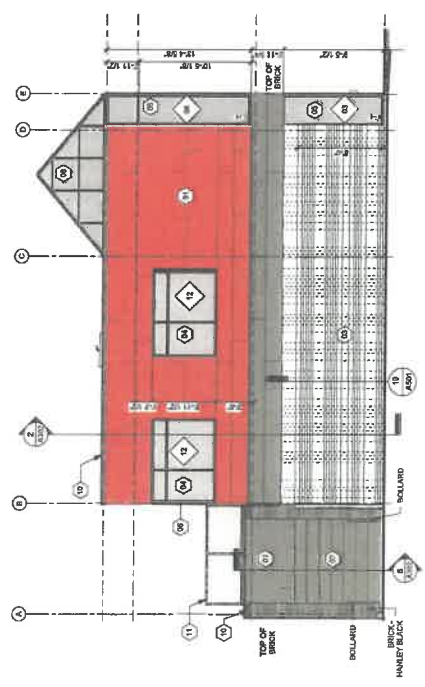
**TRASH DUMPSTER ENCLOSURE**  
NOT TO SCALE



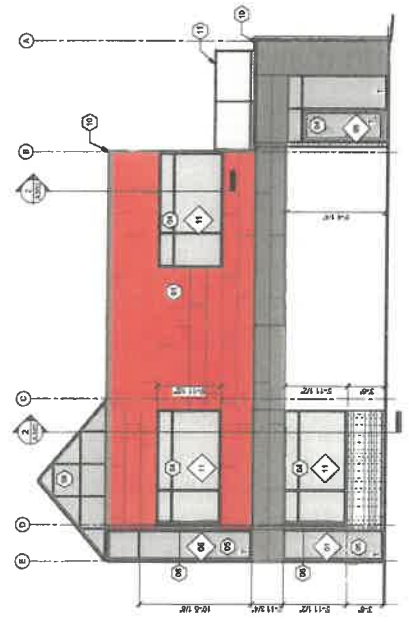
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SCALE: 3/8" = 1'-0"



3 WEST ELEVATION - Option A  
SCALE: 3/8" = 1'-0"



2 SOUTH ELEVATION - Option A  
SCALE: 3/8" = 1'-0"

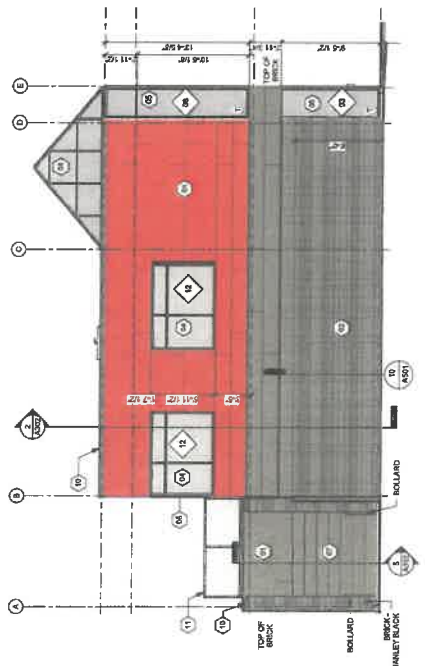


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SCALE: 3/8" = 1'-0"

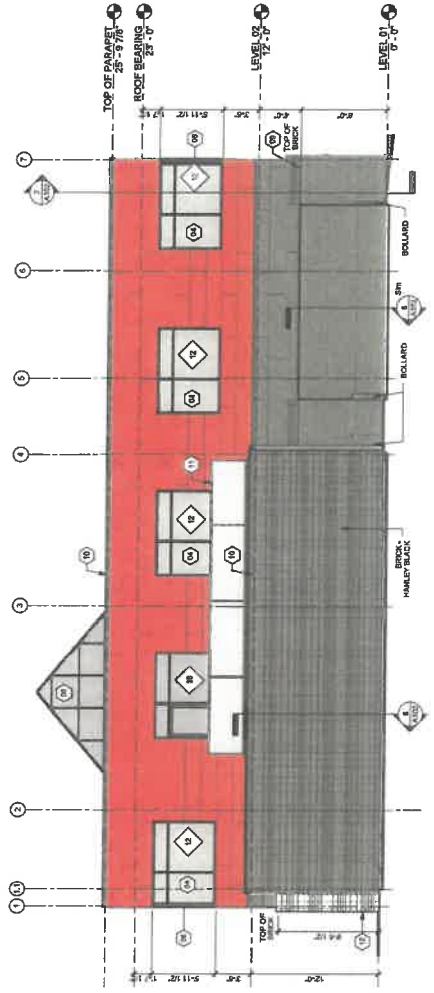
PRELIMINARY NOT FOR CONSTRUCTION



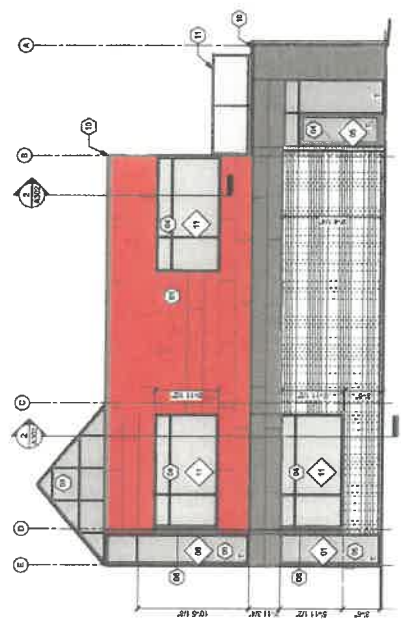
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SCALE: 3/8\"/>



2 SOUTH ELEVATION - Option B  
SCALE: 3/8\"/>



3 WEST ELEVATION - Option B  
SCALE: 3/8\"/>



4 NORTH ELEVATION - Option B  
SCALE: 3/8\"/>

PRELIMINARY NOT FOR CONSTRUCTION

Prepared by: KTragesser City of West Des Moines Development Services, P.O. Box 65320, West Des Moines, IA 50265-0320, 515-222-3620  
When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

**RESOLUTION**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING THE SITE PLAN (SP-003558-2017) TO CONSTRUCT A 5,582 SQ. FT. OFFICE BUILDING AT 1860 88<sup>th</sup> STREET FOR SOUTH AMERICAN BEEF**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning, Chapter 1 et seq, of the West Des Moines Municipal Code, Alejandra Vidal-Soler, DBA South American Beef, requests site plan approval to construct a 5,582 sq. ft. office building on property locally known as 1860 88<sup>th</sup> Street and legally described below:

**Legal Description of Property**

Lot 1 Greenway Crossing Plat 3, an official plat now in and forming a part of the City of West Des Moines, Dallas County, Iowa.

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, on April 9, 2018, the Plan and Zoning Commission recommend to the City Council approval of the Site Plan; and

**WHEREAS**, on April 16, 2018, this City Council held a duly-noticed meeting to consider the application for a Site Plan;

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

**SECTION 1.** The findings, for approval, in the staff report for the site plan, or as amended orally at the City Council meeting on this date, are adopted.

**SECTION 2.** The Site Plan (SP-003558-2017) to construct a 5,852 sq. ft. office building is approved, subject to compliance with all the conditions in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

**PASSED AND ADOPTED** on April 16, 2018



---

Steven K. Gaer, Mayor

ATTEST:

---

Ryan T. Jacobson  
City Clerk

**EXHIBIT "A"**  
**CONDITIONS OF APPROVAL**

1. If planned roof top mechanical equipment is installed and exceeds the planned parapet height, the applicant will be responsible for providing additional screening of the mechanical equipment with either an architectural solution or other method acceptable to the City.
2. That site improvements proposed with the site plan are installed, inspected by the City, and determined complete, prior to final occupancy of the building.
3. That architectural elevations are revised per staff comments and acceptable to the City, prior to obtaining a building permit.

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:** Resolution to Approve Contract with  
West Des Moines Association of Professional  
Fire Fighter, Local 3586

**DATE:** April 16, 2018

**FINANCIAL IMPACT:** Fire Department Salaries and Benefits Line Items for FY18/19 at a cost of approximately \$164,950 for the first year of the Agreement, \$185,280 for FY19/20 and \$172,644 for FY20/21 and \$183,040 for FY21/22. This cost has been factored into the FY18/19 budget.

**BACKGROUND:** The City of West Des Moines negotiation team reached a tentative Agreement with the West Des Moines Association of Professional Fire Fighter, Local 3586 on March 2, 2018. The City's negotiation team was comprised of City staff and James C. Hanks of the Ahlers Law Firm. This Agreement was ratified by the union on March 7, 2018.

Detailed below is a brief overview of the financially related terms of the three year Tentative Agreement:

1. Wages                                      The Agreement calls for across-the-board (ATB) increases of 2.75% for the first year, 3.0% for the second year, 3.0% for the third year and 3.25% for the fourth year of the contract.  
  
Fire Investigator pay will increase an additional \$500 per year.  
  
A change in the compensation for Acting Officer pay and Acting Driver/Operator pay totaling just under \$16,000 the first year of the contract.
2. Insurance                                      The Agreement provides for tiering of the Standard plan and a decrease to in the employee's single monthly premium contribution rate from 8% single to 7% for the Wellness and Savers plans.
3. Paid Time Off                                      The Agreement provides for an increase to vacation time of one additional shift for those with 19+ years of experience in year one, one additional shift for those with 4+ years of experience in year two

**OUTSTANDING ISSUES** (if any):

**RECOMMENDATION:** City Council Adopt the Resolution approving the contract with the West Des Moines Association of Professional Fire Fighters for the four year period of July 1, 2018 through June 30, 2022 and directing the Mayor and City Clerk to sign the contract on behalf of the City.

**Lead Staff Member:** Jane Pauba Dodge, Human Resources Director *JPDodge*

**STAFF REVIEWS**

Department Director	Jane Pauba Dodge
Appropriations/Finance	<i>ok from TS</i>
Legal	Ahlers Law Firm
Agenda Acceptance	<i>JA</i>

**PUBLICATION(S)** (if applicable)

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**RESOLUTION**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA APPROVING BARGAINING AGREEMENT WITH WEST DES MOINES ASSOCIATION OF PROFESSIONAL FIRE FIGHTERS LOCAL 3586**

**WHEREAS**, City staff has negotiated in good faith with members of the West Des Moines Association of Professional Fire Fighters Local 3586 for the purposes of finalizing a new bargaining agreement, and

**WHEREAS**, the City staff has reached a tentative agreement with the West Des Moines Association of Professional Fire Fighters Local 3586 for a four year period of July 1, 2018 through June 30, 2022.

**THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA** that a bargaining agreement with the West Des Moines Association of Professional Fire Fighters Local 3586 for the period covering July 1, 2018 through June 30, 2022 is hereby approved, and the Mayor and City Clerk are hereby directed to sign the agreement on behalf of the City.

**PASSED AND ADOPTED** this \_\_\_\_\_ day of April, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk

## CITY OF WEST DES MOINES CITY COUNCIL MEETING COMMUNICATION

**ITEM:** Resolution to Approve Contract with  
(WestCom) Teamsters Local 238

**DATE:** April 16, 2018

**FINANCIAL IMPACT:** WestCom Department Salaries and Benefits Line Items for FY18/19, FY019/20, FY20/21 and FY21/22 at a cost of approximately \$57,706 for the first year of the contract, \$68,056 for the second year of the contract, \$66,056 the third year of the contract and \$64,049 for the fourth year of the contract

**BACKGROUND:** On April 4, 2018 the City of West Des Moines negotiation team reached a tentative four year agreement with the (WestCom) Teamsters Local 238. The City's negotiation team was comprised of City staff and James C. Hanks of the Ahlers Law Firm. The tentative agreement was ratified by Teamsters on April 11, 2018.

Detailed below is a brief overview of the financially related terms of the Tentative Agreement:

- |           |  |
|-----------|--|
| 1. Wages. | The Agreement is for four years and calls for across-the-board (ATB) increase of 2.5% - 2.75% - 3.0% - 3.0% for each respective year of the Agreement. |
|-----------|--|

**OUTSTANDING ISSUES** (if any):

**RECOMMENDATION:** City Council Adopt the Resolution approving the contract with Teamsters Local 238 for the four year period of July 1, 2018 through June 30, 2022 and directing the Mayor and City Manager to sign the contract on behalf of the City.

**Lead Staff Member:** Jane Pauba Dodge, Human Resources Director *JPDodge*

**STAFF REVIEWS**

Department Director	Jane Pauba Dodge, Human Resources Director
Appropriations/Finance	<i>OK for TS</i>
Legal	
Agenda Acceptance	<i>PA</i>

**PUBLICATION(S)** (if applicable)

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**RESOLUTION**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA APPROVING BARGAINING AGREEMENT WITH TEAMSTERS LOCAL 238**

**WHEREAS**, City staff has negotiated in good faith with members of the Teamsters 238 for the purposes of finalizing a new bargaining agreement, and

**WHEREAS**, the City staff has reached a tentative agreement with the Teamsters Local 238 for a four year period of July 1, 2018 through June 30, 2022

**THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA** that a bargaining agreement with the Teamsters Local 238 for the period covering July 1, 2018 through June 30, 2022 is hereby approved, and the Mayor and City Manager are hereby directed to sign the agreement on behalf of the City.

**PASSED AND ADOPTED** this \_\_\_\_\_ day of April, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan Jacobson, City Clerk

**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**ITEM:****DATE: April 16, 2018**

First reading of proposed Ordinance to amend Title 6, Chapter 5 of the Municipal Code to adopt the Iowa state law regarding the illegal use of electronic communication devices while driving by reference in the City Code.

**FINANCIAL IMPACT:**

This proposed Ordinance amendment should have a positive financial impact to the City of West Des Moines because the City receives a significant percentage of the traffic citation fines when police officers issuing traffic tickets cite the City Code instead of the State Code.

**BACKGROUND:**

Last year, the Iowa legislature changed state law to authorize police officers to initiate motor vehicle traffic stops for drivers who use hand-held electronic communication devices to write, send, or view electronic messages, play games, use social media applications, or browse the Internet while operating a motor vehicle. Police officers can then issue traffic citations for this type of offense, which includes a \$30.00 fine, plus surcharge and court costs.

This proposed Ordinance would adopt the state code provision by reference, similar to what the City has already done for other common traffic offenses. Issuing traffic citations under the City Code enables the City of West Des Moines to receive a much higher percentage of the fines in cases where the City's police department has conducted traffic enforcement.

The Public Safety City Council subcommittee approved of this proposed new Ordinance at its meeting held on April 6, 2018.

**OUTSTANDING ISSUES** (if any): None

**RECOMMENDATION:**

It is recommended that the City Council approve the first reading of this proposed Ordinance.

**Lead Staff Member:** Jason B. Wittgraf, Assistant City Attorney *JBW*

**STAFF REVIEWS**

Department Director	Richard J. Scieszinski, City Attorney
Appropriations/Finance	
Legal	
Agenda Acceptance	<i>(Signature)</i>

**PUBLICATION(S)** (if applicable)

Published In	
Dates(s) Published	

**SUBCOMMITTEE REVIEW** (if applicable)

Committee	Public Safety		
Date Reviewed	April 6, 2018		
Recommendation	Yes	No	Split

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA, 2014, BY AMENDING TITLE 6, "MOTOR VEHICLES AND TRAFFIC", CHAPTER 5, "RULES OF THE ROAD", ARTICLE G, "MISCELLANEOUS RULES", SECTION 10, "GENERAL TRAFFIC REGULATIONS"**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:**

**SECTION 1:** Title 6, Chapter 5, Article G, Section 10 is hereby amended by adding the following underline text to create subsection L.

**6-5G-10: GENERAL TRAFFIC REGULATIONS:**

**L. Use of electronic communication device while driving. Iowa Code (2017) section 321.276 is adopted by reference.**

**SECTION 2. REPEALER.** All Ordinances or parts of Ordinances in conflict with the provision of this Ordinance are hereby repealed.

**SECTION 3. SAVINGS CLAUSE.** If any section, provision, sentence, clause, phrase, or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase, or part hereof not adjudged invalid or unconstitutional.

**SECTION 4. EFFECTIVE DATE.** This Ordinance shall be in full force and effect from and after its passage, adoption, and publication as required by law.

**PASSED AND APPROVED** this \_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson, City Clerk



**CITY OF WEST DES MOINES  
CITY COUNCIL MEETING COMMUNICATION**

**DATE: April 16, 2018**

**ITEM:**

Motion - Approval of Traffic Code Amendments  
 Four-Way Stop Intersections  
 4<sup>th</sup> Street and Vine Street  
 Approval of First Reading, Waiver of Second and Third Readings, and Final Adoption

**FINANCIAL IMPACT:**

None.

**BACKGROUND:**

Approval of this ordinance enables enforcement of four-way stops at the intersection of 4<sup>th</sup> Street and Vine Street. North and south traffic on 4<sup>th</sup> Street currently has stop sign control. Increased traffic volumes at the intersection has resulted in the need to increase the level of traffic control.

**RECOMMENDATION:**



City Council Adopt:

Motion approving First Reading, Waiver of Second and Third Readings, and Final Adoption

**Lead Staff Member: Jim Dickinson, P.E.**



**STAFF REVIEWS**

Department Director	Bret Hodne, Public Services Director 
Appropriations/Finance	
Legal	
Agenda Acceptance	

**PUBLICATION(S) (if applicable)**

Published In	Des Moines Register
Dates(s) Published	

**SUBCOMMITTEE REVIEW (if applicable)**

Committee	Public Services		
Date Reviewed			
Recommendation	Yes	No	Split

**ORDINANCE NO.**

**AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA, 2014, BY AMENDING PROVISION PERTAINING TO THE TRAFFIC CODE RELATING TO OFFICIAL TRAFFIC CONTROLS.**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA.**

**SECTION 1. TITLE 6: (MOTOR VEHICLE AND TRAFFIC), CHAPTER 9: SECTION 6-9-3-2: FOUR-WAY STOP INTERSECTIONS:** is hereby amended by revising the following paragraph:

**Add:**

4<sup>th</sup> Street and Vine Street

**SECTION 2. REPEALER.** All Ordinances or parts of Ordinances in conflict with the provision of this Ordinance are hereby repealed.

**SECTION 3. SEVERABILITY.** If any section, provisions, sentence, clause, phrase or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

**SECTION 4. VIOLATION.** Any person who violates the provisions of this Ordinance, upon conviction, shall be punished with a fine not to exceed \$100.00 plus applicable surcharge and court costs.

**SECTION 5. WHEN EFFECTIVE.** This Ordinance shall be in full force and effect from and after its passage, adoption, and publication as required by law.

**PASSED AND APPROVED** this 16th day of April, 2018.

\_\_\_\_\_  
Steven K. Gaer, Mayor

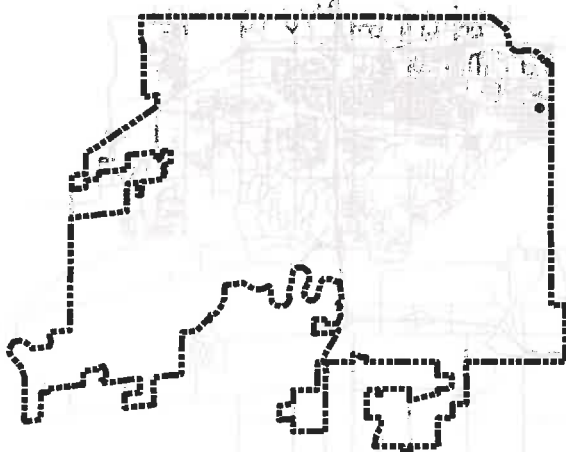
ATTEST:

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk

Published in the Des Moines Register this \_\_\_\_\_ day of \_\_\_\_\_, 2018.



**VICINITY MAP**



**LEGEND**

PROJECT LOCATION



PROJECT:

**Traffic Code Amendment 4 Way Stop Intersections**

LOCATION:

**4th Street and Vine Street**

DRAWN BY: REF

DATE: 4-13-2018

PROJECT: 4 Way Stop Intersections

SHT. 1 of 1