

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: March 11, 2019

Item: West Des Moines Water Works Administration Building, 1505 Railroad Avenue – Approval of Site Plan to Construct a 7,000 sq. ft. Office Building – West Des Moines Water Works – MaM-004137-2018

Requested Action: Recommend Approval of Site Plan

Case Advisor: Kara V. Tragesser, AICP

Applicant's Request: The applicant, West Des Moines Water Works, with permission of the property owner, City of West Des Moines, is requesting approval of a site plan to construct a 7,000 sq. ft. office building at 1505 Railroad Avenue (see Attachments B – Location Map, Attachment C – Site Plan, and Attachment D – Elevations).

History: The property is developed with West Des Moines Water Works treatment plants and facilities buildings. There is an existing building on the property at the location for the proposed administration building that will be demolished as part of the construction of the new building. The West Des Moines Water Works is not able to own land assets, so the City of West Des Moines is the land holder.

City Council Subcommittee: This project was presented to Development and Planning Subcommittee on November 26, 2018. The Subcommittee is supportive of the project.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Due to the recent inclement weather, the consultant has been unable to verify existing site information which may result in some minor changes to the site plan and building elevations. Staff has added a condition of approval requiring submittal of finalized drawings prior to issuance of any building permit.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.

5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendations and Conditions of Approval: Based upon the preceding review and a finding of consistency with the Comprehensive Plan, staff recommends that the Plan and Zoning Commission adopt a resolution recommending the City Council approve the site plan to construct a 7,000 sq. ft. office building at 1505 Railroad Avenue, subject to the applicant meeting all City Code requirements and the following condition:

1. Applicant must provide finalized site plan and building elevation drawings prior to issuance of any building permit.

Owner: City of West Des Moines
PO Box 65320
West Des Moines IA 50265

Applicant: West Des Moines Water Works
1505 Railroad Avenue
West Des Moines IA 50265

Applicant Representative: Brent Strauch
Shive-Hattery
4125 Westown Parkway Suite 100
West Des Moines IA 50265

Attachments:

Attachment A	-	Plan and Zoning Commission Resolution Exhibit A – Conditions of Approval
Attachment B	-	Location Map
Attachment C	-	Site Plan
Attachment D	-	Elevations

RESOLUTION NO. PZC-19-021

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE THE WEST DES MOINES WATER WORKS ADMINISTRATION BUILDING SITE PLAN (MaM-004137-2018) TO CONSTRUCT A 7,000 SQ. FT. OFFICE BUILDING AT 1505 RAILROAD AVENUE

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, West Des Moines Water Works, with permission from the property owner, City of West Des Moines, has requested approval for a Major Modification to a Site Plan (MaM-004137-2018) to construct a 7,000 sq. ft. office building at 1505 Railroad Avenue; and

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, on March 11, 2019, this Commission held a duly-noticed public meeting to consider the application for a Major Modification to a Site Plan.

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report, March 11, 2019, or as amended orally at the Plan and Zoning Commission meeting, are adopted.

SECTION 2. The Major Modification to a Site plan to construct a 7,000 sq. ft. office building is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report including conditions added at the meeting and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on March 11, 2019.

Craig Erickson, Chair
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on March 11, 2019.

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

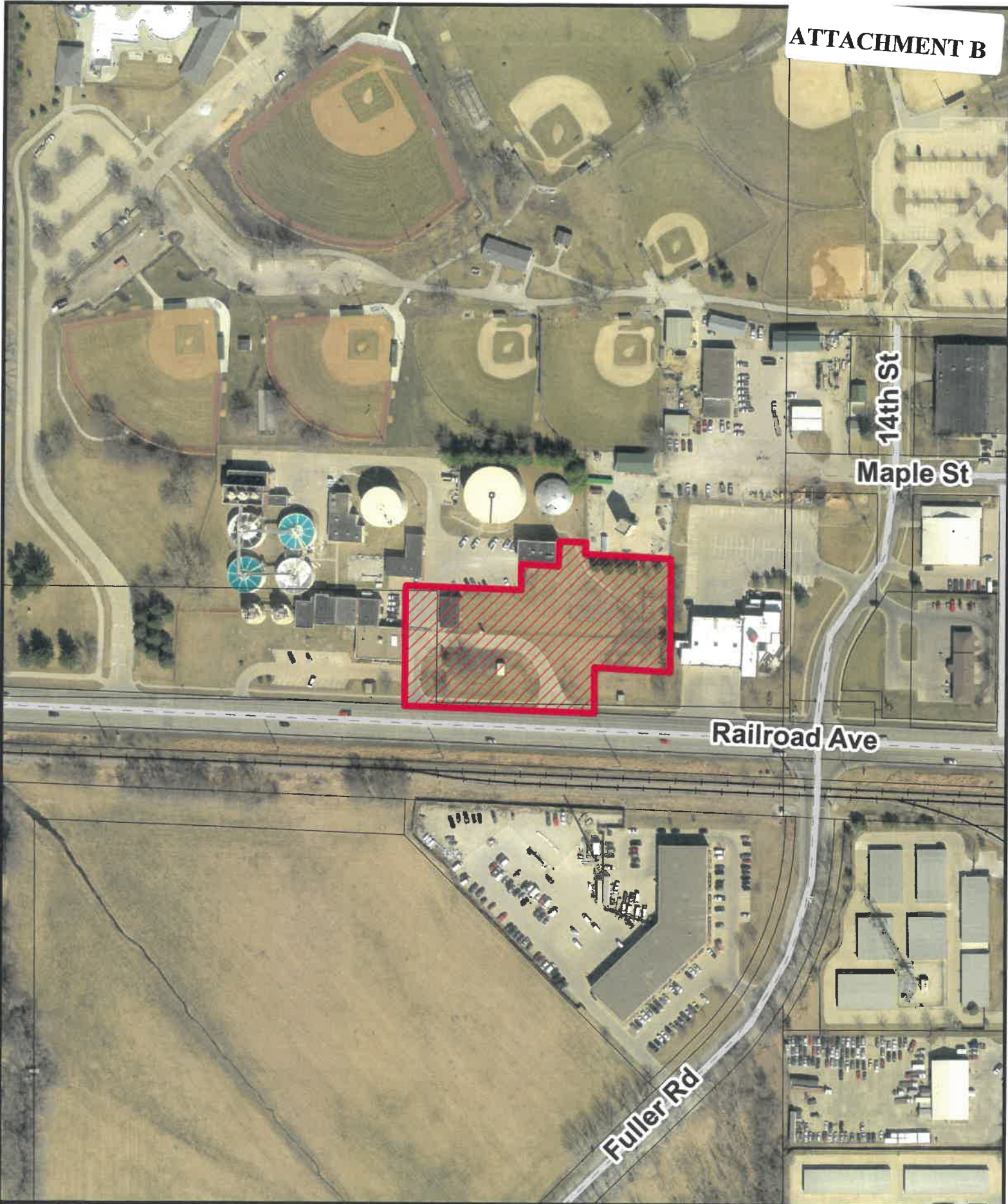
ATTEST:

Recording Secretary

EXHIBIT A

EXHIBIT A CONDITIONS OF APPROVAL

1. Applicant must provide finalized site plan and building elevation drawings prior to issuance of any building permit.



WDM WATER WORKS - ADMINISTRATIVE BUILDING

1505 RAILROAD AVENUE WEST DES MOINES, IOWA 50265

OWNER
CITY OF WEST DES MOINES
PO BOX 65320

ENGINEER
SHIVE-HATTERY, INC.
ATTN: BRENT STRAUCH
4125 WESTOWN PARKWAY, SUITE 100
WEST DES MOINES, IA 50266
PHONE: 515-223-8104

APPLICANT
WEST DES MOINES WATER WORKS
ATTN: WILLIAM MABUCE
1505 RAILROAD AVENUE
WEST DES MOINES, IA 50265

ZONING
OS - AGRICULTURAL/OPEN SPACE
DISTRICT

LEGAL DESCRIPTION
-EX LTS 19 THRU 24 & LT A RAAZ ACRES - SE 1/4 SW 1/4 LESS RD SEC 10-78-25

AREA DESCRIPTION
PROPERTY AREA: 36.98 ACRES
PROJECT AREA: 7.21 ACRES

COMPREHENSIVE PLAN
OFFICE (OF)

BENCHMARKS

WDM BENCHMARK #69 - INTERSECTION OF 4TH STREET AND RAILROAD AVENUE, NORTHWEST CORNER OF INTERSECTION, 41 FEET WEST OF CENTERLINE OF 4TH STREET, 55 +/- FEET NORTH OF CENTERLINE OF RAILROAD AVENUE.
ELEVATION = 38.23 CITY DATUM (#12.24 NAVD88)

WDM BENCHMARK #46 - 560 SOUTH 16TH STREET, 48.5 FEET SOUTH OF THE NORTHWEST CORNER OF THE CITY OF WEST DES MOINES PUBLIC WORKS BUILDING, 4 FEET WEST OF BUILDING.
ELEVATION = 45.96 CITY DATUM (#19.97 NAVD88)

PARKING SUMMARY

PROPOSED PARKING REQUIRED:
1 SPACE PER 200 SF OFFICE SPACE

5,249 SF (GARAGE EXCLUDED)	=	27 STALLS
TOTAL REQUIRED	=	27 STALLS
TOTAL PROVIDED W/O ADA	=	30 STALLS
HANDICAP STALLS REQUIRED	=	2 STALLS
HANDICAP STALLS PROVIDED	=	2 STALLS
TOTAL PROVIDED W/O ADA	=	32 STALLS

ALL ACCESSIBLE PARKING SPACES ARE LOCATED TO PROVIDE THE SHORTEST ROUTE TO THE BUILDING ENTRANCES.

FLOODPLAIN NOTE

ACCORDING TO THE FLOOD INSURANCE RATE MAP - PANEL NUMBERS 1902310010C PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND WITH AN EFFECTIVE DATE OF FEBRUARY 16, 2006, THIS SITE APPEARS TO BE LOCATED IN ZONE "X" (AREA WITH REDUCED FLOOD RISK DUE TO LEVEE), TO THE BEST OF THE SURVEYOR'S KNOWLEDGE AND BELIEF. THE SURVEYOR UTILIZED THE ABOVE REFERENCED FLOODPLAIN PANEL FOR THIS DETERMINATION; FURTHERMORE, THE SURVEYOR DOES NOT CERTIFY THAT REVISED FLOODPLAIN INFORMATION HAS NOT BEEN PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY OR SOME OTHER SOURCE.

SITE SUMMARY

OVERALL PROJECT SITE AREA: 314,352 SF (PROPERTY WITHOUT HOLIDAY PARK)

EXISTING SUMMARY:
EXISTING IMPERVIOUS AREA: 137,033 SF (43.6%)
EXISTING PERVIOUS AREA: 177,319 SF (56.4%)

PROPOSED SUMMARY:
PROPOSED IMPERVIOUS AREA: 162,394 SF (51.7%)
PROPOSED PERVIOUS AREA: 151,958 SF (48.3%)

SHEET INDEX

SHEET	TITLE
C000	COVER SHEET
C001	GENERAL NOTES
C002	EXISTING SITE CONDITIONS
CD01	DEMOLITION PLAN
C101	SITE PLAN
C102	JOINTING PLAN
C201	GRADING PLAN
C301	UTILITY PLAN
C401	LANDSCAPING PLAN
C501	CONSTRUCTION DETAILS
C502	CONSTRUCTION DETAILS
C503	CONSTRUCTION DETAILS



PROJECT LOCATION
NTS



VICINITY MAP
1" = 1000'

LANDSCAPE ARCHITECT

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

HOLLY C. REID
Printed or typed name

Signature

Title

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL:
C401

License Expires: 06/30/2019

CIVIL ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

Signature

Title

Printed or typed name: BRENT M. STRAUCH
License Number: 24125
My License Renewal Date is: DECEMBER 31, 2020

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL:
C000, C001, C002, CD01, C101, C102, C201, C301, C501, C502, C503

SHIVE-HATTERY
ARCHITECTURE + ENGINEER
4125 Westown Pkwy, Suite 100 | West Des Moines, IA
515.223.8104 | www.shivehattery.com
Iowa | Illinois | Indiana

WDMWW ADMINISTRATION BUILDING

WEST DES MOINES WATER WORKS
1505 RAILROAD AVENUE, WEST DES MOINES, IA 50265

2/20/2019
CITY RESUBMITTAL
PROJECT NO: 4183841
CLIENT NO: 1

C000

GENERAL NOTES:

- THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THE DRAWINGS ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO SHIVE-HATTERY, INC. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN TO SHIVE-HATTERY, INC. AND NOT SHOWN ON THIS DRAWING. THE UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
- IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL BY CALLING 811 OR 1-800-292-8589, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNERS REPRESENTATIVE.
- PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
- REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
- ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
- WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSE, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY SHIVE-HATTERY, INC. AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS OF SHIVE-HATTERY, INC., WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE.
- CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISHED GRADE.
- NO PONDING OF WATER WILL BE ACCEPTED ON ANY NEW PAVEMENT OR OVERLAY AREAS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENTS THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING OR OVERLAY.
- STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER AND DEVELOPERS.
- THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION, AND DUST POLLUTION ON THE PROJECT SITE AND ANY OFF SITE BORROW OR DISPOSAL AREAS USED FOR THIS PROJECT. COMPLY WITH SOIL EROSION CONTROL REQUIREMENTS OF IOWA CODE, FEDERAL REGULATIONS, AND LOCAL ORDINANCES.
- CONTRACTOR SHALL NOT DISTURB VEGETATION OUTSIDE GRADING LIMITS. CONTRACTOR SHALL MINIMIZE DISTURBANCE WITHIN GRADING LIMITS TO THAT NECESSARY TO ACHIEVE PROPOSED GRADES AS SHOWN.
- ALL AREAS DISTURBED BY CONSTRUCTION, NOT DESIGNATED AS PLANTED, SHALL BE SOODED OR SEEDED. REFER TO PLANS.
- NO MECHANICAL EQUIPMENT OVER 3' IN HEIGHT IS ALLOWED IN ANY REQUIRED SETBACK AREA.
- ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL PROVIDE AT LEAST ONE OPEN LANE OF TRAFFIC AT ALL TIMES WHEN PERFORMING WORK WITHIN THE PUBLIC RIGHT OF WAY. CONTRACTOR TO PROVIDE TRAFFIC CONTROL ACCORDING TO MUTCD STANDARDS AND COORDINATE WITH THE CITY OF WEST DES MOINES FOR ANY AND ALL PERMITTING RELATED TO TRAFFIC CONTROL IN THE PUBLIC R.O.W.
- THE SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
- ANY NEW ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
- ANY FREE STANDING SIGN SHALL BE A MONUMENT TYPE OR LANDSCAPE TYPE, AS NOTED ON PLANS.
- NOTIFY UTILITY COMPANIES WHO HAVE FACILITIES THAT ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN THE CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
- CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
- CONTRACTOR TO COORDINATE ANY GRADE ADJUSTMENTS WITH THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ACCESS TO ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION. ANY WORK ON A PUBLIC STREET OR ALLEY THAT REQUIRES CLOSURE WILL REQUIRE A CLOSURE NOTICE SUBMITTED TO WEST DES MOINES PUBLIC WORKS 48 HOURS IN ADVANCE.
- ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED TO FINAL FINISH GRADES.
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.

GRADING AND EROSION CONTROL NOTES:

- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, WATTLES, INLET PROTECTION, ETC.) TO PREVENT EROSION.
- ALL STORM SEWER INTAKES THAT RECEIVE STORMWATER RUNOFF FROM DISTURBED AREAS SHALL BE PROVIDED WITH A FILTER SACK. SEE DETAIL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES.
- OWNER SHALL ASSUME RESPONSIBILITY FOR ALL EROSION CONTROL UNTIL DELEGATED TO CONTRACTOR ONCE THE PROJECT CONSTRUCTION STARTS.
- A SWPPP WILL BE PREPARED BY THE ENGINEER AND WILL BE MADE AVAILABLE TO THE CONTRACTOR AND SUBMITTED TO THE CITY PRIOR TO CONSTRUCTION.

CITY OF WEST DES MOINES NOTES:

- ALL CONNECTIONS TO EXISTING PUBLIC STRUCTURES SHALL BE CORE DRILLED.
- ALL PUBLIC SEWER CONSTRUCTED AS A PART OF THESE PLANS WILL BE TELEVIEWED BY THE CITY OF WEST DES MOINES AS PART OF THE FINAL INSPECTION. NOTIFY WEST DES MOINES PUBLIC SERVICES (RON WIESE 515-222-3480) 48 HOURS IN ADVANCE OF INSPECTION.
- IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
- FOR MAINLINE PAVING, THE CONTRACTOR SHALL SUBMIT THE PCC MIX SOURCE(S) TO THE WEST DES MOINES ENGINEERING SERVICES DEPARTMENT (BEN MCALISTER 222-3475) A MINIMUM OF 24 HOURS PRIOR TO PLACEMENT. THE CONTRACTOR SHALL USE THE SAME PCC MIX SOURCE FOR A MINIMUM OF 500 SQUARE YARDS OF CONTINUOUS PAVING.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREET, THE CONTRACTOR SHALL CONTACT THE WEST DES MOINES ENGINEERING SERVICES DEPARTMENT (BEN MCALISTER 222-3475) TO OBTAIN APPLICABLE CITY PERMITS.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL WITH THE WEST DES MOINES ADDENDA.
- COORDINATE STAGING AND TRAFFIC CONTROL WITH WEST DES MOINES EMERGENCY SERVICES.
- LANE CLOSURE NOTICES MUST BE SUBMITTED TO WEST DES MOINES PUBLIC SERVICES FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
- COMPLY WITH ALL REQUIREMENTS OF WASTEWATER RECLAMATION AUTHORITY (WRA) FOR ANY CONNECTION TO WRA FACILITIES.
- THE PROPOSED PROJECT EXCEEDS 3,000 SQUARE FEET AND WILL BE REQUIRED TO PROVIDE VESTIBULES FOR ENTRANCES AS REQUIRED BY THE STATE ADOPTED 2008 INTERNATIONAL ENERGY CONSERVATION CODE (SECTION 502.4.7).
- M-MIX CONCRETE TO BE USED AT ANY LOCATION AS REQUESTED BY WEST DES MOINES WATER WORKS IN ORDER TO MINIMIZE DURATION OF ACCESS BLOCKAGE FOR DAILY ACTIVITIES.

BENCHMARKS:

WDM BENCHMARK #58 - INTERSECTION OF 4TH STREET AND RAILROAD AVENUE, NORTHWEST CORNER OF INTERSECTION, 41 FEET WEST OF CENTERLINE OF 4TH STREET, 55 +/- FEET NORTH OF CENTERLINE OF RAILROAD AVENUE.
ELEVATION = 247.572 CITY DATUM (812.24 NAVD88)

WDM BENCHMARK #46 - 560 SOUTH 16TH STREET, 48.5 FEET SOUTH OF THE NORTHWEST CORNER OF THE CITY OF WEST DES MOINES PUBLIC WORKS BUILDING, 4 FEET WEST OF BUILDING.
ELEVATION = 45.96 CITY DATUM (819.97 NAVD88)

WATER LINE CONSTRUCTION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- WATER TO BE INSTALLED WITH A MINIMUM COVER OF 5 FEET DEEP OR LOWER TO ACCOMMODATE UTILITY CROSSINGS.
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORK STANDARD SPECIFICATIONS.
- CONTACT FIRE DEPARTMENT OF ANY CHANGES THAT AFFECT FIRE/EMERGENCY ACCESS TO SITE, BUILDING, FDC'S, PVS, HYDRANTS, AND FRONT DOORS.
- ALL WATER LINE SHALL BE PVC C900.
- ALL EXISTING AND PROPOSED HYDRANTS AND VALVES SHALL BE ADJUSTED TO FINAL GRADES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1287, 64-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3485) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- CONTACT WEST DES MOINES WATER WORKS FOR ANYTHING AFFECTING WATER INFRASTRUCTURE.

SANITARY SEWER CONSTRUCTION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
- ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE DES MOINES METROPOLITAN STANDARDS WITH WEST DES MOINES ADDENDUMS AND THE WEST DES MOINES CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
- PIPE LENGTHS SHOWN ARE CENTERLINE TO CENTERLINE OF STRUCTURES.
- CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND REBUILDING MANHOLES AS NECESSARY TO MATCH FINAL GRADES. CHIMNEY SEALS SHALL BE USED.

STORM SEWER CONSTRUCTION NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
- ALL STORM SEWER CONSTRUCTION SHALL CONFORM TO THE DES MOINES METROPOLITAN STANDARDS WITH WEST DES MOINES ADDENDUMS AND THE WEST DES MOINES CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
- PIPE LENGTHS SHOWN ARE INSIDE EDGE TO INSIDE EDGE OF STRUCTURES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL STORM FLOW IN EXISTING CITY SYSTEM UNTIL NEW SYSTEM IS INSTALLED AND APPROVED.
- RCP STORM SEWER PIPING TO HAVE WRAPPED JOINTS, AND PIPE TRENCHES WILL BE BACKFILLED WITH GRANULAR MATERIAL TO AID IN PAVEMENT SUBDRAINAGE.
- CONTRACTOR TO MODIFY EXISTING INVERTS TO ACCOMMODATE NEW PIPE CONNECTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STORM SEWER WITHIN THE PROJECT AREA.
- CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND REBUILDING STORM STRUCTURES AS NECESSARY TO MATCH FINAL GRADES.
- AS-BUILT DOCUMENTATION OF THE STORM WATER DRAINAGE SYSTEM WILL BE PROVIDED AND FORWARDED TO THE CITY BEFORE ISSUANCE OF THE FINAL OCCUPANCY PERMIT, AND SHALL INCLUDE ELEVATIONS, DETENTION POND CAPACITY, PIPING RESTRICTIONS, AND OTHER PERTINENT INFORMATION.
- WHERE RCP STORM SEWER CROSSES THE WATER SERVICE, PROVIDE O-RING GASKETS AT JOINTS ONE FULL LENGTH OF SEWER PIPE ON EITHER SIDE OF THE CROSSING.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	LOT LINE	---
---	ELECTRICAL LINE - UNDERGROUND	---
---	STORM SEWER	---
---	WATER SERVICE	---
---	GAS SERVICE	---
---	SANITARY SERVICE	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	STORM INTAKES	---
---	STORM OUTLET	---
---	FIRE HYDRANT	---
---	WATER VALVE	---
---	LIGHT FIXTURE	---
---	ELECTRIC TRANSFORMER	---
---	BOLLARD	---
---	SIGNAGE	---
---	BUILDING	---
---	TREE	---
---	MINOR CONTOUR	---
---	MAJOR CONTOUR	---
---	6" P.C.C. PAVING	---
---	5" P.C.C. SIDEWALK	---

CONSTRUCTION NOT SPECIFICALLY DETAILED OR SPECIFIED WITHIN THE PLANS OR PROJECT SPECIFICATIONS SHALL CONFORM TO THE DES MOINES METROPOLITAN DESIGN STANDARDS WITH WEST DES MOINES ADDENDA.

DRAWN: BMS	APPROVED: BMS
ISSUED FOR: CITY REPERMITTING	DATE: 2/20/2019
PROJECT NO.: 18854	FIELD BOOK:
CLIENT NO.:	

GENERAL NOTES

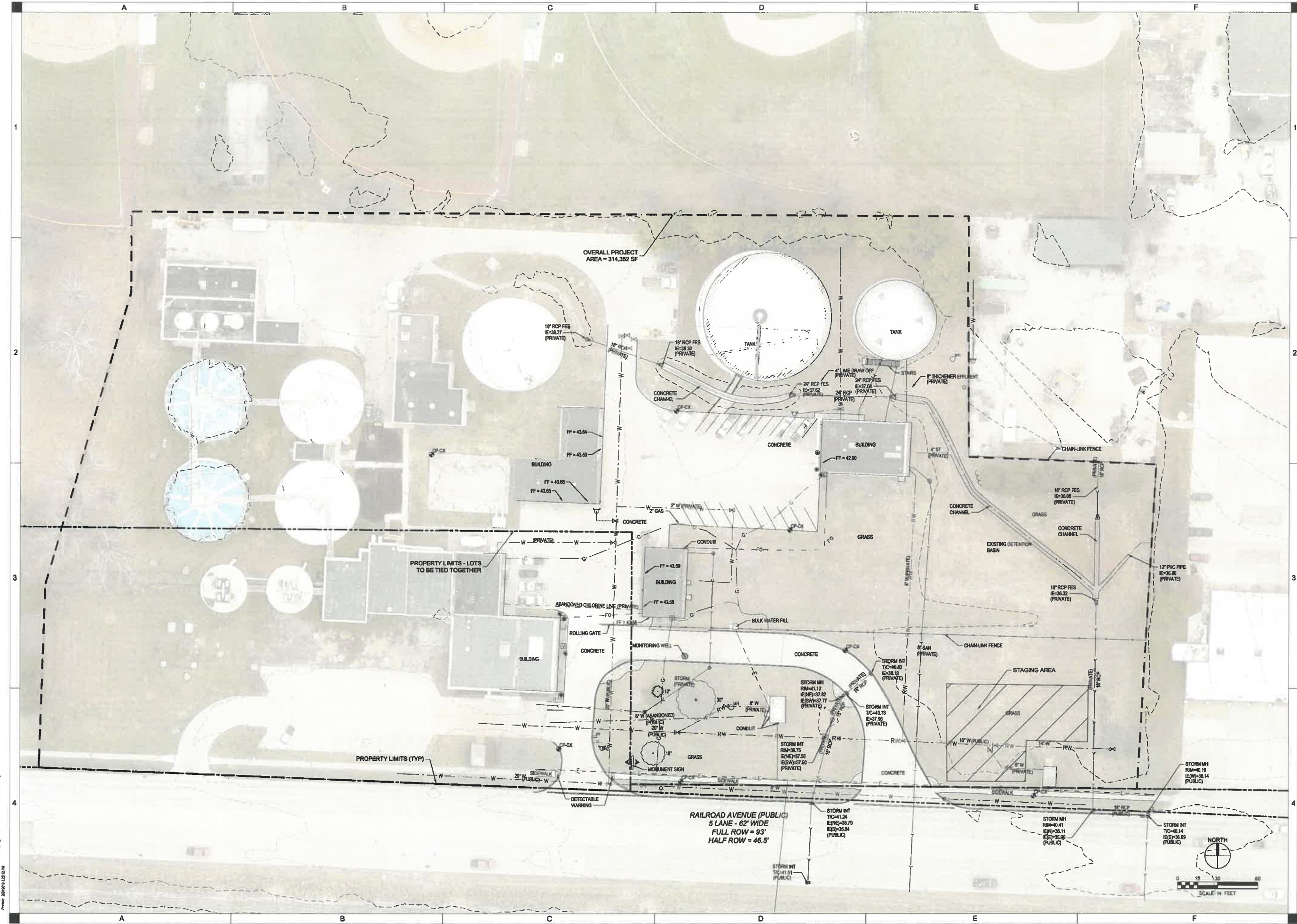
WDMWW ADMINISTRATION BUILDING

WEST DES MOINES WATER WORKS
 1505 RAILROAD AVENUE, WEST DES MOINES, IA 50265

DRAWN:	BHS
APPROVED:	BHS
ISSUED FOR:	CITY REEVALUATION
DATE:	2/20/2019
PROJECT NO.:	163841
FIELD BOOK:	
CLIENT NO.:	1

EXISTING SITE CONDITIONS

C002



Project: 20190713.0174
 File: 20190713.0174

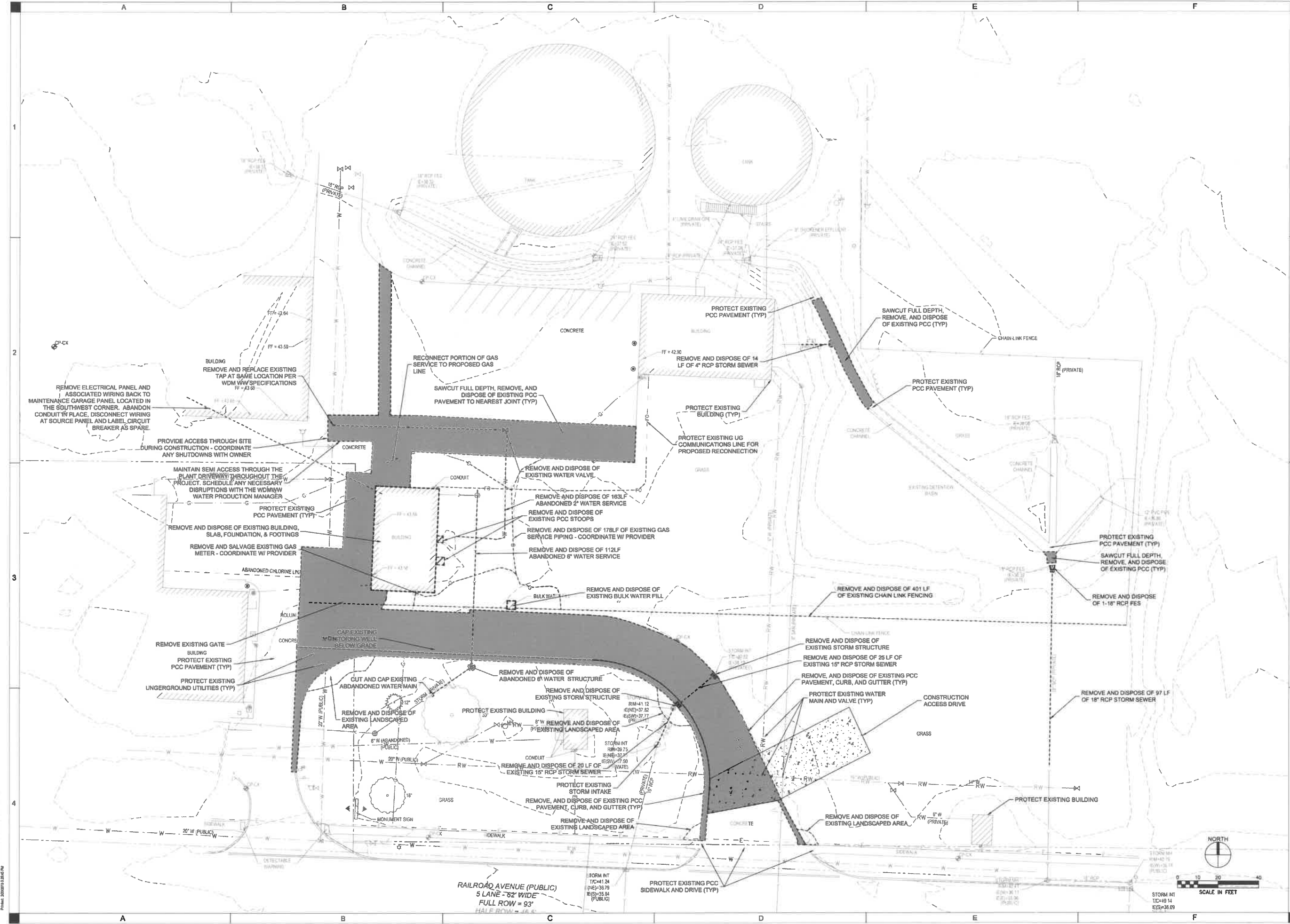
WDMWW ADMINISTRATION BUILDING

WEST DES MOINES WATER WORKS
 1506 RAILROAD AVENUE, WEST DES MOINES, IA 50265

DRAWN: BMS
APPROVED: BMS
ISSUED FOR: CITY REQUIRMENTAL
DATE: 2/20/2019
PROJECT NO: 418341
FIELD BOOK: --
CLIENT NO: --

DEMOLITION PLAN

CD01



RAILROAD AVENUE (PUBLIC)
 5 LANE - 72' WIDE
 FULL ROW = 93'
 HALF ROW = 46.5'

STORM INT
 (TC)=40.14
 (E)=36.09

STORM INT
 (TC)=41.24
 (E)=36.79
 (E)=35.84 (PUBLIC)

STORM INT
 (TC)=39.75
 (E)=37.82
 (E)=37.77 (PW)

STORM INT
 (TC)=42.20
 (E)=37.20 (WATER)

STORM INT
 (TC)=41.12
 (E)=37.82
 (E)=37.77 (PW)

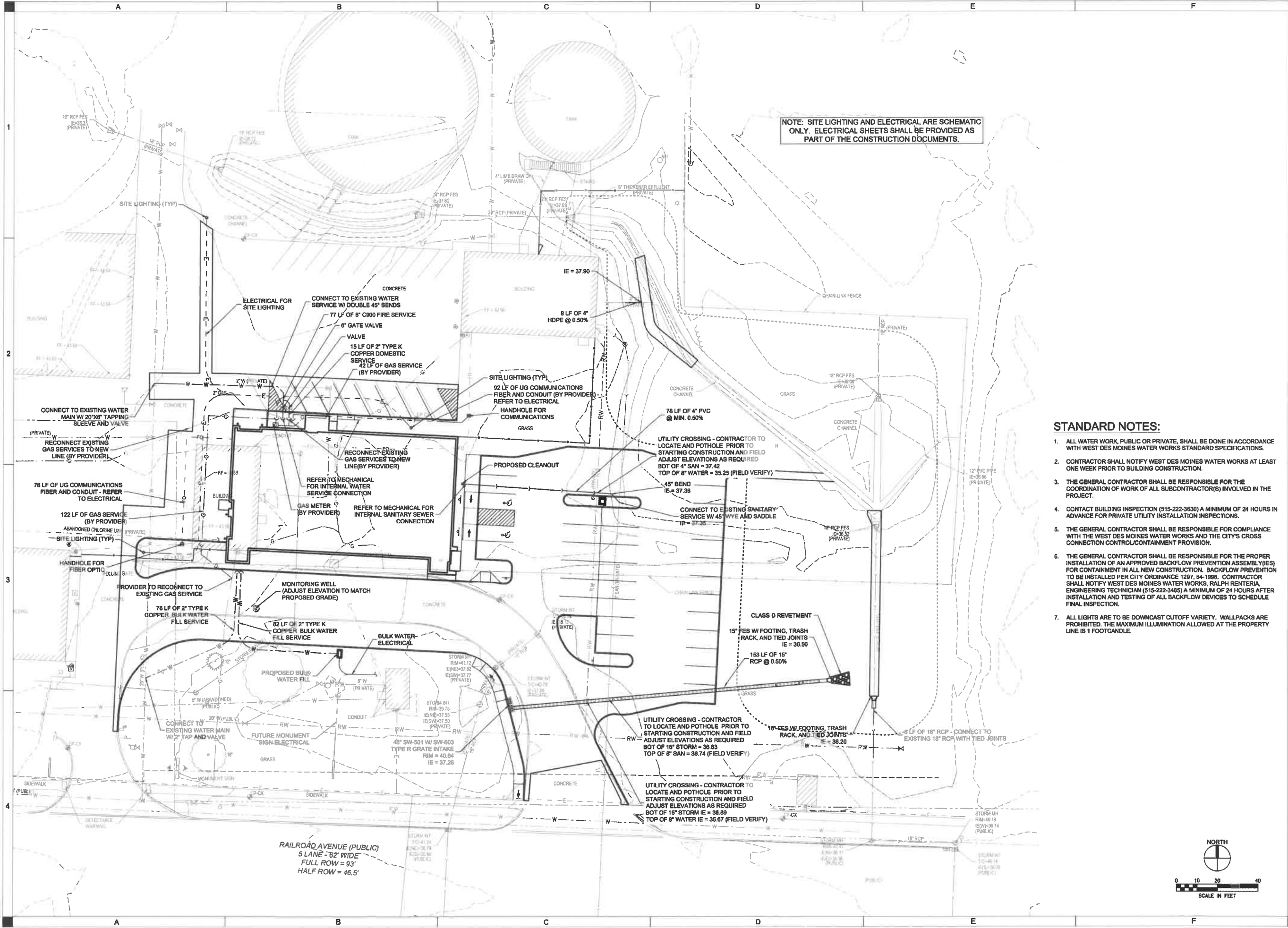
STORM INT
 (TC)=42.90

STORM INT
 (TC)=41.12
 (E)=37.82
 (E)=37.77 (PW)

STORM INT
 (TC)=41.12
 (E)=37.82
 (E)=37.77 (PW)

STORM INT
 (TC)=41.12
 (E)=37.82
 (E)=37.77 (PW)

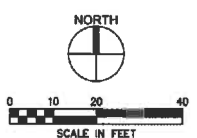
P:\Projects\418341\WDMWW Admin\CD01.dwg (1/20/19) 11:58 AM



NOTE: SITE LIGHTING AND ELECTRICAL ARE SCHEMATIC ONLY. ELECTRICAL SHEETS SHALL BE PROVIDED AS PART OF THE CONSTRUCTION DOCUMENTS.

STANDARD NOTES:

1. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
2. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
4. CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3485) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
7. ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALLPACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOTCANDLE.



Project: 1505 Railroad Avenue, West Des Moines, IA 50265
 Date: 2/20/2019

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
CEL OCC	2	<i>Celtis occidentalis</i>	Common Hackberry	B & B	2" Cal
PIC BLA	5	<i>Picea glauca densata</i>	Black Hills Spruce	B & B	6" HT.
SYR RET	1	<i>Syringa reticulata</i>	Japanese Tree Lilac	B & B	1.5" Cal
TIL GRE	3	<i>Tilia cordata 'Greenspire'</i>	Greenspire Littleleaf Linden	B & B	2" Cal
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
JUN FOR	12	<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	CONT.	5 gal
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
BOU BLO	66	<i>Bouteloua gracilis 'Blonde Ambition'</i>	Blue Grama	CONT.	1 gal
PAN NOR	170	<i>Panicum virgatum 'North Wind'</i>	Northwind Switch Grass	CONT.	1 gal
SPO HET	256	<i>Sporobolus heterolepis</i>	Prairie Dropseed	CONT.	1 gal
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
HYD TUR	36,642 sf	Hydromulch Turf Seed	Hydromulch Turf Seed	SF	

LANDSCAPE NOTES:

- ALL TREES SHALL BE PER THE RECOMMENDATIONS AND REQUIREMENTS OF THE CURRENT ANSI 'AMERICAN STANDARDS FOR NURSERY STOCK'
- PROTECT ALL EXISTING AND NEW STRUCTURES AND UTILITY SERVICES DURING INSTALLATION OF ALL PLANT MATERIAL. NOTIFY ENGINEER IMMEDIATELY UPON CONFLICT OF PLANTS, STRUCTURES, AND UTILITIES.
- THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- ALL PLANTING BEDS SHALL RECEIVE PRE-EMERGENT WEED PREVENTER, AND HARDWOOD MULCH TO A DEPTH OF 3"
- REPAIR ALL AREAS OF DISTURBANCE WITH HYDROMULCH SEED.
- PLANTING BEDS SHALL BE TILLED TO A DEPTH OF 12" TO DECOMPACT SOILS WITH 25% ORGANIC COMPOST MIXED WITH IN PLACE SOILS.
- PARKING LOT ISLANDS SHALL BE CORED OUT TO REMOVE ALL GRANULAR AND COMPACTED SUBBASE TO NATIVE, UNCOMPACTED SUBGRADE OR A MINIMUM OF 24" BELOW FINISH PAVING SURFACE.

LANDSCAPE SUMMARY:

CONSTRUCTION LIMITS: 81,000 SF
 15% SITE OPEN SPACE AREA: 12,150 SF

OPEN SPACE LANDSCAPE REQUIREMENTS:
 PROVIDE 2 TREES AND 3 SHRUBS PER 3,000 SF OF REQUIRED OPEN SPACE
 REQUIRED OPEN SPACE = 12,150 SF
 12,150 SF/3000 = 4 UNITS X 2 = 8 TREES
 4 UNITS X 3 = 12 SHRUBS

BUILDING FOUNDATION PLANTINGS: (PER PRE-APP REQUEST)
 PROVIDING ORNAMENTAL GRASSES TO HELP BREAKUP THE BUILDING MASS ALONG THE SOUTH AND EAST FACADES. PLANTINGS RELATE TO OTHER SPECIES ALONG RAILROAD AVE.

INTERIOR PARKING LANDSCAPE REQUIREMENTS:
 PROVIDE 1 TREE AND GROUND COVER IN EACH 9' x 17' ISLANDS PER EVERY 18 STALLS IN 1 ROW. (PROVIDING PARKING LOT TERMINAL ISLANDS IN LIEU OF PROVIDING PLANTING PODS)

ISLANDS: 2 = 2 TREES (1 ISLAND WITH ORNAMENTAL GRASSES & THE OTHER TWO PLANTED WITH TURF GRASS)

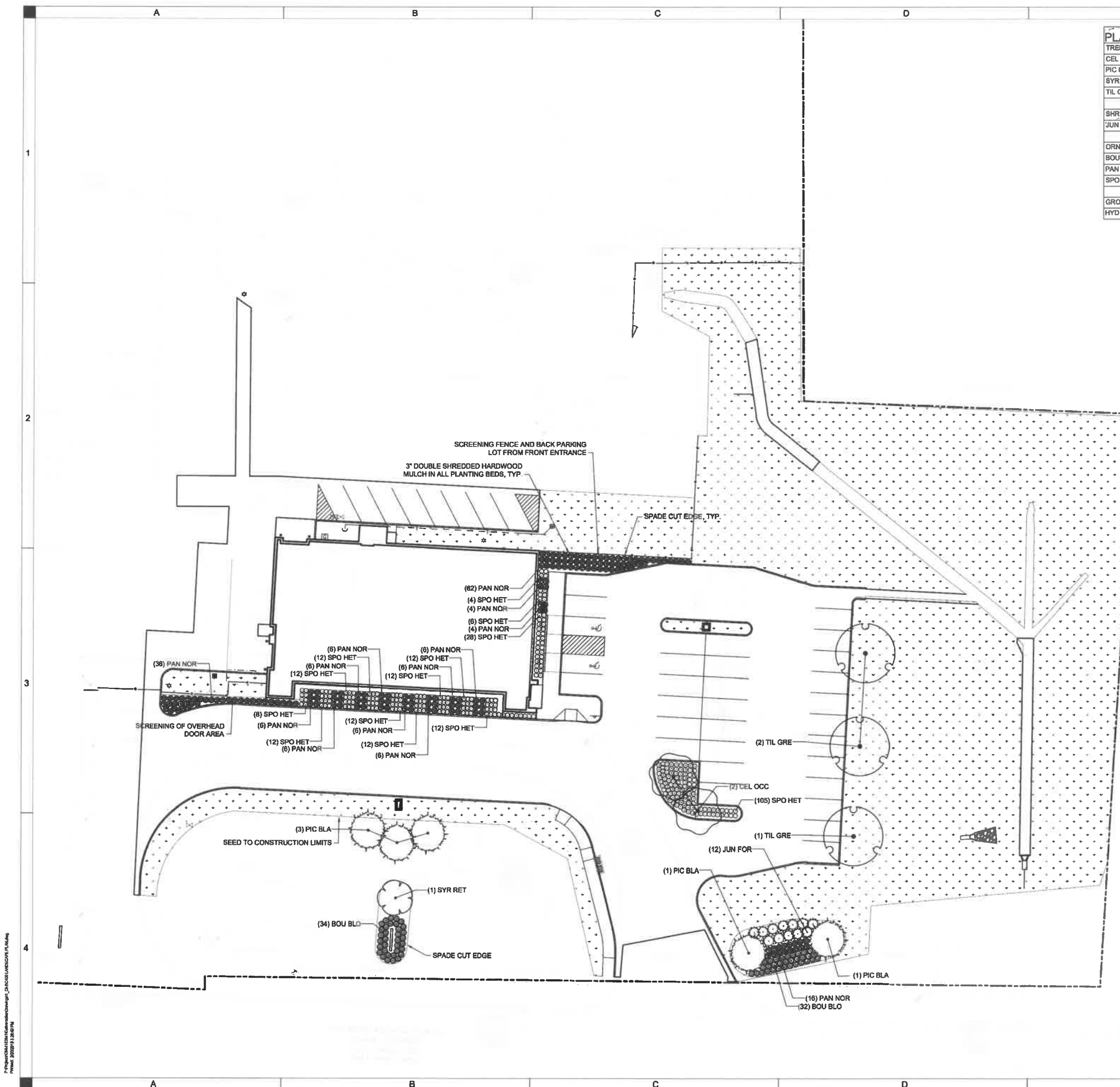
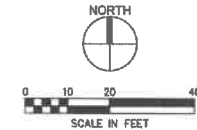
BUFFER/BERM ALONG RAILROAD:
 PROVIDING A LANDSCAPE BERM ALONG RAILROAD AVE TO SCREEN PARKING LOT.

PROVIDED:
 2 EVERGREEN TREES
 1 ORNAMENTAL TREES
 12 EVERGREEN SHRUBS
 48 ORNAMENTAL GRASSES

PERIMETER PARKING LANDSCAPE:
 PROVIDED: 3 TREES

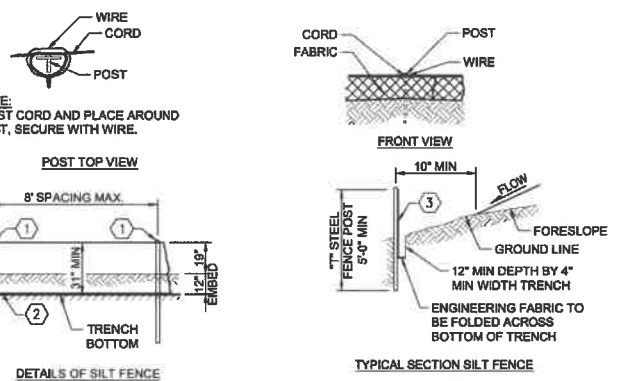
TOTAL LANDSCAPE REQUIRED:
 8 TREES
 12 SHRUBS

TOTAL LANDSCAPE PROVIDED:
 8 TREES
 12 SHRUBS
 448 GRASSES

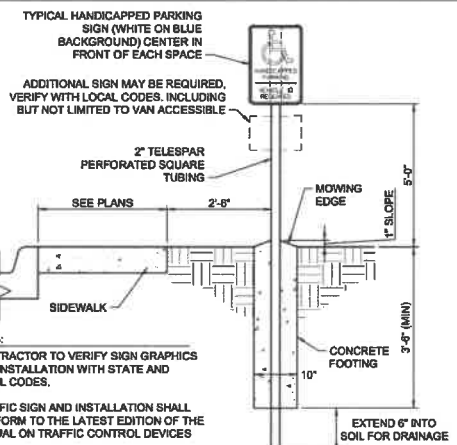


DRAWN: GJM	DATE: 2/20/2019
APPROVED: HCR	PROJECT NO: 418841
ISSUED FOR: CITY REE/JM/TAL	FIELD BOOK: --
CLIENT NO: --	

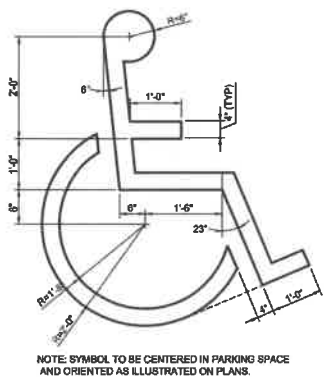
- GENERAL NOTES:**
- 1 SECURE TOP OF ENGINEERING FABRIC TO STEEL POST.
 - 2 ENGINEERING FABRIC TO BE FOLDED ACROSS BOTTOM OF TRENCH.
 - 3 ENGINEERING FABRIC SHALL HAVE A MINIMUM 36" WIDTH.
 - 4 FOR MACHINE INSTALLATION, POSTS SHALL BE EMBEDDED 28" BELOW GROUND LINE. ALL COMPACTION SHALL BE ACCOMPLISHED BY DRIVING OVER EACH SIDE OF SILT FENCE 2-4 TIMES WITH DEVICE EXERTING 80PSI OR GREATER.
 - 5 FOR TRENCH INSTALLATION, POSTS SHALL BE EMBEDDED 28" BELOW THE TRENCH BOTTOM. ALL COMPACTION SHALL BE ACCOMPLISHED WITH A MECHANICAL OR PNEUMATIC TAMPER.



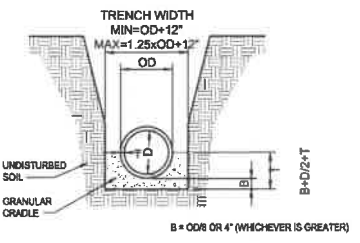
11 SILT FENCE
NOT TO SCALE



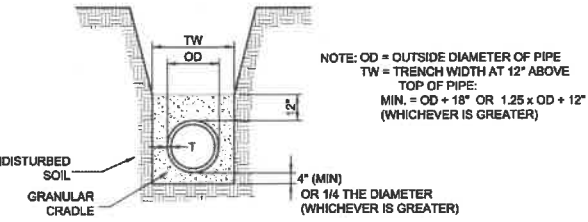
10 HANDICAPPED PARKING SIGN
NOT TO SCALE



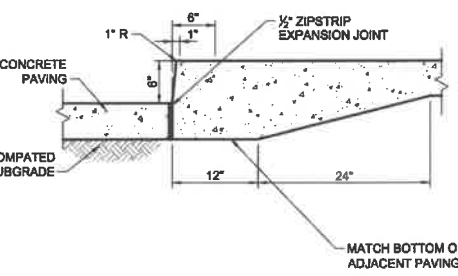
9 HANDICAPPED PARKING SYMBOL
NOT TO SCALE



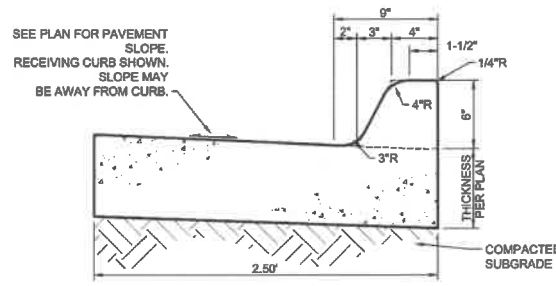
8 RIGID PIPE BEDDING
NOT TO SCALE



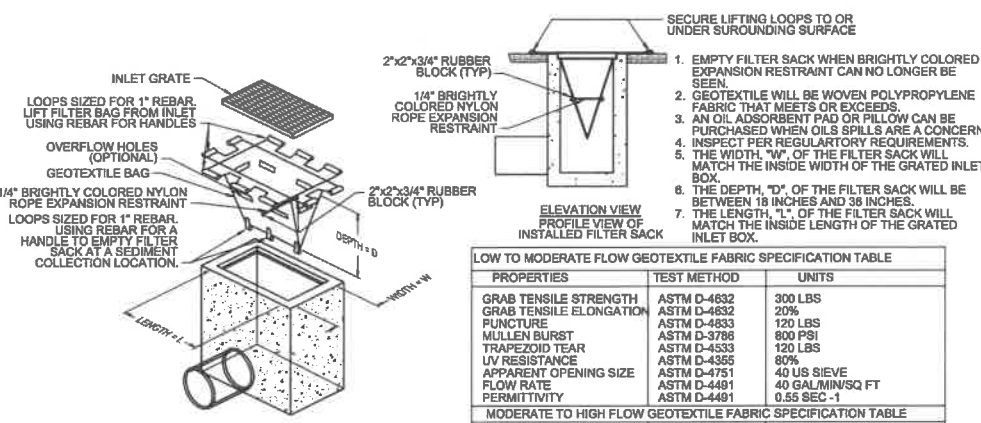
7 FLEXIBLE PIPE BEDDING
NOT TO SCALE



6 INTEGRAL PCC CURB AND SIDEWALK
NOT TO SCALE



5 6" PCC CURB AND GUTTER
NOT TO SCALE

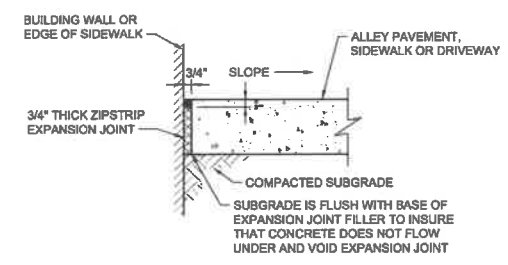


4 FILTER SACKS
NOT TO SCALE

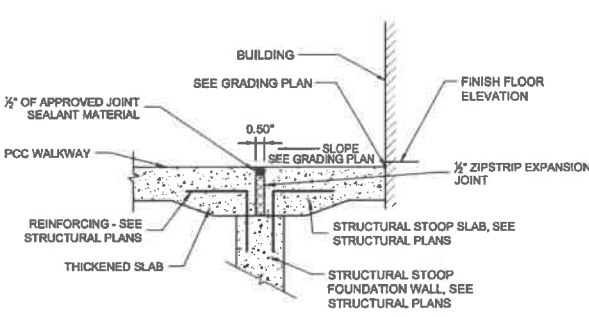
LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20%
PUNCTURE	ASTM D-4533	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4365	80%
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	285 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20%
PUNCTURE	ASTM D-4533	135 LBS
MULLEN BURST	ASTM D-3786	8420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4365	90%
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

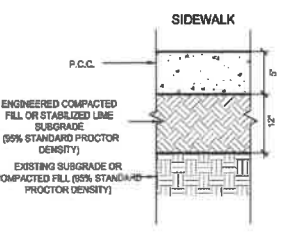
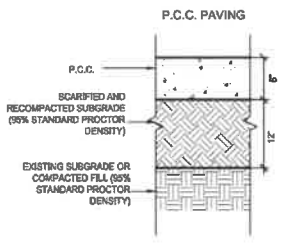
3 ISOLATION JOINT
NOT TO SCALE



2 PCC WALK @ STRUCTURAL STOOP
NOT TO SCALE



1 PAVEMENT CROSS SECTIONS
NOT TO SCALE



SPECIFICATIONS:

CONSTRUCTION NOT SPECIFICALLY DETAILED OR SPECIFIED WITHIN THE PLANS OR PROJECT SPECIFICATIONS SHALL CONFORM TO THE DES MOINES METROPOLITAN DESIGN STANDARDS WITH WEST DES MOINES ADDENDA AND THE WEST DES MOINES CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.

A. CONCRETE PAVING:
MATERIALS AND MIXING FOR ALL CONCRETE WORK, UNLESS OTHERWISE SPECIFIED, SHALL CONFORM TO IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, SECTIONS 2301.01 THROUGH 2301.03 AND MATERIALS I.M. 629 FOR AIR-ENTRAINED TYPE C-4 MIX WITH TYPE I CEMENT. M-MIX CAN BE USED WITH APPROVAL OF ENGINEER AND OWNER.

COARSE AGGREGATE DURABILITY SHALL BE CLASS II

COMPRESSIVE STRENGTH: 3000 PSI @ 7 DAYS AND 4000 PSI @ 28 DAYS

SLUMP: 3" ± 1"

AIR CONTENT: 7.0% ± 1.5%

TESTING - ONE SET OF TEST CYLINDERS REQUIRED FOR EACH 100 C.Y. OR ONE PER DAY IF LESS THAN 100 CY FROM SAME READY MIX PLANT. CONCRETE TESTING TO BE COMPLETED BY OWNER'S CONTRACTED TESTING LAB AND PAID FOR BY OWNER. CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL REQUIRED TESTING AND GEOTECHNICAL WORK. SUBMIT ALL REPORTS TO THE ENGINEER.

SURFACE CURING: CONTRACTOR SHALL APPLY LIQUID CURING COMPOUND IN A FINE SPRAY TO FORM CONTINUOUS UNIFORM FILM AFTER FINISHING AND SURFACE MOISTURE HAS DISAPPEARED, OR WITHIN 30 MINUTES OF PLACEMENT.

SUBMIT CONCRETE MIX DESIGN TO ENGINEER FOR APPROVAL.

B. SEALANTS:

JOINT SEALERS: MATERIALS AND INSTALLATION TO MEET IDOT SPECIFICATIONS. ALL JOINTS SHALL BE SEALED.

C. SITE EARTHWORK:

COMPLETE SITE EARTHWORK AND TRENCHING ACCORDING TO IOWA DOT REQUIREMENTS UNLESS OTHERWISE SPECIFIED. CONSTRUCT TO ELEVATIONS SHOWN.

SCARIFY A MINIMUM OF TWELVE (12") INCHES OF MATERIAL UNDER THE PROPOSED PAVEMENT SUBBASE AND RECOMPACT TO 95% PERCENT DENSITY, ASTM D698 (STANDARD PROCTOR).

PROVIDE WATER AS NEEDED TO OBTAIN OPTIMUM MOISTURE CONTENT (-1 TO +4%) OR MOISTURE CONTENT DIRECTED BY GEOTECHNICAL ENGINEER FOR ALL COMPACTION.

EXCESS SOIL AND GRANULAR MATERIAL SHALL BE HAULED OFFSITE.

PROOF ROLL EXPOSED SUBGRADES WITH HEAVY CONSTRUCTION EQUIPMENT PRIOR TO PLACEMENT OF ANY NEW FILL. GEOTECHNICAL ENGINEER TO OBSERVE PROOF ROLLING OPERATIONS AND TO RECOMMEND ANY CORRECTIVE ACTION.

PROVIDE COMPACTION TESTS FOR AREAS UNDER PAVING AND MAKE ONE TEST PER 5,000 SQUARE FEET. TESTING TO BE DONE AND PAID FOR BY OWNER. CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL REQUIRED TESTING AND GEOTECHNICAL WORK.

D. TRAFFIC AND PEDESTRIAN CONTROL:

PROVIDE BARRICADES, FENCING, AND OTHER DEVICES TO KEEP UNAUTHORIZED PERSONNEL FROM PROJECT SITE. KEEP INTERFERENCE WITH TRAFFIC TO A MINIMUM. PROVIDE OWNERS REPRESENTATIVE WITH A CONSTRUCTION STAGING PLAN SHOWING CONSTRUCTION SEQUENCING, STAGING AREAS, AND ALL ACCESS ROUTES. COORDINATE ANY PUBLIC CLOSURES WITH THE CITY OF WEST DES MOINES.

KEEP INTERFERENCE WITH TRAFFIC TO A MINIMUM. DO NOT BLOCK EXISTING SITE ROADWAYS OR DRIVEWAYS.

ALL VEHICULAR AND PEDESTRIAN CONTROL SIGNAGE SHALL CONFORM TO THE STANDARDS IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION AND ADDITIONAL REQUIREMENTS OF MUNICIPALITIES HAVING JURISDICTION.

E. PAVEMENT JOINTING:

PROVIDED 3/4" ISOLATION JOINT WITH SEALANT ALONG ALL STRUCTURES AND AT LOCATIONS AS SHOWN ON THE DRAWINGS.

PROVIDE IDOT TYPE 'CD' JOINTS AT A MAXIMUM SPACING OF 12 FEET FOR ALL TRANSVERSE CONTRACTION JOINTS.

PROVIDE IDOT TYPE '1-2' JOINTS AT A MAXIMUM SPACING OF 12 FEET FOR LONGITUDINAL CONTRACTION JOINTS.

PROVIDE IDOT TYPE 'BT-3' JOINTS FOR ALL LONGITUDINAL CONTRACTION JOINTS ON TYPICAL SECTIONS BETWEEN POURS.

PROVIDE IDOT TYPE 'DW' JOINTS AT END OF DAY PAVING.

PROVIDE TYPE 'RD' JOINTS TO TIE INTO EXISTING PAVING.

PROVIDE OWNERS REPRESENTATIVE WITH A DETAILED POURING SEQUENCE PLAN AND JOINTING PLAN FOR APPROVAL PRIOR TO BEGINNING PAVING OPERATIONS. JOINT LOCATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND SHALL BE ADJUSTED ON THE CONTRACTORS JOINTING PLAN TO MATCH CONSTRUCTION SEQUENCING. SUBMITTED DRAWINGS SHALL HAVE SUFFICIENT DETAIL TO SHOW ALL INDIVIDUAL JOINTS AND BOX CUTS WITH ASSOCIATED DIMENSIONS.

F. SANITARY AND STORM SEWER SERVICE AND FITTINGS:

MATERIALS AND INSTALLATION TO MEET THE CURRENT SPECIFICATIONS FOR IOWA DOT REQUIREMENTS UNLESS OTHERWISE SPECIFIED.

ALL SANITARY SEWER PIPING AND FITTINGS SHALL BE PVC SDR 26, AND STORM SEWER PIPING AND FITTINGS SHALL BE REINFORCED CONCRETE PIPE (RCP).

G. STORM WATER POLLUTION PREVENTION:

A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED FOR THE PROJECT. ENGINEER TO PROVIDE SWPPP PRIOR TO THE START OF CONSTRUCTION.

THE PROJECT DISTURBED LIMITS IS MORE THAN ONE ACRE. AN IOWA DNR NPDES GENERAL PERMIT FOR CONSTRUCTION ACTIVITY WILL BE REQUIRED. PERMIT TO BE ACQUIRED BY ENGINEER BEFORE CONSTRUCTION TO COMMENCE.

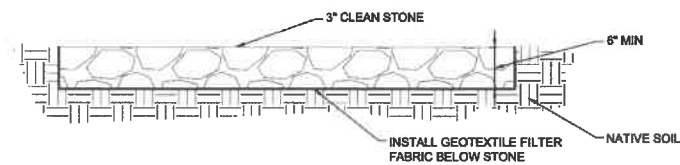
CONTRACTOR SHALL STILL IMPLEMENT BEST MANAGEMENT PRACTICES TO LIMIT THE AMOUNT OF OFF SITE SEDIMENT TRANSPORT AND MEET ALL LOCAL EROSION CONTROL REQUIREMENTS AND PERMITTING.

H. PAVEMENT MARKINGS:

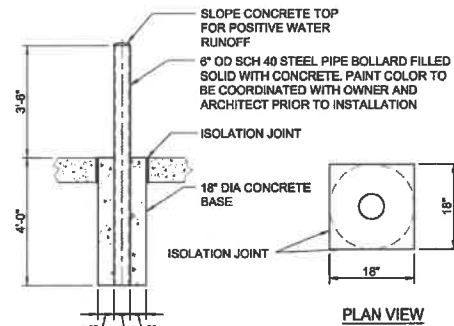
FACTORY MIXED QUICK DRYING, NON-BLEEDING WATERBORNE PAINT COMPLYING WITH IOWA DOT STANDARD SPECIFICATION SECTION 4183. COLOR: MATCH EXISTING, WIDTH: 4" SUBMIT TO ENGINEER.

I. SEEDING:

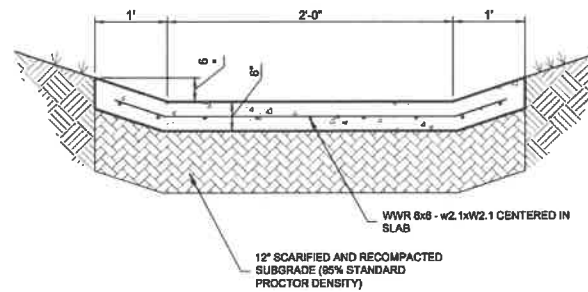
SEEDING TO BE HYDROMULCHING WITH SUDAS TYPE 1 PERMANENT LAWN MIXTURE. REFER TO SUDAS SPECIFICATION SECTION 9010.



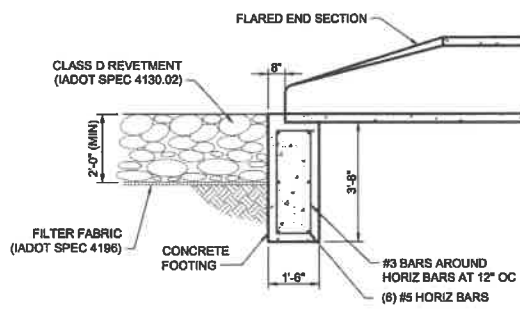
4 STABILIZED CONSTRUCTION ENTRANCE / CONTRACTOR STAGING AREA
NOT TO SCALE



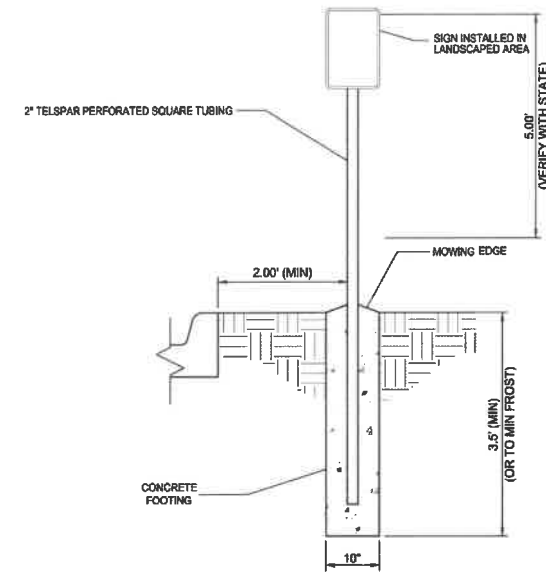
1 BOLLARD
NOT TO SCALE



2 PCC TRICKLE CHANNEL
NOT TO SCALE



5 FLARED END SECTION
NOT TO SCALE



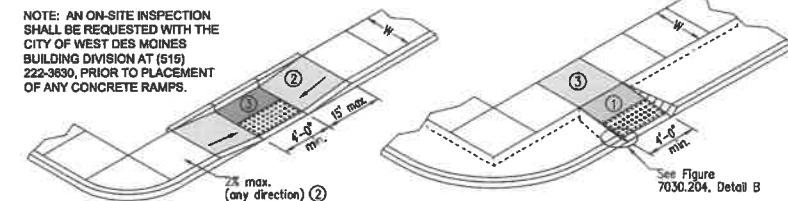
- NOTES:
1. CONTRACTOR TO VERIFY SIGN GRAPHICS AND INSTALLATION WITH STATE AND LOCAL CODES
 2. TRAFFIC SIGN AND INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON TRAFFIC CONTROL DEVICES
 3. PLACE SIGN A MINIMUM OF 2.0' FROM EDGE OF SIDEWALK / BACK OF CURB

3 STANDARD SIGNAGE
NOT TO SCALE

If crosswalks are marked, locate ramps, exclusive of flares, within the crosswalk markings.

- 1 Perpendicular ramp: Maximum running slope of 8.3%. Maximum cross slope of 2%. At mid-block crossings, cross slope may exceed 2% to match roadway grade.
- 2 Parallel ramp: Maximum cross slope of 2%. The length of the parallel ramp is not required to exceed 15 feet, regardless of resulting slope. Do not exceed 8.3% slope for parallel ramps shorter than 15 feet.
- 3 Landing: Maximum slope of 2% in any direction. At mid-block crossings, cross slope of landing may exceed 2% to match roadway grade.
- 4 Flare required if ramp is contiguous with sidewalk.
- 5 Provide 2% cross slope across median for drainage. For wide medians (12 feet or greater), curb ramps may be used at both sides with a 48 inch by 48 inch minimum landing in between.
- 6 For crossings controlled by signals and timed for full crossing, detectable warnings are not required at medians.

NOTE: AN ON-SITE INSPECTION SHALL BE REQUESTED WITH THE CITY OF WEST DES MOINES BUILDING DIVISION AT (515) 222-3630, PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.



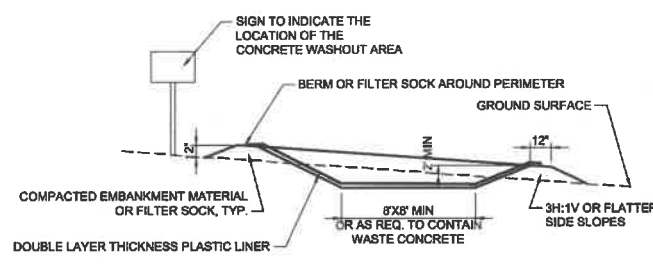
PARALLEL RAMP
(For Class A Sidewalk)
(For use with restricted right-of-way)
(All ramp slope within sidewalk)

PERPENDICULAR RAMP
(For Class B Sidewalk)

- Key
- W = Sidewalk width as specified in the contract documents.
 - [Symbol] = Ramp
 - [Symbol] = Landing
 - [Symbol] = Detectable warning

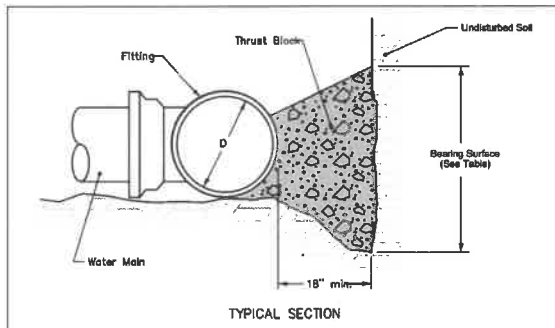
6 SIDEWALK RAMP DETAILS
NOT TO SCALE

P:\projects\1505 Railroad Avenue\1505 Railroad Avenue.dwg, C:\Users\johndoe\OneDrive\Documents\1505 Railroad Avenue.dwg
 PLOT: 2/20/2019 10:17:18 AM



2 CONCRETE WASHOUT
 NOT TO SCALE

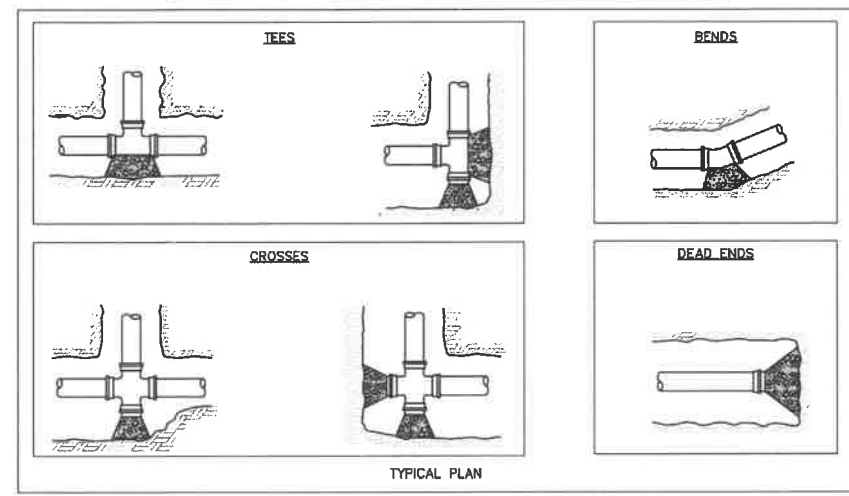
- NOTES:**
1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
 2. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 3. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
 4. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
 5. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE OWNER / ENGINEER.
 6. PROVIDE A DOUBLE THICKNESS OF IMPERMEABLE PLASTIC LINER WITH A MINIMUM THICKNESS OF 10 MIL PER SHEET



Extend thrust blocks to undisturbed soil. Excavation into trench wall may be necessary.
 Form vertical surfaces of poured concrete thrust blocks except on bearing surface.
 Encase all fittings in polyethylene wrap. Do not allow concrete to directly contact joints or fitting bolts.

Diameter of Pipe, D (inches)	MINIMUM BEARING SURFACE (sf)			
	11 ^{1/2} °	22 ^{1/2} °	45°	90°
4	1	1	2	4
6	1	2	4	8
8	2	4	7	14
10	3	6	11	21
12	4	8	16	28
14	5	11	21	39
16	7	14	27	50
18	9	17	34	63
20	11	21	42	78
24	15	31	60	111
30	24	47	92	171
36	34	67	132	244

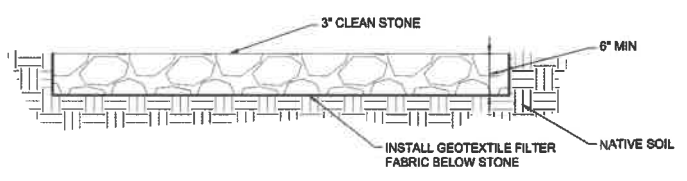
Minimum surface area based on water pressure of 150 psi and allowable soil pressure of 1,000 psf.



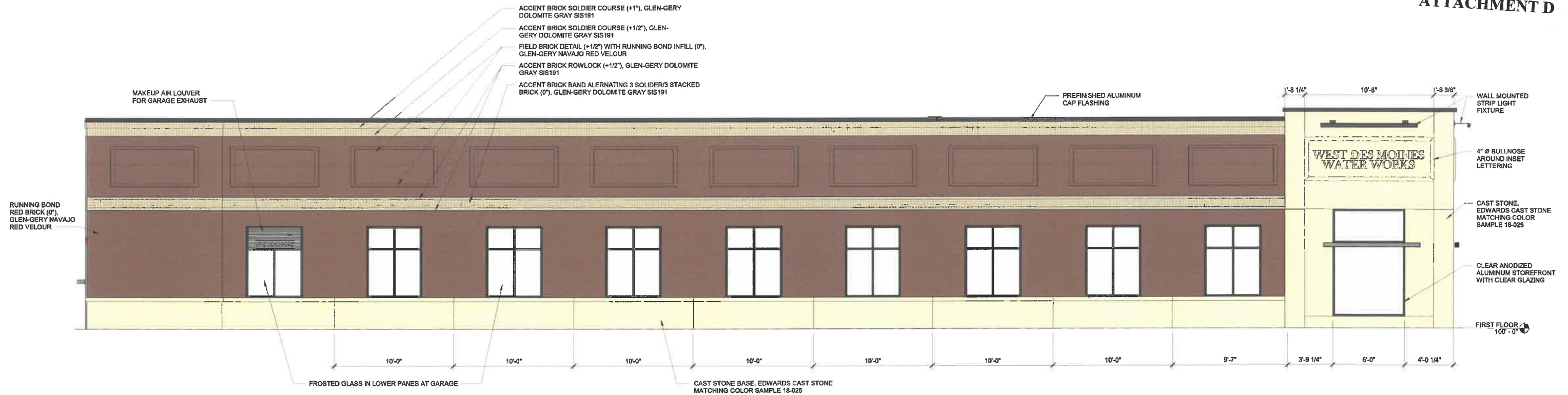
1 SUDAS THRUST BLOCKS
 NOT TO SCALE

THRUST BLOCKS

REVISION: 1 10-18-18
 FIGURE 5010.101 STANDARD ROAD PLAN WM-101
 SHEET 1 of 2
 REVISIONS: Reproved Iowa DOT and SUDAS logos with new logos.



3 STABILIZED CONSTRUCTION ENTRANCE/ CONTRACTOR STAGING AREA
 NOT TO SCALE



1 SOUTH ELEVATION
1/4" = 1'-0" 0' 6'



2 METER TEST EAST ELEVATION
1/4" = 1'-0" 0' 6'

3 EAST ELEVATION
1/4" = 1'-0" 0' 6'

EXTERIOR ELEVATIONS

PROJECT 1505 RAILROAD AVENUE |
ADDRESS: WEST DES MOINES, IA 50265

WEST DES MOINES WATER WORKS
ADMINISTRATION BUILDING

SHEET ISSUE DATE: 02/19/19
ISSUED FOR: CONSTRUCTION DOCUMENTS
PROJECT NO: 418384-1

SHIVEHATTERY
ARCHITECTURE+ENGINEERING

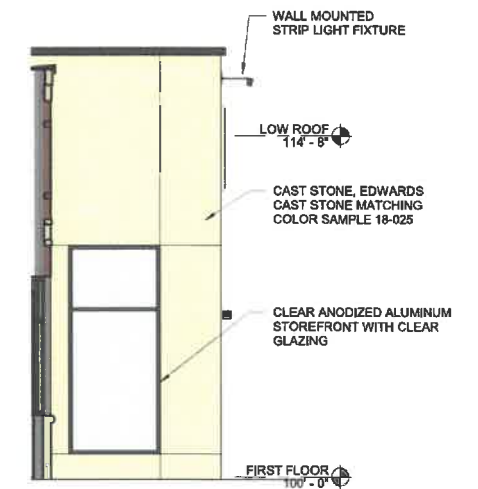




1 NORTH ELEVATION
1/4" = 1'-0" 0' 8'



2 WEST ELEVATION
1/4" = 1'-0" 0' 8'



3 ENTRY WEST ELEVATION
1/4" = 1'-0" 0' 8'

EXTERIOR ELEVATIONS

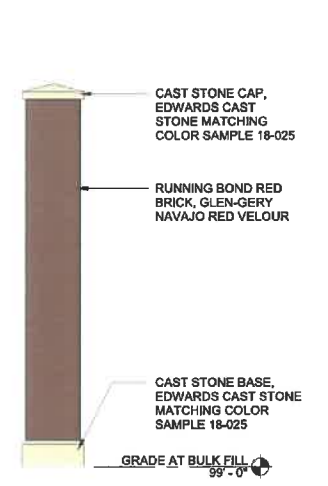
PROJECT 1505 RAILROAD AVENUE |
ADDRESS: WEST DES MOINES, IA 50265

WEST DES MOINES WATER WORKS
ADMINISTRATION BUILDING

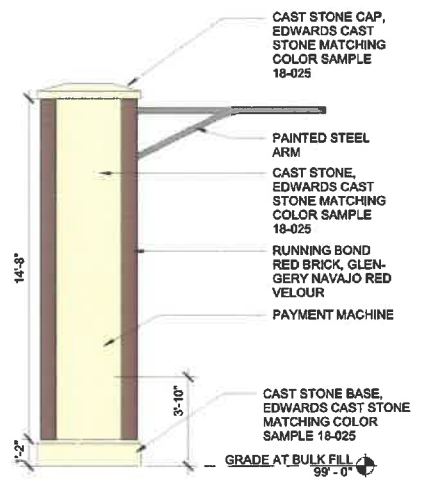
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ISSUED FOR: CONSTRUCTION DOCUMENTS
PROJECT NO: 418384-1

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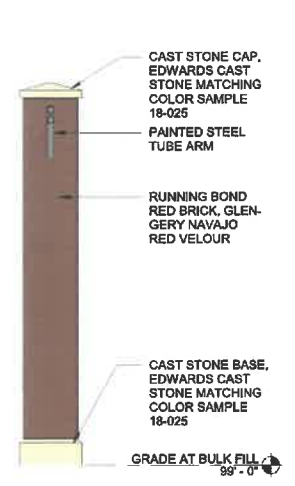




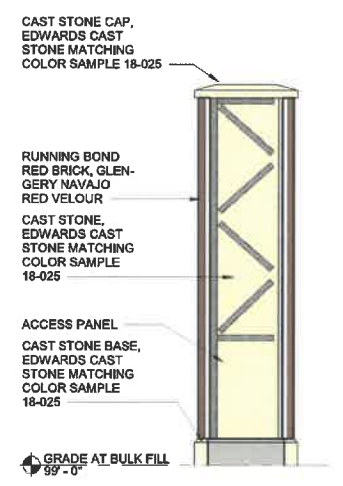
1 BULK WATER FILL PYLON - SOUTH ELEVATION
1/4" = 1'-0" 0 6'



2 BULK WATER FILL PYLON - EAST ELEVATION
1/4" = 1'-0" 0 6'



3 BULK WATER FILL PYLON - NORTH ELEVATION
1/4" = 1'-0" 0 6'



4 BULK WATER FILL PYLON - WEST ELEVATION
1/4" = 1'-0" 0 6'

EXTERIOR ELEVATIONS

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