

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: May 28, 2019

Item: Cardinal Lofts – 435 S 88th St – Approval of a Site Plan to construct an 88 unit special needs apartment building – John Larson – SP-004138-2018

Requested Action: Recommend Approval of Site Plan

Case Advisor: J. Bradley Munford 

Applicant's Request: Jared Murray of Civil Design Advantage, on behalf of the property owner John Larson, is requesting approval of a site plan to construct an 88 unit special needs apartment building.

History: The area was annexed into the city in 2007 as a part of the PCarroll Annexation. On June 25th, 2018 the City Council approved a rezoning to establish a PUD that allowed the future development of single family detached homes, a Senior Continuum Care facility, an apartment building for individuals with Special Needs, and future townhomes. On October 1, 2018 the City Council approved the Final Plat for this area.

City Council Subcommittee: The proposed site plan was presented to the Development and Planning Subcommittee on April 30, 2018. The Subcommittee was expressed support of the development.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment.

- **Installation of buffer landscaping on 88th street and Mills Civic Parkway:** As a part of a city project the intersection of 88th Street and Mills Civic Parkway will soon be under construction to reconfigure traffic flow. This street project and Cardinal Lofts are on similar construction timelines. It is unclear if the right-of-way adjacent to the Cardinal Lofts will still be under construction when the applicant would need to install landscaping to comply with the requirements necessary for an occupancy permit. In situations like this, the applicant typically provides surety with the site plan to insure that the landscaping will be installed in a timely fashion. In this case, because of the timing uncertainty, the applicant is requesting to delay the submittal of surety until we are certain that they will not be able to install the landscaping prior to requesting occupancy permits. Staff is comfortable with the request and recommend a condition of approval that requires that applicant to submit surety at the time of the request for occupancy permits, if landscaping along 88th street and Mills Civic Parkway cannot be installed.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Site Plan Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various

state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.

4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendations and Conditions of Approval: Based upon the preceding review and a finding of consistency with the Comprehensive Plan, staff recommends that the Plan and Zoning Commission adopt a resolution approving the site plan to allow construction of an 88 unit special needs apartment building, subject to the applicant meeting all City Code requirements and the following

1. The applicant acknowledging and agreeing to submit landscaping surety at the time of the request for any occupancy permits, if landscaping along 88th street and Mills Civic Parkway cannot be installed.

Property Owner/Applicant: John Larson
P.O. Box 267
Johnston, Iowa 50131
Johnlarson89@gmail.com

Applicant's Representatives: Jared Murray
Civil Design Advantage LLC
3405 SE Crossroads Drive, Suite G
Grimes, Iowa 50111
Jaredm@cda-eng.com

Attachments:

| | | |
|--------------|---|---------------------------------------|
| Attachment A | - | Plan and Zoning Commission Resolution |
| Exhibit A | - | Conditions of Approval |
| Attachment B | - | Location Map |
| Attachment C | - | Site Plan |
| Attachment D | - | Building Elevations |

RESOLUTION NO. PZC-

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A SITE PLAN (SP-004138-2018) TO CONSTRUCT AN 88 UNIT SPECIAL NEEDS APARTMENT BUILDING

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, The John Larson, has requested approval for a Site Plan (SP-004138-2018) for construction of an 88 unit special needs apartment building on a 4.99 acre site located at the 435 S 88th St; and

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, on May 28, 2019, this Commission held a duly-noticed public meeting to consider the application for a Site Plan.

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report, dated May 28, 2019 or as amended orally at the Plan and Zoning Commission hearing of May 28, 2019, are adopted.

SECTION 2. The Cardinal Lofts Site Plan (SP-004138-2018) to allow construction an 88 unit special needs apartment building, is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report including conditions added at the meeting, and attached hereto as Exhibit "A." Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on May 28, 2019.

Erica Andersen, Chair
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on May 28, 2019, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

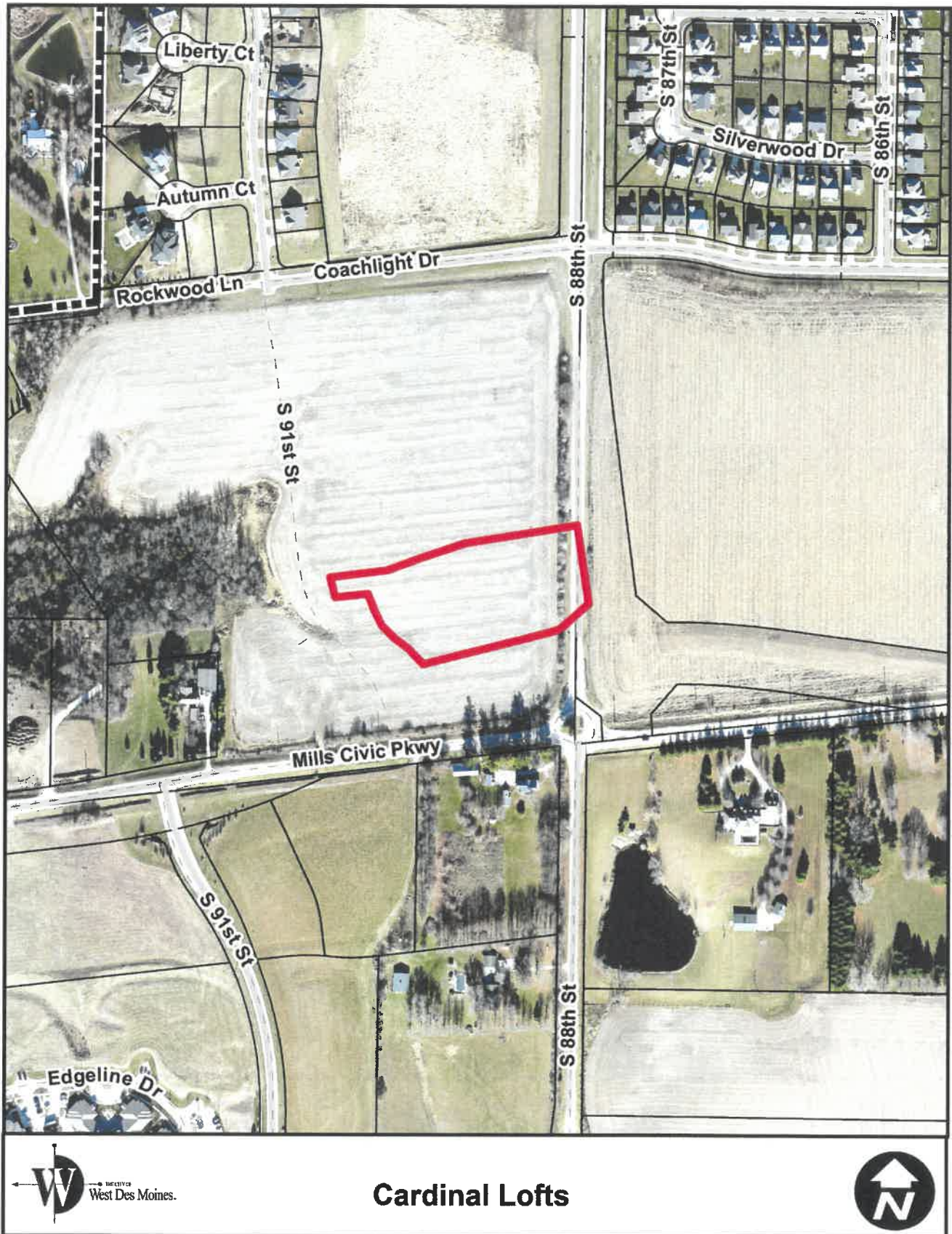
ABSENT:

ATTEST:

Recording Secretary

**EXHIBIT A
CONDITIONS OF APPROVAL**

1. The applicant acknowledging and agreeing to submit landscaping surety at the time of the request for any occupancy permits, if landscaping along 88th street and Mills Civic Parkway cannot be installed.



SITE PLAN FOR:
CARDINAL LOFTS
WEST DES MOINES, IOWA

VICINITY MAP
NOT TO SCALE



LEGAL DESCRIPTION

LOT 40 OF CEDAR RIDGE PLAT 2, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA AND CONTAINS 4.99 ACRES.

COMPREHENSIVE PLAN LAND USE

EXISTING: OFFICE (OF)
PROPOSED: HIGH DENSITY RESIDENTIAL (RH-18)

ZONING

EXISTING: UNZONED
PROPOSED: CEDAR RIDGE PUD - HIGH DENSITY RESIDENTIAL

PROJECT SITE ADDRESS

435 S. 88TH STREET

DEVELOPMENT SUMMARY

AREA: 217,171 SF (4.99 ACRES)

SETBACKS:
FRONT: 35'
REAR: 35'

UNITS:
88 UNITS (17.64 UNITS/ACRE)

PARKING:
REQUIRED: 2 SPACES / UNIT 176 STALLS

PROVIDED: 176 STALLS (98 STALLS ARE FUTURE)

OPEN SPACE CALCULATION:
REQUIRED: 54,293 SF (25%)
PROVIDED: 123,712 SF (57%)

IMPERVIOUS AREA:
BUILDING: 37,820 SF (17%)
PAVEMENT: 44,213 SF (20%)
FUTURE PAVEMENT: 11,426 SF (5%)
SIDEWALK: 7,287 SF (3%)
FUTURE SIDEWALK: 2,174 SF (1%)
TOTAL: 102,920 SF (46%)

BENCHMARKS

SET BENCHMARK: BURY BOLT ON HYDRANT, SECOND HYDRANT SOUTH OF PRIVATE DRIVE AT THE END OF ROCKWOOD LANE AND S 91ST STREET ELEVATION=221.81

WEST DES MOINES BENCHMARK #87: 3960 ± FEET WEST OF INTERSECTION OF SOUTH 88TH STREET AND 335TH STREET, 3 FEET NORTH OF EAST/WEST FENCE, 10 FEET EAST OF NORTH/SOUTH FENCE, ON 335TH STREET ACROSS FROM HOUSE #3307 AND #3309 ELEVATION=167.68

WEST DES MOINES BENCHMARK #35: INTERSECTION OF MILLS CIVIC PKWY AND SOUTH 88TH ST. NORTHEAST CORNER OF INTERSECTION, 206 FEET EAST OF CENTERLINE OF SOUTH 88TH STREET, 49 FEET NORTH OF THE CENTERLINE OF MILLS CIVIC PARKWAY, 2 FEET SOUTH OF THE FENCE LINE. ELEVATION=219.04

INDEX OF SHEETS

Table with 2 columns: NO. and DESCRIPTION. Lists sheets 1 through 8 including Cover Sheet, Dimension Plan, Grading Plan, Erosion and Sediment Control Plan, Utility Plan, Landscape Plan, and Details.

NOTES

- List of 9 notes detailing construction requirements, utility installation, and permit procedures.



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPREHEND ALL THE UTILITIES IN THE AREA...

GA CIVIL DESIGN ADVANTAGE logo and contact information: 3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111. PH: (515) 369-4400 Fax: (515) 369-4410 PROJECT NO. 1807.410

GENERAL LEGEND

Legend table defining symbols for proposed and existing features: Project Boundary, Lot Line, Section Line, Right of Way, Easements, Storm Intakes, Manholes, Sewer Pipes, Water Services, and various utility lines.

OWNER/APPLICANT

CONTACT: JOHN LARSON
PO BOX 267
JOHNSTON, IA 50131
PH. (515) 491-4090

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: JARED MURRAY
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: MIKE BROONER
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

ARCHITECT

ALLER DESIGN GROUP
CONTACT: TED KARNES
1840 NW 118TH STREET, SUITE 220
CLIVE, IA 50325
PH. (515) 254-1181

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SPRING 2019
ANTICIPATED FINISH DATE = SPRINT 2020

DATE OF SURVEY

MAY 3, 2018

SUBMITTAL DATES

Table with 2 columns: Submittal number and date. Lists 5 submittal dates from 11/12/2018 to 05/22/2019.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF WEST DES MOINES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION...

Professional Engineer seal for Jared M. Murray, P.E. and a large 'PRELIMINARY' watermark. Includes license renewal date and sheet information.

FILE: H:\31818\1807.410\1807.410-DWG-1807.410-SHEET-1807.410.DWG
DATE PLOTTED: 5/22/2018 8:17 AM
COMMENTS:
DRAWN BY: JARED MURRAY

CARDINAL LOFTS

GENERAL NOTES

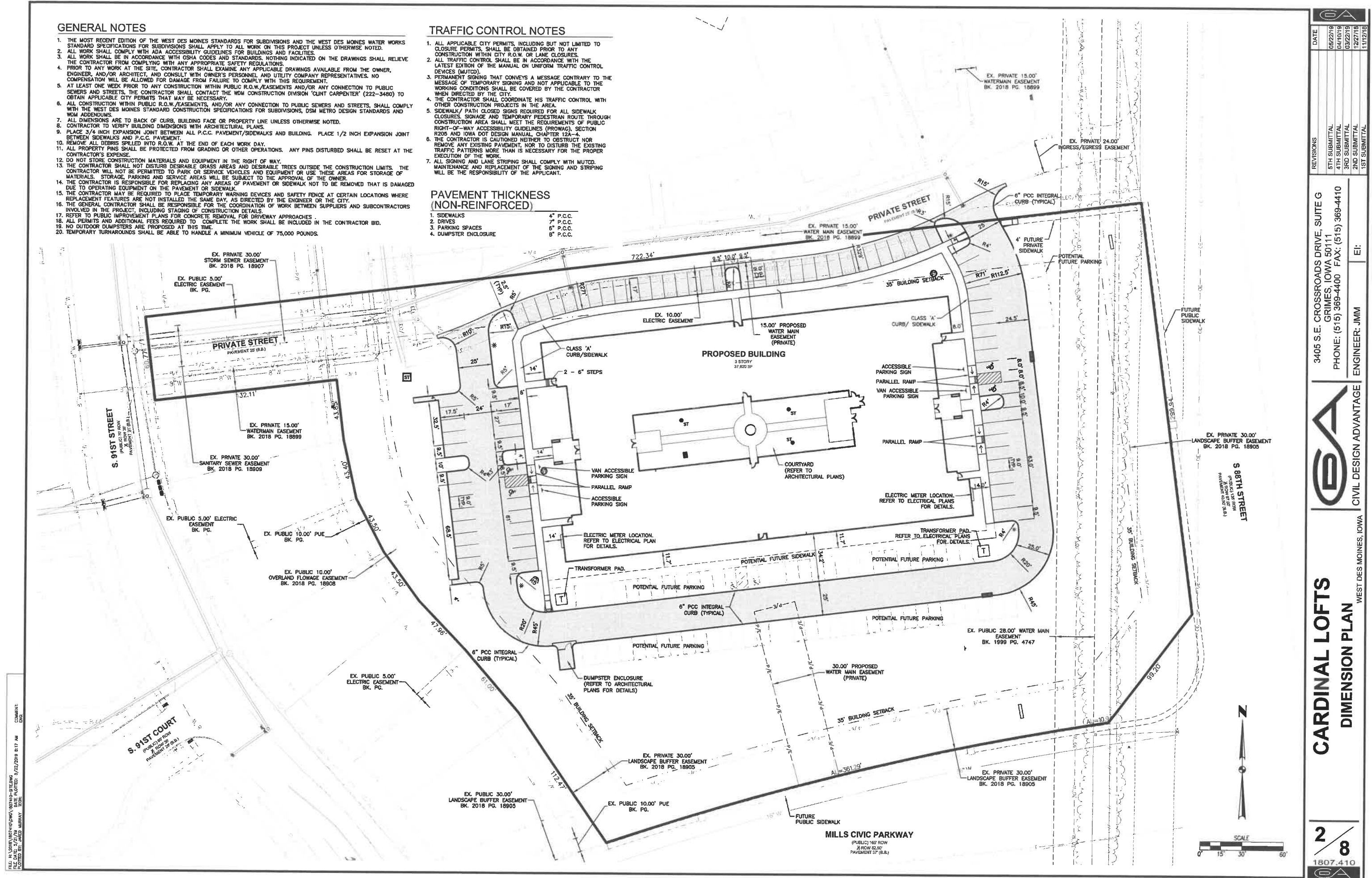
1. THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS AND THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH IOWA CODES AND STANDARDS, NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM CONSTRUCTION DIVISION "CLINT CARPENTER" (222-3480) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. REFER TO PUBLIC IMPROVEMENT PLANS FOR CONCRETE REMOVAL FOR DRIVEWAY APPROACHES.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. NO OUTDOOR DUMPSTERS ARE PROPOSED AT THIS TIME.
20. TEMPORARY TURNAROUNDS SHALL BE ABLE TO HANDLE A MINIMUM VEHICLE OF 75,000 POUNDS.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK/ PATH CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R208 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING SHALL COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

PAVEMENT THICKNESS (NON-REINFORCED)

- | | |
|-----------------------|-----------|
| 1. SIDEWALKS | 4" P.C.C. |
| 2. DRIVES | 7" P.C.C. |
| 3. PARKING SPACES | 6" P.C.C. |
| 4. DUMPSTER ENCLOSURE | 8" P.C.C. |



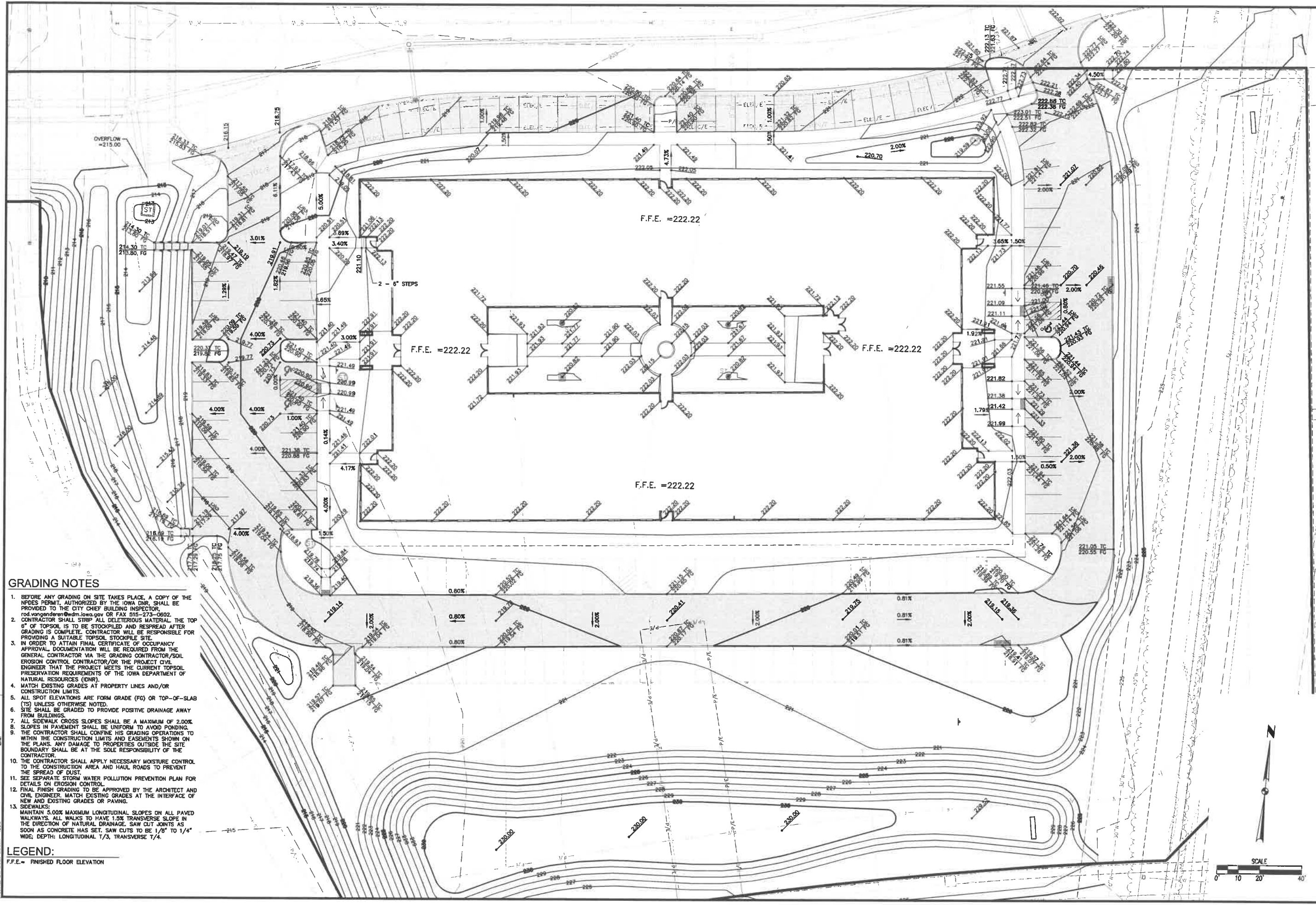
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|----------|---------------|
| 05/22/19 | 1ST SUBMITTAL |
| 04/10/19 | 2ND SUBMITTAL |
| 03/22/19 | 3RD SUBMITTAL |
| 12/27/18 | 4TH SUBMITTAL |
| 11/27/18 | 5TH SUBMITTAL |

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: JMM



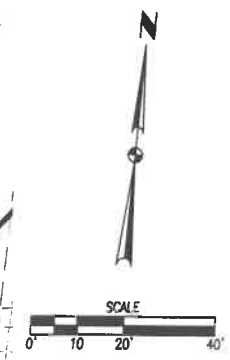
CARDINAL LOFTS
DIMENSION PLAN



GRADING NOTES

1. BEFORE ANY GRADING ON SITE TAKES PLACE, A COPY OF THE NPDES PERMIT, AUTHORIZED BY THE IOWA DNR, SHALL BE PROVIDED TO THE CITY CHIEF BUILDING INSPECTOR FOR REVIEW AND APPROVAL. CONTACT: 515-281-3602.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. IN ORDER TO ATTAIN FINAL CERTIFICATE OF OCCUPANCY APPROVAL, DOCUMENTATION WILL BE REQUIRED FROM THE GENERAL CONTRACTOR VIA THE GRADING CONTRACTOR/SOIL EROSION CONTROL CONTRACTOR/OR THE PROJECT CIVIL ENGINEER THAT THE PROJECT MEETS THE CURRENT TOPSOIL PRESERVATION REQUIREMENTS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR).
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP-OF-SLAB (TS) UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 2.00%.
8. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
9. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
11. SEE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
12. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
13. SIDEWALKS: MAINTAIN 5.00% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 1.5% TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.

LEGEND:
 F.F.E. = FINISHED FLOOR ELEVATION



| | |
|-----------|---------------|
| DATE | 05/22/10 |
| REVISIONS | 5TH SUBMITTAL |
| | 4TH SUBMITTAL |
| | 3RD SUBMITTAL |
| | 2ND SUBMITTAL |
| | 1ST SUBMITTAL |
| DATE | 04/10/15 |
| REVISIONS | 5TH SUBMITTAL |
| | 4TH SUBMITTAL |
| | 3RD SUBMITTAL |
| | 2ND SUBMITTAL |
| | 1ST SUBMITTAL |

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ESA CIVIL DESIGN ADVANTAGE
 WEST DES MOINES, IOWA

CARDINAL LOFTS
GRADING PLAN

ENGINEER: JMM EI:

3/8
 1807.410

CARDINAL LOFTS

EROSION AND SEDIMENT CONTROL PLAN

VICINITY MAP

NOT TO SCALE



WEST DES MOINES, IOWA

STABILIZATION QUANTITIES

| ITEM NO. | ITEM | UNIT | TOTAL |
|----------|------------------------------------|------|-------|
| 1 | SILT FENCE | LF | 3,765 |
| 2 | SEEDING, FERTILIZING, AND MULCHING | AC | 1.77 |
| 3 | INLET PROTECTION DEVICES | EA | 15 |
| 4 | CONCRETE WASHOUT PIT | EA | 1 |

DISCHARGE POINT SUMMARY

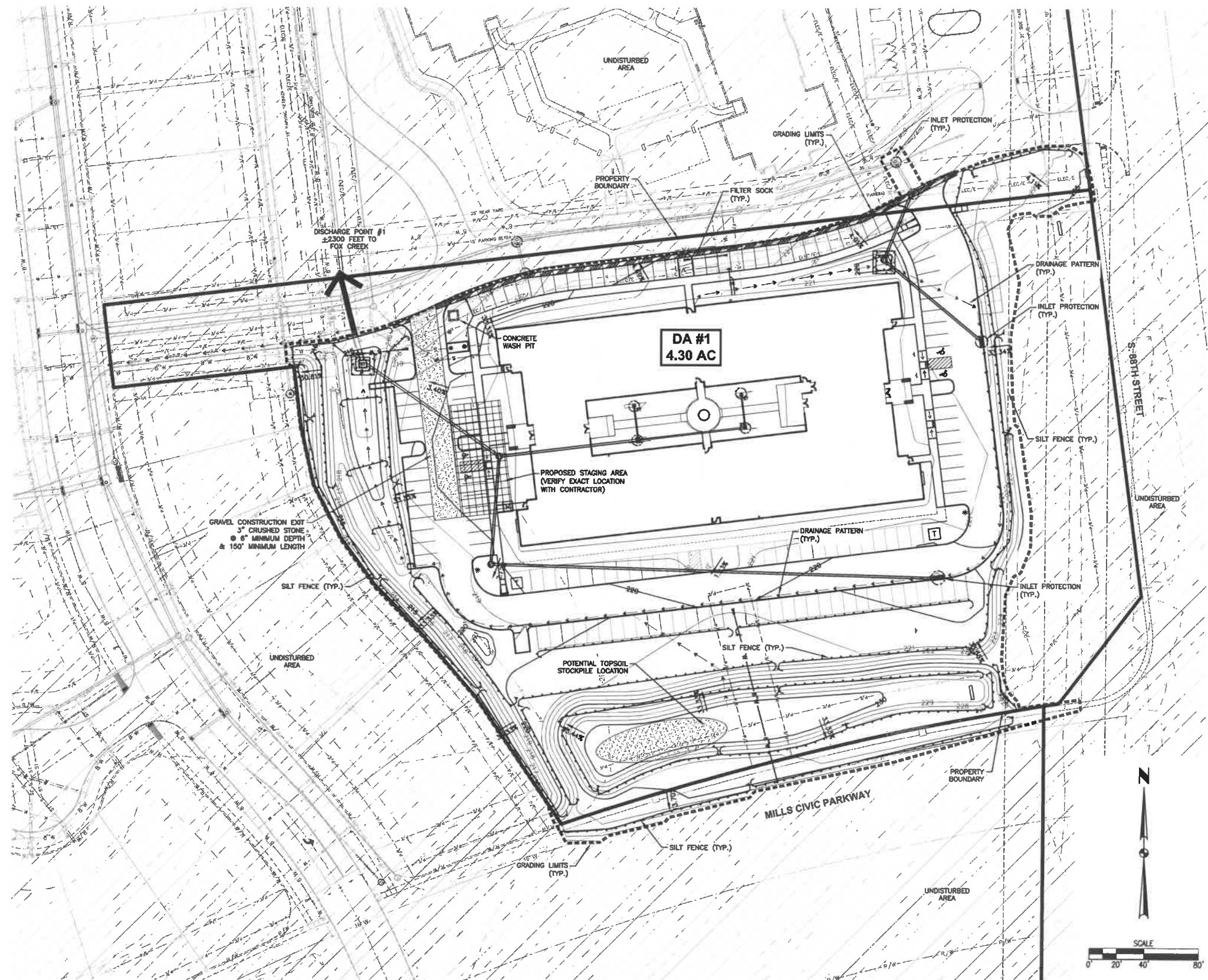
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| DISCHARGE POINT #1 TO FOX CREEK ±2300 FT | 4.30 ACRES |
| TOTAL AREA DISTURBED TO DISCHARGE POINT | 15,480 CU FT |
| STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT) | |
| VOLUME PROVIDED IN FILTER SOCK (407 LF @ 2.0 CU FT/LF OF SOCK) | 814 CU FT |
| VOLUME PROVIDED IN SILT FENCE (3,765 LF @ 4.5 CU FT/LF OF FENCE) | 16,942 CU FT |
| TOTAL VOLUME PROVIDED | 17,756 CU FT |

SWPPP LEGEND

| | | | |
|----------------------|--|-------------------|--|
| DRAINAGE ARROW | | AREA TO BE SEEDED | |
| GRADING LIMITS | | STRAW MAT | |
| FILTER SOCK | | UNDISTURBED AREA | |
| SILT FENCE | | RIP-RAP | |
| DITCH CHECK | | GRAVEL ENTRANCE | |
| INLET PROTECTION | | STAGING AREA | |
| PORTABLE RESTROOM | | | |
| CONCRETE WASHOUT PIT | | | |

NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENTS.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED PRIOR TO THE SITE SHUTTING DOWN FOR WINTER CONDITIONS.
- PREPARATION OF SEED-BED:
 - AREAS ACCESSIBLE TO MACHINERY: AREAS ACCESSIBLE TO FIELD MACHINERY SHALL BE THOROUGHLY WORKED TO A DEPTH OF NOT LESS THAN THREE INCHES. THE SOIL SHALL BE BROUGHT TO A LOOSE, FRIABLE CONDITION, AND SHALL BE PICKED FREE OF ROCKS AND CONCRETE CHUNKS IN EXCESS OF ONE INCH DIAMETER WHERE WEED GROWTH HAS DEVELOPED EXTENSIVELY. THE USE OF A DISK WILL BE ALLOWED TO DISK THESE WEEDS INTO THE GROUND IF WEEDS CAN BE COMPLETELY COVERED BY THIS METHOD.
 - AREAS INACCESSIBLE TO MACHINERY: AREAS INACCESSIBLE TO FIELD MACHINERY SHALL BE PREPARED BY HAND TO A DEPTH OF NOT LESS THAN ONE AND ONE-HALF INCHES. THE SOIL SHALL BE BROUGHT TO A LOOSE FRIABLE CONDITION.
 - THE SEEDBED SHALL BE INSPECTED AND APPROVED BY THE CITY ENGINEER PRIOR TO SEEDING.
- PEZZETTI EROSION CONTROL LLC WILL BE RESPONSIBLE FOR INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES. MIKE KOSLOSKE
5700 UNIVERSITY AVE, SUITE 220
WEST DES MOINES, IA 50266
PH: 515-967-0639
- A STABILIZED ROCK CONSTRUCTION ENTRANCE IS PROVIDED TO HELP KEEP MUD AND DEBRIS FROM ENTERING THE PUBLIC R.O.W. JOHN LARSON
PH: 515-491-4090



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 DATE: 9/27/19 8:18 AM
 PLOTTED BY: JAMES WATSON
 DATE PLOTTED: 9/27/2019 8:18 AM
 COMMENTS:

| REVISIONS | DATE |
|---------------|----------|
| 6TH SUBMITTAL | 05/22/19 |
| 4TH SUBMITTAL | 04/10/19 |
| 3RD SUBMITTAL | 03/22/19 |
| 2ND SUBMITTAL | 12/27/18 |
| 1ST SUBMITTAL | 11/12/18 |

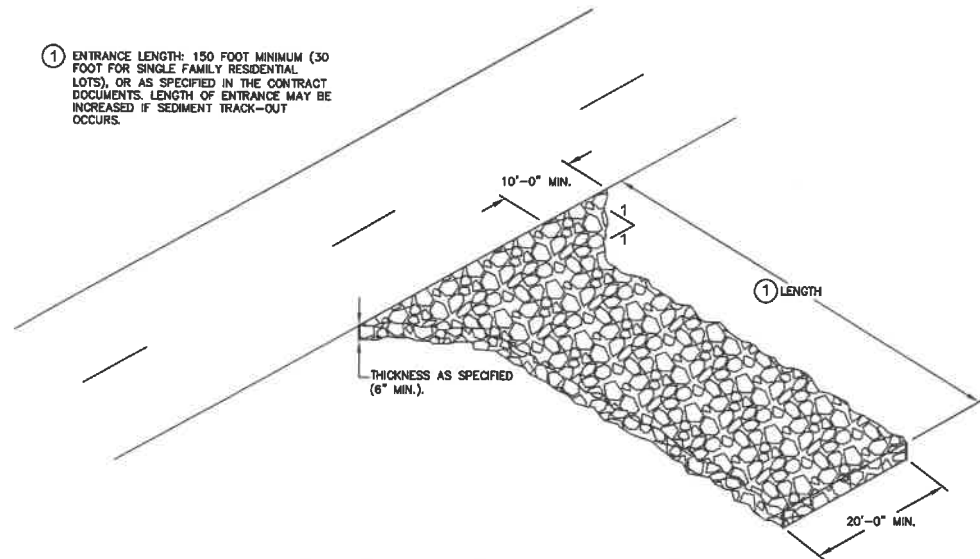
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 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: JMM EI:



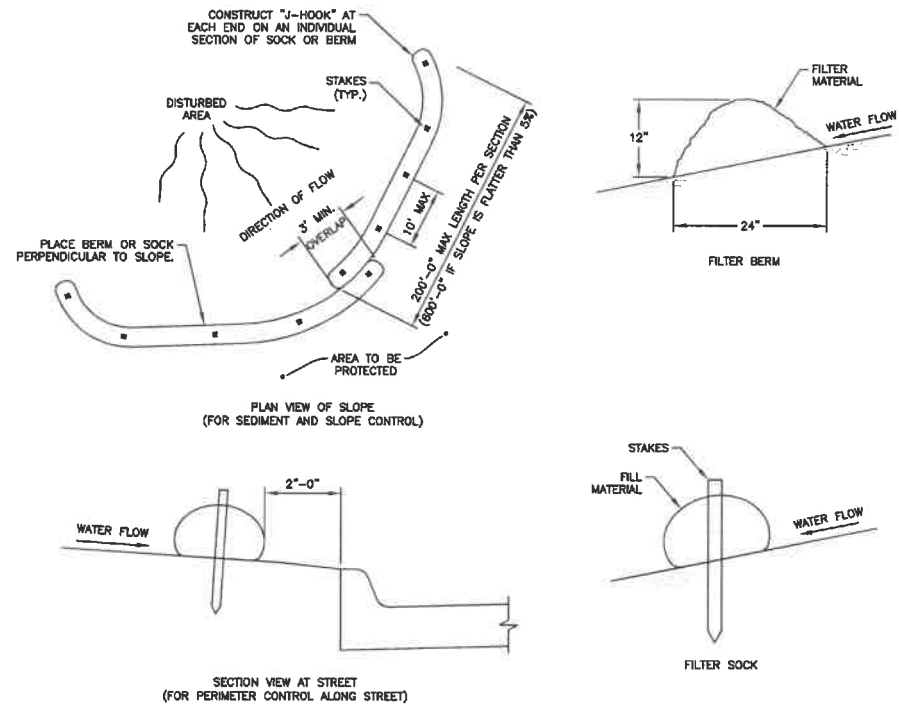
CARDINAL LOFTS
 EROSION AND SEDIMENT CONTROL PLAN
 WEST DES MOINES, IOWA

CARDINAL LOFTS
 EROSION AND SEDIMENT CONTROL PLAN
 WEST DES MOINES, IOWA

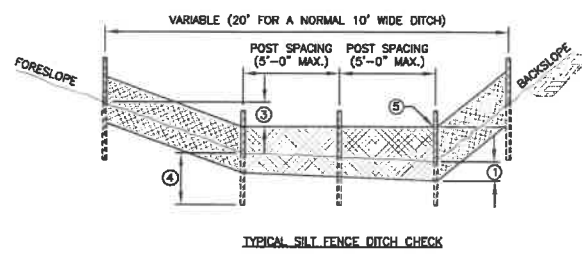
① ENTRANCE LENGTH: 150 FOOT MINIMUM (30 FOOT FOR SINGLE FAMILY RESIDENTIAL LOTS), OR AS SPECIFIED IN THE CONTRACT DOCUMENTS. LENGTH OF ENTRANCE MAY BE INCREASED IF SEDIMENT TRACK-OUT OCCURS.



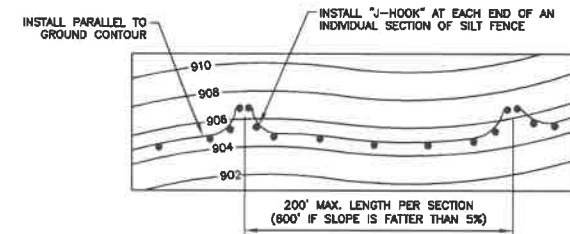
STABILIZED CONSTRUCTION ENTRANCE



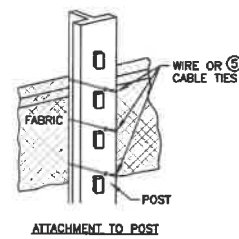
TYPICAL PLACEMENT OF FILTER BERM OF SOCK



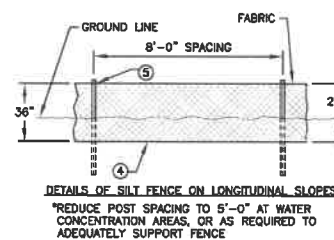
TYPICAL SILT FENCE DITCH CHECK



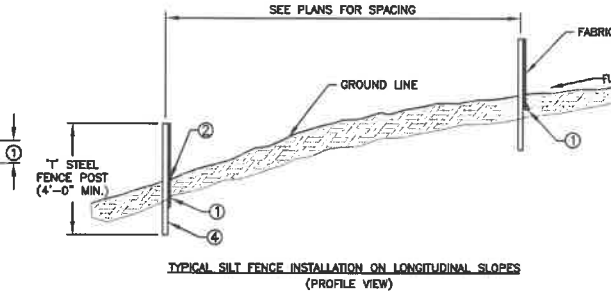
TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES (PLAN VIEW)



ATTACHMENT TO POST



DETAILS OF SILT FENCE ON LONGITUDINAL SLOPES
 *REDUCE POST SPACING TO 5'-0" AT WATER CONCENTRATION AREAS, OR AS REQUIRED TO ADEQUATELY SUPPORT FENCE



TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES (PROFILE VIEW)

SILT FENCE

- GENERAL NOTES:**
 INSTALL SILT FENCE ACCORDING TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS AND AT LOCATIONS SHOWN IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE JURISDICTIONAL ENGINEER.
- ① INSERT 12 IN. OF FABRIC A MINIMUM OF 6 IN. DEEP (FABRIC MAY BE FOLDED BELOW THE GROUND LINE)
 - ② COMPACT GROUND BY DRIVING ALONG EACH SIDE OF THE SILT FENCE AS REQUIRED TO SUFFICIENTLY SECURE THE FABRIC IN THE TRENCH TO PREVENT PULLOUT AND FLOW UNDER THE FENCE.
 - ③ IN DITCHES, EXTEND SILT FENCE UP SIDE SLOPE SO THE BOTTOM ELEVATION AT THE END OF THE FENCE IS A MINIMUM OF 2 IN. HIGHER THAN THE TOP OF THE FENCE IN THE LOW POINT OF THE DITCH.
 - ④ STEEL POSTS TO BE EMBEDDED 20 IN. UNLESS OTHERWISE ALLOWED BY THE JURISDICTIONAL ENGINEER.
 - ⑤ SECURE TOP OF ENGINEERING FABRIC TO STEEL POSTS USING WIRE OR PLASTIC TIES (50 LB. MIN.). SEE DETAILS OF "ATTACHMENT TO POSTS."

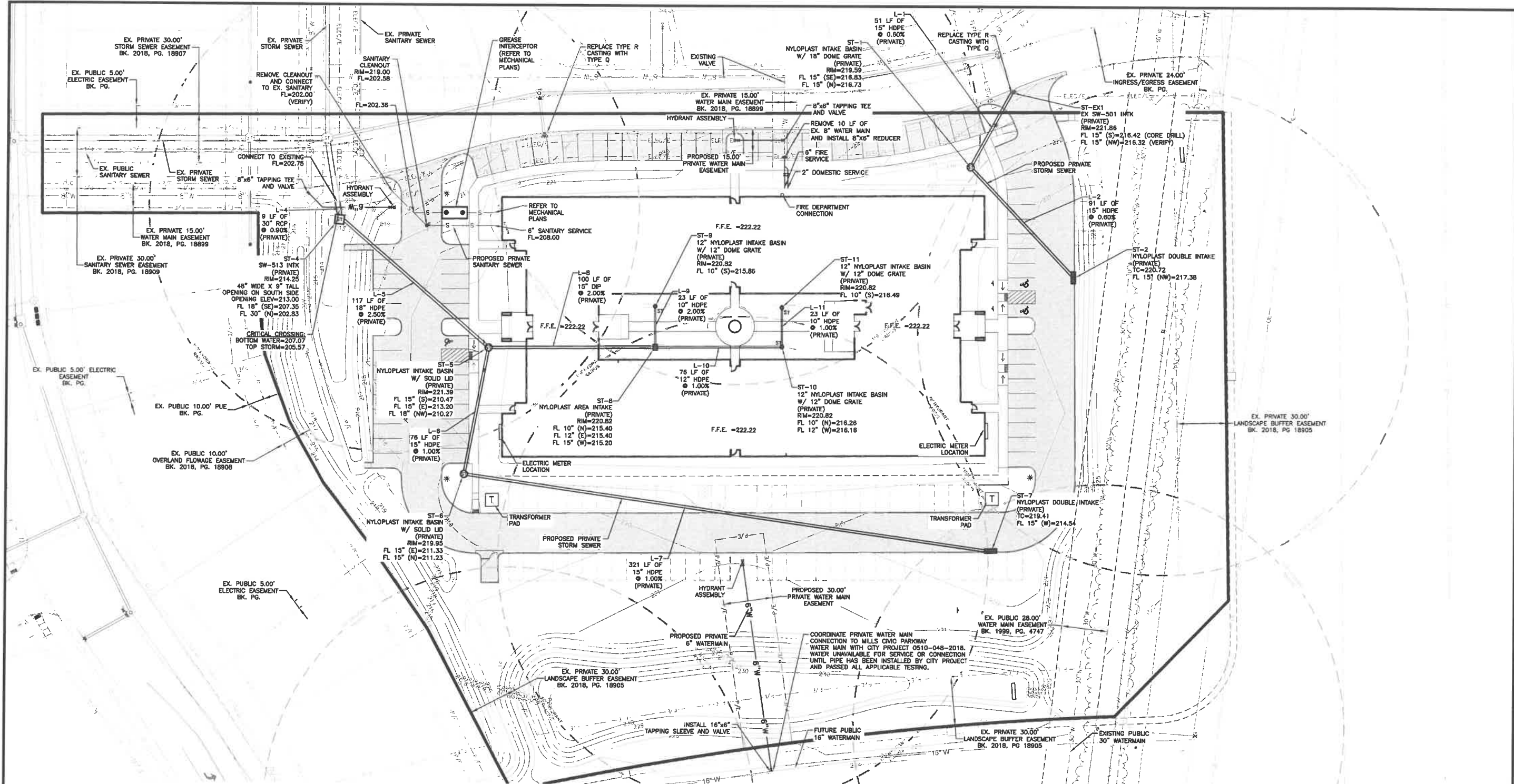
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 PLOTTED BY: JMM
 C:\Users\jmm\OneDrive\Documents\10740-01.dwg

| REVISIONS | DATE |
|---------------|----------|
| 5TH SUBMITTAL | 05/22/18 |
| 4TH SUBMITTAL | 04/10/18 |
| 3RD SUBMITTAL | 03/22/18 |
| 2ND SUBMITTAL | 12/27/18 |
| 1ST SUBMITTAL | 11/12/18 |

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: JMM



CARDINAL LOFTS
 EROSION AND SEDIMENT CONTROL PLAN
 WEST DES MOINES, IOWA



WEST DES MOINES WATER WORKS NOTES

1. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WEST DES MOINES WATER WORKS GENERAL SUPPLEMENTAL SPECIFICATIONS.
2. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
4. CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSPECTIONS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND CITY'S CROSS-CONNECTION CONTROL/CONTAINMENT PROVISION.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(S) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515) 222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
7. BUILDING FIRE SPRINKLER AND FIRE ALARM SYSTEM SHALL BE DESIGNED PER WEST DES MOINES FIRE CODE, SCHEDULE A PRESSURE AND FLOW TEST PRIOR TO DESIGNING FIRE SUPPRESSION SYSTEMS.
8. WATER SHALL BE PROVIDED TO PROPERTY VIA PRIVATE WATER MAIN. OWNER SHALL ALLOW WEST DES MOINES WATER WORKS ACCESS TO THE METERS AND VALVES AS NEEDED FOR EMERGENCY MAINTENANCE AND SHUT OFF IN THE EVENT OF NON-PAYMENT.

UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
5. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
6. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WEST DES MOINES PLUMBING CODE.
7. 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND WATER MAIN.
8. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
9. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-282-9889 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
11. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2015 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
12. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE UTILITIES.
13. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
14. ALL SANITARY SEWER SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE WDM STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
15. ALL SANITARY SEWER MH'S WITHIN PAVING SHALL HAVE A 3 PIECE CASTING. IF AN EXISTING PUBLIC SANITARY SEWER MH IS REPLACED WITH A 3 PIECE CASTING PUBLIC WORKS WILL NEED TO BE CONTACTED TO PICK UP THE OLD CASTING. CONTACT JASON SCHLICKBERND ENGINEERING SERVICES 222-3620.

NOTE
CONTRACTOR SHALL COORDINATE ALL TRANSFORMER PAD LOCATIONS, INCLUDING BUILDING SEPARATION, WITH MID AMERICAN ENERGY PRIOR TO TRANSFORMER PAD CONSTRUCTION.

LIGHTING NOTES
REFER TO SEE LIGHTING PLAN (PHOTOMETRIC PLAN) FOR MORE INFORMATION.

ALL LIGHTING MUST BE DOWN-CAST, CUT-OFF TYPE FIXTURES. WALL PACK LIGHTS WITHOUT SHIELDS TO DIRECT LIGHT DOWN TO ITS INTENDED TARGET ARE PROHIBITED.

PRIVATE WATER MAIN QUANTITIES

| | |
|-----------------------------------|--------|
| HYDRANT ASSEMBLY | 3 EA |
| 8" X 6" TAPPING TEE | 2 EA |
| 16" X 6" TAPPING SLEEVE AND VALVE | 1 EA |
| 6" VALVE | 1 EA |
| 2" VALVE | 1 EA |
| 6" WATER MAIN | 227 LF |
| 2" WATER SERVICE | 15 LF |



CARDINAL LOFTS
UTILITY PLAN

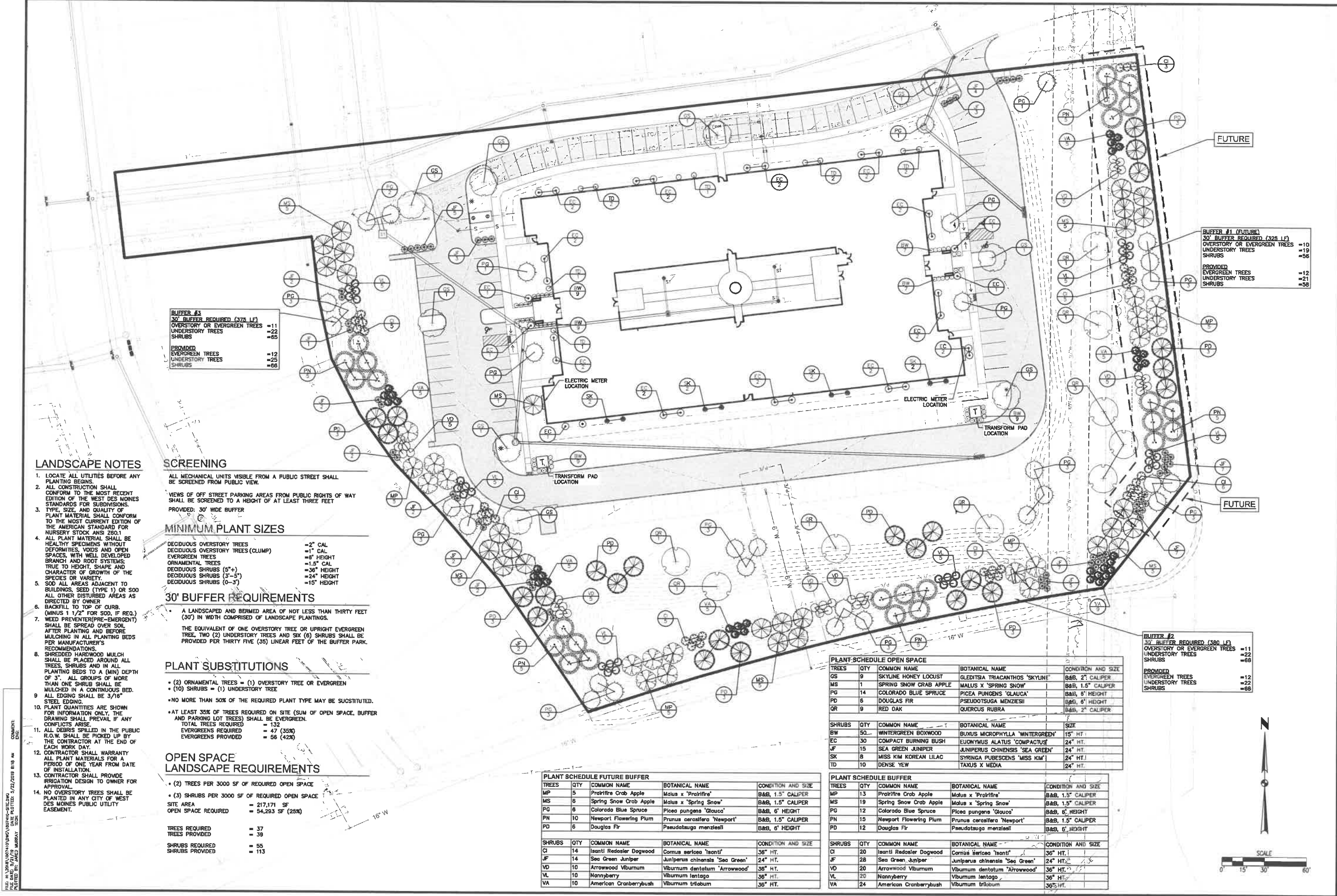
WEST DES MOINES, IOWA

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: JMM

| DATE | 06/22/19 |
|------------------------|------------------------|
| REVISIONS | 5TH SUBMITTAL 04/10/19 |
| 4TH SUBMITTAL 03/22/19 | |
| 3RD SUBMITTAL 03/22/19 | |
| 2ND SUBMITTAL 12/27/18 | |
| 1ST SUBMITTAL 11/12/18 | |

1807.410



BUFFER #3
30' BUFFER REQUIRED (378 LF)
OVERSTORY OR EVERGREEN TREES =11
UNDERSTORY TREES =22
SHRUBS =68

PROVIDED
EVERGREEN TREES =12
UNDERSTORY TREES =25
SHRUBS =68

BUFFER #1 (FUTURE)
30' BUFFER REQUIRED (325 LF)
OVERSTORY OR EVERGREEN TREES =10
UNDERSTORY TREES =19
SHRUBS =56

PROVIDED
EVERGREEN TREES =12
UNDERSTORY TREES =21
SHRUBS =58

BUFFER #2
30' BUFFER REQUIRED (380 LF)
OVERSTORY OR EVERGREEN TREES =11
UNDERSTORY TREES =22
SHRUBS =68

PROVIDED
EVERGREEN TREES =12
UNDERSTORY TREES =22
SHRUBS =68

LANDSCAPE NOTES

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS.
- TYPE, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, Voids AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SOD ALL AREAS ADJACENT TO BUILDINGS, SEED (TYPE 1) OR SOD ALL OTHER DISTURBED AREAS AS DIRECTED BY OWNER
- BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER(PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3". ALL GROUPS OF MORE THAN ONE SHRUB SHALL BE MULCHED IN A CONTINUOUS BED.
- ALL EDGING SHALL BE 3/16" STEEL EDGING.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER FOR APPROVAL
- NO OVERSTORY TREES SHALL BE PLANTED IN ANY CITY OF WEST DES MOINES PUBLIC UTILITY EASEMENT.

SCREENING

ALL MECHANICAL UNITS VISIBLE FROM A PUBLIC STREET SHALL BE SCREENED FROM PUBLIC VIEW.

VIEWS OF OFF STREET PARKING AREAS FROM PUBLIC RIGHTS OF WAY SHALL BE SCREENED TO A HEIGHT OF AT LEAST THREE FEET

PROVIDED: 30' WIDE BUFFER

MINIMUM PLANT SIZES

| | |
|-----------------------------------|-------------|
| DECIDUOUS OVERSTORY TREES | =2" CAL |
| DECIDUOUS OVERSTORY TREES (CLUMP) | =1" CAL |
| EVERGREEN TREES | =8" HEIGHT |
| ORNAMENTAL TREES | =1.5" CAL |
| DECIDUOUS SHRUBS (5"+) | =36" HEIGHT |
| DECIDUOUS SHRUBS (3"-5") | =24" HEIGHT |
| DECIDUOUS SHRUBS (0-3") | =15" HEIGHT |

30' BUFFER REQUIREMENTS

A LANDSCAPED AND BERMED AREA OF NOT LESS THAN THIRTY FEET (30') IN WIDTH COMPRISED OF LANDSCAPE PLANTINGS.

THE EQUIVALENT OF ONE OVERSTORY TREE OR UPRIGHT EVERGREEN TREE, TWO (2) UNDERSTORY TREES AND SIX (6) SHRUBS SHALL BE PROVIDED PER THIRTY FIVE (35) LINEAR FEET OF THE BUFFER PARK.

PLANT SUBSTITUTIONS

- (2) ORNAMENTAL TREES = (1) OVERSTORY TREE OR EVERGREEN
- (10) SHRUBS = (1) UNDERSTORY TREE
- NO MORE THAN 50% OF THE REQUIRED PLANT TYPE MAY BE SUBSTITUTED.
- AT LEAST 35% OF TREES REQUIRED ON SITE (SUM OF OPEN SPACE, BUFFER AND PARKING LOT TREES) SHALL BE EVERGREEN.
- TOTAL TREES REQUIRED = 132
- EVERGREENS REQUIRED = 47 (35%)
- EVERGREENS PROVIDED = 56 (42%)

OPEN SPACE LANDSCAPE REQUIREMENTS

- (2) TREES PER 3000 SF OF REQUIRED OPEN SPACE
- (3) SHRUBS PER 3000 SF OF REQUIRED OPEN SPACE
- SITE AREA = 217,171 SF
- OPEN SPACE REQUIRED = 54,293 SF (25%)

| | |
|-----------------|-------|
| TREES REQUIRED | = 37 |
| TREES PROVIDED | = 39 |
| SHRUBS REQUIRED | = 55 |
| SHRUBS PROVIDED | = 113 |

PLANT SCHEDULE OPEN SPACE

| TREES | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
|-------|-----|------------------------|---------------------------------|--------------------|
| GS | 9 | SKYLINE HONEY LOCUST | GLEDTISIA TRIACANTHOS 'SKYLINE' | B&B, 2" CALIPER |
| MS | 1 | SPRING SNOW CRAB APPLE | MALUS X 'SPRING SNOW' | B&B, 1.5" CALIPER |
| PG | 14 | COLORADO BLUE SPRUCE | PICEA PUNGENS 'GLAUCA' | B&B, 6" HEIGHT |
| PD | 6 | DOUGLAS FIR | PSEUDOTSUGA MENZIESII | B&B, 6" HEIGHT |
| QR | 9 | RED OAK | QUERCUS RUBRA | B&B, 2" CALIPER |

| SHRUBS | QTY | COMMON NAME | BOTANICAL NAME | SIZE |
|--------|-----|-----------------------|---------------------------------|---------|
| BW | 52 | WINTERGREEN BOXWOOD | BUXUS MICROPHYLLA 'WINTERGREEN' | 15" HT. |
| EC | 30 | COMPACT BURNING BUSH | EUONYMUS ALATUS 'COMPACTUS' | 24" HT. |
| JF | 15 | SEA GREEN JUNIPER | JUNIPERUS CHINENSIS 'SEA GREEN' | 24" HT. |
| SK | 8 | MISS KIM KOREAN LILAC | SYRINGA PUBESCENS 'MISS KIM' | 24" HT. |
| TD | 10 | DENSE YEW | TAXUS X MEDIA | 24" HT. |

PLANT SCHEDULE FUTURE BUFFER

| TREES | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
|-------|-----|------------------------|-----------------------------|--------------------|
| MP | 5 | Prairifire Crab Apple | Malus x 'Prairifire' | B&B, 1.5" CALIPER |
| MS | 6 | Spring Snow Crab Apple | Malus x 'Spring Snow' | B&B, 1.5" CALIPER |
| PG | 6 | Colorado Blue Spruce | Picea pungens 'Glauca' | B&B, 6" HEIGHT |
| PN | 10 | Newport Flowering Plum | Prunus cerasifera 'Newport' | B&B, 1.5" CALIPER |
| PD | 6 | Douglas Fir | Pseudotsuga menziesii | B&B, 6" HEIGHT |

PLANT SCHEDULE BUFFER

| TREES | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
|-------|-----|------------------------|-----------------------------|--------------------|
| MP | 13 | Prairifire Crab Apple | Malus x 'Prairifire' | B&B, 1.5" CALIPER |
| MS | 19 | Spring Snow Crab Apple | Malus x 'Spring Snow' | B&B, 1.5" CALIPER |
| PG | 12 | Colorado Blue Spruce | Picea pungens 'Glauca' | B&B, 6" HEIGHT |
| PN | 15 | Newport Flowering Plum | Prunus cerasifera 'Newport' | B&B, 1.5" CALIPER |
| PD | 12 | Douglas Fir | Pseudotsuga menziesii | B&B, 6" HEIGHT |

| SHRUBS | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
|--------|-----|-------------------------|---------------------------------|--------------------|
| CI | 14 | Isanti Redstart Dogwood | Cornus sericea 'Isanti' | 36" HT. |
| JF | 14 | Sea Green Juniper | Juniperus chinensis 'Sea Green' | 24" HT. |
| VD | 10 | Arrowwood Viburnum | Viburnum dentatum 'Arrowwood' | 36" HT. |
| VL | 10 | Nannyberry | Viburnum lentago | 36" HT. |
| VA | 10 | American Cranberrybush | Viburnum trilobum | 36" HT. |

| SHRUBS | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
|--------|-----|-------------------------|---------------------------------|--------------------|
| CI | 20 | Isanti Redstart Dogwood | Cornus sericea 'Isanti' | 36" HT. |
| JF | 28 | Sea Green Juniper | Juniperus chinensis 'Sea Green' | 24" HT. |
| VD | 20 | Arrowwood Viburnum | Viburnum dentatum 'Arrowwood' | 36" HT. |
| VL | 20 | Nannyberry | Viburnum lentago | 36" HT. |
| VA | 24 | American Cranberrybush | Viburnum trilobum | 36" HT. |

DATE: 05/22/19, 04/10/19, 03/27/19, 12/27/18, 11/17/18

REVISIONS: 5TH SUBMITTAL, 4TH SUBMITTAL, 3RD SUBMITTAL, 2ND SUBMITTAL, 1ST SUBMITTAL

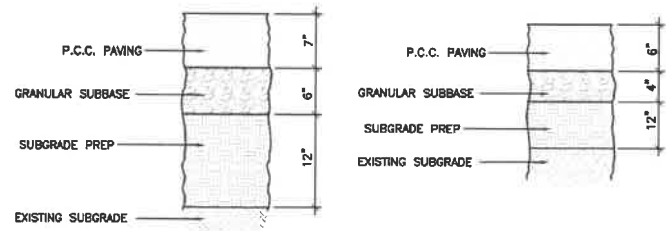
3405 S.E. CROSSROADS DRIVE, SUITE G
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WEST DES MOINES, IOWA
CIVIL DESIGN ADVANTAGE
ENGINEER: JMM EI

CARDINAL LOFTS
LANDSCAPE PLAN

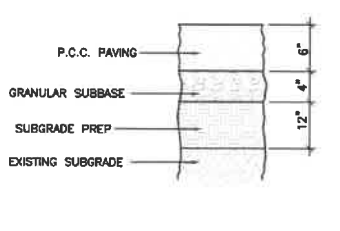
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7/8
1807.410



HEAVY DUTY PCC PAVING

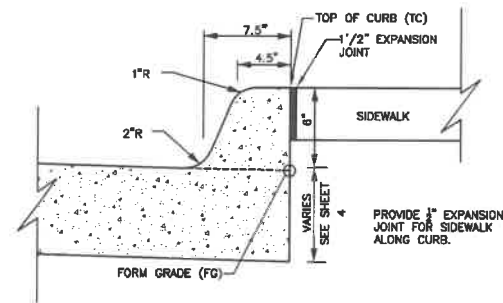
NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 24\"/>



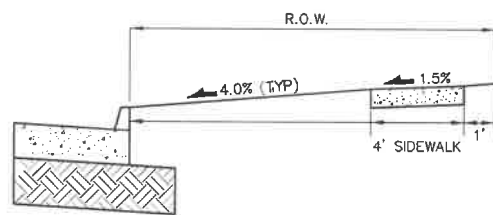
STANDARD DUTY PCC PAVING

NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 24\"/>

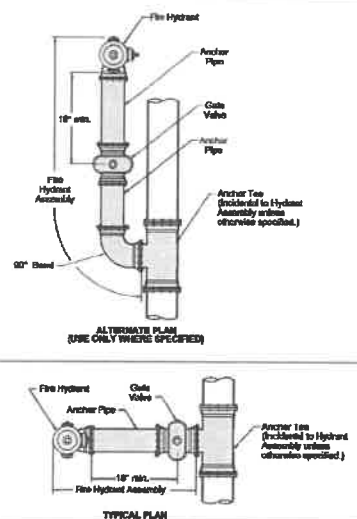
1 PCC PAVING
NOT TO SCALE



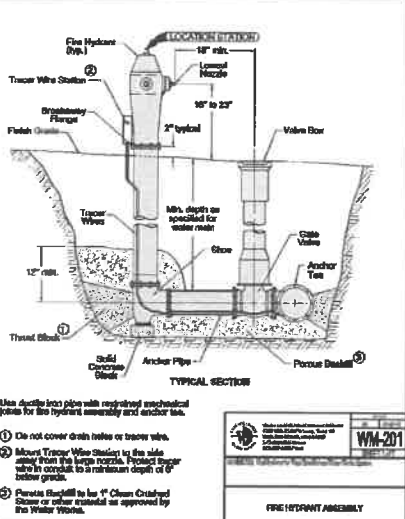
2 6\"/> PCC INTEGRAL CURB
NOT TO SCALE



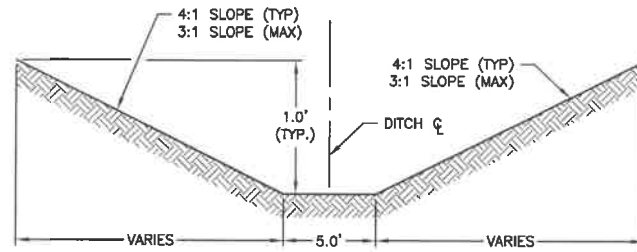
3 TYPICAL R.O.W. GRADING SECTION
NOT TO SCALE



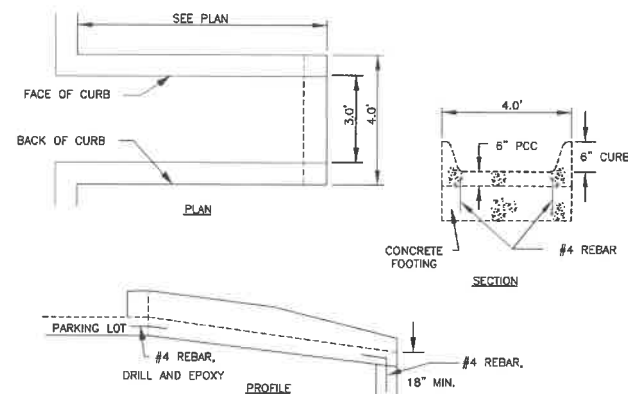
4 WDMWW FIRE HYDRANT ASSEMBLY
NOT TO SCALE



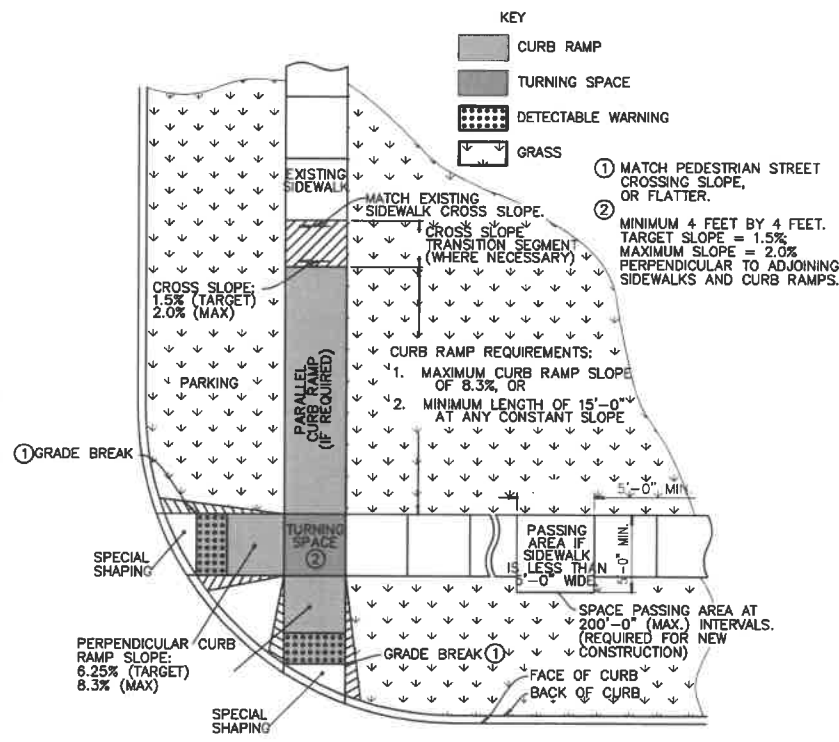
Use ductile iron pipe with registered mechanical joints for the hydrant assembly and anchor tee.
 1. Do not cover drain holes or brass wire.
 2. Mount Tracer Wire (ready to be side away from the large nipple. Protect tracer wire to provide to a minimum depth of 18\"/>



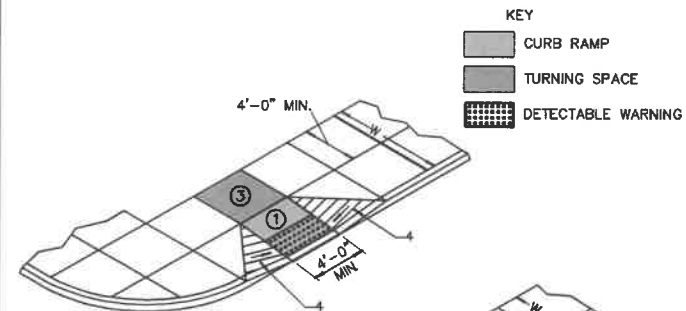
5 TYPICAL SWALE SECTION
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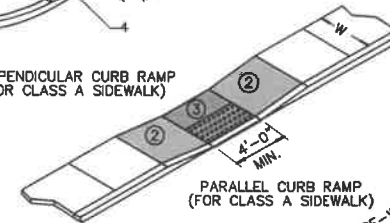
6 CONCRETE LETDOWN FLUME DETAIL
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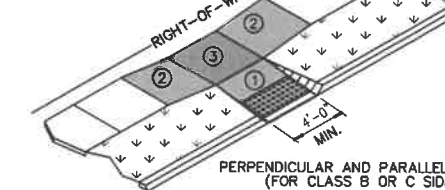
7 GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK
NOT TO SCALE



PERPENDICULAR CURB RAMP (FOR CLASS A SIDEWALK)

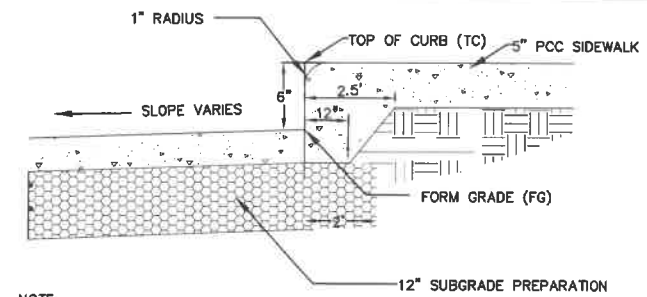


PARALLEL CURB RAMP (FOR CLASS A SIDEWALK)



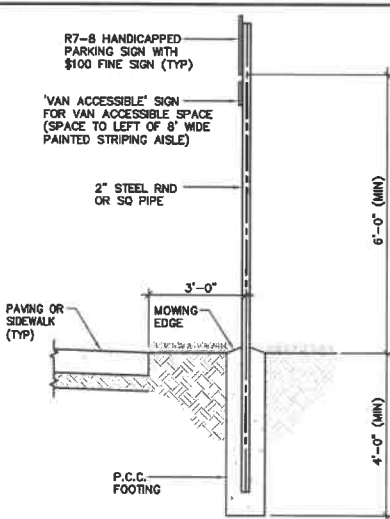
PERPENDICULAR AND PARALLEL CURB RAMP (FOR CLASS B OR C SIDEWALK)

8 CURB RAMPS OUTSIDE OF INTERSECTION RADIUS
NOT TO SCALE

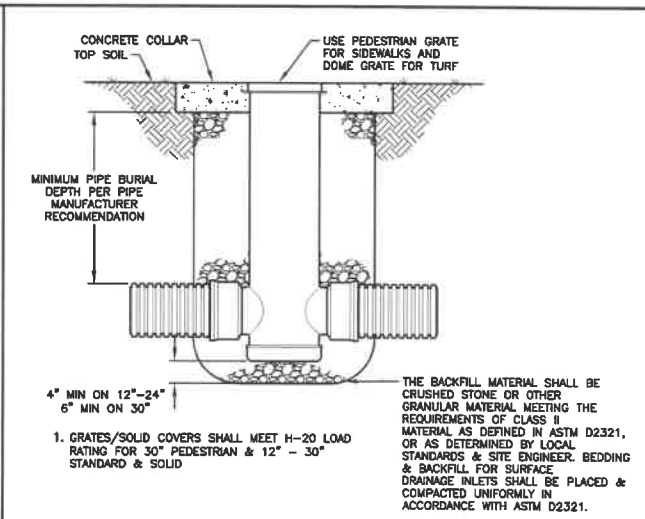


NOTE:
1. TRANSVERSE JOINTS SHALL BE CD JOINTS AT 15' MAX. SPACING.
2. LONGITUDINAL JOINTS SHALL BE INTERCHANGEABLE, L-2 OR KT-2.

9 6\"/> INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



10 ACCESSIBLE PARKING SIGN
NOT TO SCALE



11 HDPE INTAKE
NOT TO SCALE

| DATE | REVISIONS |
|----------|---------------|
| 05/22/19 | 5TH SUBMITTAL |
| 04/10/19 | 4TH SUBMITTAL |
| 03/22/19 | 3RD SUBMITTAL |
| 12/27/18 | 2ND SUBMITTAL |
| 11/12/18 | 1ST SUBMITTAL |

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: JMM EI:



WEST DES MOINES, IOWA

CARDINAL LOFTS
DETAILS

GENERAL NOTES

- THE MOST RECENT EDITION OF THE BEST PRACTICES STANDARDS FOR SUBDIVISIONS AND THE BEST PRACTICES WATER WORKS STANDARDS SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ALL ACCESSIBILITY REQUIREMENTS FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THESE CODES AND STANDARDS UNLESS OTHERWISE NOTED ON THE DRAWINGS OR IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL COMPLY WITH ANY APPLICABLE SAFETY REGULATIONS AND STANDARDS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONTACT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES FOR COORDINATION SHALL BE ALLOWED FOR DAMAGE FROM TRAFFIC TO COMPLY WITH THE REQUIREMENTS.
- AT LEAST THE NEXT PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.S./RIGHTS OF WAY OR ANY CONNECTION TO PUBLIC STREETS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY ENGINEER AND/OR CITY PLANNING DEPARTMENT (223-3400) IN ORDER TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.S./RIGHTS OF WAY OR ANY CONNECTION TO PUBLIC STREETS AND STREETS SHALL COMPLY WITH THE BEST PRACTICES STANDARDS SPECIFICATIONS FOR SUBDIVISIONS, USE THE CITY ENGINEER'S STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4" HIGH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SURFING AND BUILDING. PLACE 7/8" HIGH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL CURBS, BOLLARDS AND B.O.W. AT THE END OF EACH WORK DAY.
- ALL PROPERTIES THIS SHALL BE PROTECTED FROM UNLAWFUL OR OTHER OPERATIONS. ANY FOD DESTROYED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- BE CONTRACTOR SHALL NOT STORE OR PLACE ANY MATERIALS OR EQUIPMENT WITHIN THE CONSTRUCTION LIMITS. THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT ON THE B.O.W. AREAS FOR STORAGE OF MATERIALS, STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE CITY.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATIVE EQUIPMENT IN THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT PAVEMENT AND NOT INSTALLED THE SAME DATE, AS DETERMINED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUBCONTRACTORS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- REFER TO PUBLIC IMPROVEMENT PLANS FOR CONCRETE REMOVAL FOR DRIVEWAY APPROACHES.
- ALL PERMITS AND INSURANCE FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
- NO OUTDOOR COMPRESSORS ARE PROPOSED AT THIS TIME.
- TEMPORARY SIGNAGE SHALL BE ADDED TO MINIMIZE A HAZARDOUS SITUATION OF ROAD BLOCKS.

TRAFFIC CONTROL NOTES

- AS APPLICABLE, CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.S. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMITS SHALL BE OBTAINED FOR A MESSAGE CONTAINING THE MESSAGE OF NECESSARY SIGNAGE AND NOT APPLICABLE TO THE MESSAGE CONTAINING SHALL BE COMPLETED BY THE CONTRACTOR WHEN REQUESTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE ITS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK / PATH CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES, SIGNAGE AND TEMPORARY PAVEMENT ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAL) SECTION 505 AND 509A DOT DESIGN MANUAL, CHAPTER 12A-4.
- THE CONTRACTOR IS CAUTIONED AGAINST TO CONSTRUCT WORK BEING CONSTRUCTED BEYOND THE TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STAGING SHALL COMPLY WITH MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STAGING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

PAVEMENT THICKNESS (NON-REINFORCED)

1. SIDEWALKS 4" P.C.C.
2. DRIVEWAYS 7" P.C.C.
3. PARKING SPACES 4" P.C.C.
4. DUMPSTER ENCLOSURE 8" P.C.C.

| Item | Qty | Unit | Description | Lot Area | Lot Volume |
|------|-----|---------|--------------------|----------|------------|
| 1 | 1 | sq. ft. | PAVEMENT THICKNESS | 100 | 100 |
| 2 | 1 | sq. ft. | PAVEMENT THICKNESS | 100 | 100 |
| 3 | 1 | sq. ft. | PAVEMENT THICKNESS | 100 | 100 |

| Location | Quantity | Unit | Material | Notes |
|----------|----------|---------|--------------------|-------|
| 1 | 100 | sq. ft. | PAVEMENT THICKNESS | 100 |
| 2 | 100 | sq. ft. | PAVEMENT THICKNESS | 100 |
| 3 | 100 | sq. ft. | PAVEMENT THICKNESS | 100 |



Scale: 1 inch = 30 Ft.

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Fax: (515) 273-0108
Max.Lewis@3e-co.com



| # | Date | Comments |
|---|------|----------|
| 1 | | |

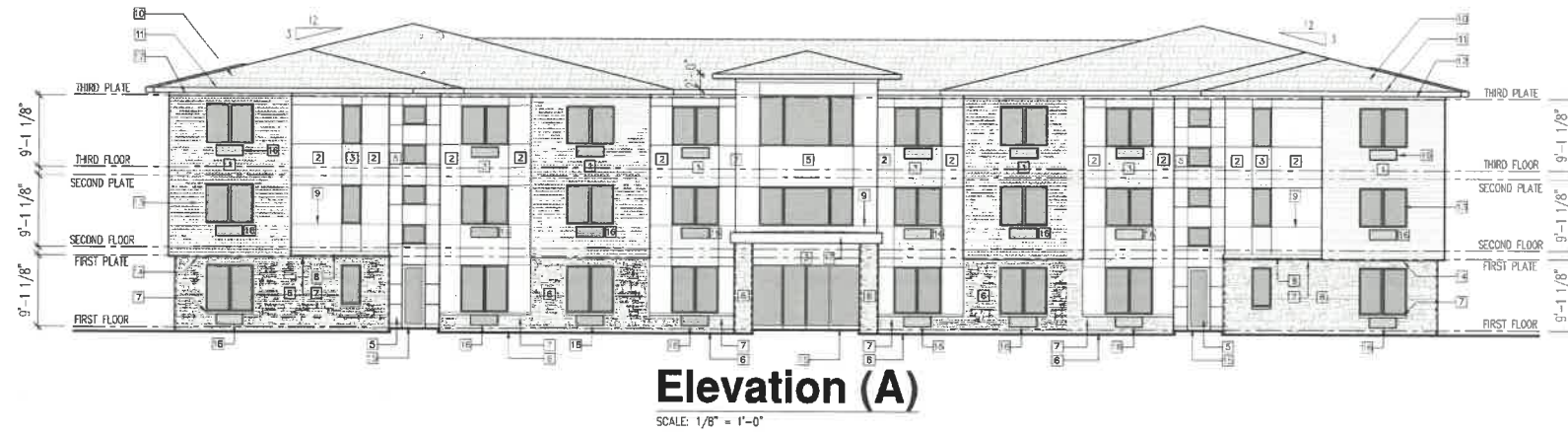
| Drawn By: | Checked By: | Date: |
|-----------|-------------|-----------|
| Max Lewis | | 5/10/2019 |

| Scale: |
|--------|
| |

ELEVATION MATERIAL SQFT

[NOTE: ASSEMBLY_ELEVATION]

ELEVATION (A)
 FIRST FLOOR - 1,828 SF (SIDING)
 1,370 SF (STONE)
 TOTAL PERCENTAGE OF STONE - 84%



Elevation (A)

SCALE: 1/8" = 1'-0"



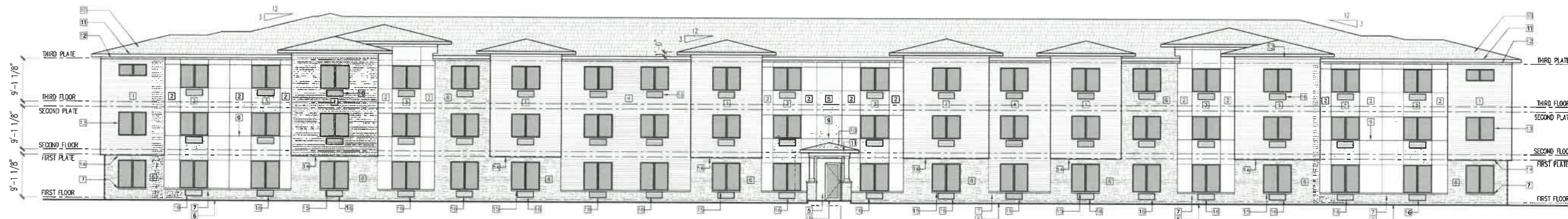
Elevation (C)

SCALE: 1/8" = 1'-0"



Elevation (B)

SCALE: 1/8" = 1'-0"



Elevation (D)

SCALE: 1/8" = 1'-0"

ELEVATION NOTES

[NOTE: ASSEMBLY_ELEVATION]

- HARDE PLANK - LAP SIDING 5" EXPOSURE (SMOOTH) METAL CORNERS - COLOR-1 (C1)
- HARDE PANEL - VERTICAL SIDING PANEL - SELECT CEDAR MILL - COLOR-2 (C2)
- HARDE PANEL - VERTICAL SIDING PANEL - (SELECT CEDAR MILL) - COLOR-3 (C3)
- HARDE PLANK - LAP SIDING 5" EXPOSURE (SELECT CEDAR MILL) - COLOR-4 (C4)
- HARDE PANEL - VERTICAL SIDING PANEL - (SMOOTH) - COLOR-5 (C5)
- STONE VENEER - (CENTURION STONE) OR EQUAL
- BEVELED WALL CAP - (CENTURION STONE) OR EQUAL
- HARDE BOARD - 1x6 COMPOSITE BAND BOARD - (SELECT CEDAR MILL) COLOR VARIES
- HARDE BOARD - 1/2" METAL (REVEAL PANEL SYSTEM)
- ASPHALT SHINGLES - COLOR - BLACK
- HARDE BOARD - 1x8 TRIM FASCIA BOARD COLOR-6 (C6)
- HARDE BOARD - 5/4x6 FREEZE TRIM BOARD COLOR-5 (C5)
- VINYL WINDOWS - COLOR - BLACK
- HARDE PANEL - VERTICAL SIDING PANELS - COLOR VARIES
- ALUMINUM STOREFRONT DOOR SYSTEM - COLOR - BLACK OR EQUAL
- FREDRICH PTAC WALL UNITS PDH09K55C w/ GRILLES. GRILLES TO MATCH APPLIED MATERIALS

EXTERIOR ELEVATION NOTES

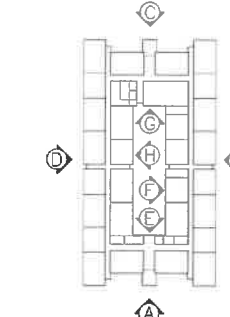
[NOTE: EXTELEV]

- GRADE CONDITIONS MAY VARY FOR SITE SHOWN. REFER TO CIVIL ENGINEERING DRAWINGS FOR FINISH SURFACE ELEVATION. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- FOR ADDITIONAL NOTES SEE OTHER SHEETS AND DETAILS.
- PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS DISCHARGING AT GRADE.
- PROVIDE HEAD FLASHING AT ALL WINDOWS AND DOORS.

COMMON NOTES

[NOTE: COMMON]

- FOR ADDITIONAL NOTES SEE GENERAL NOTES AND DETAILS.
- REFER TO STRUCTURAL DRAWINGS BY OTHERS FOR STRUCTURAL INFORMATION.
- REFER TO M.E.P. DESIGN INFORMATION BY OTHERS.
- IF NEEDED, ENERGY ANALYSIS BY OTHERS.
- SEE ACCESSIBILITY SHEET FOR MORE INFO.
- ALL INTERIOR PARTITIONS ARE 3 1/2" ROUGH UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS ARE 5 1/2" ROUGH UNLESS NOTED OTHERWISE.
- ALL ANGLED PARTITIONS ARE 45 DEGREES OR 22.5 DEGREES UNLESS NOTED OTHERWISE.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING UNLESS NOTED OTHERWISE.
- SEE WALL TYPES, ASSEMBLIES AND WALL SECTIONS FOR PARTITION TYPES. SEE ALSO CODE SHEET FOR RATED WALL LOCATIONS.
- ALL ELECTRICAL, MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION OF TO FIELD CONDITIONS; CONTRACTOR TO VERIFY.
- SEE WALL SECTIONS FOR TYPICAL WINDOW HEAD HEIGHTS.
- 42" MINIMUM CAUDORAL PER CODE. MATERIAL AND FINISH TO BE SPECIFIED BY BUILDER.
- ALL RAILING BALUSTERS ARE TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALUSTERS.
- TEMPERED SAFETY GLASS, PER CODE. SEE ALSO GENERAL NOTES.
- FLAT SOFFIT AT 8'-1" UNLESS NOTED OTHERWISE.
- MECH. CHASE - SEE MEP DRAWINGS BY OTHERS.
- FINISHES TO BE SELECTED BY BUILDER.
- ROOF HATCH ACCESS PER CODE.



ELEVATION KEY PLAN

SCALE: NTS

Review Set - 04.08.19 - Not For Construction/Permit

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RAINS ARCHITECTURE

The Lofts at 88th
 West Des Moines, Iowa

| | |
|--------------|-----------------------|
| PROJ NO. | 30692417 |
| ISSUE DATE: | |
| DRAWN BY: | LJK/TKH |
| REVISIONS: | |
| SHEET TITLE: | ELEVATION A, B, C & D |
| SHEET NO. | A3.00 |

EXTERIOR ELEVATION NOTES
[NOTE_EXTELEV]

1. GRADE CONDITIONS MAY VARY FOR SITE SHOWN. REFER TO CIVIL ENGINEERING DRAWINGS FOR FINISH SURFACE ELEVATION. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
2. FOR ADDITIONAL NOTES SEE OTHER SHEETS AND DETAILS.
3. PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS DISCHARGING AT GRADE.
4. PROVIDE HEAD FLASHING AT ALL WINDOWS AND DOORS.

FLOOR PLAN NOTES
[NOTE_ASSEMBLY]

1. FOR ADDITIONAL NOTES SEE GENERAL NOTES AND DETAILS.
2. THESE ASSEMBLY FLOOR PLANS ARE FOR REFERENCE ONLY.
3. REFER TO INDIVIDUAL UNIT FLOOR PLANS, ELEVATIONS, AND ROOF PLANS FOR ALL TYPICAL NOTES, DIMENSIONS AND DETAILS NOT SHOWN HERE.
4. REFER TO LANDSCAPE DRAWINGS BY OTHERS FOR ANY PLANTER CONDITIONS AGAINST BUILDINGS, ALL AREAS SURROUNDING BUILDINGS AND PATIO INFORMATION.
5. REFER TO CIVIL DRAWINGS BY OTHERS FOR FINISH SURFACE ELEVATIONS.
6. REFER TO STRUCTURAL DRAWINGS BY OTHERS FOR STRUCTURAL INFORMATION.
7. REFER REFER TO M.E.P. DESIGN INFORMATION BY OTHERS.
8. ENERGY ANALYSIS BY OTHERS.
9. ALL ELECTRICAL, MECHANICAL EQUIPMENT METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT.
10. REFER TO WALL TYPES AND WALL SECTION FOR ALL TYPICAL PARTY WALL DETAILS. REFER ALSO TO CODE SHEET FOR FIRE RATED ASSEMBLY LOCATIONS.
11. SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING, TYP.

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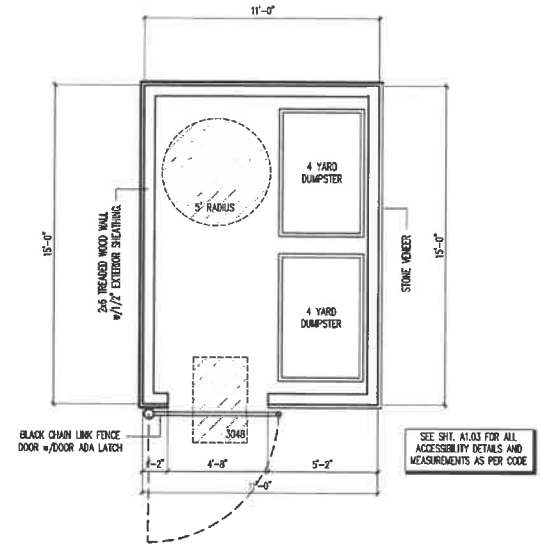
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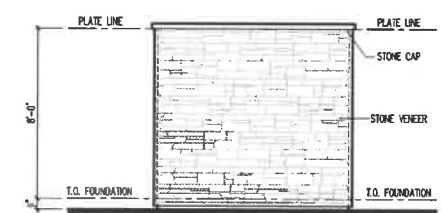
Review Set - 04.08.19 - Not For Construction/Permit

The Lofts at 88th
West Des Moines, Iowa

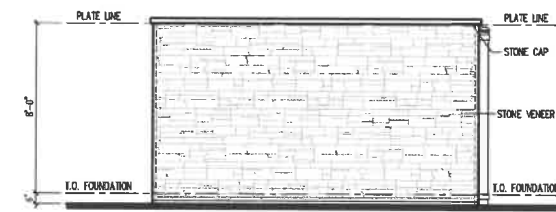
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| ISSUE DATE: | |
| DRAWN BY: | LKTK/GSH |
| REVISIONS: | |
| SHEET TITLE: | TRASH ENCLOSURE |
| SHEET NO. | A5.07 |



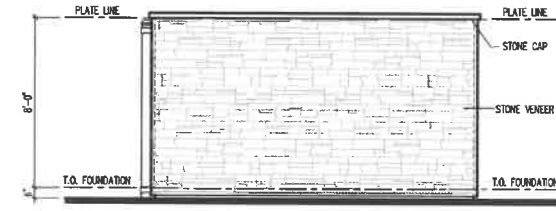
FLOOR PLAN
SCALE: 1/4" = 1'-0"



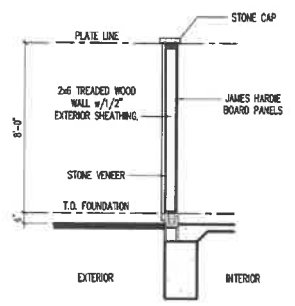
REAR ELEVATION
SCALE: 1/4" = 1'-0"



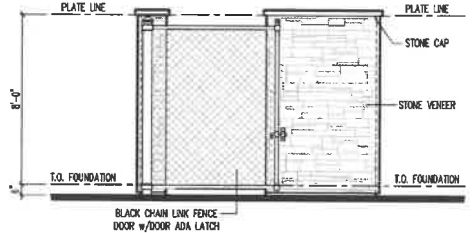
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



WALL SECTION
SCALE: 1/4" = 1'-0"



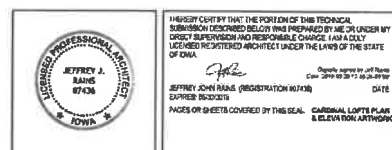
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

The Lofts at 88th



ELEVATION MATERIAL SQFT

| | |
|-------------------------|-------|
| SOUTH ELEVATION | |
| TOTAL MAIN FLOOR SIDING | 221 |
| TOTAL MAIN FLOOR STONE | 1123 |
| TOTAL STONE % | 80.5% |
| EAST ELEVATION | |
| TOTAL MAIN FLOOR SIDING | 692 |
| TOTAL MAIN FLOOR STONE | 1152 |
| TOTAL STONE % | 60.0% |
| NORTH ELEVATION | |
| TOTAL MAIN FLOOR SIDING | 221 |
| TOTAL MAIN FLOOR STONE | 1123 |
| TOTAL STONE % | 80.5% |
| WEST ELEVATION | |
| TOTAL MAIN FLOOR SIDING | 692 |
| TOTAL MAIN FLOOR STONE | 1152 |
| TOTAL STONE % | 60.0% |



Units

Main level - 28 Units
 Second Level - 30 Units
 Third Level - 31 Units
 Total - 89 Units

