

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: November 19, 2018

Item: City Campus Amphitheater, 4200 Mills Civic Parkway (Northeast of City Hall) – Approval of a special permit and related site plan to allow construction of a Community Amphitheater – City of West Des Moines, Parks and Recreation – SP-004025-2018

Requested Action: Recommend Approval of a Special Permit and related Site Plan

Case Advisor: J. Bradley Munford 

Applicant's Request: The applicant, City of West Des Moines, Parks and Recreation, represented by Matt Carlile with Confluence is requesting approval of a special permit and related site plan to allow construction of a Community Amphitheater, on approximately 3.6 acres located at 4200 Mills Civic Parkway (Northeast of City Hall). The proposed facility will feature a covered stage, lawn seating, plaza areas, public walkways and landscaped berms. The proposal will also include the use of food trucks on public property during held events.

History: The property was originally platted as West Des Moines City / School Campus in 1995. The Library was built in 1996. The property was replatted on April 1, 1997. City Hall and Valley Stadium were constructed in 2002.

City Council Subcommittee: This item was presented to the Development and Planning City Council Subcommittee on September 4, 2018. The Subcommittee expressed support of the development.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff notes the following:

- **Approval Procedure:** The approval process for this site plan application comes forward as a public hearing item, atypical from the procedure normally used for this application type. The zoning for this property (City Campus) is Residential Single Family (RS). Per the land use matrix within title 9, chapter 5, an amphitheater is not an allowed use within this zoning district. However, under Title 9, Chapter 3, Section 3, Subsection D,1,f, of the code, the City Council can make an exception for specific prohibited uses to allow Community building or recreation field, (Community Amphitheatre) through a special permit after a public hearing. In conjunction with the special permit, staff is also requesting approval of the related Site Plan (SP-004025-2018).

Screening of the Use and Mitigation of Sound: An outdoor assembly such as an amphitheater can generate sound and light that, if not addressed properly, could impact adjacent property owners. The applicant has taken a number of steps to mitigate light and sound anticipated to be generated from the proposed use. The following are a few of the most noteworthy:

- a) **Location and Distance:** The amphitheater is proposed northeast of City Hall between the pond and S35th Street. This site has a number of existing attributes that create a bowl shape that is being used to mitigate light and sound transfer to adjoining areas. To the north and west, is the West Des Moines Schools administration building (Learning Resource Center), The Library and City Hall. To the east of the site is a hill that swoops up to S35th Street and to the southeast there is a hill that leads up to Valley Southwoods School. In addition to these existing features, the closest development is a residential property that is over 1,000 feet away.
- b) **Third Party Verification of Projected Noise Levels:** During the design process for the site, the applicant hired an acoustical engineering firm to study and compare the current sound levels for the area during a typical day and night, the levels during a high school football game and the predicted levels of amplified music generated from the amphitheater. The acoustical engineer took measurements from five different locations and concluded that the amphitheater would exceed noise levels for a typical day, but would have a lower noise level than a high school football game. (See Exhibit E)

- c) *Additional Screening:* Although the existing features and topography of the area aids in mitigating the use, there remains a few areas around S35th Street where additional screening can be implemented. The applicant added landscaping in these areas and provided an illustrated cross-section to show how location, topography, distance and additional landscape screening will work together to mitigate the amphitheater's impact. (See Exhibit F)
 - d) *Duration of the events:* The applicant anticipates limited events occurring at the facility from April through October and starting no earlier than 8 am and generally extending no later than 10 pm. If an event is planned to run outside of these times, the applicant will need to abide by city code and request an extended sound permit from the City Council and provide notice to adjacent property owners by mail.
 - e) *Sound Permit:* The applicant intends to obtain a sound permit from the City for each events held at the venue. Because the applicant will have schedule of set events, they may pursue obtainment of a seasonal permit from the City Council to cover all events on an annual bases.
- *Parking:* Scheduling logistics for parking is critical for the area. The City Campus has 1,833 parking spaces that can support all uses within the campus if managed properly (See Exhibit G). It is important to have coordination between the different entities (The City of West Des Moines, Valley Church and the West Des Moines School District) that use the campus to make sure the events being held at any point do not create a need for parking that is more than what is provided. The applicant (West Des Moines Parks and Recreation) will take the responsibility of organizing with all of the groups that share parking and will create a City Campus Events Team that will make sure that the scheduling of events on the campus will not create a parking shortage.

Although the amphitheater is designed to hold up to 2,000 people, the applicant is anticipating the majority of their events to attract fewer than 500 people. For parking and traffic managements, the applicant will direct patrons to use the City Hall parking lot first and then the other parking lots on the campus. This is similar to the parking plan that is used for high school football games.

- *Food trucks:* The applicant is requesting to use food trucks during events held at this venue. Per Title 3 (Business and Licensing), Chapter 7 (Solicitors and Mobile Food Vendors), Section 4 (Mobile Food Units), Subsection E, mobile food vendors may operate on public property with the issuance of a Special Event Permit by the City Clerk. The Parks and Recreation Department will need to obtain specific Special Use Permits for each event, or if acceptable to the City Council, present a calendar of events for a given season for approval by the City Council collectively.
- *Sustainability goals:* As a part of the WDM 2036 Action Plan, it is a goal for City-owned properties and projects to incorporate elements to demonstrate sustainability initiatives. It is understood by the Parks Department that in the future, as funding becomes available, they will pursue opportunities to use this site to provide educational elements or informational features for sustainable or renewable energy options.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Site Plan Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.

3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Noticing Information: On November 9, 2018, notice of the November 19, 2018, Plan and Zoning Commission and November 26, 2018, City Council public hearings was published in the *Des Moines Register*. Notice of this public hearing also was mailed to all surrounding property owners within 370 feet of the subject property on November 6, 2018. Additionally, the Park and Recreation Department has held public meeting with the neighbors to explain the project and address concerns expressed.

Staff Recommendations and Conditions of Approval: Based upon the preceding review and a finding of consistency with the Comprehensive Plan, staff recommends that the Plan and Zoning Commission approve a resolution that recommends the City Council approval of a special permit and related site plan to allow for construction of a Community Amphitheater, subject to the applicant meeting all City Code requirements and the following:

1. Prior to the initiation of any site activities, the applicant providing final Site Plan drawings that are acceptable to the City.

Applicant:

City of West Des Moines, Parks and Recreation
 4200 Mills Civic Parkway
 West Des Moines, Iowa 50265

Applicant's Representatives:

Matt Carlile
 Confluence
 525 17th Street
 Des Moines, Iowa 50309
MCarlile@thinkconfluence.com

Attachments:

- | | | |
|--------------|---|-----------------------------------------|
| Attachment A | - | Plan and Zoning Commission Resolution |
| Exhibit A | - | Conditions of Approval |
| Attachment B | - | Location Map |
| Attachment C | - | Site Plans |
| Attachment D | - | Site Renderings |
| Attachment E | - | Noise Level Study Findings |
| Attachment F | - | Additional Screening Cross-section Plan |
| Attachment G | - | Parking Exhibit |

RESOLUTION NO. -PZC-18-080

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE CONSTRUCTION OF A COMMUNITY AMPHITHEATER ON THE CITY CAMPUS.

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, City of West Des Moines, Parks and Recreation, in accordance with Title 9, Chapter 3, Section D-1f, has requested approval of a special permit and related site plan to allow construction a Community Building or Recreation Field (Community Amphitheatre) on approximately 3.6 acres located at 4200 Mills Civic Parkway (Northeast of City Hall) (SP-004025-2018);

WHEREAS, studies and investigations were made and staff reports and recommendations were submitted which are made a part of this record and herein incorporated by reference;

WHEREAS, on November 19, 2018 this Commission held a duly-noticed meeting to consider the application for a special permit to allow for the construction of a Community Amphitheater (SP-004025-2018);

WHEREAS, on November 19, 2018 this Commission held a duly-noticed meeting to also consider the application for the Community Amphitheater Site Plan (SP-004025-2018);

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report or as amended orally at the Plan and Zoning Commission meeting are adopted.

SECTION 2. The special permit and related site plan to allow construction of a Community Building or Recreation Field (Community Amphitheatre) (SP-004025-2018) on that site located at 4200 Mills Civic Parkway (Northeast of City Hall) is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report including conditions added at the meeting and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on November 19, 2018.

Craig Erickson, Chair
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on November 19, 2018, by the following vote:

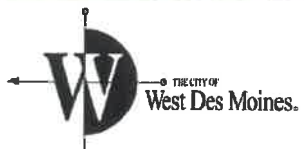
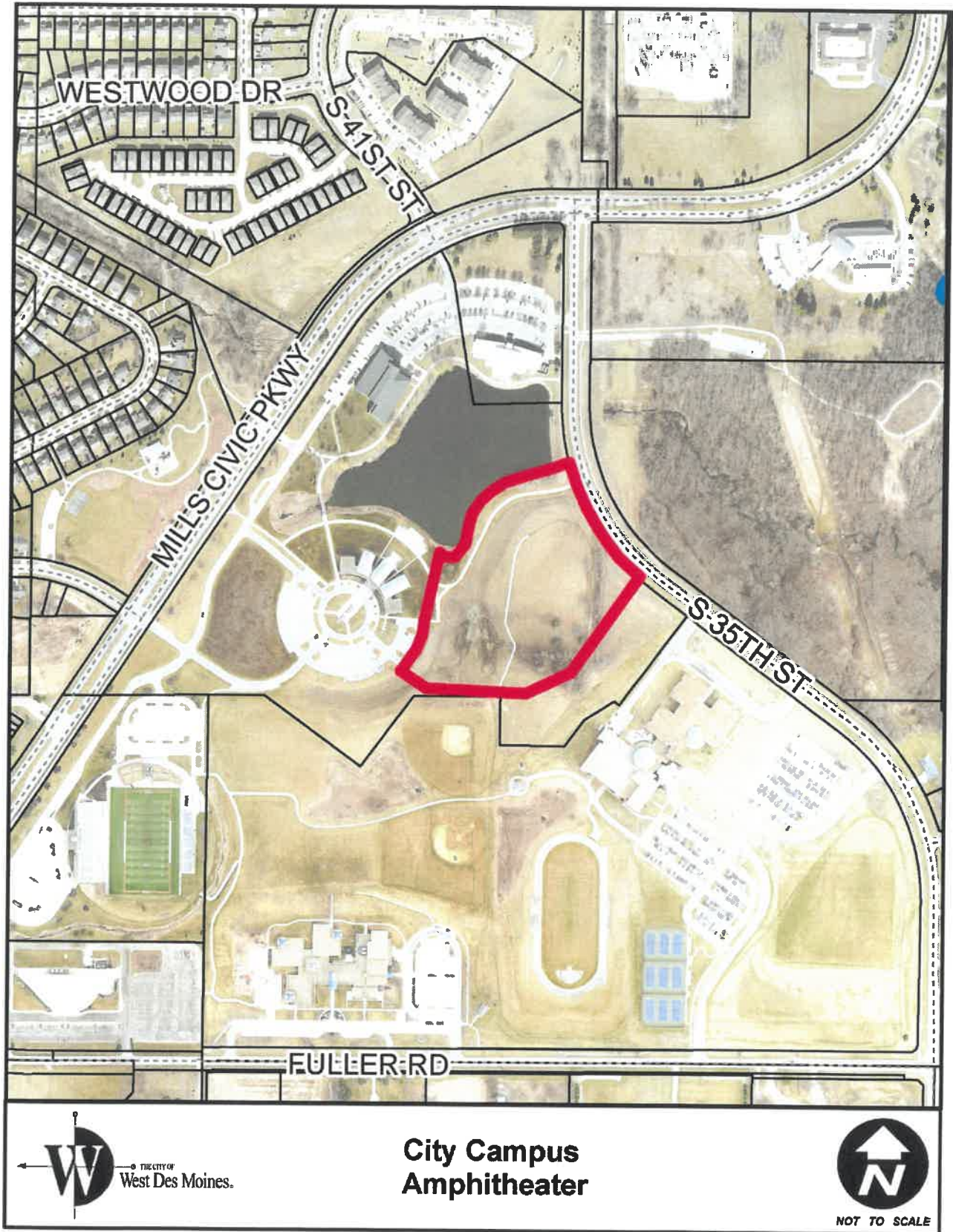
- AYES:
- NAYS:
- ABSTENTIONS:
- ABSENT:

ATTEST:

Recording Secretary

**EXHIBIT A
CONDITIONS OF APPROVAL**

1. Prior to the initiation of any site activities, the applicant providing final Site Plan drawings that are acceptable to the City.



**City Campus
Amphitheater**





WEST DES MOINES AMPHITHEATER

CITY OF WEST DES MOINES

4200 MILLS CIVIC PKWY

WEST DES MOINES / IOWA

CONFLUENCE PROJECT NO: 17144

CITY OF WEST DES MOINES PROJECT NO: 0510-046-2017

DRAWING INDEX

SHEET NUMBER	SHEET TITLE
L000	COVER SHEET
E01	EXISTING SITE INFORMATION
E02	EXISTING SITE INFORMATION
C100	UTILITY PLAN
C101	SANITARY SEWER PLAN & PROFILE
C102	EROSION CONTROL PLAN
C200	CIVIL DETAILS
C201	CIVIL DETAILS
L100	DEMOLITION PLAN
L101	DEMOLITION PLAN
L400	SITE LAYOUT PLAN
L401	SITE GRADING PLAN
L402	SITE GRADING PLAN ENLARGEMENT
L403	SITE GRADING PLAN ENLARGEMENT
L404	SITE PLANTING PLAN
L405	SITE PLANTING PLAN ENLARGEMENT
L500	IRRIGATION PLAN
L501	IRRIGATION SCHEDULES
L700	SITE DETAILS
L701	PLANTING DETAILS
L702	GRADING DETAILS
L800	PORTABLE RESTROOMS
S001	COVER SHEET
E101	ELECTRICAL LIGHTING PLAN
E011	ELECTRICAL DETAILS
E012	ELECTRICAL SCHEDULES
A0002	GENERAL DRAWING INFORMATION
A0004	CODE REVIEW
A000	SITE PLAN
A100	LAYOUT PLAN
A101	FLOOR PLAN LEVEL 1
A102	ELEVATION
A103	ELEVATION
A104	ELEVATION
A105	ELEVATION
A106	ELEVATION
A107	ELEVATION
A108	ELEVATION
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SYMBOLS AND ABBREVIATIONS

- PROPERTY LINE
- W WATER MAIN
- SSAN SANITARY SEWER
- ST STORM SEWER
- OE OVERHEAD ELECTRIC
- UE UNDERGROUND ELECTRIC
- CENTERLINE
- FO FIBER OPTIC LINE
- G GAS LINE
- EASEMENT LINE
- X SILT FENCE
- PROPOSED INDEX CONTOUR
- PROPOSED CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- C# HORIZONTAL CURVE
- CLL CONTRACT LIMIT LINE
- CLR CLEARANCE
- DIA DIAMETER
- EJ EXPANSION JOINT
- FES FLARED END SECTION
- FEE FINISHED FLOOR ELEVATION
- FL FLOW LINE
- HP HIGH POINT
- LP LOW POINT
- MFR MANUFACTURER
- N.L.C. NOT IN CONTRACT
- P.V.C. PIPE
- R RADIUS
- RCP REINFORCED CONCRETE PIPE
- RIM RIM ELEVATION
- FD FIRE HYDRANT
- WV WATER VALVE
- TC TEE CONNECTION
- LP LIGHT POLE, SINGLE FIXTURE
- LP LIGHT POLE, DOUBLE FIXTURE
- SE SPOT ELEVATION
- HC HORIZONTAL CONTROL POINTS
- KN KEY NOTE
- SD SURFACE DRAINAGE
- SM STORM MANHOLE
- SM STORM MANHOLE
- CL CLEANOUT
- SS STORM SEWER CURB INTAKE
- SS STORM SEWER AREA INTAKE
- HP HANDICAP PARKING STALL



OWNER / APPLICANT
 CITY OF WEST DES MOINES
 4200 MILLS CIVIC PARKWAY
 WEST DES MOINES, IOWA 50265-0320

CONTACT
 WILLIAM MABUCE
 EMAIL: wlmabuce@wdmwi.com

ZONING AND LAND USE
 EXISTING ZONING: RESIDENTIAL SINGLE FAMILY (RS)
 PROPOSED ZONING: RESIDENTIAL SINGLE FAMILY (RS)
 EXISTING LAND USE: OPEN SPACE
 PROPOSED LAND USE: AMPHITHEATER

SITE SUMMARY
 TOTAL SITE AREA: 158,266 SF (3.60 ACRES)

PARKING REQUIRED:
 1 STALL / 4 PEOPLE AT DESIGN CAPACITY
 DESIGN CAPACITY: 2,000
 TOTAL: 500 STALLS

PROVIDED:
 GENERAL PARKING: 1,844 STALLS
 HANDICAP: 102 STALLS
 TOTAL: 1,946 STALLS

PROJECT IS NOT CONSTRUCTING ANY NEW STALLS, BUT INSTEAD IS UTILIZING EXISTING CITY/SCHOOL CAMPUS PARKING LOTS. AT NE CORNER OF EXISTING CITY HALL PARKING, STALLS WILL BE RE-STRIPED TO CREATE 4 ACCESSIBLE STALLS.

LEGAL DESCRIPTION
 REPLAT WDM CITY/SCHOOL CAMPUS

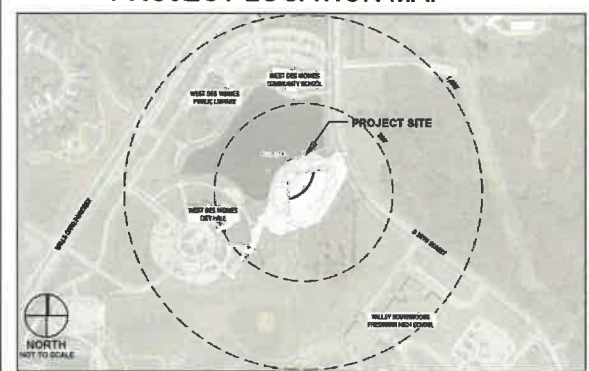
BENCHMARK INFORMATION
 HORIZONTAL DATUM: IOWA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, US FOOT VERTICAL DATUM: WEST DES MOINES LOCAL VERTICAL DATUM

CP1 SET MAG NAIL CP2 SET MAGNAIL
 NORTHING= 570043.4295 NORTHING= 570288.3345
 EASTING= 1570360.5827 EASTING= 1570214.1239
 ELEVATION= 158.580 ELEVATION= 142.710

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
SITE PLAN	5/15/2018	CITY SITE PLAN SUBMITTAL 1
SITE PLAN	10/02/2018	CITY SITE PLAN SUBMITTAL 2
SITE PLAN	10/31/2018	CITY SITE PLAN SUBMITTAL 3

PROJECT LOCATION MAP



IMPERVIOUS SURFACE CALCULATION

EXISTING IMPERVIOUS	10,500 S.F. (5.72% OF TOTAL SITE)
TO BE REMOVED IMPERVIOUS	10,500 S.F.
PROPOSED IMPERVIOUS	35,323 S.F. (22.60% OF TOTAL SITE)
TOTAL IMPERVIOUS	35,323 S.F. (22.60% OF TOTAL SITE)

CITY COORDINATION NOTES

ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DES MOINES METRO DESIGN STANDARDS AND WEST DES MOINES ADDENDUMS.

AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WEST DES MOINES ENGINEERING SERVICES AT 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.

PLANTING REQUIREMENTS:

TOTAL SITE AREA: 158,266 SF (3.60 ACRES)
 25% OPEN SPACE REQUIRED: 39,067 SF

OPEN SPACE:
 TREES REQUIRED: 28 (2 TREES / 3,000 SF OPEN SPACE)
 TREES PROVIDED: 51

SHRUBS REQUIRED: 39 (3 SHRUBS / 3,000 SF OPEN SPACE)
 SHRUBS PROVIDED: 40

LANDSCAPING BUFFERS: REQUIRED: TREES: NOT REQUIRED, SHRUBS: NOT REQUIRED
STREETSCAPE: REQUIRED: TREES: NOT REQUIRED, SHRUBS: NOT REQUIRED

LIGHTING + ELECTRICAL	CIVIL ENGINEER	ACOUSTICAL ENGINEER	ARCHITECT
MODUS 130 EAST 3RD ST. STE 300 DES MOINES, IOWA 50309 PHONE: 515.251.7280 CONTACT: CHRIS WOJTAJL	LARSON ENGINEERING 1001 OFFICE PARK RD STE. 214 WEST DES MOINES, IOWA 50265 PHONE: 515.225.4377 CONTACT: MIKE MURPHY, P.E.	ACOUSTICS BY DESIGN 124 FULTON ST E STE 200 GRAND RAPIDS, MI 49503-3232 PHONE: 866.272.9778 CONTACT: MELINDA MILLER, P.E.	OPN ARCHITECTS 100 COURT AVE. STE. 100 DES MOINES, IOWA 50309 PHONE: 515.309.0722 CONTACT: JOE WALLACE
SURVEY+ PROGRAMMING			
MCCLURE ENGINEERING 1360 NW 121ST STREET CLIVE, IOWA 50325 PHONE: 515.964.1229 CONTACT: ZACH MANNHEIMER			

LANDSCAPE ARCHITECT

CONFLUENCE
 525 17TH STREET
 DES MOINES, IOWA 50309
 PHONE: 515.288.4875
 CONTACT: MATT CARLILE



I HEREBY CERTIFY THAT THE PORTION OF THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

MATTHEW CARLILE IOWA REGISTRATION #422 DATE _____
 MY REGISTRATION DATE IS JUNE 30, 2019
 SHEETS COVERED BY THIS SEAL: _____



ISSUED FOR
 CITY REVIEW
 NOT FOR CONSTRUCTION

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EXISTING SURVEY LEGEND

SS	SANITARY SEWER LINE	(S)	SANITARY SEWER MANHOLE	(M)	MAINLINE MILE MARKER
FM	SANITARY SEWER FORCE MAIN LINE	(ST)	SEPTIC TANK LID	(P)	POINT OF SWITCH
ST	STORM SEWER LINE	(C)	STAND PIPE	(F)	FROG SWITCH
W	WATER LINE	(D)	STORM SEWER CLEANOUT	(RR)	RAILROAD CROSSING SIGN
E	UNDERGROUND ELECTRIC LINE	(M)	STORM SEWER MANHOLE	(B)	BOLLARD
OHE	OVERHEAD ELECTRIC LINE	(D)	STORM SEWER DRAINAGE INTAKE	(S)	STREET SIGN
C	UNDERGROUND COMMUNICATIONS LINE	(M)	STORM SEWER CURB INTAKE	(M)	MAILBOX
OHC	OVERHEAD COMMUNICATIONS LINE	(M)	STORM SEWER BEEHIVE INTAKE	(U)	MANHOLE (TYPE UNKNOWN)
T	UNDERGROUND TELEPHONE LINE	(M)	FLARED END SECTION	(H)	COMPOSITE HANDHOLE
OHT	OVERHEAD TELEPHONE LINE	(M)	FIRE HYDRANT	(D)	DECIDUOUS TREE
FO	FIBER OPTIC LINE	(M)	WATER VALVE	(E)	EVERGREEN TREE
OHPD	OVERHEAD FIBER OPTIC LINE	(M)	WATER VALVE MANHOLE	(S)	SHRUB OR BUSH
TV	UNDERGROUND TV/CABLE LINE	(M)	CURB STOP	(M)	STUMP
OHTV	OVERHEAD TV/CABLE LINE	(M)	WATER METER MANHOLE	(M)	MONITORING WELL
G	GAS LINE	(M)	POST INDICATOR VALVE	(M)	SOIL BORINGS
TRF	TRAFFIC LINE	(M)	YARD HYDRANT	(M)	FLAG POLE
---	CONTOUR LINES INTERMEDIATE	(M)	IRRIGATION VALVE	(M)	POINT OF FLOW
---	CONTOUR LINES INDEX	(M)	WATER SPOUT	(M)	SATELLITE DISH
---	PROPERTY LINE / LOT LINE	(M)	WATER MARKER	(M)	HEAT PUMP
---	RIGHT OF WAY LINE	(M)	SPRINKLER BOX	(M)	FIBER OPTIC MARKER
---	SECTION LINE	(M)	ELECTRIC MANHOLE	(M)	CONTROL POINT
---	EASEMENT	(M)	ELECTRIC PED	(M)	BENCHMARK
---	GUARD RAIL	(M)	ELECTRIC METER	(M)	TEMPORARY BENCHMARK
---	FIELD FENCE	(M)	AIR CONDITIONING UNIT	(M)	SECTION CORNER
---	CHAIN LINK FENCE	(M)	BREAKER BOX	(M)	IRON PIN SET
---	WOODEN FENCE	(M)	POWER POLE	(M)	CUT X SET
---	SILT FENCE	(M)	STREET LIGHT	(M)	IRON PIN FOUND
---	AGRICULTURE LINE	(M)	POWER POLE W/STREET LIGHT	(M)	CUT X FOUND
---	TREE LINE	(M)	POWER POLE W/TRANSFORMER	(M)	IRON PIN FOUND (2ND TYPE)
---	TOP OF SLOPE	(M)	FLOOD LIGHT	(M)	WOODEN POST
---	BOTTOM OF SLOPE	(M)	GUY WIRE	(M)	T POST
---	ROAD CENTERLINE	(M)	TRAFFIC SIGNAL	(M)	RAIL LIGHT
---	WATERWAY FLOWLINE	(M)	TRAFFIC BOX	(M)	TAHWAY REFLECTOR
		(M)	TRAFFIC MANHOLE	(M)	TAHWAY LIGHT (STAKED)
		(M)	SIGNAL CONTROL CABINET	(M)	MULTICOLOR RUNWAY LIGHT (STAKED)
		(M)	TELEPHONE MANHOLE	(M)	TAHWAY LIGHT (BASE)
		(M)	TELEPHONE PED	(M)	MULTICOLOR RUNWAY LIGHT (BASE)
		(M)	CABLE BOX	(M)	BEACON LIGHT
		(M)	CABLE MANHOLE	(M)	AVIATION GUIDANCE SIGN
		(M)	CABLE PED	(M)	WINDCONE
		(M)	GAS VALVE	(M)	WINDTEE
		(M)	GAS MARKER		
		(M)	GAS METER		
		(M)	OIL PIPELINE MARKER		

UTILITY QUALITY LEVELS:

UTILITY QUALITY LEVELS ARE BASED ON THE QIA/SC 38-02 STANDARD.

UTILITY QUALITY LEVEL A:
PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY THE ACTUAL EXPOSURE (OR VERIFICATION OF PREVIOUSLY EXPOSED AND SURVEYED UTILITIES) AND SUBSEQUENT MEASUREMENT OF SUBSURFACE UTILITIES.

UTILITY QUALITY LEVEL B:
INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

UTILITY QUALITY LEVEL C:
INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL B INFORMATION.

UTILITY QUALITY LEVEL D:
INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

ADDITIONALLY IN THE CASE OF MULTIPLE OWNERS OF THE SAME UTILITY TYPE SAID UTILITIES WILL BE ABBREVIATED WITH AN OWNER NUMBER (1, 2, 3, ETC) AND REFERENCED IN THE EXISTING UTILITY CONTACT INFORMATION SECTION.

EXAMPLES:

C1(B)	UNDERGROUND COMMUNICATIONS LINE- OWNER 1
C2(C)	UNDERGROUND COMMUNICATIONS LINE- OWNER 2
C3(D)	UNDERGROUND COMMUNICATIONS LINE- OWNER 3

EXISTING UTILITY CONTACT INFORMATION

IOC DESIGN TICKET #: 551703670
IOC LOCATE TICKET #: 551703805

BUCKEYE PARTNERS
CONTACT: DAVID JONES
PHONE #: (810) 904-4409
EMAIL: DA.JONES@BUCKEYE.COM

WEST DES MOINES WATER WORKS
CONTACT: KEVIN TREVILLYAN OR WILLIAM MABUCE
PHONE #: (515) 222-3510
EMAIL: DESIGN_LOCATES@WDMWWW.COM

CENTURYLINK
CONTACT: TOM STURMER
PHONE #: (720) 578-8090
EMAIL: THOMAS.STURMER@CENTURYLINK.COM

WEST DES MOINES TRAFFIC
CONTACT: RICK KNOWLES
PHONE #: (515) 222-3480
EMAIL: RICK.KNOWLES@WDM.IOWA.GOV

MIDAMERICAN
CONTACT: CRAIG RANFELD
PHONE #: (515) 252-6632
EMAIL: MECDSMDESIGNLOCATES@MIDAMERICAN.COM

MEDIACOM
CONTACT: PAUL MAY
PHONE #: (515) 246-2252
EMAIL: PMAY@MEDIACOMCC.COM



1-800-292-8989
www.iowaonecall.com

UTILITY WARNING

THE UTILITIES DEPICTED ON THIS DOCUMENT HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

EXISTING SITE INFORMATION



CONTROL POINTS

HORIZONTAL DATUM: IOWA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, US FOOT
VERTICAL DATUM: WEST DES MOINES LOCAL VERTICAL DATUM

CP1 SET MAG NAIL NORTHING= 570043.4295 EASTING= 1570380.5027 ELEVATION= 158.580	CP2 SET MAG NAIL NORTHING= 570288.3345 EASTING= 1570214.1239 ELEVATION= 142.710
CP3 SET MAG NAIL NORTHING= 570245.1126 EASTING= 1569978.7949 ELEVATION= 131.360	CP4 SET MAG NAIL NORTHING= 570058.5423 EASTING= 1569649.2698 ELEVATION= 129.209
CP5 SET MAG NAIL NORTHING= 569828.1922 EASTING= 1569717.9528 ELEVATION= 132.250	CP6 SET CUT X NORTHING= 569795.9034 EASTING= 1569685.7285 ELEVATION= 133.569

NOTE: THE INFORMATION DEPICTED ON THIS PAGE DOES NOT INTEND TO CONVEY A SURVEY LEVEL OF ACCURACY. ALL INFORMATION SHOWN IS APPROXIMATE WITH THE INTENT TO DISPLAY A BRIEF OVERVIEW OF THE PROJECT.



building strong communities

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fax 515-964-2370

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NORTH

THIS PAGE IS NOT TO SCALE

WEST DES MOINES AMPITHEATER EXISTING SITE INFO
WEST DES MOINES, IOWA

20717042
08/11/2017

REVISIONS
09/13/2017
08/09/2018

ENGINEER: J. DOUGHAN
DRAWN BY: C. CARLETON

CHECKED BY: J. DOUGHAN
FIELD BOOK NO.:

DRAWING NO. E.INFO
SHEET NO. 01/02

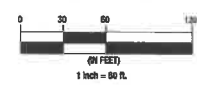
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NORTH

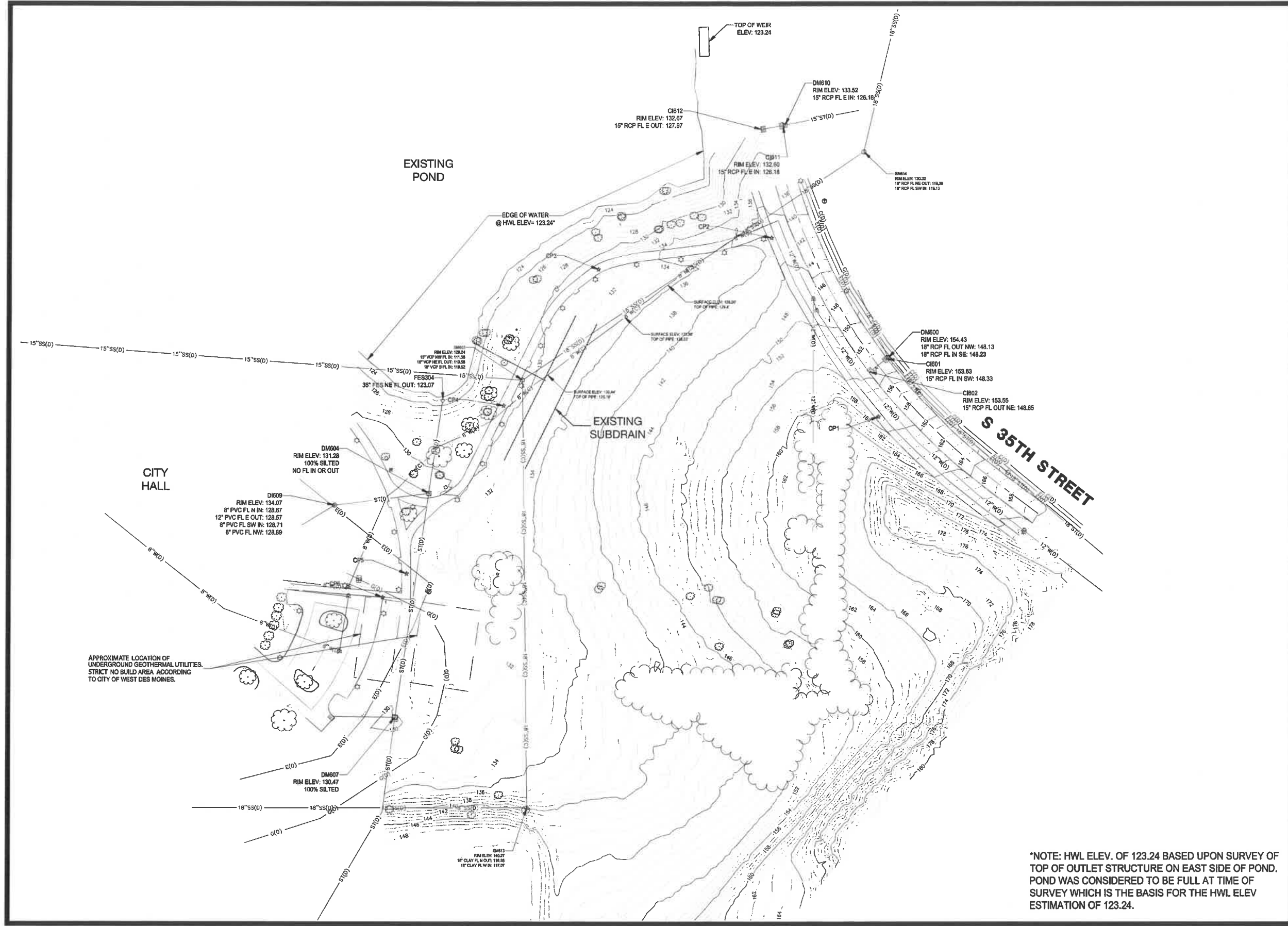


**WEST DES MOINES
AMPHITHEATER
EXISTING SITE INFO**

WEST DES MOINES, IOWA
20717042
08/11/2017
REVISIONS
09/13/2017
08/09/2018

DESIGNED BY —	DRAWN BY C. CARLETON
CHECKED BY J. DOUGHAN	FIELD BOOK NO. —
DRAWING NO. E.INFO	SHEET NO. 02 / 02

N:\Projects\WDM\2017\042\Drawn



*NOTE: HWL ELEV. OF 123.24 BASED UPON SURVEY OF TOP OF OUTLET STRUCTURE ON EAST SIDE OF POND. POND WAS CONSIDERED TO BE FULL AT TIME OF SURVEY WHICH IS THE BASIS FOR THE HWL ELEV ESTIMATION OF 123.24.

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WEST DES MOINES AMPHITHEATER
 CITY OF WEST DES MOINES
 WEST DES MOINES / IOWA

REVISION SCHEDULE			
REV	DATE	DESCRIPTION	BY
1	07/15/2018	CITY SITE PLAN SUBMITTAL 1	
2	09/05/2018	CITY SITE PLAN SUBMITTAL 2	
3	10/24/2018	CITY SITE PLAN SUBMITTAL 3	
4	10/30/2018	CITY SITE PLAN SUBMITTAL 4	

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UTILITY PLAN

CONFLUENCE PROJECT NO: 17144

C100

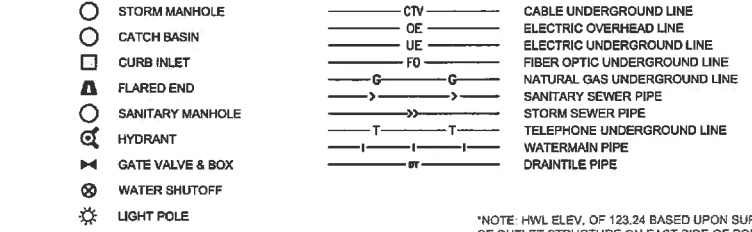
UTILITY NOTES

- It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
- All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
- The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
- The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
- Storm sewer requires testing where located within 10 feet of waterlines or the building, in accordance with Iowa plumbing code.
- HDPE storm sewer piping and fittings must meet materials and installation standards per Iowa plumbing code, including ASTM D3212 joint pressure test and ASTM C2321 installation practices. The City requires RCP pipe within the public right-of-way.
- Maintain a minimum of 5' of cover over all water lines and sanitary sewer lines. Install water lines 18" above sanitary sewers, where the sanitary sewer crosses over the water line, install sewer piping of materials equal to watermain standards for 9 feet on both sides and maintain 18" of separation.
- See Project Specifications for bedding requirements.
- Pressure test and disinfect all new watermains in accordance with state and local requirements.
- Sanitary sewer piping shall be PVC, SDR-35 for depths less than 12', PVC SDR-26 for depths between 12' and 26', and class 52 D.I.P. for depths of 26' or more.
- Install cleanout at end of each PVC drainline run. See Detail 3/C201.

CITY OF WEST DES MOINES NOTES

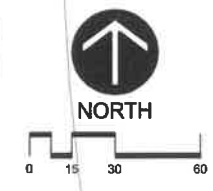
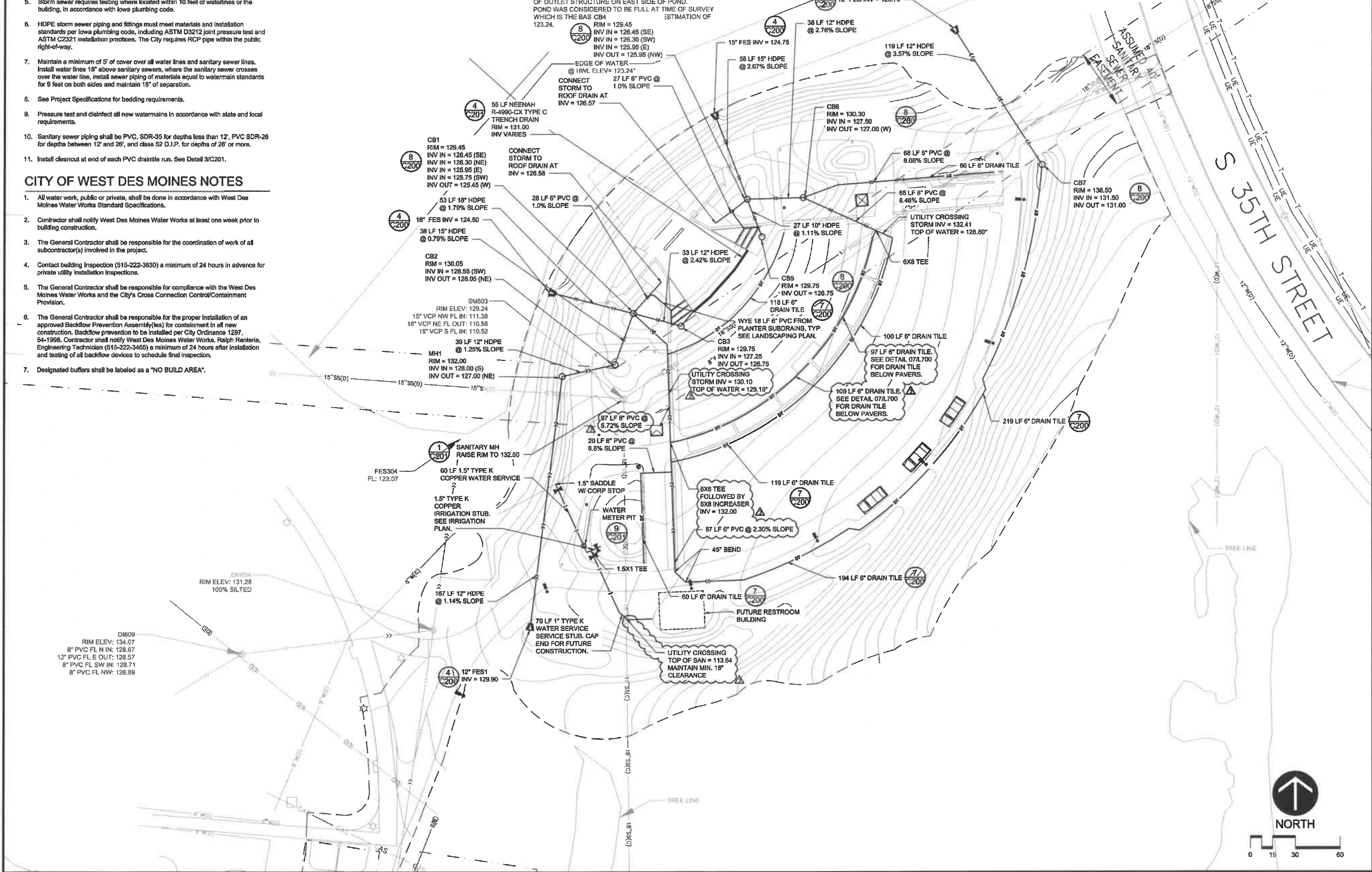
- All water work, public or private, shall be done in accordance with West Des Moines Water Works Standard Specifications.
- Contractor shall notify West Des Moines Water Works at least one week prior to building construction.
- The General Contractor shall be responsible for the coordination of work of all subcontractor(s) involved in the project.
- Contact building inspection (515-222-3830) a minimum of 24 hours in advance for private utility installation inspections.
- The General Contractor shall be responsible for compliance with the West Des Moines Water Works and the City's Cross Connection Control/Containment Provision.
- The General Contractor shall be responsible for the proper installation of an approved Backflow Prevention Assembly(ies) for containment in all new construction. Backflow prevention to be installed per City Ordinance 1297, 54-1998. Contractor shall notify West Des Moines Water Works, Ralph Renteria, Engineering Technician (515-222-3465) a minimum of 24 hours after installation and testing of all backflow devices to schedule final inspection.
- Designated buffers shall be labeled as a "NO BUILD AREA".

LEGEND



PRIVATE WATER MAIN QUANTITIES

1.5" WATER SERVICE	60 LF
1" WATER SERVICE	70 LF
1.5" SADDLE W/ CORP STOP	1 EA
1.5" VALVE	2 EA
1" VALVE	1 EA
1.5X1 TEE	1 EA
WATER METER PIT	1 EA



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WEST DES MOINES AMPHITHEATER
 CITY OF WEST DES MOINES
 WEST DES MOINES / IOWA

LAYOUT NOTES:

- ALL CURBS RAMPS TO BE BUILT AS PER FEDERAL ACCESSIBILITY STANDARDS.
- PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY ARE PREPARED BY MCCLURE ENGINEERING.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- VERIFY COORDINATES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY SLEEVES UNDER PAVING AND WALKS.
- PROPOSED SIGNAGE TO MEET CITY CODES FOR GROUND SIGNS.

LAYOUT KEY NOTES:

- (A) FOUNTAIN AERATOR (BY OWNER).
- (B) FUTURE FISHING PIER.
- (C) SEATWALL TERRACE.
- (D) TERRACE PLANTERS.
- (E) LOW WALL ; SEE 11/L700
- (F) RAISED BERMS.
- (G) CONCESSION AREA.
- (H) PORTABLE RESTROOM AREA.
- (I) CAST-IN-PLACE PAVING TYPE 1.
- (J) CAST-IN-PLACE PAVING TYPE 2.
- (K) FOOD TRUCK AREA.
- (L) SOUND BOOTH AREA.
- (M) LANDSCAPE ;SEE L500
- (N) LIGHT POLE ;SEE E100
- (O) LIGHT FIXTURE ;SEE E100
- (P) NEW ADA PARKING SPACES.
- (Q) FUTURE BUILT RESTROOMS.
- (R) EXISTING CONCRETE RAMP
- (S) RELOCATED MEMORIAL BENCH & CONCRETE PAD SEE DETAIL 06/L702
- (T) CONNECTION TO S 35TH ST SEE DETAIL 01/L702

SPECIAL PAVING LEGEND:

- TYPE 1: 6" REINFORCED
- TYPE 2: 6" REINFORCED
- TYPE 3: PERMEABLE PAVERS

CONTROL POINT DATA		
#	Position X	Position Y
P01	1570208.24	570295.29
P02	1570132.42	570289.31
P03	1570045.82	570271.97
P04	1569974.62	570268.89
P05	1569848.10	570127.00
P06	1569847.69	570056.49
P07	1569817.67	56975.30
P08	1569772.50	56926.42
P09	1569728.78	568819.36
P10	1569707.47	568759.49
P11	1569682.04	568757.80
P12	1569650.42	568771.84
P13	1569654.00	568901.20
P14	1569600.15	568971.32
P15	1569513.47	568973.80
P16	1570024.12	570012.80
P17	1570031.18	570011.36
P18	1570110.39	570100.22
P19	1570108.50	570107.16
P20	1570134.27	570221.42
P21	1570134.63	570234.87
P22	1570049.49	570227.97
P23	1570043.60	570231.88
P24	1570029.53	570230.74
P25	1570030.80	570215.04
P26	1570048.44	570214.46
P27	1570006.95	570128.29
P28	1570002.21	570131.97
P29	1569987.28	570115.21
P30	1569991.48	570110.93
P31	1569910.58	570059.87
P32	1569897.29	570057.29
P33	1569892.73	570062.69
P34	1569892.28	570076.80
P35	1569908.00	570077.32

REVISION SCHEDULE

DATE	DESCRIPTION
01/20/18	CITY SITE PLAN SUBMITTAL 1
10/02/18	CITY SITE PLAN SUBMITTAL 2
10/12/18	CITY SITE PLAN SUBMITTAL 3

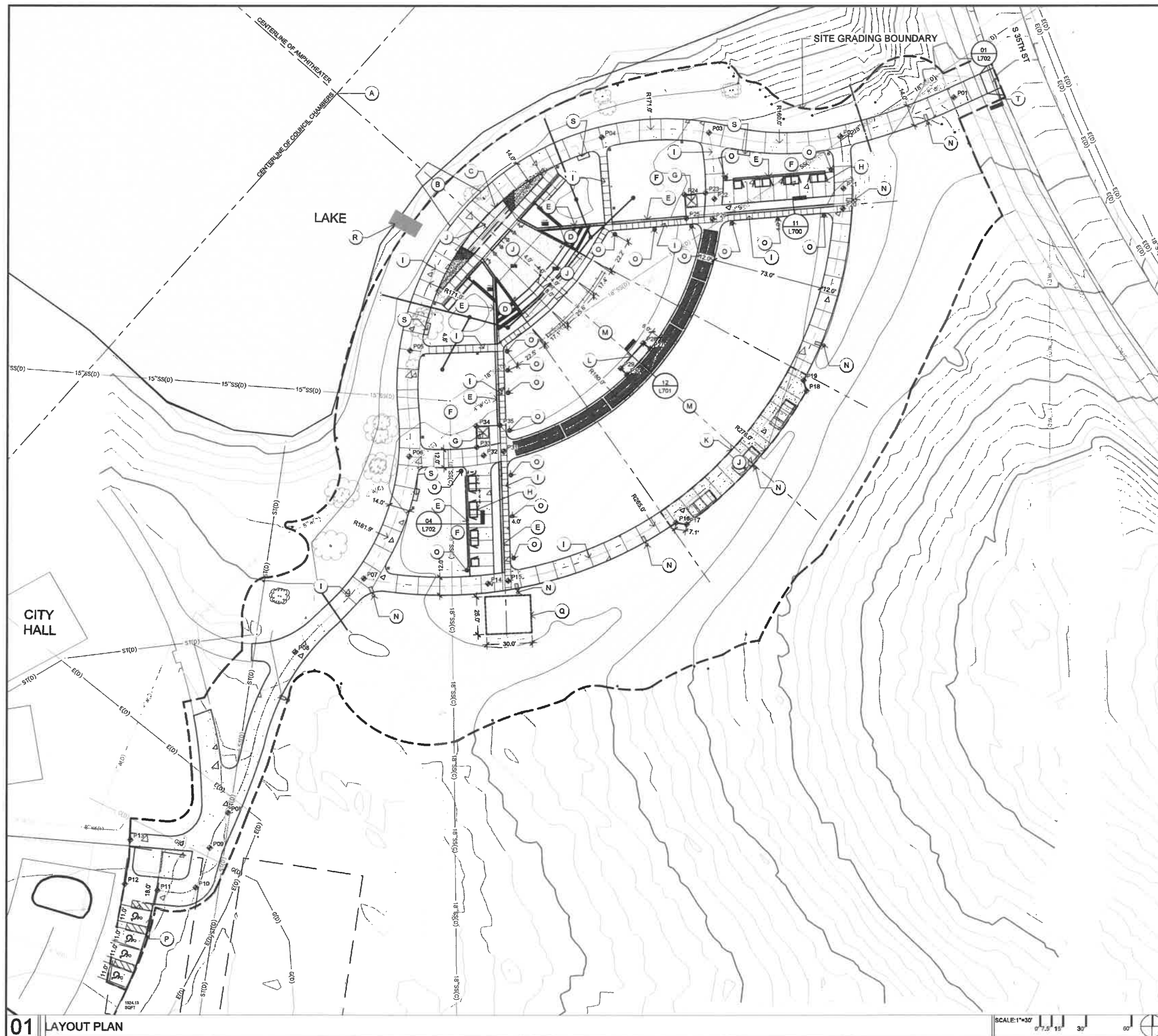
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SITE LAYOUT PLAN

CONFLUENCE PROJECT NO: 17144

L300



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1380 NW 121ST STREET
CLIVE, IOWA 50325
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WEST DES MOINES AMPHITHEATER
CITY OF WEST DES MOINES
WEST DES MOINES / IOWA

REVISION SCHEDULE

DATE	DESCRIPTION
01/15/2018	CITY SITE PLAN SUBMITTAL 1
02/05/2018	CITY SITE PLAN SUBMITTAL 2
03/15/2018	CITY SITE PLAN SUBMITTAL 3

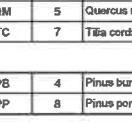
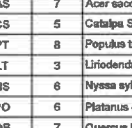
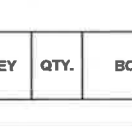
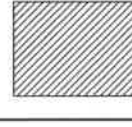
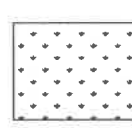
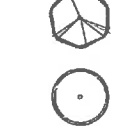
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SITE PLANTING PLAN

CONFLUENCE PROJECT NO: 17144

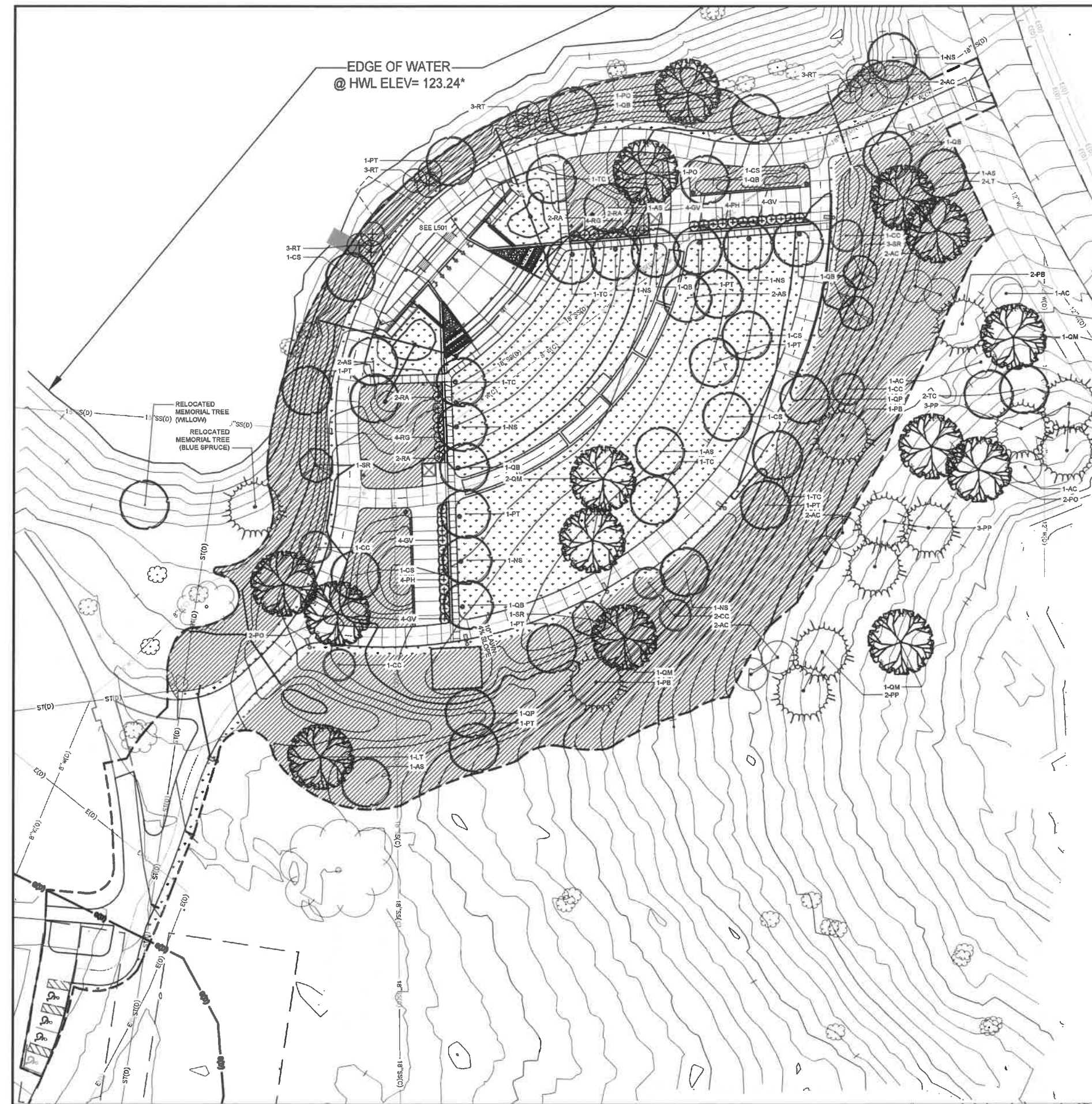
L500



- PLANTING NOTES:
- SOD ALL AREAS WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS, OR PLANTING BEDS, UNLESS OTHERWISE NOTED.
 - PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
 - NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT FITS ARE EXCAVATED.
 - CONTRACTOR SHALL PLACE SHREDDED BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3".
 - KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60-1992, OR MOST RECENT EDITION.
 - THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND INITIAL ACCEPTANCE OF THE PROJECT.
 - SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.
 - STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
OVERSTORY TREES						
AS	7	<i>Acer saccharum</i>	SUGAR MAPLE	2" CAL.	B&B	
CS	5	<i>Catalpa Speciosa</i>	NORTHERN CATALPA	2" CAL.	B&B	
PT	8	<i>Populus tremuloides</i>	QUAKING ASPEN	2" CAL.	B&B	
LT	3	<i>Liriodendron tulipifera</i>	TULIP TREE	2" CAL.	B&B	
NS	6	<i>Nyssa sylvatica</i>	BLACK GUM	2" CAL.	B&B	
PO	6	<i>Platanus occidentalis</i>	AMERICAN SYCAMORE	2" CAL.	B&B	
QB	7	<i>Quercus bicolor</i>	SWAMP WHITE OAK	2" CAL.	B&B	
QM	5	<i>Quercus macrocarpa</i>	BUR OAK	2" CAL.	B&B	
TC	7	<i>Tilia cordata</i>	LITTLE-LEAF LINDEN	2" CAL.	B&B	
EVERGREEN TREES						
PB	4	<i>Pinus bungeana</i>	LACEBARK PINE	8" HT	B&B	
PP	8	<i>Pinus ponderosa</i>	PINUS PONDEROSA	8" HT	B&B	
UNDERSTORY TREES						
AC	11	<i>Amelanchier canadensis</i>	SERVICEBERRY	8" HT	B&B	TREE FORM
CC	6	<i>Cercis canadensis</i>	EASTERN REDBUD	8" HT	B&B	TREE FORM
SR	5	<i>Syringa reticulata</i>	JAPANESE TREE LILAC	8" HT	B&B	TREE FORM
DECIDUOUS SHRUBS						
PH	8	<i>Physocarpus opulifolius</i> 'Center Glow'	NINEBARK	#3	CONT.	3'-0" O.C.
RT	12	<i>Rhus typhina</i>	STAGHORN SUMAC	#3	CONT.	3'-0" O.C.
RA	8	<i>Ribes alpinum</i>	ALPINE CURRANT	#3	CONT.	3'-0" O.C.
EVERGREEN SHRUBS						
GV	16	<i>Buxus</i> 'Green Velvet'	BOXWOOD	#3	CONT.	3'-0" O.C.
RG	8	<i>Rhododendron</i> 'Girard's Fuchsia'	EVERGREEN AZALEA	#3	CONT.	3'-0" O.C.
PERENNIALS						
AL	38	<i>Allium lusitanicum</i> 'Summer Beauty'	ALLIUM SUMMER BEAUTY	#1	CONT.	1'-6" TRIANGULAR SPACING
CT	12	<i>Coneopsis tripteris</i>	TALL TICKSEED	#1	CONT.	1'-6" TRIANGULAR SPACING
HR	16	<i>Helenium</i> 'Rubinzweg'	SNEEZEWEEED	#1	CONT.	1'-6" TRIANGULAR SPACING
NC	40	<i>Narcissus</i>	DAFFODIL	#1	CONT.	1'-6" TRIANGULAR SPACING
SN	8	<i>Salvia nemorosa</i> 'Lubeca'	SAGE	#1	CONT.	1'-6" TRIANGULAR SPACING
GRASSES						
BG	8	<i>Bouteloua gracilis</i> 'Blonde Ambition'	BLUE GRAMA	#1	CONT.	2'-0" O.C.
CA	14	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	FEATHER REED GRASS	#1	CONT.	2'-0" O.C.



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WEST DES MOINES AMPHITHEATER
 CITY OF WEST DES MOINES
 WEST DES MOINES / IOWA

REVISION SCHEDULE

DATE	DESCRIPTION
8/15/2018	CITY SITE PLAN SUBMITTAL 1
10/23/2018	CITY SITE PLAN SUBMITTAL 2
10/23/2018	CITY SITE PLAN SUBMITTAL 3

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SITE PLANTING PLAN

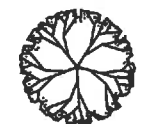
CONFLUENCE PROJECT NO: 17144

L501

PLANTING NOTES:

- SOD ALL AREAS WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS, OR PLANTING BEDS, UNLESS OTHERWISE NOTED.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
- NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT PITS ARE EXCAVATED.
- CONTRACTOR SHALL PLACE SHREDDED BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3".
- KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60-1992, OR MOST RECENT EDITION.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND INITIAL ACCEPTANCE OF THE PROJECT.
- SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.
- STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.

LARGE OVERSTORY TREE



OVERSTORY TREE



UNDERSTORY TREE



UNDERSTORY TREE



SHRUB



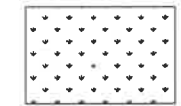
PERENNIAL



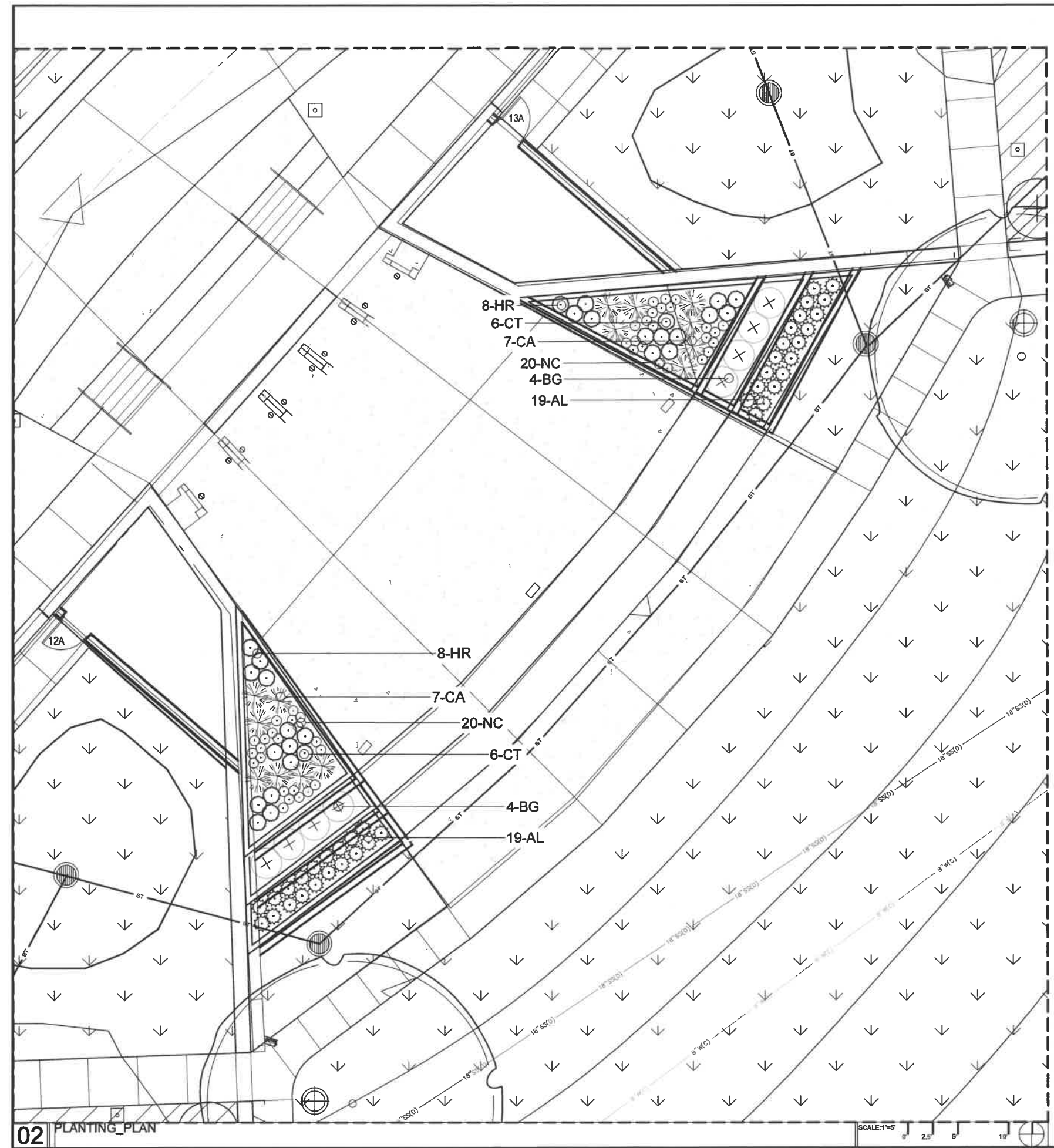
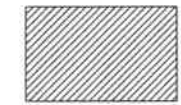
ORNAMENTAL GRASS



SOD



NATIVE SEED



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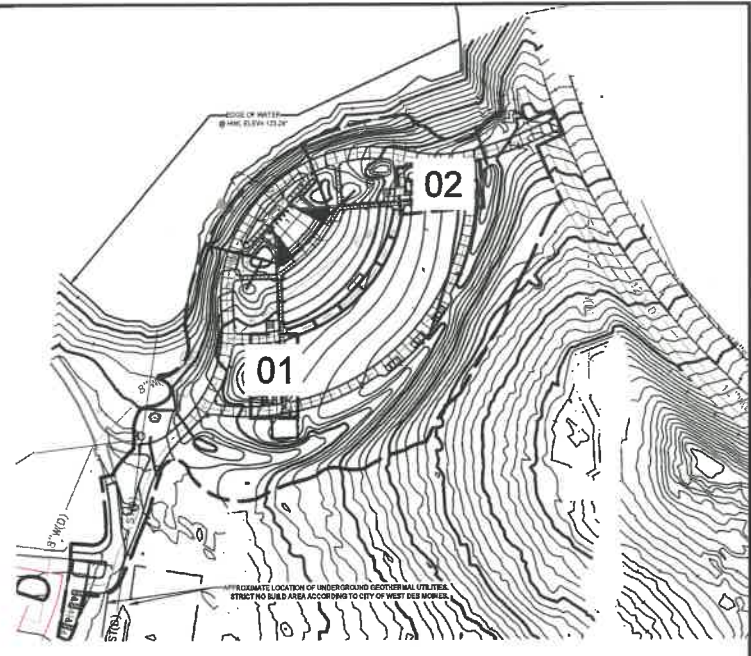
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OPN ARCHITECTS
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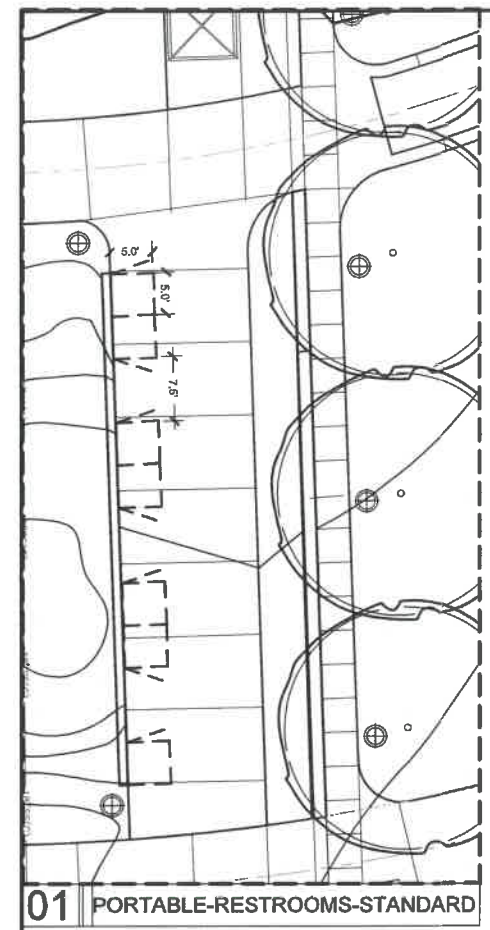
PORTABLE RESTROOMS - STANDARD
 TOTAL = 14 (7 EA AREA)
 5X5 STANDARD RESTROOMS



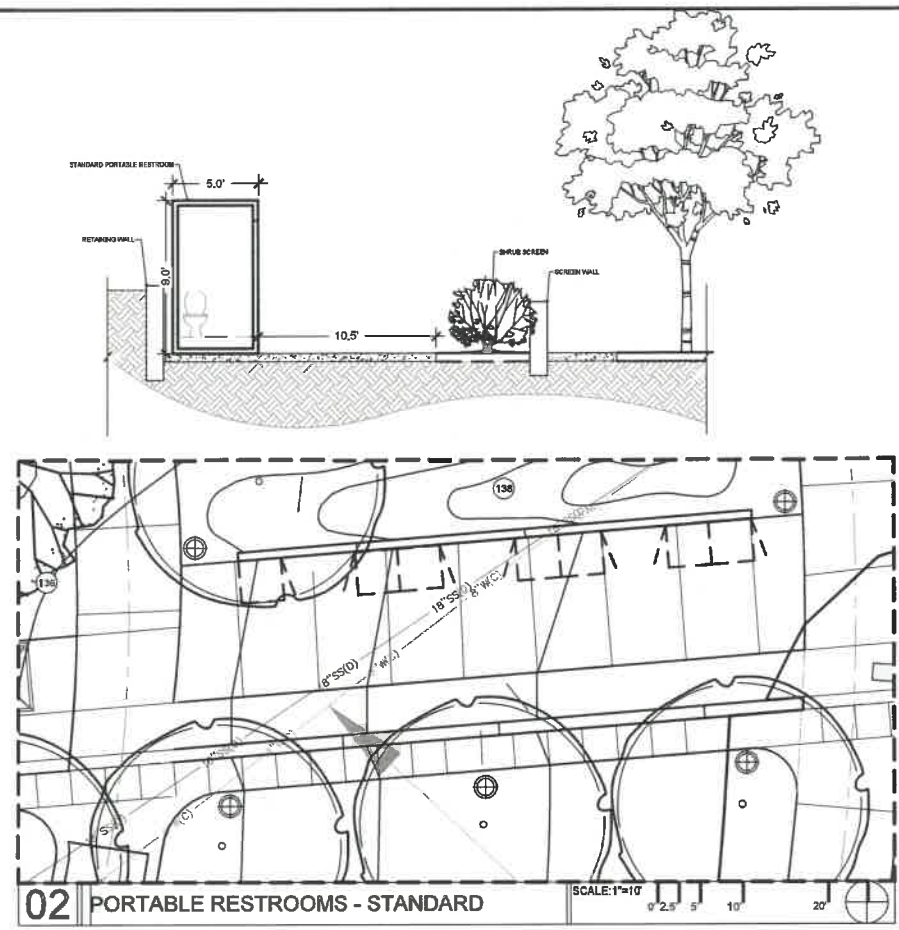
PORTABLE RESTROOMS - ADA STANDARD
 TOTAL = 16 (8 EA AREA)
 6.5 X 6.5 STANDARD ADA RESTROOMS
 REPLACE A COUPLE OF THE STANDARDS WITH ADA STANDARD STALLS



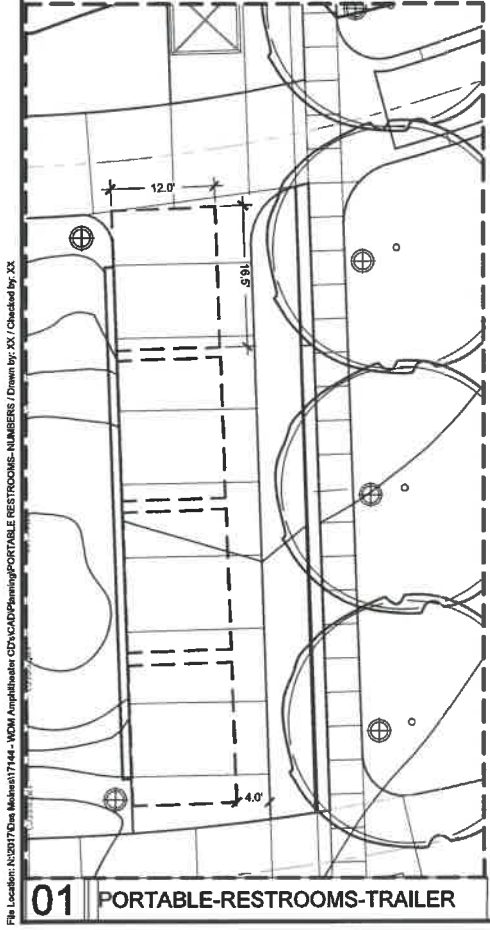
PORTABLE RESTROOMS - STANDARD
 TOTAL = 16 STALLS : 8 TRAILERS (2 STALLS PER TRAILER)
 16.5' X 12' (WITH STAIRS & LANDING)



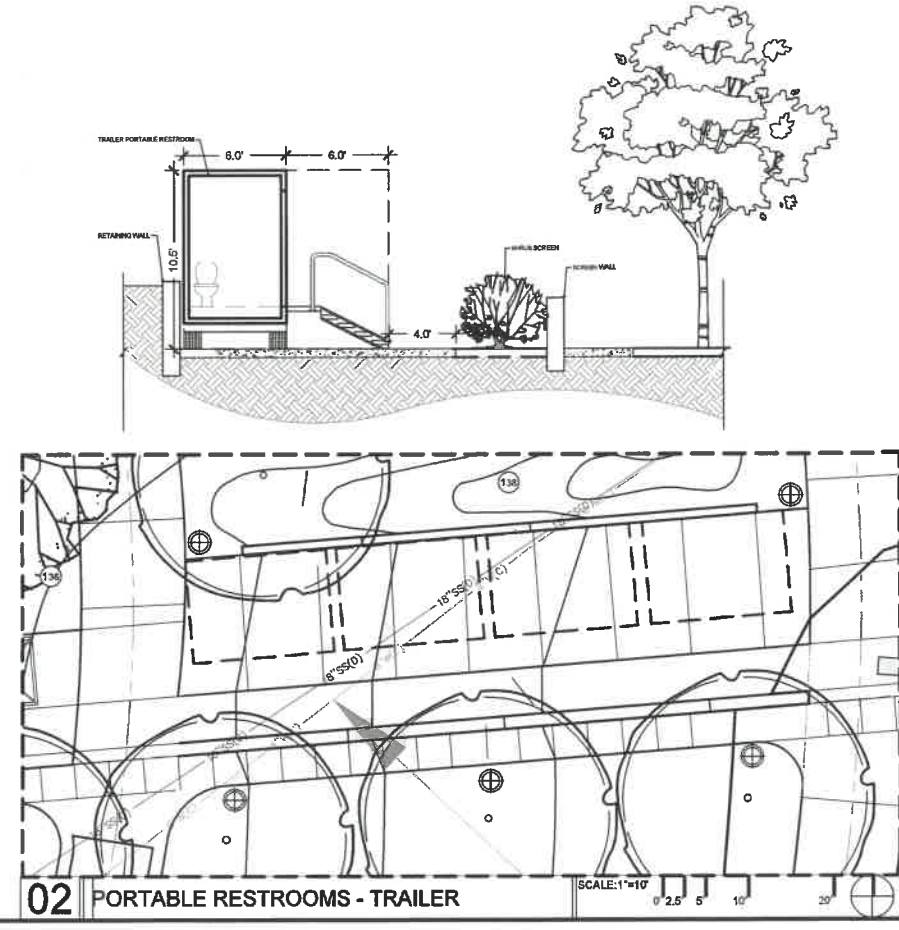
01 PORTABLE-RESTROOMS-STANDARD



02 PORTABLE RESTROOMS - STANDARD



01 PORTABLE-RESTROOMS-TRAILER



02 PORTABLE RESTROOMS - TRAILER

File Location: N:\0017\Des Moines\17144 - WDM Amphitheater\CD\CAD\Planning\PORTABLE RESTROOMS - NUMBERS / Drawn by: XX / Checked by: XX

WEST DES MOINES AMPHITHEATER
 CITY OF WEST DES MOINES
 WEST DES MOINES / IOWA

REVISION SCHEDULE		
BSK	DATE	DESCRIPTION
01	01/20/19	CITY SITE PLAN SUBMITTAL 1
02	02/20/19	CITY SITE PLAN SUBMITTAL 2
03	03/20/19	CITY SITE PLAN SUBMITTAL 3

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PORTABLE RESTROOMS

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L800

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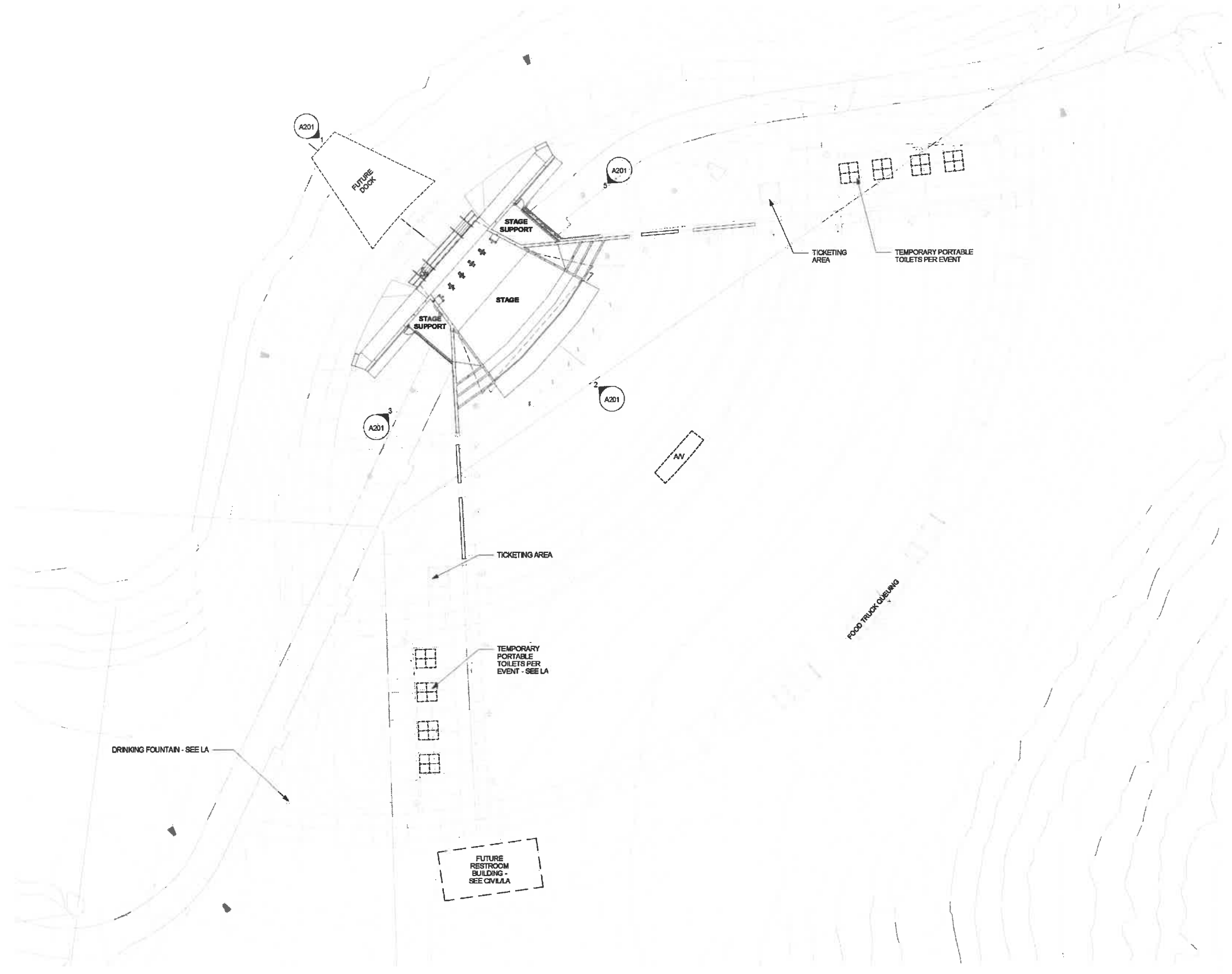
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WEST DES MOINES AMPHITHEATER

CITY OF WEST DES MOINES
 WEST DES MOINES / IOWA

REVISION SCHEDULE		
DATE	DATE	DESCRIPTION
SITE PLAN	01/20/2018	CITY SITE PLAN SUBMITTAL 1
SITE PLAN	02/02/2018	CITY SITE PLAN SUBMITTAL 2
SITE PLAN	10/31/2018	CITY SITE PLAN SUBMITTAL 3

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SITE PLAN

CONFLUENCE PROJECT NO: 17144

A050

1 SITE PLAN
 1" = 20'-0"

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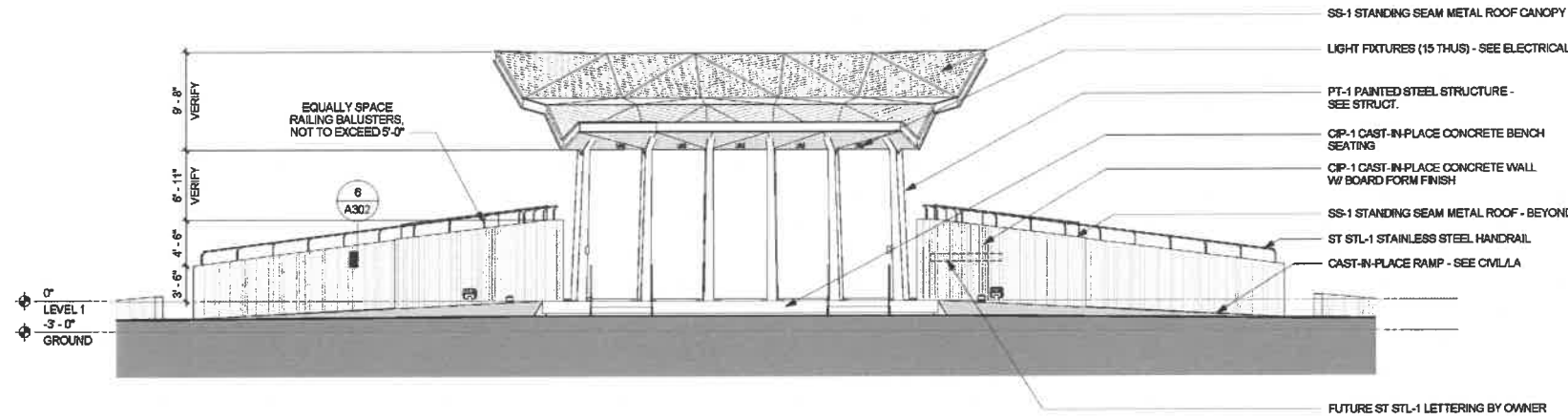
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 PH: 515.251.7280

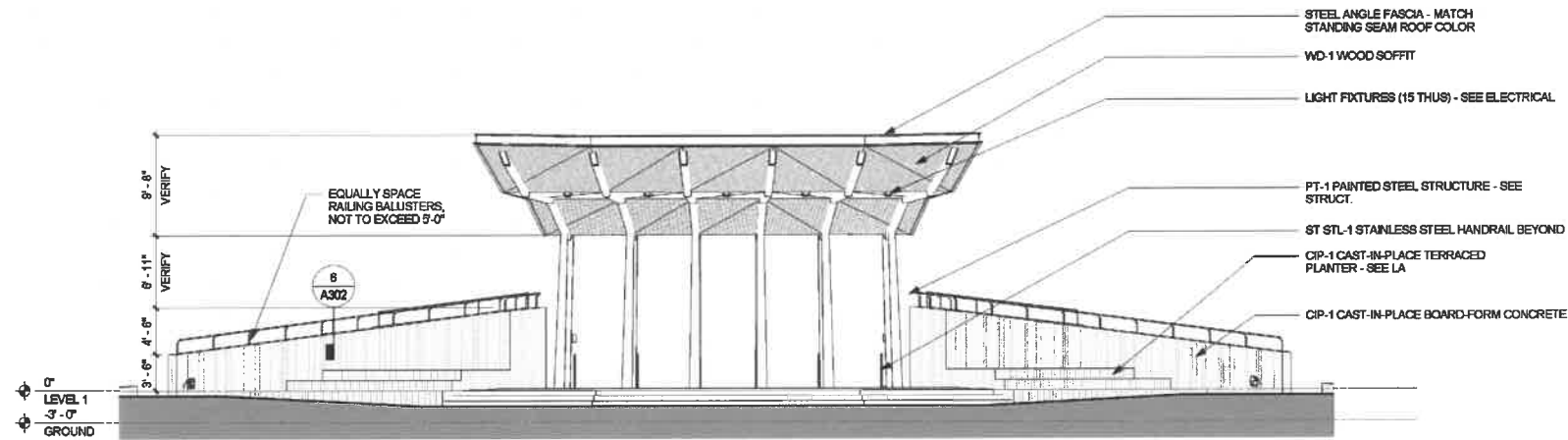
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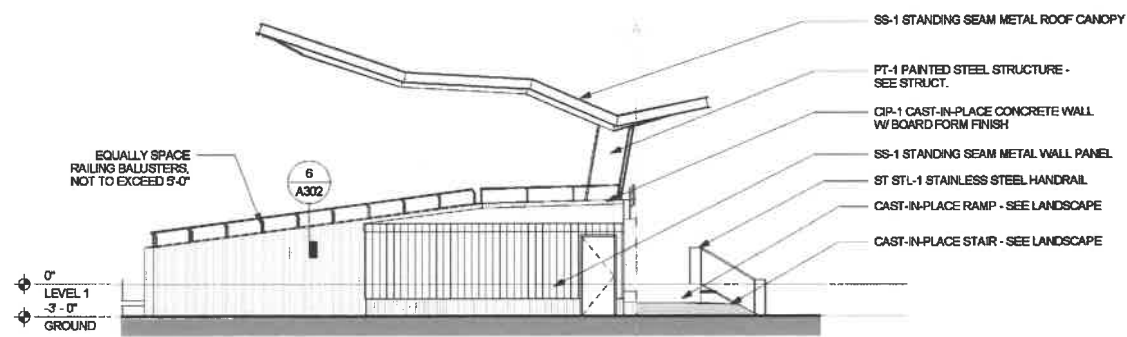
WEST DES MOINES AMPHITHEATER
 CITY OF WEST DES MOINES
 WEST DES MOINES / IOWA



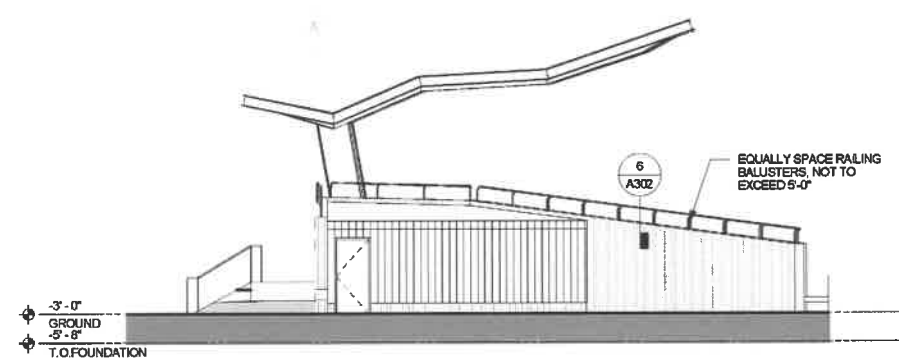
1 EXTERIOR ELEVATION - NORTH
 1/8" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
 1/8" = 1'-0"



5 EXTERIOR ELEVATION - EAST
 1/8" = 1'-0"



3 EXTERIOR ELEVATION - WEST
 1/8" = 1'-0"

REVISION SCHEDULE			
DATE	BY	REVISION	
01/15/2019	03/27/2019		
SITE PLAN	01/15/2019	CITY SITE PLAN SUBMITTAL 1	
SITE PLAN	03/27/2019	CITY SITE PLAN SUBMITTAL 2	
SITE PLAN	03/27/2019	CITY SITE PLAN SUBMITTAL 3	

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ELEVATIONS

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A201

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WEST DES MOINES AMPHITHEATER
 CITY OF WEST DES MOINES
 WEST DES MOINES / IOWA



3 BIRDS EYE PERSPECTIVE



4 RENDERED ELEVATION - NORTH



2 STAGE PERSPECTIVE



1 TRAILSIDE PERSPECTIVE

REVISION SCHEDULE		
DATE	BY	DESCRIPTION
07/15/2018		CITY SITE PLAN SUBMITTAL 1
10/02/2018		CITY SITE PLAN SUBMITTAL 2
10/31/2018		CITY SITE PLAN SUBMITTAL 3

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**PERSPECTIVES &
 AXONOMETRICS**

CONFLUENCE PROJECT NO: 17144

A250

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WEST DES MOINES AMPHITHEATER
 CITY OF WEST DES MOINES
 WEST DES MOINES / IOWA

REVISION SCHEDULE		
DATE	BY	DESCRIPTION
07/20/18		CITY SITE PLAN SUBMITTAL 1
10/02/2018		CITY SITE PLAN SUBMITTAL 2
10/02/2018		CITY SITE PLAN SUBMITTAL 3

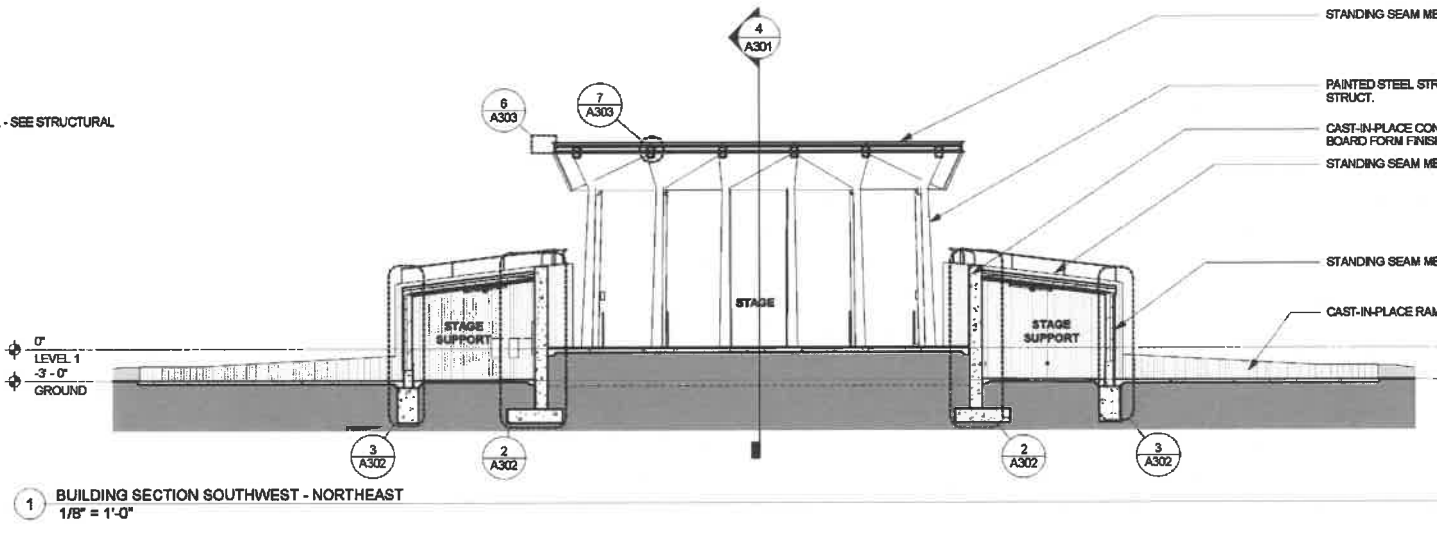
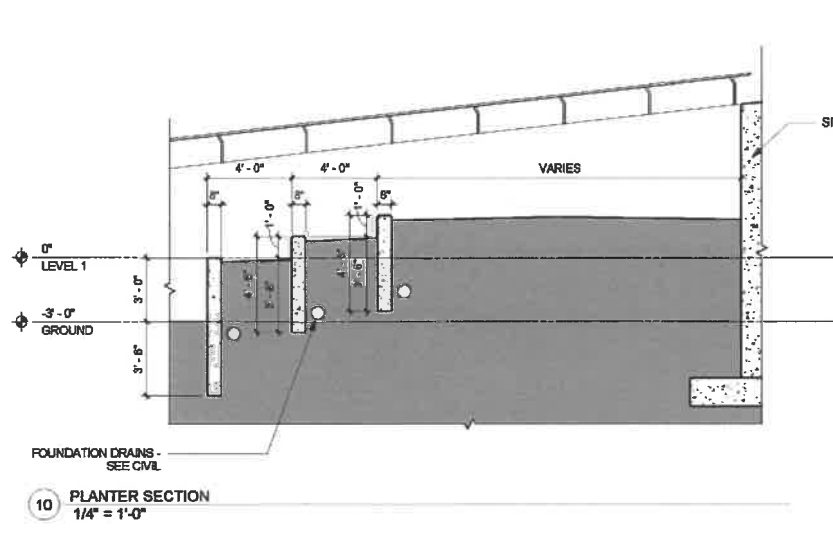
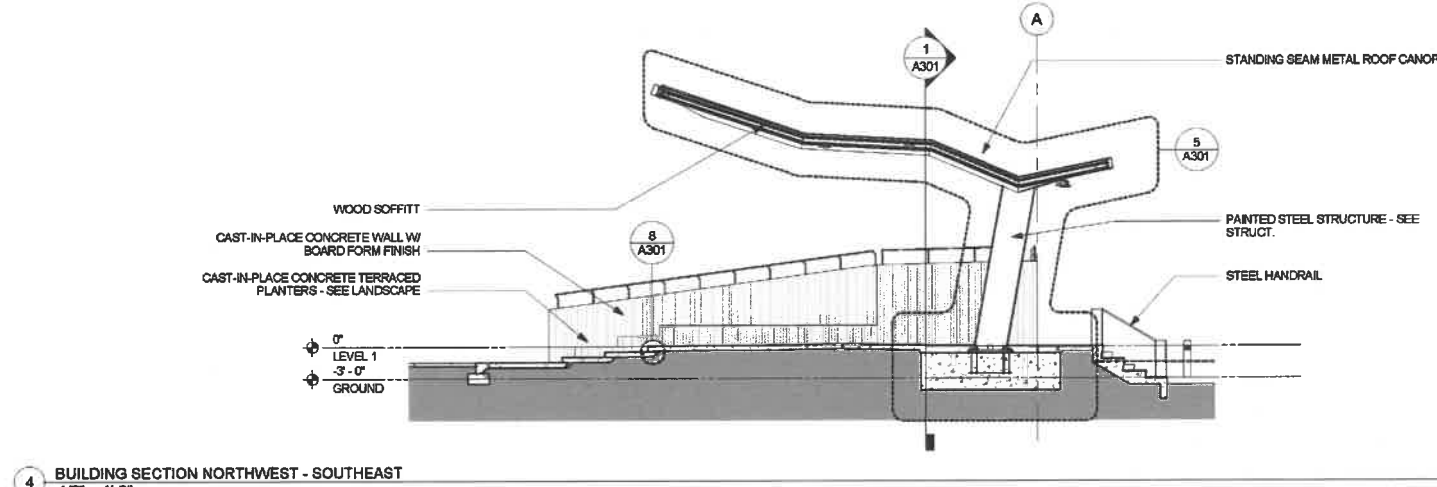
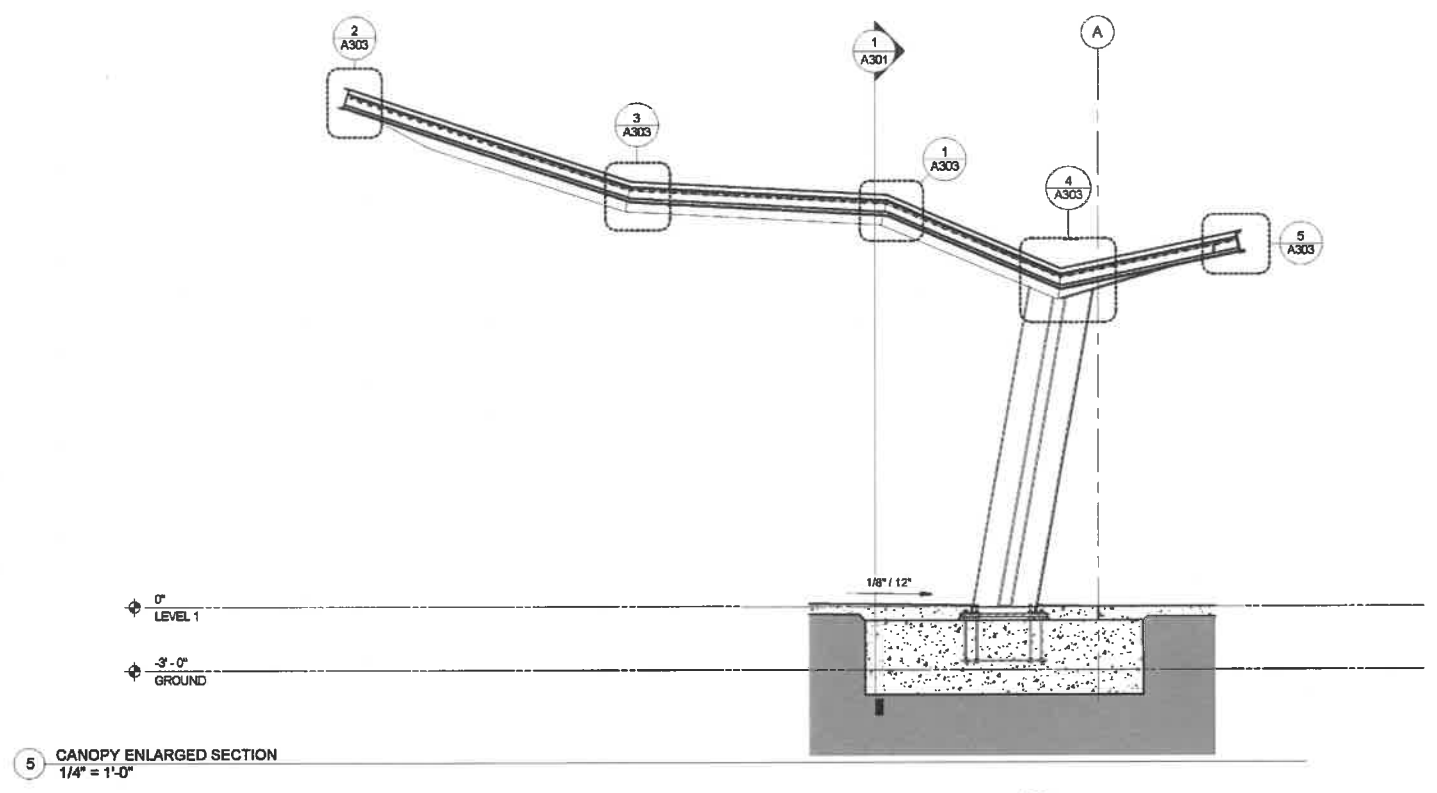
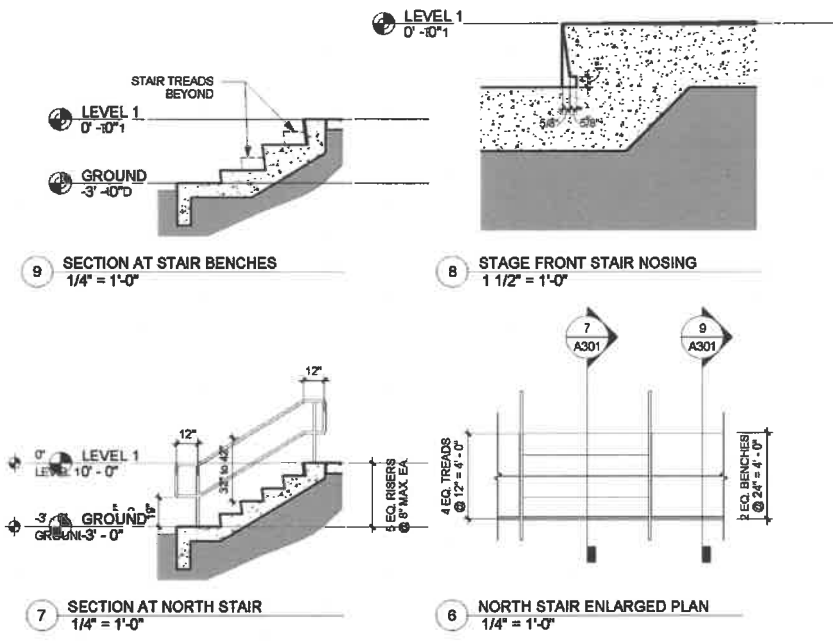
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BUILDING SECTIONS & DETAILS

CONFLUENCE PROJECT NO: 17144

A301



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CITY OF WEST DES MOINES
WEST DES MOINES / IOWA

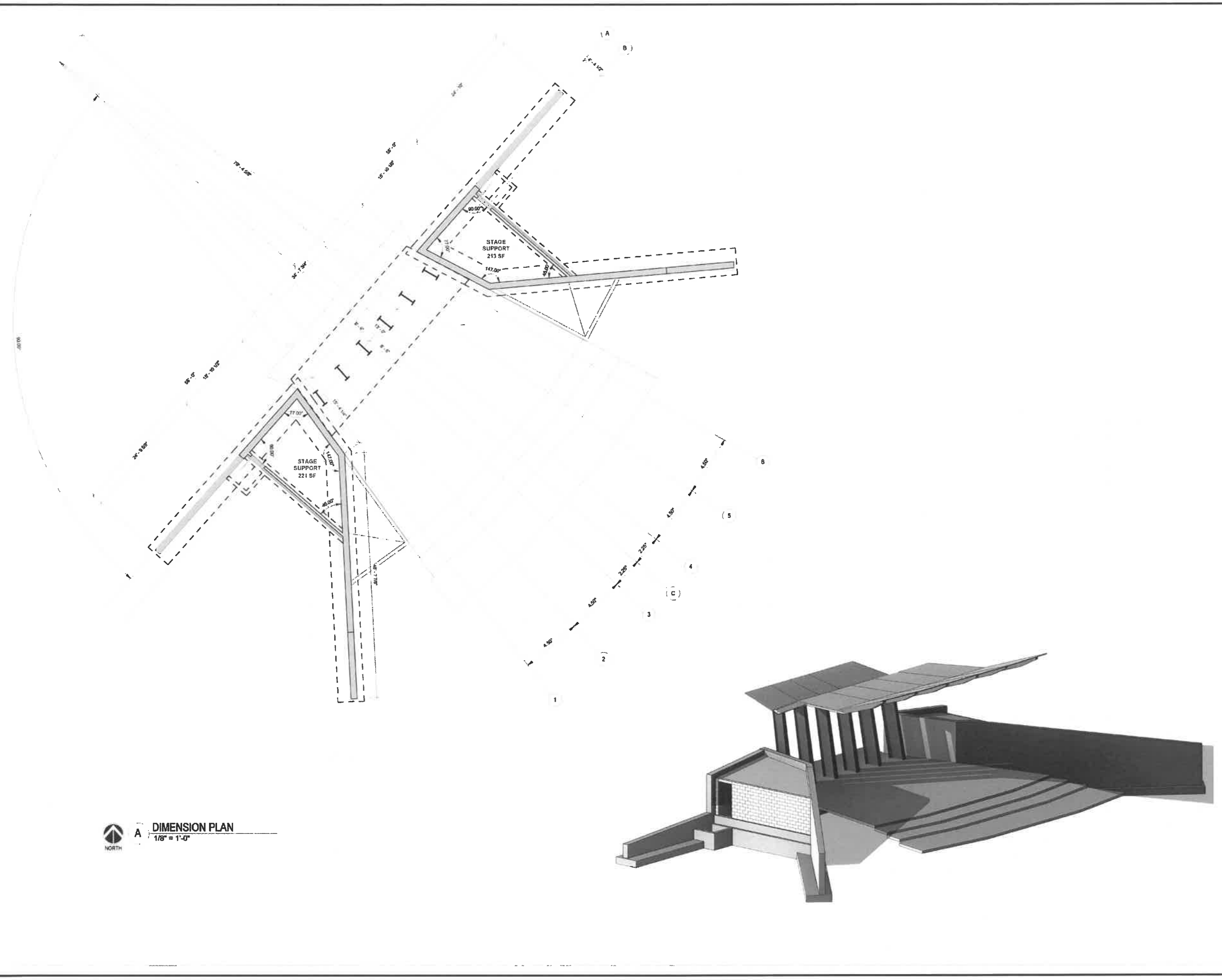
DATE	DESCRIPTION
01/15/2018	CITY SITE PLAN SUBMITTAL 1
10/03/2018	CITY SITE PLAN SUBMITTAL 2
10/31/2018	CITY SITE PLAN SUBMITTAL 3

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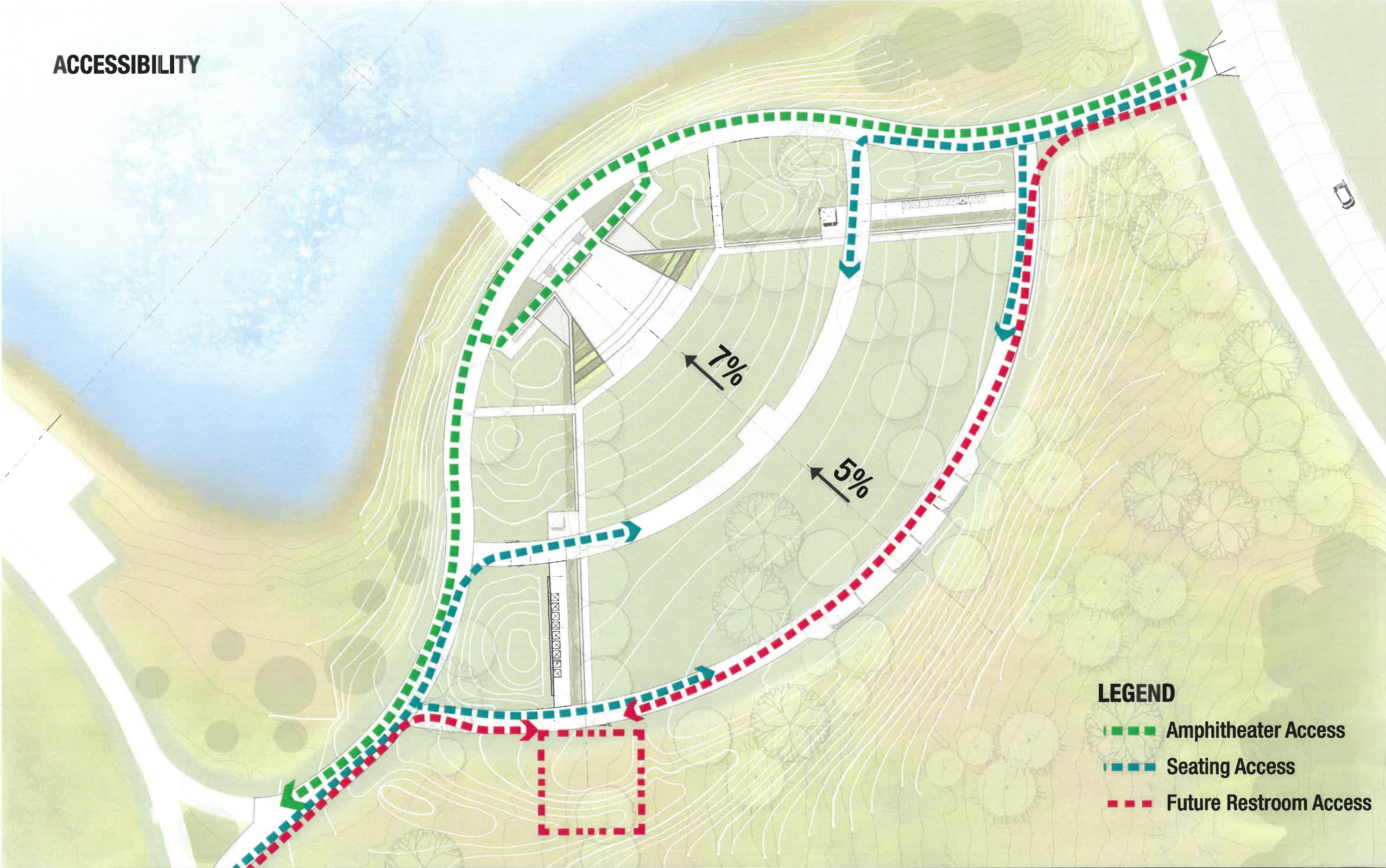
DIMENSION PLAN

CONFLUENCE PROJECT NO: 17144



A DIMENSION PLAN
1/8" = 1'-0"

ACCESSIBILITY



LEGEND

- Amphitheater Access
- Seating Access
- Future Restroom Access

ATTACHMENT D



4 RENDERED ELEVATION - NORTH



1 TRANSIDE PERSPECTIVE



5 BIRDS EYE PERSPECTIVE



2 STAGE PERSPECTIVE

MEASURED vs MODELED NOISE LEVELS



Location	Day/Night Measured Noise Level (dBA)	High School Football Game Noise Level (dBA)	Predicted Noise Level with Amplified Music (dBA)
1 (Amphitheater)	52/50	56	95
2	67/50	64	58
3	60/53	67	46
4	64/51	62	58
5	49/48	65	65

