

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: November 5, 2018

Item: Cedar Ridge Village, 8950 Coachlight Dr. – Approval of a Site Plan to allow construction of a 2 story, 78,506 sf continuum care facility – Scenic Development, LLC – SP-004015-2018

Requested Action: Recommend Approval of a Site Plan

Case Advisor: J. Bradley Munford 

Applicant's Request: The applicant, Scenic Development, LLC, represented by Keith Weggen of Civil Design Advantage, and with permission of the owner, Chayse Holdings LLC is requesting approval of a site plan to allow construction of a 2 story, 78,506 sf continuum care facility, on approximately 8.6 acres located at 8950 Coachlight Dr. The proposed facility will have 116 units and be comprised of an independent living, assisted living and skilled nursing wings.

History: The area was annexed into the city in 2007 as a part of the PCarroll Annexation. On June 25th, 2018 the City Council approved a rezoning to establish a PUD that allowed the future development of single family detached homes, a Senior Continuum Care facility, an apartment building for individuals with Special Needs, and future townhomes. On September 17, 2018 the City Council approved the Preliminary Plat for this area. And on October 1, 2018 the City Council approved the Final Plat.

City Council Subcommittee: This item was presented to the Development and Planning City Council Subcommittee on September 4, 2018. The Subcommittee expressed support of the development.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff notes the following:

- ***Parkland Dedication Requirements:*** Calculation for parkland dedication is based on the number of residences within a development. During the approval of the Final Plat the exact number residences for this property (Lot 39) was unknown. A condition of approval was added to the final plat that stated that a Parkland Dedication Agreement shall be executed prior to site plan approval for Lot 39. The applicant has verbally agreed to the parkland dedication and has provided on site amenities that fulfill the parkland requirement on the proposed plan. However, because the applicant is based outside of the metro, the signed document is in route. The applicant is requesting that the City Council approve the site plan with a condition that the signed Parkland Dedication Agreement shall be submitted to the City prior to building permits being issued for the site. Staff is comfortable with the request.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Site Plan Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.

3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendations and Conditions of Approval: Based upon the preceding review and a finding of consistency with the Comprehensive Plan, staff recommends that the Plan and Zoning Commission approve a resolution that recommends the City Council approval of a site plan to allow for construction of a 2 story, 78,506 sf continuum care facility, subject to the applicant meeting all City Code requirements and the following:

1. Prior to the issuance of building permits, the applicant shall provide an executed copy of the Parkland Dedication Agreement for the on-site amenities that fulfill the parkland requirement.
2. Prior to the issuance of building permits, the applicant shall provide product information for an opaque trash enclosure gate for staff review and approval.
3. Prior to the initiation of any site activities, the applicant providing final Site Plan drawings that are acceptable to the City

Applicant:

Jordan Anderson
 Scenic Development, LLC
 11827 West 112th Street, Suite 103
 Overland Park, KS 66210
Jordan.Anderson@Scenic-Dev.com

Applicant's Representatives:

Keith Weggen
 Civil Design Advantage
 3405 SE Crossroads Dr. Suite G
 Grimes, IA 50111
KeithW@CDA-Eng.com

Attachments:

- | | | |
|--------------|---|---------------------------------------|
| Attachment A | - | Plan and Zoning Commission Resolution |
| Exhibit A | - | Conditions of Approval |
| Attachment B | - | Location Map |
| Attachment C | - | Site Plan |
| Attachment D | - | Building Architecture |

RESOLUTION NO. -18-072

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE THE CEDAR RIDGE VILLAGE SITE PLAN (SP-004015-2018) FOR THE PURPOSE OF CONSTRUCTION OF A 2 STORY, 78,506 SF CONTINUUM CARE FACILITY.

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Scenic Development, LLC, has requested approval for a Site Plan (SP-004015-2018) for approximately 8.6 acres located at 8950 Coachlight Dr, for the purpose of constructing a 2 story, 78,506 sf continuum care facility;

WHEREAS, studies and investigations were made and staff reports and recommendations were submitted which are made a part of this record and herein incorporated by reference;

WHEREAS, on November 5, 2018 this Commission held a duly-noticed meeting to consider the application for Cedar Ridge Village Site Plan (SP-004015-2018) to allow for the construction of a 2 story, 78,506 sf continuum care facility;

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report or as amended orally at the Plan and Zoning Commission meeting are adopted.

SECTION 2. The Site Plan (SP-004015-2018) to allow construction of a 2 story, 78,506 sf continuum care facility for that site located at 8950 Coachlight Dr. is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report including conditions added at the meeting and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on November 5, 2018.

Craig Erickson, Chair
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on November 5, 2018, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

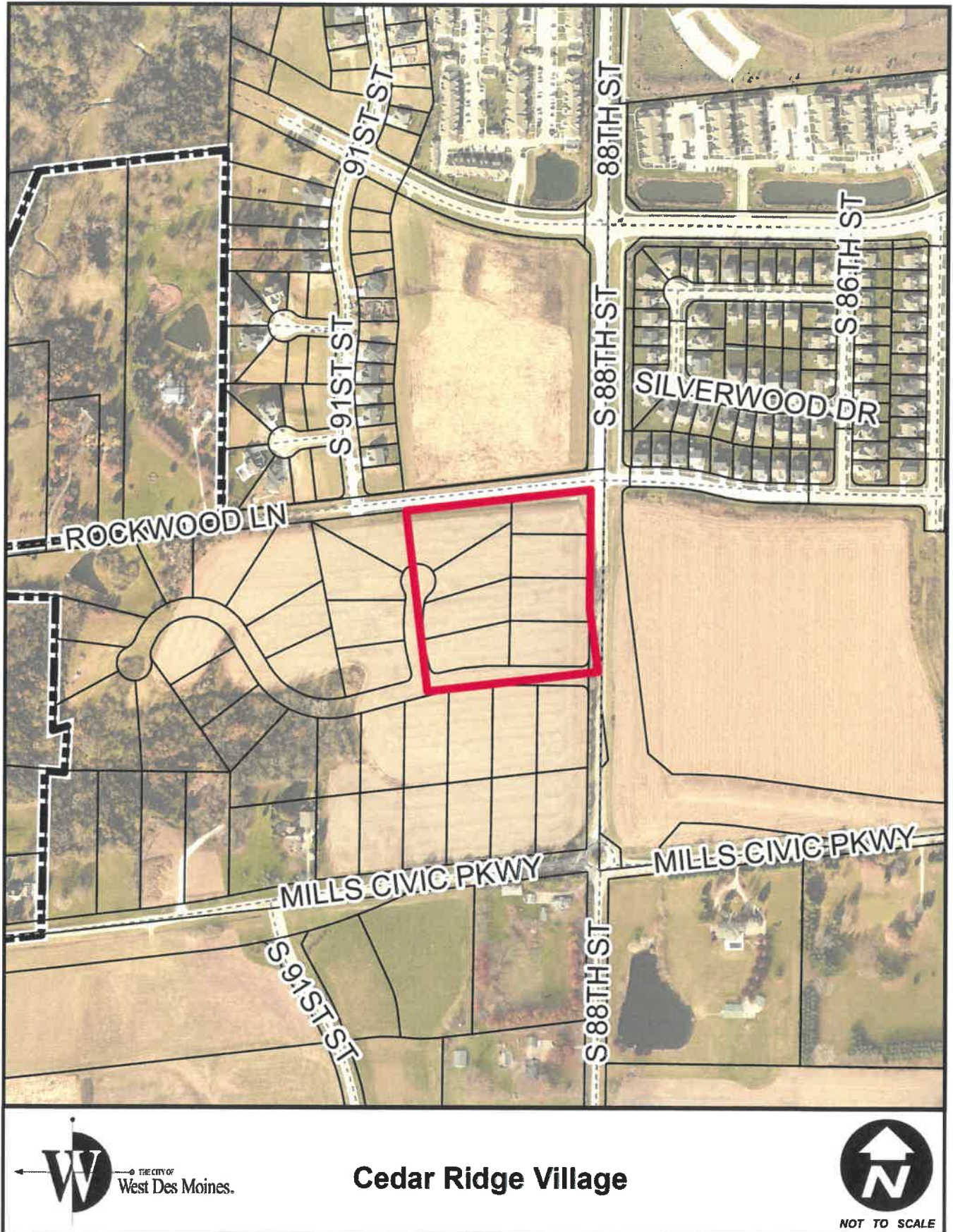
ATTEST:

Recording Secretary

EXHIBIT A

EXHIBIT A CONDITIONS OF APPROVAL

1. Prior to the issuance of building permits, the applicant shall provide an executed copy of the Parkland Dedication Agreement for the on-site amenities that fulfill the parkland requirement.
2. Prior to the issuance of building permits, the applicant shall provide product information for an opaque trash enclosure gate for staff review and approval.
3. Prior to the initiation of any site activities, the applicant providing final Site Plan drawings that are acceptable to the City.



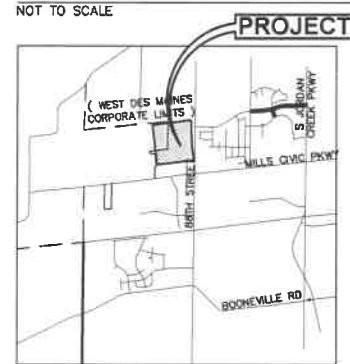
Cedar Ridge Village



NOT TO SCALE

SITE PLAN FOR: CEDAR RIDGE VILLAGE WEST DES MOINES, IA

VICINITY MAP



APPLICANT:

WEST DES MOINES CCRC, LLC
CONTACT: JORDAN ANDERSON
11827 W. 112TH STREET, SUITE 103
OVERLAND PARK, KS 66210
PHONE: (913) 599-5705

OWNER:

CHAYSE HOLDINGS, LLC
CONTACT: TOBY TORSTENSON
9550 HICKMAN ROAD
CLIVE, IA 50325
PH. (515) 244-3111

ENGINEER/ SURVEYOR:

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: KETH WEGGEN
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

POTABLE WATER:

WEST DES MOINES WATER WORKS
1505 RAILROAD AVENUE
WEST DES MOINES, IA 50265
CONTACT: WILLIAM MABUCE, PE, PO
PH: (515) 222-3510

SANITARY SEWER:

DES MOINES WRA
3000 VANDALIA ROAD
DES MOINES, IA 50317
CONTACT: JED BREWER
PH: (515) 283-4920

ELECTRICAL POWER:

MIDAMERICAN ENERGY
666 GRAND AVE
DES MOINES, IA 50309
CONTACT: DAWN MARTINO
PH: (515)252-6597

STORM SEWER:

CITY OF WEST DES MOINES
4200 MILLS CIVIC PARKWAY
WEST DES MOINES, IA 50265
CONTACT: BRIAN HEMESATH
PH: (515)222-3620

TELEPHONE:

CENTURY LINK
925 HIGH STREET #959
DES MOINES, IA 50309
CONTACT: TOM STURMER
PH: (303)664-8090

GAS:

MIDAMERICAN ENERGY
666 GRAND AVE
DES MOINES, IA 50309
CONTACT: JIM HOWARD
PH: (515)242-3914

BUILDING DEPARTMENT:

4200 MILLS CIVIC PARKWAY
SUITE D PO BOX 65320
WEST DES MOINES, IA 50265
CONTACT: ROD VAN GENDEREN
PH: (515)222-3630

LEGAL DESCRIPTION

LOT 39 OF CEDAR RIDGE PLAT 2, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA AND CONTAINING 375,045 SF.

FUTURE ACQUISITION 3,390 SF

TOTAL AFTER ACQUISITION 378,435 SF

COMPREHENSIVE PLAN LAND USE

EXISTING: OFFICE
PROPOSED: HIGH DENSITY RESIDENTIAL

ZONING

EXISTING: UNZONED
PROPOSED: CEDAR RIDGE PUD-HIGH DENSITY RESIDENTIAL

EXISTING/ PROPOSED USE

EXISTING: UNDEVELOPED
PROPOSED: CONGREGATE CARE FACILITY/MULTI-FAMILY DWELLING

DEVELOPMENT SUMMARY

AREA LOT: 8.61 AC (375,045 SF)

SETBACKS
FRONT: 35'
SIDE: E: 35' AND 15' PARKING BUFFER
W: 35'
REAR: 35'

OPEN SPACE CALCULATION
REQUIRED: 93,754 SF (25%)
PROVIDED: 180,718 SF (48%)

BUILDING BUILDING #1: 78,506 SF

NUMBER OF EMPLOYEES: 16 EMPLOYEES

IMPERVIOUS AREA
BUILDING: 78,506 SF (21%)
PARKING: 17,041 SF (4%)
DRIVES: 81,057 SF (22%)
SIDEWALK: 16,685 SF (5%)
TOTAL: 193,289 SF (52%)

DATE OF SURVEY

MAY 3, 2018

BENCHMARKS

- SET BENCHMARK: BURY BOLT ON HYDRANT, SECOND HYDRANT SOUTH OF PRIVATE DRIVE AT THE END OF ROCKWOOD LANE AND S 91ST STREET ELEVATION=221.81
- WEST DES MOINES BENCHMARK #87: 3960 ± FEET WEST OF INTERSECTION OF SOUTH 88TH STREET AND 335TH STREET, 3 FEET NORTH OF EAST/WEST FENCE, 10 FEET EAST OF NORTH/SOUTH FENCE, ON 335TH STREET ACROSS FROM HOUSE #3307 AND #3309 ELEVATION=167.88
- WEST DES MOINES BENCHMARK #35: INTERSECTION OF MILLS CIVIC PARKWAY AND SOUTH 88TH ST. NORTHEAST CORNER OF INTERSECTION, 206 FEET EAST OF CENTERLINE OF SOUTH 88TH STREET, 49 FEET NORTH OF THE CENTERLINE OF MILLS CIVIC PARKWAY, 2 FEET SOUTH OF THE FENCE LINE ELEVATION=219.04

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = JULY 2018
ANTICIPATED FINISH DATE = DECEMBER 2018

RESIDENTIAL UNIT SUMMARY

INDEPENDENT LIVING: 46 UNITS
ASSISTED LIVING: 34 UNITS
SKILLED NURSING: 36 UNITS (40 BEDS)
SKILLED NURSING (FUTURE): 13 UNITS
TOTAL: 129 UNITS

SUBMITTALS

SUBMITTAL #1: 08/02/2018
SUBMITTAL #2: 09/06/2018
SUBMITTAL #3: 10/01/2018
SUBMITTAL #4: 10/18/2018
SUBMITTAL #5: 10/31/2018

INDEX OF SHEETS

NO.	DESCRIPTION
C0.0	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY/ DEMOLITION PLAN
C2.1	DIMENSION REFERENCE PLAN
C2.2-C2.5	DIMENSION PLAN
C3.1	GRADING REFERENCE PLAN
C3.2-C3.5	GRADING PLAN
C3.6	EROSION AND SEDIMENT CONTROL PLAN
C4.1	UTILITY REFERENCE PLAN
C4.2-C4.5	UTILITY PLAN
C4.6	EXISTING DMWW FEEDER MAIN PLAN AND PROFILE
C5.1-C5.2	DETAILS
L1.1	LANDSCAPE REFERENCE PLAN
L1.2-L1.5	LANDSCAPE PLAN

PARKING SUMMARY

REQUIREMENTS
CONGREGATE CARE REQUIRES :

1 SPACE/4 BEDS AND 1 SPACE/2 EMPLOYEES MAX SHIFT
2 SPACES/1 AND 2 BEDROOM UNITS

PARKING UNIT SUMMARY
CONGREGATE CARE UNITS:

70 PROPOSED UNITS
13 FUTURE UNITS
14 NURSED PROPOSED
3 NURSES FUTURE
46 PROPOSED UNITS

EMPLOYEES (1/5 CONGREGATE CARE UNIT):

MULTI-FAMILY UNITS:

PARKING REQUIRED

STANDARD: 112 SPACES
FUTURE: 6 SPACES
ACCESSIBLE: 5 SPACES
TOTAL: 123 SPACES

PARKING PROVIDED

STANDARD: 91 SPACES
GARAGE: 36 SPACES
ACCESSIBLE: 5 SPACES
TOTAL: 132 SPACES



1-800-292-8989
www.iowaonecall.com

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 1805.306

GENERAL LEGEND

PROPOSED	EXISTING
SECTION LINE	SANITARY MANHOLE
CENTER LINE	WATER VALVE BOX
PERMANENT EASEMENT	FIRE HYDRANT
TYPE SW-501 STORM INTAKE	WATER CURB STOP
TYPE SW-503 STORM INTAKE	WELL
TYPE SW-505 STORM INTAKE	STORM SEWER MANHOLE
TYPE SW-506 STORM INTAKE	STORM SEWER SINGLE INTAKE
TYPE SW-513 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-401 STORM MANHOLE	FLARED END SECTION
TYPE SW-402 STORM MANHOLE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-301 SANITARY MANHOLE	DECIDUOUS TREE
STORM/SANITARY CLEANOUT	CONIFEROUS TREE
WATER VALVE	DECIDUOUS SHRUB
FIRE HYDRANT ASSEMBLY	CONIFEROUS SHRUB
SIGN	ELECTRIC POWER POLE
DETECTABLE WARNING PANEL	GUY ANCHOR
SANITARY SEWER WITH SIZE	STREET LIGHT
SANITARY SERVICE	POWER POLE W/ TRANSFORMER
STORM SEWER	UTILITY POLE W/ LIGHT
STORM SERVICE	ELECTRIC BOX
WATERMAIN WITH SIZE	ELECTRIC TRANSFORMER
WATER SERVICE	ELECTRIC MANHOLE OR VAULT
SAWCUT (FULL DEPTH)	TRAFFIC SIGN
SILT FENCE	TELEPHONE JUNCTION BOX
	TELEPHONE MANHOLE/VAULT
	TELEPHONE POLE
	GAS VALVE BOX
	CABLE TV JUNCTION BOX
	CABLE TV MANHOLE/VAULT
	MAIL BOX
	BENCHMARK
	SOIL BORING
	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND POLK COUNTY GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL COUNTY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY

KEITH D. WEGGEN, ASLA DATE: _____

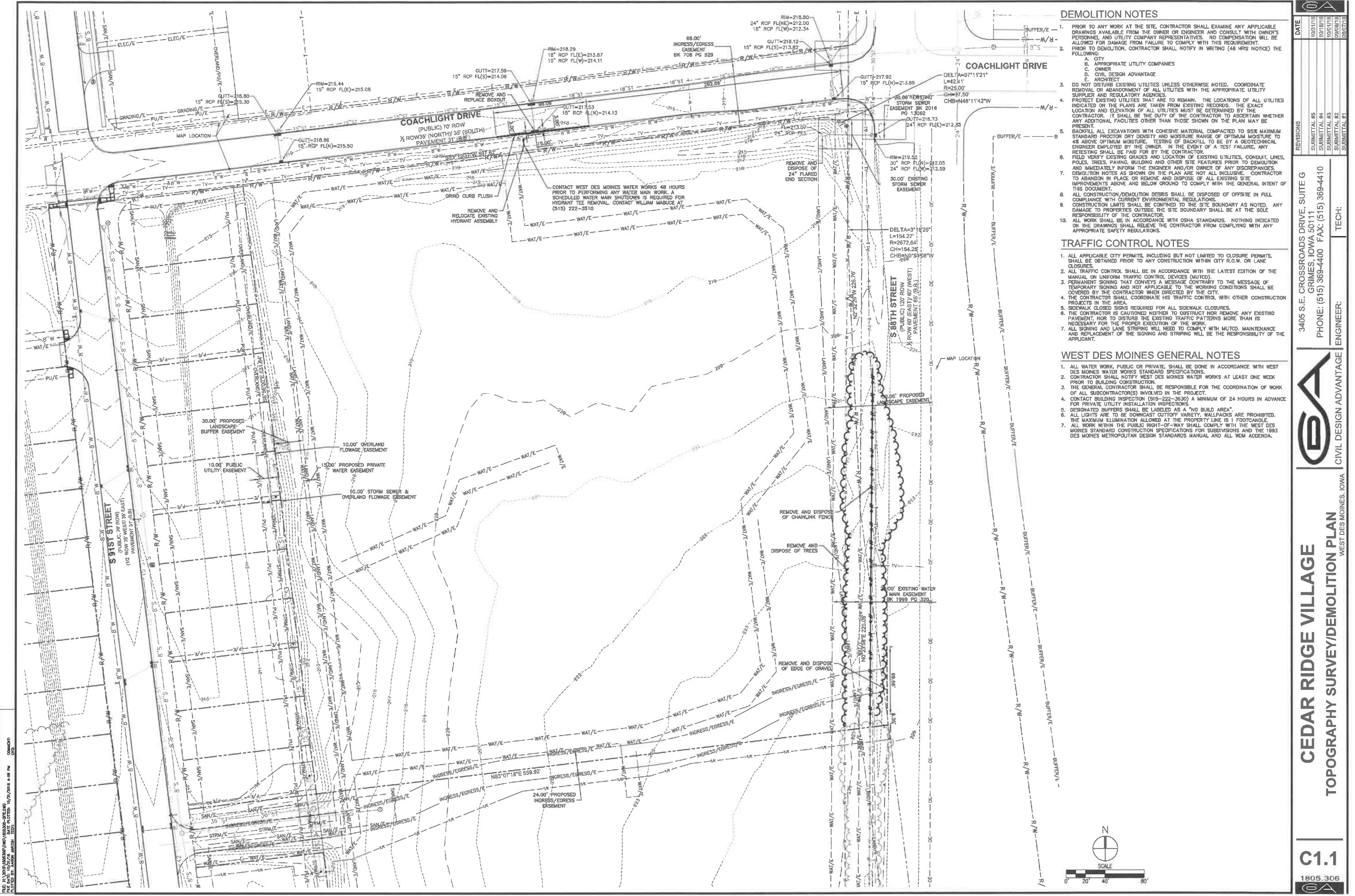
MY LICENSE RENEWAL DATE IS JUNE 30, 2020
PAGES OR SHEETS COVERED BY THIS SEAL:
L1.1-L1.5

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY

RYAN A. HARDISTY, P.E. DATE: _____

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2019
PAGES OR SHEETS COVERED BY THIS SEAL:
C0.0, C1.1, C2.1-2.5, C3.1-C3.6, C4.1-C4.5, C5.1



DEMOLITION NOTES

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - CITY
 - APPROPRIATE UTILITY COMPANIES
 - OWNER
 - CIVIL DESIGN ADVANTAGE ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES. DEMOLITION ITEMS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

TRAFFIC CONTROL NOTES

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT OR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

WEST DES MOINES GENERAL NOTES

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- DESIGNATED BUFFERS SHALL BE LABELED AS A "NO BUILD AREA".
- ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALLPACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOTCANDLE.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE 1993 WEST DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL AND ALL WDM ADDENDA.

DATE	REVISIONS
10/17/18	SUBMITTAL #5
10/18/18	SUBMITTAL #4
10/17/18	SUBMITTAL #3
09/08/18	SUBMITTAL #2
08/07/18	SUBMITTAL #1

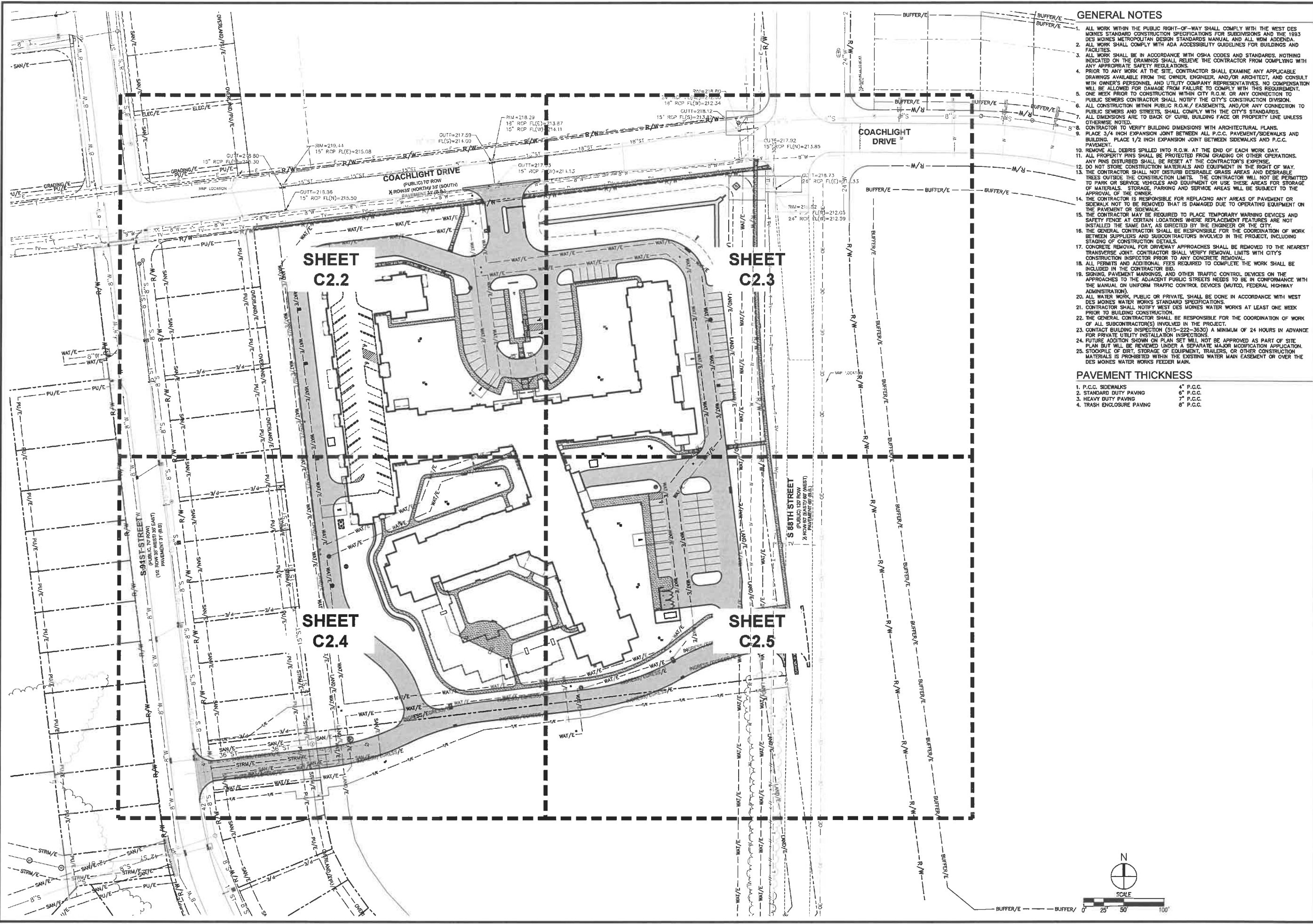
3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 TECH: _____
 ENGINEER: _____



CIVIL DESIGN ADVANTAGE
 WEST DES MOINES, IOWA

**CEDAR RIDGE VILLAGE
 TOPOGRAPHY SURVEY/DEMOLITION PLAN**

FILE IN: V:\DATA\2018\2018\1805306\1805306.dwg
 DATE PLOTTED: 10/29/2018 4:08 PM
 COMMENT: SPS
 PLOTTED BY: ANDREW JANSCH TECH



GENERAL NOTES

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE 1993 DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL AND ALL WDM ADDENDA.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS, NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
7. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
8. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND PAVEMENT. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
9. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
10. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
11. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
12. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
13. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
14. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
16. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
17. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
18. SIGNING, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON THE APPROACHES TO THE ADJACENT PUBLIC STREETS NEEDS TO BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FEDERAL HIGHWAY ADMINISTRATION.
19. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
20. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
21. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
22. CONTACT BUILDING INSPECTION (515-222-3530) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
23. FUTURE ADDITION SHOWN ON PLAN SET WILL NOT BE APPROVED AS PART OF SITE PLAN BUT WILL BE REVIEWED UNDER A SEPARATE MAJOR MODIFICATION APPLICATION.
24. STOCKPILE OF DIRT, STORAGE OF EQUIPMENT, TRAILERS, OR OTHER CONSTRUCTION MATERIALS IS PROHIBITED WITHIN THE EXISTING WATER MAIN EASEMENT OR OVER THE DES MOINES WATER WORKS FEEDER MAIN.

PAVEMENT THICKNESS

- | | |
|---------------------------|-----------|
| 1. P.C.C. SIDEWALKS | 4" P.C.C. |
| 2. STANDARD DUTY PAVING | 6" P.C.C. |
| 3. HEAVY DUTY PAVING | 7" P.C.C. |
| 4. TRASH ENCLOSURE PAVING | 8" P.C.C. |

DATE	REVISIONS
10/31/18	SUBMITTAL #5
10/18/18	SUBMITTAL #4
10/01/18	SUBMITTAL #3
09/06/18	SUBMITTAL #2
08/07/18	SUBMITTAL #1

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 TECH: ENGINEER



WEST DES MOINES, IOWA

**CEDAR RIDGE VILLAGE
 DIMENSION REFERENCE PLAN**

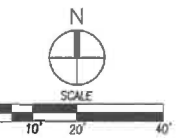
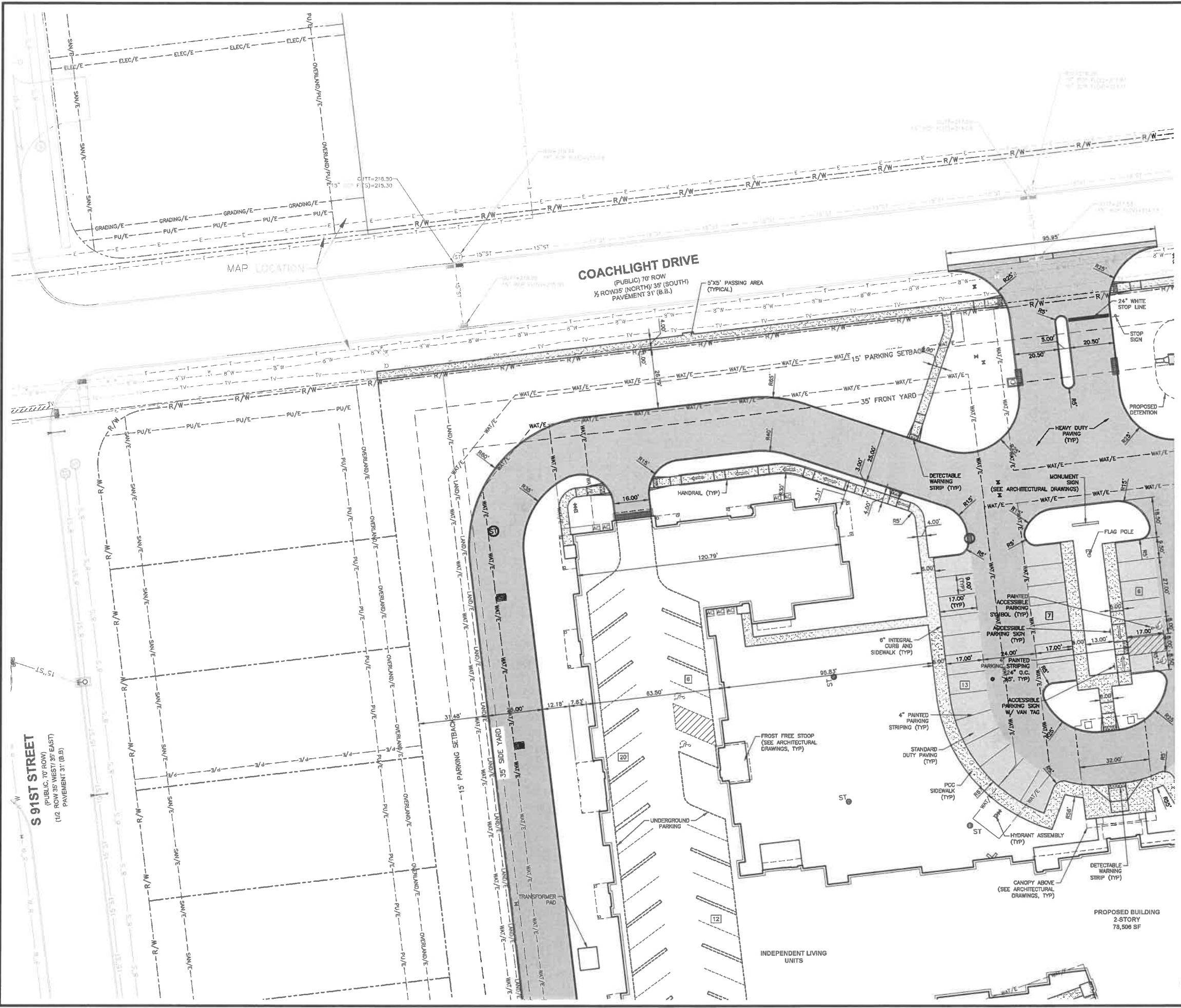
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 PLOT BY: AMCC ANDREW

S 91ST STREET
 (PUBLIC 70' ROW)
 (1/2 ROW 35' WEST / 35' EAST)
 PAVEMENT 31' (B.B.)

MAP LOCATION

COACHLIGHT DRIVE
 (PUBLIC 70' ROW)
 1/2 ROW 35' (NORTH) 35' (SOUTH)
 PAVEMENT 31' (B.B.)



REVISIONS	DATE
SUBMITTAL #5	10/21/10
SUBMITTAL #4	10/15/10
SUBMITTAL #3	10/07/10
SUBMITTAL #2	09/09/10
SUBMITTAL #1	08/07/10

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 TECH:



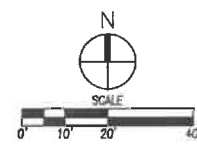
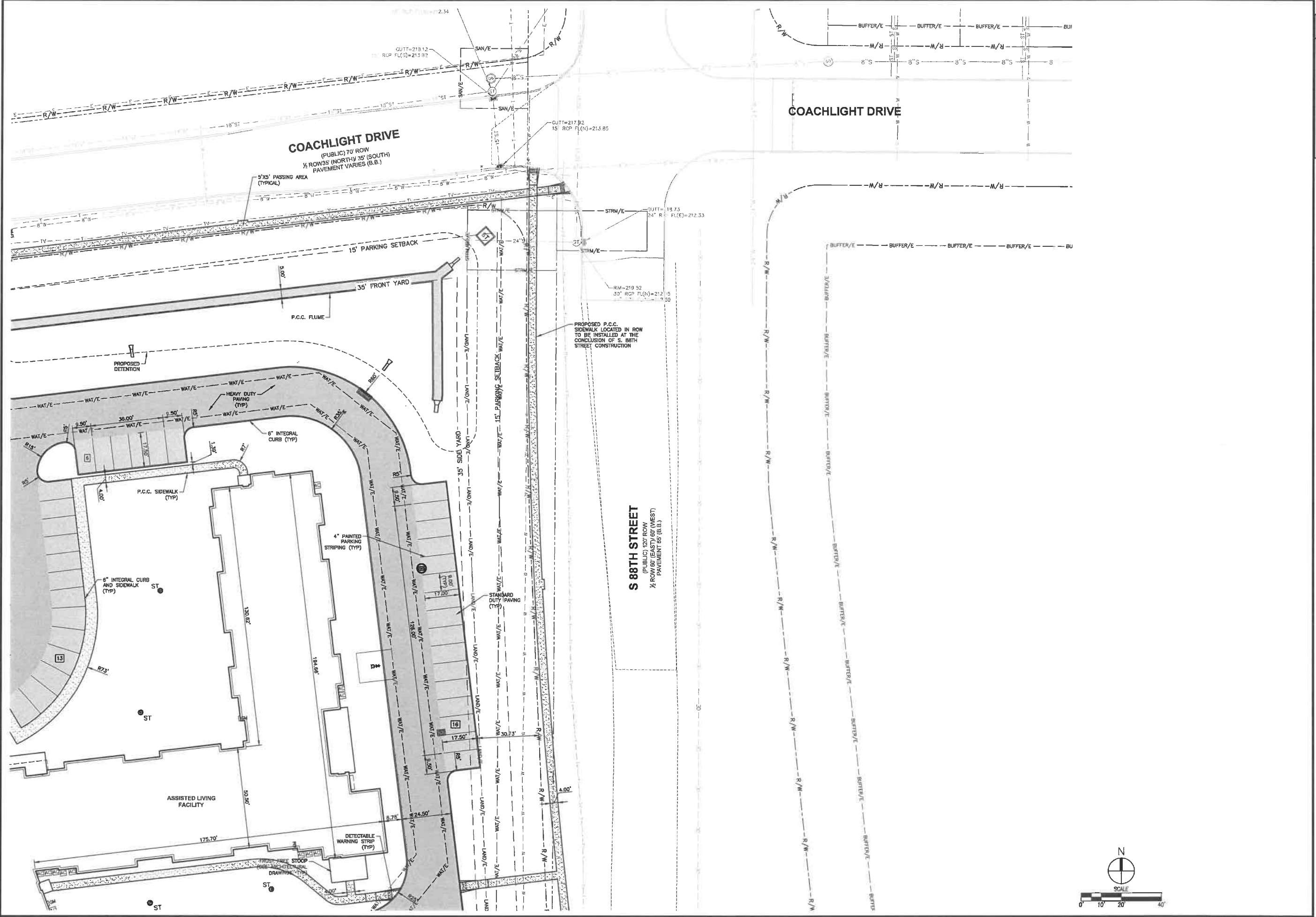
CIVIL DESIGN ADVANTAGE ENGINEER
 WEST DES MOINES, IOWA

CEDAR RIDGE VILLAGE DIMENSION PLAN

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 PLOTTED BY: JACOB JACOBSON

COMMENTS:
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DATE	10/21/16
REVISIONS	
SUBMITTAL #5	
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SUBMITTAL #3	
SUBMITTAL #2	
SUBMITTAL #1	

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 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

CIVIL DESIGN ADVANTAGE
 WEST DES MOINES, IOWA

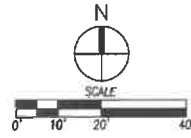
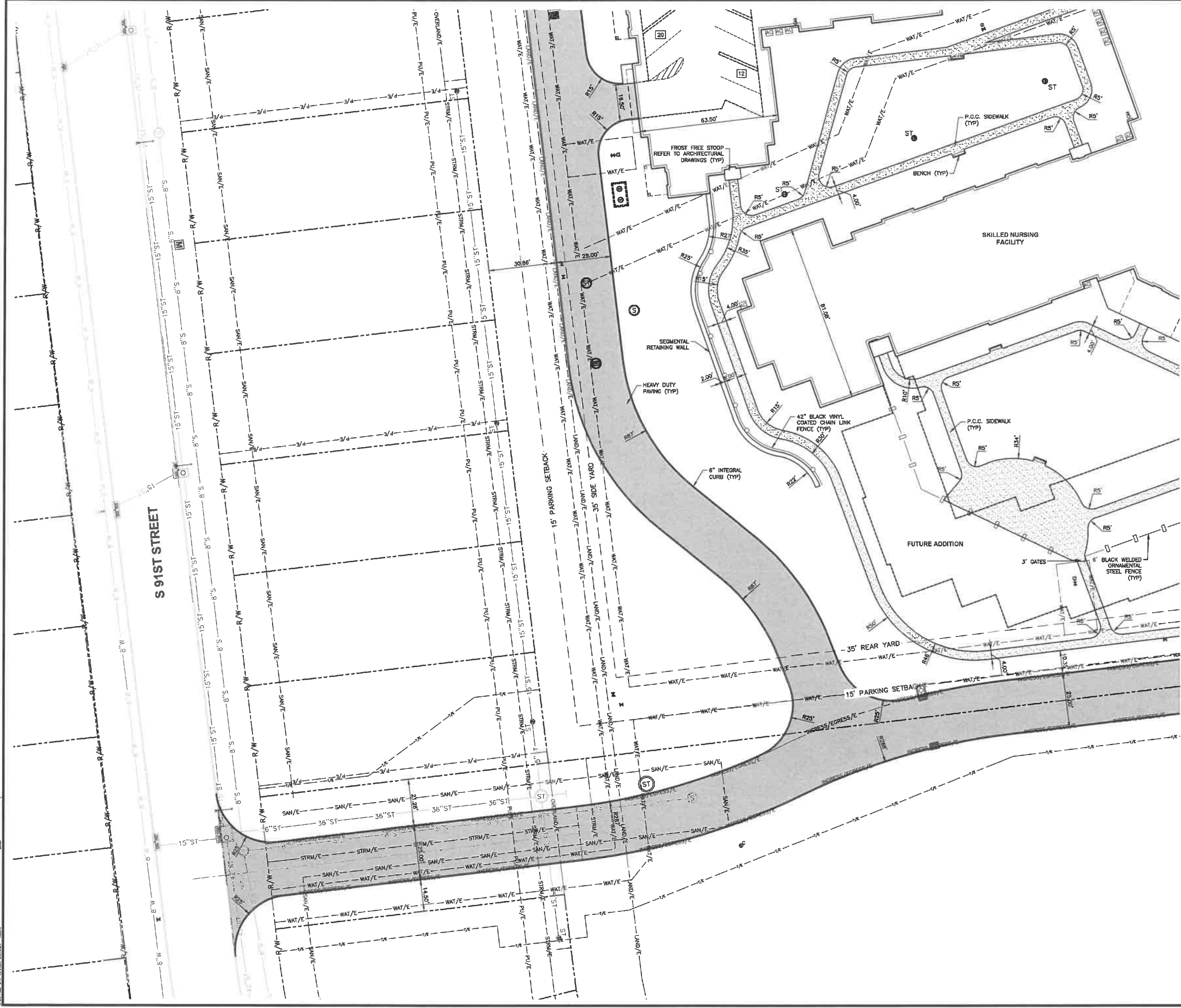
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ENGINEER:

CEDAR RIDGE VILLAGE
DIMENSION PLAN

C2.3
 1805.306

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CEDAR RIDGE VILLAGE
DIMENSION PLAN

WEST DES MOINES, IOWA



CIVIL DESIGN ADVANTAGE ENGINEER

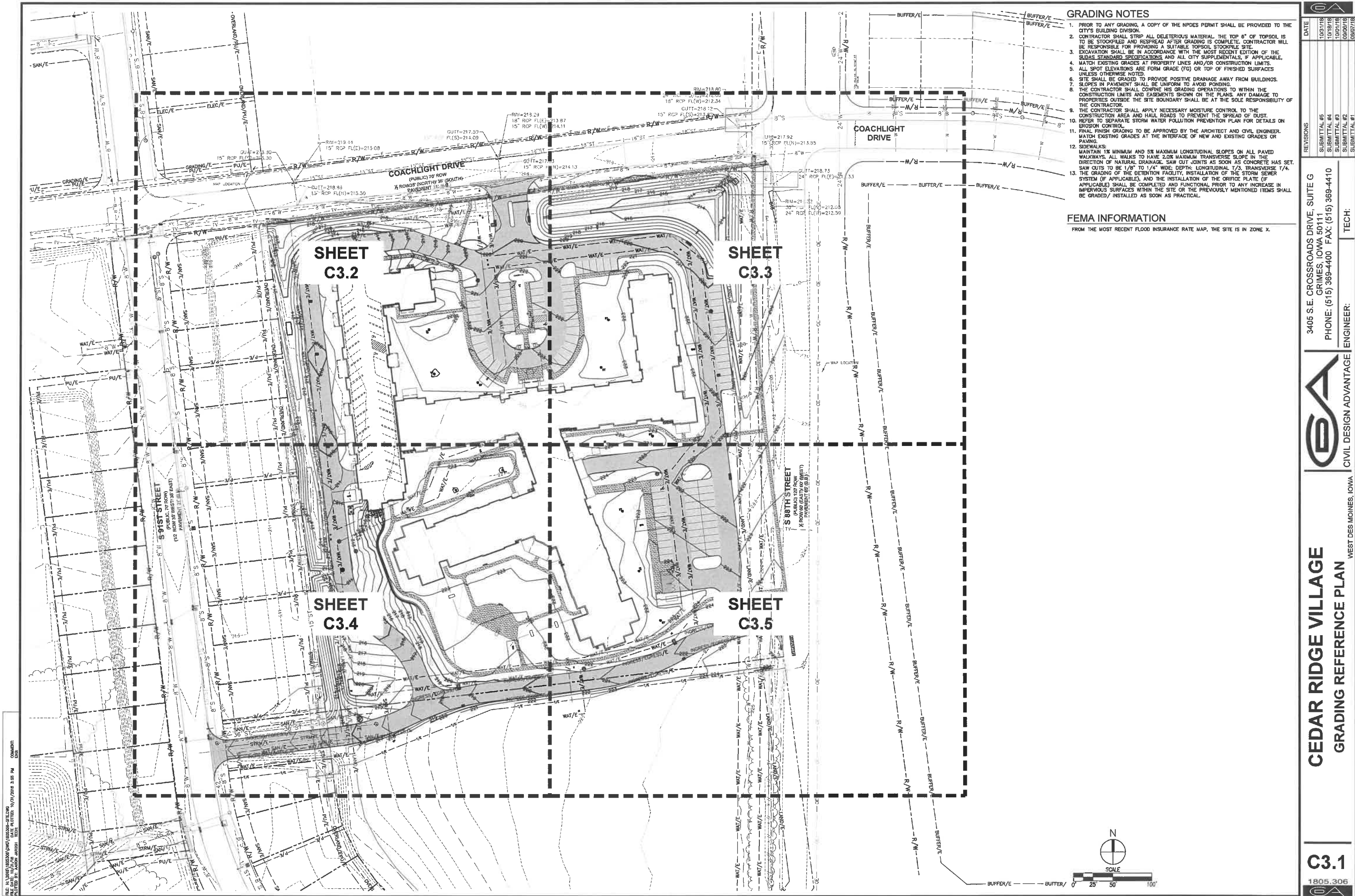
3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH:

REVISIONS	DATE
SUBMITTAL #6	10/21/10
SUBMITTAL #4	10/18/10
SUBMITTAL #3	10/01/10
SUBMITTAL #2	09/09/10
SUBMITTAL #1	08/02/10

C2.4

1805.306



GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HALL ROADS TO PREVENT THE SPREAD OF DUST. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
10. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
11. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE. DEPTH: LONGITUDINAL 1/4", TRANSVERSE 1/4".
12. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.

FEMA INFORMATION

FROM THE MOST RECENT FLOOD INSURANCE RATE MAP, THE SITE IS IN ZONE X.

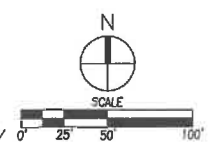
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SUBMITTAL #4	10/07/18
SUBMITTAL #3	10/07/18
SUBMITTAL #2	09/26/18
SUBMITTAL #1	09/07/18

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

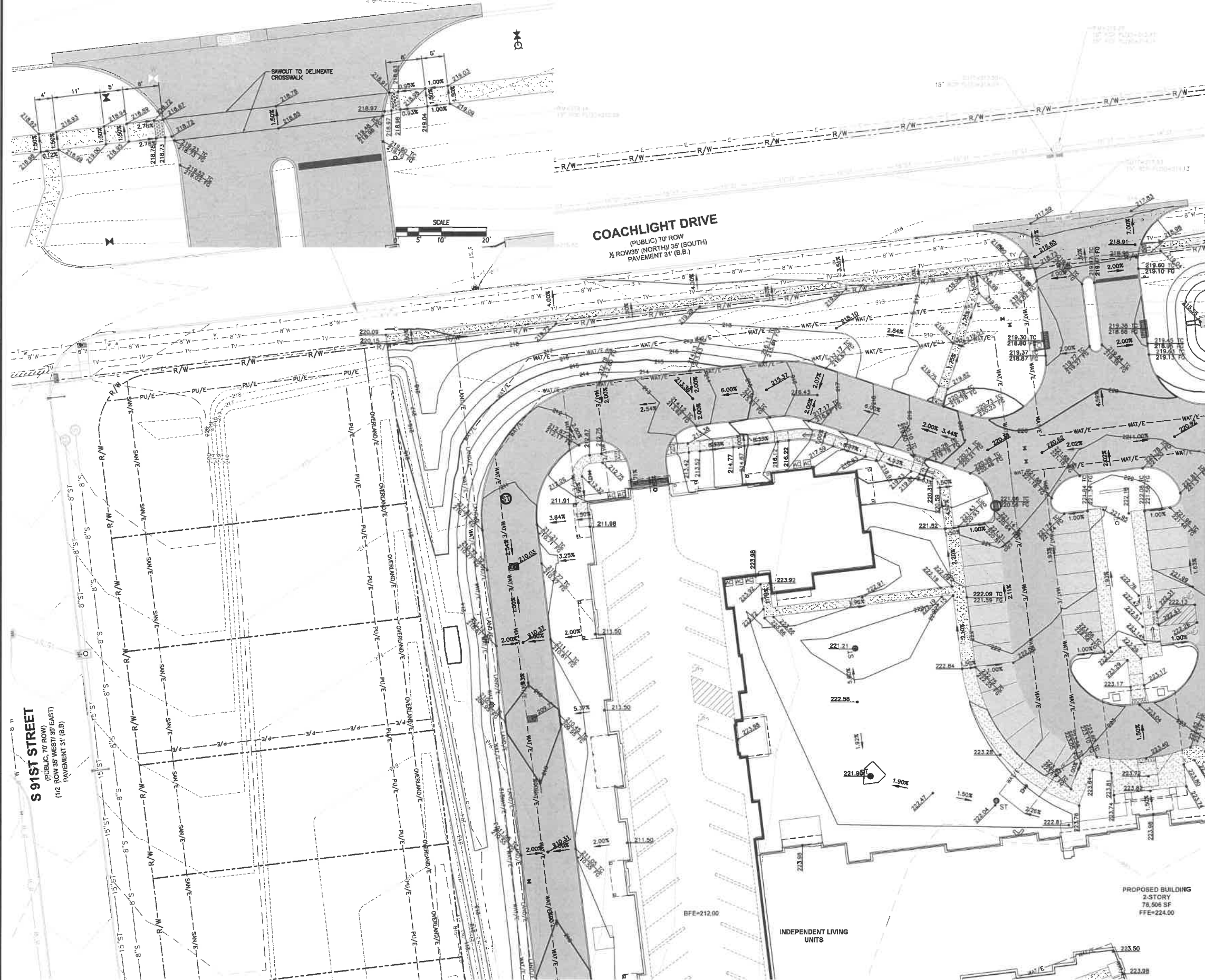


**CEDAR RIDGE VILLAGE
 GRADING REFERENCE PLAN**

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 PLOTTED BY: AMAN JOSHI, TECH



PEDESTRIAN ACCESSIBLE RAMPS ENLARGEMENT



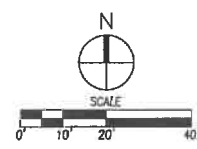
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 COMMENT: 018
 PLOTTED BY: JACOB JACOBSON, TECH

S 91ST STREET
 (PUBLIC 70' ROW)
 (1/2 ROW 35' WEST 35' EAST)
 PAVEMENT 31' (B.B.)

COACHLIGHT DRIVE
 (PUBLIC) 70' ROW
 1/2 ROWS (NORTH) 35' (SOUTH)
 PAVEMENT 31' (B.B.)

PROPOSED BUILDING
 2-STORY
 78,508 SF
 FFE=224.00

INDEPENDENT LIVING UNITS



REVISIONS	DATE
SUBMITTAL #5	10/31/18
SUBMITTAL #4	10/18/18
SUBMITTAL #3	10/07/18
SUBMITTAL #2	09/06/18
SUBMITTAL #1	08/07/18

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410



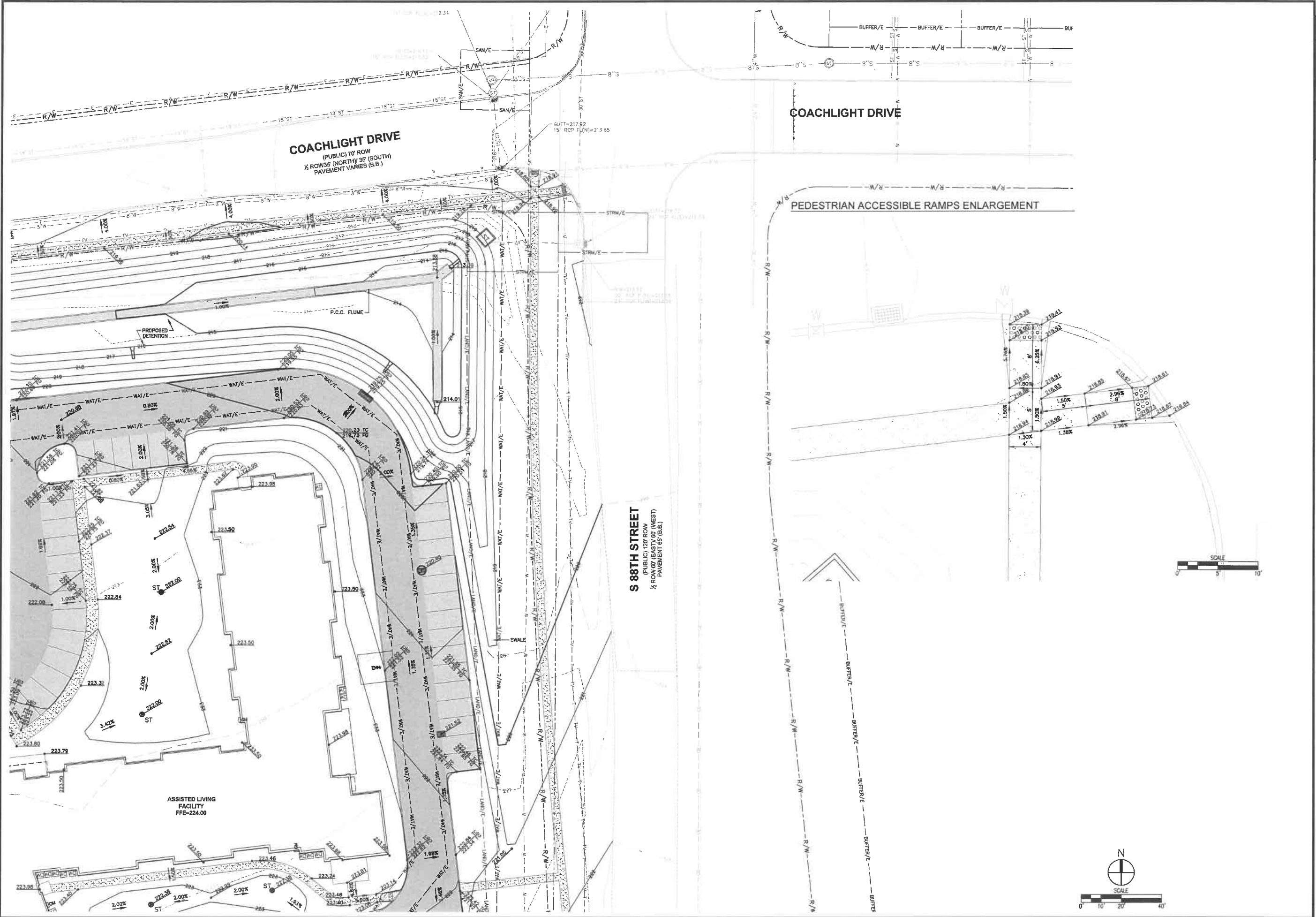
WEST DES MOINES, IOWA
 ENGINEER:

CEDAR RIDGE VILLAGE
GRADING PLAN

C3.2
 1805.306

TECH:

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 COMMENT: DWS
 PLOTTED BY: KAREN JANSSEN, TECH



REVISIONS	DATE
SUBMITTAL #5	10/21/18
SUBMITTAL #4	10/18/18
SUBMITTAL #3	10/01/18
SUBMITTAL #2	09/26/18
SUBMITTAL #1	09/27/18

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 PHONE: (515) 369-4400 FAX: (515) 369-4410

EA
 CIVIL DESIGN ADVANTAGE ENGINEER
 WEST DES MOINES, IOWA

CEDAR RIDGE VILLAGE
GRADING PLAN

C3.3
 1805.306

TECH:

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CEDAR RIDGE VILLAGE
GRADING PLAN

WEST DES MOINES, IOWA

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 CIVIL DESIGN ADVANTAGE ENGINEER

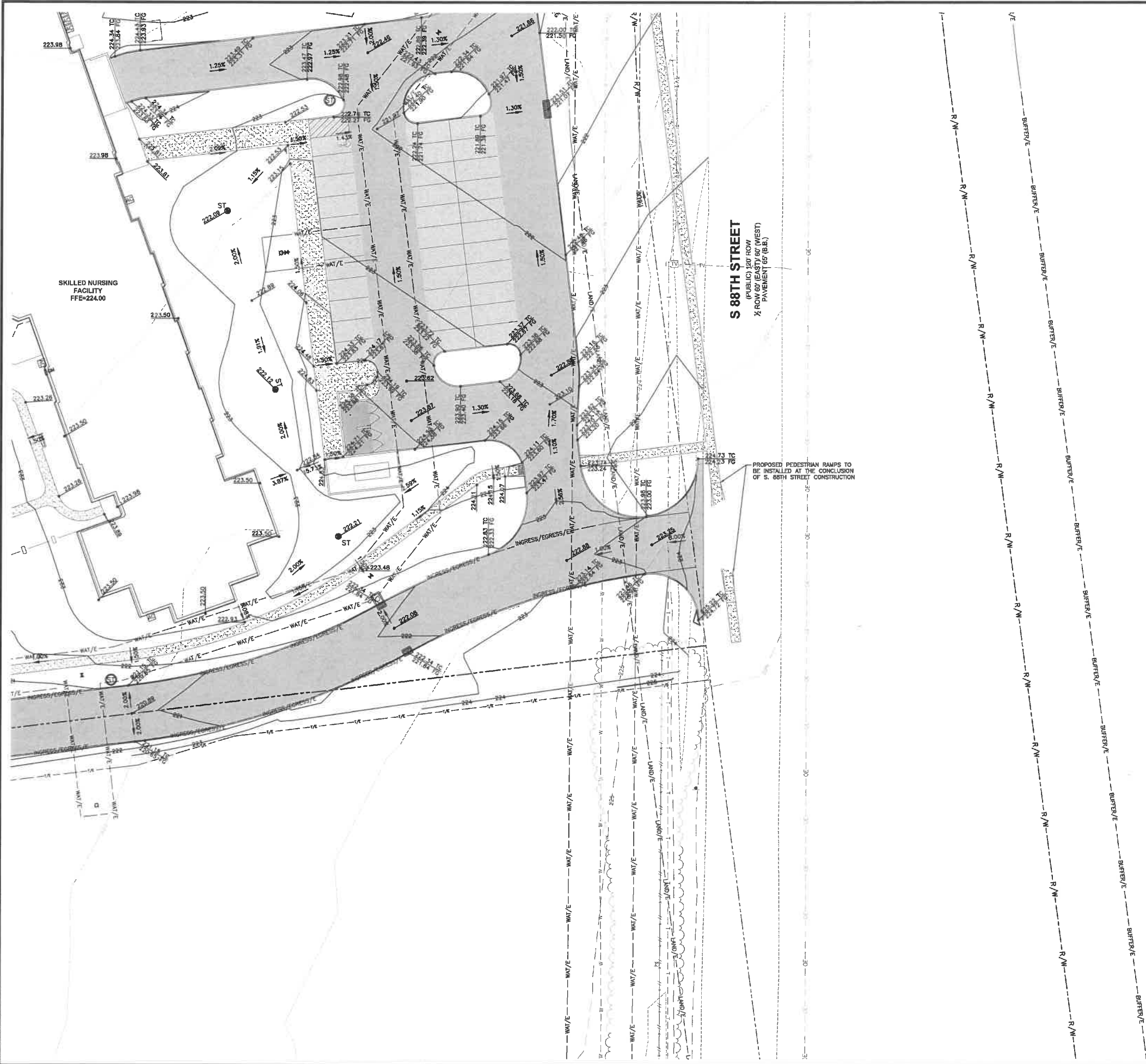
3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

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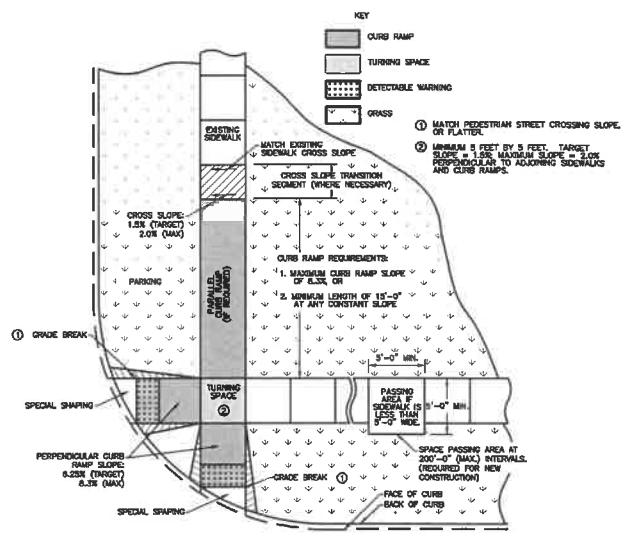
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SUBMITTAL #1	08/07/18

C3.4
 1805.306

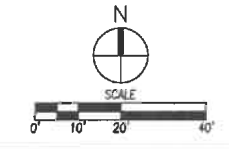
DATE: 10/24/18
 TIME: 10:52 AM
 PROJECT: CEDAR RIDGE VILLAGE
 SHEET: GRADING PLAN



RAMP DETAILS FOR PROPOSED SIDEWALK RAMPS



GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK

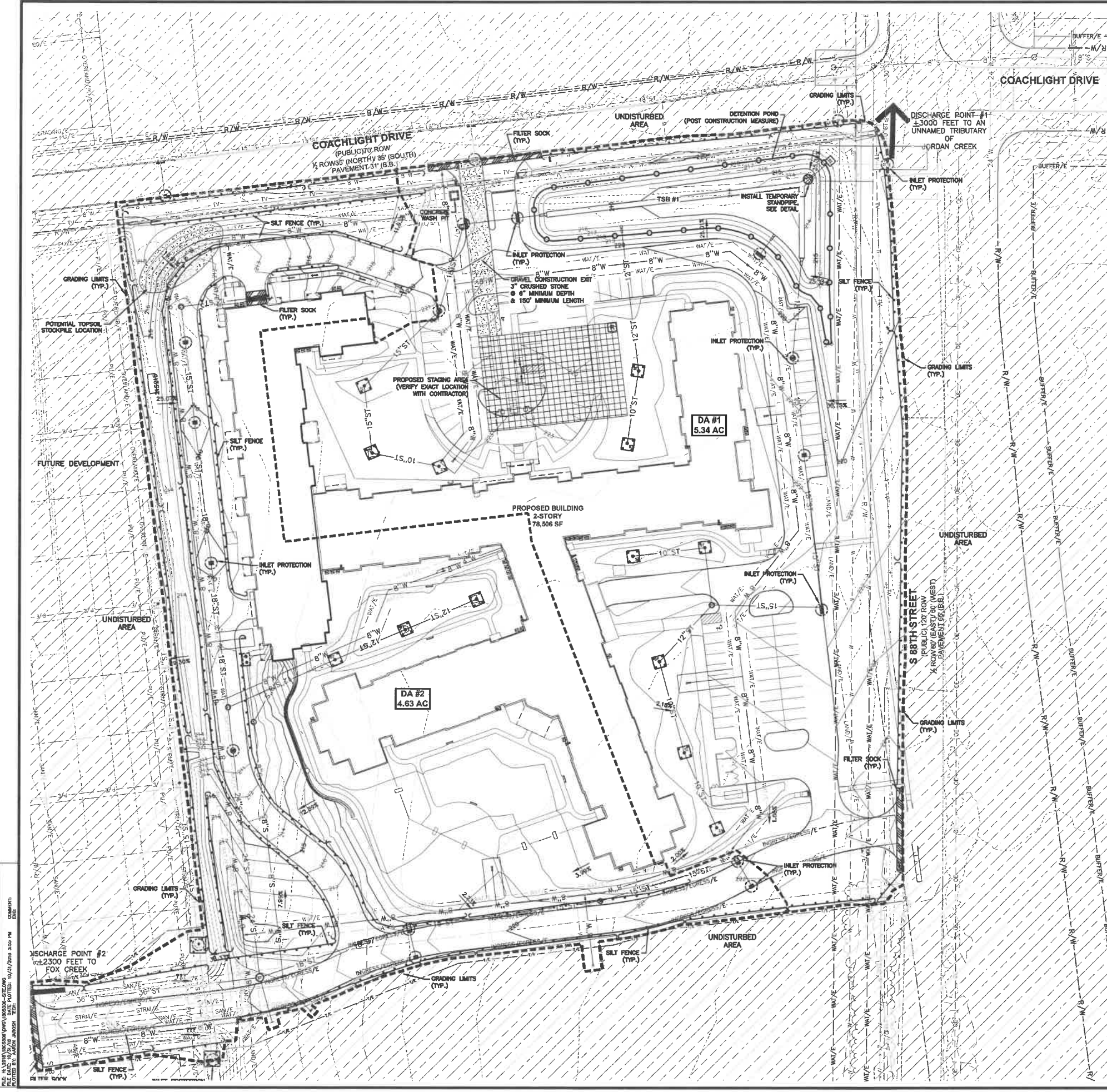


REVISIONS	DATE
SUBMITTAL #5	10/31/18
SUBMITTAL #4	10/18/18
SUBMITTAL #3	10/01/18
SUBMITTAL #2	09/08/18
SUBMITTAL #1	08/07/18

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 TECH: _____



CEDAR RIDGE VILLAGE
GRADING PLAN



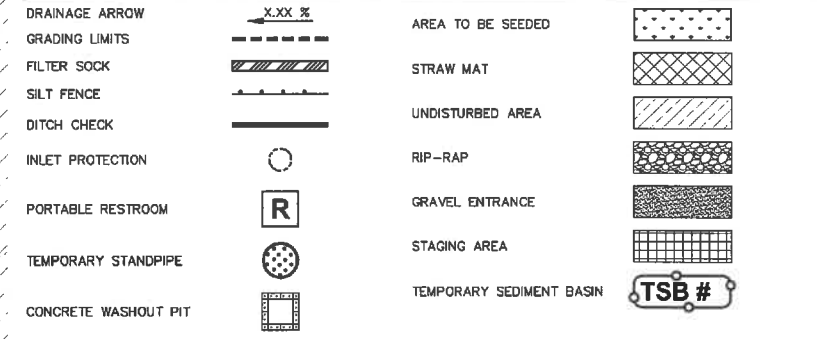
STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	5,673
2	FILTER SOCK	LF	283
3	SEEDING, FERTILIZING, AND MULCHING	AC	5.09
4	INLET PROTECTION DEVICES	EA	22
5	CONCRETE WASHOUT PIT	EA	1
6	8" PVC TEMPORARY STANDPIPE	EA	1

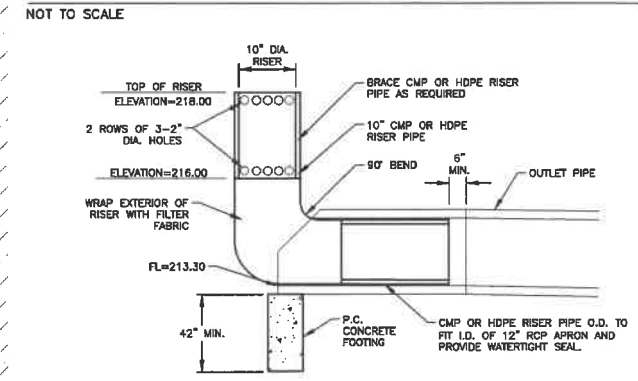
DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO FOX CREEK ±3000 FT	5.34 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	19,444 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN FILTER SOCK (161 LF @ 2.0 CU FT/LF OF SOCK)	322 CU FT
VOLUME PROVIDED IN SILT FENCE (1,379 LF @ 4.5 CU FT/LF OF FENCE)	6,205 CU FT
VOLUME PROVIDED IN TSB #1	38,444 CU FT
TOTAL VOLUME PROVIDED	44,971 CU FT
DISCHARGE POINT #2 TO FOX CREEK ±2300 FT	4.63 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	16,668 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN FILTER SOCK (122 LF @ 2.0 CU FT/LF OF SOCK)	244 CU FT
VOLUME PROVIDED IN SILT FENCE (4,294 LF @ 4.5 CU FT/LF OF FENCE)	19,323 CU FT
TOTAL VOLUME PROVIDED	19,567 CU FT

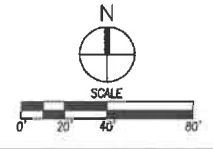
SWPPP LEGEND



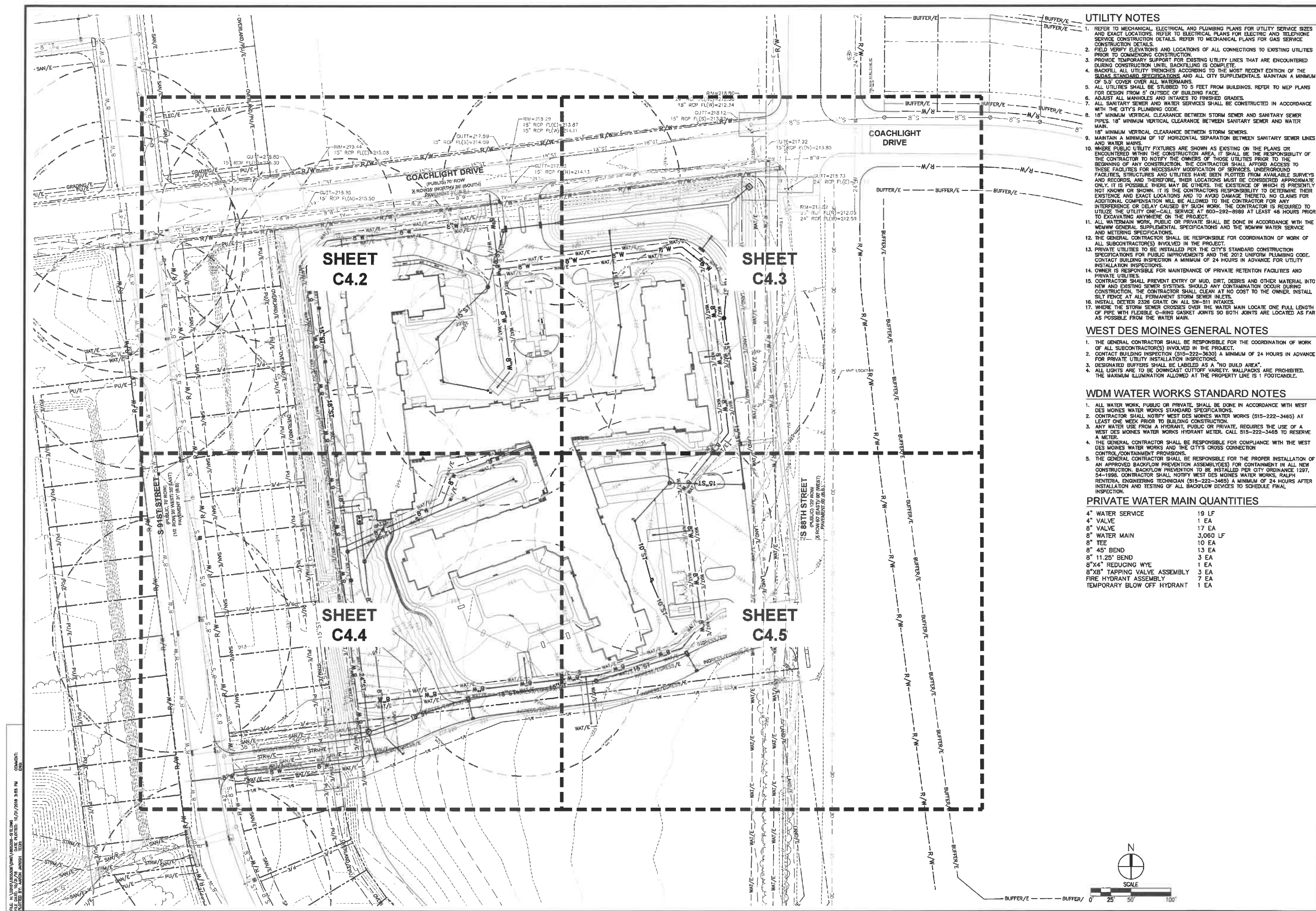
TEMPORARY STAND PIPE DETAIL



PROJECT: CEDAR RIDGE VILLAGE EROSION AND SEDIMENT CONTROL PLAN
 DATE: 10/24/18
 DRAWN BY: J. J. JENSEN
 CHECKED BY: J. J. JENSEN
 COMMENTS:



REVISIONS: SUBMITTAL #5, SUBMITTAL #4, SUBMITTAL #3, SUBMITTAL #2, SUBMITTAL #1
 DATE: 10/31/18, 10/19/18, 10/11/18, 09/06/18, 08/07/18
 3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
CSA
 CIVIL DESIGN ADVANTAGE ENGINEER
 WEST DES MOINES, IOWA
CEDAR RIDGE VILLAGE
EROSION AND SEDIMENT CONTROL PLAN
C3.6
 1805.306



- ### UTILITY NOTES
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
 - FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 - PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
 - BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
 - ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
 - ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
 - ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
 - 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
 - 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWERS.
 - MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
 - WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY LOCATOR SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
 - ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE WDM GENERAL SUPPLEMENTAL SPECIFICATIONS AND THE WDMWW WATER SERVICE AND METERING SPECIFICATIONS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
 - PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
 - OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
 - CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL Silt Fence at ALL PERMANENT STORM SEWER INTAKES.
 - INSTALL DEETER 2326 GRATE ON ALL SW-511 INTAKES.
 - WHERE THE STORM SEWER CROSSES OVER THE WATER MAIN LOCATE ONE FULL LENGTH OF PIPE WITH ELEVATED GASKET JOINTS SO BOTH JOINTS ARE LOCATED AS FAR AS POSSIBLE FROM THE WATER MAIN.

- ### WEST DES MOINES GENERAL NOTES
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
 - CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
 - DESIGNATED BUFFERS SHALL BE LABELED AS A "NO BUILD AREA".
 - ALL LIGHTS ARE TO BE DOWNCAST OUTDOOR VARIETY. WALLPACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOTCANDLE.

- ### WDM WATER WORKS STANDARD NOTES
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
 - CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
 - ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1896. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.

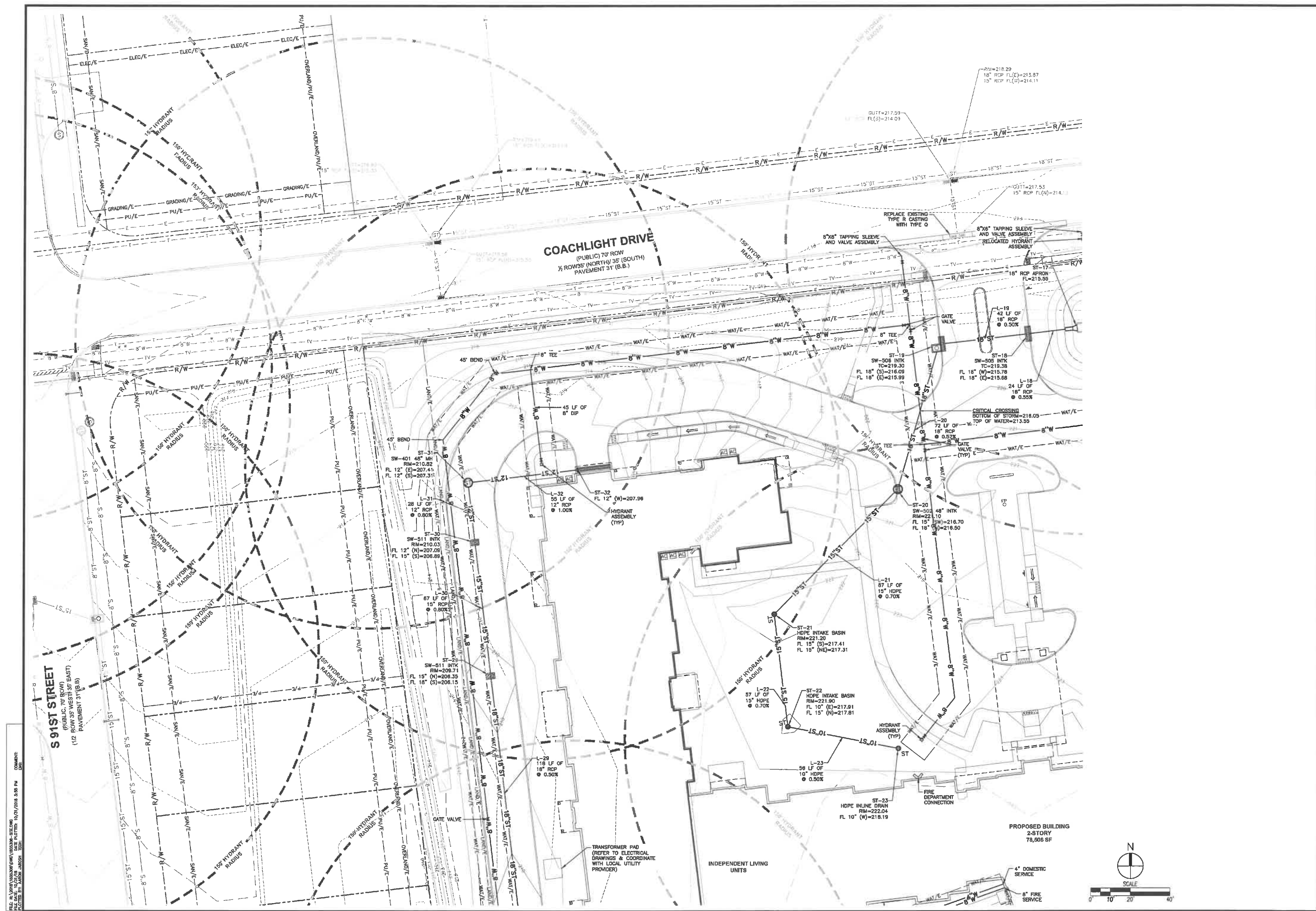
PRIVATE WATER MAIN QUANTITIES

4" WATER SERVICE	19 LF
4" VALVE	1 EA
6" VALVE	17 EA
6" WATER MAIN	3,060 LF
6" TEE	10 EA
6" 45° BEND	13 EA
6" 11.25° BEND	3 EA
8"x4" REDUCING WYE	1 EA
8"x8" TAPPING VALVE ASSEMBLY	3 EA
FIRE HYDRANT ASSEMBLY	7 EA
TEMPORARY BLOW OFF HYDRANT	1 EA

SCALE

DATE	10/21/18	SUBMITTAL #5	10/18/18	SUBMITTAL #4	10/01/18	SUBMITTAL #3	09/07/18	SUBMITTAL #1
REVISIONS								
3405 S.E. CROSSROADS DRIVE, SUITE G GRIMES, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410								
								TECH:
CIVIL DESIGN ADVANTAGE ENGINEER WEST DES MOINES, IOWA								
CEDAR RIDGE VILLAGE UTILITY REFERENCE PLAN								
C4.1 1805.306								

D.C. H. LUTHER WALKER (P) ENGINEER - SITE PLAN
 FILE DATE: 10/27/18
 DATE PLOTTED: 10/27/2018 3:55 PM
 CONDUCTED BY: LARON JANSSEN, TECH



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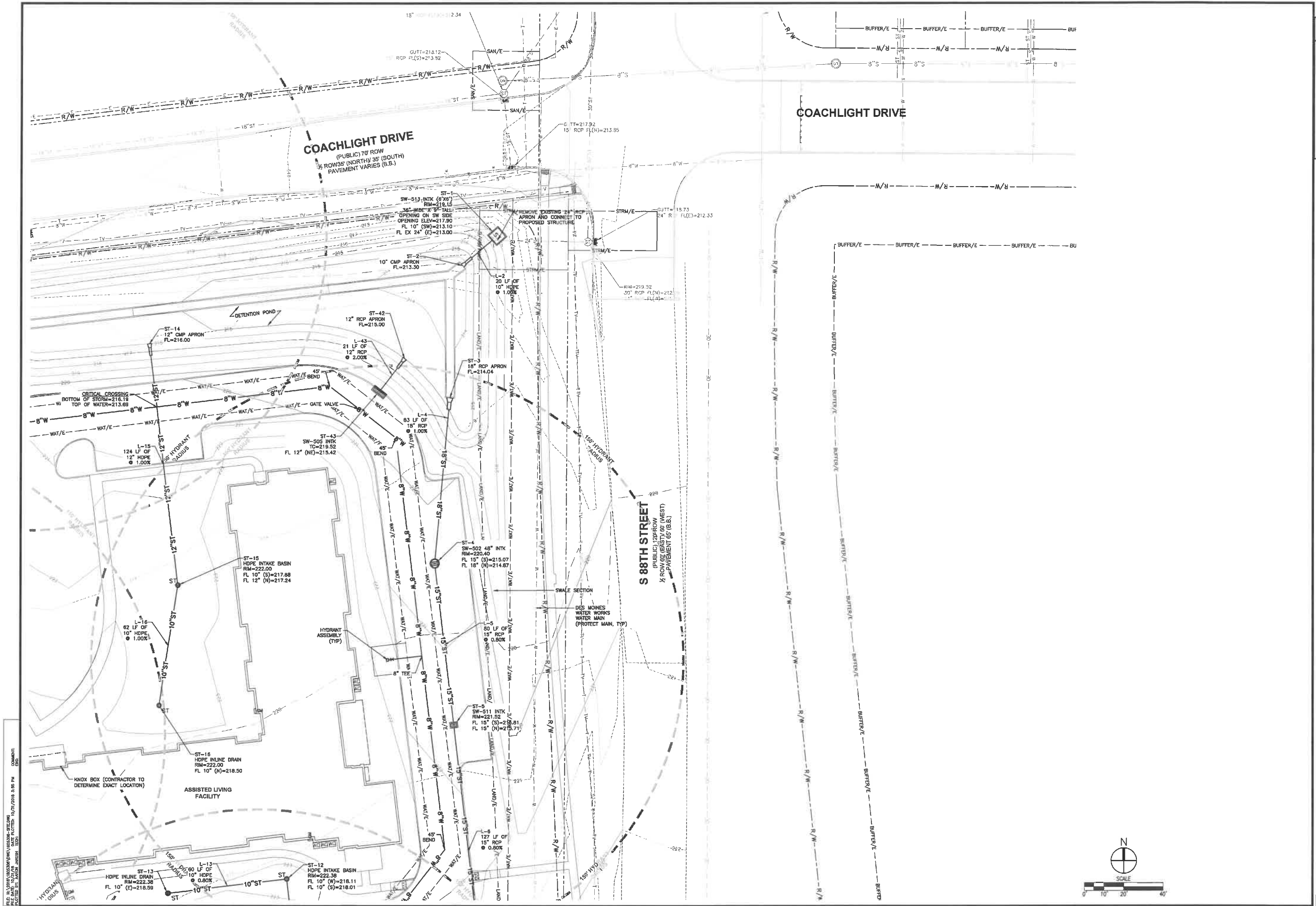
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REVISIONS	
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SUBMITTAL #4	
SUBMITTAL #3	
SUBMITTAL #2	
SUBMITTAL #1	

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 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 TECH: _____

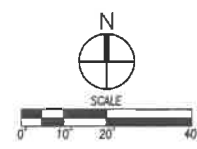
BSA
 CIVIL DESIGN ADVANTAGE ENGINEER
 WEST DES MOINES, IOWA

CEDAR RIDGE VILLAGE
 UTILITY PLAN

C4.2
 1805.306



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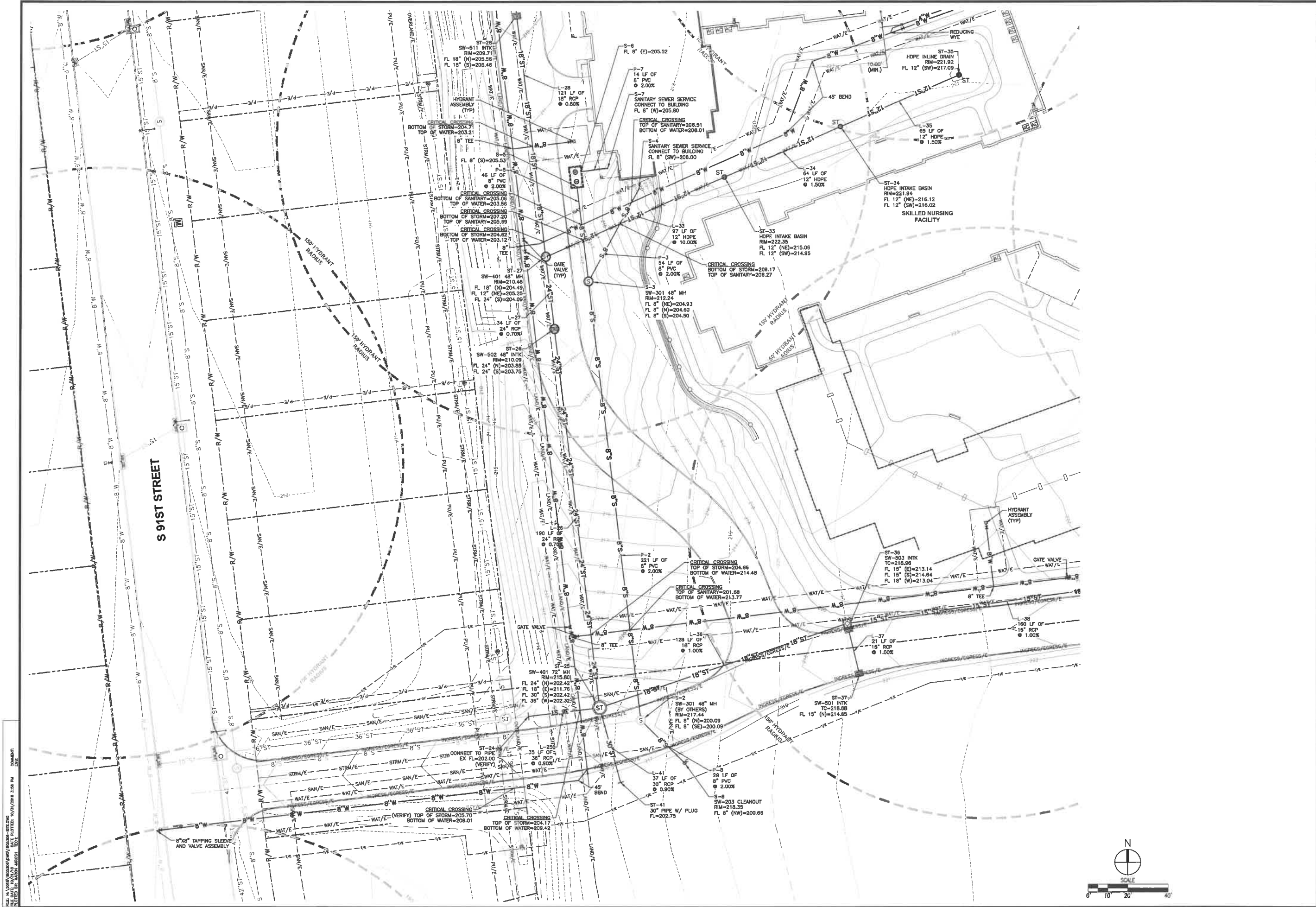
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SUBMITTAL #4	10/07/18
SUBMITTAL #3	09/06/18
SUBMITTAL #2	08/07/18
SUBMITTAL #1	08/07/18

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

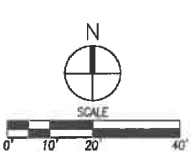
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 CIVIL DESIGN ADVANTAGE
 ENGINEER: TECH:

CEDAR RIDGE VILLAGE
UTILITY PLAN

C4.3
 1805.306



DATE: 10/21/2014 3:08 PM
 DRAWN BY: JAW/JAW
 CHECKED BY: JAW/JAW
 PROJECT: CEDAR RIDGE VILLAGE
 SHEET: C4.4



CEDAR RIDGE VILLAGE
UTILITY PLAN

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 GRIMES, IOWA 50111
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WEST DES MOINES, IOWA

TECH: ENGINEER:

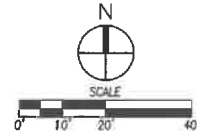
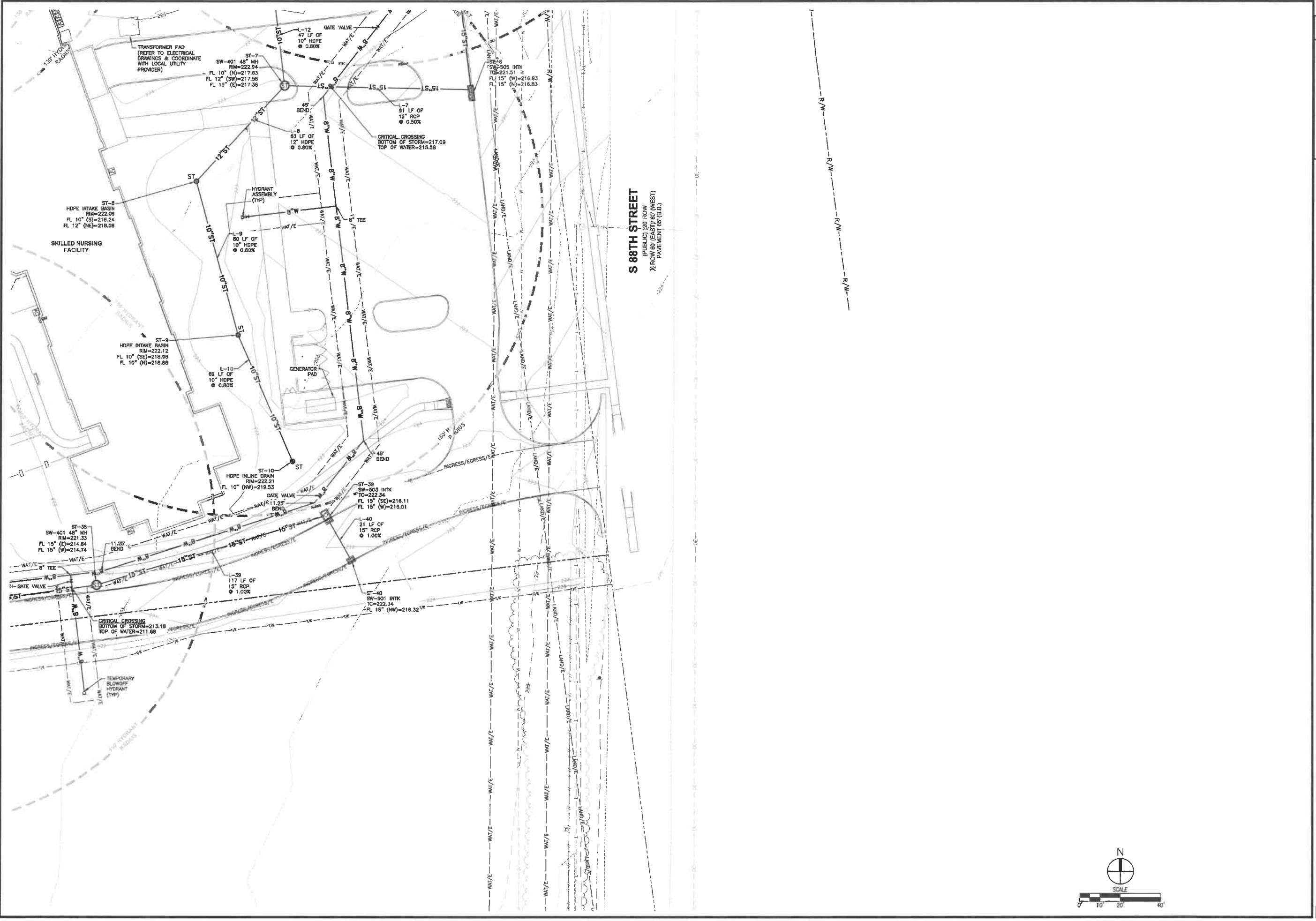
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1805.306

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SUBMITTAL #5	10/21/14
SUBMITTAL #4	10/16/14
SUBMITTAL #3	10/07/14
SUBMITTAL #2	09/08/14
SUBMITTAL #1	08/07/14

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 FILE DATE: 10/22/18
 DATE PLOTTED: 10/01/2018 3:08 PM
 COUNTRY: DWS
 PLOTTED BY: JAMES JANDON TECH



S 88TH STREET
 (PUBLIC) 30' ROW
 1/2 ROW 60' (EAST) 60' (WEST)
 PAVEMENT 85' (B.B.)

C4.5
 1805.306

CEDAR RIDGE VILLAGE
UTILITY PLAN

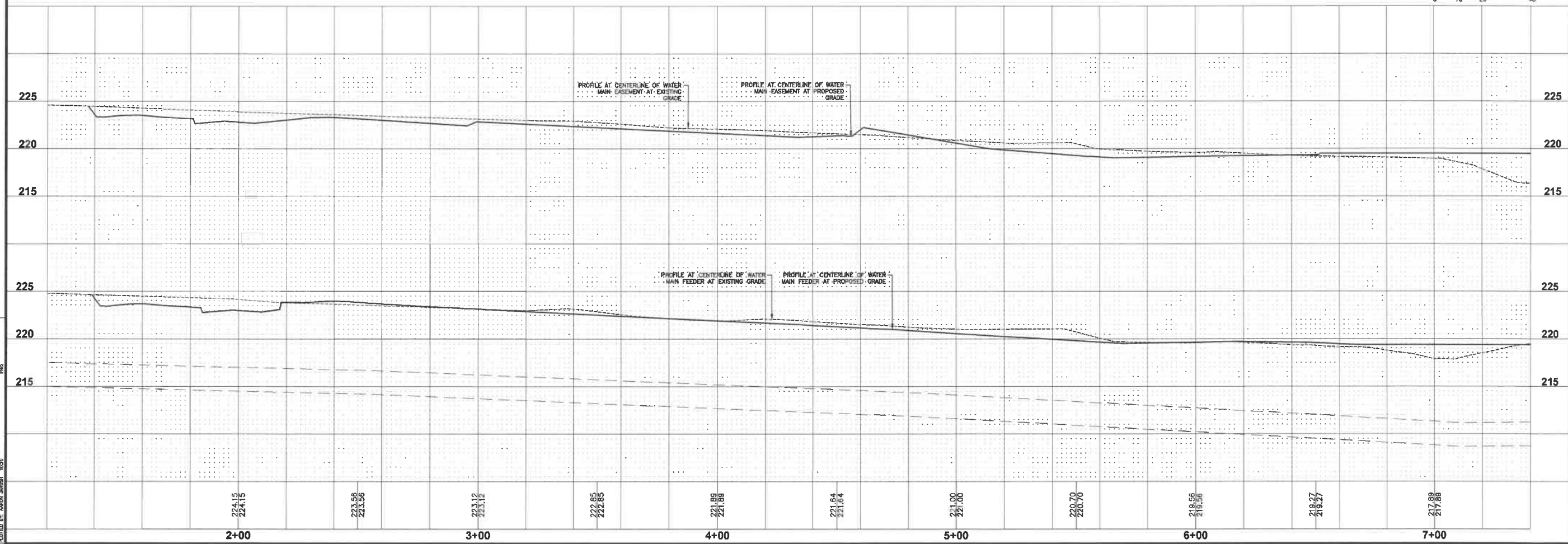
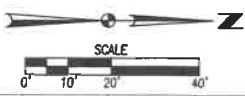
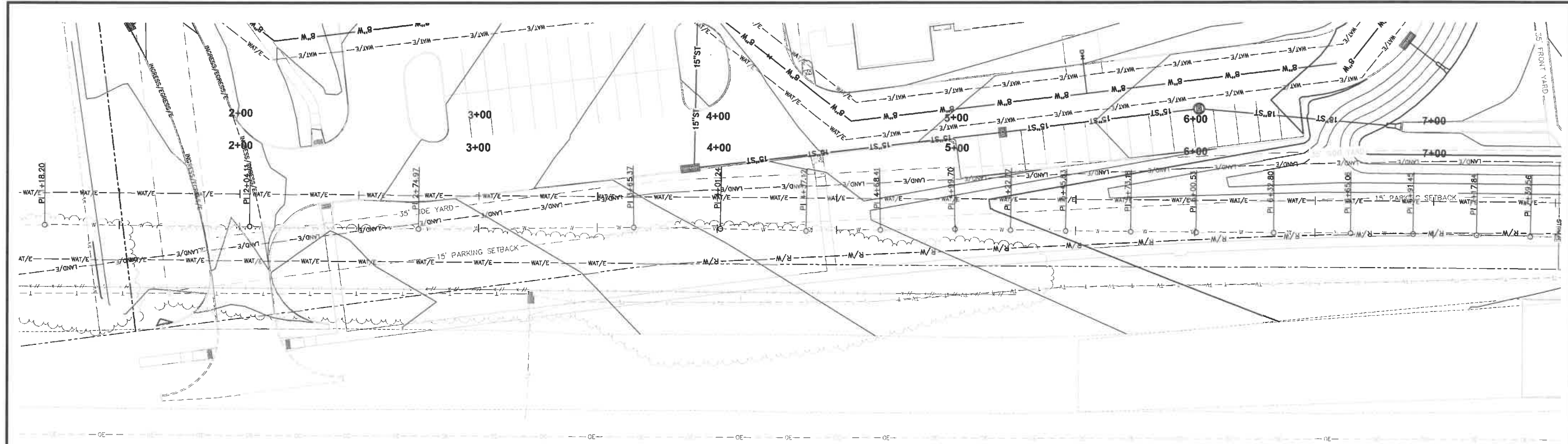


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 PHONE: (515) 369-4400 FAX: (515) 369-4410
 CIVIL DESIGN ADVANTAGE ENGINEER:

REVISIONS	DATE
SUBMITTAL #5	10/31/18
SUBMITTAL #4	10/18/18
SUBMITTAL #3	10/01/18
SUBMITTAL #2	09/06/18
SUBMITTAL #1	08/07/18

WEST DES MOINES, IOWA

TECH:



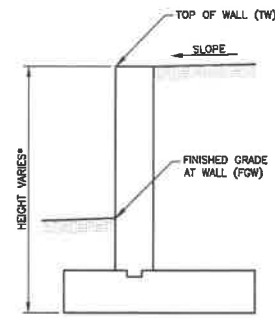
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 COMPILED BY: ALVIN WOODSON
 PLOTTED BY: ALVIN WOODSON

REVISIONS	DATE
SUBMITTAL #5	10/27/18
SUBMITTAL #4	10/18/18
SUBMITTAL #3	10/07/18
SUBMITTAL #2	09/06/18
SUBMITTAL #1	08/07/18

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 PHONE: (515) 369-4400 FAX: (515) 369-4410
 TECH: _____
 ENGINEER: _____

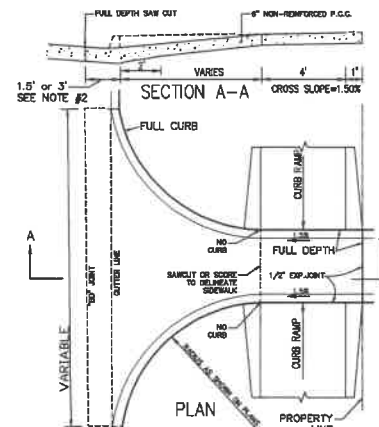


CEDAR RIDGE VILLAGE
EXISTING DMWW FEEDER MAIN PLAN AND PROFILE
 WEST DES MOINES, IOWA
C4.6
 1805.306



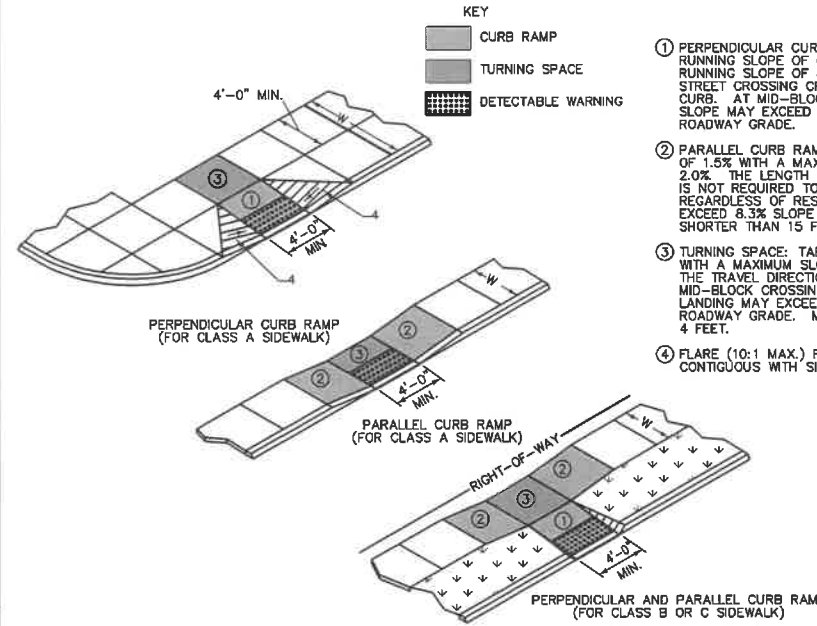
REFER TO STRUCTURAL PLANS FOR RETAINING WALL ELEVATION VIEW FOR FULL HEIGHT DIMENSION(S) OF P.C. CONCRETE WALL.

7 CONCRETE RETAINING WALL SPOT ELEVATION REFERENCE
NOT TO SCALE

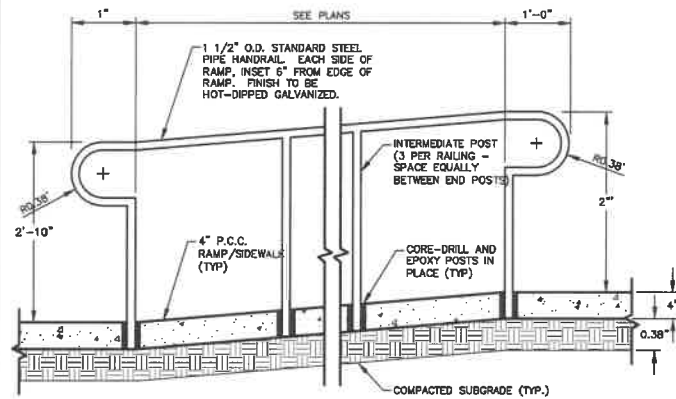


NOTES:
1. BEFORE THE CONCRETE IS PLACED, THE SAW CUT JOINTS SHALL BE COMPLETELY CLEARED OF ALL LOOSE CONCRETE OR FOREIGN MATERIAL.
2. SAW CUT AND REPAIR EXISTING CONCRETE PAVEMENT A MIN. OF 3" FROM EXISTING JOINT IS 3" FROM BACK OF CURB.
3. SAW CUT JOINTS SHALL BE IN GENERAL CONFORMANCE WITH PORTLAND CEMENT CONCRETE REVISIONS DETAILS.

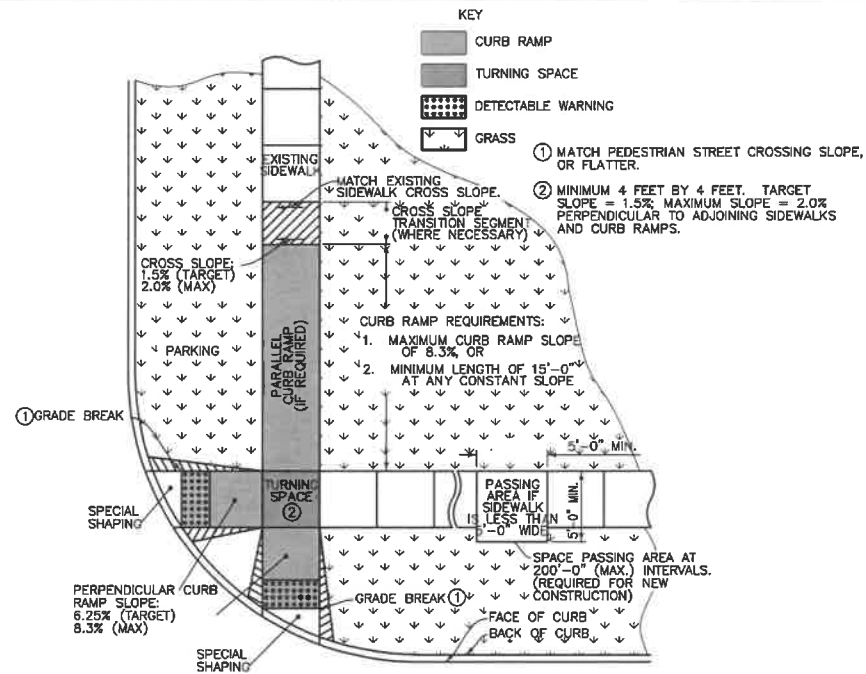
4 DRIVEWAY DETAIL
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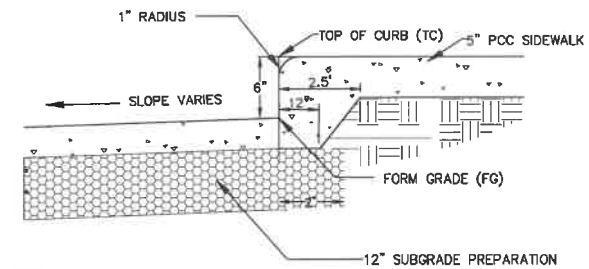
1 CURB RAMP OUTSIDE OF INTERSECTION RADIUS
NOT TO SCALE



8 HANDRAIL
NOT TO SCALE

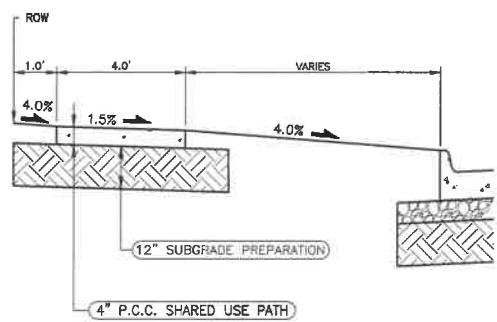


5 GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK
NOT TO SCALE

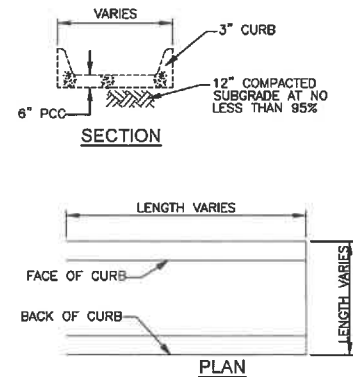


NOTE:
1. TRANSVERSE JOINTS SHALL BE CD JOINTS AT 15' MAX. SPACING.
2. LONGITUDINAL JOINTS SHALL BE INTERCHANGEABLE, L-2 OR KT-2.

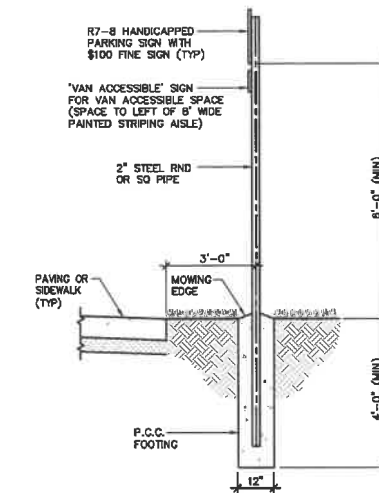
2 6" INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



9 TYPICAL ROW SECTION
NOT TO SCALE



6 CONCRETE FLUME
NOT TO SCALE



3 ACCESSIBLE PARKING SIGN
NOT TO SCALE

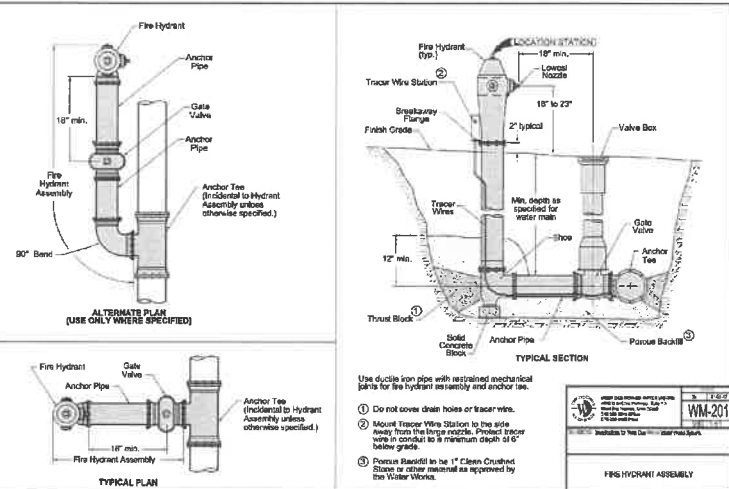
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REVISIONS	
SUBMITTAL #5	10/18/18
SUBMITTAL #4	10/01/18
SUBMITTAL #3	09/06/18
SUBMITTAL #2	08/07/18
SUBMITTAL #1	

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GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
TECH: ENGINEER:

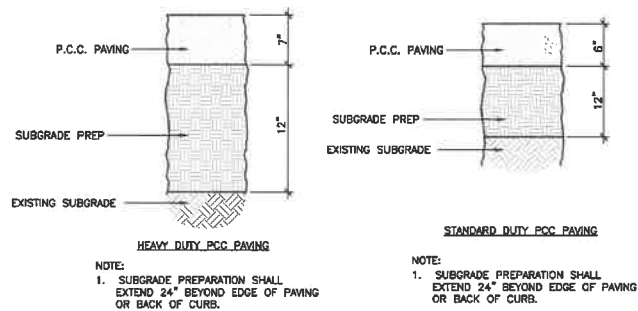


WEST DES MOINES, IOWA

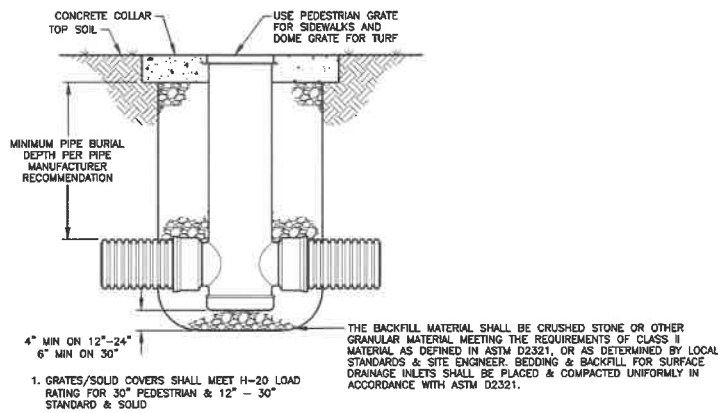
CEDAR RIDGE VILLAGE
DETAILS



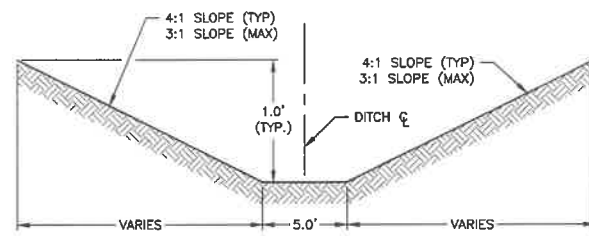
7 WDMWW FIRE HYDRANT ASSEMBLY
NOT TO SCALE



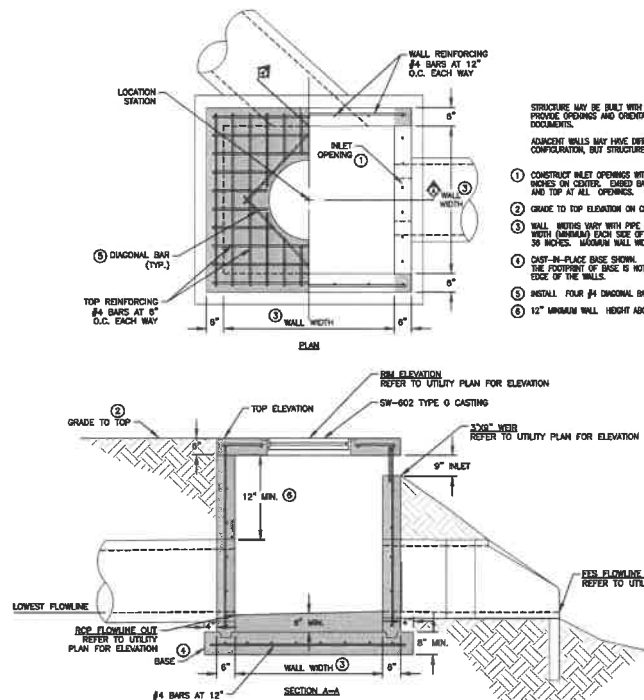
8 PCC PAVING
NOT TO SCALE



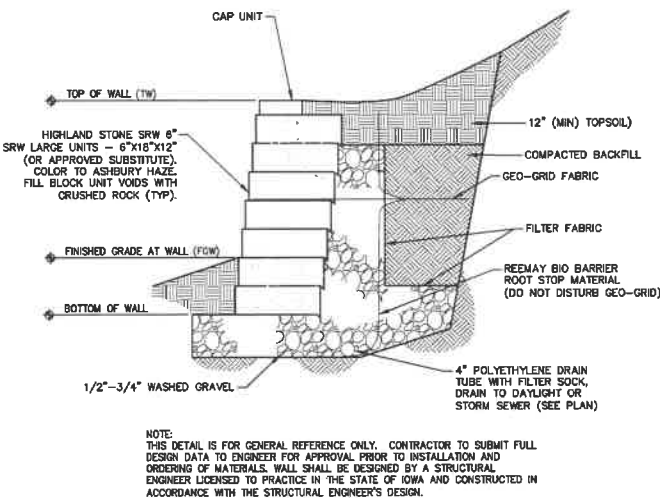
4 HDPE INTAKE
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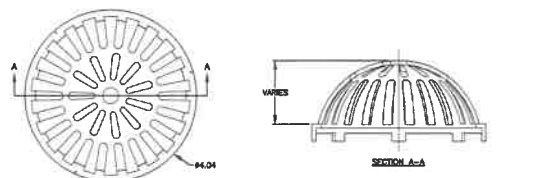
1 TYPICAL SWALE SECTION
NOT TO SCALE



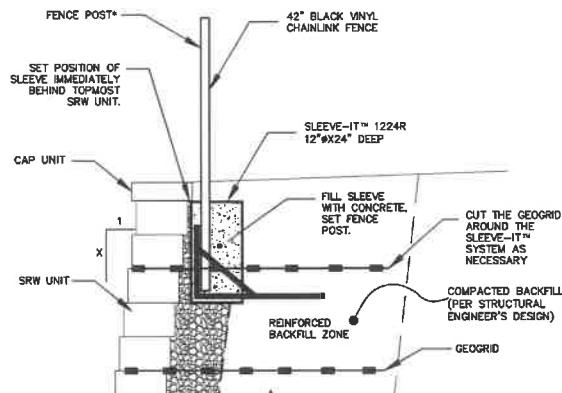
5 SW-513 INTAKE (ST-1)
NOT TO SCALE



2 SEGMENTAL RETAINING WALL
NOT TO SCALE

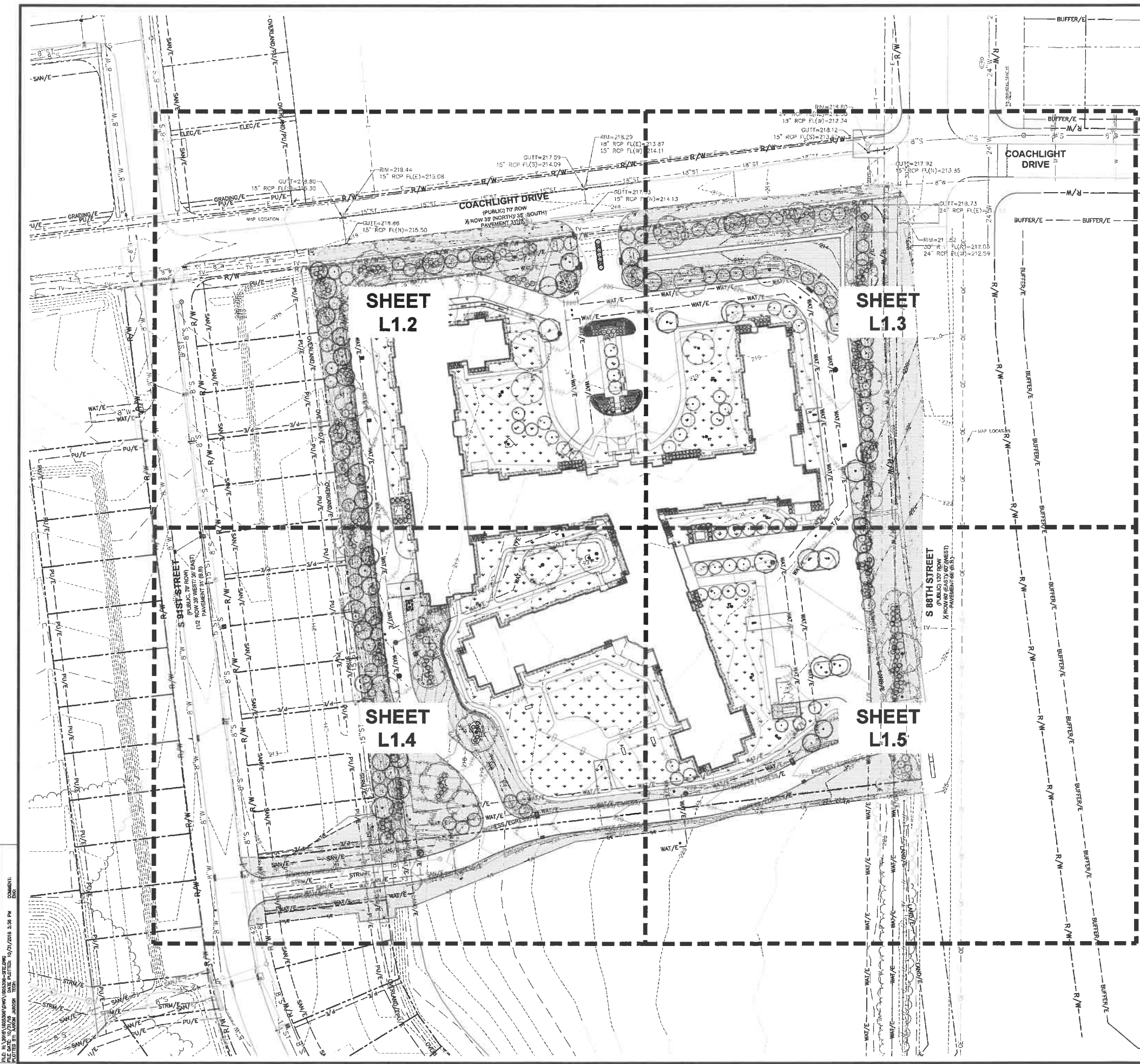


6 DOME GRATE
NOT TO SCALE



3 FENCE POST ADJACENT TO SEGMENTAL RETAINING WALL
NOT TO SCALE

FILE: H:\3014\WORKING\DWG\3014-03-DETAILS.dwg
 PLOT DATE: 10/27/18
 PLOTTED BY: JACOB JACOBSON, TCSE



- ### LANDSCAPE NOTES
- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
 - THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
 - TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK AMS 1831.
 - ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, Voids AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS, TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
 - SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
 - BACKFILL TO TOP OF CURB (MINUS 1 1/2" FOR SOD, IF REQ.)
 - PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IN ANY CONFLICTS ARISE.
 - SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
 - ALL EDGING SHALL BE SPADE CUT EDGE.
 - PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IN ANY CONFLICTS ARISE.
 - ALL DEBRIS SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
 - CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
 - CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER FOR APPROVAL.
 - IRRIGATION METER TO BE LOCATED IN THE BUILDING, IF AN IRRIGATION SYSTEM IS USED.

PLANT SCHEDULE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	CAL
DIWOODS TREES					
01	25	Thornless Hawthorn	<i>Crataegus crug-poll 'varmida'</i>	B&B	1.5"
02	22	Skyline Honey Locust	<i>Gleditsia inaequalis 'Skyline'</i>	B&B	2"
03	47	Profringe Crab Apple	<i>Malus x 'Profringe'</i>	B&B	1.5"
04	24	Spring Snow Crab Apple	<i>Malus x 'Spring Snow'</i>	B&B	1.5"
05	8	White Oak	<i>Quercus alba</i>	B&B	2"
06	17	American Elm	<i>Ulmus americana</i>	B&B	2"
EVERGREEN TREES					
07	41	Black Hills Spruce	<i>Picea glauca 'Sensata'</i>	B&B	6' HEIGHT
SHRUBS					
08	39	Wintergreen Korean Littleleaf Barwood	<i>Buxus sinica 'indulata' 'Wintergreen'</i>	3 GAL	
09	14	Japanese Spindle Tree	<i>Euonymus alatus 'Compactus'</i>	3 GAL	
10	35	All Summer Beauty Bigleaf Hydrangea	<i>Hydrangea macrophylla 'All Summer Beauty'</i>	3 GAL	
11	2	Buffalo Juniper	<i>Juniperus sibirica 'Buffalo'</i>	3 GAL	
12	94	Sea Green Juniper	<i>Juniperus x pfitzeriana 'Sea Green'</i>	3 GAL	
13	109	Sheep Mugwort Pine	<i>Pinus mugo 'Compacta'</i>	3 GAL	
14	30	Purple Leaf Spine Cherry	<i>Prunus x cistena</i>	3 GAL	
15	89	Anthony Waterer Spirea	<i>Spiraea x bumalda 'Anthony Waterer'</i>	3 GAL	
16	72	American Cranberrybush	<i>Viburnum opulus americanum</i>	3 GAL	
ANNUALS/PERENNIALS					
17	110	Magnus Purple Goniolower	<i>Echinosace purpurea 'Nogata'</i>	1 GAL	
18	117	Coneflower	<i>Rudbeckia fulgida 'Goldsturm'</i>	1 GAL	
19	182	Maynight Salvia	<i>Salvia nemorosa 'Maidenhair'</i>	1 GAL	
GRASSES					
20	44	Festuca Reed Grass	<i>Calamagrostis x acutiflora 'Fest Foxtail'</i>	1 GAL	
21	41	Maiden Grass	<i>Miscanthus sinensis 'Ornamental'</i>	1 GAL	

OPEN SPACE REQUIREMENTS

SITE:	375,015 SF (8.61 ACRES)
REQUIRED OPEN SPACE:	93,754 SF (25%)
PROVIDED OPEN SPACE:	180,718 SF (48%)
REQUIRED:	
TREES (2/3,000 SF):	63 TREES
SHRUBS (3/3,000 SF):	94 SHRUBS
PROVIDED:	
TREES	
2" CALIPER TREE:	20 TREES
1.5" CALIPER TREE:	29 TREES
6" TALL EVERGREEN:	14 TREES
SHRUBS:	516 SHRUBS

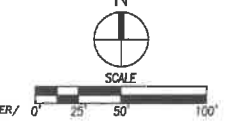
BUFFER REQUIREMENTS

WEST BUFFER LENGTH:	631 LF
EAST BUFFER LENGTH:	605 LF
REQUIRED - WEST BUFFER	
TREES	
OVERSTORY (1/35 LF):	18 TREES
ORNAMENTAL (2/35 LF):	36 TREES
SHRUBS (6/35 LF):	108 SHRUBS
PROVIDED - WEST BUFFER	
TREES	
OVERSTORY:	9 TREES
ORNAMENTAL:	36 TREES
EVERGREEN:	9 TREES
SHRUBS:	108 SHRUBS
REQUIRED - EAST BUFFER	
TREES	
OVERSTORY (1/35 LF):	18 TREES
ORNAMENTAL (2/35 LF):	35 TREES
SHRUBS (6/35 LF):	104 SHRUBS
PROVIDED - EAST BUFFER	
TREES	
OVERSTORY:	9 TREES*
ORNAMENTAL:	35 TREES*
EVERGREEN:	9 TREES*
SHRUBS:	104 SHRUBS

*TREES UNABLE TO FIT WITHIN BUFFER WERE PLACED ELSE WHERE ON SITE.

STREETSCAPE REQUIREMENTS

ROCKWOOD LN:	535 LF
REQUIRED ROCKWOOD LN	
TREES (1/35 LF):	15 TREES
SHRUBS (3/35 LF):	46 SHRUBS
PROVIDED ROCKWOOD LN	
TREES	
OVERSTORY:	7 TREES
EVERGREEN:	8 TREES
SHRUBS:	46 SHRUBS



DATE	10/31/18
REVISIONS	
SUBMITTAL #5	10/18/18
SUBMITTAL #4	10/01/18
SUBMITTAL #3	09/06/18
SUBMITTAL #2	08/02/18
SUBMITTAL #1	08/02/18

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PHONE: (515) 369-4400 FAX: (515) 369-4410

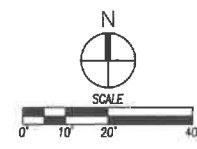
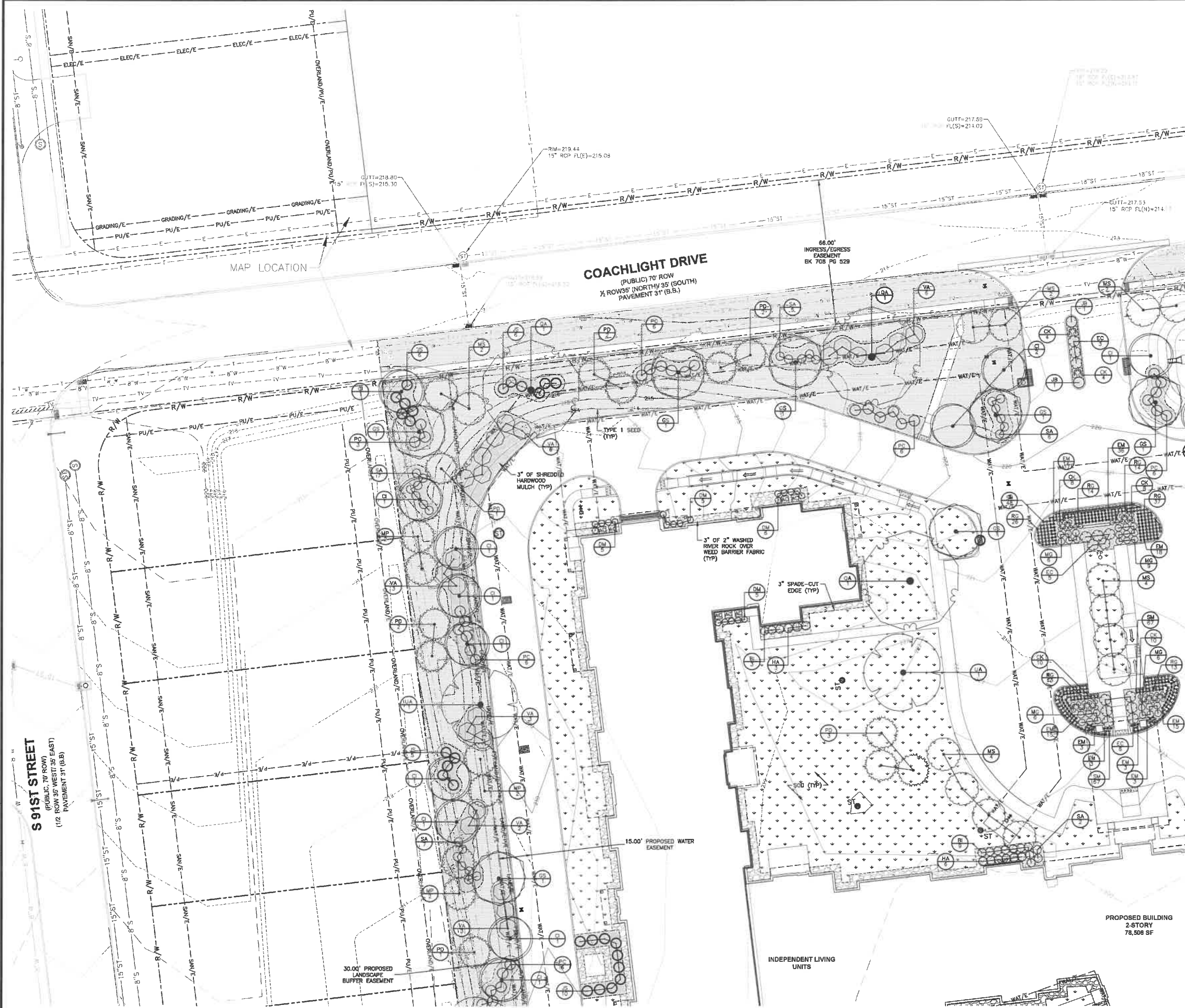
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ENGINEER: _____

CIVIL DESIGN ADVANTAGE
WEST DES MOINES, IOWA

CEDAR RIDGE VILLAGE
LANDSCAPE REFERENCE PLAN

L1.1
1805.306

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
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CEDAR RIDGE VILLAGE
LANDSCAPE PLAN



CIVIL DESIGN ADVANTAGE
 WEST DES MOINES, IOWA

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 PHONE: (515) 369-4400 FAX: (515) 369-4410

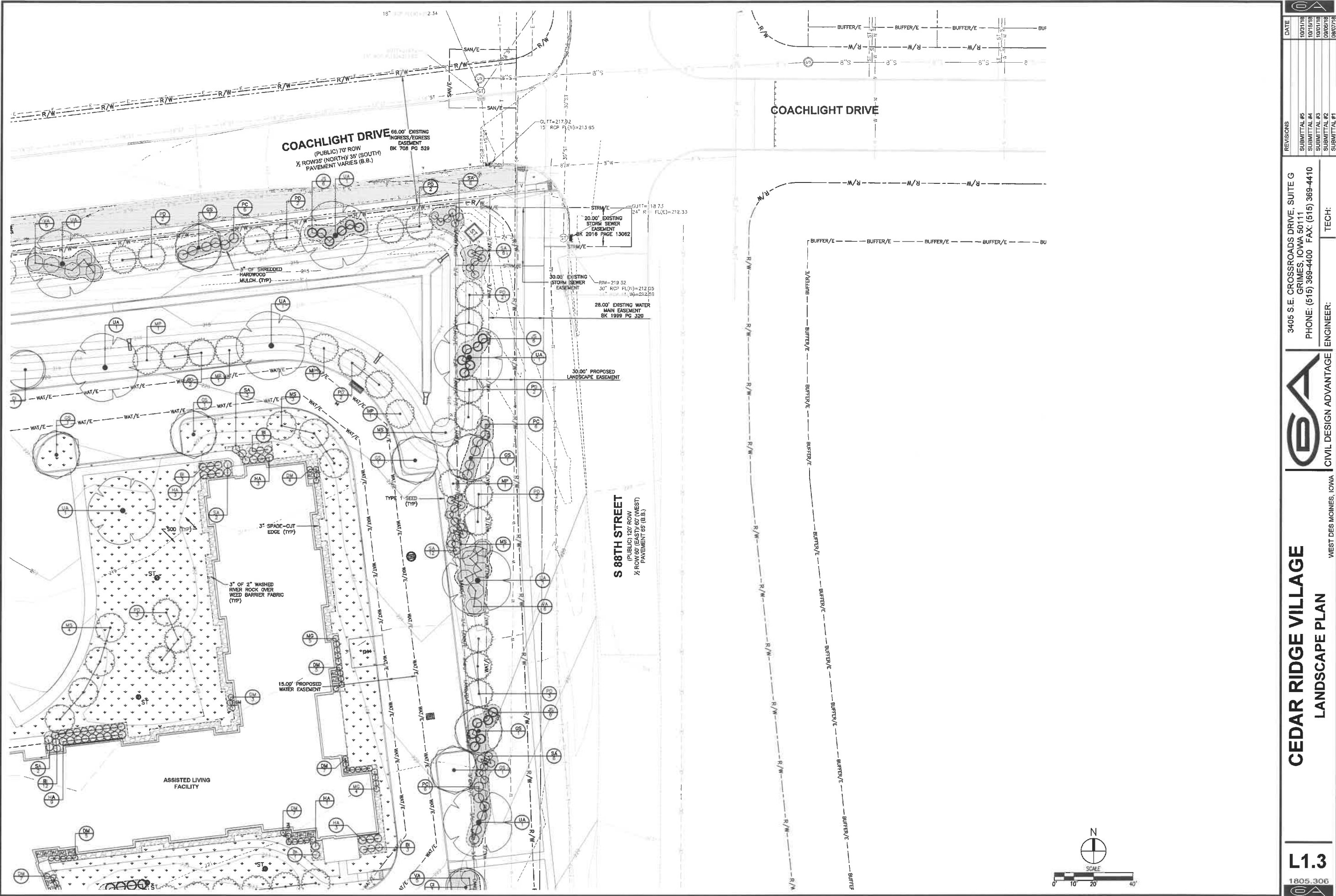
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REVISIONS	DATE
SUBMITTAL #5	10/31/18
SUBMITTAL #4	10/18/18
SUBMITTAL #3	10/01/18
SUBMITTAL #2	09/06/18
SUBMITTAL #1	08/07/18

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DRAWN BY: JAMES JAMES
CHECKED BY: JAMES JAMES

COMMIT: 018

PROJECT: 1805.306
SHEET: L1.3



DATE	REVISIONS
10/27/18	SUBMITTAL #5
10/16/18	SUBMITTAL #4
10/01/18	SUBMITTAL #3
09/07/18	SUBMITTAL #2
08/07/18	SUBMITTAL #1

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

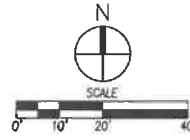
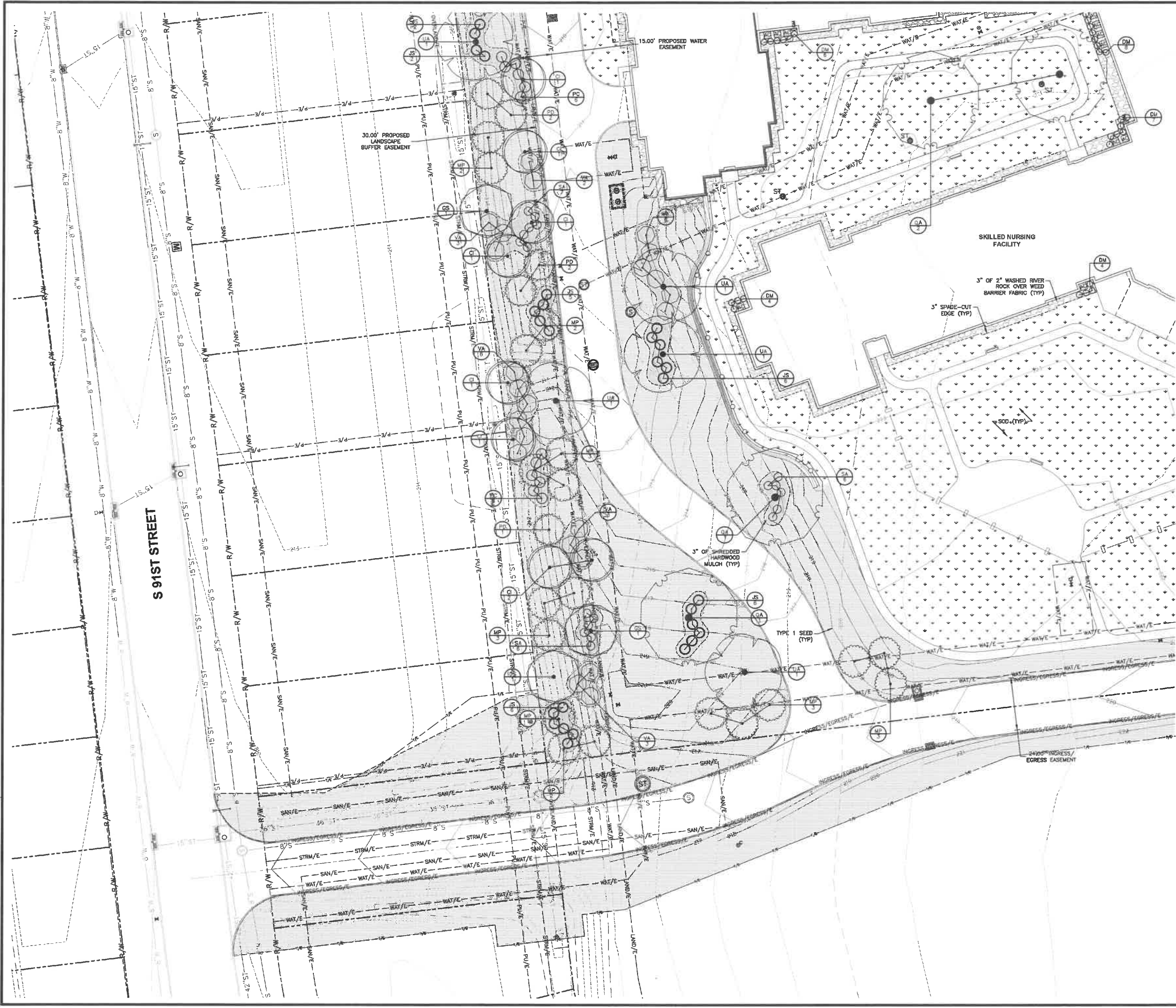
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WEST DES MOINES, IOWA

ESA

CEDAR RIDGE VILLAGE
LANDSCAPE PLAN

L1.3
1805.306

FILE: H:\PROJECTS\CEDAR RIDGE VILLAGE\LANDSCAPE SITE PLAN
 DATE PLOTTED: 10/27/2018 3:06 PM
 PLOTTED BY: JESSICA WASSON TECH



CEDAR RIDGE VILLAGE
LANDSCAPE PLAN

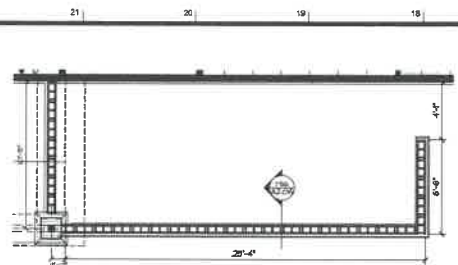


3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

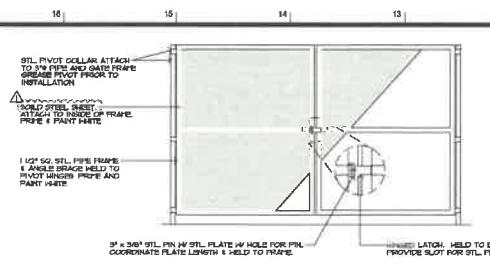
REVISIONS	DATE
SUBMITTAL #5	10/27/18
SUBMITTAL #4	10/18/18
SUBMITTAL #3	10/01/18
SUBMITTAL #2	09/05/18
SUBMITTAL #1	08/07/18

L1.4
 1805.306

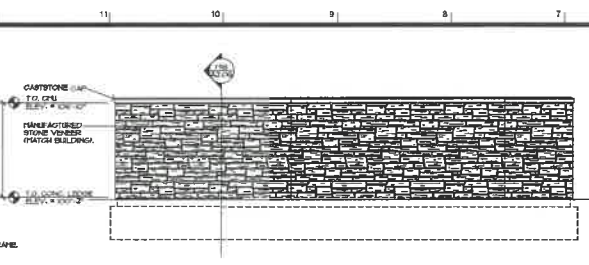
WEST DES MOINES, IOWA CIVIL DESIGN ADVANTAGE ENGINEER. TECH:



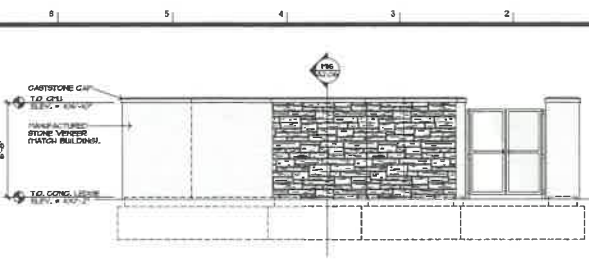
Q20 ENLARGED SCREEN WALL PLAN
1/4" = 1'-0"



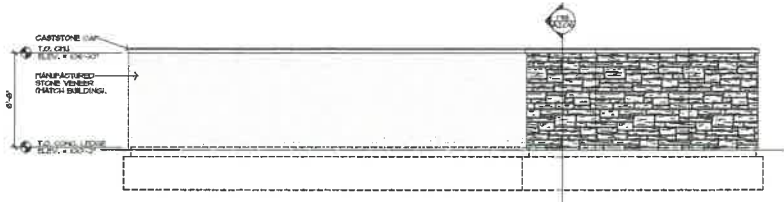
Q14 ENLARGED GATE
1/2" = 1'-0"



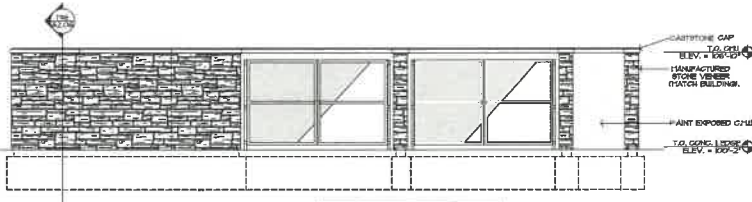
Q10 ENCLOSURE ELEVATION
1/4" = 1'-0"



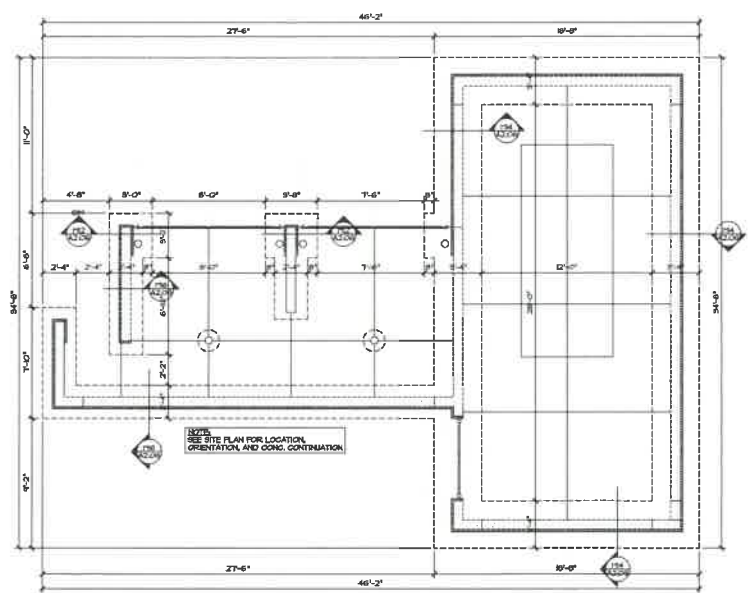
Q6 ENCLOSURE ELEVATION
1/4" = 1'-0"



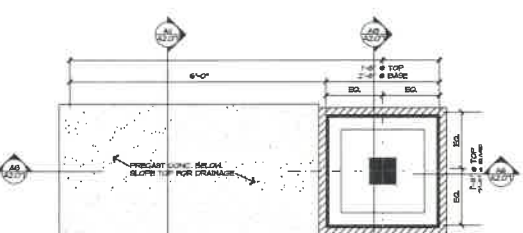
P12 ENCLOSURE ELEVATION
1/4" = 1'-0"



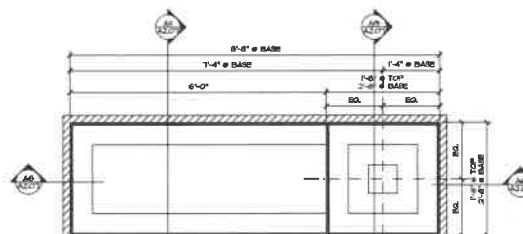
P7 ENCLOSURE ELEVATION
1/4" = 1'-0"



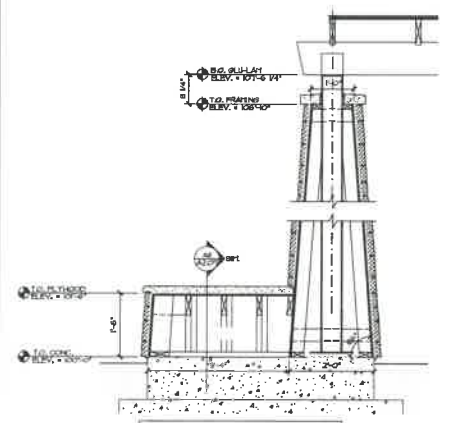
G12 TRASH & GENERATOR ENCLOSURE FOOTING PLAN
1/4" = 1'-0"



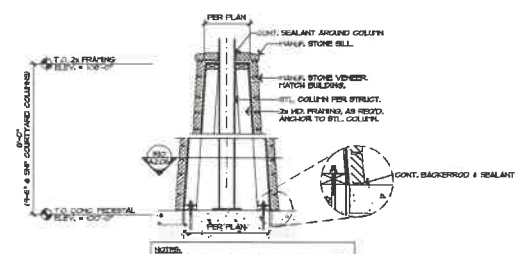
H5 COLUMN PLAN
1/4" = 1'-0"



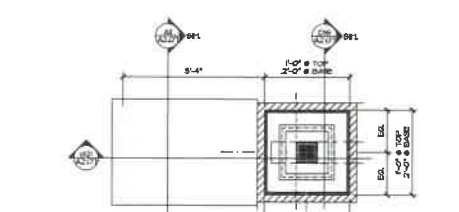
D5 COLUMN PLAN
1/4" = 1'-0"



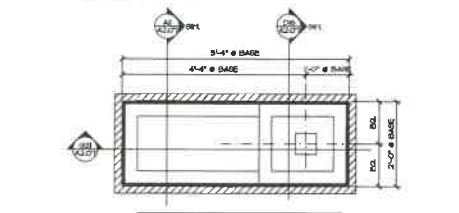
G21 COLUMN SECTION
1/4" = 1'-0"



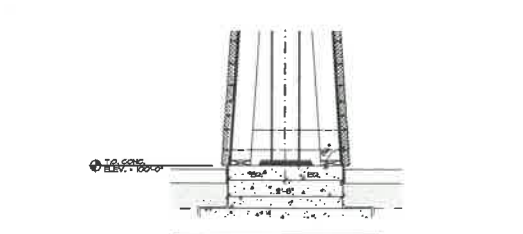
D16 TYP. EXT. COLUMN
3/4" = 1'-0"



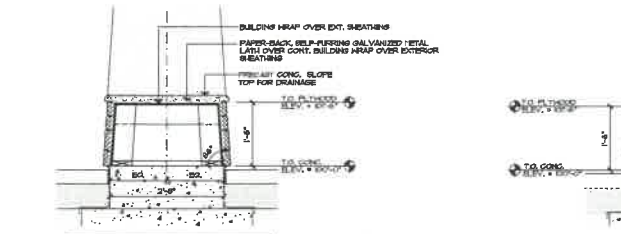
D21 COLUMN PLAN
1/4" = 1'-0"



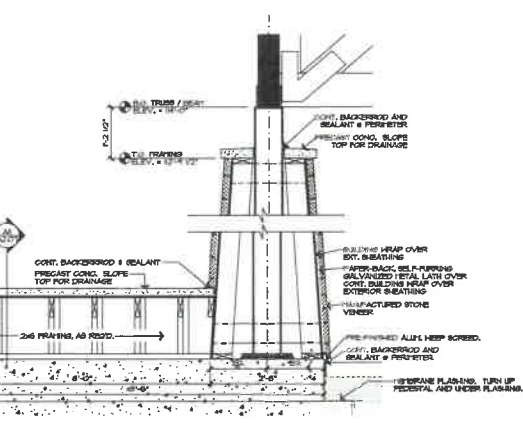
A21 COLUMN PLAN
1/4" = 1'-0"



A15 SECTION @ COLUMN
1/4" = 1'-0"



A11 SECTION @ COLUMN
1/4" = 1'-0"



A6 SECTION @ COLUMN
1/4" = 1'-0"

JOB NUMBER	1700
ISSUE DATE	08/11/15
REVISIONS	

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 CCRC OF WEST DES MONIES
 SCENIC DEVELOPMENT, LLC
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A2.07

JOB NUMBER	1700
ISSUE DATE	08/14/18
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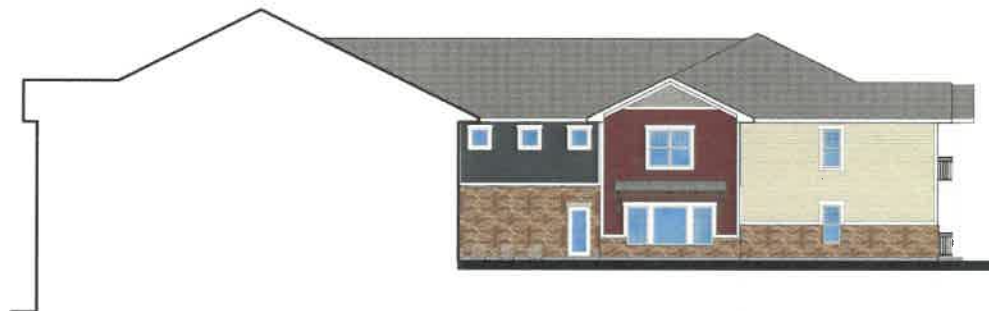
P21 NORTH ELEVATION - ILU WING
1/8" = 1'-0"



P6 EAST ELEVATION - ILU WING
1/8" = 1'-0"



K18 NORTH ELEVATION - ALU WING & V.C.
1/8" = 1'-0"



G20 SOUTH COURTYARD ELEVATION - ILU WING
1/8" = 1'-0"



G14 NORTH ELEVATION - ILU WING
1/8" = 1'-0"



A20 EAST ELEVATION - ILU WING
1/8" = 1'-0"

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EXTERIOR ELEVATIONS

A2.01



Q18 NORTH ELEVATION - ALU WING
1/8" = 1'-0"



Q15 EAST ELEVATION - ALU WING
1/8" = 1'-0"



L20 SOUTH ELEVATION - ILU WING
1/8" = 1'-0"



M15 WEST ELEVATION - ALU WING
1/8" = 1'-0"



J15 SOUTH ELEVATION - ILU WING
1/8" = 1'-0"



E20 SOUTH ELEVATION - ALU WING
1/8" = 1'-0"



A20 WEST ELEVATION - ILU WING
1/8" = 1'-0"

JOB NUMBER	1709
ISSUE DATE	08/14/18
REVISIONS	

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EXTERIOR ELEVATIONS
A2.02



J20 NORTH ELEVATION - SNF WING
1/8" = 1'-0"



N20 SOUTH COURTYARD ELEVATION - SNF WING
1/8" = 1'-0"



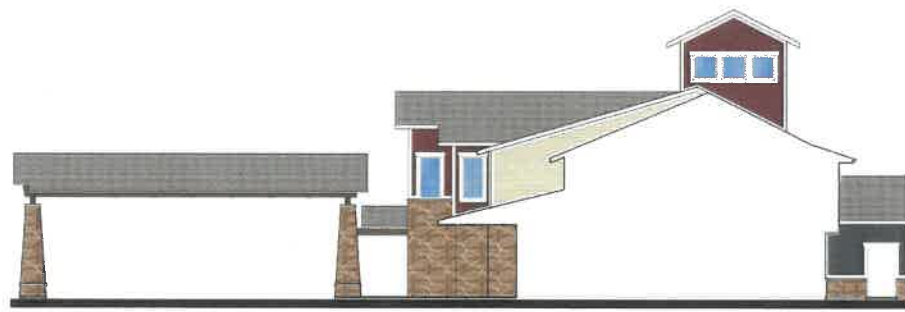
N12 S.W. ELEVATION - SNF WING
1/8" = 1'-0"



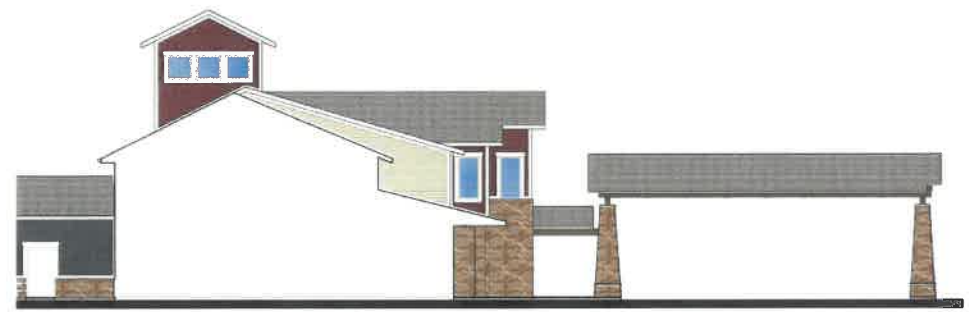
E12 SOUTH & WEST ELEVATION - SNF WING
1/8" = 1'-0"



R18 EAST ELEVATION - SNF WING
1/8" = 1'-0"



N8 WEST ELEVATION - VC & SNF WING
1/8" = 1'-0"



E20 EAST ELEVATION - VC & SNF WING
1/8" = 1'-0"

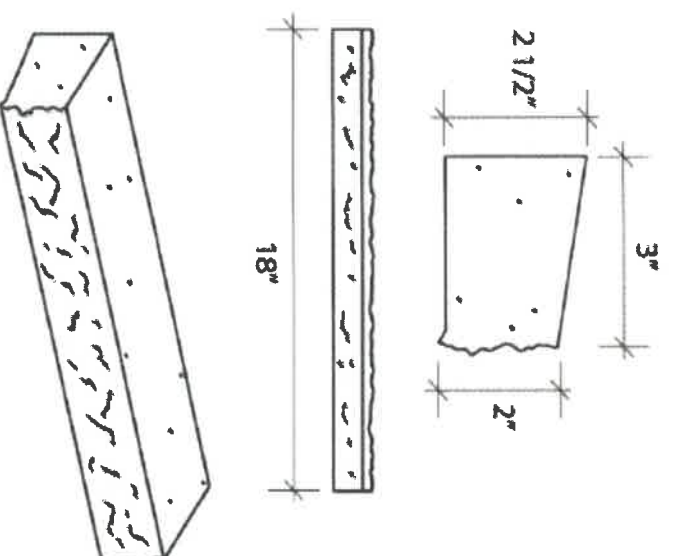


A20 WEST COURTYARD ELEVATION - SNF WING
1/8" = 1'-0"

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Accessory: Watertable Sills



Stone Specifications, Dimensions and Weights

Texture	Installation	Thickness	Height	Length
Natural Limestone texture, rough front, smooth top and sides.	Install at base of window or top of stone as a ledge.	3" - 7"	2" - 2.5"	17"-30"
Accessory Colors				
Autumn Leaves	Charcoal	Indian Brown		
Morning Mist	Sandy Buff	Texas Cream		
Sizes	Packaging	Weight		
18"	2 per Box	4 lbs		
30" X 3"	2 per Box	7 lbs		
30" X 7"	1 per Box	10 lbs		