

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: May 21, 2018

Item: Wolfe Clinic Surgery Center, 6100 Westown Parkway – Approval of a Phased Major Modification to a Site Plan to construct a surgery center building with site modifications – Wolfe Eye Clinic – MaM-003821-2018

Requested Action: Approval of a Phased Major Modification to a Site Plan

Case Advisor: Mackenzie Locey 

Applicant's Request: The applicant, Wolfe Eye Clinic, represented by Jim Host, Confluence, requests the approval of a phased major modification to a site plan permit to construct a surgery center building with site modifications on the existing Wolfe Eye Clinic site at 6200 Westown Parkway. This modification will include construction of a new 24,000 square foot surgery center building to the east of the main clinic on the Wolfe Eye Clinic site. This major modification will also include a parking lot connection to 6000 Westown Parkway to the east.

History: The subject property was annexed into the City as a part of the 1988 W 60th & University Ave Annexation. The property was platted into the West Lakes Office Park Plat 1 in 1989. The property was rezoned in 1998 and made a part of the West Lakes PUD. The site plan was approved in 2003 to construct the existing Wolfe Eye Clinic building on the property. In 2010 a minor modification was approved to add an additional 51 parking stalls with landscaping.

City Council Subcommittee: This project was presented to the Development and Planning City Council Subcommittee on April 16, 2018 as an upcoming project. The Subcommittee members indicated support of the project.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues, however, staff would highlight the following:

- **Phased Major Modification to a Site Plan:** The applicant is still working with staff to complete some of the overall details of the site plan for architecture, screening, and site lighting as well as some minor corrections to the text on the site plan documents. This phased site plan approval could allow for the applicant to begin grading, footing, foundation, and utility work at their own risk pending approval of a full site plan approval in the future. The full site plan would include all details for the site and building including architecture. A condition of approval is recommended that the applicant acknowledge and agree that this approval is for underground utility, footing and foundation work only. Also, the applicant agree that any grading, utility work and footing and foundation work done prior to approval of the full site plan is at their own risk, and that final building and site design will need to comply with any changes that are deemed necessary as part of that approval.
- **Temporary Construction Access:** The applicant has proposed a temporary construction access on Westown Parkway as part of the proposed site work. The applicant has indicated this temporary access is necessary for a number of reasons including: difficulty of large construction vehicles turning at the existing divided entrance, construction traffic conflicts with normal site traffic, and need for staged construction of proposed parking areas.

Westown Parkway is a minor arterial street. City Code Title 9, Chapter 15, Part 6.C.2 requires a minimum access spacing of 300 feet on arterial streets. The proposed temporary access is shown approximately 220 feet from the existing Wolfe Clinic access and 200 feet from the next access to the east. An access, permanent or temporary, spaced this closely to other driveways will introduce additional conflict points without sufficient distance to identify and react to vehicles entering and exiting at this location. The issue is exacerbated by large, slow-moving construction vehicles anticipated to be using the temporary access. Due to these safety concerns Staff recommends removing the temporary access from the major modification.

A condition of approval is recommended that the City Council not allow an additional permanent or temporary access on Westown Parkway.

- **Retaining Wall:** The applicant is planning to install a retaining wall in the southeast corner of the site, adjacent to the loading dock. City Code states that no single wall face shall be greater than six feet (6') in height without terraces to break up the wall expanse. The proposed retaining wall does have portions over 6 feet in height at the loading dock area, however the area will have semi-trailers backing in on a regular basis and in an area with limited visibility. A condition of approval will be recommended at the final site plan that the City Council grant a waiver from this requirement.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various City departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies, City Departments, and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendation And Conditions Of Approval: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Major Modification to a Site Plan for Wolfe Eye Clinic, subject to the applicant meeting all City Code requirements and the following:

1. The City Council would not allow additional permanent or temporary access onto Westown Parkway.
2. The applicant acknowledging and agreeing that this approval is for underground utility, grading, footing and foundation work only.
3. The applicant agreeing that any grading utility work and footing and foundation work done prior to approval of the full site plan is at their own risk, and that final building and site design will need to comply with any changes that are deemed necessary as part of that approval.

4. The applicant agreeing that any work done on the installation of the retaining wall on the southeast corner of the lot is at their own risk, and that the City Council must approve the waiving of the terracing as part of the final site plan approval.
5. The applicant continuing to work with staff on outstanding building and site design elements.

Property Owner/Applicant: Wolfe Eye Clinic
309 E. Church Street
Marshalltown, Iowa 50158
Attn: Randy Eckard, COO
reckard@wolfeclinic.com

Applicant's Representative: Confluence
525 17th Street
Des Moines, Iowa 50309
Attn: Jim Host
jhost@thinkconfluence.com

Attachments:

Attachment A	-	Plan and Zoning Commission Resolution
Exhibit A	-	Conditions of Approval
Attachment B	-	Location Map
Attachment C	-	Phased Site Plan

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RESOLUTION NO. PZC-18-038

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A PHASED MAJOR MODIFICATION (MaM-003821-2018) TO CONSTRUCT A SURGERY CENTER BUILDING AND RELATED SITE IMPROVEMENTS AT 6100 WESTOWN PARKWAY

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Wolfe Eye Clinic, has requested approval of a Phased Major Modification to a Site Plan Permit (MaM-003821-2018) for that property located at 6100 Westown Parkway to construct an approximately 24,000 square foot surgery center building with site modifications;

Legal Description

West Lakes Office Park, Plat 1, Lot 10

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which are made a part of this record and herein incorporated by reference;

WHEREAS, on May 21, 2018, this Commission held a duly-noticed public meeting to consider the application for a Phased Major Modification to a Site Plan (MaM-003821-2018);

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report noted above, or as amended orally at the meeting on this date, are adopted.

SECTION 2. The Phased Major Modification to a Site Plan (MaM-003821-2018) to construct a surgery center building and associated site modifications is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report dated May 21, 2018, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on May 21, 2018.

Craig Erickson, Chair
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on August 28, 2017, by the following vote:

- AYES:
- NAYS:
- ABSTENTIONS:
- ABSENT:

ATTEST:

Recording Secretary

**Exhibit A
CONDITIONS OF APPROVAL**

1. The City Council would not allow additional permanent or temporary access onto Westown Parkway.
2. The applicant acknowledging and agreeing that this approval is for underground utility, grading, footing and foundation work only.
3. The applicant agreeing that any grading, utility work and footing and foundation work done prior to approval of the full site plan is at their own risk, and that final building and site design will need to comply with any changes that are deemed necessary as part of that approval.
4. The applicant agreeing that any work done on the installation of the retaining wall on the southeast corner of the lot is at their own risk, and that the City Council must approve the waiving of the terracing as part of the final site plan approval.
5. The applicant continuing to work with staff on outstanding building and site design elements.

DRAWING INDEX

SHEET NUMBER	SHEET TITLE
L000	COVER SHEET
C100	SITE UTILITY PLAN
C200	STORMWATER POLLUTION PREVENTION PLAN
L100	SITE PREPARATION PLAN
L200	SITE LAYOUT PLAN
L300	SITE GRADING PLAN
L400	SITE PLANTING PLAN
L500	SITE DETAILS
L501	SITE DETAILS
L502	PLANTING DETAILS

WOLFE SURGERY CENTER

6100 WESTOWN PARKWAY

WEST DES MOINES, IOWA

CONFLUENCE PROJECT NO: 17238

OWNER / APPLICANT
 WOLFE EYE CLINIC
 309 E. CHURCH STREET
 MARSHALLTOWN, IOWA 50158
 (641) 754-9200
 E-MAIL: reckard@wolfeclinic.com

CONTACT: RANDY ECKARD

ZONING AND LAND USE
 EXISTING ZONING: LAKEVIEW PUD
 PROPOSED ZONING: LAKEVIEW PUD
 EXISTING LAND USE: VACANT
 PROPOSED LAND USE: MEDICAL OFFICE

SITE SUMMARY
 TOTAL SITE AREA: 365,904 SF (8.40 ACRES)
 EXISTING BUILDING FOOTPRINT: 19,000 SF
 FUTURE BUILDING FOOTPRINT: 23,914 SF
 CLIENT REQUIRED PARKING STALLS: 394
 42,000 SF @ 7 / 1,000 = 294
 19,914 SF @ 5 / 1,000 = 100
 PARKING STALLS PROVIDED: 386
 CITY REQUIRED PARKING STALLS: 310
 81,914 SF @ 6 / 1,000 = 310
 ACCESSIBLE STALLS REQUIRED: 13
 ACCESSIBLE STALLS PROVIDED: 21
 OPEN SPACE REQUIRED: 35% OF SITE = 128,066 SF
 OPEN SPACE PROVIDED: 142,284 SF

PLANTING REQUIREMENTS:

TOTAL SITE AREA: 365,904 SF (8.40 ACRES)
 35% OPEN SPACE REQUIRED: 128,066 SF
 TREES REQUIRED: 86 (2 TREES / 3,000 SF OPEN SPACE)
 TREES PROVIDED: 119
 EXIST. OVERSTORY = 43
 EXIST. UNDERSTORY = 29
 EXIST. EVERGREEN = 2
 NEW OVERSTORY = 11
 NEW UNDERSTORY = 6
 NEW EVERGREEN = 28

30 EVERGREEN / 86 REQUIRED TREES = 35%

PARKING ISLANDS REQUIRED: 14
 PARKING ISLANDS PROVIDED: 14
 PARKING PODS REQUIRED: 7
 PARKING PODS PROVIDED: 11
 PARKING TREES REQUIRED: 35 (2 / ISLAND, 1 / POD)
 PARKING TREES PROVIDED: 35
 EXIST. OVERSTORY = 7
 NEW OVERSTORY = 28
 SHRUBS REQUIRED: 128 (3 SHRUBS / 3,000 SF OPEN SPACE)
 SHRUBS PROVIDED: 461 (267 EXISTING, 184 PROPOSED)

SYMBOLS AND ABBREVIATIONS

- PROPERTY LINE
- W WATER MAIN
- SAN SANITARY SEWER
- ST STORM SEWER
- OE OVERHEAD ELECTRIC
- UE UNDERGROUND ELECTRIC
- CENTERLINE
- FO FIBER OPTIC LINE
- G GAS LINE
- EASEMENT LINE
- X SILT FENCE
- PROPOSED INDEX CONTOUR
- PROPOSED CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- C# HORIZONTAL CURVE
- CLR. CLEARANCE
- DIA. DIAMETER
- EJ EXPANSION JOINT
- FES FLARED END SECTION
- FEE FINISHED FLOOR ELEVATION
- FL FLOW LINE
- HP HIGH POINT
- LP LOW POINT
- MFR. MANUFACTURER
- N.I.C. NOT IN CONTRACT
- P.V.C. P.V.C. PIPE
- R RADIUS
- RCP REINFORCED CONCRETE PIPE
- RIM RIM ELEVATION
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ TEE CONNECTION
- ⊕ LIGHT POLE, SINGLE FIXTURE
- ⊕ LIGHT POLE, DOUBLE FIXTURE
- ⊕ SPOT ELEVATION
- ⊕ HORIZONTAL CONTROL POINTS
- KEY NOTE
- SURFACE DRAINAGE
- STORM MANHOLE
- SANITARY MANHOLE
- CLEANOUT
- STORM SEWER CURB INTAKE
- STORM SEWER AREA INTAKE
- HANDICAP PARKING STALL



IMPERVIOUS SURFACE CALCULATION

EXISTING IMPERVIOUS	166,873 S.F. (46.38% OF TOTAL SITE)
PROPOSED IMPERVIOUS	100,772 S.F. (28.01% OF TOTAL SITE)
TOTAL IMPERVIOUS	267,645 S.F. (74.39% OF TOTAL SITE)

CITY COORDINATION NOTES

ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DES MOINES METRO DESIGN STANDARDS AND WEST DES MOINES ADDENDUMS.

AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WEST DES MOINES ENGINEERING SERVICES AT 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.

LEGAL DESCRIPTION

WEST LAKES OFFICE PARK, PLAT 1, LOT 10

BENCHMARK INFORMATION

BURY BOLT ON HYDRANT AT NORTH SIDE OF WESTOWN PARKWAY, NORTH OF WEST PROPERTY LINE OF LOT 10, WEST LAKES OFFICE PARK PLAT 1, ELEVATION 184.38

AND

INTERSECTION OF 74TH STREET AND THE NORTH RAMP OF I-80, NORTHEAST CORNER OF INTERSECTION, 9.5 FEET WEST OF THE SOUTHEAST RIGHT-OF-WAY FENCE CORNER, 125 FEET EAST OF CENTERLINE OF 74TH STREET, STANDARD BENCHMARK ELEVATION 205.75

CIVIL ENGINEER

BISHOP ENGINEERING
 3501 104th STREET
 URBANDALE, IA 50322
 PHONE: 515.276.0467
 CONTACT: ERIC GJERSVIK



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.
 ERIC B. GJERSVIK, P.E. IOWA REG. 16913 DATE
 My license renewal date is December 31, 2019
 Pages or sheets covered by this seal: C100, C200

LANDSCAPE ARCHITECT

CONFLUENCE
 525 17TH STREET
 DES MOINES, IOWA 50309
 PHONE: 515.288.4875
 CONTACT: JIM HOST



I HEREBY CERTIFY THAT THE PORTION OF THIS DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

CHRIS DELLA VEDOVA IOWA REGISTRATION #335 DATE
 MY REGISTRATION DATE IS JUNE 30, 2019
 SHEETS COVERED BY THIS SEAL: L100 - L502

WOLFE SURGERY CENTER
 WEST DES MOINES, IOWA



- GENERAL CIVIL NOTES:**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DES MOINES METRO DESIGN STANDARDS, WEST DES MOINES ADDENDUMS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. WEST DES MOINES WATER WORKS MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
 - IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
 - ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
 - BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLANS.
 - THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
 - THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRE-CONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
 - LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE IOWA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
 - THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
 - THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNER'S REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND WEST DES MOINES WATER WORKS. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
 - THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
 - DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

- UTILITY NOTES:**
- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
 - THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENITZ AT 515-278-0487) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
 - ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
 - ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
 - ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
 - SANITARY SEWER SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
 - MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISIONING OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
 - WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
 - THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
 - PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY WEST DES MOINES WATER WORKS.
 - TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT. CONTINUE TRACER WIRE AT ALL MAINLINE VALVES.
 - ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. WEST DES MOINES WATERWORKS WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
 - THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.
 - ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR SHALL COORDINATE ANY REQUIRED SHUT-OFF OF WATER SYSTEM WITH THE OWNER.

- WEST DES MOINES WATER WORKS STANDARD NOTES**
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
 - CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
 - ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1287, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.

FOR QUESTIONS REGARDING THE SPECIFICATIONS, PLEASE CONTACT THE ENGINEERING PROJECT MANAGER AT (515) 222-3510.

WATER SYSTEM QUANTITIES

8" C900 PVC	272 LF
8" VALVE	2 EA
FIRE HYDRANT & VALVE ASSEMBLY	1 EA
CONNECT TO EXISTING 8" SERVICE	L.S.

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
1	3/19/2018	MAJOR MODIFICATION
2	4/12/2018	MAJOR MODIFICATION RESUBMITTAL
3	6/4/2018	MAJOR MODIFICATION RESUBMITTAL

ISSUED FOR
 SITE PLAN
 REVIEW
 NOT FOR
 CONSTRUCTION

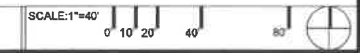
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SITE UTILITY PLAN

CONFLUENCE PROJECT NO: 17238

C100

File Location: C:\Users\johnt\Desktop\17238 - Wolfe Eye Clinic Expansion - WDM\17238 CAD\CAD 100 SITE UTILITY PLAN / Drawn by: JXX / Checked by: JXX



STORM WATER POLLUTION PREVENTION PLAN

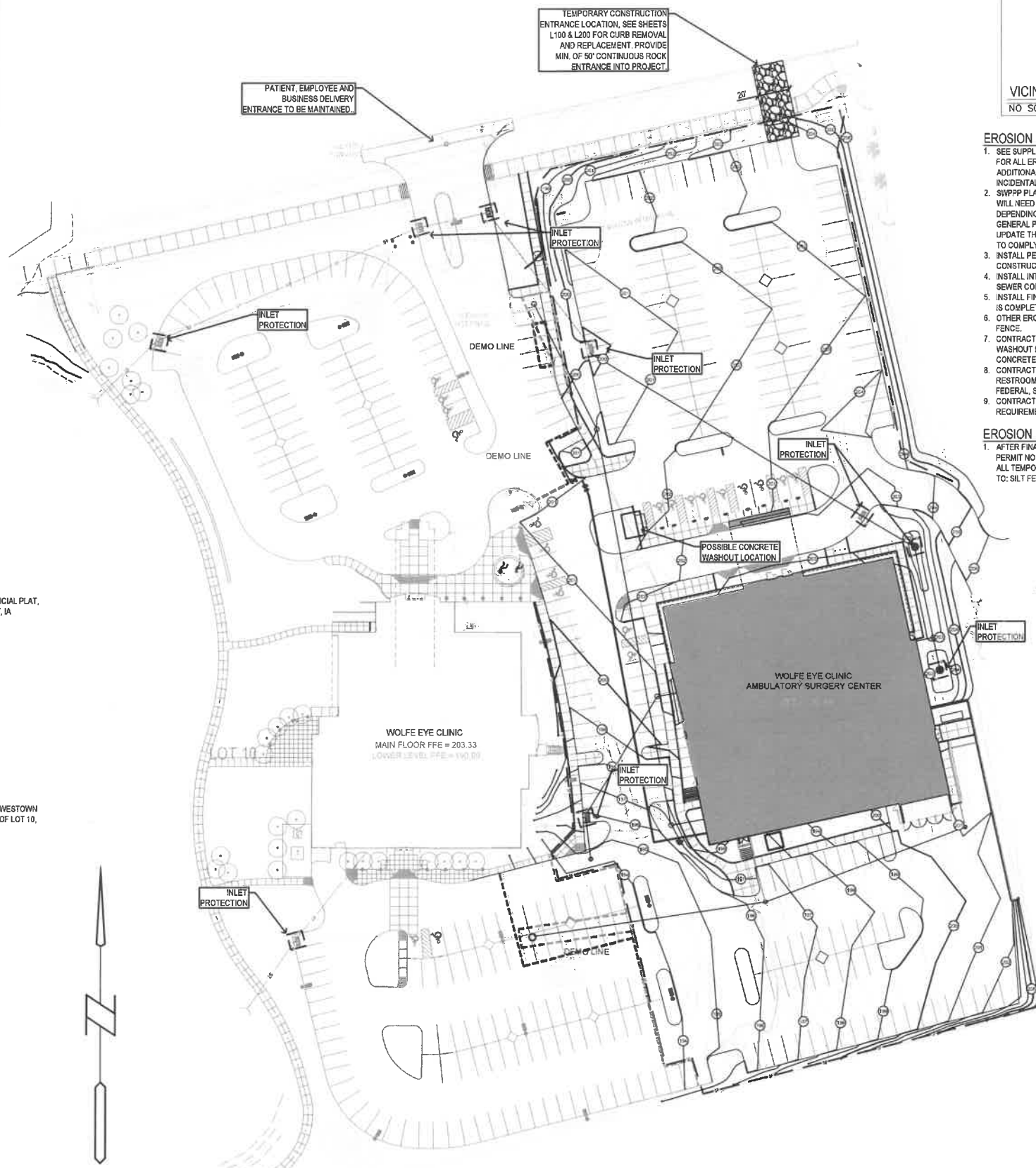
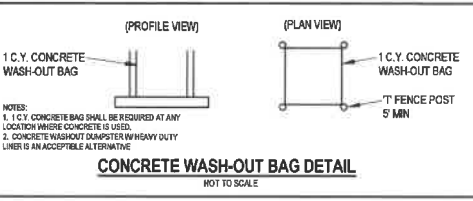
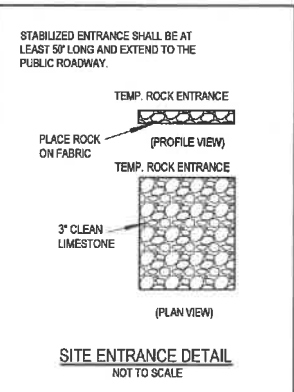
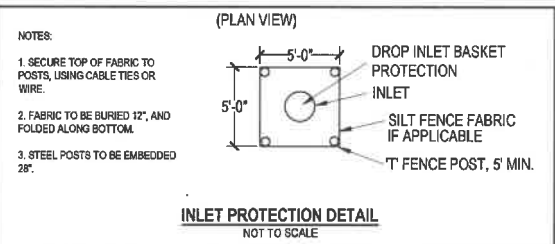
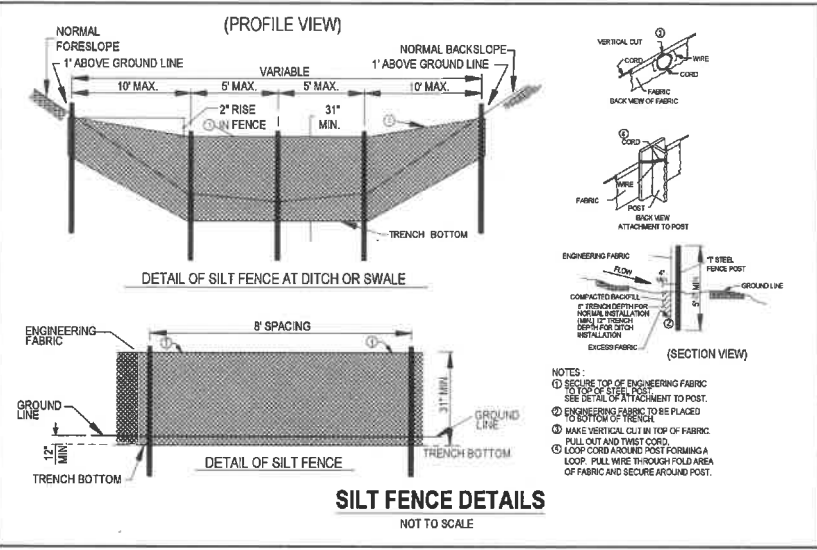
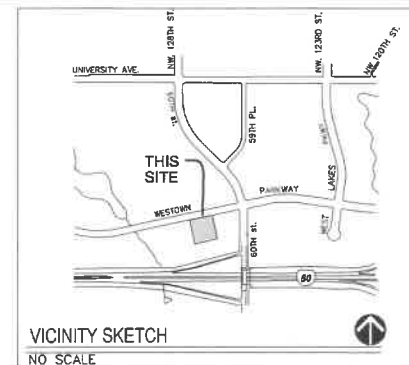
CONFLUENCE

LANDSCAPE ARCHITECT
CONFLUENCE
 525 17TH STREET
 DES MOINES, IOWA 50309
 PH: 515.288.4875 FAX: 515.288.8359

ARCHITECT
SVPA ARCHITECTS
 1466 26TH STREET, STE. 200
 WEST DES MOINES, IA 50266
 PH: 515.327.5990
 CONTACT: JOSH RIDGELY

CIVIL ENGINEER
BISHOP ENGINEERING
 3501 104TH STREET
 URBANDALE, IA 50322
 PH: 515.278.0467
 CONTACT: ERIC GJERSVIK

STRUCTURAL ENGINEER
SAUL ENGINEERING
 604 LOCUST STREET, STE. 202
 DES MOINES, IA 50309
 PH: 515.279.3900
 CONTACT: PAUL TAYLOR



PROPERTY DESCRIPTION:
 LOT 10 IN WEST LAKES OFFICE PARK, AN OFFICIAL PLAT,
 CITY OF WEST DES MOINES, DALLAS COUNTY, IA

ADDRESS:
 8200 WEST TOWN PARKWAY
 WEST DES MOINES, IA 50266

OWNER/APPLICANT:
 CLINIC INVESTMENTS, INC.
 CONTACT:
 309 E. CHURCH ST.
 MARSHALLTOWN, IA 50158
 PHONE:

DISTURBED AREA:
 3.50 ACRES

BENCHMARK:
 BURY BOLT ON HYDRANT AT NORTH SIDE OF WESTOWN
 PARKWAY, NORTH OF WEST PROPERTY LINE OF LOT 10,
 WEST LAKES OFFICE PARK PLAT 1.
 ELEVATION=184.38

- EROSION CONTROL NOTES:**
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 - SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
 - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 - INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 - INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 - OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
- EROSION CONTROL REMOVAL NOTES:**
- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

- LEGEND:**
- SILT FENCE (TYP)
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - STABILIZED ENTRANCE 30"x50"x6" DEEP 2" CLEAN CRUSHED ROCK DRIVE ON GEOTEXTILE

- UTILITY LEGEND:**
- SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - SANITARY SEWER
 - ST - STORM SEWER
 - G - GAS LINE
 - W - WATER LINE
 - UE - UNDERGROUND ELECTRIC
 - O/E - OVERHEAD ELECTRIC
 - T - TELEPHONE LINE
 - TELEPHONE RISER
 - TELEPHONE MANHOLE
 - GROUND LIGHT
 - LIGHT POLE
 - POWER POLE
 - TRANSFORMER POLE
 - ELECTRIC TRANSFORMER
 - ELECTRIC METER
 - CLEAN-OUT
 - INTAKE
 - SURFACE INTAKE
 - TRAFFIC SIGNAL MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - GAS METER
 - 7 DENOTES NUMBER OF PARKING STALLS

REVISION SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	3/15/2018	MAJOR MODIFICATION
2	4/12/2018	MAJOR MODIFICATION RESUBMITTAL
3	5/4/2018	MAJOR MODIFICATION RESUBMITTAL

ISSUED FOR
 SITE PLAN
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 CONSTRUCTION

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**STORMWATER
 POLLUTION
 PREVENTION PLAN**
 CONFLUENCE PROJECT NO: 17238

C200

WOLFE SURGERY CENTER
 WEST DES MOINES, IOWA



UTILITY NOTE:
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.







WOLFE SURGERY CENTER
 WEST DES MOINES, IOWA

DEMOLITION NOTES:

1. CONTRACTOR TO COORDINATE REMOVAL AND/OR STORAGE AND REPLACEMENT OF BARRICADES WITH THE CITY OF DES MOINES, IOWA.
2. PRIOR TO ANY EXCAVATION AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANIES REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY LOCATIONS AND DEPTHS. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
3. CONTRACTORS TO FIELD ADJUST ALL EXISTING SITE UTILITIES TO NEW FINISH GRADES IF NECESSARY. EXISTING UTILITIES INCLUDE, BUT ARE NOT LIMITED TO FIRE HYDRANTS, MANHOLE RIMS, INLETS, WATER VALVES AND LIGHT BASES.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
5. FIELD VERIFY EXISTING GRADES AND LOCATIONS OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE STRUCTURES PRIOR TO DEMOLITION OR CONSTRUCTION AND IMMEDIATELY INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
6. PRIOR TO REMOVING ANY PLANT MATERIAL NOT INDICATED TO BE PROTECTED OR REMOVED CONTACT THE LANDSCAPE ARCHITECT.
7. PROTECT ALL ITEMS WITHIN CONTRACT LIMITS NOT INDICATED TO BE REMOVED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
8. REPORT TO OWNER'S REPRESENTATIVE ANY DAMAGE TO EXISTING UTILITIES PRIOR TO REPAIR.
9. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

KEYNOTE LEGEND

- A REMOVE AND LEGALLY DISPOSE OF EXISTING PCC CURB AND GUTTER
- B REMOVE AND LEGALLY DISPOSE OF EXISTING PCC SIDEWALK
- C REMOVE AND LEGALLY DISPOSE OF EXISTING PCC PAVEMENT
- D RELOCATE EXISTING MONUMENT SIGN AS INDICATED ON SHEET L200
- E RELOCATE EXISTING LIGHT POLE AS INDICATED ON SHEET L200
- F REMOVE AND REPLACE EXISTING CURB INTAKE AS INDICATED ON SHEET L300
- G REMOVE AND REPLACE EXISTING HC SIGNS AS INDICATED ON SHEET L200
- H REMOVE AND SALVAGE EXISTING BOLLARD FOR OWNER'S USE
- I REMOVE AND LEGALLY DISPOSE OF EXISTING TREE
- J PRESERVE AND PROTECT EXISTING RAISED PLANTER
- K REMOVE AND LEGALLY DISPOSE OF EXISTING STOOP CAP AND STAIRS. CHECK WALLS TO REMAIN IN PLACE.
- L PRESERVE AND PROTECT EXISTING LIGHT FIXTURE
- M PRESERVE AND PROTECT EXISTING FIRE HYDRANT
- N REMOVE AND LEGALLY DISPOSE OF SOD
- O REMOVE CURB FOR CONSTRUCTION ACCESS. REPLACE PER CITY OF WEST DES MOINES STANDARDS.
- P REMOVE PUBLIC WALK FOR CONSTRUCTION ACCESS. REMOVAL LIMITS TO EXTEND TO NEAREST CONTROL JOINT. MAINTAIN PUBLIC ACCESS. REPLACE PER CITY OF WEST DES MOINES STANDARDS.

-  CURB AND GUTTER REMOVAL
-  SIDEWALK REMOVAL
-  PCC STREET PAVEMENT REMOVAL
-  SOD REMOVAL

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SITE PREPARATION
 PLAN

CONFLUENCE PROJECT NO: 17238

L100



WOLFE SURGERY CENTER
WEST DES MOINES, IOWA

LAYOUT NOTES:

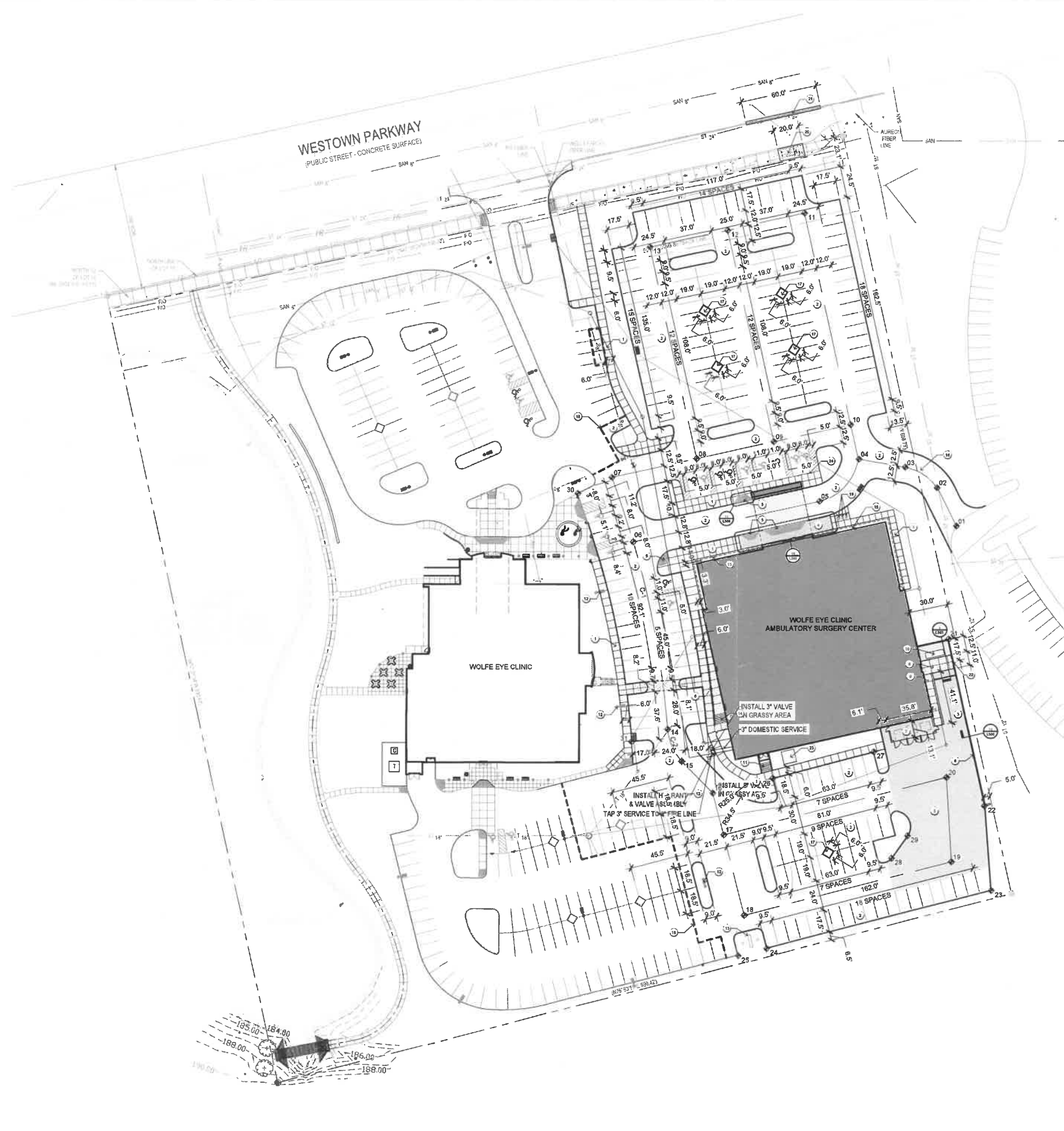
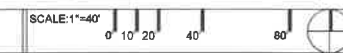
- ALL CURBS RAMP TO BE BUILT AS PER FEDERAL ACCESSIBILITY STANDARDS.
- PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY ARE PREPARED BY CIVIL ENGINEERING CONSULTANTS, 2400 85th STREET, SUITE 12, URBANDALE, IOWA 50322.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- VERIFY COORDINATES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY SLEEVES UNDER PAVING AND WALKS.
- PROPOSED SIGNAGE TO MEET CITY CODES FOR GROUND SIGNS.
- PAVEMENT TYPES:
TYPE 1: 4" PCC PAVEMENT
TYPE 2: 6" PCC PAVEMENT
TYPE 3: 8" PCC PAVEMENT
TYPE 4: CONCRETE PAVERS BY UNILOCK HOLLAND PREMIER COLOR: CHARLESTON

KEYNOTES:

- TYPE 1 PAVING, SEE DETAIL 1/L500
- TYPE 2 PAVING, SEE DETAIL 2/L500
- TYPE 3 PAVING, SEE DETAIL 3/L500
- TYPE 4 PAVING, SEE DETAIL 4/L500
- CURB RAMP, SEE DETAILS 10 AND 11/L500
- CAST-IN-PLACE PCC RETAINING WALL, SEE DETAIL 13/L500
- ENCLOSED TRASH COMPACTOR AND RECYCLE BINS, SEE ARCHITECTURAL PLANS
- LOADING DOCK, SEE LAYOUT, GRADING, ARCHITECTURAL, AND STRUCTURAL PLANS
- PCC RAMP, SEE STRUCTURAL PLANS
- GENERATOR, SEE ELECTRICAL PLANS
- STAIRS TO BASEMENT EQUIPMENT ROOM, SEE STRUCTURAL PLANS
- RELOCATED LIGHT FIXTURE, SEE ELECTRICAL PLANS
- RELOCATED MONUMENT SIGN, SEE ARCHITECTURAL PLANS
- PCC STAIRS, SEE STRUCTURAL PLANS
- PLANTER SPACE, SEE SHEET L400
- DRIVEWAY CONNECTION TO ADJACENT PARKING LOT PER PUD REQUIREMENTS
- PLANTER ISLAND - 6.0' SQ.
- DEMOLITION LIMIT TO MATCH WITH PROPOSED PAVEMENT
- BIKE RACKS (QTY. 3); 'CAPITOL' BY FORMS + SURFACES
- REPLACE PUBLIC TRAIL AFTER CONSTRUCTION ACCESS IS CLOSED
- REPLACE CURB AND GUTTER AFTER CONSTRUCTION ACCESS IS CLOSED
- TRANSITION FROM CABLE RAIL GUARDRAIL TO SOLID PANEL GENERATOR SCREEN - SEE ARCHITECTURAL PLANS
- 10' X 10' TRANSFORMER PAD - SEE ELECTRICAL PLANS
- BOLLARD MOUNTED, CURB STOP ACCESSIBLE SIGN; SEE DETAIL 14/L500; QTY. 9
- SNOW MELT SYSTEM LIMITS SEE MEP PLANS

CONTROL POINT DATA		
#	Position X	Position Y
01	5087.34	4694.03
02	5072.48	4723.98
03	5048.09	4740.09
04	5011.87	4746.59
05	4980.69	4713.53
06	4835.04	4681.89
07	4818.34	4732.41
08	4884.31	4748.94
09	4944.85	4780.28
10	5005.40	4773.61
11	4988.83	4939.63
12	4908.29	4926.30
13	4847.74	4912.96
14	4862.19	4534.80
15	4872.92	4509.62
16	4896.89	4484.75
17	4905.48	4451.95
18	4821.72	4388.98
19	5083.37	4430.85
20	5079.59	4496.84
21	5081.37	4605.39
22	5109.18	4474.48
23	5114.46	4408.13
24	4939.28	4362.96
25	4916.88	4357.16
26	4944.01	4496.42
27	5023.39	4517.00
28	5037.18	4433.54
29	5049.74	4451.13
30	4792.49	4719.87
31	4833.87	4525.12

ENTRY DRIVE - HORIZONTAL CURVE DATA			
NUMBER	RADIUS	LENGTH	CHORD BEARING
C-1	750.00	203.03	S 12° 30' 36" E
C-2	48.00	27.76	S 23° 4' 23" E



File Location: C:\Users\paul\Desktop\17238 - Wolfe Eye Clinic Expansion - WDM\17238 CHD\L200 SITE LAYOUT PLAN / Drawn by: AK / Checked by: XX

REVISION SCHEDULE		
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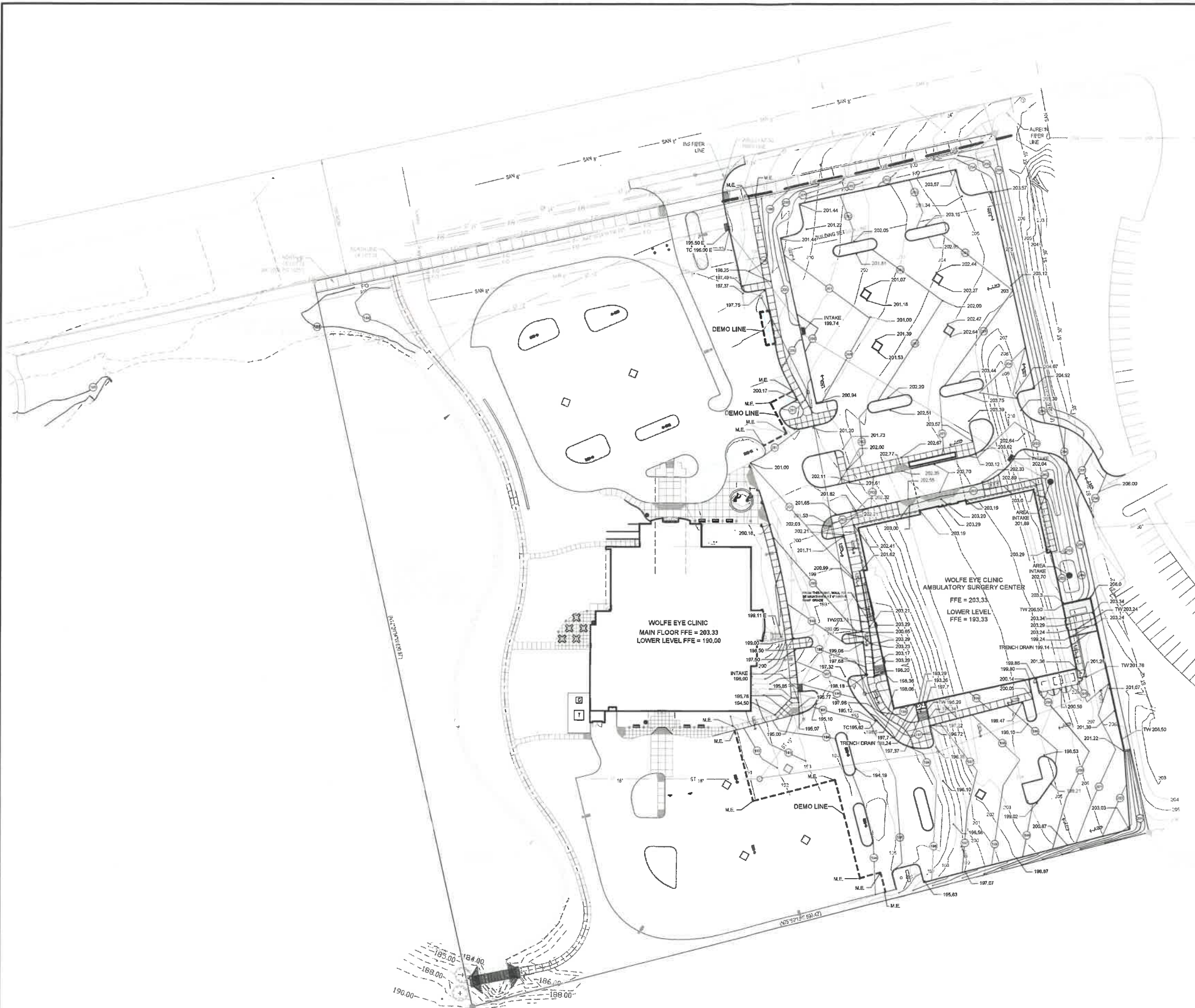
SITE LAYOUT PLAN

CONFLUENCE PROJECT NO: 17238

L200

GRADING NOTES

1. ALL SPOT ELEVATIONS ARE AT THE TOP OF FINISHED SURFACES. SPOT ELEVATIONS SHOWN IN PARKING ARE AT THE BOTTOM OF CURB. ADD 6" TO COMPUTE TOP OF CURB ELEVATION.
2. PRIOR TO ANY SITE EXCAVATION, THE CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER AND/OR LANDSCAPE ARCHITECT, AND CONSULT WITH OWNER'S REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY LOCATIONS AND DEPTHS. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
3. INSTALL SILT FENCE AT PERMANENT STORM SEWER INLETS AND SOO ALL SLOPES FOR EROSION CONTROL. SILT FENCE SHALL BE MAINTAINED UNTIL ESTABLISHMENT OF PERMANENT GROUND COVER OR EROSION CONTROL MEASURE.
4. FINAL BERM SHAPE TO APPROVED BY OWNER.
5. SEE SPECS FOR MINIMUM DEPTH OF TOPSOIL FOR ALL LAWN AREAS AND PLANTING BEDS.
6. ALL DEBRIS SPILLED ON THE R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
7. CONTRACTOR TO FIELD ADJUST ALL EXISTING SITE UTILITIES TO NEW FINISHED GRADES. EXISTING UTILITIES INCLUDE, BUT ARE NOT LIMITED TO, FIRE HYDRANTS, MANHOLE RIMS, INLETS, WATER VALVES, AND LIGHT BASES.
8. BACK FILL TO TOP OF CURB
9. ADEQUATE SCREENING OF PARKING LOT AREAS WITH EARTH BERMS OR LANDSCAPING SHALL BE PROVIDED IN A MANNER ACCEPTABLE TO THE CITY OF WEST DES MOINES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE SURFACE DRAINAGE IN ALL AREAS, UNLESS OTHERWISE NOTED. ALL NEWLY GRADED GROUND SURFACES SHALL BE FINISHED TO UNIFORM GRADES AND SLOPED IN SUCH A MANNER TO BE FREE OF DEPRESSIONS THAT CAUSE AREAS OF STANDING WATER. THE CONTRACTOR SHALL REPORT ANY CONFLICTS WITH THIS REQUIREMENT TO THE LANDSCAPE ARCHITECT FOR RESOLUTION PRIOR TO FINAL GRADING OPERATIONS.
11. WHERE PROPOSED GRADES MEET EXISTING, BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN THE NEW WORK AND EXISTING WORK. PONDING AT JOINTS WILL NOT BE ACCEPTED.
12. CONTACT LANDSCAPE ARCHITECT PRIOR TO BACKFILLING AGAINST EXISTING BUILDINGS. PROVIDE WATERPROOFING WHEN BACKFILLING AGAINST EXISTING BUILDINGS.
13. CONTRACTOR RESPONSIBLE FOR ALL PRIVATE LOCATES NOT COVERED BY THE IOWA ONE CALL SYSTEM.



WOLFE SURGERY CENTER
 WEST DES MOINES, IOWA

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SITE GRADING PLAN

CONFLUENCE PROJECT NO: 17238

L300

SCALE: 1"=40'

WOLFE SURGERY CENTER
 WEST DES MOINES, IOWA

PLANTING REQUIREMENTS:

TOTAL SITE AREA: 365,904 SF (8.40 ACRES)

35% OPEN SPACE REQUIRED: 128,066 SF

TREES REQUIRED: 86 (2 TREES / 3,000 SF OPEN SPACE)

TREES PROVIDED: 119
 EXIST. OVERSTORY = 43
 EXIST. UNDERSTORY = 29
 EXIST. EVERGREEN = 2
 NEW OVERSTORY = 11
 NEW UNDERSTORY = 9
 NEW EVERGREEN = 28

30 EVERGREEN / 86 REQUIRED TREES = 35%

PARKING ISLANDS REQUIRED: 14

PARKING ISLANDS PROVIDED: 14

PARKING PODS REQUIRED: 7

PARKING PODS PROVIDED: 11

PARKING TREES REQUIRED: 35 (2 / ISLAND, 1 / POD)

PARKING TREES PROVIDED: 35

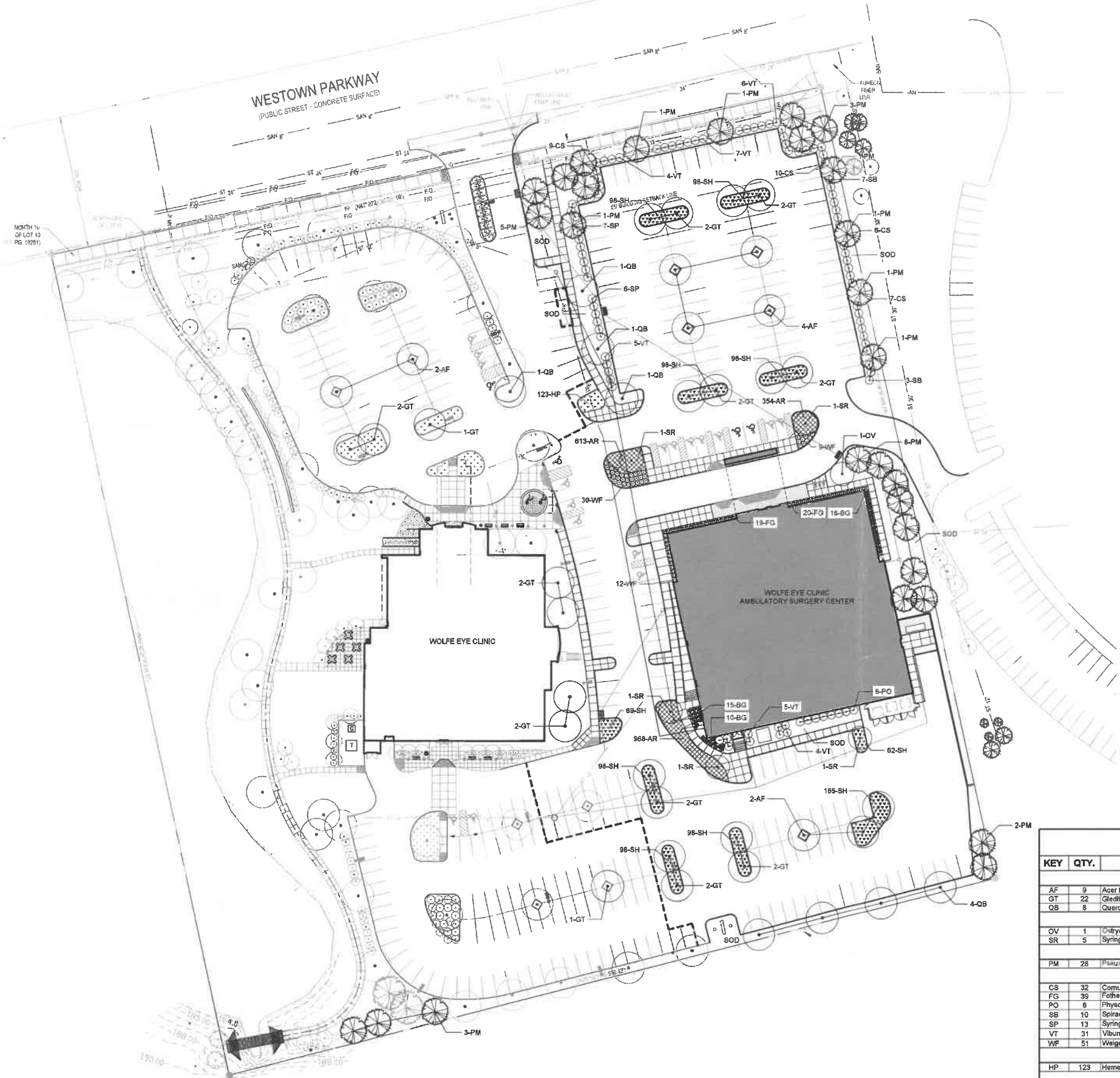
EXIST. OVERSTORY = 7
 NEW OVERSTORY = 28

SHRUBS REQUIRED: 128 (3 SHRUBS / 3,000 SF OPEN SPACE)

SHRUBS PROVIDED: 451 (267 EXISTING, 184 PROPOSED)

PLANTING NOTES:

- SOD ALL AREAS WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS, OR PLANTING BEDS, UNLESS OTHERWISE NOTED.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
- NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT FITS ARE EXCAVATED.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3".
- KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60-1992, OR MOST RECENT EDITION.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND INITIAL ACCEPTANCE OF THE PROJECT.
- SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.
- STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.



PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
OVERSTORY TREES						
AF	9	Acer fremanii 'Sienna'	SIENNA GLEN MAPLE	2" CAL	B&B	SPECIMEN QUALITY
GT	22	Gleditsia triacanthos var. 'Inermis'	THORNLESS HONEYLOCUST	2" CAL	B&B	SPECIMEN QUALITY
QB	8	Quercus borealis	NORTHERN RED OAK	2" CAL	B&B	SPECIMEN QUALITY
UNDERSTORY TREES						
OV	1	Ostrya virginiana	AMERICAN HOPHORNBEAM	1-1/2" CAL	B&B	SPECIMEN QUALITY
SR	5	Syringa reticulata	JAPANESE TREE LILAC	1-1/2" CAL	B&B	TREE FORM
EVERGREEN TREES						
PM	28	Pseudotsuga menziesii var. 'glauca'	DOUGLAS FIR	6" HGT.		SPECIMEN QUALITY
DECIDUOUS SHRUBS						
CS	32	Comus stolonifera 'Aroctic Fire'	REDOSIER DOGWOOD	#5	CONT.	SPACE AS INDICATED
FG	39	Fothergilla gardenii	DWARF FOTHERGILLA	#5	CONT.	SPACE AS INDICATED
PO	8	Physocarpus opulifolius 'Summer Wine'	SUMMER WINE NINEBARK	#5	CONT.	SPACE AS INDICATED
SB	10	Spiraea x bumalda 'Anthony Waterer'	ANTHONY WATERER SPIREA	#5	CONT.	SPACE AS INDICATED
SP	13	Syringa patula 'Miss Kim'	MISS KIM LILAC	#5	CONT.	SPACE AS INDICATED
VT	31	Viburnum trilobum 'Spring Red Compact'	COMPACT VIBURNUM	#5	CONT.	SPACE AS INDICATED
WF	51	Weigela florida 'Dark Horse'	DARK HORSE WEIGELA	#5	CONT.	SPACE AS INDICATED
PERENNIALS						
HP	123	Heimerocallis 'Pardon Me'	PARDON ME DAYLILY	#SP4	CONT.	1'-6" O.C. TRIA. SPACING
GRASSES						
BG	41	Bouteloua gracilis 'Blonde Ambition'	BLONDE AMBITION BLUE GRAMA GRASS	#1	CONT.	SPACE AS INDICATED
SH	982	Sporobolus heterolepis	PRAIRIE DROPS EED	#SP4	CONT.	2'-0" O.C. TRIA. SPACING
GROUND COVERS						
AR	1935	Ajuga reptans 'Black Scallop'	BLACK SCALLOP BUGLEWEED	#SP4	CONT.	1'-0" O.C. TRIA. SPACING

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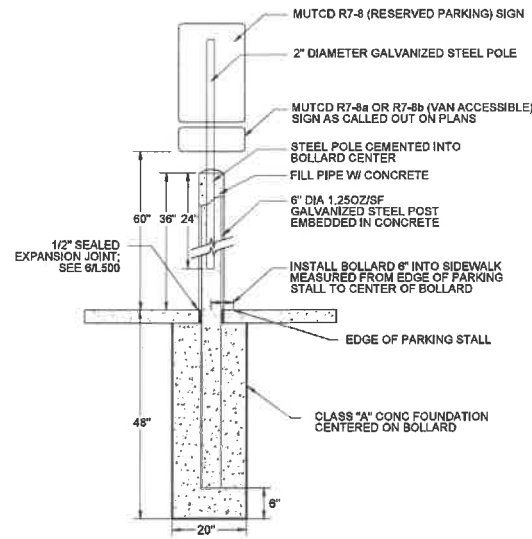
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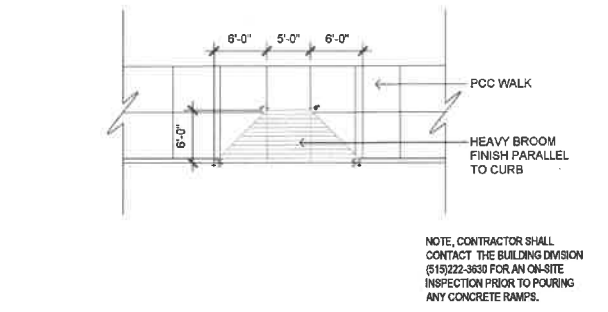
SITE PLANTING PLAN

CONFLUENCE PROJECT NO: 17238

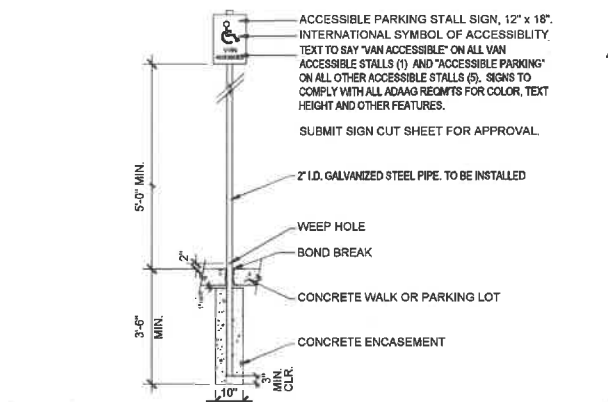
L400



14 L500 SECTION/ELEVATION: ACCESSIBLE SIGN BOLLARD N.T.S.

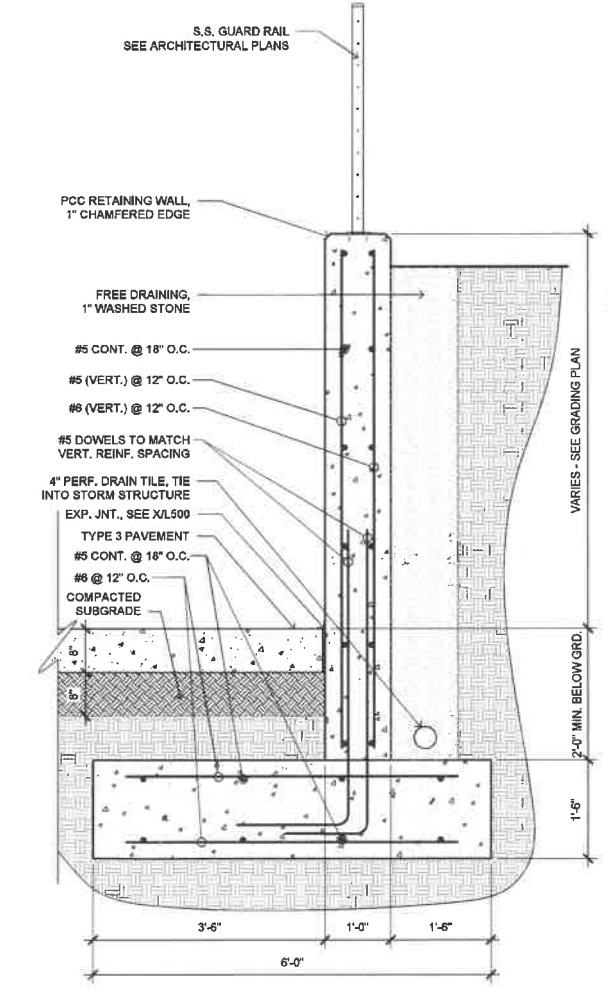


11 L500 PLAN: CURB RAMP - TYP. N.T.S.



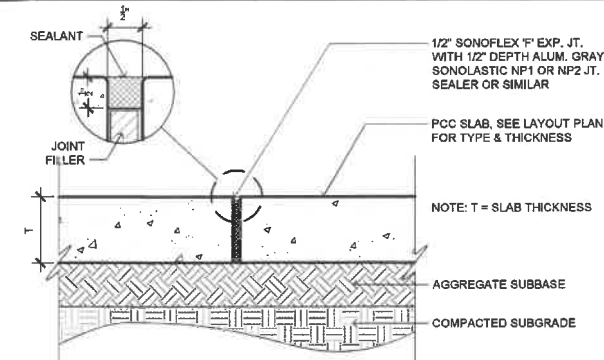
12 L500 SECTION/ELEVATION: ACCESSIBLE STALL SIGN N.T.S.

15 L500 NOT USED N.T.S.

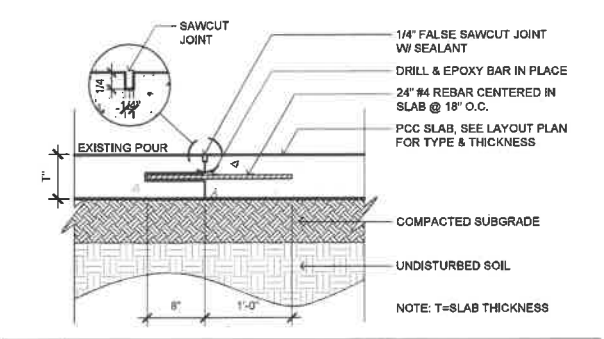


13 L500 SECTION: RETAINING WALL @ EAST PROPERTY LINE N.T.S.

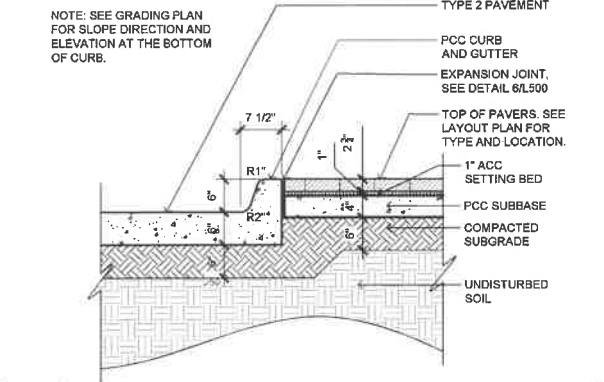
16 L500 NOT USED N.T.S.



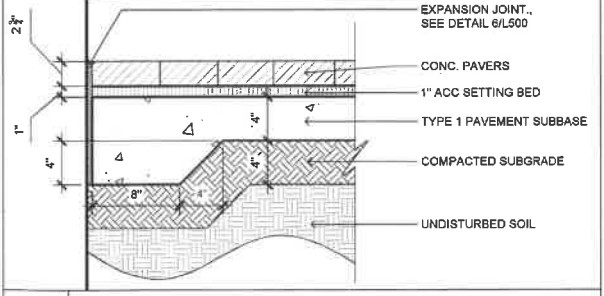
8 L500 SECTION: EXPANSION JOINT N.T.S.



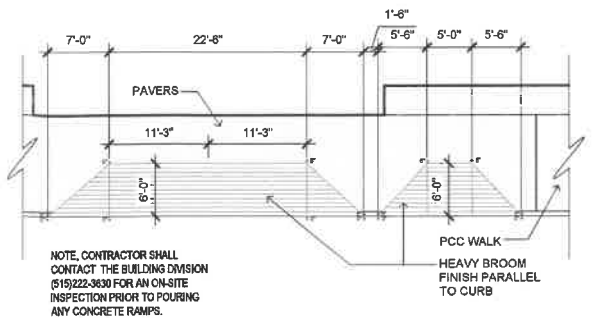
7 L500 SECTION: COLD JOINT N.T.S.



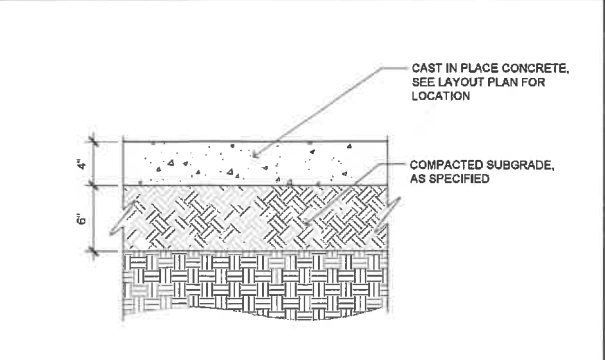
8 L500 SECTION: CONCRETE PAVERS AT CURB N.T.S.



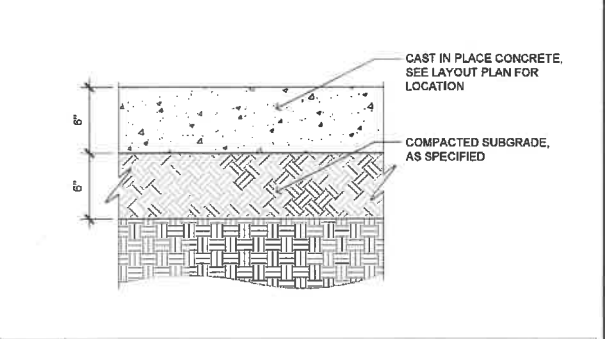
9 L500 SECTION: CONCRETE PAVERS AT BUILDING FACE N.T.S.



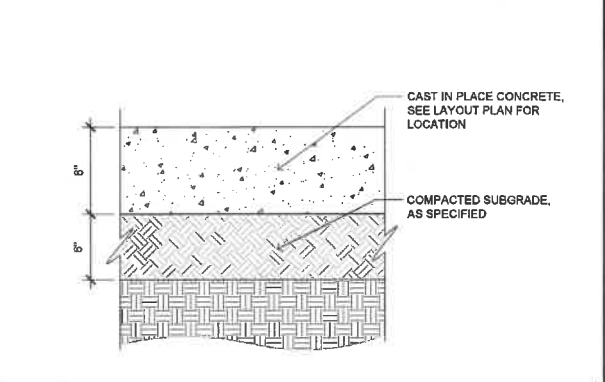
10 L500 PLAN: CURB RAMPS AT ENTRANCE DROP-OFF N.T.S.



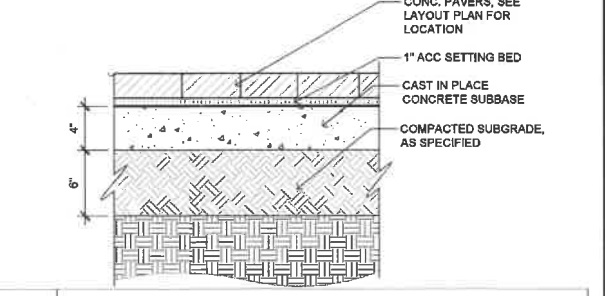
1 L500 SECTION: TYPE 1 PAVING N.T.S.



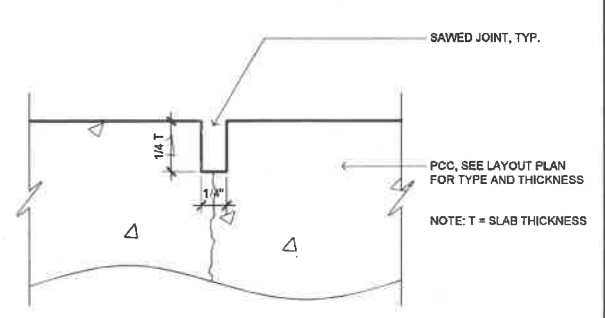
2 L500 SECTION: TYPE 2 PAVING N.T.S.



3 L500 SECTION: TYPE 3 PAVING N.T.S.



4 L500 SECTION: TYPE 4 PAVING N.T.S.



5 L500 SECTION: CONTROL JOINT N.T.S.

REVISION SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	3/16/2018	MAJOR MODIFICATION
2	4/12/2018	MAJOR MODIFICATION RESUBMITTAL
3	5/4/2018	MAJOR MODIFICATION RESUBMITTAL

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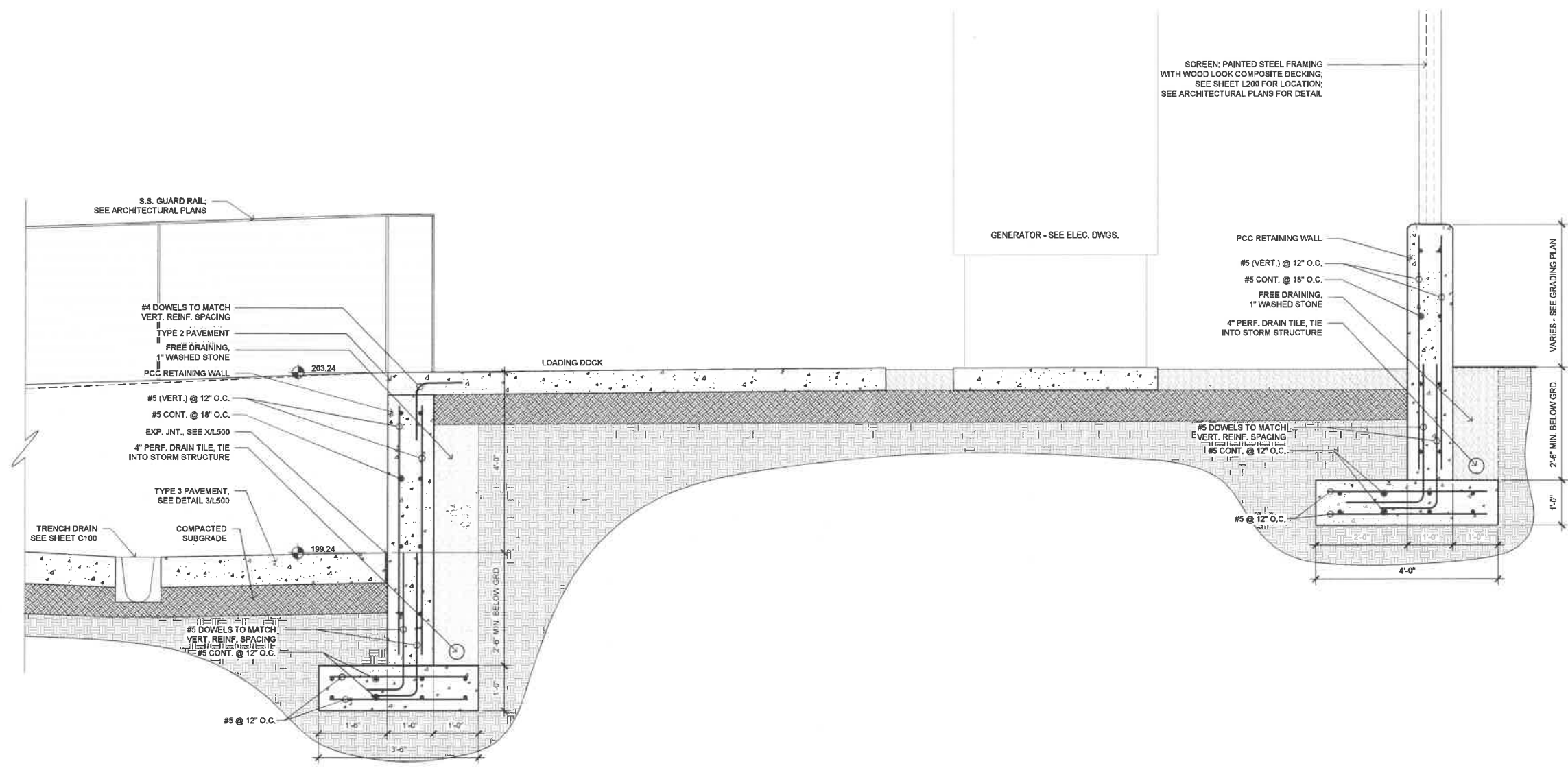
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SITE DETAILS

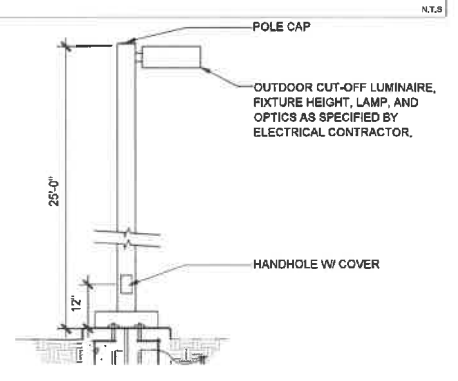
CONFLUENCE PROJECT NO: 17238

L500

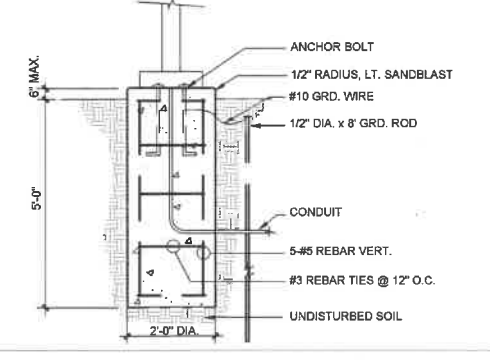
WOLFE SURGERY CENTER
 WEST DES MOINES, IOWA



1 L501 SECTION: LOADING DOCK N.T.S.



2 L501 SECTION/ELEVATION: LIGHT POLE N.T.S.



3 L501 SECTION: LIGHT POLE BASE N.T.S.

6 L501 NOT USED N.T.S.

6 L501 NOT USED N.T.S.

4 L501 NOT USED N.T.S.

9 L501 NOT USED N.T.S.

7 L501 NOT USED N.T.S.

5 L501 NOT USED N.T.S.

REVISION SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	3/15/2016	MAJOR MODIFICATION
2	4/12/2016	MAJOR MODIFICATION RESUBMITTAL
3	5/4/2016	MAJOR MODIFICATION RESUBMITTAL

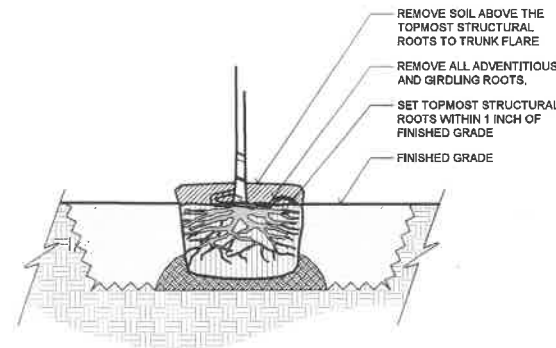
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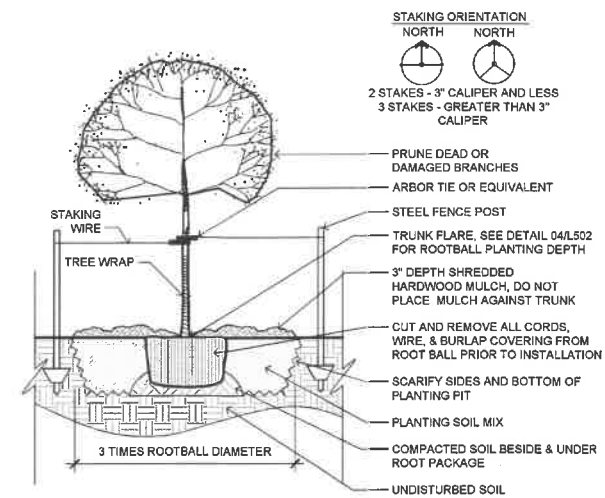
SITE DETAILS

CONFLUENCE PROJECT NO: 17238

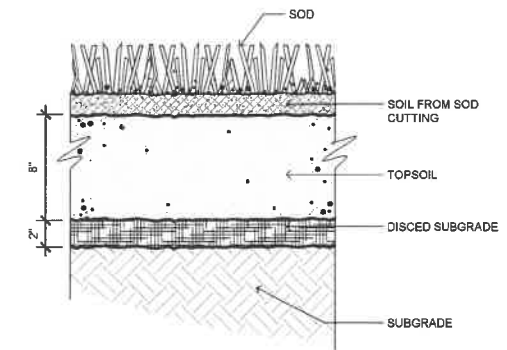
L501



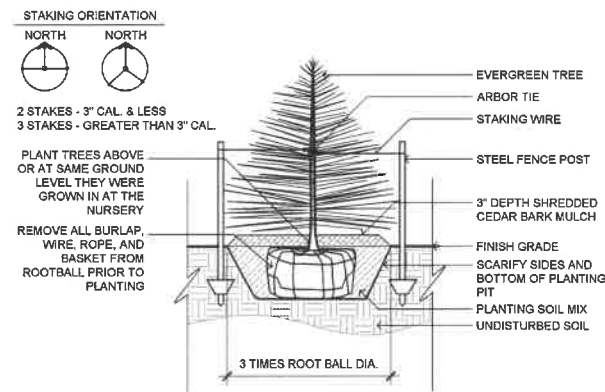
4 L502 SECTION - TREE ROOT BALL (TYP) N.T.S.



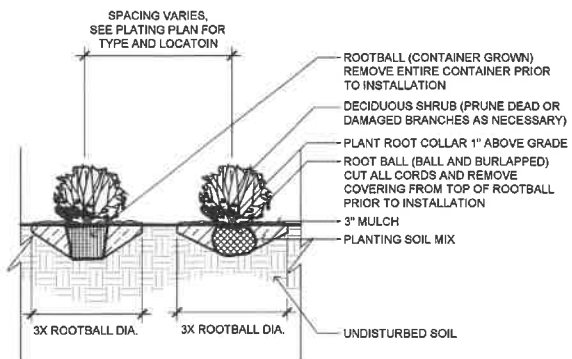
1 L502 SECTION - TREE PLANTING (TYP) N.T.S.



5 L502 SECTION - SOD (TYP) N.T.S.



2 L502 SECTION - EVERGREEN TREE PLANTING (TYP) N.T.S.



3 L502 SECTION - SHRUB PLANTING (TYP) N.T.S.

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
1	3/15/2018	MAJOR MODIFICATION
2	4/12/2018	MAJOR MODIFICATION RESUBMITTAL
3	5/4/2018	MAJOR MODIFICATION RESUBMITTAL

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