

**CITY OF WEST DES MOINES  
PLAN AND ZONING COMMISSION COMMUNICATION**

**Meeting Date:** May 13, 2019

**Item:** Continental Plaza Coffee Shop – 7350 Westown Parkway – Approval of a Site Plan to construct a 2,000 sq. ft. drive-thru coffee shop with a 600 sq. ft. patio – Penta Partners, LLC. – SP-004243-2019

**Requested Action:** Recommend Approval of Site Plan

**Case Advisor:** J. Bradley Munford 

**Applicant's Request:** Erin Ollendike of Civil Design Advantage, on behalf of Penta Partners, LLC is requesting approval of a site plan to construct a 2,000 sq. ft. drive-thru coffee shop with a 600 sq. ft. patio.

**History:** The property was annexed into the city in 1989 as a part of the West 74th Street Annexation. The office zoning for the property was established shortly after annexation. On January 8, 2018 the City Council approved a Final Plat to replat of the property into 2 commercial lots in anticipation of this development. This property is a portion of Lot 1 of that plat. On April 30, 2018 the City Council approved a Site Plan to allow reconfiguration of the parking lot for the existing building just south of this development. On February 19, 2019 the City Council approved a rezoning from Professional Commerce Park (PCP) to Support Commercial (SC) for this 1.38 acres property.

**City Council Subcommittee:** The proposed site plan was presented to the Development and Planning Subcommittee on April 1, 2019. The Subcommittee was expressed support of the development.

**Staff Review and Comment:** This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues.

**Comprehensive Plan Consistency:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**Site Plan Findings:** This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.

5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

**Staff Recommendations and Conditions of Approval:** Based upon the preceding review and a finding of consistency with the Comprehensive Plan, staff recommends that the Plan and Zoning Commission adopt a resolution approving the site plan to allow construction of a 2,000 sq. ft. drive-thru coffee shop with a 600 sq. ft. patio, subject to the applicant meeting all City Code requirements and the following

1. The applicant acknowledging and agreeing to submit a revised site plan that reflects minor revisions requested by Staff prior to the case being heard by the City Council.

**Property Owner/Applicant:** Travis M. Sisson  
Penta Partners, LLC  
5700 University Avenue Suite 220  
West Des Moines, Iowa 50266  
[travis@tmsissonpc.com](mailto:travis@tmsissonpc.com)

**Applicant's Representatives:** Erin Ollendike, P.E  
Civil Design Advantage LLC  
3405 SE Crossroads Drive, Suite G  
Grimes, Iowa 50111  
[ErinO@cda-eng.com](mailto:ErinO@cda-eng.com)

**Attachments:**

Attachment A	-	Plan and Zoning Commission Resolution
Exhibit A	-	Conditions of Approval
Attachment B	-	Location Map
Attachment C	-	Site Plan
Attachment D	-	Building Elevations

RESOLUTION NO. PZC- 19-044

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A SITE PLAN (SP-004243-2019) TO CONSTRUCT A 2,000 SQ. FT. DRIVE-THRU COFFEE SHOP WITH A 600 SQ. FT. PATIO**

**WHEREAS**, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, The Penta Partners, LLC., has requested approval for a Site Plan (SP-004243-2019) for construction of a 2,000 sq. ft. drive-thru coffee shop with a 600 sq. ft. patio on a 1.38 acre site located at the 7350 Westown Parkway;

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, on May 13, 2019, this Commission held a duly-noticed public meeting to consider the application for a Site Plan;

**NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:**

SECTION 1. The findings, for approval, in the staff report, dated May 13, 2019 or as amended orally at the Plan and Zoning Commission hearing of May 13, 2019, are adopted.

SECTION 2. The Continental Plaza Coffee Shop Site Plan (SP-004243-2019) to allow construction a 2,000 sq. ft. drive-thru coffee shop with a 600 sq. ft. patio, is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report including conditions added at the meeting, and attached hereto as Exhibit "A." Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on May 13, 2019.

\_\_\_\_\_  
Erica Andersen, Chair  
Plan and Zoning Commission

ATTEST:

\_\_\_\_\_  
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on May 13, 2019, by the following vote:

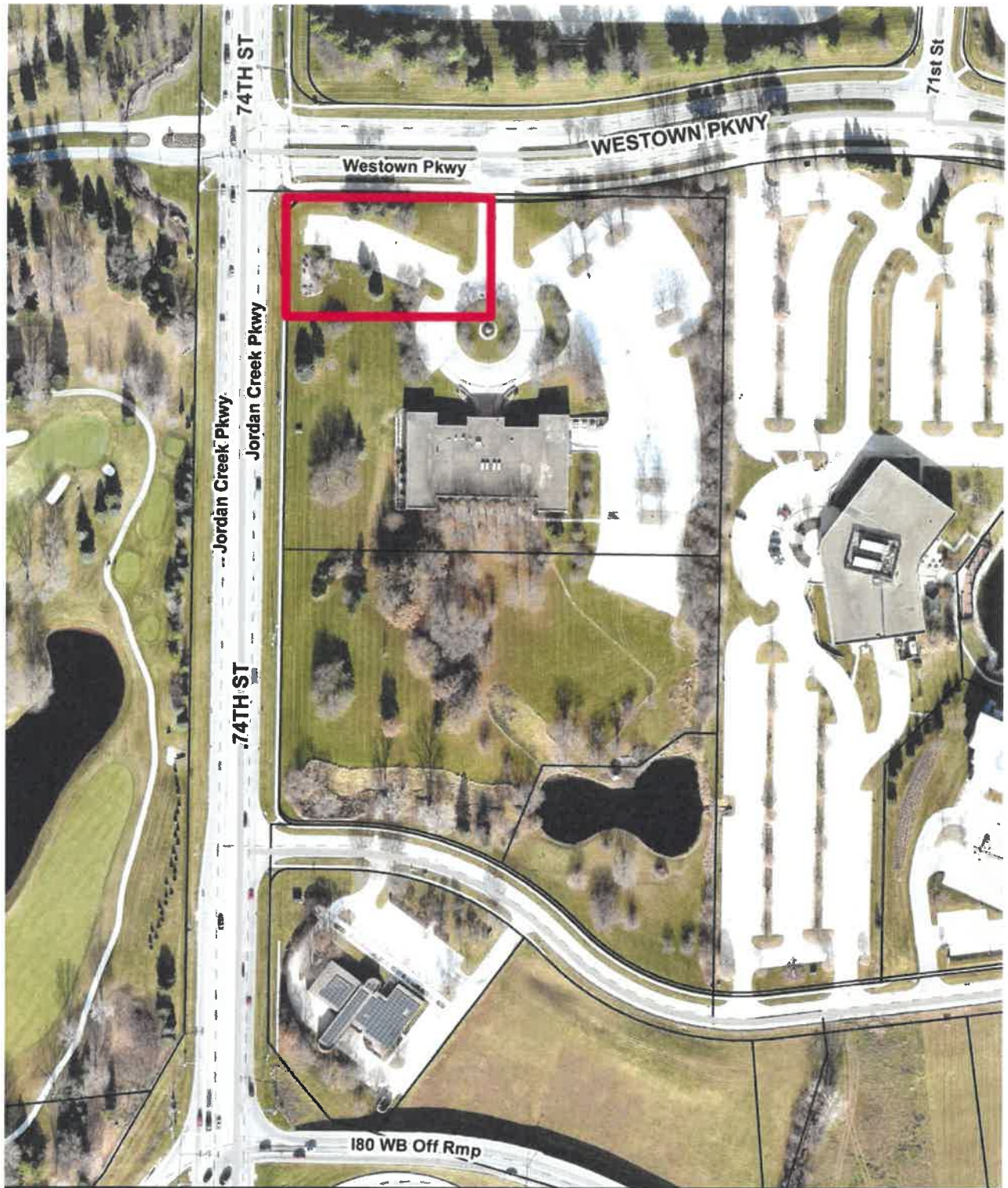
AYES:  
NAYS:  
ABSTENTIONS:  
ABSENT:

ATTEST:

\_\_\_\_\_  
Recording Secretary

**EXHIBIT A  
CONDITIONS OF APPROVAL**

1. The applicant acknowledging and agreeing to submit a revised site plan that reflects minor revisions requested by Staff prior to the case being heard by the City Council.

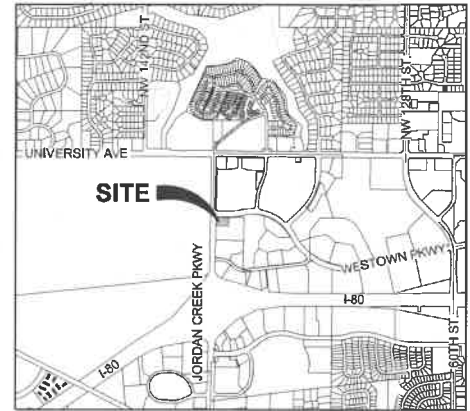


### Continental Plaza Coffee Shop

# SITE PLAN FOR: THE COFFEE SHOP @ CONTINENTAL PLAZA WEST DES MOINES, IOWA

### VICINITY MAP

NOT TO SCALE



### OWNER / APPLICANT

PENTA PARTNERS LLC  
CONTACT: TRAVIS M. SISSON  
5700 UNIVERSITY AVENUE, SUITE 220  
WEST DES MOINES, IA 50266

### ENGINEER

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: ERIN OLLENDIKE  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

### SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: MIKE BROONER  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

### PROJECT SITE ADDRESS

7300 WESTOWN PARKWAY

### DATE OF SURVEY

MARCH 27, 2017

### SUBMITTAL DATES

-FIRST SUBMITTAL: 02/26/2019  
-SECOND SUBMITTAL: 03/21/2019  
-FINAL SUBMITTAL: 04/05/2019  
-REVISED FINAL SUBMITTAL: 04/29/2019

### LEGAL DESCRIPTION

LOT 1, CONTINENTAL PLAZA PLAT 2, IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA AND CONTAINING 6.41 ACRES (279,377 SQUARE FEET)

### ZONING / SITE PLAN AREA DESCRIPTION

A PART OF LOT 1, CONTINENTAL PLAZA PLAT 2, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF STREET LOT 'A', SAID CONTINENTAL PLAZA PLAT 2; THENCE NORTHEASTERLY ALONG THE NORTHERLY LINE OF SAID LOT 1 AND A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 25.00 FEET, WHOSE ARC LENGTH IS 39.27 FEET AND WHOSE CHORD BEARS NORTH 45°42'57" EAST, 35.36 FEET; THENCE SOUTH 89°16'48" EAST CONTINUING ALONG SAID NORTHERLY LINE, 254.57 FEET; THENCE EASTERLY CONTINUING ALONG SAID NORTHERLY LINE AND A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 1213.62 FEET, WHOSE ARC LENGTH IS 22.59 FEET AND WHOSE CHORD BEARS SOUTH 89°48'48" EAST, 22.59 FEET; THENCE SOUTH 00°43'11" WEST, 199.29 FEET; THENCE NORTH 89°16'49" WEST, 302.14 FEET TO THE WEST LINE OF SAID LOT 1; THENCE NORTH 00°42'42" EAST ALONG SAID WEST LINE, 174.08 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.38 ACRES (60,019 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

### ZONING

CURRENT ZONING: PCP - PROFESSIONAL COMMERCE PARK

PROPOSED ZONING: SC - SUPPORT COMMERCIAL

### COMPREHENSIVE PLAN LAND USE

EXISTING: OFFICE  
PROPOSED: COMMERCIAL

### DEVELOPMENT SUMMARY

SITE PLAN AREA: 1.08 ACRES (47,156 SF)

SETBACKS:  
FRONT: 100'  
SIDE: 0'  
REAR: 0'

OPEN SPACE:  
TOTAL SITE: = 47,156 SF  
BUILDING: = 2,233 SF  
VEHICLE PAVEMENT: = 22,060 SF  
SIDEWALKS/ PATIO: = 2,466 SF  
OPEN SPACE PROVIDED: = 22,863 SF (48%)

IMPERVIOUS AREA: = 26,759 SF (57%)

### PARKING:

COFFEE SHOP  
\*1 SPACE PER 100 SQUARE FEET OF GFA  
\*5 QUEUING SPACES PER DRIVE-THROUGH  
(4 SPACES MUST CLEARLY BE OUT OF THE MAIN TRAFFIC LANES OF THE SITE)

REQUIRED: 23  
PROVIDED: 36

### BENCHMARKS

- WEST DES MOINES CITY BM#21, @ INTERSECTION OF JORDAN CREEK PARKWAY AND THE NORTH RAMP OF I-80, NORTHEAST CORNER OF INTERSECTION, 9.5 FEET WEST OF THE SOUTHEAST RIGHT-OF-WAY FENCE CORNER, 125 FEET EAST OF CENTERLINE OF JORDAN CREEK PARKWAY, IN PIPE TUBE, APPROXIMATELY 1.5 FEET DEEP. ELEVATION=205.75
- WEST DES MOINES CITY BM#97, @ INTERSECTION OF UNIVERSITY AVENUE AND JORDAN CREEK PARKWAY, SOUTHEAST CORNER OF INTERSECTION, 59.5 FEET EAST OF THE CENTERLINE OF JORDAN CREEK PARKWAY, 200 FEET SOUTH OF THE CENTERLINE OF UNIVERSITY AVENUE. ELEVATION=198.63
- ARROW ON HYDRANT 50 FEET +/- NORTH, 40 FEET +/- EAST OF THE NW CORNER OF BUILDING. ELEVATION=208.64

### INDEX OF SHEETS

- | NO. | DESCRIPTION                       |
|-----|-----------------------------------|
| 1.0 | COVER SHEET                       |
| 2.0 | DETAILS                           |
| 3.0 | DIMENSION PLAN                    |
| 4.0 | GRADING PLAN                      |
| 5.0 | EROSION AND SEDIMENT CONTROL PLAN |
| 6.0 | UTILITY PLAN                      |
| 7.0 | LANDSCAPE PLAN                    |

### NOTES

- EROSION CONTROL MEASURES WILL BE INSTALLED AND MONITORED BY OTHERS.
- UTILITIES TO BE INSTALLED PER SUDAS SPECIFICATIONS.
- ALL CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND DSM METRO DESIGN STANDARDS.
- CONTACT WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
- ALL SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2.0%.
- ALL LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5%.
- PRIVATE STREETS AND UTILITIES SHALL BE MAINTAINED BY THE OWNER. TO INCLUDE:  
A. DETENTION POND AND APPURTENANCES  
B. PRIVATE STORM SEWER  
C. PRIVATE WATER MAIN AND SERVICES  
D. ALL INTERNAL CIRCULATION ROADS
- PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- THE PROPOSED BUILDING WILL BE REQUIRED TO BE FIRE SPRINKLED AND FIRE ALARMED.



### UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111  
PH: (515) 369-4400 Fax: (515) 369-4410  
PROJECT NO. 1901022

### GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
DIRECTIONAL SIGN	STORM SEWER DOUBLE INTAKE
TYPE SW-501 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-505 STORM INTAKE	DECIDUOUS TREE
TYPE SW-506 STORM INTAKE	CONIFEROUS TREE
TYPE SW-513 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-401 STORM MANHOLE	CONIFEROUS SHRUB
TYPE SW-402 STORM MANHOLE	ELECTRIC POWER POLE
TYPE SW-301 SANITARY MANHOLE	GUY ANCHOR
STORM/SANITARY CLEANOUT	STREET LIGHT
WATER VALVE	POWER POLE W/ TRANSFORMER
FIRE HYDRANT ASSEMBLY	UTILITY POLE W/ LIGHT
SIGN	ELECTRIC BOX
DETECTABLE WARNING PANEL	ELECTRIC TRANSFORMER
STORM SEWER STRUCTURE NO.	ELECTRIC MANHOLE OR VAULT
STORM SEWER PIPE NO.	TRAFFIC SIGN
SANITARY SEWER STRUCTURE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER PIPE NO.	TELEPHONE MANHOLE/VAULT
SANITARY SEWER WITH SIZE	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

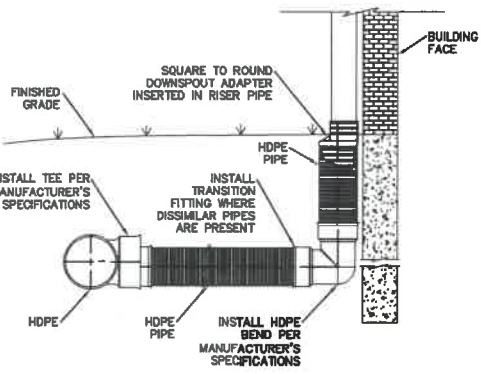
THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.

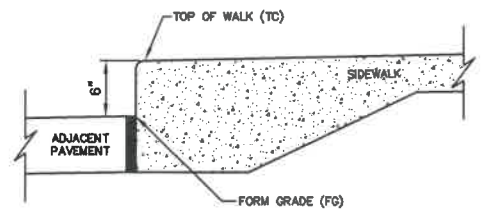
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

ERIN K. OLLENDIKE, P.E. DATE

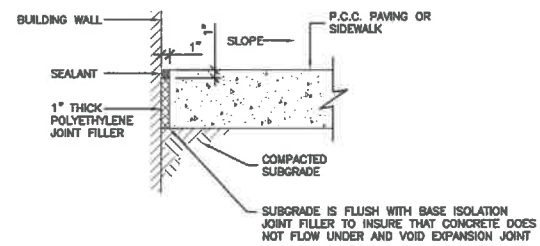
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2019  
PAGES OR SHEETS COVERED BY THIS SEAL  
1.0-6.0



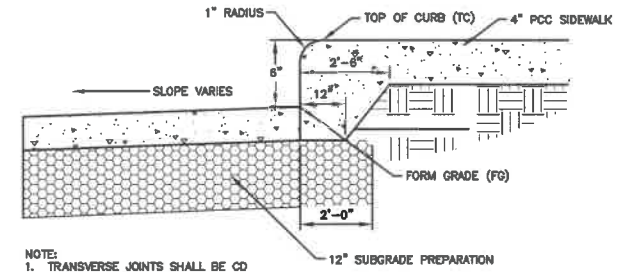
**1 ROOF DRAIN CONNECTION W/TEE**  
NOT TO SCALE



**2 CLASS 'A' INTEGRAL CURB AND SIDEWALK SPOT ELEVATION REFERENCE DETAIL**  
NOT TO SCALE

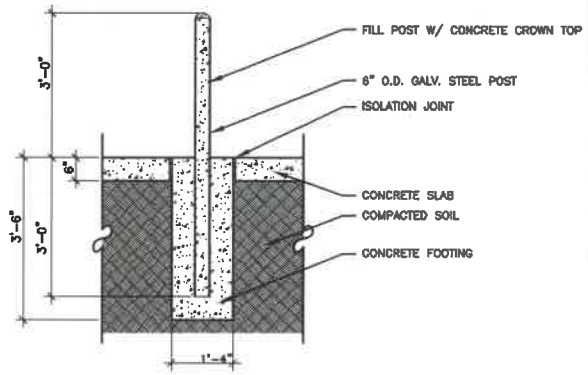


**3 ISOLATION JOINT IN PAVING AT BUILDING INTERFACE**  
NOT TO SCALE

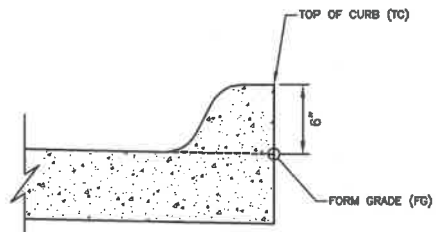


NOTE:  
1. TRANSVERSE JOINTS SHALL BE CD JOINTS AT 15' MAX. SPACING.  
2. LONGITUDINAL JOINTS SHALL BE INTERCHANGEABLE, L-2 OR KT-2.

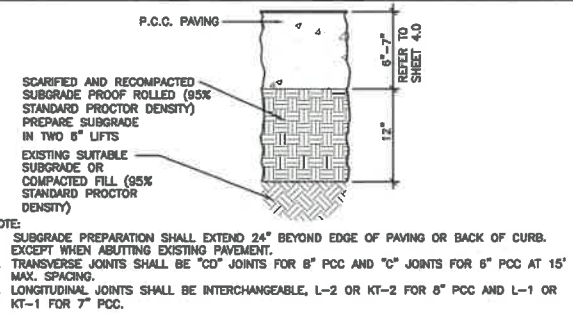
**4 CLASS A CURB & SIDEWALK**  
NOT TO SCALE



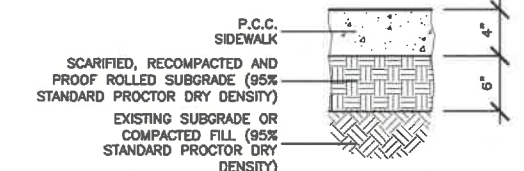
**5 STEEL PIPE BOLLARD**  
NOT TO SCALE



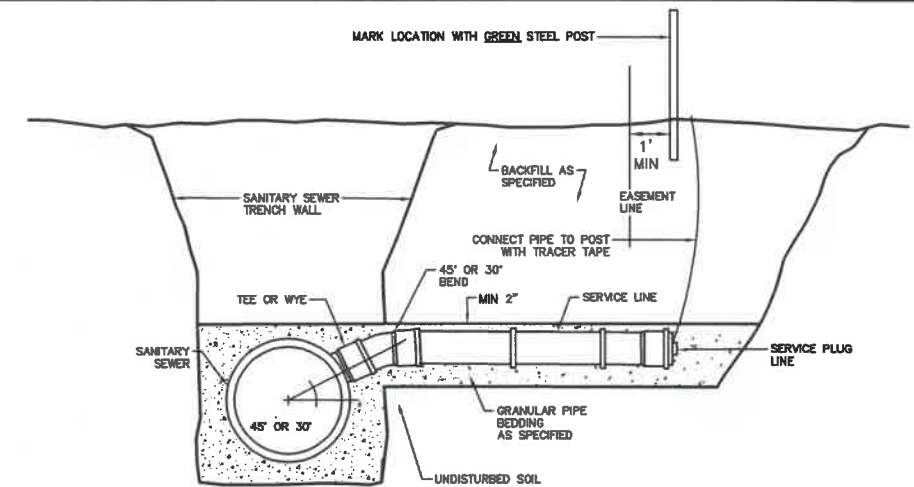
**6 INTEGRAL 6" STANDARD CURB SPOT ELEVATION REFERENCE DETAIL**  
NOT TO SCALE



**7 P.C.C. PAVING**  
NOT TO SCALE

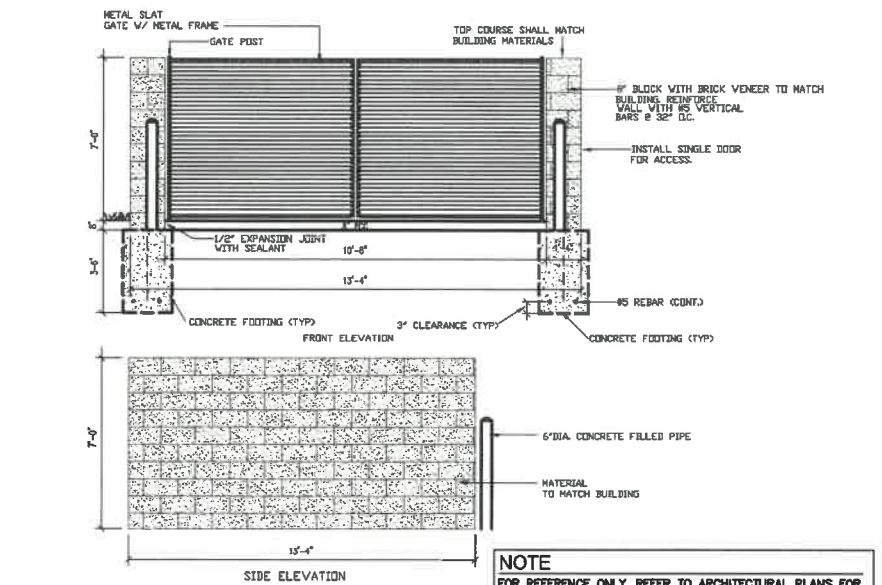


**8 P.C.C. SIDEWALK DETAIL**  
NOT TO SCALE



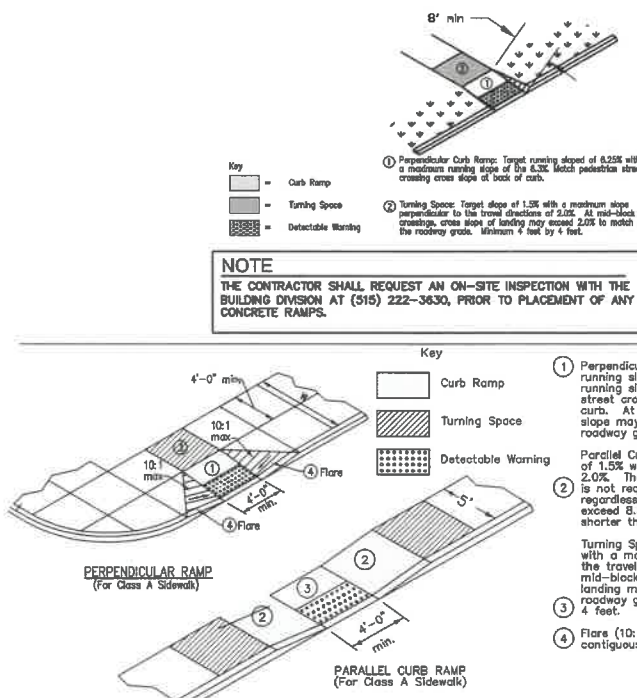
NOTE:  
1. USE FOR SERVICE CONNECTION WHEN SANITARY SEWER DEPTH IS 12.0' OR LESS OR WHEN REQUIRED TO SERVE ADJACENT PROPERTY.

**9 SANITARY SEWER SERVICE**  
NOT TO SCALE  
CITY OF WEST DES MOINES DETAIL 4.5



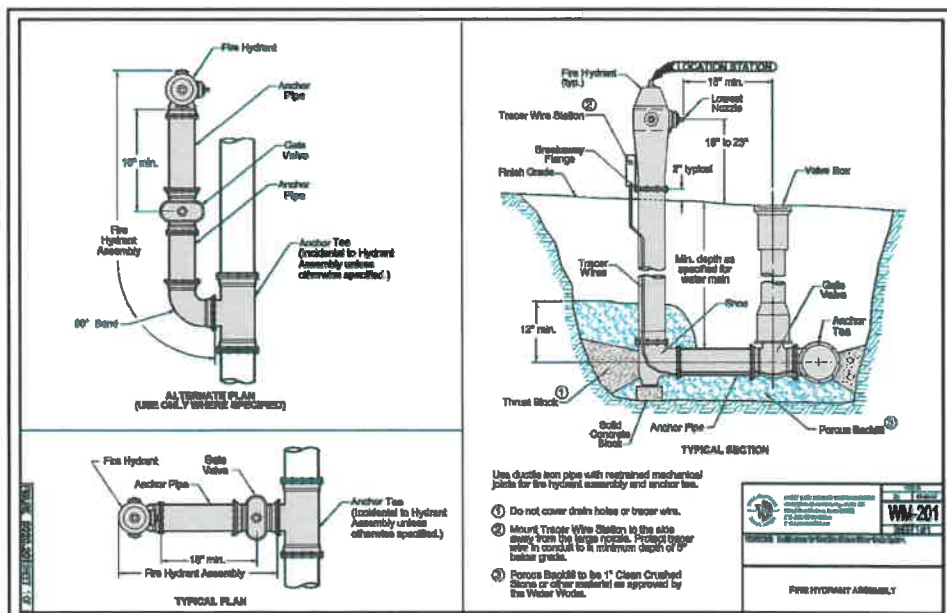
NOTE  
FOR REFERENCE ONLY. REFER TO ARCHITECTURAL PLANS FOR CURRENT PLAN AND ALL CONSTRUCTION DETAILS.

**10 TRASH ENCLOSURE**  
NOT TO SCALE



NOTE  
THE CONTRACTOR SHALL REQUEST AN ON-SITE INSPECTION WITH THE BUILDING DIVISION AT (515) 222-3630, PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.

**11 CURB RAMP DETAILS**  
NOT TO SCALE



Use ductile iron pipe with restrained mechanical joints for fire hydrant assembly and anchor line.  
1. Do not cover drain holes or tracer wire.  
2. Mount Tracer Wire Station in the same manhole as the hydrant. Protect tracer wire in conduit to a minimum depth of 6 inches below grade.  
3. Process Backfill to be 1" Clean Crushed Stone or other material as approved by the Water Works.

**12 FIRE HYDRANT ASSEMBLY**  
NOT TO SCALE

REVISIONS	DATE
REVISOR	
REVISED FINAL SUBMITTAL	04/28/19
FINAL SUBMITTAL	04/05/19
SECOND SUBMITTAL	03/21/19
FIRST SUBMITTAL	02/26/19

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410  
ENGINEER: EKO TECH: RL



WEST DES MOINES, IOWA  
CIVIL DESIGN ADVANTAGE

THE COFFEE SHOP @ CONTINENTAL PLAZA  
DETAILS

WEST LAKES OFFICE PARK  
 PLAT 14 - LOT 1  
 HY-VEE, INC  
 ZONING: PUD - BUSINESS AND COMMERCIAL  
 LAND USE: COMMERCIAL  
 COMPREHENSIVE PLAN DESIGNATION: SC - SUPPORT COMMERCIAL

WESTOWN PARKWAY (PUBLIC)

80' B-B  
 130' EXISTING R.O.W.

STREET LOT A  
 BOOK 2018  
 PAGE 1250

EXISTING  
 10' PUBLIC TRAIL  
 (U.A.C.)

SITE PLAN  
 LIMITS (TYP.)

DELTA=90°00'30"  
 L=39.27'  
 R=25.00'  
 CH=35.36'  
 CHB=N45°42'57"E

MONUMENT SIGN  
 (REFER TO  
 SEPARATE PLANS)

15.00' WATER  
 MAIN EASEMENT  
 BK785, PG432

EXISTING 4'  
 PUBLIC  
 SIDEWALK  
 (U.A.C.)

ORDER POINT CANOPY,  
 120' ALONG DRIVE-THRU  
 CENTERLINE FROM PICK-UP  
 WINDOW

DUMPSTER  
 ENCLOSURE  
 (REFER TO  
 ARCHITECTURAL  
 PLANS)

EXISTING 30' SANITARY  
 SEWER EASEMENT  
 (BK 2018, PG 1256)

EXISTING 25' INGRESS/  
 EGRESS EASEMENT

6" PCC INTEGRAL  
 CURB (TYPICAL)

CLEARANCE  
 BAR

PRE-MENU  
 BOARD

TRANSFORMER PAD

ACCESSIBLE  
 PARKING SIGN

ACCESSIBLE  
 PARKING SIGN (VAN)

COFFEE SHOP  
 ± 2,233 SF

BOLLARD  
 (TYPICAL)

6" PCC INTEGRAL  
 CURB (TYPICAL)

SITE PLAN IMPROVEMENT AREA.  
 THIS LINE DOES NOT REPRESENT ANY SORT OF  
 PROPERTY LINE OR LAND BOUNDARY.

9' (TYP.)

PARALLEL RAMP

CLASS 'A' INTEGRAL  
 CURB AND SIDEWALK

100' SETBACK

PATIO

PICK UP  
 WINDOW

PAINTED WHITE  
 STRIPE (TYPICAL)

11.32'

271.09'  
 N89°16'49"W

SC-SUPPORT COMMERCIAL ZONING BOUNDARY.  
 THIS LINE DOES NOT REPRESENT ANY SORT OF  
 PROPERTY LINE OR LAND BOUNDARY.

PAINTED WHITE  
 ARROW (TYPICAL)

PERPENDICULAR  
 RAMP (TYPICAL)

100' SETBACK

PAINTED WHITE  
 ARROW (TYPICAL)

SOLID 2"x6"  
 PAINTED WHITE  
 STRIPE (TYPICAL)

EXISTING 25' INGRESS/  
 EGRESS EASEMENT

EXISTING 25' INGRESS/  
 EGRESS EASEMENT

CURB OPENING  
 (REMOVE CURB)

STRIPE  
 PARKING  
 STALL

EXISTING 25' INGRESS/  
 EGRESS EASEMENT

CONTINENTAL PLAZA PLAT 2, LOT 1  
 PENTA PARTNERS LLC  
 ZONING: PCP - PROFESSIONAL COMMERCE PARK  
 LAND USE: OFFICE  
 COMPREHENSIVE PLAN DESIGNATION: OFFICE

DES MOINES GOLF  
 AND COUNTRY CLUB  
 ZONING: OPEN SPACE/AGRICULTURAL  
 LAND USE: GOLF COURSE  
 COMPREHENSIVE PLAN DESIGNATION: OPEN SPACE

JORDAN CREEK PARKWAY (PUBLIC)  
 120' EXISTING R.O.W.

CONTINENTAL PLAZA PLAT 2, LOT 1  
 PENTA PARTNERS LLC  
 ZONING: PCP - PROFESSIONAL COMMERCE PARK  
 LAND USE: OFFICE  
 COMPREHENSIVE PLAN DESIGNATION: OFFICE

GENERAL NOTES

1. THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS AND THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM CONSTRUCTION DIVISION 'CLINT CARPENTER' (222-3480) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 1 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
18. TRASH FOR THE BUILDING INTERNAL OR IN LOADING AREA AND SCREENED BY EXISTING WALL.
19. THE MONUMENT SIGNS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. SIGNS ARE NOT APPROVED AS PART OF THE SITE PLAN REVIEW.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK PATH CLOSURE SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES, SIGNAGE AND TEMPORARY PEDESTRIAN ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R208 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING, STRIPING AND OTHER TRAFFIC CONTROL DEVICES ON THE DRIVEWAY APPROACHES TO THE PUBLIC STREETS SHOULD CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FEDERAL HIGHWAY ADMINISTRATION 2009 EDITION).

PAVEMENT THICKNESS  
 (NON-REINFORCED)

- |                                     |           |
|-------------------------------------|-----------|
| 1. SIDEWALKS                        | 4" P.C.C. |
| 2. PRIVATE DRIVES                   | 7" P.C.C. |
| 3. PARKING SPACES                   | 6" P.C.C. |
| 4. DUMPSTER ENCLOSURE AND FRONT 20' | 8" P.C.C. |



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 COMMENTS:  
 DATE: 4/29/2018 8:41 AM

DATE: 04/29/18  
 REVISIONS: 04/05/18  
 03/21/18  
 02/28/18

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 GRIMES, IOWA 50111  
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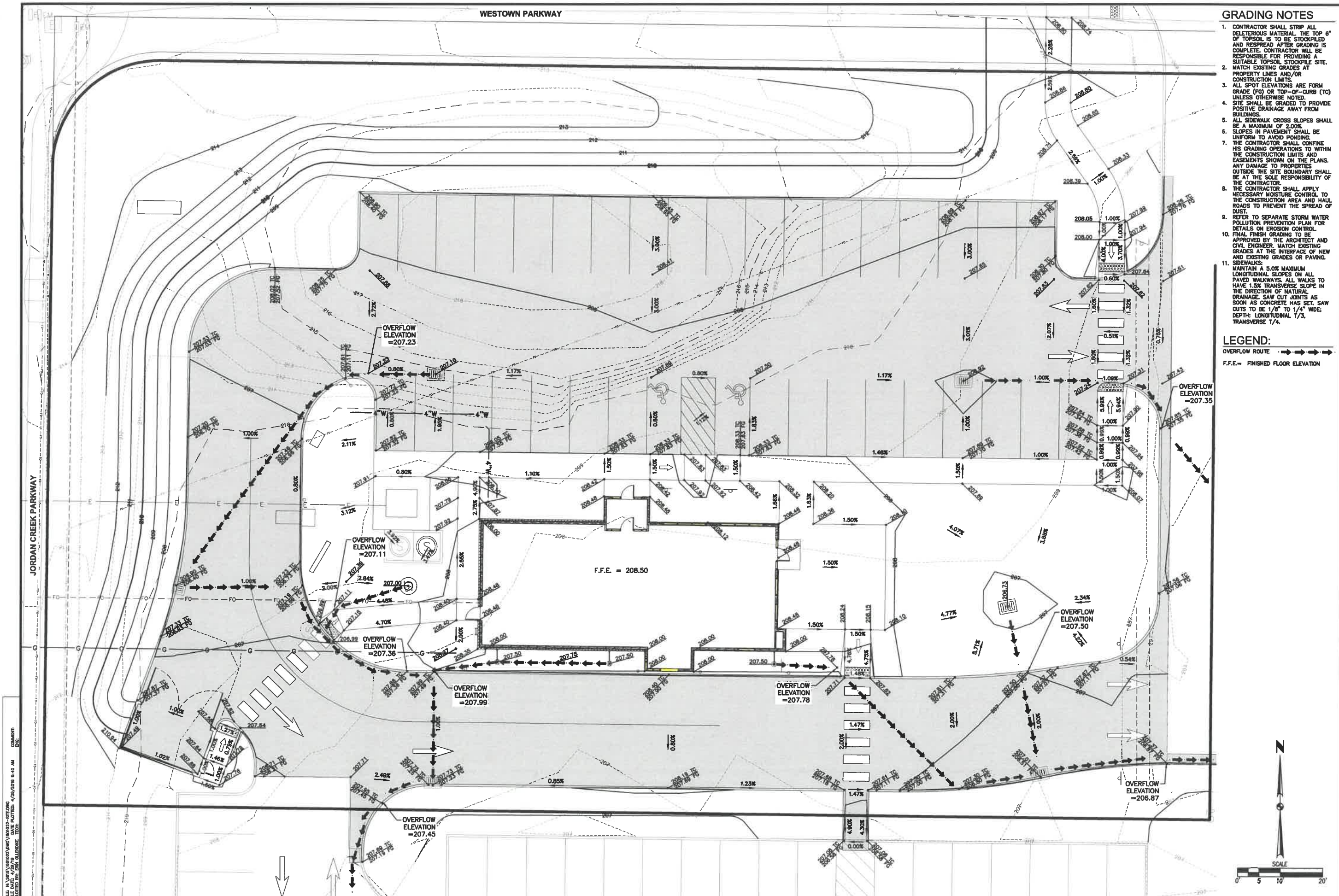
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 ENGINEER: EKO

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THE COFFEE SHOP @ CONTINENTAL PLAZA  
 DIMENSION PLAN

CIVIL DESIGN ADVANTAGE  
 WEST DES MOINES, IOWA





**GRADING NOTES**

1. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
2. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
3. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP-OF-CURB (TC) UNLESS OTHERWISE NOTED.
4. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
5. ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 2.00%.
6. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
7. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HALL ROADS TO PREVENT THE SPREAD OF DUST.
9. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
10. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
11. SIDEWALKS: MAINTAIN A 5.0% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 1.5% TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.

**LEGEND:**  
 OVERFLOW ROUTE → → → →  
 F.F.E. = FINISHED FLOOR ELEVATION

REVISIONS	DATE
REVISED FINAL SUBMITTAL	04/26/19
FINAL SUBMITTAL	04/05/19
SECOND SUBMITTAL	03/27/19
FIRST SUBMITTAL	02/26/19

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 TECH: RL



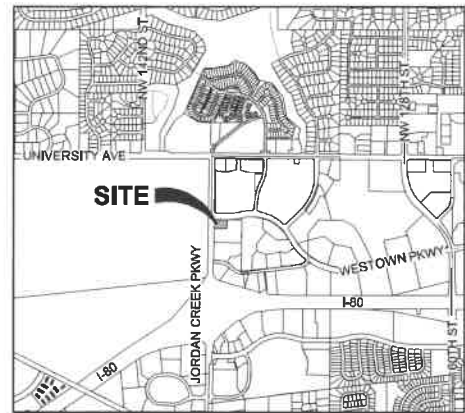
**THE COFFEE SHOP @ CONTINENTAL PLAZA**  
**GRADING PLAN**  
 WEST DES MOINES, IOWA  
 CIVIL DESIGN ADVANTAGE ENGINEER: EKO

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 PLOT DATE: 4/26/19  
 PLOTTER: HP DesignJet T1200  
 COMMENT: 8:40 AM

# THE COFFEE SHOP @ CONTINENTAL PLAZA

## EROSION AND SEDIMENT CONTROL PLAN

VICINITY MAP  
NOT TO SCALE



### DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO AN UNNAMED TRIBUTARY OF WALNUT CREEK ±1,500 FT		
TOTAL AREA DISTURBED TO DISCHARGE POINT	1.06 ACRES	
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	3,816 CU FT	
VOLUME PROVIDED IN FILTER SOCK (200 LF @ 2.0 CU FT/LF OF SOCK)	400 CU FT	
VOLUME PROVIDED IN SILT FENCE (667 LF @ 5.5 CU FT/LF OF FENCE)	3,688 CU FT	
TOTAL VOLUME PROVIDED	4,088 CU FT	

### STABILIZATION QUANTITIES

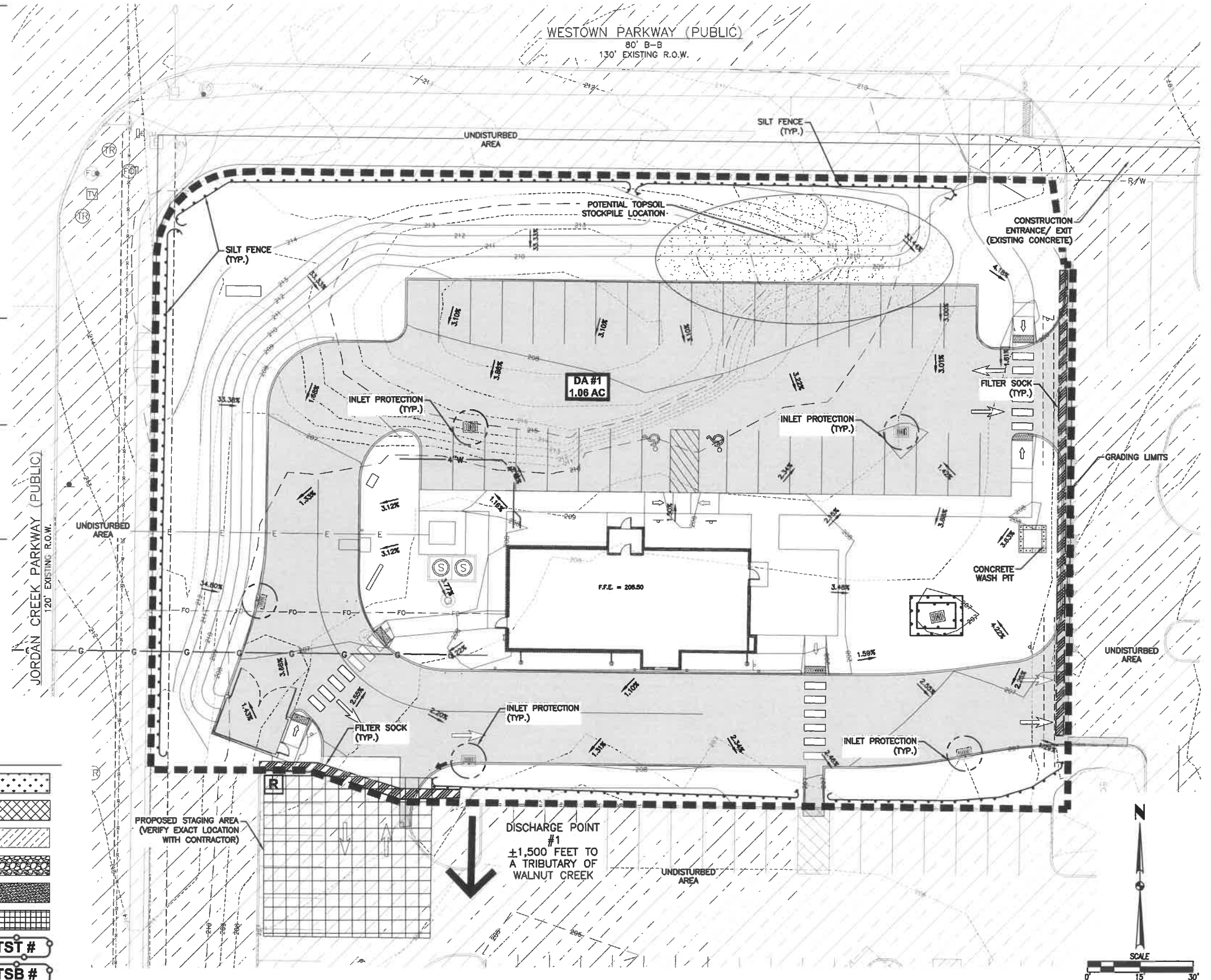
ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	667
2	SEEDING, FERTILIZING, AND MULCHING	AC	0.58
3	INLET PROTECTION DEVICES	EA	5
4	CONCRETE WASHOUT PIT	EA	1

### NOTES:

- DISCHARGES FROM DEWATERING ACTIVITIES, INCLUDING DISCHARGES FROM DEWATERING OF TRENCHES AND EXCAVATIONS, ARE PROHIBITED UNLESS MANAGED BY APPROPRIATE CONTROLS.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- PREPARATION OF SEED-BED  
 AREAS ACCESSIBLE TO MACHINERY: AREAS ACCESSIBLE TO FIELD MACHINERY SHALL BE THOROUGHLY WORKED TO A DEPTH OF NOT LESS THAN THREE INCHES (3"). THE SOIL SHALL BE BROUGHT TO A LOOSE, FRIABLE CONDITION, AND SHALL BE PICKED FREE OF ROCKS AND CONCRETE CHUNKS IN EXCESS OF ONE INCH (1") DIAMETER WHERE WEED GROWTH HAS DEVELOPED EXTENSIVELY. THE USE OF A DISK WILL BE ALLOWED TO DISK THESE WEEDS INTO THE GROUND IF THE WEEDS CAN BE COMPLETELY COVERED BY THIS METHOD.  
 AREAS INACCESSIBLE TO MACHINERY: AREAS INACCESSIBLE TO FIELD MACHINERY SHALL BE PREPARED BY HAND TO A DEPTH OF NOT LESS THAN ONE AND ONE-HALF INCHES (1-1/2"). THE SOIL SHALL BE BROUGHT TO A LOOSE, FRIABLE CONDITION.  
 THE SEED-BED SHALL BE INSPECTED AND APPROVED BY THE CITY ENGINEER PRIOR TO SEEDING.

### SWPPP LEGEND

DRAINAGE ARROW	X.XX %	AREA TO BE SEEDED
GRADING LIMITS	---	STRAW MAT
FILTER SOCK	▨	UNDISTURBED AREA
SILT FENCE	—	RIP-RAP
DITCH CHECK	—	GRAVEL ENTRANCE
INLET PROTECTION	○	STAGING AREA
PORTABLE RESTROOM	R	TEMPORARY SEDIMENT TRAP
TEMPORARY STANDPIPE	●	TEMPORARY SEDIMENT BASIN
CONCRETE WASHOUT PIT	□	



DATE	REVISIONS
04/29/19 <td>REVISED FINAL SUBMITTAL</td>	REVISED FINAL SUBMITTAL
04/05/19 <td>FINAL SUBMITTAL</td>	FINAL SUBMITTAL
03/27/19 <td>SECOND SUBMITTAL</td>	SECOND SUBMITTAL
02/26/19 <td>FIRST SUBMITTAL</td>	FIRST SUBMITTAL

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THE COFFEE SHOP @ CONTINENTAL PLAZA  
EROSION AND SEDIMENT CONTROL PLAN  
WEST DES MOINES, IOWA

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 PLOT DATE: 4/29/19 PLOT TIME: 8:40 AM  
 COMMENT: SWPPP PLOT  
 PLOTTER: JORDAN WILSON

**UTILITY NOTES**

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WEST DES MOINES PLUMBING CODE.
- 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN. SEWER PIPES OVER WATER PIPES NEED TO MEET IOWA DNR MATERIAL REQUIREMENTS.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IF IT IS POSSIBLE THERE ARE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
- MECHANICAL UNITS ARE ROOF MOUNTED AND WILL BE SCREENED.
- BUILDING IS REQUIRED TO BE FIRE SPRINKLERED AND FIRE ALARMED.

**WEST DES MOINES WATER WORKS NOTES**

- ALL WATER WORK SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND CITY'S CROSS-CONNECTION CONTROL/CONTAINMENT PROVISIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(S) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1287, 54-1888. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- BUILDING FIRE SPRINKLER AND FIRE ALARM SYSTEM SHALL BE DESIGNED PER WEST DES MOINES FIRE CODE.
- WATER SHALL BE PROVIDED TO PROPERTY VIA PRIVATE WATER MAIN. OWNER SHALL ALLOW WEST DES MOINES WATER WORKS ACCESS TO THE METERS AND VALVES AS NEEDED FOR EMERGENCY MAINTENANCE AND SHUT OFF IN THE EVENT OF NON-PAYMENT.
- FIELD VERIFY LOCATION OF WATER CONNECTION AND REMOVE AND REPLACE SIDEWALK AS NECESSARY FOR CONNECTION.
- GASKETED STORM SEWER REQUIRED AT WATER CROSSING PER IOWA DNR.

**PRIVATE WATER MAIN QUANTITIES**

6" TAPPING SLEEVE & VALVE	1
HYDRANT ASSEMBLY	1
2" VALVE	1
4" VALVE	1
2" WATER SERVICE	6 LF
4" WATER SERVICE	55 LF
6" WATER SERVICE	71 LF

**LIGHTING NOTES:**

SEE LIGHTING PLAN (PHOTOMETRIC PLAN) FOR MORE INFORMATION.

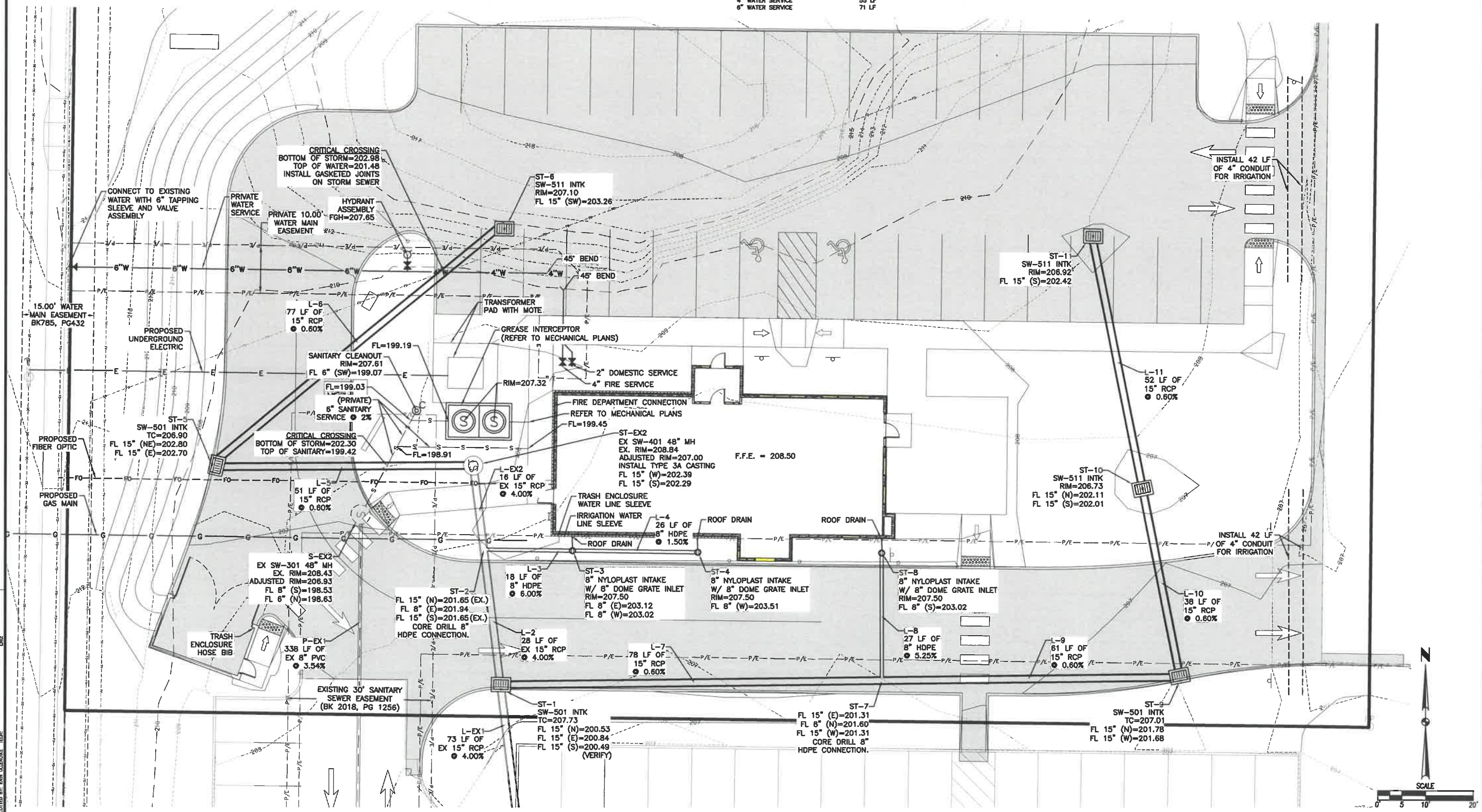
ALL LIGHTING MUST BE DOWN-CAST, CUT-OFF TYPE FIXTURES. WALL PACK LIGHT WITHOUT SHIELDS TO DIRECT LIGHT DOWN TO ITS INTENDED TARGET ARE PROHIBITED.

**NOTE:**

ALL PROPOSED UTILITIES ARE PRIVATE

**NOTE:**

CONTRACTOR SHALL COORDINATE TRANSFORMER PAD SIZE AND LOCATION, INCLUDING BUILDING SEPARATION, WITH MID AMERICAN ENERGY PRIOR TO TRANSFORMER PAD CONSTRUCTION.



REVISIONS	DATE	BY	CHKD
REVISED FINAL SUBMITTAL	04/26/19		
FINAL SUBMITTAL	04/02/19		
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 ENGINEER: EKO TECH: RL

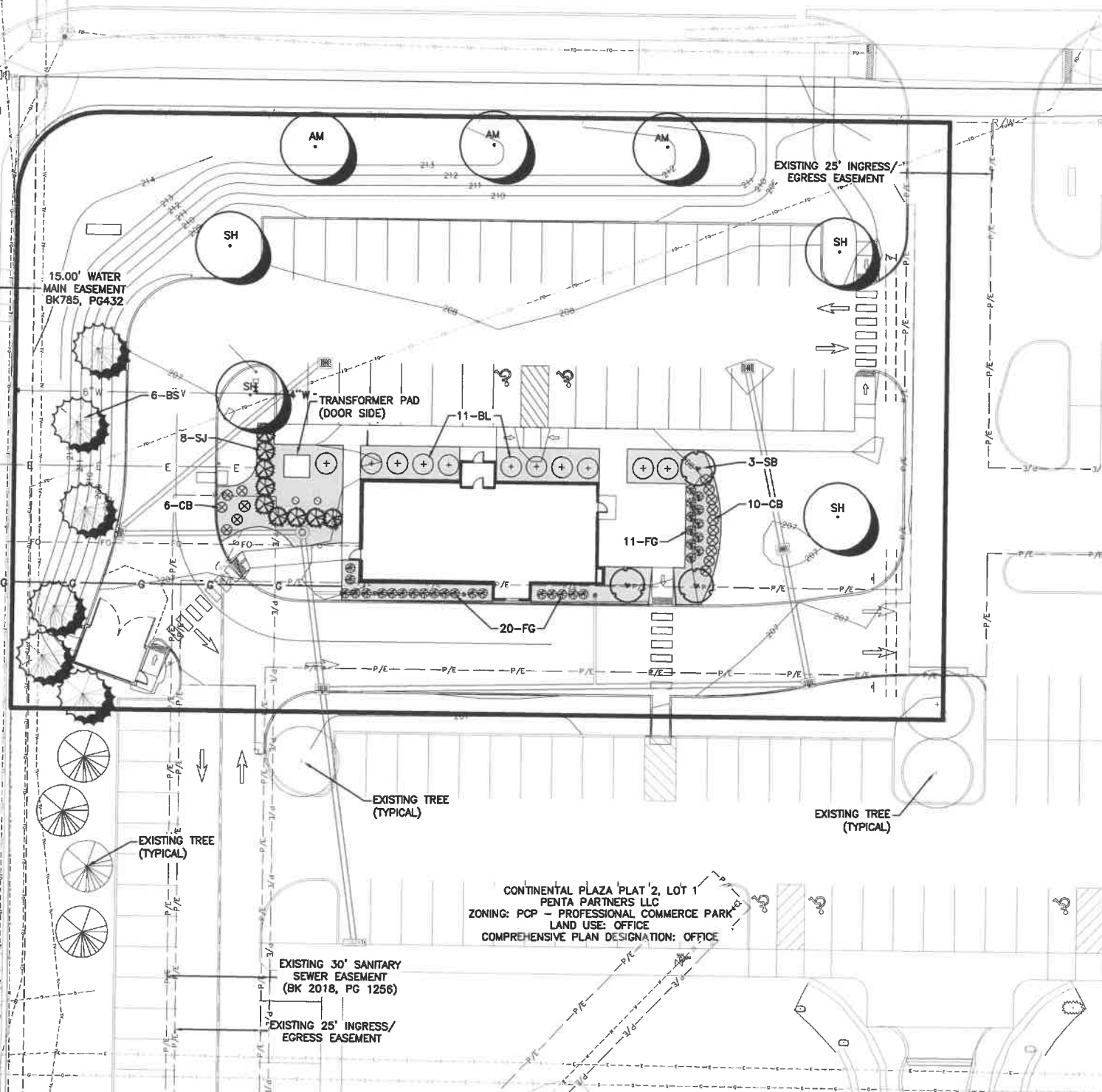


WEST DES MOINES, IOWA  
 CIVIL DESIGN ADVANTAGE  
 UTILITY PLAN

WEST LAKES OFFICE PARK  
 PLAT 14 - LOT 1  
 HY-VEE, INC  
 ZONING: PUD - BUSINESS AND COMMERCIAL  
 LAND USE: COMMERCIAL  
 COMPREHENSIVE PLAN DESIGNATION: SC - SUPPORT COMMERCIAL

WESTOWN PARKWAY (PUBLIC)  
 80' B-B  
 130' EXISTING R.O.W.

JORDAN CREEK PARKWAY (PUBLIC)  
 120' EXISTING R.O.W.



CONTINENTAL PLAZA PLAT 2, LOT 1  
 PENTA PARTNERS LLC  
 ZONING: PCP - PROFESSIONAL COMMERCE PARK  
 LAND USE: OFFICE  
 COMPREHENSIVE PLAN DESIGNATION: OFFICE

LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOO ALL AREAS ADJACENT TO BUILDINGS, SEED (TYPE1) ALL OTHER DISTURBED AREAS.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOO, IF REQ.)
7. WEED PREVENTER(PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3". ALL GROUPS OF MORE THAN ONE SHRUB SHALL BE MULCHED IN A CONTINUOUS BED, SEPARATED FROM TURF BY A 3" SPADE-CUT EDGE. MULCH AROUND ALL CONIFEROUS TREES SHALL BE A 10' DIAMETER CIRCLE. ALL EDGING SHALL BE SPADE-CUT EDGE.
9. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
10. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
12. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER FOR APPROVAL.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER FOR APPROVAL.
14. NO OVERSTORY TREES SHALL BE PLANTED IN ANY CITY OF WEST DES MOINES PUBLIC UTILITY EASEMENT.

SCREENING

ALL MECHANICAL UNITS VISIBLE FROM A PUBLIC STREET ARE SCREENED BY A 3'+ ELEVATION CHANGE, A 3'+ BERM OR VEGETATION TO A HEIGHT OF 3'.

ALL PARKING AREAS ADJACENT TO PUBLIC RIGHTS OF WAY ARE SCREENED BY A 3'+ ELEVATION CHANGE, A 3'+ BERM OR VEGETATION TO A HEIGHT OF 3'.

PLANT SUBSTITUTIONS

- (2) ORNAMENTAL TREES = (1) OVERSTORY TREE OR EVERGREEN
- (10) SHRUBS = (1) UNDERSTORY TREE

NO MORE THAN 50% OF THE REQUIRED PLANT TYPE MAY BE SUBSTITUTED.

AT LEAST 35% OF TREES REQUIRED ON SITE (SUM OF OPEN SPACE, BUFFER AND PARKING LOT TREES) SHALL BE EVERGREEN.

- EVERGREENS REQUIRED = 5 (35%)
- EVERGREENS PROVIDED = 5 (35%)

MINIMUM PLANT SIZES

- DECIDUOUS OVERSTORY TREES = 2" CAL
- DECIDUOUS OVERSTORY TREES (CLUMP) = 1" CAL
- EVERGREEN TREES = 6" HEIGHT
- ORNAMENTAL TREES = 1.5" CAL
- DECIDUOUS SHRUBS (5'+) = 36" HEIGHT
- DECIDUOUS SHRUBS (3'-5') = 24" HEIGHT
- DECIDUOUS SHRUBS (0-3') = 15" HEIGHT

OPEN SPACE LANDSCAPE REQUIREMENTS

(2) TREES PER 3000 SF OF REQUIRED OPEN SPACE

(3) SHRUBS PER 3000 SF OF REQUIRED OPEN SPACE

- SITE AREA = 47,156 SF
- OPEN SPACE REQUIRED = 11,870 SF (25%)
- OPEN SPACE PROVIDED = 22,863 SF (48%)

- TREES REQUIRED = 8
- PROPOSED TREES = 9
- SHRUBS REQUIRED = 12
- SHRUBS PROVIDED = 18

PARKING LOT LANDSCAPE REQUIREMENTS

LANDSCAPED ISLANDS SHALL BE PLACED, AT A MINIMUM, EVERY EIGHTEEN (18) STALLS WITHIN A ROW OF PARKING. LANDSCAPED ISLANDS SHALL BE, AT A MINIMUM, NINE FEET (9') WIDE AND THIRTY FOUR FEET (34') IN LENGTH FOR DUAL PARKING ROWS OR A MINIMUM OF NINE FEET (9') WIDE AND SEVENTEEN FEET (17') IN WIDTH FOR SINGLE ROWS.

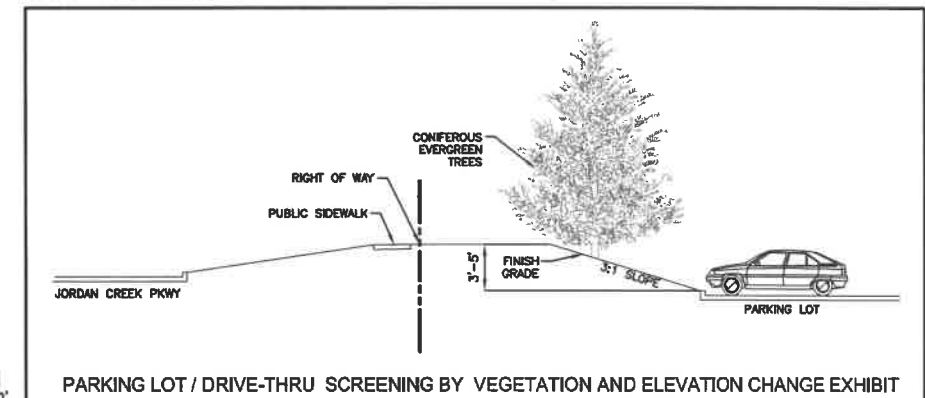
- A. TWO TREES IN EACH NINE BY THIRTY FOUR FOOT (9 X 34') ISLAND.
- B. ONE TREE IN EACH NINE BY SEVENTEEN FOOT (9 X 17') ISLAND.

- REQUIRED: 4 TREES
- PROVIDED: 4 TREES

\* VEGETATION REQUIRED IN OFF STREET PARKING AREAS SHALL BE IN ADDITION TO OPEN SPACE LANDSCAPING REQUIRED, HOWEVER, OPEN SPACE LANDSCAPING MAY BE PLACED WITHIN OFF STREET PARKING AREAS.

PLANT SCHEDULE

CODE/ITY	OVERSTORY TREES	SIZE	COND
SR 4	SHADMASTER HONEYLOCUST (LEDYSSIA TRICANTHAS VARIETAS 'SHADMASTER')	2" CAL	B&B
AM 3	AUTUMN BLAZE MAPLE (ACER RUBRUM 'AUTUMN BLAZE')	2" CAL	B&B
CODE/ITY	ORNAMENTAL TREES	SIZE	COND
SR 13	SHADOW SERVICEBERRY (AMELANCHIER CANADENSIS)	1.5" CAL	B&B
CODE/ITY	EVERGREEN TREES	SIZE	COND
BS 16	COLORADO BLUE SPRUCE (PICEA PLUMBENS)	6" HT.	B&B
CODE/ITY	SHRUBS	SIZE	COND
SR 17	BLOOMERANG PURPLE LAAC (SYRINGA X PEDICATA)	36" HT.	CONT
SL 8	SEA GREEN JUNPER (LAMBROSCUS CHINENSIS 'SEA GREEN')	36" HT.	CONT
OL 13	CRIMSON PYRAMID BARBERRY (BERBERIS THUNBERGII ATROPURPUREA)	18" HT.	CONT
CODE/ITY	PERENNIALS	SIZE	COND
FG 31	K.F. FEATHERED GRASS (CALAMAGROSTIS AQUIFLORA 'K.F.')	1 GAL.	CONT



PARKING LOT / DRIVE-THRU SCREENING BY VEGETATION AND ELEVATION CHANGE EXHIBIT

DATE: 04/28/19, 04/05/19, 03/27/19, 02/28/19

REVISIONS: REVISED FINAL SUBMITTAL, FINAL SUBMITTAL, SECOND SUBMITTAL, FIRST SUBMITTAL

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: RL

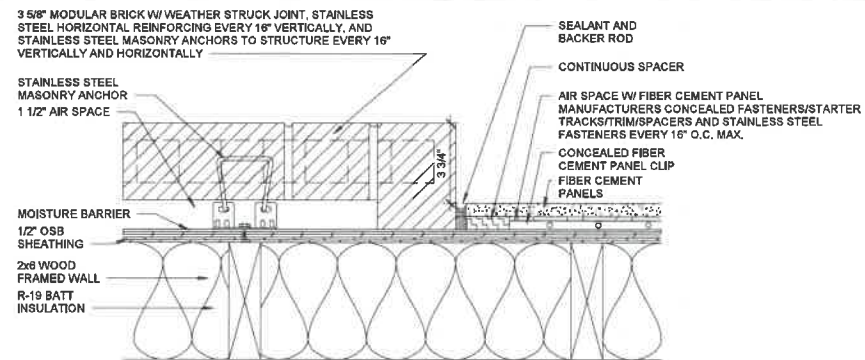
ENGINEER: EKO

CIVIL DESIGN ADVANTAGE

WEST DES MOINES, IOWA

THE COFFEE SHOP @ CONTINENTAL PLAZA  
 LANDSCAPE PLAN

7.0  
 1901.022



FINISH LEGEND				
KEY	KEY DESCRIPTION	MANUFACTURER	COLOR/NAME	REMARKS
AW-1	FABRIC	SUNBRELLA	4838 BLACK	-
BR-1	3 5/8" MODULAR BRICK	INTERSTATE BRICK	MIDNIGHT BLACK	GREY MORTAR
BR-2	3 5/8" MODULAR BRICK	INTERSTATE BRICK	SMOKEY MOUNTAIN	-
EIFS-1	EXTERIOR INSULATION AND FINISH SYSTEM	DRYVIT	BRITE WHITE	-
FC-1	FIBER CEMENT	NICHIHA	CEDAR	CONCEALED FASTENERS
FC-2	FIBER CEMENT	NICHIHA	ASH	CONCEALED FASTENERS
PT-1	PAINT	SHERWIN WILLIAMS	SW6258 TRICORN BLACK	-
PT-2	PAINT	SHERWIN WILLIAMS	SW 7069 IRON ORE	-
PT-3	PAINT	SHERWIN WILLIAMS	TO MATCH NICHIHA FIBER CEMENT VINTAGE WOOD CEDAR FINISH	-
STN-1	PRE-CAST STONE	CORONADO STONE	LIGHT GREY	-



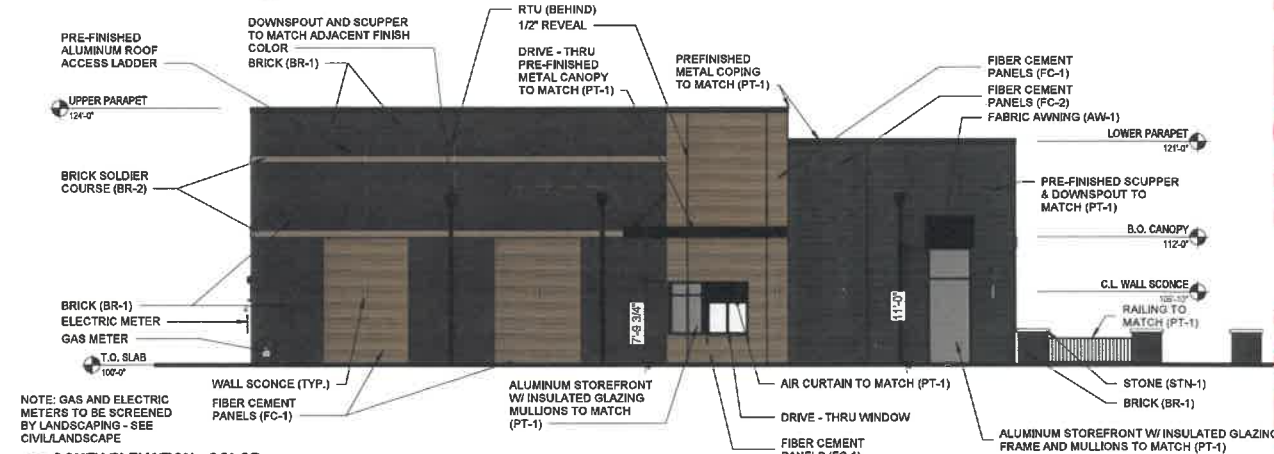
NOTE: GAS AND ELECTRIC METERS TO BE SCREENED BY LANDSCAPING - SEE CIVILLANDSCAPE

**1 SOUTH WEST PERSPECTIVE**

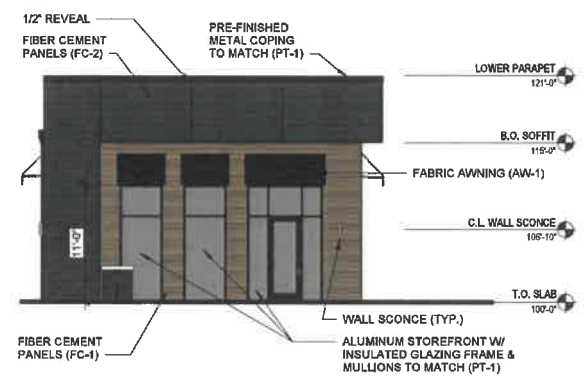
**2 NORTH EAST PERSPECTIVE**



**4 WEST ELEVATION - COLOR**  
1/8" = 1'-0"



**6 SOUTH ELEVATION - COLOR**  
1/8" = 1'-0"



**7 EAST ELEVATION - COLOR**  
1/8" = 1'-0"



**8 NORTH ELEVATION - COLOR**  
1/8" = 1'-0"

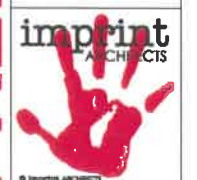
**PRELIMINARY - NOT FOR CONSTRUCTION**

PROJECT:  
**COFFEE SHOP**  
JORDAN CREEK PARKWAY  
WEST DES MOINES, IA

DATE: 03/29/2018  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
REVISED:

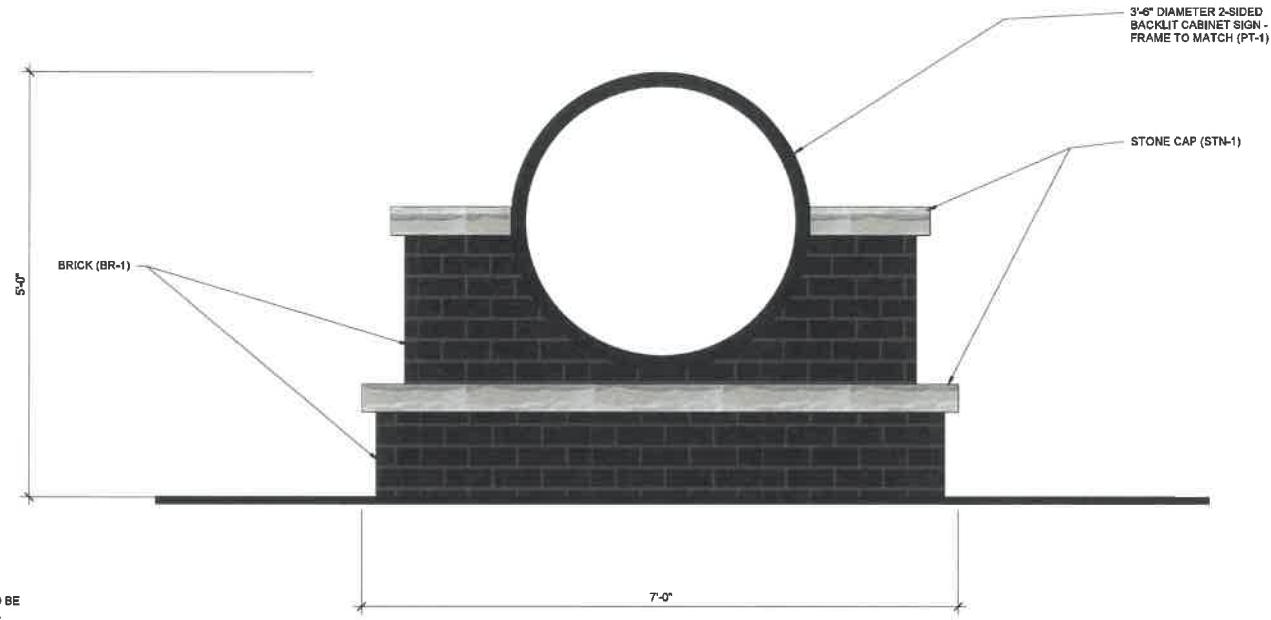
EXTERIOR ELEVATIONS - COLOR

A200C



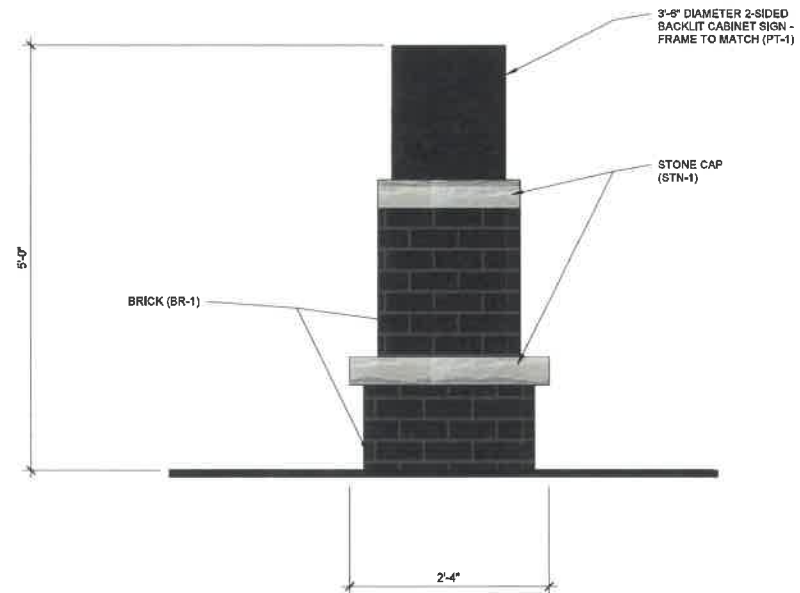
1605 N. ANKENY BLVD #130  
ANKENY, IOWA 50023  
PHONE: (515) 965-5338  
FAX: (515) 965-5335  
info@imprintarchitects.com

FINISH LEGEND				
KEY	KEY DESCRIPTION	MANUFACTURER	COLOR/NAME	REMARKS
AW-1	FABRIC	SUNBRELLA	4608 BLACK	-
BR-1	3 5/8" MODULAR BRICK	INTERSTATE BRICK	MIDNIGHT BLACK	GREY MORTAR
BR-2	3 5/8" MODULAR BRICK	INTERSTATE BRICK	SMOKEY MOUNTAIN	-
EIFS-1	EXTERIOR INSULATION AND FINISH SYSTEM	DRYVIT	BRITE WHITE	-
FC-1	FIBER CEMENT	NICHHA	CEDAR	CONCEALED FASTENERS
FC-2	FIBER CEMENT	NICHHA	ASH	CONCEALED FASTENERS
PT-1	PAINT	SHERWIN WILLIAMS	SW6258 TRICORN BLACK	-
PT-2	PAINT	SHERWIN WILLIAMS	SW 7069 IRON ORE	-
PT-3	PAINT	SHERWIN WILLIAMS	TO MATCH NICHHA FIBER CEMENT VINTAGE WOOD CEDAR FINISH	-
STN-1	PRE-CAST STONE	CORONADO STONE	LIGHT GREY	-

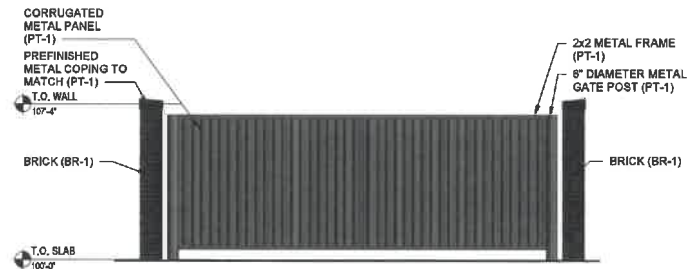


NOTE: SIGN AREA TO BE LESS THAN 35 SQ.FT.

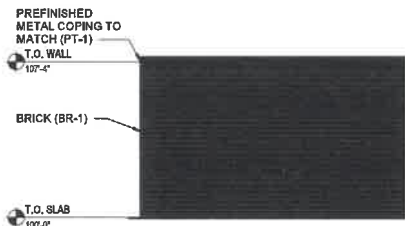
1 Elevation Monument Sign (Front/Back) COLOR  
1" = 1'-0"



2 Elevation Monument Sign (Side) COLOR  
1" = 1'-0"



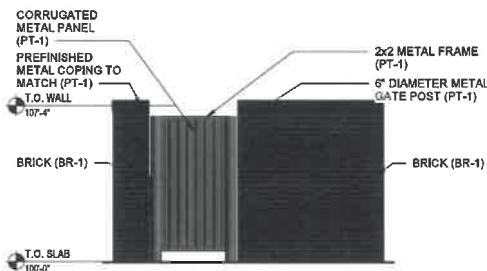
3 TRASH ENCLOSURE FRONT ELEVATION  
1/4" = 1'-0"



4 TRASH ENCLOSURE SIDE ELEVATION 2  
1/4" = 1'-0"



5 TRASH ENCLOSURE REAR ELEVATION  
1/4" = 1'-0"



6 TRASH ENCLOSURE SIDE ELEVATION  
1/4" = 1'-0"

**PRELIMINARY - NOT FOR CONSTRUCTION**

PROJECT:  
**COFFEE SHOP**  
JORDAN CREEK PARKWAY  
WEST DES MOINES, IA

DATE: 03/29/2018  
DRAWN BY: Auth  
CHKD BY: Checker  
REVISED:

TE AND MONUMENT  
SIGN ELEVATIONS -  
COLOR

A201C

imprint  
ARCHITECTS



1805 N. ANKENY BLVD #130  
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