

**CITY OF WEST DES MOINES  
PLAN AND ZONING COMMISSION COMMUNICATION**

**Meeting Date:** June 24, 2019

**Item:** Unity Point Clinic, 4055 Westown Parkway – Approval of site plan for 2 story, 28,000 square foot medical clinic – Central Iowa Hospital Corporation – SP-004277-2019

**Requested Action:** Recommend Approval of Site Plan *BP*

**Case Advisor:** Brian Portz, AICP

**Applicant's Request:** The applicant, Unity Point Health, in association with the property owner, Central Iowa Hospital Corporation, is requesting approval of a site plan to construct a 2 story, 28,000 square foot medical clinic on the property located at 4055 Westown Parkway.

**History:** The property was originally platted in 1971 as Westown Plaza Plat 1 and replatted in 1995 as Westown Parkway Plaza. A Carlos O'Kelley's restaurant was constructed on the site in 1996. The building was demolished in August of 2018.

**City Council Subcommittee:** This item was presented to the Development & Planning City Council Subcommittee at their April 15, 2019 meeting, as an informational item only. No discussion was had and no disagreement with the proposal was expressed.

**Staff Review and Comment:** This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff would summarize the following key points of interest:

- **Access:** This property will be accessed by an existing driveway from Westown Parkway. This driveway is shared by the property to the east, which is Keller Williams Real Estate. The applicant will need to coordinate construction activities with the adjacent property owner so that business activities of Keller Williams are not disrupted during construction. Staff recommends a condition of approval that the applicant work with the adjacent property owner to limit the impacts of construction on the adjacent property.
- **Sanitary Sewer Easement Vacation:** The applicant will need to vacate a portion of a public sanitary sewer easement along the front of the building. The sanitary sewer main in this location will be used as the private sewer line to the building and therefore the portion of the public sanitary sewer easement in front of the proposed building will need to be vacated. The applicant has submitted an application for the vacation of this easement. This easement vacation will be considered by the City Council at a later date. A condition of approval is recommended for the vacation of this easement.
- **Storm Water Management Facility Maintenance Agreement:** Storm Water Management Facility Maintenance Agreements are required for all new site developments or sites that have detention facilities but have not otherwise previously executed the agreement. These agreements allow the City to enter a site to do maintenance and/or repairs on a private detention facility in the event that the facility has not been maintained by the property owner and advises who the City should bill for the maintenance/repair work. The agreement has been provided to the applicant for signature, but the executed agreement has not yet been provided to staff. Staff recommends that the signed agreement be submitted to the City for recording prior to issuance of a building permit and the required as built be submitted prior to final occupancy of the building.
- **Right of Way Dedication:** As a part of this request, the property owner will be deeding 15 feet of land along Westown Parkway for right of way purposes. A warranty deed will be required for the dedication of right of way. A condition of approval is recommended requiring the warranty deed be submitted prior issuance of a building permit.

**Comprehensive Plan Consistency:** The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

**Findings:** This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

**Staff Recommendation and Conditions of Approval:** Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Unity Point site plan to allow construction of a 2 story, 28,000 square foot medical clinic, subject to the applicant meeting all City Code requirements and the following:

1. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to be signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The signed agreement shall be submitted to the City for recording prior to issuance of a building permit. The as-built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building created with the final plat.
2. The applicant coordinating construction activities and timing with the adjacent property owner to the east to limit construction impacts, since the two properties share an access drive from Westtown Parkway.
3. The public sanitary sewer easement along the south side of the building shall be vacated before the issuance of any occupancy permit for the building, including temporary occupancy.

4. The applicant submitting a signed warranty deed for the dedication of right of way before the issuance of a building permit for the building.

**Property Owner:** Central Iowa Hospital Corporation  
d/b/a Unity Point Health  
1200 Pleasant Street  
Des Moines, IA 50309

**Applicant's Representatives:**  
Invision Architecture  
303 Watson Powell Jr. Way, Suite 200  
Des Moines, IA 50309  
Brett Van Zee  
[brettv@invisionarch.com](mailto:brettv@invisionarch.com)

**ATTACHMENTS:**

Attachment A	-	Plan and Zoning Commission Resolution
Exhibit A	-	Conditions of Approval
Attachment B	-	Location Map
Attachment C	-	Building Elevations
Attachment D	-	Site Plans

RESOLUTION NO. PZC -19-057

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, IOWA, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE THE UNITY POINT CLINIC SITE PLAN (SP-004277-2019) FOR THAT PROPERTY LOCATED AT 4055 WESTOWN PARKWAY**

**WHEREAS**, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Unity Point Health, in association with the property owner, Central Iowa Hospital Corporation, has requested approval of a site plan to allow the construction of a 2 story, 28,000 square foot medical clinic and associated site improvements for that property located at 4055 Westown Parkway;

**WHEREAS**, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

**WHEREAS**, on June 24, 2019, this Commission held a duly-noticed meeting to consider the Unity Point Clinic Site Plan Permit (SP-004277-2019);

**NOW, THEREFORE**, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report, dated June 24, 2019, or as amended orally at the Plan and Zoning Commission meeting of June 24, 2019, are adopted.

SECTION 2. SITE PLAN PERMIT (SP-004277-2019) to allow construction of a 2 story, 28,000 square foot medical clinic and associate site improvements is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report, dated June 24, 2019, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on June 24, 2019.

\_\_\_\_\_  
Erica Andersen, Chairperson  
Plan and Zoning Commission

ATTEST:

\_\_\_\_\_  
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on June 24, 2019, by the following vote:

- AYES:
- NAYS:
- ABSTENTIONS:
- ABSENT:

ATTEST:

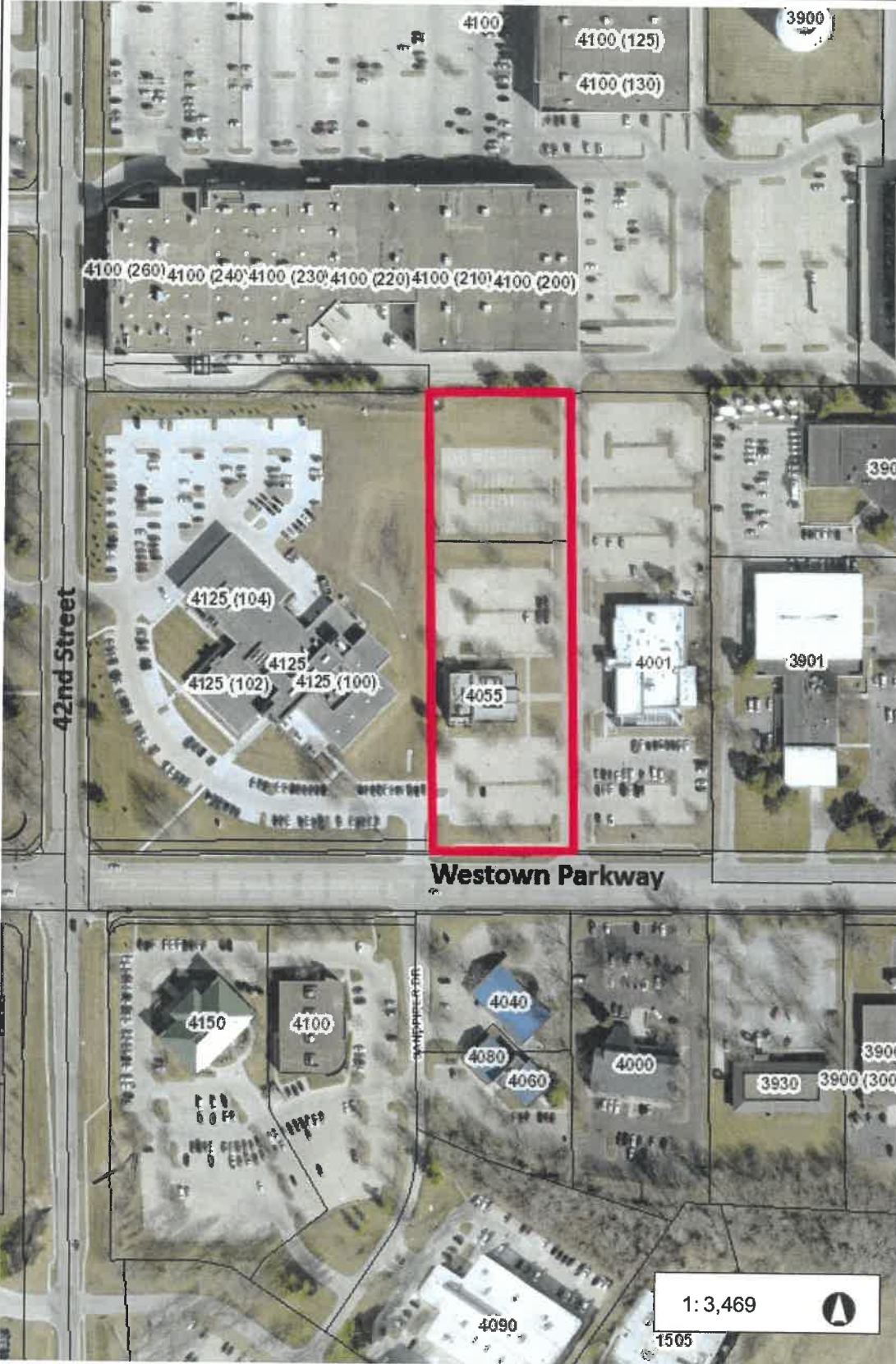
\_\_\_\_\_  
Recording Secretary

**Exhibit A**  
Conditions of Approval

1. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The signed agreement shall be submitted to the City for recording prior to issuance of a building permit. The as-built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building created with the final plat.
2. The applicant coordinating construction activities and timing with the adjacent property owner to the east to limit construction impacts, since the two properties share an access drive from Westown Parkway.
3. The public sanitary sewer easement along the south side of the building shall be vacated before the issuance of any occupancy permit for the building, including temporary occupancy.
4. The applicant submitting a signed warranty deed for the dedication of right of way before the issuance of a building permit for the building.



# Unity Point Clinic



**Legend**

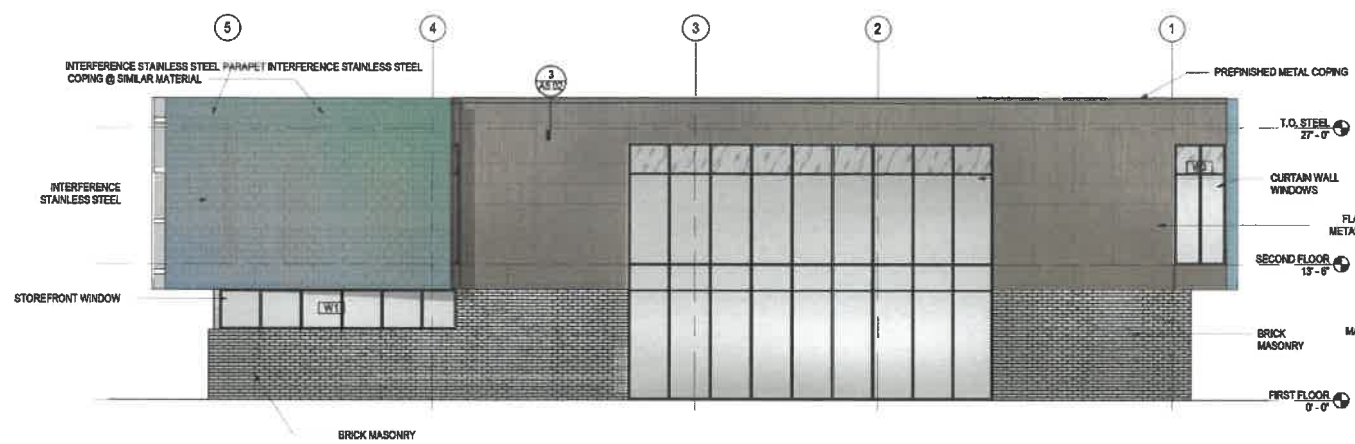
- Addresses
- Corporate Limits
- Parcels

1: 3,469

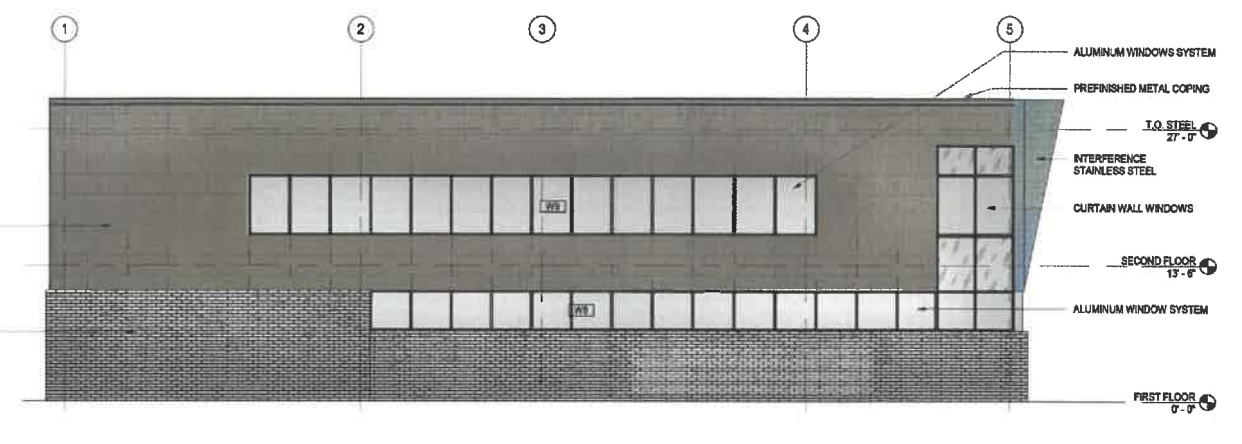


Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.



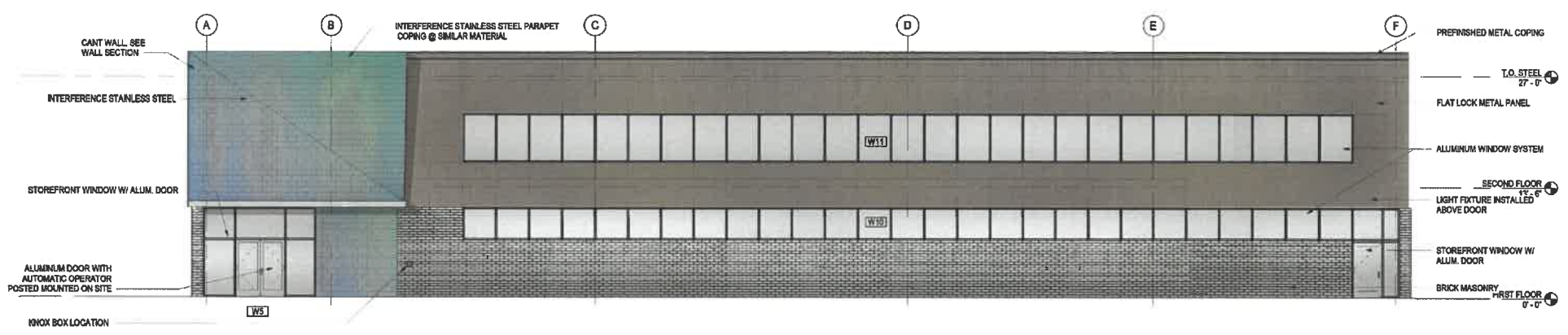


4 EAST ELEVATION  
1/8" = 1'-0"

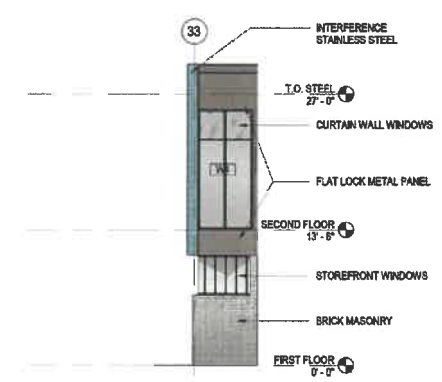


3 WEST ELEVATION  
1/8" = 1'-0"

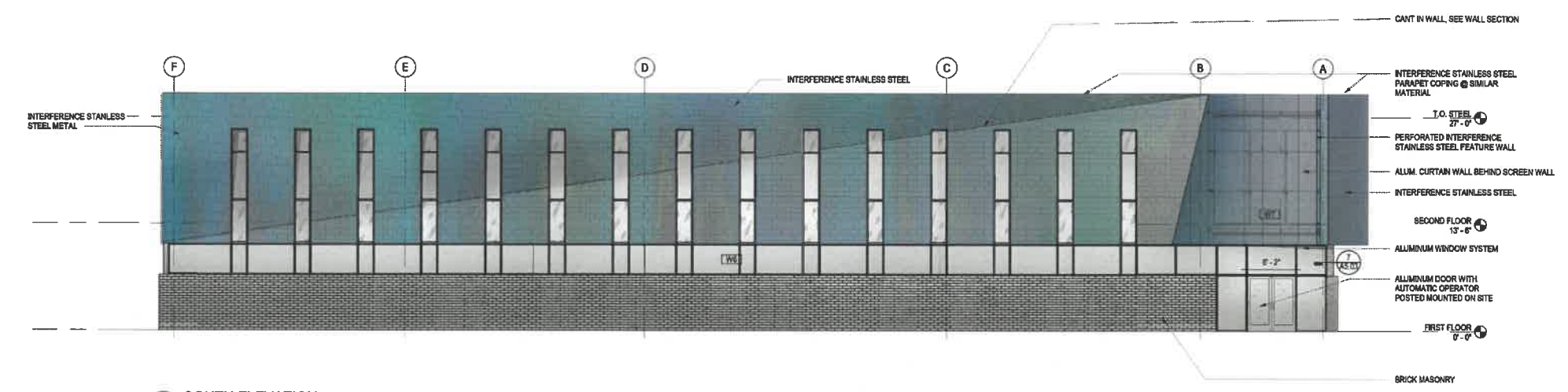
BRICK MASONRY -	REVERE PEWTER VELOUR 12" UTILITY
INTERFERENCE STAINLESS STEEL -	MILLENNIUM FORMS - BLUE GREEN, BRIGHT FINISH
FLAT LOCK METAL PANEL -	BACKDROP - SW 7025, SHERWIN WILLIAMS
ALUMINUM WINDOW SYSTEM:	
STOREFRONT WINDOWS	
CURTAIN WALL WINDOWS	



2 NORTH ELEVATION  
1/8" = 1'-0"



5 NORTHEAST ELEVATION  
1/8" = 1'-0"



1 SOUTH ELEVATION  
1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

# UNITY POINT CLINIC WESTOWN PARKWAY

### SHEET INDEX:

- C0.1 COVER SHEET
- C0.2 SITE SURVEY
- C1.1 DEMO PLAN
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.1 DETAILS SHEET
- C7.1 SWPPP

### GENERAL NOTES:

1. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES (222-3475) TO SCHEDULE ANY REQUIRED INSPECTIONS. ROW EXCAVATION PERMITS CAN BE OBTAINED AT THE PUBLIC SERVICE FACILITY (222-3480). IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
2. IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
5. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
6. BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION ON THE PROJECT FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
10. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WEST DES MOINES.
13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
15. EDGE COMPANIES (JOSH WEIDERHOLT, 515-988-2229) IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR TO PROVIDE CONTACT INFORMATION FOR INDIVIDUAL RESPONSIBLE FOR THESE ACTIVITIES TO CITY OF WEST DES MOINES UPON PROJECT AWARD.
16. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

### PROPERTY DESCRIPTION:

SPECIAL WARRANTY DEED BOOK 8471, PAGE 848  
THE SOUTH 442.00 FEET OF LOT 2 IN WESTOWN PARKWAY PLAZA, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

AND

(WARRANTY DEED BOOK 19988, PAGE 245)  
THE WEST 200.00 FEET OF LOT 1 LYING NORTH OF AND ADJACENT TO LOT 2 AND LOT 2 EXCEPT THE SOUTH 442.00 FEET, ALL IN WESTOWN PARKWAY PLAZA, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

ADDRESS:  
4055 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50265

OWNER:  
HURD PROPERTIES  
AND HURD WESTOWN LLC  
2000 FULLER ROAD  
WEST DES MOINES, IOWA 50265

PREPARED FOR:  
UNITY POINT HEALTH-DES MOINES  
1200 E PLEASANT STREET  
DES MOINES, IA 50309

ZONING:  
INFORMATION OBTAINED FROM CITY OF WEST DES MOINES PLANNING DIVISION  
SOUTH WATER TOWER PLACE PLD WITH UNDERLYING ZONING OF PROFESSIONAL COMMERCE PARK FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF WEST DES MOINES AT 515-222-3820

COMPREHENSIVE PLAN LAND USE:  
EXISTING - OFFICE  
PROPOSED - OFFICE

SETBACKS:  
FRONT YARD 100 FEET  
REAR YARD 25 FEET  
SIDE YARD (EAST) 10 FEET  
SIDE YARD (WEST) 25 FEET

PARKING REQUIREMENTS:  
1 SPACE PER 200 SF GROSS FLOOR AREA  
28,600 SF/200 = 143 SPACES REQUIRED  
144 SPACES PROVIDED INC. 5 ADA SPACES

OPEN SPACE REQUIREMENTS:  
TOTAL SITE AREA = 128,072 S.F. (2.94 AC)  
REQUIRED OPEN SPACE = 44,625 S.F. (1.02 AC)  
PROVIDED OPEN SPACE = 47,303 S.F. (1.08 AC)

IMPERVIOUS SURFACE:  
TOTAL SITE AREA = 128,072 S.F.  
EXISTING IMPERVIOUS AREA = 87,044 S.F. (67.9%)  
PROPOSED IMPERVIOUS AREA = 93,773 S.F. (73.2%)  
NET CHANGE = 6,729 S.F.

BENCHMARK:  
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = CITY OF WEST DES MOINES

WEST DES MOINES BM 64  
NORTHING = 577432.5  
EASTING = 1568918.9  
ELEVATION = 183.19  
DESCRIPTION: STANDARD BENCHMARK LOCATED SOUTH OF THE INTERSECTION OF 42ND ST. AND ASHWORTH RD., 3 FEET WEST OF THE CENTERLINE OF 42ND ST. EXTENDED, 25.5 FEET SOUTH OF CENTERLINE OF ASHWORTH RD.

WEST DES MOINES BM 69  
NORTHING = 583150.8  
EASTING = 1574060.8  
ELEVATION = 183.69  
DESCRIPTION: STANDARD BENCHMARK LOCATED AT THE INTERSECTION OF 28TH ST. AND UNIVERSITY AVE., SOUTHWEST CORNER OF INTERSECTION 41.5 FEET SOUTH OF CENTERLINE OF UNIVERSITY AVE. 68.5 FEET WEST OF CENTERLINE OF 28TH ST.

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### UTILITY CONFLICT NOTES:

1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVIENIENCE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION.
3. CONTRACTOR SHALL COMPLY WITH ALL DNR REQUIREMENTS FOR PIPE MATERIAL, PIPE JOINTS, AND ANY OTHER APPLICABLE REQUIREMENTS ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18" BELOW A WATER MAIN.
4. FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY BISHOP ENGINEERING PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.

### STAKING NOTES:

1. CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
2. CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
3. STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

### PAVEMENT SAWCUT NOTES:

1. CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN TO DAVID BENTZ, BISHOP ENGINEERING (515-275-0467 OR DBENTZ@BISHOPENOR.COM) PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
2. PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
3. LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE 1-1' OR 1-2' JOINTS AND HAVE STEEL. INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' OR TYPE 'C' JOINTS.
4. ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

### SPECIFICATIONS NOTES:

1. IN THE EVENT OF A DISCREPANCY BETWEEN THE PROJECT SPECIFICATIONS AND CITY OF WEST DES MOINES REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT (SUDAS 2019), THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS SHALL GOVERN.
2. FOR ALL SPECIFICATION DISCREPANCIES, PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.
3. FOR ALL SPECIFICATION DISCREPANCIES, CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM THE CITY OF WEST DES MOINES ENGINEERING DEPARTMENT FOR ANY CHANGES TO PROPOSED SITE INFRASTRUCTURE OR GRADES PRIOR TO PROCEEDING WITH ANY CHANGES.

### REQUIRED AS-BUILT NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO OF ALL DETENTION PONDS & DETENTION POND STORM SEWER.
2. CONTRACTOR SHALL CONTACT BISHOP ENGINEERING (DAVID BENTZ AT 515-275-0467) TO PERFORM SAID AS-BUILT SURVEYS.
3. IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

### EARTHWORK BALANCE NOTES:

1. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY. CONTRACTOR RESPONSIBLE FOR MAKING THE SITE EARTHWORK BALANCE.
2. THIS INCLUDES BUT IS NOT LIMITED TO TOPSOIL, POOR SOILS AND STRUCTURAL FILL NECESSARY TO MEET PROJECT PLANS AND SPECIFICATIONS.

### STORM & SANITARY TELEVISION NOTES:

1. CONTRACTOR IS REQUIRED TO TELEVIEW ALL SANITARY AND STORM SEWER SYSTEM PRIOR TO PAVING OPERATIONS.
2. CONTRACTOR SHALL SEND VIDEO INSPECTION TO THE ENGINEER FOR APPROVAL PRIOR TO PAVING.

### WEST DES MOINES UTILITY NOTES:

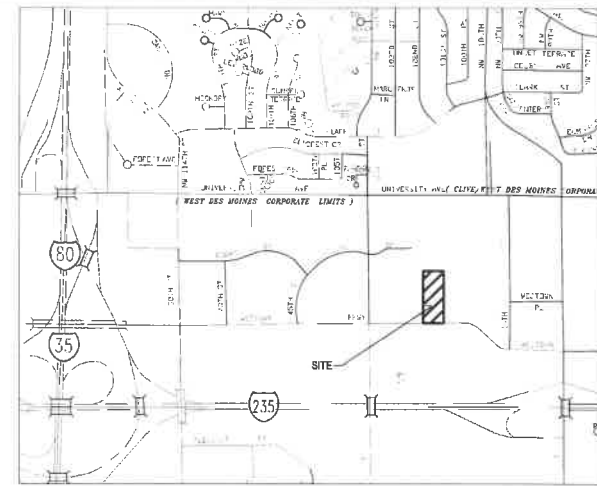
1. ALL WATER MAIN, PUBLIC OR PRIVATE AND ASSOCIATED SERVICES SHALL BE INSTALLED ACCORDING TO SUDAS 2019 EDITION & WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
2. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3485) AT LEAST 1 WEEK PRIOR TO BUILDING CONSTRUCTION.
3. ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
6. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE 2015 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTIONS (515-222-3630) A MIN. OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(ES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297.54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, WILLIAM MARJUCE, ENGINEERING TECHNICIAN (515-222-3510) A MIN OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
8. ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALLPACKS ARE PROHIBITED. THEN MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS ONE FOOTCANDLE.
9. CONTACT WEST DES MOINES WATER WORKS (222-3465) TO SCHEDULE PRESSURE AND FLOW TEST PRIOR TO DESIGNING THE FIRE SUPPRESSION SYSTEM.
10. PER CITY OF WEST DES MOINES SPECIFICATIONS NO MORE THAN 12 INCHES OF ADJUSTMENT RINGS MAY BE USED ON A SANITARY SEWER STRUCTURE. IF MORE THAN 12 INCHES OF ADJUSTING RINGS ARE REQUIRED A NEW BARREL SECTION WILL NEED TO BE INSTALLED.
11. ALL RETAINING WALLS OVER 4 FEET IN HEIGHT NEED TO BE CERTIFIED BY A STRUCTURAL ENGINEER.

### RIGHT OF WAY NOTE:

1. LOT 'A' TO BE DEEDED TO THE CITY OF WEST DES MOINES FOR RIGHT OF WAY AT THE START OF THE PROJECT.

### UTILITY MAPS PROVIDED BY:

1. ELECTRIC (PROVIDER / CONTACT INFO)
2. STORM AND SANITARY (PROVIDER / CONTACT INFO)
3. FIBER OPTIC (PROVIDER / CONTACT INFO)
4. CABLE (PROVIDER / CONTACT INFO)
5. GAS (PROVIDER / CONTACT INFO)
6. WATER (PROVIDER / CONTACT INFO)
7. OTHERS (PROVIDER / CONTACT INFO)



VICINITY MAP  
NOT TO SCALE

### LEGEND:

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- OE — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- FO — FIBER OPTIC
- CATV — CABLE TV
- ⊕ STORM MANHOLE
- ⊕ CURB INTAKE
- ⊕ SURFACE INTAKE
- ⊕ FLARED END SECTION
- ⊕ SANITARY MANHOLE
- ⊕ CLEANOUT
- ⊕ FIRE HYDRANT
- ⊕ SPRINKLER
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ WATER MANHOLE
- ⊕ WELL
- ⊕ WATER VALVE
- ⊕ WATER SHUT OFF
- ⊕ YARD HYDRANT
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC RISER
- ⊕ ELECTRIC VAULT
- ⊕ POWER POLE
- ⊕ TRANSFORMER POLE
- ⊕ LIGHT POLE
- ⊕ ELECTRIC JUNCTION BOX
- ⊕ ELECTRIC PANEL
- ⊕ TRANSFORMER
- ⊕ GROUND LIGHT
- ⊕ GUY WIRE
- ⊕ ELECTRIC HANDHOLE
- ⊕ GAS METER
- ⊕ GAS VALVE
- ⊕ AIR CONDITIONING UNIT
- ⊕ TELEPHONE RISER
- ⊕ TELEPHONE VAULT
- ⊕ TELEPHONE MANHOLE
- ⊕ TRAFFIC SIGNAL MANHOLE
- ⊕ FIBER OPTIC RISER
- ⊕ FIBER OPTIC FAULT
- ⊕ CABLE TV RISER
- ⊕ SIGN
- ⊕ DENOTES NUMBER OF PARKING STALLS
- ⊕ PROPERTY CORNER - FOUND AS NOTED
- ⊕ PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
- ⊕ SECTION CORNER - FOUND AS NOTED

### ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLACED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PREV PREVIOUSLY RECORDED AS PUBLIC UTILITY EASEMENT
- PUE RIGHT OF WAY
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

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UNITY POINT CLINIC  
4055 WESTOWN PARKWAY W. DES MOINES, IA 50266

COVER SHEET

REFERENCE NUMBER:  
95-31-P  
1403.43  
160333

DRAWN BY:  
CEJ

CHECKED BY:  
DBB

REVISION DATE:  
4-2-2019 1ST SUBMITTAL  
4-26-2019 2ND SUBMITTAL  
5-17-2019 3RD SUBMITTAL  
5-20-2019 BID SET  
5-29-2019 4TH SUBMITTAL  
6-13-2019 5TH SUBMITTAL

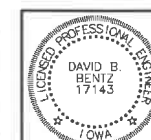
PROJECT NUMBER:  
190129

SHEET NUMBER:  
C0.1

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

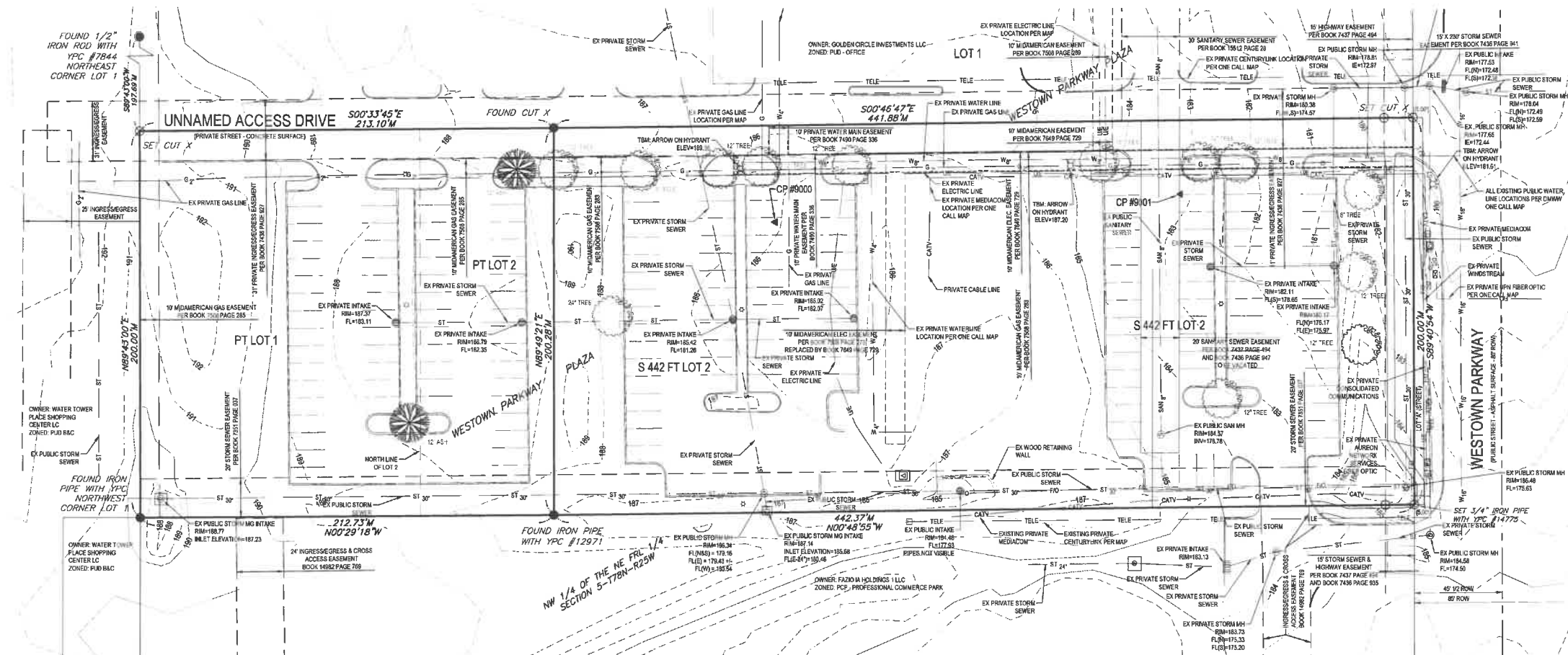
SIGNED: DAVID B. BENTZ, PE, 17143 DATE:

LICENSE RENEWAL DATE: DEC. 31, 2019  
PAGES OR SHEETS COVERED BY THIS SEAL:

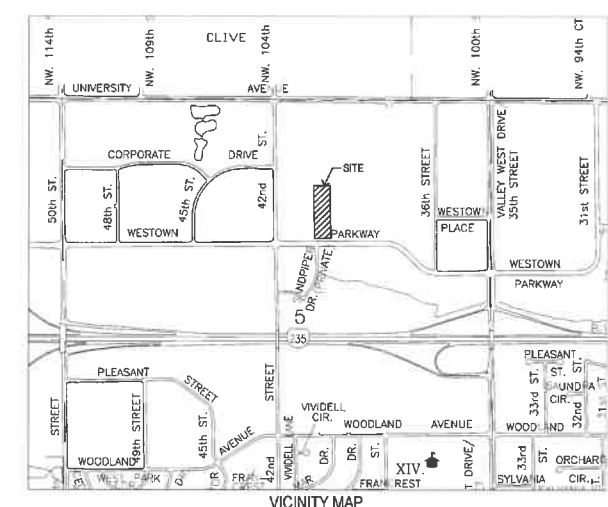




# UNITY POINT CLINIC SITE SURVEY



- LEGEND:**
- SAN — SANITARY SEWER
  - ST — STORM SEWER
  - W — WATER LINE
  - G — GAS LINE
  - UE — UNDERGROUND ELECTRIC
  - OE — OVERHEAD ELECTRIC
  - TELE — TELEPHONE LINE
  - FIO — FIBER OPTIC
  - CATV — CABLE TV
  - ⊙ — STORM MANHOLE
  - ⊠ — CURB INTAKE
  - ⊙ — SURFACE INTAKE
  - ⊠ — FLARED END SECTION
  - ⊙ — SANITARY MANHOLE
  - ⊠ — CLEANOUT
  - ⊙ — FIRE HYDRANT
  - ⊠ — SPRINKLER
  - ⊙ — IRRIGATION CONTROL VALVE
  - ⊠ — WATER MANHOLE
  - ⊙ — WELL
  - ⊠ — WATER VALVE
  - ⊙ — WATER SHUT OFF
  - ⊠ — YARD HYDRANT
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  - ⊙ — POWER POLE
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  - ⊠ — ELECTRIC JUNCTION BOX
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  - ⊠ — GUY WIRE
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  - ⊠ — GAS METER
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  - ⊠ — FIBER OPTIC FAULT
  - ⊙ — CABLE TV RISER
  - ⊠ — SIGN
  - ⊙ — DENOTES NUMBER OF PARKING STALLS
  - ⊠ — PROPERTY CORNER - FOUND AS NOTED
  - ⊙ — PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
  - ⊠ — SECTION CORNER - FOUND AS NOTED
  - ⊙ — SITE CONTROL POINT - MONUMENT AS NOTED



**PROPERTY DESCRIPTION:**  
(SPECIAL WARRANTY DEED BOOK 8471, PAGE 846)  
THE SOUTH 442.00 FEET OF LOT 2 IN WESTOWN PARKWAY PLAZA, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA.

**ZONING:**  
INFORMATION OBTAINED FROM POLK COUNTY ASSESSOR PAGE  
PUD OFFICE - OFFICE PLANNED UNIT DEVELOPMENT FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF WEST DES MOINES AT 515-222-3528

**SITE CONTROL AND BENCHMARKS:**  
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = CITY OF WEST DES MOINES

**POINT #9000**  
NORTHING = 581788.57  
EASTING = 1599537.15  
ELEVATION = 186.07  
DESCRIPTION: RPC ON IRON PIPE

**POINT #9001**  
NORTHING = 581576.92  
EASTING = 1599551.91  
ELEVATION = 183.15  
DESCRIPTION: RPC ON IRON PIPE

**TBM:**  
ARROW ON HYDRANT LOCATE NEAR SE CORNER OF SUBJECT PROPERTY  
ELEVATION = 181.51

**ADDRESS:**  
4055 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50266

**OWNER:**  
HURO PROPERTIES  
AND HURO WESTOWN LLC  
2000 FULLER ROAD  
WEST DES MOINES, IOWA 50265

**PREPARED FOR:**  
INVASION ARCHITECTURE  
303 WATSON POWELL, JR. WAY  
SUITE 200  
DES MOINES, IOWA 50309  
515-633-2941

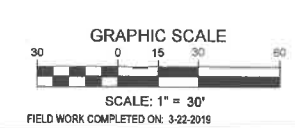
- UTILITY MAPS PROVIDED BY:**
1. STORM AND SANITARY (CITY OF WEST DES MOINES / 515-222-3510)
  2. FIBER OPTIC (CONSOLIDATED COMMUNICATIONS / 507-387-1770)
  3. FIBER OPTIC (AUREON NETWORK SERVICES / 515-380-4445)
  4. FIBER OPTIC (UNITE PRIVATE NETWORKS, LLC / 816-425-3556)
  5. GAS/ELECTRIC (MIDAMERICAN / 515-252-6532)
  6. WATER, WEST DES MOINES WATER WORKS / 515-222-3510)
  7. COMMUNICATION (ADS COMPANIES / 314-239-6668)
  8. COMMUNICATION (CENTURYLINK / 720-576-8030)
  9. CABLE (MEDIACOM COMMUNICATIONS CORP / 515-248-2252)
  10. COMMUNICATION (WINDSTREAM COMMUNICATIONS / 800-269-1901)

- ABBREVIATIONS:**
- AC ACRES
  - ASPH ASPHALT
  - BK BOOK
  - CONC CONCRETE
  - D DEEDED DISTANCE
  - EX EXISTING
  - ENCL ENCLOSURE
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  - PREV PREVIOUSLY RECORDED
  - PUB PUBLIC UTILITY EASEMENT
  - ROW RIGHT OF WAY
  - RP RED PLASTIC CAP
  - SF SQUARE FEET
  - SAN SANITARY
  - TYP TYPICAL
  - YPC YELLOW PLASTIC CAP
  - N NORTH
  - S SOUTH
  - E EAST
  - W WEST

**NOTES:**

1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM POLK COUNTY ASSESSOR'S WEB PAGE
2. PARENTHESIS ( ) DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

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SIGNED: LARRY D. HYLER, P.L.S. 14775 DATE: \_\_\_\_\_  
LICENSE RENEWAL DATE: DEC. 31, 2020  
PAGES OR SHEETS COVERED BY THIS SEAL: C0.2

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4055 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50266  
**SITE SURVEY**

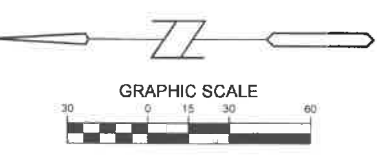
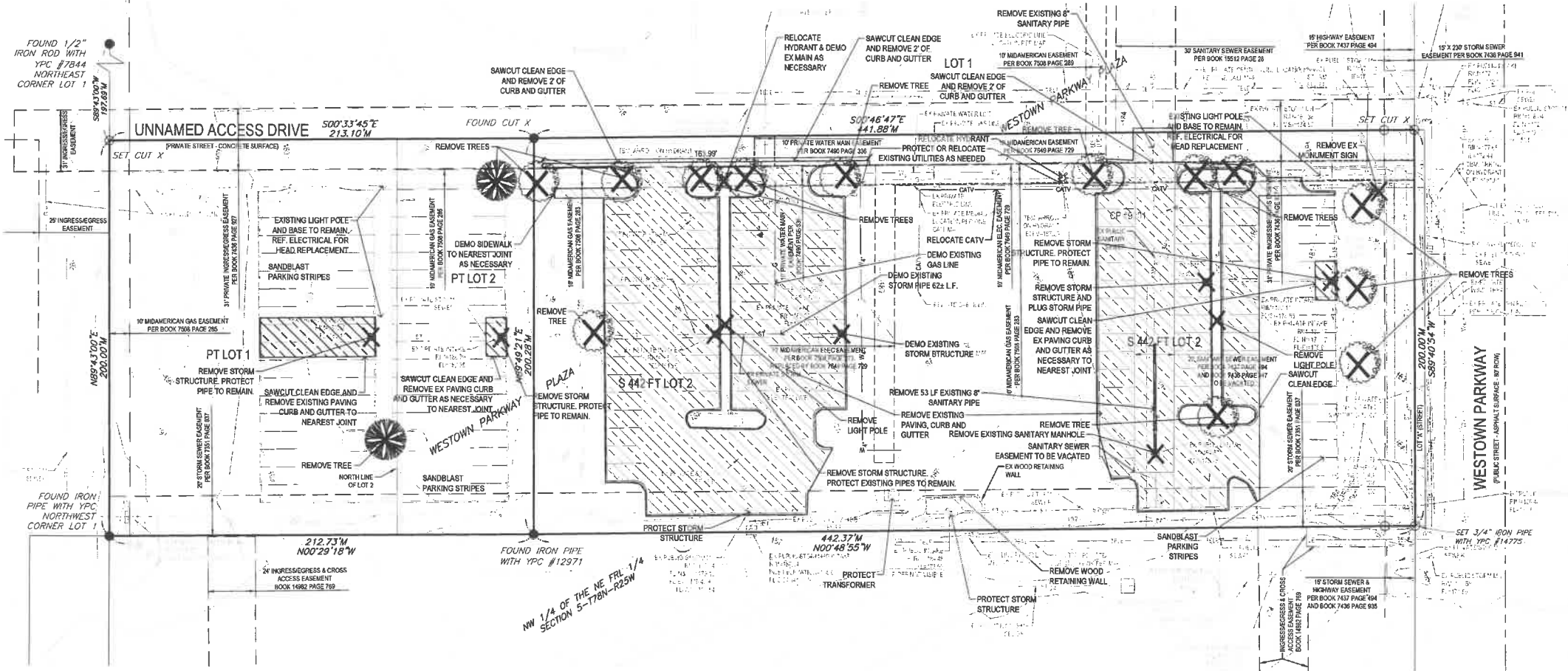
REFERENCE NUMBER:	
DRAWN BY:	CJLM
CHECKED BY:	
REVISION DATE:	
PROJECT NUMBER:	190129
SHEET NUMBER:	C0.2



PRELIMINARY - NOT FOR CONSTRUCTION

8/12/2019 1:38:07 PM MALAND PROJECTS 2019180128 UNITY POINTWQBC11.DEMO.DWG

- DEMO NOTES:**
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB
  2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE
  3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
  4. CONTRACTOR SHALL COORDINATE SIGNAGE AND/OR ACCESS ROAD CLOSURE WITH OWNER AND CITY AS NECESSARY TO REMOVE CURB AND GUTTER.
  5. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND LIGHT POLE REMOVAL/EXCHANGE WITH UTILITY PROVIDER AND ARCHITECT.



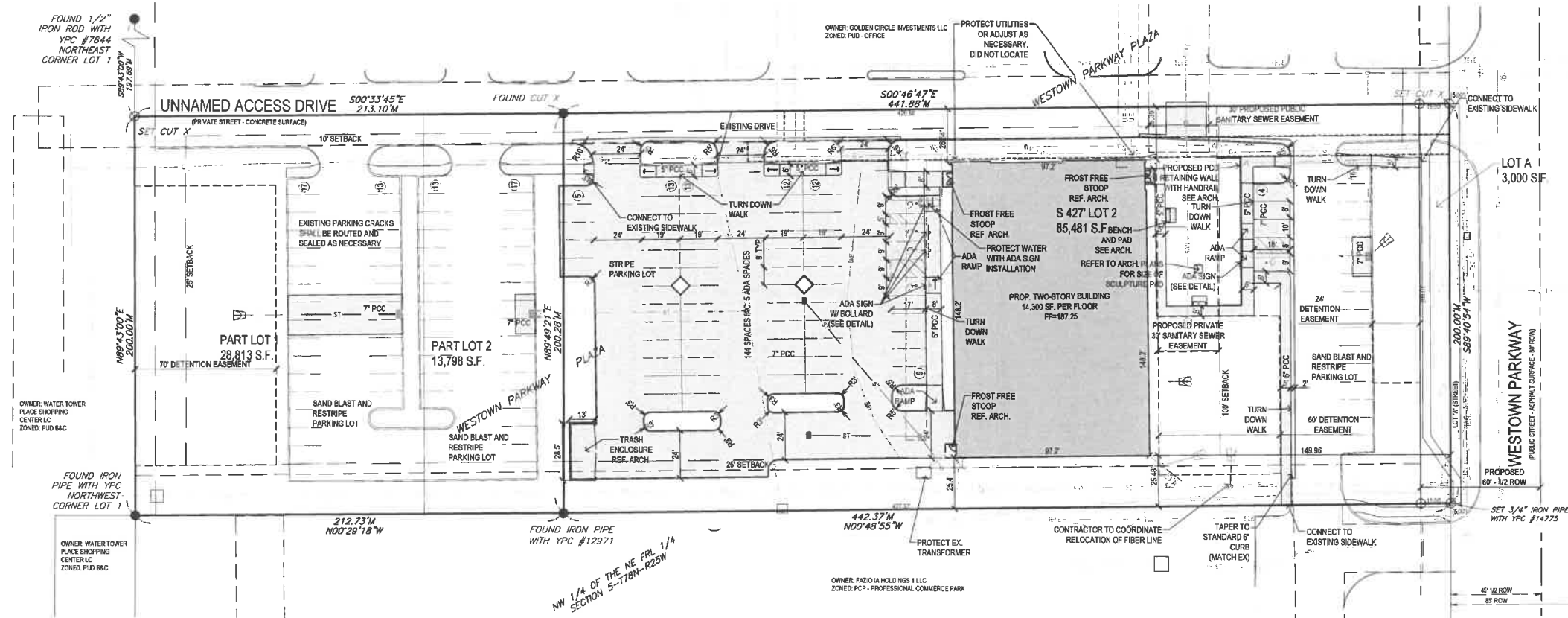
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**UNITY POINT CLINIC**  
 4055 WESTTOWN PARKWAY W. DES MOINES, IA 50266  
**DEMO PLAN**

REFERENCE NUMBER: 95-31-P 140343 160333
DRAWN BY: CEJ
CHECKED BY: DBB
REVISION DATE: 4-2-2019 1ST SUBMITTAL 4-26-2019 2ND SUBMITTAL 5-17-2019 3RD SUBMITTAL 5-20-2019 4TH SUBMITTAL 6-13-2019 5TH SUBMITTAL
PROJECT NUMBER: <b>190129</b>
SHEET NUMBER: <b>C1.1</b>

PRELIMINARY - NOT FOR CONSTRUCTION

- GENERAL NOTES:**
- EXISTING UTILITIES PER ONE CALL MAPS.
  - CONTRACTOR SHALL PROVIDE JOINTING PLAN FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL USE TYPICAL "BT" TYPE JOINTS WHERE PROPOSED CONCRETE CONNECTS TO EXISTING CONCRETE.
  - CONTRACTOR SHALL COORDINATE BUILDING LAYOUT AND FOOTINGS WITH ARCHITECTURAL AND STRUCTURAL PLANS, AND FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.



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**UNITY POINT CLINIC**  
 4055 WESTOWN PARKWAY W, DES MOINES, IA 50266  
**LAYOUT PLAN**

REFERENCE NUMBER: 95-31-P 140343 140333
DRAWN BY: CEJ
CHECKED BY: DSB
REVISION DATE: 4-2-2019 1ST SUBMITTAL 4-26-2019 2ND SUBMITTAL 5-17-2019 3RD SUBMITTAL 6-20-2019 BID SET 5-29-2019 4TH SUBMITTAL 6-13-2019 5TH SUBMITTAL

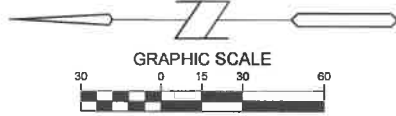
PROJECT NUMBER:  
**190129**  
 SHEET NUMBER:  
**C2.1**

PRELIMINARY - NOT FOR CONSTRUCTION

- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
  2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
  3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
  4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5, CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

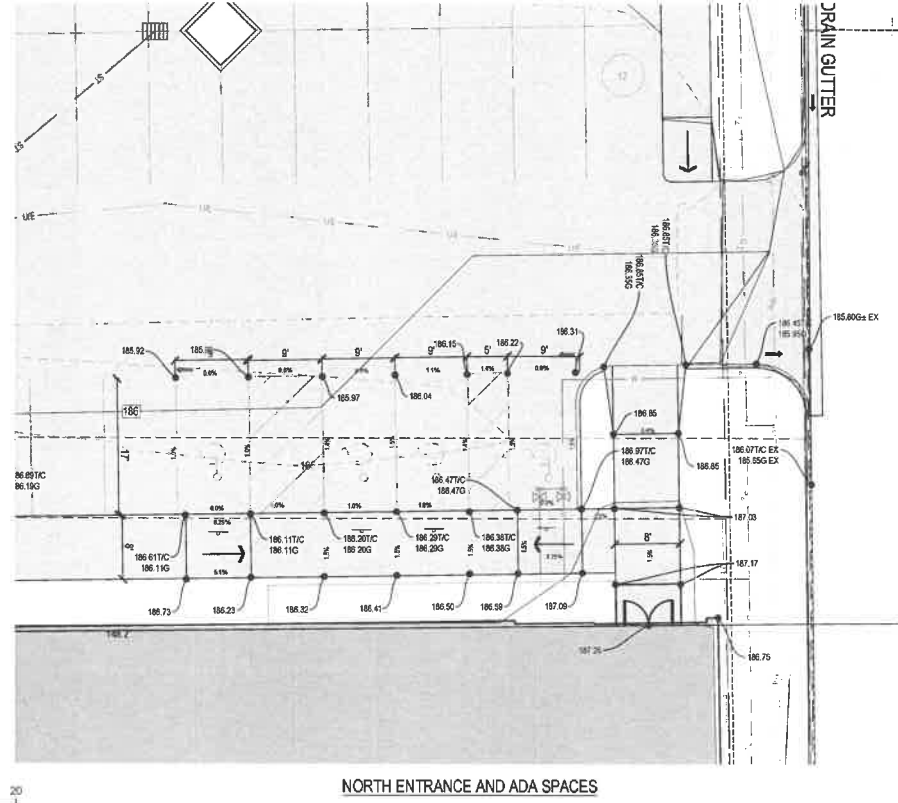
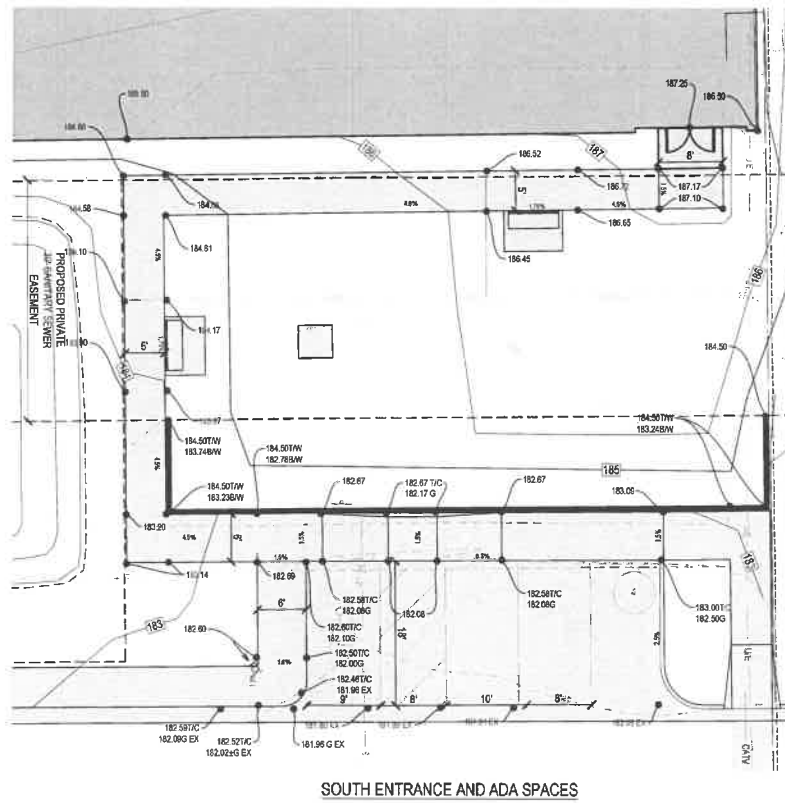
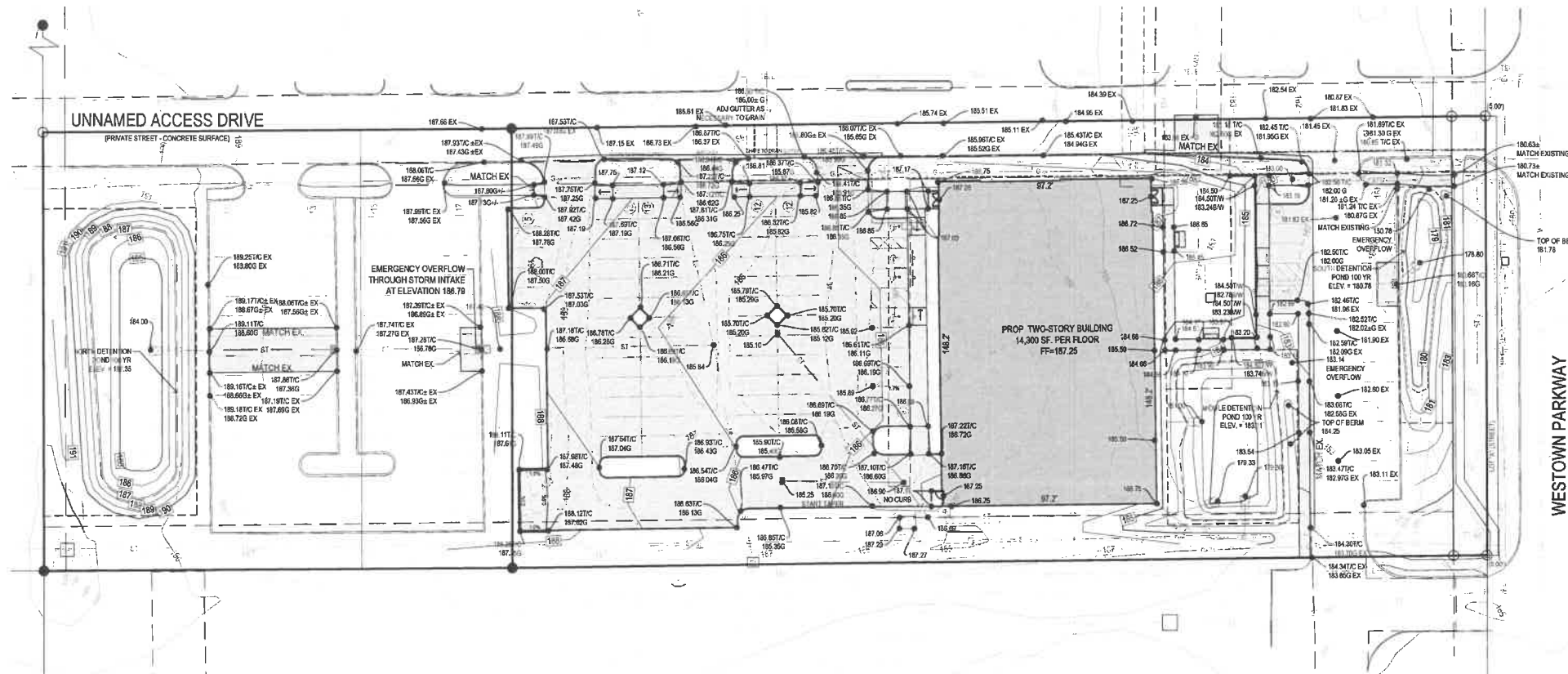
**EROSION CONTROL NOTE**  
EDGE COMPANIES (JOSH WEIDERHOLT, 515-986-2228) IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED

EDGE COMPANIES (JOSH WEIDERHOLT, 515-986-2228) IS RESPONSIBLE FOR INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES



**GRADING LEGEND:**

- EXISTING CONTOUR ——— 150 ———
  - PROPOSED CONTOUR ——— 150 ———
  - FINISHED GROUND ELEVATION ● 150.50
  - TOP OF CURB ELEVATION ● 150.50TC
  - GUTTER ELEVATION ● 150.50G
  - TOP OF WALL ELEVATION ● 150.50TW
  - BOTTOM OF WALL ELEVATION ● 150.50BW
  - EDGE OF WALK ELEVATION ● 150.50EW
  - TOP OF STAIR ELEVATION ● 150.60TS
  - BOTTOM OF STAIR ELEVATION ● 150.50BS
- NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.



NORTH ENTRANCE AND ADA SPACES

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**UNITY POINT CLINIC**  
4055 WESTOWN PARKWAY W. DES MOINES, IA 50266

**GRADING PLAN**

REFERENCE NUMBER:	95-31-P 140343 100333
DRAWN BY:	CEJ
CHECKED BY:	DBB
REVISION DATE:	4-2-2019 1ST SUBMITTAL 4-26-2019 2ND SUBMITTAL 5-17-2019 3RD SUBMITTAL 5-20-2019 BID SET 5-29-2019 4TH SUBMITTAL 6-13-2019 5TH SUBMITTAL

PROJECT NUMBER:  
**190129**  
SHEET NUMBER:  
**C3.1**

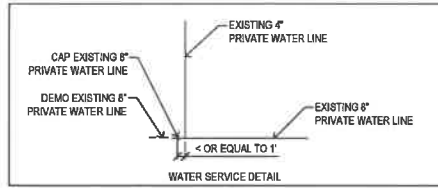
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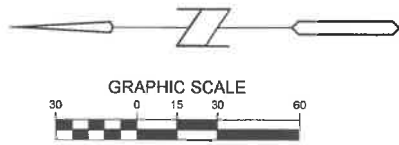
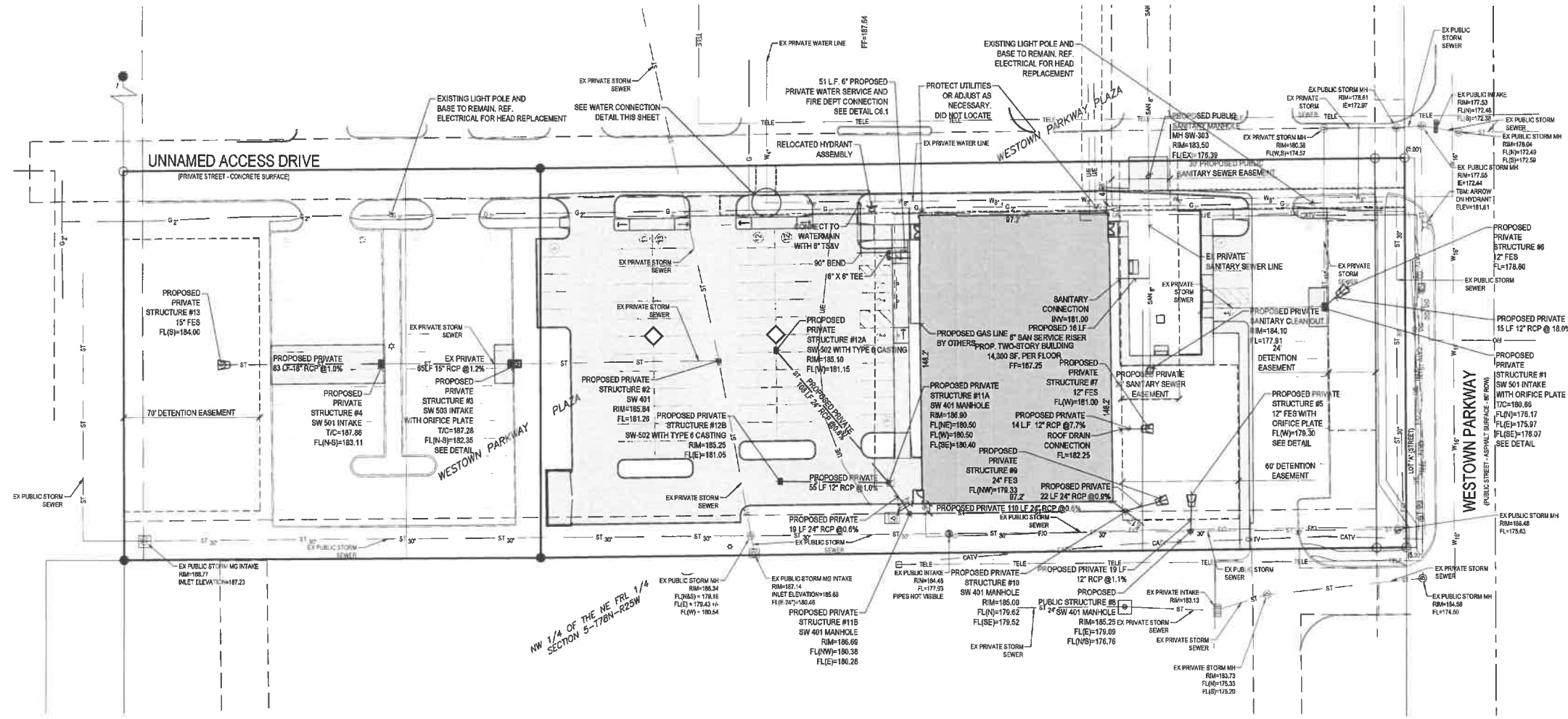
6/13/2019 1:46:48 PM I:\LAND PROJECTS\2018\180120 UNITY POINT\DWG\CAL UTILITY.DWG

- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
  2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE.
  3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
  4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
  5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
  6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
  7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
  8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
  9. ALL WATER WORK NEEDS TO BE COMPLETED IN A MANNER TO MINIMIZE THE WATER SERVICE DISRUPTION FOR BOTH FIRE AND DOMESTIC TO THE ADJACENT BUILDING.



**PRIVATE WATER QUANTITY**

8" PIPE TO DEMO	22 FEET
HYDRANT TO BE RELOCATED	1
8" X 6" T&SV	1
PROPOSED 6" PIPE INCL. BEND AND TEE	46 FEET
PROPOSED 4" PIPE	20 FEET
PROPOSED 6" VALVE	2



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**UNITY POINT CLINIC**  
 4055 WESTOWN PARKWAY W. DES MOINES, IA 50266

**UTILITY PLAN**

REFERENCE NUMBER:	95-31-P 140343 160333
DRAWN BY:	CEJ
CHECKED BY:	DEB
REVISION DATE:	4-2-2019 1ST SUBMITTAL 4-26-2019 2ND SUBMITTAL 5-17-2019 3RD SUBMITTAL 5-20-2019 BID SET 5-29-2019 4TH SUBMITTAL 6-13-2019 5TH SUBMITTAL

PROJECT NUMBER:	190129
SHEET NUMBER:	C4.1

PRELIMINARY - NOT FOR CONSTRUCTION

**LANDSCAPE NOTES:**

1. ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z66.1).
6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
8. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
9. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
10. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
11. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
12. ALL EDGING SHALL BE 1/2" X 1/8" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL.
13. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL INCORPORATE TYPAR 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 3" THICK LAYER OF WASHED RIVER ROCK (1.5" NOMINAL SIZE).
14. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER ROCK IS INSTALLED.
15. ALL GROUND MOUNTED AND WALL MOUNTED UTILITIES SHALL BE SCREENED WITH EVERGREEN SCREENING OR OTHER SCREENING MATERIAL AS APPROVED BY THE CITY OF WEST DES MOINES

**GENERAL LANDSCAPE REQUIREMENTS**

TOTAL SQUARE FOOTAGE OF PROJECT AREA	131,076 SF
REQUIRED OPEN SPACE(5%)	45,877 SF
<b>GENERAL OPEN SPACE REQUIREMENT</b>	
TOTAL REQUIRED TREES (2 PER 3,000 SF OPEN SPACE)	31
TOTAL PROPOSED TREES (19 EVERGREEN, 15 DECIDUOUS)	34
TOTAL REQUIRED SHRUBS (3 PER 3,000 SF OPEN SPACE)	46
TOTAL PROPOSED SHRUBS	69

**PLANTING SCHEDULE**

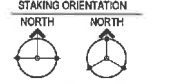
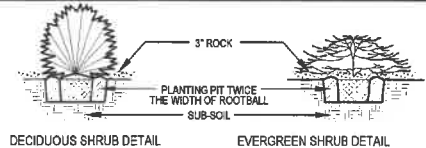
CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
GB	3	GINKGO	GINKGO BILOBA PRINCETON SENTRY	2' CAL	B&B	MATCHED SPECIMENS
SH	12	SKYLINE HONEYLOCUST	GLEDFISIA TRICANTHO INERMIS 'SKYLINE'	2.5' CAL	B&B	MATCHED SPECIMENS
HB	7	HACKBERRY	CELTIS OCCIDENTALIS	2.5' CAL	B&B	MATCHED SPECIMENS
WO	8	WHITE OAK	QUERCUS ALBA	2.5' CAL	B&B	MATCHED SPECIMENS
EM	1	ELIZABETH MAGNOLIA	MAGNOLIA X ELIZABETH	1.5' CAL	B&B	SPECIMEN FORM (SINGLE TRUNK)
PS	3	PINK SPINES CRABAPPLE	MALUS X PINK SPINES	1.5' CAL	B&B	SPECIMEN FORM (SINGLE TRUNK)
WP	6	WHITE PINE	PINUS STROBUS	6'	B&B	FULL FORM TO GROUND
BH	9	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6'	B&B	FULL FORM TO GROUND
CS	4	COLORADO SPRUCE	PICEA PUNGENS	6'	B&B	FULL FORM TO GROUND
BK	32	CHICAGO LIND BARKWOOD	BURKUS X 'GLENCOE'	#3	CONT	FULL FORM - MATCHED
HH	12	WINNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'WINNABELLE'	#5	CONT	FULL FORM - MATCHED
HH	16	WINNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'WINNABELLE'	#5	CONT	FULL FORM - MATCHED
LD	2	LITTLE DEER NINEBARK	PHYSCARPUS OPULIFOLIUS 'LITTLE DEER'	#3	CONT	FULL FORM - MATCHED
GF	36	GOLD FLAME SPREA	SPARGANX 'GOLD FLAME'	#3	CONT	FULL FORM - MATCHED
VR	100	VIOLET RICE SALVA	SALVIA X VIOLET RICE	4"	CONT	FULL FORM - MATCHED
CB	88	CRYSTAL BLUE SALVA	SALVIA X CRYSTAL BLUE	4"	CONT	FULL FORM - MATCHED
RQ	84	ROSE QUEEN SALVA	SALVIA X ROSE QUEEN	4"	CONT	FULL FORM - MATCHED
PA	560	PURPLE SENSATION ALLIUM	ALLIUM X PURPLE SENSATION	N/A	BULB	INSTALL AT 9" ON CENTER - GRID PAT'ERN

SOD: PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)

**FLOWER GONG:** PROVIDE AND INSTALL FOUR (4) "FOUR NOTE FLOWER GONGS", AS MANUFACTURED BY

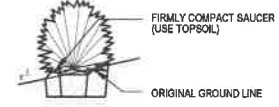
FREE NOTES HARMONY PARK  
194 BODO DRIVE, UNIT F  
DURANGO CO, 81303  
WWW.FREENOTESHARMONYPARK.COM

PROVIDE ONE OF EACH COLOR. INSTALL PER MANUFACTURERS RECOMMENDATIONS ON 16" X 16" X 4" CONCRETE PADS. SET CONCRETE MOUNTING PAD FLUSH WITH ADJACENT SIDEWALK IN LOCATIONS SHOWN ON PLAN. FINAL LOCATION OF EACH FLOWER GONG TO BE DETERMINED ON SITE BY OWNER OR OWNER'S REPRESENTATIVE

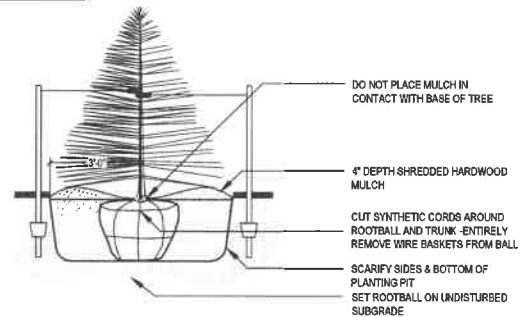


USE HOSE GUARDS AROUND TRUNK ON STAKING WIRE. TIE WIRE TO STEEL POSTS PLACED OUTSIDE PLANT PIT.

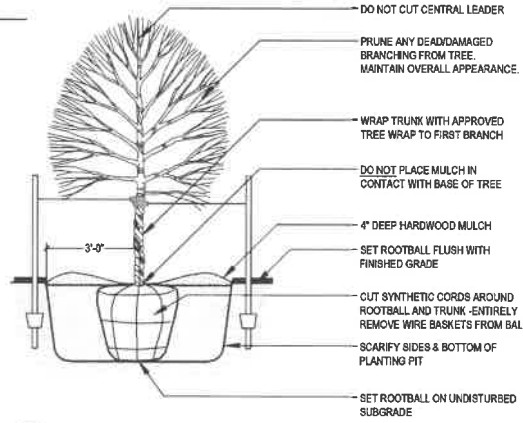
LEAVE STAKES IN PLACE NO MORE THAN 1 YEAR FROM INSTALLATION. CONTRACTOR RESPONSIBLE FOR REMOVAL.



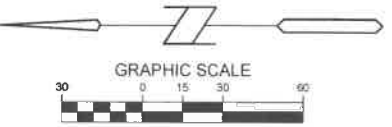
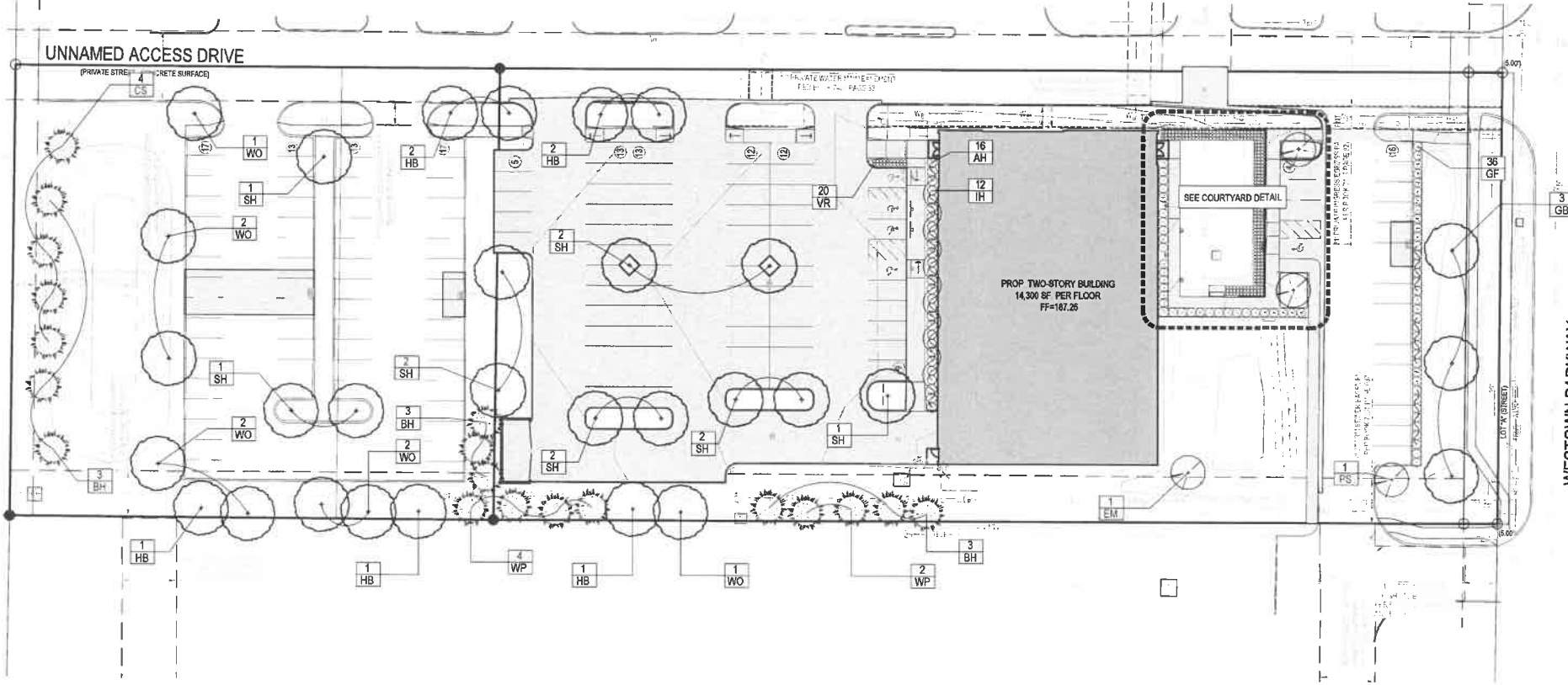
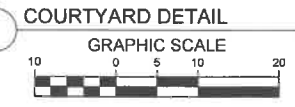
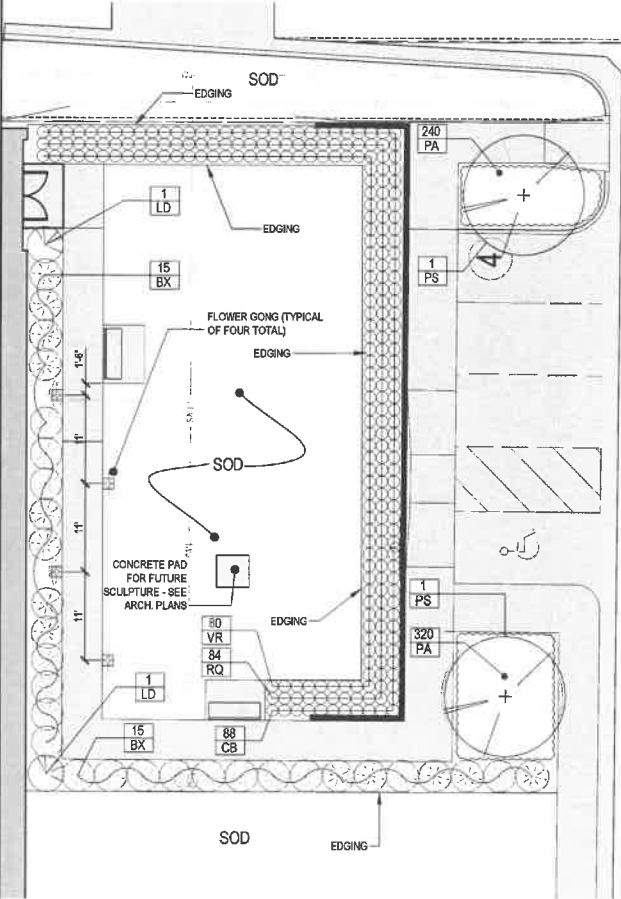
**SHRUB PLANTING (TYP)**  
SCALE: NOT TO SCALE



**EVERGREEN TREE PLANTING (B&B)**  
SCALE: NOT TO SCALE



**DECIDUOUS TREE PLANTING (TYP.)**  
SCALE: NOT TO SCALE



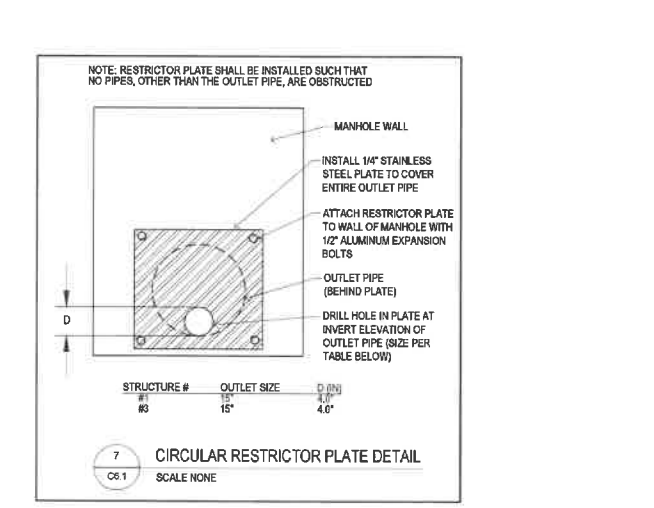
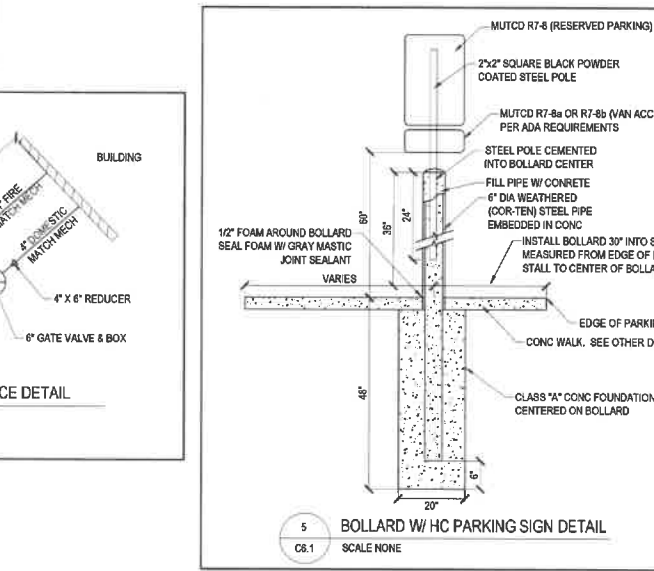
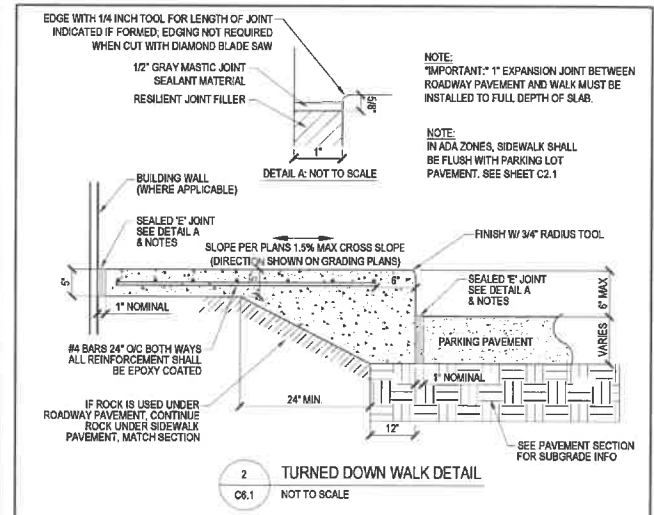
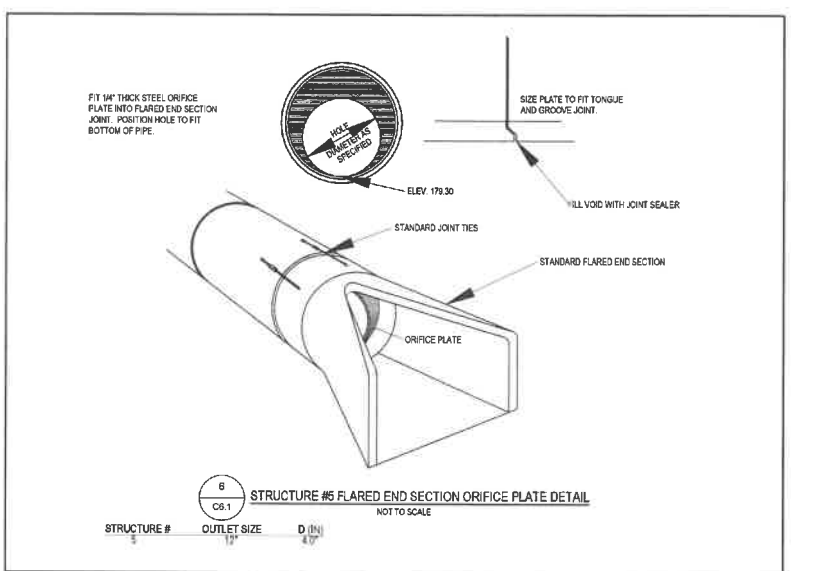
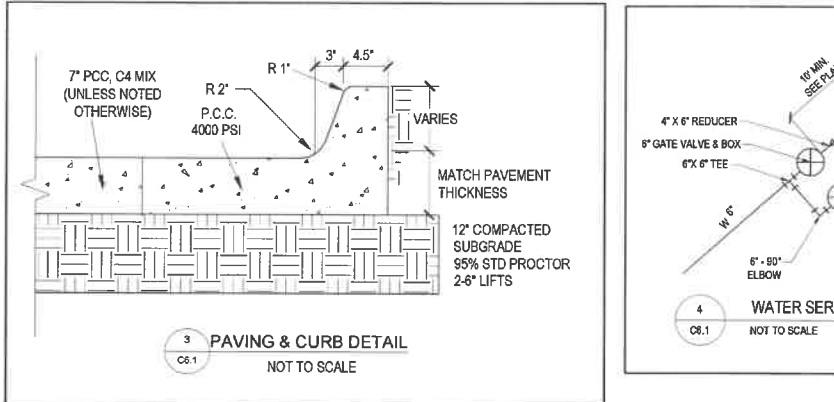
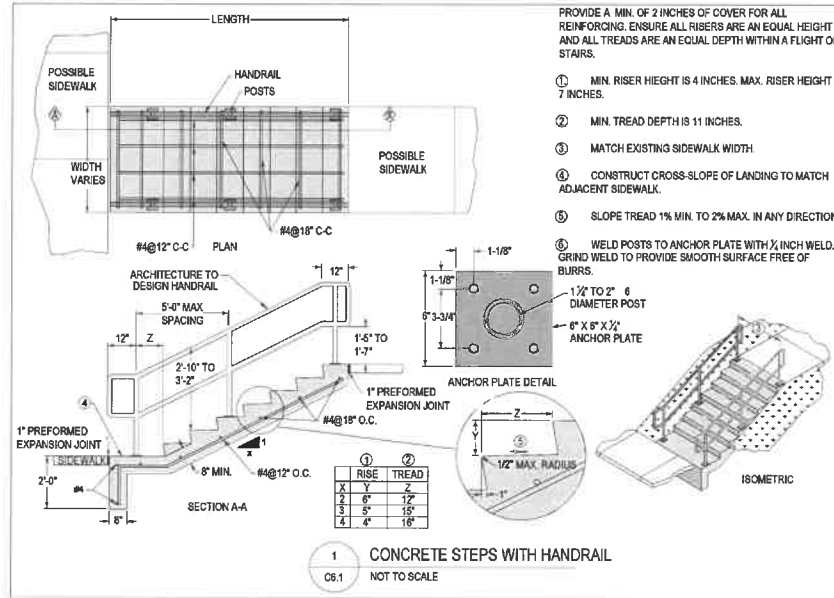
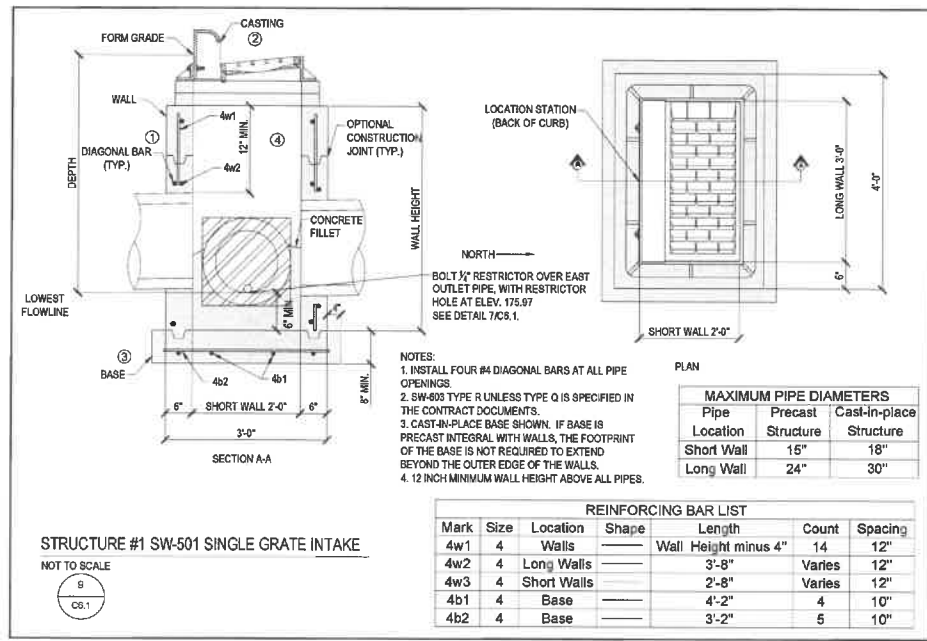
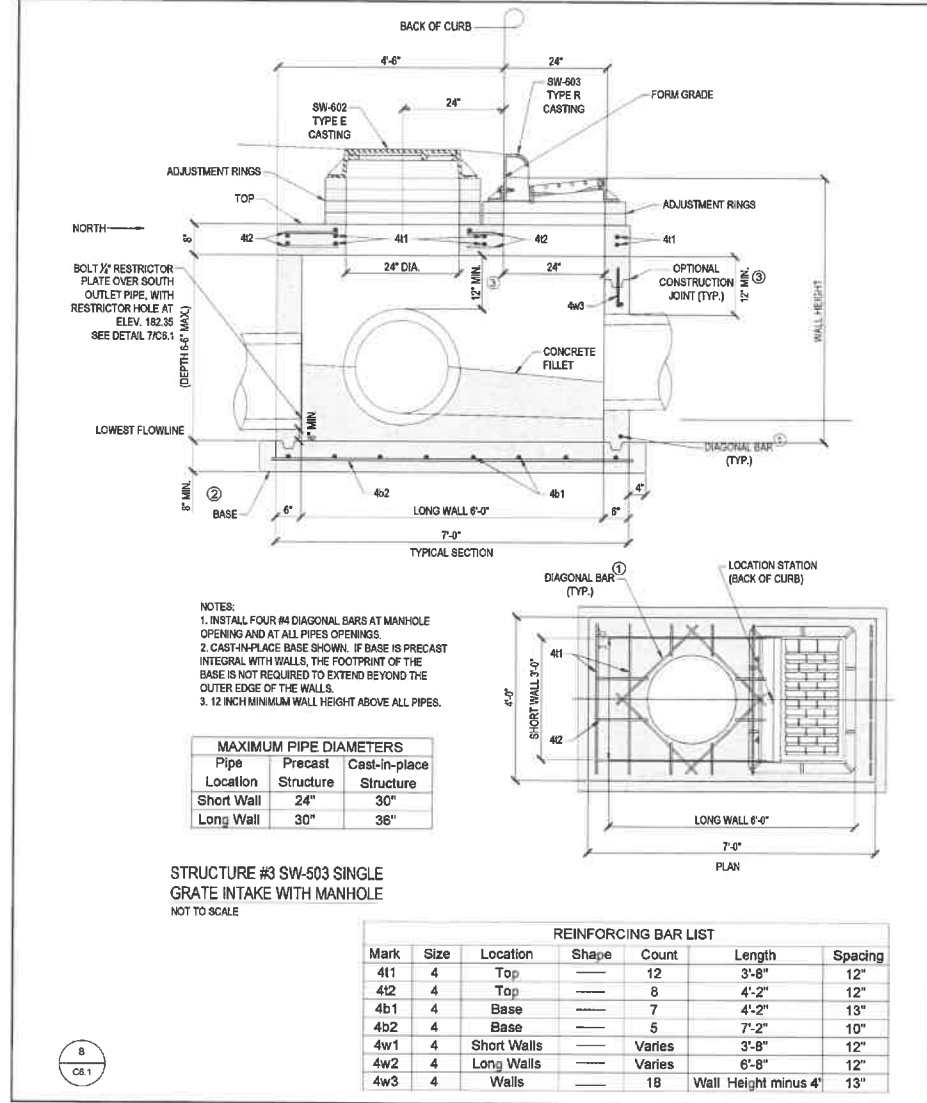
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Des Moines, Iowa 50322-3825  
Phone: (515) 276-0467 Fax: (515) 276-0217  
Civil Engineering & Land Surveying  
Established 1959

**UNITY POINT CLINIC**  
4055 WESTOWN PARKWAY W. DES MOINES, IA 50266  
**LANDSCAPE PLAN**

REFERENCE NUMBER:  
95-31-P  
140343  
160333  
DRAWN BY:  
CEJ  
CHECKED BY:  
D&B  
REVISION DATE:  
4-2-2019 1ST SUBMITTAL  
4-26-2019 2ND SUBMITTAL  
5-17-2019 3RD SUBMITTAL  
5-20-2019 BID SET  
5-29-2019 4TH SUBMITTAL  
6-13-2019 5TH SUBMITTAL

PROJECT NUMBER:  
**190129**  
SHEET NUMBER:  
**C5.1**

INLAND PROJECTS 2019/10/20 UNITY POINT.DWG.CS1 DETAIL SHEET 1:38:15 PM



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5-20-2019 4TH SUBMITTAL  
6-13-2019 5TH SUBMITTAL

PROJECT NUMBER:  
**190129**

SHEET NUMBER:  
**C6.1**

PRELIMINARY - NOT FOR CONSTRUCTION

# STORM WATER POLLUTION PREVENTION PLAN

## PROPERTY DESCRIPTION:

(SPECIAL WARRANTY DEED BOOK 8471, PAGE 648)  
THE SOUTH 442.00 FEET OF LOT 2 IN WESTOWN PARKWAY PLAZA, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

AND

(WARRANTY DEED BOOK 15986, PAGE 245)

THE WEST 200.00 FEET OF LOT 1 LYING NORTH OF AND ADJACENT TO LOT 2 AND LOT 2 EXCEPT THE SOUTH 442.00 FEET, ALL IN WESTOWN PARKWAY PLAZA, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

## ADDRESS:

4055 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50265

## OWNER:

HURD PROPERTIES  
AND HURD WESTOWN LLC  
2000 FULLER ROAD  
WEST DES MOINES, IOWA 50265

## PREPARED FOR:

INVISION ARCHITECTURE  
303 WATSON POWELL JR. WAY  
SUITE 200  
DES MOINES, IOWA 50309  
515-633-2841

## SITE AREA:

2.94 AC (128,072 S.F.)

## SWPPP LEGEND:

FILTER SOCK — SF —

## ZONING:

INFORMATION OBTAINED FROM POLK COUNTY ASSESSOR PAGE  
PUD OFFICE - OFFICE PLANNED UNIT DEVELOPMENT FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF WEST DES MOINES AT 515-222-3620

## SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = CITY OF WEST DES MOINES

## POINT #0000

NORTHING = 581788.57  
EASTING = 1566537.15  
ELEVATION = 186.07  
DESCRIPTION: RPC ON IRON PIPE

## POINT #0001

NORTHING = 581579.82  
EASTING = 1566551.91  
ELEVATION = 183.15  
DESCRIPTION: RPC ON IRON PIPE

## TBM:

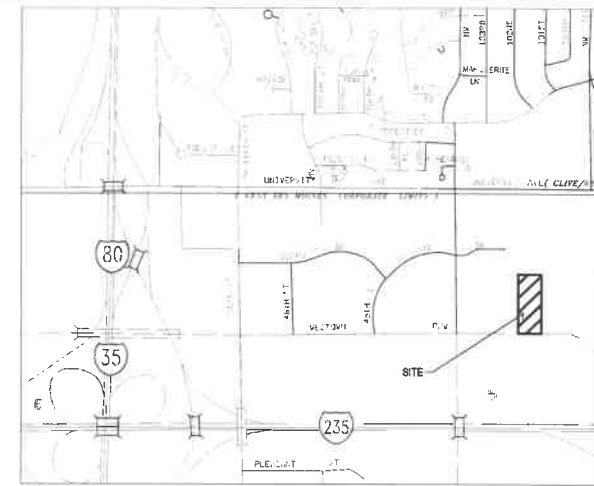
ARROW ON HYDRANT LOCATE NEAR SE CORNER OF SUBJECT PROPERTY  
ELEVATION=181.61

## EROSION CONTROL NOTES:

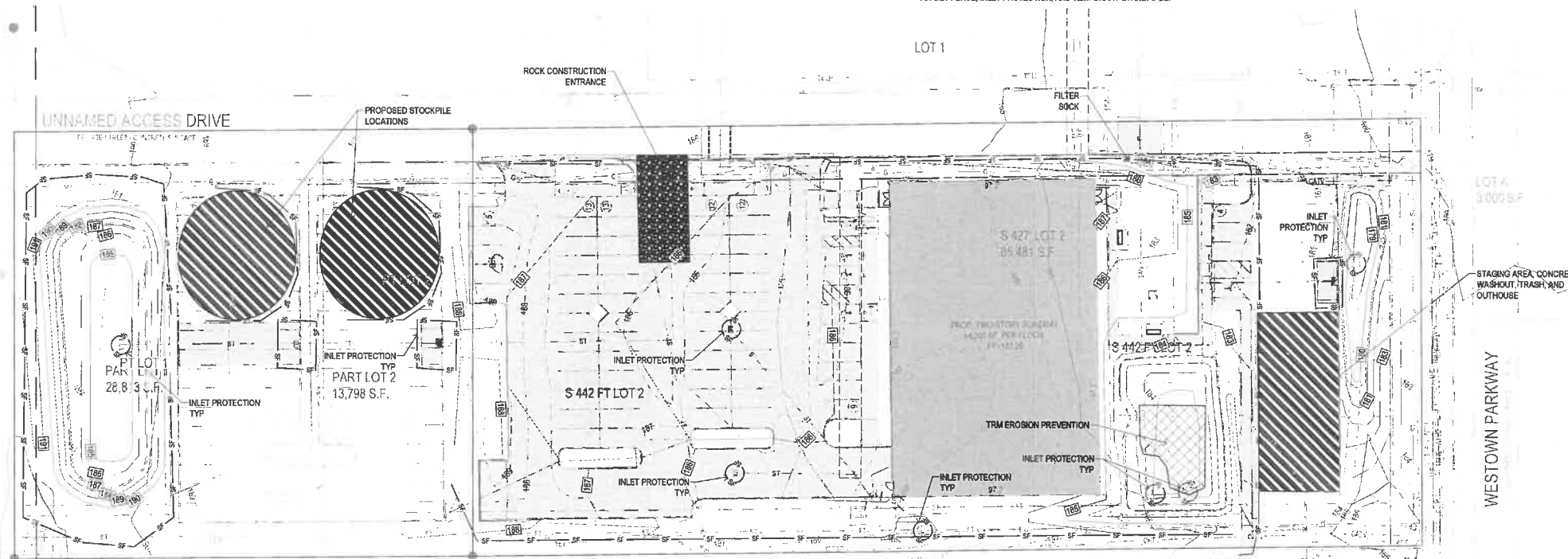
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2. EDGE COMPANIES (JOSH WEIDERHOLT, 515-985-2228) IS THE CONTACT.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

## EROSION CONTROL REMOVAL NOTES:

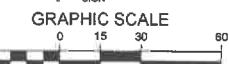
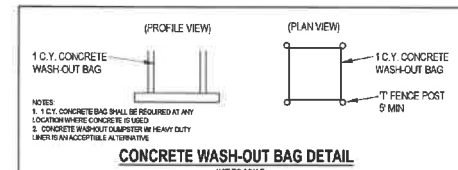
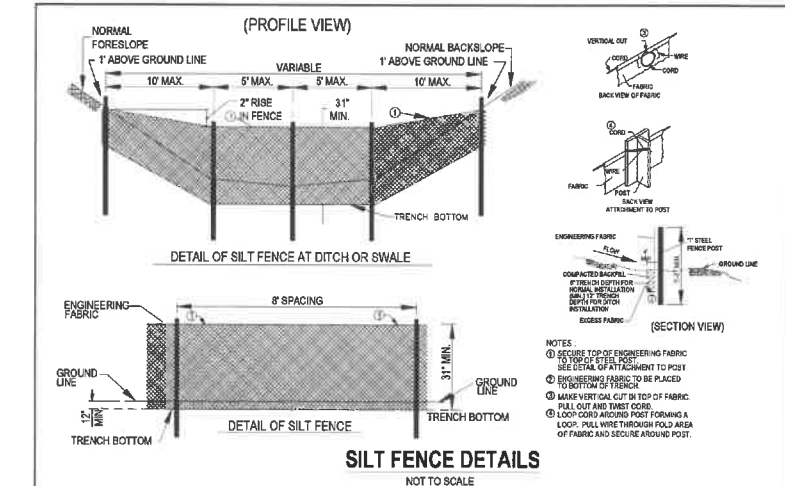
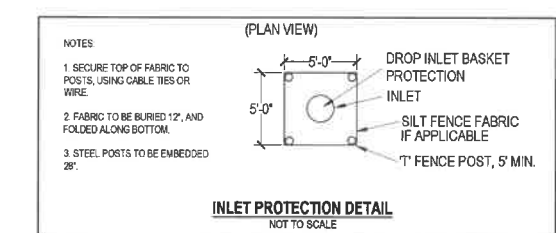
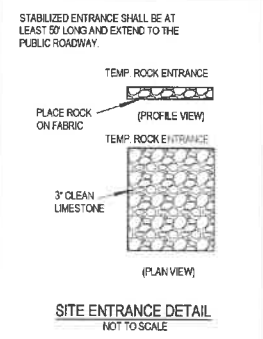
- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.



VICINITY MAP  
NOT TO SCALE



- ### LEGEND:
- 120 --- EXISTING CONTOUR
  - 120 --- PROPOSED CONTOUR
  - SF FILTER SOCK
  - SAN SANITARY SEWER
  - ST STORM SEWER
  - W WATER LINE
  - G GAS LINE
  - UE UNDERGROUND ELECTRIC
  - OIE OVERHEAD ELECTRIC
  - TELE TELEPHONE LINE
  - FIO FIBER OPTIC
  - CATV CABLE TV
  - SM STORM MANHOLE
  - CI CURB INTAKE
  - SI SURFACE INTAKE
  - FE FLARED END SECTION
  - SM SANITARY MANHOLE
  - CL CLEANOUT
  - FH FIRE HYDRANT
  - SP SPRINKLER
  - ICV IRRIGATION CONTROL VALVE
  - WM WATER MANHOLE
  - WELL
  - WV WATER VALVE
  - WSO WATER SHUT OFF
  - YH YARD HYDRANT
  - EM ELECTRIC MANHOLE
  - EMR ELECTRIC METER
  - ER ELECTRIC RISER
  - EV ELECTRIC VAULT
  - PP POWER POLE
  - TP TRANSFORMER POLE
  - LP LIGHT POLE
  - EJB ELECTRIC JUNCTION BOX
  - EP ELECTRIC PANEL
  - TR TRANSFORMER
  - GL GROUND LIGHT
  - GW GUY WIRE
  - EHH ELECTRIC HANDHOLE
  - GM GAS METER
  - GV GAS VALVE
  - ACU AIR CONDITIONING UNIT
  - TRR TELEPHONE RISER
  - TVR TELEPHONE VAULT
  - TM TELEPHONE MANHOLE
  - TSM TRAFFIC SIGNAL MANHOLE
  - FRR FIBER OPTIC RISER
  - FVF FIBER OPTIC VAULT
  - CTR CABLE TV RISER
  - SG SIGN



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**SWPPP**

REFERENCE NUMBER:	95-31-P 140343 140333
DRAWN BY:	CEJ
CHECKED BY:	DBB
REVISION DATE:	4-2-2019 1ST SUBMITTAL 4-26-2019 2ND SUBMITTAL 5-17-2019 3RD SUBMITTAL 5-20-2019 BID SET 6-29-2019 4TH SUBMITTAL 6-13-2019 5TH SUBMITTAL
PROJECT NUMBER:	190129
SHEET NUMBER:	C7.1



**UTILITY NOTE:**  
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

6/13/2019 1:38:17 PM \\LAND\PROJECTS\2019\190129\UNITY POINT\DWG\C7.1\_SWPPP.DWG