

CITY OF WEST DES MOINES

COUNCIL AGENDA

date: July 1, 2019

time: 5:30 P.M.

MAYOR STEVEN K. GAER
COUNCILMEMBER AT LARGE RENEE HARDMAN
COUNCILMEMBER AT LARGE JIM SANDAGER
COUNCILMEMBER 1ST WARD KEVIN L. TREVILLYAN
COUNCILMEMBER 2ND WARD JOHN MICKELSON
COUNCILMEMBER 3RD WARD RUSS TRIMBLE

CITY MANAGER.....TOM HADDEN
CITY ATTORNEY.....RICHARD SCIESZINSKI
CITY CLERK.....RYAN JACOBSON

- 1. Call to Order/Pledge of Allegiance/Roll Call/Approval of Agenda**
- 2. Citizen Forum** (Pursuant to City Council Procedural Rules citizen remarks are limited to five minutes under this agenda category - if additional time is desired the Mayor/Council may allow continuation as part of the Other Matters portion of the agenda)
- 3. Mayor/Council/Manager Report/Other Entities Update**
- 4. Consent Agenda**
 - a. Motion - Approval of Minutes of June 17, 2019 Meeting
 - b. Motion - Approval of Bill Lists
 - c. Motion - Approval of Liquor Licenses:
 1. Tasting Station Restaurant Group, LLC d/b/a BeerStyles Gastropub & Taproom/SALT of the Hearth, 5513 Mills Civic Parkway - Class LC Liquor License Extension of Outdoor Service - August 23-24, 2019
 2. The Cheesecake Factory Restaurants, Inc., d/b/a The Cheesecake Factory, 101 Jordan Creek Parkway #12550 - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
 3. Crazy Chicken, LLC, d/b/a Chicken Coop Sports Bar & Grill, 1960 Grand Avenue, Suite 23 - Class LC Liquor License with Sunday Sales and Catering Privileges - Renewal
 4. Foundry Distilling Company, LLC d/b/a Foundry Distilling Company, 111 South 11th Street - Class C Native Wine Permit with Sunday Sales - New
 5. 50th Street Sports, LLC d/b/a Grumpy Goat Tavern, 1300 50th Street, Suite 206 - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
 6. Hana Ramen Sushi, Inc. d/b/a Hana Ramen Sushi, 7450 Bridgewood Boulevard, #205 - Add Outdoor Service Privileges to Existing Class LC Liquor License

- 7. P. F. Chang's China Bistro, Inc., d/b/a P. F. Chang's China Bistro, 110 South Jordan Creek Parkway - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
- d. Motion - Approval of Cigarette/Tobacco Permit
- e. Motion - Approval to Sell Surplus City Equipment
- f. Motion - Approval of Grant Agreement - BRAVO Greater Des Moines Public Art Grant
- g. Motion - Approval of Agreement Amendment - Raccoon River Park Boathouse
- h. Resolution - Order Construction:
 - 1. 2018 FEMA Repairs
 - 2. Raccoon River Basin Segment 5 Sewer - Lift Station
 - 3. Holiday Park Signage and Ancillary Improvements
- i. Resolution - Accept Work:
 - 1. West Public Services Facility - Site Development (Phase 1)
 - 2. Veterans Parkway Enhancements, Folded Flags
- j. Resolution - Approval of Contract for Office Furniture - City Hall Renovations, Phase 2
- k. Resolution - Establish Public Hearing Regarding the Final Design, Site Selection and Consideration of Acquiring Agricultural Property - Sugar Creek Conveyance, Phase 2
- l. Resolution - Approval and Acceptance of Quit Claim Deed Necessary for the Clearing of Title to the Vacated Part of Old Ashworth Road Right-of-Way

5. Old Business

- a. Grand Ridge, 1809 South 50th Place - Establish the Grand Ridge Planned Unit Development (PUD) to Preserve Trees and Adjust Bulk Standards - Lowry Company, LLC (Continue from June 3, 2019)
 - 1. Ordinance - Approval of Second, Third Readings and Final Adoption
- b. Jordan Creek Town Center, northwest corner of South 68th Street and Mills Civic Parkway - Amend the Planned Unit Development (PUD) to Allow SIC 7542 'Car Washes' as a Permitted Conditional Use - GGP Jordan Creek, LLC
 - 1. Ordinance - Approval of Second, Third Readings and Final Adoption
- c. Sammons Financial Group, southwest corner of South 81st Street and Mills Civic Parkway - Establish the Sammons Financial Group Planned Unit Development (PUD) on 39.2 acres - Sammons Financial Group, LLC
 - 1. Ordinance - Approval of Second, Third Readings and Final Adoption
- d. Amendment to City Code - Title 4 (Health and Safety Regulations), Chapter 5C (Solid Waste Control) - Modification of Fees and Charges - City Initiated
 - 1. Ordinance - Approval of Second, Third Readings and Final Adoption

6. Public Hearings (5:35 p.m.)

- a. Stark Drive Vacation - Vacation of approx. 145 feet of Stark Drive west of the intersection with South 100th Street - Kings Grove, LLC (Continued from March 18, 2019, April 1, 2019, April 15, 2019, May 6, 2019, May 20, 2019, and June 17, 2019)
 - 1. Motion - Accept Withdrawal of Vacation Request
- b. Cedar Ridge, southwest corner of Coachlight Drive and South 91st Street - Amend the Planned Unit Development (PUD) to Change Zoning in Parcel D from Medium-Density Residential to Single Family - Toby Torstenson
 - 1. Motion - Continue Public Hearing to July 15, 2019
- c. Sale and Conveyance of Property Located Near the Intersection of SE 11th Street and Veterans Parkway - Hurd Land Company, LLC (Continued from June 17, 2019)
 - 1. Motion - Continue Public Hearing Indefinitely
- d. Issuance of Not to Exceed \$2,935,000 General Obligation Corporate Purpose and Refunding Bonds, Series 2019E - City Initiated

Note: The Resolution covering Public Hearing Item 6(d) will be considered as a part of New Business Item 7(c)

- e. Fiber Conduit Interconnect Project (Green Route) - City Initiated
 - 1. Resolution - Approval of Plans and Specifications
 - 2. Motion - Receive and File Report of Bids
 - 3. Resolution - Award Contract
- f. City Entrance Enhancements, Phase 1A - City Initiated
 - 1. Resolution - Approval of Plans and Specifications
 - 2. Motion - Receive and File Report of Bids
 - 3. Resolution - Award Contract

7. New Business

- a. Sammons Financial Group, southwest corner of Mills Civic Parkway and South 81st Street - Approval of a Preliminary Plat and Site Plan for Office Development - Sammons Financial Group, LLC
 - 1. Resolution - Approval of Preliminary Plat and Site Plan
- b. Unity Point Clinic, 4055 Westown Parkway - Approval of Site Plan for Two-Story, 28,000 sq. ft. Medical Clinic - Central Iowa Hospital Corporation
 - 1. Resolution - Approval of Site Plan
- c. \$12,935,000 General Obligation Bonds, Series 2019E - City Initiated
 - 1. Resolution - Approval of General Obligation Refunding Loan Agreement, Combining of Loan Agreements, Setting the Date of Sale, and Approving the Preliminary Official Statement

- d. \$15,400,000 General Obligation Urban Renewal Bonds, Series 2019F - City Initiated
 - 1. Resolution - Approval of General Obligation Loan Agreement, Setting the Date of Sale, and Approving the Preliminary Official Statement

8. Receive, File and/or Refer

9. Other Matters

The City of West Des Moines is pleased to provide accommodations to disabled individuals or groups and encourages their participation in city government. Should special accommodations be required please contact the Clerk's office at least 48 hours in advance, at 222-3600 to have accommodations provided.

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West Des Moines City Council Proceedings
Monday, June 17, 2019

Mayor Steven K. Gaer opened the regularly scheduled meeting of the City Council of West Des Moines, Iowa, in the Council Chambers of the West Des Moines City Hall on Monday, June 17, 2019 at 5:30 PM. Council members present were: R. Hardman, J. Mickelson, K. Trevillyan, and R. Trimble.

City Clerk Ryan Jacobson stated staff is recommending two amendments to the agenda: removal of Item 4(h) Stormwater Policy which staff intends to bring back in two weeks, and continuation of Public Hearing Item 6(g) Sale and Conveyance of Property Located Near the Intersection of SE 11th Street and Veterans Parkway to the July 1, 2019 meeting.

Council member Sandager arrived at 5:31 p.m. The attendance was re-taken. Council members present were: R. Hardman, J. Mickelson, J. Sandager, K. Trevillyan, and R. Trimble.

On Item 1. Agenda. It was moved by Trimble, second by Hardman approve the agenda as amended.

Vote 19-309: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 2. Public Forum

Jan Fleming, 1800 Grand Avenue, expressed concerns about the current mosquito problem and the fact that the City is not spraying for mosquitoes citywide. She noted other metro cities spray for mosquitoes, and she believes those cities have a significantly smaller mosquito population as a result. She requested the City consider spraying for mosquitoes citywide.

Brenda Shelburg, 1216 Vine Street, expressed concerns about the current mosquito problem and requested the City consider spraying for mosquitoes citywide.

Bret Hodne, Public Services Director, acknowledged that the mosquito problem is particularly bad this year, and he stated he understands the residents' concerns. He reported the City's practice for several years has been to only spray in parks where people congregate around the holidays of Memorial Day, Independence Day, and Labor Day. He noted the City doesn't spray residential areas because it only works close to the street and doesn't reach back yards or eliminate standing water. Mosquitoes can migrate up to ten miles per day, especially if they get into wind currents. This makes them very difficult to control and makes spraying virtually ineffective. He stated many cities that do spray acknowledge that it's ineffective, but they feel obligated to continue spraying due to public pressure. He also noted the City receives an equal number of requests from residents wanting the City to not spray as from residents that do want the City to spray. He suggested residents can purchase mosquito spray from a home

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improvement store to spray their own property, and he also suggested residents use bug spray with DEET and wear long-sleeve clothing to prevent mosquito bites.

The Mayor and Council held discussion on the mosquito problem with a majority expressing support for the City's current practice to only spray in parks where people congregate around the holidays of Memorial Day, Independence Day, and Labor Day.

Council member Hardman expressed a desire for the City to do something to try to control mosquito population.

Mayor Gaer suggested that Ms. Fleming contact the management of her apartment complex and request that they spray for mosquitoes on the property.

Council member Trimble encouraged staff to research mosquito control options to see if there is anything available that might be effective.

On Item 3. Council/Manager/Other Entities Reports:

Council member Trevillyan reported he attended the folded flags public art dedication ceremony on June 14th, and it was a wonderful event. He encouraged the public to drive along Veterans Parkway after dark to see the folded flags public art illuminated.

Council member Trimble agreed that the folded flags public art dedication ceremony was a great event, and he commended staff and those who worked on this project for their efforts.

Council member Hardman reported she attended a meeting of the Human Rights Commission, where discussion was held on making West Des Moines an inclusive city. She also attended a meeting of the Public Safety Subcommittee, and she commended the Police Department for ensuring the President's visit to West Des Moines on June 11th went smoothly with no issues. She also commended the Parks and Recreation department for putting on a successful folded flags public art dedication ceremony.

On Item 4. Consent Agenda.

It was moved by Trimble, second by Sandager to approve the consent agenda as presented.

- a. Approval of Minutes of June 3, 2019 Meeting
- b. Approval of Bill Lists
- c. Approval of Liquor Licenses:
 1. Casey's Marketing Company, d/b/a Casey's General Store #2824, 6630 Mills Civic Parkway - Class LE Liquor License with Carryout Wine, Carryout Beer, and Sunday Sales - Renewal

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2. Casey's Marketing Company, d/b/a Casey's General Store #2923, 1850 22nd Street - Class LE Liquor License with Carryout Wine, Carryout Beer, and Sunday Sales - Renewal
 3. Casey's Marketing Company d/b/a Casey's General Store #3098, 105 Grand Avenue - Class LE Liquor License with Carryout Beer, Native Wine, and Sunday Sales - Renewal
 4. NVN WDM, LLC d/b/a Courtyard Des Moines West/Jordan Creek, 410 South 68th Street - Class LB Liquor License with Sunday Sales - Renewal
 5. Decades, LLC d/b/a Decades, 1208 Grand Avenue - Class LC Liquor License with Sunday Sales and Catering Privileges - Renewal
 6. Blue Monday, LLC d/b/a Eggs & Jam, 1907 EP True Parkway, Suite 101 - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
 7. VPC West Des Moines Pizza, LLC d/b/a Giordano's of West Des Moines, 120 Jordan Creek Parkway - Class LC Liquor License with Sunday Sales, Outdoor Service, and Catering Privileges - New
 8. P2C2 Investments, LLC d/b/a Global Brew Tap House and Lounge, 9500 University Avenue, Suite 1118 - Class BW Permit with Sunday Sales and Outdoor Service - Renewal
 9. CTCC Rentals, LLC d/b/a Grand Junction Bar & Grill, 1970 Grand Avenue, #29 - Class LC Liquor License with Sunday Sales, Brew Pub, Outdoor Service, and Catering Privileges - New
 10. Hy-Vee, Inc. d/b/a Hy-Vee Market Grille #4, 555 South 51st Street (Grille Area) - Class LC Liquor License with Sunday Sales - Renewal
 11. Hy-Vee, Inc. d/b/a Hy-Vee Meeting Room, 1725 Jordan Creek Parkway - Transfer Location Temporarily to 1236 Jordan Creek Parkway (SpringHill Suites) - July 16-17, 2019
 12. Maxie's Enterprises, LLC d/b/a Maxie's Restaurant & Lounge, 1311 Grand Avenue - Class LC Liquor License with Sunday Sales - Renewal
 13. Pragathi International, LLC d/b/a Persis Indian Grill, 6925 Mills Civic Parkway, Suite 142 - Class BW Permit with Native Wine and Sunday Sales - Renewal
 14. Red Lobster Restaurants, LLC d/b/a Red Lobster #0796, 3838 Westown Parkway - Class LC Liquor License with Sunday Sales - Renewal
 15. Cinderella Story, LLC, d/b/a Shotgun Betty's - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
 16. Riley Drive Entertainment 21, LLC d/b/a Union 29, 101 Jordan Creek Parkway, Suite 12520 - Six-Month Class LC Liquor License with Sunday Sales and Outdoor Service - New
 17. Hy-Vee, Inc. d/b/a Wahlburgers, 7105 Mills Civic Parkway, Suite 160 - Class LC Liquor License with Sunday Sales, Outdoor Service, and Catering Privileges - Renewal
- d. Approval of Cigarette/Tobacco Permits
- e. Approval of Special Event Lane Closures:
1. Independence Day Parade, July 3, 2019

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2. Flatland Kids Triathlon, July 14, 2019
- f. Approval of Appointments - Library Board
- g. Approval of Purchase and Payment for Additional SAN Storage
- h. Removed
- i. Approval and/or Ratification of Fees and Charges Effective July 1, 2019
- j. Approval of Interfund Transfers
- k. Approval of Special Assessments - Nuisance Abatements (Sidewalks)
- l. Establish Public Hearing - \$2,935,000 General Obligation Refunding Bonds, Series 2011A
- m. Approval of Retirement Health Savings Plan
- n. Accept Work - 62nd and Railroad Gate Structure
- o. Approval of Professional Services Agreement - Construction Testing Services
- p. Approval of Extension of Three 28E Agreements with West Des Moines Water Works
- q. Approval and Acceptance of Hold Harmless Agreement for Placement of Monument Sign in the Ultimate Right of Way - Hurd Greenway, LLC
- r. Approval to Initiate Development Agreement - Cutler Development, 312 5th Street
- s. Approval of Amendment to Storm Water Site Inspection Fees
- t. Proclamation - Immigrant Heritage Month, June 2019

Vote 19-310: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 5(a) Mills Crossing, 5901 Mills Civic Parkway - Amend Specific Plan to Remove Restriction on Number of Restaurants, initiated by Hurd Mills, LLC

It was moved by Trimble, second by Trevillyan to consider the second reading of the ordinance.

Vote 19-311: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trimble, second by Trevillyan to approve the second reading of the ordinance.

Vote 19-312: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

It was moved by Trimble, second by Trevillyan to waive the third reading and adopt the ordinance in final form.

Vote 19-313: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

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On Item 5(b) Rueter Property, southwest corner of SE Pine Avenue and SE Soteria Avenue - Amend Zoning Map from 'Unzoned' to Light Industrial, initiated by Todd Rueter

It was moved by Trevillyan, second by Trimble to consider the second reading of the ordinance.

Vote 19-314: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trevillyan, second by Trimble to approve the second reading of the ordinance.

Vote 19-315: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

It was moved by Trevillyan, second by Trimble to waive the third reading and adopt the ordinance in final form.

Vote 19-316: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 6(a) Stark Drive Vacation - Vacation of approx. 145 feet of Stark Drive west of the intersection with South 100th Street, initiated by Kings Grove, LLC (Continued from March 18, 2019, April 1, 2019, April 15, 2019, May 6, 2019, and May 20, 2019).

It was moved by Trimble, second by Trevillyan to adopt Motion - Continue Public Hearing to July 1, 2019.

Vote 19-317: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 6(b) Mayor Gaer indicated this was the time and place for a public hearing to consider Grand Ridge, 1809 South 50th Place - Establish the Grand Ridge Planned Unit Development (PUD) to Preserve Trees and Adjust Bulk Standards, initiated by Lowry Company, LLC (Continue from June 3, 2019). He asked for the date the notice was published and the City Clerk indicated the notice was published on May 17, 2019 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated on a vote of 5-0, with two members absent, the Plan and Zoning Commission recommended City Council approval of the rezoning request.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

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It was moved by Trevillyan, second by Trimble to consider the first reading of the ordinance.

Vote 19-318: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trevillyan, second by Trimble to approve the first reading of the ordinance.

Vote 19-319: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 6(c) Mayor Gaer indicated this was the time and place for a public hearing to consider Jordan Creek Town Center, northwest corner of South 68th Street and Mills Civic Parkway - Amend the Planned Unit Development (PUD) to Allow SIC 7542 'Car Washes' as a Permitted Conditional Use, initiated by GGP Jordan Creek, LLC. He asked for the date the notice was published and the City Clerk indicated the notice was published on May 31, 2019 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated on a vote of 5-0, with two members absent, the Plan and Zoning Commission recommended City Council approval of the PUD amendment.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Trevillyan to consider the first reading of the ordinance.

Council member Mickelson stated the Development and Planning Subcommittee reviewed this PUD amendment, which initially raised some concerns related to noise, light pollution from headlights, and the potential for cars backing up in the drive-thru lane. The applicant has since redesigned the project to address those concerns, so the subcommittee is now supportive of it.

Vote 19-320: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trimble, second by Hardman to approve the first reading of the ordinance.

Vote 19-321: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 6(d) Mayor Gaer indicated this was the time and place for a public hearing to consider Sammons Financial Group, southwest corner of South 81st Street and Mills Civic Parkway -

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Amend Comprehensive Plan Land Use Map to Change approx. 12.38 acres from Community Commercial to Office and Establish the Sammons Financial Group Planned Unit Development (PUD) on 39.2 acres, initiated by Sammons Financial Group, LLC. He asked for the date the notice was published and the City Clerk indicated the notice was published on May 31, 2019 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated on a vote of 5-0, with two members absent, the Plan and Zoning Commission recommended City Council approval of the comprehensive plan amendment and rezoning request.

Mayor Gaer asked if there were any public comments.

Jim Host, Confluence, 525 17th Street, Des Moines, speaking on behalf of the applicant, noted the Plan and Zoning Commission recommendation included the removal of the cross connection requirement.

Lynne Twedt, Development Services Director, clarified that the PUD ordinance language in the council packet still includes the cross connection requirement, but if the Council adopts the Plan and Zoning Commission recommendation, that requirement will be removed from the ordinance prior to the second reading.

Mayor Gaer asked if there were any additional public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Mickelson to adopt Resolution - Approval of Comprehensive Plan Amendment.

Vote 19-322: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

It was moved by Trimble, second by Mickelson to consider the first reading of the ordinance, with the removal of the cross connection requirement as recommended by the Plan and Zoning Commission.

Council member Mickelson inquired about the rationale for removing the cross connection requirement.

Mr. Host explained the PUD was originally designed with a cross connection because it made sense for potentially compatible uses across the different properties. Now that this site will be occupied by a large corporate entity with security concerns, it makes more sense to remove the cross connection so Sammons would be able to control all access points to their property.

Vote 19-323: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

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The City Clerk read the preamble to the ordinance.

It was moved by Trimble, second by Mickelson to approve the first reading of the ordinance, with the removal of the cross connection requirement as recommended by the Plan and Zoning Commission.

Vote 19-324: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 6(e) Mayor Gaer indicated this was the time and place for a public hearing to consider Amendment #1 to 8300 Mills Civic Parkway Urban Renewal Area, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on June 7, 2019 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Trevillyan to adopt Resolution - Approval of Urban Renewal Plan Amendment.

Vote 19-325: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 6(f) Mayor Gaer indicated this was the time and place for a public hearing to consider Community Development Block Grant Program - 2019-20 Annual Action Plan, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on June 7, 2019 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Hardman to adopt Resolution - Approval of 2019-20 Annual Action Plan.

Council member Trimble expressed a desire for progress to be made on the Valley Junction Broadband Initiative.

Vote 19-326: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

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On Item 6(g) Sale and Conveyance of Property Located Near the Intersection of SE 11th Street and Veterans Parkway, initiated by Hurd Land Company, LLC

It was moved by Trevillyan, second by Trimble to adopt Motion - Continue Public Hearing to July 1, 2019.

Vote 19-327: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 6(h) Mayor Gaer indicated this was the time and place for a public hearing to consider Sale and Conveyance of Property - Lot 2 and Lot 3, Linnwill Plat 2, initiated by Hurd Indianola, LLC. He asked for the date the notice was published and the City Clerk indicated the notice was published on June 12, 2019 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Hardman to adopt Resolution - Approval of Sale and Conveyance of Property.

Vote 19-328: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 6(i) Mayor Gaer indicated this was the time and place for a public hearing to consider Grand Avenue Reconstruction East of I-35 and Trail West of I-35, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on June 7, 2019 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Trevillyan to adopt Resolution - Approval of Acquisition of Agricultural Property.

Council member Trimble inquired about the timeline for this project.

Brian Hemesath, City Engineer, responded staff plans to order construction later this year, and it should be completed by 2020.

Vote 19-329: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

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On Item 6(j) Mayor Gaer indicated this was the time and place for a public hearing to consider MidAmerican Energy RecPlex, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on June 7, 2019 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Hardman to adopt Resolution - Approval of Plans and Specifications, Motion to Receive and File Report of Bids, and Resolution - Award Contract to McAninch Corporation.

Council member Trimble expressed appreciation to staff for their efforts in designing and seeking funding for this project, and he expressed support to the Dallas County Board of Supervisors for their financial support of the project, which was essential in obtaining the Community Attraction and Tourism (CAT) Grant from the State of Iowa.

Vote 19-330: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 6(k) Mayor Gaer indicated this was the time and place for a public hearing to consider Raccoon River Park Boathouse, initiated by the City of West Des Moines. He asked for the date the notice was published and the City Clerk indicated the notice was published on June 7, 2019 in the Des Moines Register. Mayor Gaer asked if any written comments had been received. The City Clerk stated none had been received.

Mayor Gaer asked if there were any public comments; hearing none he declared the public hearing closed.

It was moved by Trimble, second by Hardman to adopt Resolution - Approval of Plans and Specifications, Motion to Receive and File Report of Bids, and Resolution - Award Contract to Cerebral Group, LLC.

Mayor Gaer inquired about the completion date for this project.

Sally Ortgies, Parks and Recreation Director, responded staff anticipates this project will be completed sometime in the spring of 2020.

Vote 19-331: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

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On Item 7(a) Extra Space Storage, 6220 Village View Drive - Construction of a 120,000 sq. ft. Indoor Storage Facility, initiated by Heartland Self Storage, Iowa, Inc.

It was moved by Trimble, second by Trevillyan to adopt Resolution - Approval of Overlay District Site Plan, subject to the applicant complying with all applicable City Code requirements and the conditions of approval listed in the Resolution.

Vote 19-332: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 7(b) Charlie Cutler Memorial Bike Shelter, southeast corner of Veterans Parkway and SE Maffitt Lake Road - Creation of a 1.046 acre Parcel for Transfer of Ownership, initiated by the City of West Des Moines

It was moved by Trimble, second by Trevillyan to adopt Resolution - Approval and Release of Plat of Survey, subject to the applicant complying with all applicable City Code requirements.

Vote 19-333: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 7(c) Amendment to City Code - Title 4 (Health and Safety Regulations), Chapter 5C (Solid Waste Control) - Modification of Fees and Charges, initiated by the City of West Des Moines

Mayor Gaer requested confirmation that this increase is for recycling collection only, as he believes the solid waste collection rate is fixed.

Bret Hodne, Public Services Director, confirmed that this increase is related to recycling collection only and solid waste collection rates are not increasing. He explained that the value of recycled goods has been declining, which has caused Metro Waste Authority revenues to decrease; therefore they have substantially increased their recycling rates.

It was moved by Trimble, second by Hardman to consider the first reading of the ordinance.

Vote 19-334: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trimble, second by Hardman to approve the first reading of the ordinance.

Vote 19-335: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

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On Item 7(d) Amendment to City Code - Title 8 (Building Regulations), Chapter 6 (Construction Site Erosion and Sediment Control) - Modify the Procedures and Requirements for Stormwater Management, initiated by the City of West Des Moines

It was moved by Trimble, second by Trevillyan to consider the first reading of the ordinance.

Vote 19-336: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

The City Clerk read the preamble to the ordinance.

It was moved by Trimble, second by Trevillyan to approve the first reading of the ordinance.

Vote 19-337: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 7(e) Inter-Fund Loan between the Sewer Enterprise Fund and the Stormwater Enterprise Fund, initiated by the City of West Des Moines

It was moved by Trimble, second by Trevillyan to adopt Resolution - Approval of Inter-Fund Loan.

Vote 19-338: Hardman, Mickelson, Sandager, Trevillyan, Trimble...5 yes
Motion carried.

On Item 8 - Receive, File and/or Refer: no items

On Item 9 - Other Matters: none

The meeting was adjourned at 6:16 p.m.

Respectfully submitted,

Ryan T. Jacobson, CMC
City Clerk

ATTEST:

Steven K. Gaer, Mayor

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

ITEM: Motion – Approval of Bill Lists

DATE: July 1, 2019

FINANCIAL IMPACT: Section 1-10-3(b) of the West Des Moines City Code provides that no disbursement shall be made from a fund unless such disbursement is authorized by law, ordinance or resolution, was properly budgeted, and supported by a claim approved by the City Council. The following list(s) of municipal expenditures, all of which have been reviewed and authorized by the respective departments as being justified and properly due and the listing of which have been prepared by Finance staff, are, with this agenda item, being submitted to the City Council for approval:

Regular Bi-Weekly Claims	07/01/19	\$ 3,515,582.18
EFT Claims	07/01/19	\$ 1,019,081.29
Control Pay	07/01/19	\$ 201,445.64
End of Month & Off-Cycle	06/04/19 to 07/14/19	\$ 264,610.76

RECOMMENDATION: Move to approve Bill Lists as presented.

Lead Staff Member: Tim Stiles, Finance Director 

STAFF REVIEWS

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee	
Date Reviewed	
Recommendation	

City of West Des Moines
City Council Report
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement
 Batch Date:

Type	Date	Number	Source	Payee Name	Transaction Amount
Bank Account: WB VENDOR DISB - WB Vendor Disbursement					
Check	07/01/2019	312953	Accounts Payable	A+ LAWN AND LANDSCAPE	750.00
Check	07/01/2019	312954	Accounts Payable	ABSOLUTE CONCRETE CONSTRUCTION INC	28,556.20
Check	07/01/2019	312955	Accounts Payable	ACME TOOLS-DES MOINES	23.98
Check	07/01/2019	312956	Accounts Payable	AGRILAND FS INC	495.40
Check	07/01/2019	312957	Accounts Payable	ALLDATA LLC	1,500.00
Check	07/01/2019	312958	Accounts Payable	ALLEGRA MARKETING SERVICES	617.84
Check	07/01/2019	312959	Accounts Payable	ALLIANCE CONSTRUCTION GROUP LLC	2,747.87
Check	07/01/2019	312960	Accounts Payable	ALLIANCE FOR INNOVATION	3,980.00
Check	07/01/2019	312961	Accounts Payable	AMERICAN RED CROSS- NATIONAL	750.00
Check	07/01/2019	312962	Accounts Payable	AMERICAN SECURITY LLC	5,308.77
Check	07/01/2019	312963	Accounts Payable	AQUAFORST LTD	6,995.00
Check	07/01/2019	312964	Accounts Payable	BAILEY ROOFING CONTRACTORS INC	4,092.62
Check	07/01/2019	312965	Accounts Payable	BALLET DES MOINES	16,500.00
Check	07/01/2019	312966	Accounts Payable	BASICLEIGH COMMUNICATIONS LLC	8,055.00
Check	07/01/2019	312967	Accounts Payable	BIG CHAIR LLC	247.50
Check	07/01/2019	312968	Accounts Payable	BOLTON & MENK INC	30,826.68
Check	07/01/2019	312969	Accounts Payable	BOMGAARS SUPPLY INC	149.16
Check	07/01/2019	312970	Accounts Payable	BOUND TREE MEDICAL LLC	3,707.31
Check	07/01/2019	312971	Accounts Payable	BROCKWAY MECHANICAL & ROOFING	426.58
Check	07/01/2019	312972	Accounts Payable	BROWN , HEIDI	40.00
Check	07/01/2019	312973	Accounts Payable	CAPPEL'S ACE HARDWARE	34.87
Check	07/01/2019	312974	Accounts Payable	CENTRAL IOWA FLORAL INC	38.00
Check	07/01/2019	312975	Accounts Payable	CENTURYLINK	10,615.30
Check	07/01/2019	312976	Accounts Payable	CHALOUPECKY , BECKY	30.00
Check	07/01/2019	312977	Accounts Payable	CITY OF WATERLOO	2,332.44
Check	07/01/2019	312978	Accounts Payable	CIVIL DESIGN ADVANTAGE LLC	14,556.40
Check	07/01/2019	312979	Accounts Payable	CLARKE MOSQUITO CONTROL	191.40
Check	07/01/2019	312980	Accounts Payable	COLE , LEE	160.00
Check	07/01/2019	312981	Accounts Payable	CONCRETE CONNECTION LLC	85,442.91
Check	07/01/2019	312982	Accounts Payable	CONCRETE TECHNOLOGIES INC	365,546.10
Check	07/01/2019	312983	Accounts Payable	CONDON , TARA	42.00
Check	07/01/2019	312984	Accounts Payable	CONSTRUCTION & AGGREGATE PRODUCTS INC	526.59

City of West Des Moines
City Council Report
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement
 Batch Date:

Type	Date	Number	Source	Payee Name	Transaction Amount
Check	07/01/2019	312985	Accounts Payable	CONSTRUCTION MATERIALS INC	744.75
Check	07/01/2019	312986	Accounts Payable	CORELL CONTRACTOR INC	102,442.61
Check	07/01/2019	312987	Accounts Payable	CRANE , RYAN	1,042.50
Check	07/01/2019	312988	Accounts Payable	CTI READY MIX LLC	6,918.75
Check	07/01/2019	312989	Accounts Payable	DART	3,600.00
Check	07/01/2019	312990	Accounts Payable	DAVIS BROWN LAW FIRM	700.00
Check	07/01/2019	312991	Accounts Payable	DAVIS BROWN LAW FIRM	546.00
Check	07/01/2019	312992	Accounts Payable	DAVIS EQUIPMENT CORP	188.08
Check	07/01/2019	312993	Accounts Payable	DEEVER ROOFING INC	1,565.00
Check	07/01/2019	312994	Accounts Payable	DES MOINES AREA MPO	65,608.00
Check	07/01/2019	312995	Accounts Payable	DES MOINES CHILDRENS MUSEUM	20,000.00
Check	07/01/2019	312996	Accounts Payable	DES MOINES GOLF & COUNTRY CLUB	354.12
Check	07/01/2019	312997	Accounts Payable	EDDIE DAVIS COMMUNITY CENTER	15,000.00
Check	07/01/2019	312998	Accounts Payable	EJS SUPPLY LLC	1,596.44
Check	07/01/2019	312999	Accounts Payable	ELSMORE SWIM SHOP	3,906.80
Check	07/01/2019	313000	Accounts Payable	FASTENAL COMPANY	213.38
Check	07/01/2019	313001	Accounts Payable	FEH ASSOCIATES INC	69,286.84
Check	07/01/2019	313002	Accounts Payable	FELDMAN , CHRISTY	24.89
Check	07/01/2019	313003	Accounts Payable	FRIENDS OF THE TERRAIN THERAPY GARDEN PROJECT	5,000.00
Check	07/01/2019	313004	Accounts Payable	GATES , NORMA	125.00
Check	07/01/2019	313005	Accounts Payable	GATES , RICHARD	125.00
Check	07/01/2019	313006	Accounts Payable	GATOR EXCAVATING INC	5,574.24
Check	07/01/2019	313007	Accounts Payable	GCMOA	50.00
Check	07/01/2019	313008	Accounts Payable	GRAINGER INC	24.75
Check	07/01/2019	313009	Accounts Payable	GRAYBAR ELECTRIC CO INC	34.66
Check	07/01/2019	313010	Accounts Payable	GRIMES ASPHALT & PAVING	28,643.11
Check	07/01/2019	313011	Accounts Payable	GROUP CREATIVE SERVICES LLC	4,500.00
Check	07/01/2019	313012	Accounts Payable	HARKER , SHANNA	55.00
Check	07/01/2019	313013	Accounts Payable	HAWKEYE TRUCK EQUIPMENT	3,150.00
Check	07/01/2019	313014	Accounts Payable	HDR ENGINEERING INC	2,228.24
Check	07/01/2019	313015	Accounts Payable	HILLTOP TIRE SERVICE	372.26
Check	07/01/2019	313016	Accounts Payable	HISTORIC VALLEY JUNCTION FOUNDATION	125,000.00
Check	07/01/2019	313017	Accounts Payable	HOLMES MURPHY AND ASSOCIATES LLC	102,086.00

City of West Des Moines
City Council Report
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement
 Batch Date:

Type	Date	Number	Source	Payee Name	Transaction Amount
Check	07/01/2019	313018	Accounts Payable	HOME DEPOT CREDIT SERVICES	84.85
Check	07/01/2019	313019	Accounts Payable	HY VEE INC	916.75
Check	07/01/2019	313020	Accounts Payable	ICMA MEMBERSHIP RENEWALS	1,400.00
Check	07/01/2019	313021	Accounts Payable	INCENTIVE SERVICES INC	1,108.64
Check	07/01/2019	313022	Accounts Payable	INTERSTATE ALL BATTERY CENTER	600.80
Check	07/01/2019	313023	Accounts Payable	IOWA CITYCOUNTY MGMT ASSN	600.00
Check	07/01/2019	313024	Accounts Payable	IOWA CIVIL CONTRACTING INC	265,571.92
Check	07/01/2019	313025	Accounts Payable	IOWA DEPARTMENT OF TRANSPORTATION	3,884.50
Check	07/01/2019	313026	Accounts Payable	IOWA DIVISION OF CRIMINAL INVESTIGATION (DCI)	60.00
Check	07/01/2019	313027	Accounts Payable	IOWA LAW ENFORCEMENT ACADEMY	12,930.00
Check	07/01/2019	313028	Accounts Payable	IOWA LEAGUE OF CITIES	13,947.00
Check	07/01/2019	313029	Accounts Payable	IOWA ONE CALL	1,278.90
Check	07/01/2019	313030	Accounts Payable	IOWA PLAINS SIGNING	6,095.00
Check	07/01/2019	313031	Accounts Payable	IOWA SPORTS FOUNDATION	10,000.00
Check	07/01/2019	313032	Accounts Payable	IRONSIDE AXE CLUB LLC	270.00
Check	07/01/2019	313033	Accounts Payable	ITSAVVY LLC	12,572.86
Check	07/01/2019	313034	Accounts Payable	J LAURENZO SPECIALTY PRODUCTS	72.00
Check	07/01/2019	313035	Accounts Payable	J&K CONTRACTING LLC	53,803.25
Check	07/01/2019	313036	Accounts Payable	JAS CONSTRUCTION LLC	62,678.09
Check	07/01/2019	313037	Accounts Payable	JENCO CONSTRUCTION INC	84,190.42
Check	07/01/2019	313038	Accounts Payable	JONES , BETHANY	615.50
Check	07/01/2019	313039	Accounts Payable	JUNIOR ACHIEVEMENT OF KEYSTONE TRUCKING	5,000.00
Check	07/01/2019	313040	Accounts Payable	KIGER , MCKENZIE	1,029.80
Check	07/01/2019	313041	Accounts Payable	KOESTER CONSTRUCTION CO INC	600.00
Check	07/01/2019	313042	Accounts Payable	LEXIPOL LLC	672,282.13
Check	07/01/2019	313043	Accounts Payable	LIQUIDSPRING LLC	4,639.00
Check	07/01/2019	313044	Accounts Payable	LOWE'S HOME CENTER INC	780.23
Check	07/01/2019	313045	Accounts Payable	M&M COMMERCIAL CLEANING	797.03
Check	07/01/2019	313046	Accounts Payable	MACDONALD LETTER SERVICE	2,079.94
Check	07/01/2019	313047	Accounts Payable	MAYSE , JIM	90.00
Check	07/01/2019	313048	Accounts Payable	MERRITT COMPANY INC	11.60
Check	07/01/2019	313049	Accounts Payable	MID-IOWA ASSOCIATION OF LOCAL GOVERNMENTS	1,907.00
Check	07/01/2019	313050	Accounts Payable		350.00

City of West Des Moines
City Council Report
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Type	Date	Number	Source	Payee Name	Transaction Amount
Check	07/01/2019	313051	Accounts Payable	MIDAMERICAN ENERGY	7.17
Check	07/01/2019	313052	Accounts Payable	MIDAMERICAN ENERGY	17.94
Check	07/01/2019	313053	Accounts Payable	MIDAMERICAN- DM-WDM TL	68.00
Check	07/01/2019	313054	Accounts Payable	MINTURN INC	5,352.84
Check	07/01/2019	313055	Accounts Payable	MNM CONCRETE SPECIALIST	19,528.20
Check	07/01/2019	313056	Accounts Payable	MOTOROLA	1,788.00
Check	07/01/2019	313057	Accounts Payable	MUNICIPAL SUPPLY INC	1,426.00
Check	07/01/2019	313058	Accounts Payable	NATIONAL RECREATION & PARK	675.00
Check	07/01/2019	313059	Accounts Payable	NICHOLS EQUIPMENT LLC	17,364.00
Check	07/01/2019	313060	Accounts Payable	NORTHERN ESCROW INC FBO SYNERGY CONTRACTING LLC	8,482.74
Check	07/01/2019	313061	Accounts Payable	OCCUPATIONAL SAFETY CONSULTANTS	2,380.00
Check	07/01/2019	313062	Accounts Payable	OPN ARCHITECTS	57,826.66
Check	07/01/2019	313063	Accounts Payable	OUTDOOR RECREATION PRODUCTS	480.05
Check	07/01/2019	313064	Accounts Payable	P & P SMALL ENGINE	15.96
Check	07/01/2019	313065	Accounts Payable	PEAK DISTRIBUTING	120.00
Check	07/01/2019	313066	Accounts Payable	PERFICUT COMPANIES INC	4,469.00
Check	07/01/2019	313067	Accounts Payable	PRECISION CONCRETE CUTTING	573.00
Check	07/01/2019	313068	Accounts Payable	PROMO DIRECT	2,264.20
Check	07/01/2019	313069	Accounts Payable	QUICK , CYRUS N	4,055.88
Check	07/01/2019	313070	Accounts Payable	RAMANATHAN , MAYA KRISHNAN	50.00
Check	07/01/2019	313071	Accounts Payable	RASMUSSEN , MATT	54.00
Check	07/01/2019	313072	Accounts Payable	RAWINK TEES	1,070.00
Check	07/01/2019	313073	Accounts Payable	RELIANT FIRE APPARATUS INC	490.84
Check	07/01/2019	313074	Accounts Payable	RESOURCE CONSULTING ENGINEERS	13,844.83
Check	07/01/2019	313075	Accounts Payable	ROBERT HALF TECHNOLOGY	3,231.25
Check	07/01/2019	313076	Accounts Payable	ROTO-ROOTER CORP	240.00
Check	07/01/2019	313077	Accounts Payable	ROY'S TOWING AND RECOVERY	525.00
Check	07/01/2019	313078	Accounts Payable	SHEELS ALL SPORTS INC	346.98
Check	07/01/2019	313079	Accounts Payable	SCHILDBERG CONSTRUCTION CO	15,341.37
Check	07/01/2019	313080	Accounts Payable	SCHROEDER , CURT	266.09
Check	07/01/2019	313081	Accounts Payable	SEDLACEK , BRENDA	774.70
Check	07/01/2019	313082	Accounts Payable	SEH INC	12,968.75
Check	07/01/2019	313083	Accounts Payable	SHOWTIME ENTERTAINMENT	100.00
Check	07/01/2019	313084	Accounts Payable	SMITH , KATE	31.32

City of West Des Moines
City Council Report
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement
 Batch Date:

Type	Date	Number	Source	Payee Name	Transaction Amount
Check	07/01/2019	313085	Accounts Payable	SMITH'S SEWER SERVICE INC	85.00
Check	07/01/2019	313086	Accounts Payable	SNAP-ON TOOLS- MARK STUCHEL	1,575.75
Check	07/01/2019	313087	Accounts Payable	SOUTHWEST POLK WATER SERVICE INC	21.00
Check	07/01/2019	313088	Accounts Payable	SPRINT	279.93
Check	07/01/2019	313089	Accounts Payable	STIVERS FORD	22,187.00
Check	07/01/2019	313090	Accounts Payable	STORAGE MART 1052	504.97
Check	07/01/2019	313091	Accounts Payable	STUDIO MELEE	10,812.50
Check	07/01/2019	313092	Accounts Payable	SYNERGY CONTRACTING LLC	87,687.37
Check	07/01/2019	313093	Accounts Payable	SYNERGY FIRE & SAFETY	175.00
Check	07/01/2019	313094	Accounts Payable	TALLGRASS THEATRE COMPANY	10,000.00
Check	07/01/2019	313095	Accounts Payable	TAXPAYERS ASSN OF CENTRAL IOWA	350.00
Check	07/01/2019	313096	Accounts Payable	THE CONCRETE COMPANY INC	18,565.18
Check	07/01/2019	313097	Accounts Payable	THE LIFEGUARD STORE	473.80
Check	07/01/2019	313098	Accounts Payable	THE MACHINE SHED	1,350.00
Check	07/01/2019	313099	Accounts Payable	TIGER SOFTBALL CLUB	2,000.00
Check	07/01/2019	313100	Accounts Payable	TRAFFIX DEVICES INC	179.85
Check	07/01/2019	313101	Accounts Payable	TRAVELERS CASUALTY & SURETY CO	1,070.00
Check	07/01/2019	313102	Accounts Payable	TRUE VALUE & V&S VARIETY STORE	226.74
Check	07/01/2019	313103	Accounts Payable	UNITED SEEDS INC	437.50
Check	07/01/2019	313104	Accounts Payable	UNITYPOINT HEALTH HOSPITALS	13,603.56
Check	07/01/2019	313105	Accounts Payable	VALLEY POOL & HOT TUBS INC , City of West Des	5.60
Check	07/01/2019	313106	Accounts Payable	VAN WALL EQUIPMENT	4,938.62
Check	07/01/2019	313107	Accounts Payable	VEENSTRA & KIMM INC	280.00
Check	07/01/2019	313108	Accounts Payable	VERIZON WIRELESS	7,556.67
Check	07/01/2019	313109	Accounts Payable	VETTER EQUIPMENT	3,950.00
Check	07/01/2019	313110	Accounts Payable	WARD , SARAH	540.00
Check	07/01/2019	313111	Accounts Payable	WEST DES MOINES CHAMBER OF COMMERCE	75,000.00
Check	07/01/2019	313112	Accounts Payable	WEST DES MOINES COMM SCHOOLS - FACILITIES	165.00
Check	07/01/2019	313113	Accounts Payable	WEST DES MOINES COMM SCHOOLS - FACILITIES	4,668.75
Check	07/01/2019	313114	Accounts Payable	WEST DES MOINES COMM SCHOOLS - FACILITIES	13,455.00
Check	07/01/2019	313115	Accounts Payable	WEST DES MOINES COMM SCHOOLS - FACILITIES	2,231.25

City of West Des Moines
City Council Report
 Bank Account: WB VENDOR DISB - WB Vendor Disbursement
 Batch Date:

Type	Date	Number	Source	Payee Name	Transaction Amount
Check	07/01/2019	313116	Accounts Payable	FACILITIES WEST DES MOINES COMM SCHOOLS - FACILITIES	1,406.25
Check	07/01/2019	313117	Accounts Payable	WEST DES MOINES COMM SCHOOLS - FACILITIES	1,777.50
Check	07/01/2019	313118	Accounts Payable	WEST DES MOINES COMM SCHOOLS - FACILITIES	1,181.25
Check	07/01/2019	313119	Accounts Payable	WEST DES MOINES COMM SCHOOLS - FACILITIES	135.00
Check	07/01/2019	313120	Accounts Payable	WEST DES MOINES GIRLS SOFTBALL	25,000.00
Check	07/01/2019	313121	Accounts Payable	WEST DES MOINES HISTORICAL SOC	50,000.00
Check	07/01/2019	313122	Accounts Payable	WEST DES MOINES SOCCER CLUB	20,000.00
Check	07/01/2019	313123	Accounts Payable	WOEHLER, SUYAU	10.00
Check	07/01/2019	313124	Accounts Payable	YOUTH TECH INC	2,320.00
Check	07/01/2019	313125	Accounts Payable	ZA GA ZIG SHRINE	150.00
Check	07/01/2019	313126	Accounts Payable	DMACC	30.00
Check	07/01/2019	313127	Accounts Payable	HENRIKSEN CONTRACTING LLC	11,062.14
Check	07/01/2019	313128	Accounts Payable	PETTY CASH	722.85
Check	07/01/2019	313129	Accounts Payable	AMERICAN ABSTRACT & TITLE CO	575.00
Check	07/01/2019	313130	Accounts Payable	DALLAS COUNTY TREASURER	5,280.00
Check	07/01/2019	313131	Accounts Payable	MEAD, RICHARD S	543,265.80
Check	07/01/2019	313132	Accounts Payable	EQUIAN LLC	441.09
Check	07/01/2019	313133	Accounts Payable	UNITED HEALTHCARE	879.94
Check	07/01/2019	313134	Accounts Payable	WEST DES MOINES COMM SCHOOLS - FACILITIES	2,500.00
EFT	07/01/2019	3287	Accounts Payable	A TECH INC	80.00
EFT	07/01/2019	3288	Accounts Payable	ABC ELECTRICAL SERVICES LLC	8,799.64
EFT	07/01/2019	3289	Accounts Payable	AECOM TECHNICAL SERVICES INC	5,877.58
EFT	07/01/2019	3290	Accounts Payable	ALL MAKES OFFICE INTERIORS	9,410.00
EFT	07/01/2019	3291	Accounts Payable	ARNOLD MOTOR SUPPLY LLP	1,256.44
EFT	07/01/2019	3292	Accounts Payable	AUTOMATIC DOOR GROUP INC	115.85
EFT	07/01/2019	3293	Accounts Payable	BAUER BUILT	1,962.36
EFT	07/01/2019	3294	Accounts Payable	BENJAMIN, SUZANNE	1,972.50
EFT	07/01/2019	3295	Accounts Payable	BROWNELLS INC	2,525.99
EFT	07/01/2019	3296	Accounts Payable	CARDIAC SCIENCE CORPORATION	1,380.00
EFT	07/01/2019	3297	Accounts Payable	CDW GOVERNMENT INC	28.82

City of West Des Moines
City Council Report
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 Batch Date:

Type	Date	Number	Source	Payee Name	Transaction Amount
EFT	07/01/2019	3298	Accounts Payable	CENTERPOINT ENERGY SVCS RETAIL	5,840.35
EFT	07/01/2019	3299	Accounts Payable	CHADWICK , JOANN	50.86
EFT	07/01/2019	3300	Accounts Payable	DES MOINES ASPHALT & PAVING	116,483.97
EFT	07/01/2019	3301	Accounts Payable	ELDER CORPORATION	142,114.40
EFT	07/01/2019	3302	Accounts Payable	EXCEL MECHANICAL INC	21,660.98
EFT	07/01/2019	3303	Accounts Payable	FOTH INFRASTRUCTURE & ENVIRONMENT LLC	36,970.88
EFT	07/01/2019	3304	Accounts Payable	GRAPHIC CREATIONS	192.00
EFT	07/01/2019	3305	Accounts Payable	GREATER DES MOINES HABITAT FOR HUMANITY INC	22,553.12
EFT	07/01/2019	3306	Accounts Payable	HENNING , CLAUDIA	6,685.00
EFT	07/01/2019	3307	Accounts Payable	HERWIG , CULLIN	200.00
EFT	07/01/2019	3308	Accounts Payable	IOWA COMMUNITIES ASSURANCE POOL	42,519.77
EFT	07/01/2019	3309	Accounts Payable	IOWA INTERSTATE RAILROAD LTD	422.07
EFT	07/01/2019	3310	Accounts Payable	KECK ENERGY	23,028.44
EFT	07/01/2019	3311	Accounts Payable	KELTEK INC	6,608.63
EFT	07/01/2019	3312	Accounts Payable	LEU , CRAIG	76.31
EFT	07/01/2019	3313	Accounts Payable	MCANINCH CORPORATION	527,925.04
EFT	07/01/2019	3314	Accounts Payable	MCCUBBIN , COURTNEY	351.00
EFT	07/01/2019	3315	Accounts Payable	MIDWEST WHEEL	3,702.08
EFT	07/01/2019	3316	Accounts Payable	MILES CAPITAL	13,582.05
EFT	07/01/2019	3317	Accounts Payable	MUNICIPAL EMERGENCY SERVICES	4,865.00
EFT	07/01/2019	3318	Accounts Payable	ONECK IT SOLUTIONS LLC	382.50
EFT	07/01/2019	3319	Accounts Payable	PETERSEN , VICKI	196.12
EFT	07/01/2019	3320	Accounts Payable	SHIELDS , CHARLES	54.00
EFT	07/01/2019	3321	Accounts Payable	SPS VAR LLC	725.00
EFT	07/01/2019	3322	Accounts Payable	SWINTON , ASHLEE	1,085.59
EFT	07/01/2019	3323	Accounts Payable	WAYTEK INC	87.95
EFT	07/01/2019	3324	Accounts Payable	WDM BUSINESS INCUBATOR	5,000.00
EFT	07/01/2019	3325	Accounts Payable	YEAGER , LEMAR	2,309.00
WB VENDOR DISB WB Vendor Disbursement Totals:					\$4,534,663.47
Transactions: 221					
Checks: 182					\$3,515,582.18
EFTs: 39					\$1,019,081.29

City of West Des Moines
City Council Report
 Bank Account: WB CONTROLPAY - WB ControlPay
 Batch Date:

Type	Date	Number	Source	Payee Name	Transaction Amount
Bank Account: WB CONTROLPAY - WB ControlPay					
EFT	07/01/2019	4091	Accounts Payable	ACCO UNLIMITED CORP	2,066.90
EFT	07/01/2019	4092	Accounts Payable	ACCO UNLIMITED CORP	2,880.15
EFT	07/01/2019	4093	Accounts Payable	ACCO UNLIMITED CORP	2,805.30
EFT	07/01/2019	4094	Accounts Payable	ALLIED 100 LLC	160.00
EFT	07/01/2019	4095	Accounts Payable	ARAMARK UNIFORM SERVICES	3,125.97
EFT	07/01/2019	4096	Accounts Payable	BEACON ATHLETICS LLC	257.00
EFT	07/01/2019	4097	Accounts Payable	CAPITAL SANITARY SUPPLY CO INC	2,772.85
EFT	07/01/2019	4098	Accounts Payable	CLIVE POWER EQUIPMENT	575.92
EFT	07/01/2019	4099	Accounts Payable	CORN STATES METAL	50.00
EFT	07/01/2019	4100	Accounts Payable	DES MOINES REGISTER MEDIA	175.26
EFT	07/01/2019	4101	Accounts Payable	DES MOINES REGISTER MEDIA	5,305.43
EFT	07/01/2019	4102	Accounts Payable	DES MOINES STAMP MFG CO	25.85
EFT	07/01/2019	4103	Accounts Payable	ELECTRONIC ENGINEERING	110.00
EFT	07/01/2019	4104	Accounts Payable	EMERGENCY APPARATUS MAINT	649.49
EFT	07/01/2019	4105	Accounts Payable	FELD FIRE	21,656.70
EFT	07/01/2019	4106	Accounts Payable	G&L CLOTHING	4,607.00
EFT	07/01/2019	4107	Accounts Payable	GALLS LLC	3,917.06
EFT	07/01/2019	4108	Accounts Payable	INLAND TRUCK PARTS CO	904.36
EFT	07/01/2019	4109	Accounts Payable	INTERNATIONAL CODE COUNCIL	4,807.38
EFT	07/01/2019	4110	Accounts Payable	IOWA FIRE EQUIPMENT COMPANY	78.90
EFT	07/01/2019	4111	Accounts Payable	JERICO SERVICES	19,277.58
EFT	07/01/2019	4112	Accounts Payable	JOHN DEERE GOVERNMENT & NATION	37,396.50
EFT	07/01/2019	4113	Accounts Payable	JOHNSON CONTROLS INC- TX	1,114.19
EFT	07/01/2019	4114	Accounts Payable	LAW ENFORCEMENT TARGETS INC	997.28
EFT	07/01/2019	4115	Accounts Payable	LOGAN CONTRACTORS SUPPLY INC	372.82
EFT	07/01/2019	4116	Accounts Payable	MENARDS	110.98
EFT	07/01/2019	4117	Accounts Payable	METRO WASTE AUTHORITY	13,515.38
EFT	07/01/2019	4118	Accounts Payable	MID-IOWA SOLID WASTE EQUIPMENT	4,466.20
EFT	07/01/2019	4119	Accounts Payable	O'REILLY AUTOMOTIVE INC	98.92
EFT	07/01/2019	4120	Accounts Payable	PRAXAIR	324.86
EFT	07/01/2019	4121	Accounts Payable	PREFERRED PEST CONTROL	2,269.50
EFT	07/01/2019	4122	Accounts Payable	PREMIER A & B SERVICES	315.00
EFT	07/01/2019	4123	Accounts Payable	RAINBOW TREECARE	357.10
EFT	07/01/2019	4124	Accounts Payable	RELIABLE PROPERTY SERVICES	11,549.45

City of West Des Moines
City Council Report
 Bank Account: WB CONTROLPAY - WB ControlPay
 Batch Date:

Type	Date	Number	Source	Payee Name	Transaction Amount
EFT	07/01/2019	4125	Accounts Payable	SECURITY EQUIPMENT INC	8,889.97
EFT	07/01/2019	4126	Accounts Payable	SHUCK-BRITSON INC	1,045.25
EFT	07/01/2019	4127	Accounts Payable	SIGNARAMA URBANDALE	190.00
EFT	07/01/2019	4128	Accounts Payable	SITEONE LANDSCAPE SUPPLY LLC	167.33
EFT	07/01/2019	4129	Accounts Payable	SPECIALTY GRAPHICS INC	680.32
EFT	07/01/2019	4130	Accounts Payable	SPINDUSTRY SYSTEMS INC	9,065.00
EFT	07/01/2019	4131	Accounts Payable	STAR EQUIPMENT LTD	1,025.31
EFT	07/01/2019	4132	Accounts Payable	STIVERS FORD (CONTROL PAY)	10,172.66
EFT	07/01/2019	4133	Accounts Payable	STRAUSS SAFE AND LOCK CO	1,052.00
EFT	07/01/2019	4134	Accounts Payable	TEAM SERVICES	3,026.15
EFT	07/01/2019	4135	Accounts Payable	THOMAS BUS SALES OF IOWA INC	1,133.10
EFT	07/01/2019	4136	Accounts Payable	TOMPKINS INDUSTRIES INC	93.25
EFT	07/01/2019	4137	Accounts Payable	TRANS-IOWA EQUIPMENT CO	4,760.11
EFT	07/01/2019	4138	Accounts Payable	VAISALA INC	990.00
EFT	07/01/2019	4139	Accounts Payable	WATERLOO TENT & TARP CO	761.32
EFT	07/01/2019	4140	Accounts Payable	WORLDPOINT ECC INC	6,730.87
EFT	07/01/2019	4141	Accounts Payable	ZOLL MEDICAL	2,565.72
WB CONTROLPAY WB ControlPay Totals:					\$201,445.64

Transactions: 51

\$201,445.64

EFTs: 51

Payment Register

From Payment Date: 06/04/2019 - To Payment Date: 07/14/2019

Number	Date	Payee Name	Transaction Amount
156	06/14/2019	KABEL BUSINESS SERVICES	\$4,949.10
3282	06/14/2019	EASTVOLD, JEFFREY	\$10,600.00
3284	06/24/2019	DELTA DENTAL OF IOWA	\$9,805.07
3285	06/18/2019	WELLMARK BLUE CROSS	\$86,211.05
3286	06/25/2019	WELLMARK BLUE CROSS	\$141,973.44
11833	06/30/2019	WHISPER RIDGE APARTMENTS	\$473.00
11834	06/30/2019	IOWA G21 LLC	\$250.00
11835	06/30/2019	MIDAMERICAN ENERGY	\$87.00
11836	06/30/2019	MIDAMERICAN ENERGY	\$176.00
11838	06/30/2019	DM HOUSE RENTALS	\$250.00
11839	06/30/2019	WEST DES MOINES WATER WORKS	\$76.73
11840	06/30/2019	NORMANDY TERRACE	\$250.00
11841	06/30/2019	TRUE PARKWAY LLC	\$150.00
11842	06/30/2019	MIDAMERICAN ENERGY	\$191.00
11843	06/30/2019	MIDAMERICAN ENERGY	\$194.30
11844	06/30/2019	MIDAMERICAN ENERGY	\$250.00
11845	06/30/2019	BROOKS, VICTORIA	\$662.00
11846	06/30/2019	MIDAMERICAN ENERGY	\$255.69
11847	06/30/2019	WESTBROOKE APARTMENTS	\$250.00
11848	06/30/2019	WE CAN BUILD IT LC	\$750.00
11849	06/30/2019	WE CAN BUILD IT LC	\$600.00
11850	06/30/2019	WE CAN BUILD IT LC	\$750.00
11851	06/30/2019	WE CAN BUILD IT LC	\$750.00
11852	06/30/2019	WEST DES MOINES WATER WORKS	\$142.38
11853	06/30/2019	WILLOW PARK APARTMENTS	\$589.00
11854	06/30/2019	MCKINLEY CREST - ANAWIM HOUSING	\$548.00
11855	06/30/2019	SILHOUETTE RESIDENTIAL HOUSING COOP	\$260.00
11856	06/30/2019	KENWOOD APARTMENTS LLC	\$417.00
11857	06/30/2019	FOREST AND FIELDS	\$680.00
11858	06/30/2019	KENWOOD APARTMENTS LLC	\$655.00
11859	06/30/2019	HILL TOP 1	\$925.00
11860	06/30/2019	MCKINLEY CREST - ANAWIM HOUSING	\$490.00
			\$264,610.76

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

ITEM: Approval of Liquor Licenses

DATE: July 1, 2019

FINANCIAL IMPACT: None

BACKGROUND: In accordance with the Iowa Code Section 123.1 and the West Des Moines City Code Title 3, Business and Licensing, Chapter 2, Beer and Liquor Control, the following licenses have been investigated and reviewed by the WDM Police Department and, when necessary, by Building Inspection and/or Fire Department staff, and are presented to the City Council for approval. Copies of license applications are available, for your review, in the Office of the City Clerk.

1. Tasting Station Restaurant Group, LLC d/b/a BeerStyles Gastropub & Taproom/SALT of the Hearth, 5513 Mills Civic Parkway - Class LC Liquor License Extension of Outdoor Service - August 23-24, 2019
2. The Cheesecake Factory Restaurants, Inc., d/b/a The Cheesecake Factory, 101 Jordan Creek Parkway #12550 - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
3. Crazy Chicken, LLC, d/b/a Chicken Coop Sports Bar & Grill, 1960 Grand Avenue, Suite 23 - Class LC Liquor License with Sunday Sales and Catering Privileges - Renewal
4. Foundry Distilling Company, LLC d/b/a Foundry Distilling Company, 111 South 11th Street - Class C Native Wine Permit with Sunday Sales - New
5. 50th Street Sports, LLC d/b/a Grumpy Goat Tavern, 1300 50th Street, Suite 206 - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal
6. Hana Ramen Sushi, Inc. d/b/a Hana Ramen Sushi, 7450 Bridgewood Boulevard, #205 - Add Outdoor Service Privileges to Existing Class LC Liquor License
7. P. F. Chang's China Bistro, Inc., d/b/a P. F. Chang's China Bistro, 110 South Jordan Creek Parkway - Class LC Liquor License with Sunday Sales and Outdoor Service - Renewal

OUTSTANDING ISSUES (if any): None

RECOMMENDATION: Motion to approve the issuance of liquor licenses in the City of West Des Moines.

Lead Staff Member: Ryan T. Jacobson, City Clerk *RTG*

STAFF REVIEWS

Department Director	Ryan T. Jacobson, City Clerk
Appropriations/Finance	
Legal	
Agenda Acceptance	<i>RTG</i>

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

ITEM: Approval of Cigarette/Tobacco License

DATE: July 1, 2019

FINANCIAL IMPACT: None

BACKGROUND: Under Title III - Chapter 10, Cigarette Sales, the Council has the authority to issue cigarette permits for establishments located within the city limits of West Des Moines. All cigarette permits expire on June 30 of each year. Applications from the following establishments are on file in the City Clerk's office for review:

1. Kranto Kolection, LLC d/b/a Budu\Bu, 338 Grand Avenue

OUTSTANDING ISSUES (if any): None

RECOMMENDATION: Motion to approve the issuance of a cigarette/tobacco permit in the City of West Des Moines.

Lead Staff Member: Ryan T. Jacobson, City Clerk *RTJ*

STAFF REVIEWS

Department Director	Ryan T. Jacobson, City Clerk
Appropriations/Finance	Tim Stiles, Finance Director
Legal	
Agenda Acceptance	<i>RTJ</i>

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee	
Date Reviewed	

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM:

Motion - Approval to Sell Surplus City Equipment

FINANCIAL IMPACT:

Approximate revenue to the General Fund of \$22,000.00.

BACKGROUND:

On April 30, 2012, City Council approved a Disposal of Surplus Property Policy and retention of GovDeals.com for disposal of excess City property.

Public Services has accumulated and inventoried a list of the following surplus items to be sold by auction on GovDeals.com:

APPROXIMATE VALUE \$22,000.00

\$10,000	2008 Ford F250 – VIN 1FTSX215X8EB94934 (Unit #485A)
\$12,000	2014 Ford F450 – VIN 1FDUF4HT1EEB53580 (Unit #591C)




Because the City Council subcommittee meeting scheduled for June 24, 2019 was cancelled, this agenda item was only distributed to the subcommittee members via email on June 21, 2019.

RECOMMENDATION:

City Council Approve:

- Motion authorizing the Department of Public Services to proceed with the on-line sale of accumulated surplus City equipment.

Lead Staff Member: Rian Rasmussen, Fleet Manager

Department Director	Bret Hodne, Public Services Director 
Appropriations/Finance	Tim Stiles, Finance Director 
Legal	
Agenda Acceptance	

PUBLICATION(S) (if applicable)		SUBCOMMITTEE REVIEW (if applicable)			
Published In		Committee	Public Services Council		
Dates(s) Published		Date Reviewed			
		Recommendation	Yes	No	Split

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM: Motion – Approval of Grant Agreement – Bravo Greater Des Moines – Public Art Grant

FINANCIAL IMPACT: Grant revenue of \$50,000. The total project cost is \$150,000 with the balance to be paid from budgeted funds in the Public Art account (437.400.470.5400.750).

BACKGROUND: The City has received a Bravo Greater Des Moines Public Art Grant in the amount of \$50,000 for the Amphitheater Public Art Project. The grant application was approved by the Grant Review Team on March 21, 2019.

The Amphitheater Public Art Project will be installed at the planned City Campus Amphitheater in conjunction with or shortly following construction.

The Amphitheater Public Art Project Workgroup was formed and met twice in the fall of 2018. It is anticipated that the Workgroup will select an artist in the fall of 2019 and the artwork installed in conjunction with or shortly following completion of the Amphitheater.




Council approval of the attached grant contract is a requirement of the grant. The agreement has been submitted for review by the Legal Department.

OUTSTANDING ISSUES: None.

RECOMMENDATION: That the Council approve the Bravo Greater Des Moines Public Art Grant agreement.

Lead Staff Member: Sally Ortgies, Director of Parks & Recreation 

STAFF REVIEWS

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee	Grant Review Team		
Date Reviewed	3/21/19		
Recommendation	Yes	No	Split



**GC19 PUBLIC ART GRANT (PAG)
GRANT AGREEMENT**

RECIPIENT: West Des Moines Parks and Recreation Department

PROJECT: Amphitheater Public Art Project

GRANT AWARD: \$50,000

TOTAL PROJECT COST: \$150,000

FUNDING TERM: July 1, 2019-June 30, 2020

Failure to adhere to the terms herein may result in forfeiture of the grant award and may impact the eligibility of West Des Moines Parks and Recreation Department ("Recipient") for future funding from Bravo Greater Des Moines ("Bravo").

Section 1 – ELIGIBILITY

Recipient represents and warrants that it is in good standing with Bravo and is a municipality with a current 28E Agreement with Bravo. An organization is in good standing with Bravo if it:

- i. Fully and completely meets all requirements in this Agreement;
- ii. Accurately represents its organization and its activities in all documents submitted to Bravo. This includes, but is not limited to grant application, final reports, mid-year evaluations (if applicable), financial reports and any other information requested by Bravo;
- iii. Continues to meet the grant eligibility criteria;
- iv. Submits grant information, documents and reports on or before the due date; and
- v. Has not been designated as an organization not in good standing by Bravo's Community Investment Committee.

Section 2 – FUNDING

2.1 Funding Source The source of funding for the PAG Program is Bravo's local government partners, the cities of Altoona, Ankeny, Bondurant, Carlisle, Clive, Des Moines, Grimes, Indianola, Johnston, Norwalk, Pleasant Hill, Polk City, Urbandale, Waukee, West Des Moines and Windsor Heights and Polk County pursuant to 28E Agreements.

2.2 Receipt of Funds All payments under this Agreement are subject to the possession by Bravo of sufficient funds for the GC19 PAG Program. Any termination, reduction or delay of funds from Bravo's local government partners to Bravo may, in Bravo's sole discretion, result in the termination, reduction or delay of PAG funds to Recipient and/or termination of this Agreement.

2.3 Use of Funds Recipient hereby agrees that grant funding will be used for the awarded Project as described in the original application for funding or, if applicable, as described in the grant award

notification provided to Recipient by Bravo. Any and all grant funds not expended in a manner agreed to by Recipient and Bravo will result in the return of funds to Bravo.

2.4 Cost Variation In the event that the actual project cost is less than the Total Project Cost amount specified in this Agreement, the Grant award may be reduced by the same ratio as the difference between the actual costs and the Total Project Cost specified in this Agreement divided by the Total Project Cost. Any Grant funds disbursed in excess of the reduced amount may need to be returned to Bravo.

Example: If the total amount spent to complete the Project is less than the Total Project Cost specified in this Agreement, Bravo shall calculate the amount of Grant funds to be returned as follows:

1. The actual amount spent on the project within the Funding Term is subtracted from the Total Project Cost specified in the Agreement to determine the change in the Project cost.
2. The change in the Project cost is divided by the Total Project Cost specified in the Agreement.
3. This percentage is multiplied by the original Grant Award.
4. The product is the amount of the Grant Award that Recipient must return to Bravo.

2.5 Prior Costs No expenditures made prior to the start of the Funding Term may be included as Project costs for the purposes of this Agreement.

2.6 Disbursement of Funds Full payment of Grant funds will be made upon execution of this Agreement.

Section 3 – REPORTS

Recipient shall prepare and submit reports as specified below in the form and content specified by Bravo. Upon the request of Bravo, additional progress reporting may be required during the duration of this Agreement.

1. Midterm Report shall be provided by January 15, 2020.
2. Final Report shall be provided by July 31, 2020.

Section 4 – COVENANTS OF RECIPIENT

4.1 Affirmative Covenants Until the terms of this Agreement are fulfilled, Recipient covenants to Bravo that:

(a) **Project work; Operation & Maintenance** Recipient shall complete the Project by June 30, 2020. For the purposes of this section, “complete” means the Project is fully constructed and operational at a level acceptable to Bravo or if the Project is a municipal public art plan, “complete” means the Project is in its final, publishable form.

(b) **Notice of Proceedings** Recipient shall promptly notify Bravo of the initiation of any claims, lawsuits, bankruptcy proceedings or other proceedings brought against Recipient that would adversely impact the Project.

(c) **Indemnification** Recipient shall indemnify, defend and hold harmless Bravo and its officers, employees and agents from and against all losses, liabilities, penalties, fines, damages and claims, including but not limited to taxes and all related costs and expenses, including but not limited to reasonable attorneys' fees and disbursements and cost of investigation, litigation, settlement, judgments, interests and penalties arising from or in connection with the following:

- i. Any claim, demand, action, citation or legal proceeding arising out of or resulting from the Project;
- ii. Any claim, demand, action, citation or legal proceeding arising out of or resulting from a breach by Recipient of any representation or warranty made by Recipient in this Agreement;
- iii. Any claim, demand, action, citation or legal proceeding arising out of or related to occurrences that Recipient is required to insure against as provided for in this Agreement; and
- iv. Any claim, demand, action, citation or legal proceeding that results from an act or omission of Recipient or any of its agents in its capacity as an employer of a person.

4.2 Negative Covenants Throughout the term of this Agreement, Recipient shall not, without prior written disclosure to Bravo and prior written consent of Bravo:

(a) **Recipient's Interest** Assign, waive or transfer any of Recipient's rights, powers, duties or obligations under this Agreement.

(b) **Property/Collateral** Sell, transfer, convey, assign, encumber or otherwise dispose of any of the real property for the Project.

(c) **Restrictions** Place or permit any restrictions, covenants or any similar limitations on the real property for the Project.

(d) **Removal of Project Property** Remove from the Project site all or any part of the Project property.

(e) **Recipient Operation** Materially change the scope or use of the Project or the nature of the business and activities being conducted or proposed to be conducted by Recipient as described in Recipient's application, unless the change is approved in writing by Bravo. Bravo shall determine the materiality of the change.

Section 5 – DEFAULT; REMEDIES & TERMINATION

5.1 Notice of Event(s) of Default Recipient shall promptly notify Bravo upon becoming aware of an actual or imminent Event of Default by Recipient.

5.2 Events of Default Each of the following shall constitute an Event of Default under this Agreement:

(a) **Material Misrepresentation** Any representation, warranty or statement made or furnished to Bravo by, or on behalf of, Recipient in connection with this Agreement to induce Bravo to make a Grant to Recipient shall be determined by Bravo to be incorrect, false, misleading or erroneous in any material respect when made or furnished.

(b) **Noncompliance** Recipient fails to comply with any of the terms contained in this Agreement or documents executed pursuant to this Agreement.

(c) **Failure to Complete Project** The Project, in the sole judgment of Bravo, is not completed within the effective dates of this Agreement. For the purposes of this section, "completed" means the Project is fully constructed and operational or is in its final, publishable form.

(d) **Recipient Changes** A material change in Recipient's eligibility, as defined in Section 1, that occurs without prior written disclosure to Bravo.

(e) **Misspending** Recipient expends Grant funds for purposes not described in the PAG Application as approved by Bravo.

(f) **Insolvency or Bankruptcy** Recipient becomes insolvent or bankrupt, or admits in writing its inability to pay its debts as they mature, or makes an assignment for the benefit of creditors, or Recipient applies for or consents to the appointment of a trustee or receiver for Recipient or for the major part of its property; or if a trustee or receiver is appointed for Recipient or for all or a substantial part of the assets of Recipient and the order of such appointment is not discharged, vacated or stayed within sixty (60) days after such appointment; or if bankruptcy, reorganization, arrangement, insolvency or liquidation proceedings or other proceedings for relief under any bankruptcy or similar law or laws for the relief of debtors are instituted by or against Recipient and, if instituted against Recipient, are consented to, or, if contested by Recipient, such proceeding is not dismissed by the adverse parties or by an order, decree or judgment within sixty (60) days after such institution.

(g) **Insurance** Loss, theft, damage or destruction of any substantial portion of the Project property occurs for which there is either no insurance coverage or for which, in the opinion of Bravo, there is insufficient insurance coverage.

(h) **Conveyance of Responsibilities** Recipient assigns, waives or transfers any of Recipient's rights, powers, duties or obligations under this Agreement without written permission of Bravo.

(i) **Conveyance of Property** Recipient sells, transfers, conveys, assigns, encumbers or otherwise disposes of any real property of the Project without written permission of Bravo.

5.3 Notice of Default Bravo shall issue a written notice of default providing therein a thirty (30) day period during which Recipient shall have an opportunity to cure. Notwithstanding this Section 5.3, if Bravo determines cure is not possible or feasible, Bravo may immediately deem Recipient in default without prior written notice or opportunity to cure.

5.4 Remedies Upon Default Upon the occurrence of any Event of Default, Bravo shall have the right to terminate this Agreement and to require immediate repayment of the full amount of funds disbursed to Recipient under this Agreement without presentment, demand, protest, notice of protest, notice of intention to accelerate or other notice of any kind, all of which are expressly waived by Recipient.

5.5 Termination for Convenience In addition to termination due to an Event of Default or no allocation of PAG funds, this Agreement may be terminated in whole, or in part, when Bravo and Recipient agree

that continuation would not produce beneficial results commensurate with the future disbursement of funds.

5.6 Procedure Upon Termination If this Agreement is terminated, Bravo may, in its sole discretion, allow reimbursement for costs expended up to the date of termination as determined by Bravo. Recipient shall return to Bravo all unencumbered Grant funds within one (1) week of receipt of Notice of Termination.

Section 6 – MODIFICATION

This Agreement may only be amended through written prior approval of Bravo. Examples of situations where amendments are required include, but not limited to, extensions for completion of Project activities and changes to the Project including alternation of approved activities or inclusion of new activities. If the proposed amendment substantially alters the circumstances under which the Project funding was originally approved or if it is not in alignment with and does not uphold the investment priorities of Bravo, grant funds may need to be returned.

Section 7 – RECOGNITION

Recipient shall permanently recognize Bravo in its donor acknowledgment for the financial contribution to the Project.

Authorized Officer

Date

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM: Motion – Approval of Agreement Amendment – Raccoon River Park Boathouse

FINANCIAL IMPACT: Expense of not-to-exceed \$84,250.00 including reimbursable expenses to be paid from G/L account 500.000.000.5250.490. Funding will be covered out of available funds in FY 18-19 and 19-20 CIP for the Boathouse construction (Project No. 0525 044.0510 024 2018).

BACKGROUND: The Council previously approved an agreement with OPN Architects on 9/4/18 in the amount of \$199,250 for services related to design development, preparation of final construction documents and bidding for the Boathouse. Council is asked to approve an amendment to the existing agreement with OPN Architects for professional services related to Resident Services including construction administration required to ensure the project is constructed according to requirements of the construction documents. These services include site observation of progress, monthly construction meetings, review of shop drawings, punchlist and review for substantial completion.

The amendment to the agreement with OPN Architects is attached along with their scope of services, schedule and fees.

OUTSTANDING ISSUES: None

RECOMMENDATION: That the City Council approve the amendment to the agreement with OPN Architects.

Lead Staff Member: David Sadler, Superintendent of Parks 

STAFF REVIEWS

Department Director	Sally Ortgies, Director of Parks & Recreation <i>SO by DS</i>
Appropriations/Finance	Tim Stiles, Finance Director <i>TS</i>
Legal	Richard Scieszinski, City Attorney
Agenda Acceptance	<i>KS</i>

PUBLICATION(S) (if applicable)

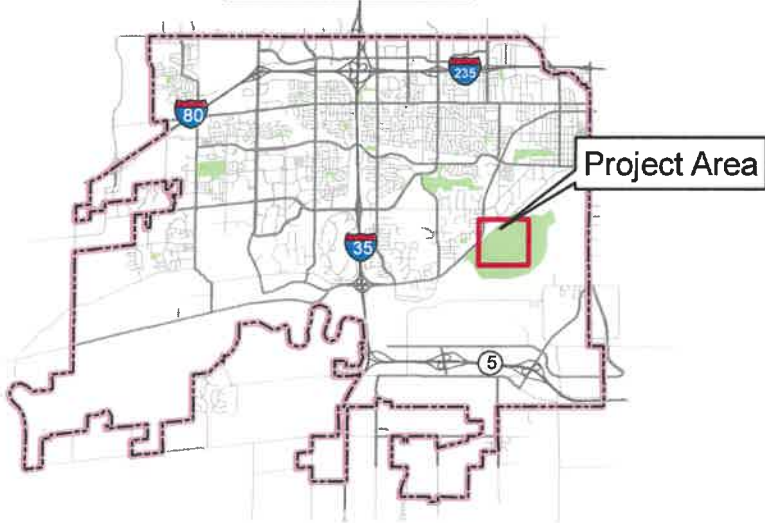
Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

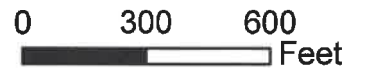


VICINITY MAP



LEGEND

 Project Location



PROJECT:

RACCOON RIVER PARK BOATHOUSE

LOCATION:

2500 GRAND AVENUE

DRAWN BY: **MAA**

DATE: **9/14/2017**

PROJECT NO.: -

SHT. **1 of 1**

**AMENDMENT No. 1
TO THE AGREEMENT FOR PROFESSIONAL CONSULTING SERVICES
WDM Project # 0510-091-2017
Raccoon River Park Boathouse**

This AMENDMENT made and entered into this 1st day of July, 2019, by and between the CITY OF WEST DES MOINES, a municipal corporation, hereinafter referred to as "City", and OPN Architects, Inc., (Fed. I.D. # 42-1043334), a professional corporation incorporated and licensed under the laws of the State of Iowa, party of the second part, hereinafter referred to as "Consultant" as follows, hereby amends the original Agreement dated 28th August, 2018:

1. SCOPE OF SERVICES

Services as described in the Agreement for the Raccoon River Park Boathouse (Project No. 0510 095 2017), Attachment A, Scope of Services are amended as follows:

- I. Resident Services – Add task to project scope. Full list of scope listed in revised Attachment A.

2. COMPENSATION

In consideration of the additional professional services provided, the City agrees to pay the Consultant the additional fee to increase the original fee NOT-TO-EXCEED, including any authorized reimbursable expenses, pursuant to the Schedule of Fees set forth in The Agreement.

Task No.	Task Description	Total Fee
C	Resident Services	\$84,250.00
	Total	\$84,250.00

This AMENDMENT is subject to all provisions of the original agreement. This AMENDMENT together with the Agreement represents the entire and integrated AGREEMENT between the City and Consultant, as executed on the date written above.

CONSULTANT

CITY OF WEST DES MOINES

BY: _____
Rick Seely, OPN Architects, Inc

BY: _____
Ryan T. Jacobson, City Clerk



Attachment A

Cedar Rapids
200 Fifth Avenue SE Ste. 201
Cedar Rapids, Iowa 52401
(319) 363-6018

Des Moines
100 Court Avenue Ste. 100
Des Moines, Iowa 50309
(515) 309-0722

Iowa City
24 ½ S. Clinton Street
Iowa City, Iowa 52240
(319) 363-6018

Madison
301 N. Broom Street Ste. 100
Madison, Wisconsin 53703
(608) 819-0260

opnarchitects.com

June 25th, 2019 (Original agreement date August 28, 2018)

Mr. Kevin Conn, ASLA
City of West Des Moines Parks & Recreation Department
4200 Mills Civic Parkway, PO Box 65320
West Des Moines, IA 50265

RE: Raccoon River Park Boathouse, West Des Moines

Kevin:

We appreciate the opportunity to continue design on a new boathouse facility at Raccoon River Park and offer a proposal for Design Development through Construction. Our previous Schematic Design effort on the project proved helpful in understanding the potential opportunities as well as challenges for this project, and we look forward to continuing work together with your team.

We propose the following team:

OPN Architects – Architecture

Confluence – Landscape Architecture

Resource Consulting Engineers – Mechanical, Electrical, and Plumbing Engineering

Raker Rhodes Engineering – Structural Engineering

Civil Design Advantage – Civil Engineering

DCI Group – Cost Estimation

Project Understanding:

- Site location has been determined.
 - During Schematic Design, the team studied and provided site analysis for (3) locations. Based on several strengths, a site located near the existing boat ramp and parking lot was selected.
- Schematic Design Services have been completed per our previous contract.
 - Building programming has been completed.
 - A site plan has been developed and preliminary site utilities have been examined. Confirm SD assumptions.



- An SD cost opinion has been performed by DCI Group for the current design.
 - Confirm Cost estimate numbers and reassess scope and budget expectations with current design.
- This proposal will pertain to the completion of Design Development, Construction Documents, Bidding/Negotiation, and finally see the Boathouse project through the Construction Observation Phase.

Services Provided:

Pre-Design and Schematic Design Services have already been performed under previous contract.

Architectural Services:

- **Design Development:**
 - Refine design decisions, materials, and confirm project understanding.
 - Prepare DD documents.
 - Prepare and deliver Cost Estimation at 100% DD
 - Deliverables:
 - A 100% DD presentation will be given to the City Steering Committee.
 - A 100% DD drawing package will be provided as well as outline specifications.
- **Construction Documentation:**
 - Prepare CD documents and materials.
 - Coordinate documents with Confluence and other consultants.
 - Prepare milestone cost exercises at 65% CD and 95% CD.
 - City Site Plan review and approval.
 - Issue 100% Construction Documents for bid purposes.
 - Deliverables:
 - The team will deliver a 95% CD Owner Review Package. At this point our team will ask for any comments and questions and will go through all of these with a page turn. Comments will be incorporated into the Bid Set.
 - A full set of construction specifications will also be part of the contract documents for bid.
- **Bidding/Negotiation:**
 - Assess and confirm optimal bid period based on an end of June/July 1st construction start.
 - Assist with Bidding Procedures and Evaluation.
 - Respond to Bidder's questions and requests.



Project Assumptions:

- \$2,157,877 Schematic Design cost estimate for total construction cost provided early Spring 2018. The proposed construction budget for this project is \$2,100,000.
- The Schematic Design for the building includes:
 - 2,450 total building sf, including 1,668 of vessel storage that is designed to be resilient to flooding on the lower level. A concessions / transaction area and restrooms are located on the upper level.
 - Site features include: Accessible boat launches, stone shore protection, removable dock, as well as a reconfiguration of the existing parking to create more stalls closer to the building.
 - The foundation and lower level will be cast in place concrete, while the upper level will consist of a combination of precast concrete panels, and additional steel structure for the canopy overhead.
 - The upper level will consist of concrete masonry as well accent materials of wood and metal panel.
- A site survey will be required and coordination with DNR may be required.
- (6-7) Design Meetings:
 - Kick-off to confirm SD findings and determine goals and expectations for the project.
 - Following the Kick-off, the team will reconvene to go through the DD presentation and drawing package to seek approval to proceed into CD phase.
 - A 50% CD meeting will be a mid/touch base point for the Steering Committee and Design Team. The goals for this meeting will be to ensure the team is on the right track prior to the heavy lifting documentation portion of this project. Any comments stemming from the 100% DD cost estimation will be discussed at this time and the team will seek approval to continue with 100% CD's.
 - 95% CD Owner Page Turn is a final opportunity to go discuss owner comments and questions and review the current drawing package.
 - Final CD presentation and drawing package deliverable and review of final cost opinion prior to bidding.
- Cost estimates at 100% DD, 65% CD, and 95% CD.
- Resident Services [Construction Administration] are not included within this proposal and is anticipated to be added as a later phase. It is noted in this proposal as an Optional Service. These services include: 1) Resident Services throughout the duration of construction and meeting on site or with contractors monthly. The proposed construction duration for this proposal is 9 months. 2) Preparation of Record Documents that will be completed by



the design team and turned over to the City of West Des Moines upon receipt of information from the Contractor.

- Once authorized, Resident Services [Construction Administration] will begin as soon as the bid is awarded and continue through punchlist and substantial completion. This will consist of submittal review, monthly meetings on site with the contractor, and punchlist. Anticipated construction start: June/July 1st, 2019. Anticipated Construction duration is 9 months with a completion of early Spring 2020.
- Limited telecommunications design is included within this proposal and is anticipated to support staffing and Point-of-Sale.
- No security design is included. If this is desired, the team can provide these services for an additional fee.
- Limited fire alarm design is included. No fire sprinklers are anticipated for this design.
- Approximately 450 sf of removable Dock design is included within this proposal.
- Parking lot reconfiguration and restriping design as indicated in the SD documents is included in the design and construction. Existing parking lighting will be maintained and is not included.
- Flood Plain Documents have been included. The property currently lies within floodplain. Floodplain mapping information and a letter of map will be submitted to FEMA in an effort to reduce the impact of the floodplain on the project site. An as-built topography survey will need to be completed on those areas that have been filled within the existing floodplain area to show that the buildable areas are higher than the 100-year flood elevations. This task assumes that the floodplain has been previously studied and elevations have already been established by FEMA. If an unstudied area exists, the team will have to prepare a full flood study. Preparation of a flood studies, if required, are not included. Estimate of services if required: \$4,000.00
- Surface and underground detention and retention of storm water is assumed unnecessary based on the site. Site Storm water detention adjustments will be limited and will remain in the pond with no outlet or structure revisions. If needed additional services may be required.
- Existing city Storm Water Management Plan is to be updated by providing information, by letter, to the city on changes to quantities of impervious area and a summary of impact to the overall function and post-development release of the pond.
- If required, all soil borings, geotechnical services, abatement services for hazardous materials, traffic studies, structural testing, and material testing will be provided by others.
- FF&E services are not included but OPN can provide these services if desired.



Proposal Summary:

Schedule: The OPN and consultant team is prepared to begin the design immediately. We anticipate 9 months of construction with completion in early Spring 2020.

Preliminary Schedule:

- SD completed early 2018
- DD starts Sept 4, 2018 – 6-7 weeks
- CD starts October 2019
- B/N starts April/May 2019 (depends on optimal bid timing and City Review)
- Approximate Construction Start is end of June/July 1st, 2019 through completion early Spring 2020.

Compensation: Professional fees to complete design and construction services as outlined for each scope of services of this proposal will be a stipulated sum as follows:

Primary Project Scope

Basic Services:

Architectural Services – OPN Architects	
Design Development thru Bid Phase	\$ 94,500
Structural Engineering – Raker Rhodes Engineering	
Design Development thru Bid Phase	\$ 8,250
MEP Engineering - Resource Consulting Engineers	
Design Development thru Bid Phase	<u>\$ 13,500</u>
Subtotal	\$ 116,250

Additional Services Requested:

Landscape Architectural – Confluence	\$ 67,000
Civil Engineering Services included - CDA	
Topographic Site Survey - CDA	\$ 4,000
Cost Estimation – DCI Group	<u>\$ 6,000</u>
Subtotal	\$ 77,000

Professional Fee	\$193,250
Estimated Reimbursable Expenses	\$ 6,000
Total Fee + Expenses	\$ 199,250



Optional Services:

Should more developed renderings or models be desired beyond what is provided above, we offer the following Additional Services for your consideration:

A. High-Resolution Promotional Graphics/Models:

Rendering/Graphics Services – OPN Architects	
Per Additional High-Resolution Rendering	\$ 1,000
 Physical Model – OPN Architects	
3D printing and laser cutting	\$ 3,600 – 5,500

B. Construction Logistics and Sequencing

Due to the flexible bid schedule, our team can offer Construction sequencing and sequencing to maximize the budget and deliver the project during the optimal bid market. Our team will work closely with the construction market to support the design team documentation if applicable including: bid packages, competitive bid markets, as well as construction sequencing.

DCI Group \$ 1,000

Section Revised June 25, 2019

C. Resident Services		
Construction Administration services are required to ensure the project is constructed according to the requirements of the Construction Documents. These services include site observation of progress, monthly construction meetings, review of shop drawings, punchlist, and review for Substantial Completion. Services are included for up to 9 months of construction. Record Documents will be prepared upon receipt of As-Built set from Contractor(s).		
Construction Administration		
OPN Architects		\$ 60,000
Raker Rhodes Engineering		\$ 2,750
Resource Consulting Engineers		\$ 4,500
Confluence / CDA		\$ 8,000
<u>Record Documents</u>		<u>\$ 4,000</u>
	Subtotal	\$ 79,250
<u>Estimated Reimbursable Expenses</u>		<u>\$ 5,000</u>
	Total	\$ 84,250



D. LEED Certification and Coordination

LEED certification (level to be determined) is feasible on this project. The project location in the flood plain and less than 50 feet to a body of water preclude sustainable sites credits, however do not limit a pursuit of LEED. An energy model will be included with this optional service, which will illustrate energy compliance with many of the credits. The OPN and consultant team is well-versed in LEED projects and has completed several LEED certified projects to date. OPN also employs one of the best building sustainability experts in the country as a resource for this project.

OPN Architects	\$ 30,000
RCE MEP	\$ 2,500
RCE Energy Model	\$ 2,000
<u>Confluence</u>	<u>\$ 6,000</u>
Subtotal	\$ 40,500

Some Additional LEED Certification expenses will be required. Below is an approximate estimation of these fees with USGBC:

Registration, Design, and Construction Review	\$ 4,300
Commissioning	\$ 2,200

E. Living Building Challenge

Living Building Challenge is an alternative to LEED and may also be feasible on this project given its size, program, and passive energy saving opportunities. Below is an estimate and potential costs vary based on full or partial participation. Should LBC be desired, further exploration of approximate fees will be completed.

Stipulated Sum	\$ 29,400-\$ 69,400
----------------	---------------------

Some Additional LBC Certification expenses will be required. Below is an approximate estimation of these expenses:

Registration expenses and Review Costs	\$ 2,150 - 5,500
Commissioning	\$ 2,200 - \$3,500

F. Net Zero

After brief study, OPN believes net-zero (or zero carbon) is feasible. The team will provide a gap analysis to determine potential costs and coordination to pursue further. Additional certification fees and commissioning may be required. OPN shall provide an addendum to this



proposal indicating findings and the professional fees associated with net-zero should this be of interest.

Professional Fee

\$ TBD

Reimbursable expenses are an estimate and include: authorized travel, courier services, express mail, plan review fees, reproduction of project documents during design, photography, out-of-house digital processing, and mileage. Bid Printing is not included.

OPN will invoice monthly based on a percentage of work completed-to-date. Payment is due to the Architect within (30) days from the date of invoice.

Contract will be City of West Des Moines - AGREEMENT FOR PROFESSIONAL CONSULTING SERVICES [v.2018]

Again, we thank you as well as the City of West Des Moines Parks and Recreation Department for offering us the opportunity to present our proposal. The impacts of this project will undoubtedly better serve your staff and the community.

If you find you have any questions or desire additional information, please do not hesitate to call. Should you find our proposal acceptable, I would welcome the opportunity to schedule a start date and formalize our agreement.

We thank you for considering OPN Architects and I look forward to your response.

OPN ARCHITECTS, INC.

A handwritten signature in black ink, appearing to read 'R. Seely', is written over a light blue horizontal line.

Rick Seely AIA

Principal

CC: Joe Wallace Project Architect

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM:

Resolution - Ordering Construction
2018 FEMA Repairs

FINANCIAL IMPACT:

The Engineering Estimate of Construction Cost for the 2018 FEMA Repairs is \$114,220.00. Payments will be made from account no. 500.000.000.5250.490 with the ultimate funding intended to come from General Obligation Bonds. Full reimbursement by FEMA for professional services and construction is anticipated.

BACKGROUND:

A Bid Letting should be scheduled for 2:00 p.m. on Wednesday, July 24, 2019 and a Public Hearing on the project should be scheduled for 5:35 p.m. on Monday, August 5, 2019. The contract would be awarded on Monday, August 5, 2019 and work will begin shortly thereafter.

The project includes storm sewer piping and channel repairs near 3600 Westown Parkway, 20th & Center Street, and 17th & Center Street. Repairs include placement of rip-rap, removing and reinstalling storm sewer pipe and aprons, grading and embankment shaping, seeding, and erosion control. The project is anticipated to be completed by November 15, 2019.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

OUTSTANDING ISSUES: None.

RECOMMENDATION:

City Council Adopt:

- Resolution Ordering Construction of the 2018 FEMA Repairs.
- Fixing 2:00 p.m. on Wednesday, July 24, 2019 as the time and date for project Bid Letting.
- Ordering the City Clerk to publish notice of Letting and Public Hearing.

Lead Staff Member: Brian J. Hemesath, P.E., City Engineer *BOA*

STAFF REVIEWS

Department Director	Brian J. Hemesath, P.E., City Engineer
Appropriations/Finance	Tim Stiles, Finance Director <i>[Signature]</i>
Legal	Richard Scieszinski, City Attorney <i>[Signature]</i>
Agenda Acceptance	<i>[Signature]</i>

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee				
Date Reviewed				
Recommendation	<table border="1"> <tr> <td>Yes</td> <td>No</td> <td>Split</td> </tr> </table>	Yes	No	Split
Yes	No	Split		

**RESOLUTION ORDERING CONSTRUCTION AND NOTICE OF PUBLIC HEARING ON PLANS,
SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COST, AND DIRECTING
ADVERTISEMENT FOR BIDS**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA,
that the following described public improvement:

**2018 FEMA Repairs
Project No. 0510-008-2019**

is hereby ordered to be constructed according to the Plans and Specifications prepared by Shive-Hattery, Inc. of West Des Moines, Iowa and now on file in the office of the City Clerk.

BE IT FURTHER RESOLVED, that the detailed Plans and Specifications, Form of Contract, Bid Security, and Notice to Bidders are hereby approved, subject to hearing thereon, and that the same are now on file in the office of the City Clerk for public inspection.

BE IT FURTHER RESOLVED, that the City Clerk is hereby directed to publish notice of hearing on the Plans and Specifications, Form of Contract, Bid Security and Estimate of Costs for said project to be held at 5:35 p.m. on Monday, August 5, 2019, with said notice published not less than four (4) days nor more than twenty (20) days prior to the date heretofore fixed.

BE IT FURTHER RESOLVED, that the City Clerk is hereby directed to publish Notice to Bidders for said project with publication not less than thirteen (13) days nor more than forty-five (45) days prior to the date for receiving bids. Said bids are to be filed prior to 2:00 p.m. on Wednesday, July 24, 2019.

BE IT FURTHER RESOLVED, that the bids received for construction of said improvements will be opened, publicly read and tabulated by the City Clerk, Deputy City Clerk, or City Clerk designee at 2:00 p.m. on Wednesday, July 24, 2019 and the results of said bids shall be considered at a meeting of this Council on Monday, August 5, 2019 at 5:35 p.m. and acted upon at said time, or such time as may then be fixed.

PASSED AND APPROVED on this 1st day of July, 2019.

Steven K. Gaer, Mayor

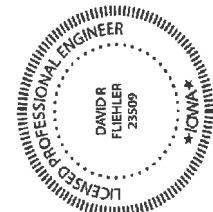
ATTEST:

Ryan T. Jacobson, City Clerk



CITY OF WEST DES MOINES
2018 FEMA REPAIRS (Project No. 0510-008-2019)
Opinion of Probable Construction Costs
June 24, 2019

#	ITEM DESCRIPTION	QUANTITY			UNITS	UNIT COST	TOTAL COST
		3600 WESTOWN	20TH & CENTER	17TH & CENTER			
1	CLEARING AND GRUBBING	0.33	0.33	0.33	LS	\$10,000.00	\$10,000.00
2	REMOVE AND RESET SEPARATED RCP SECTION	0	6	0	EA	\$2,500.00	\$15,000.00
3	CLASS 'D' RIPRAP	86.0	385.0	29.0	TON	\$65.00	\$32,500.00
4	GRADING, EMBANKMENT SHAPING	0.33	0.33	0.33	LS	\$25,000.00	\$25,000.00
5	SEEDING & RESTORATION	0.33	0.33	0.33	LS	\$8,000.00	\$8,000.00
6	SIDEWALK REMOVAL & REPLACEMENT	0.0	1.8	1.8	SY	\$200.00	\$720.00
7	REMOVE CONCRETE RETAINING WALL	0	1	0	LS	\$15,000.00	\$15,000.00
8	CONSTRUCTION STAKING	0.33	0.33	0.33	LS	\$5,000.00	\$5,000.00
9	TRAFFIC CONTROL	0.33	0.33	0.33	LS	\$3,000.00	\$3,000.00
					Subtotal		\$114,220.00



David R. Fluehler

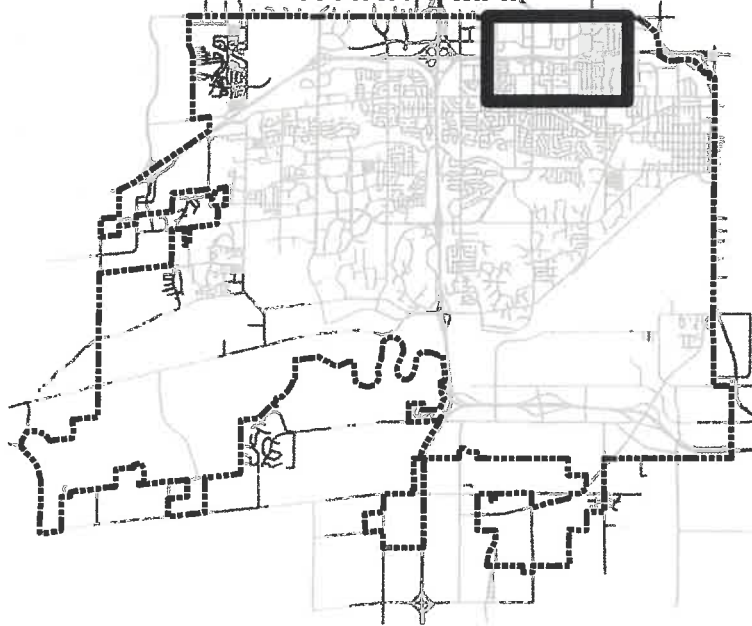
Jun 24 2019 11:43 AM

Project Total **\$114,220.00**

***TOTAL PROJECT COSTS AND CONSTRUCTION COSTS PROVIDED HEREIN ARE MADE ON THE BASIS OF ENGINEER'S EXPERIENCE AND QUALIFICATIONS AND REPRESENT THE ENGINEER'S BEST JUDGMENT. HOWEVER, THE ENGINEER CANNOT AND DOES NOT GUARANTEE THAT BIDS OR ACTUAL TOTAL PROJECT OR CONSTRUCTION COSTS WILL NOT VARY FROM THE ESTIMATE OF PROBABLE CONSTRUCTION COST. THIS ESTIMATE IS INTENDED TO ASSIST IN BUDGETARY ASSESSMENT AND DOES NOT GUARANTEE THAT ACTUAL PROJECT COSTS WILL NOT EXCEED OR BE LOWER THAN THE AMOUNTS STATED IN THIS ESTIMATE.



VICINITY MAP



LEGEND

PROJECT LOCATION ●



PROJECT:

2018 FEMA Repair Projects

LOCATION:

Exhibit "A"

DRAWN BY: JDR

DATE: 2/5/2019

PROJECT NUMBER/NAME: 0510-008-2019

SHT. 1 of 1

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM:

Resolution - Ordering Construction
Raccoon River Basin Segment 5 Sewer - Lift Station

FINANCIAL IMPACT:

The Engineering Estimate of Construction Cost for the Raccoon River Basin Segment 5 Sewer Lift Station is \$898,846.00. Payments will be made from account no. 640.000.000.5250.490 with the ultimate funding intended to come from Sanitary Sewer Fee Revenue.

BACKGROUND:

A Bid Letting should be scheduled for 2:00 p.m. on Wednesday, July 24, 2019 and a Public Hearing on the project should be scheduled for 5:35 p.m. on Monday, August 5, 2019. The contract would be awarded on Monday, August 5, 2019 and work will begin shortly thereafter.

The project includes the construction of a sanitary sewer lift station on South Grand Prairie Parkway south of the Raccoon River. The project will also include approximately 337 linear feet of 10-inch and 15-inch sanitary sewer, approximately 75 linear feet of 12-inch forcemain, a 3-pump submersible lift station, pre-manufactured control building, standby power generator, excavation, backfill, manholes, connections to existing sewer, surface restoration, traffic control, and miscellaneous associated work. The project is anticipated to be completed by June 1, 2020.

Forcemain and gravity sewer associated with the Raccoon River Basin Segment 5 Sewer will be bid separately at a later date.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

OUTSTANDING ISSUES: None.




RECOMMENDATION:

City Council Adopt:

- Resolution Ordering Construction of the Raccoon River Basin Segment 5 Sewer – Lift Station.
- Fixing 2:00 p.m. on Wednesday, July 24, 2019 as the time and date for project Bid Letting.
- Ordering the City Clerk to publish notice of Letting and Public Hearing.

Lead Staff Member: Brian J. Hemesath, P.E., City Engineer 

STAFF REVIEWS

Department Director	Brian J. Hemesath, P.E., City Engineer
Appropriations/Finance	Tim Stiles, Finance Director 
Legal	Richard Scieszinski, City Attorney 
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**RESOLUTION ORDERING CONSTRUCTION AND NOTICE OF PUBLIC HEARING ON PLANS,
SPECIFICATIONS, FORM OF CONTRACT, ESTIMATE OF COST, AND DIRECTING
ADVERTISEMENT FOR BIDS**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, that the following described public improvement:

**Raccoon River Basin Segment 5 Sewer – Lift Station
Project No. 0510-060-2015**

is hereby ordered to be constructed according to the Plans and Specifications prepared by Veenstra & Kimm, Inc. of West Des Moines, Iowa and now on file in the office of the City Clerk.

BE IT FURTHER RESOLVED, that the detailed Plans and Specifications, Form of Contract, Bid Security, and Notice to Bidders are hereby approved, subject to hearing thereon, and that the same are now on file in the office of the City Clerk for public inspection.

BE IT FURTHER RESOLVED, that the City Clerk is hereby directed to publish notice of hearing on the Plans and Specifications, Form of Contract, Bid Security and Estimate of Costs for said project to be held at 5:35 p.m. on Monday, August 5, 2019, with said notice published not less than four (4) days nor more than twenty (20) days prior to the date heretofore fixed.

BE IT FURTHER RESOLVED, that the City Clerk is hereby directed to publish Notice to Bidders for said project with publication not less than thirteen (13) days nor more than forty-five (45) days prior to the date for receiving bids. Said bids are to be filed prior to 2:00 p.m. on Wednesday, July 24, 2019.

BE IT FURTHER RESOLVED, that the bids received for construction of said improvements will be opened, publicly read and tabulated by the City Clerk, Deputy City Clerk, or City Clerk designee at 2:00 p.m. on Wednesday, July 24, 2019 and the results of said bids shall be considered at a meeting of this Council on Monday, August 5, 2019 at 5:35 p.m. and acted upon at said time, or such time as may then be fixed.

PASSED AND APPROVED on this 1st day of July, 2019.

Steven K. Gaer, Mayor

ATTEST:

Ryan T. Jacobson, City Clerk

**RACCOON RIVER BASIN 5 SEWER - LIFT STATION
ENGINEER'S ESTIMATE OF COST**

6/24/2019

<u>ITEM No.</u>	<u>ITEM</u>	<u>UNIT</u>	<u>ESTIMATED QUANTITY</u>	<u>UNIT PRICE</u>	<u>EXTENDED PRICE</u>
1	Sanitary Sewer in Place - 10"	LF	10	\$80	\$800
2	Sanitary Sewer in Place - 12"	LF	295	\$90	\$26,550
3	Sanitary Sewer in Place - 15"	LF	32	\$105	\$3,360
4	Force Main - 12"	LF	75	\$75	\$5,625
5	Manholes - Type SW 301 - 48"	EA	3	\$5,000	\$15,000
6	Manholes - Type SW 301 - 60"	EA	1	\$6,500	\$6,500
7	Video Inspection of Sanitary Sewer	LF	337	3	\$1,011
8	Lift Station	LS	1	\$ 840,000	\$840,000
ESTIMATED CONSTRUCTION COST					\$898,846

I hereby certify that this engineer's estimate of cost was prepared by me or under my direct personal supervision and that I am a duly licensed professional engineer under the laws of the Stat of Iowa.

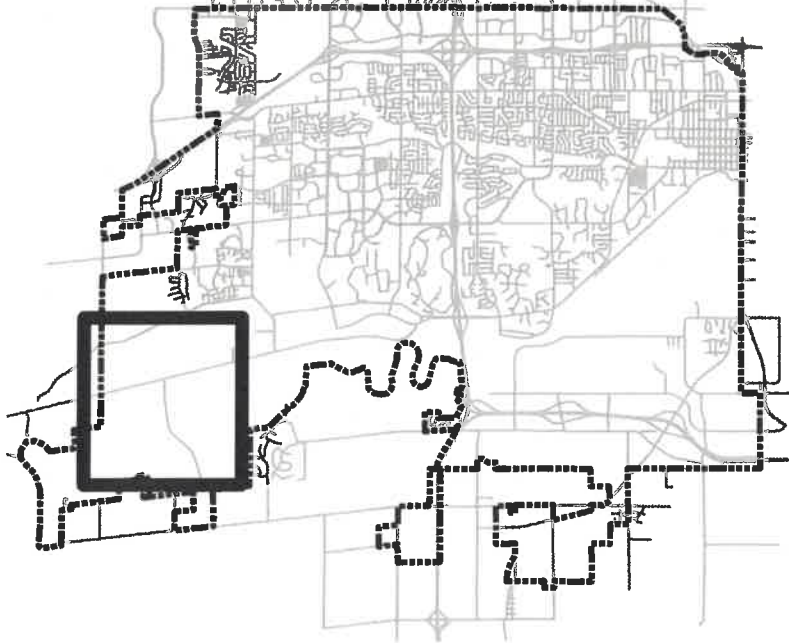




H. Robert Veenstra Jr., P.E.
Iowa License No. 9037
My license renewal date is December 31, 2020



VICINITY MAP



LEGEND

- LIFT STATION 
- GRAVITY SEWER (FUTURE) 
- FORCEMAIN (FUTURE) 



PROJECT:

Raccoon River Basin Segment 5 Sewer - Lift Station

LOCATION:

Exhibit "A"

DRAWN BY: JDR

DATE: 6/24/2019

PROJECT NUMBER/NAME: 0510-060-2015

SHT. 1 of 1

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM: Resolution - Order Construction and Notice of Public Hearing on Plans, Specifications, Form of Contract, Estimate of Cost, and Direct Advertisement of Bids – Holiday Park Signage and Ancillary Improvements

FINANCIAL IMPACT: None at this time. The preliminary estimated construction cost is \$191,301. Expenses to be paid from G/L account 500.000.000.5250.490. Funding will be covered out of FY 19-20 budget allocated for Holiday Park Signage and Dumpster Enclosure (Project No. 0525 012.0510 031 2019). There is a total of \$200,000 available for the construction of this project.

BACKGROUND: A Bid Letting should be scheduled for 2:00 p.m. on Wednesday, July 24, 2019, and a Public Hearing on the project scheduled for 5:35 p.m. on Monday, August 5, 2019. The contract would be awarded on Monday, August 5, 2019, and work would begin shortly thereafter. This project is scheduled to be completed in late fall of 2019.

This resolution is for the construction of multiple signs and a dumpster enclosure at Holiday Park. The signs will include a primary sign located along Railroad Avenue at main entrance to Holiday Park, destination arrival signs at the 14th Street entrance and Girls Softball entry to match sign previously installed at Youth Baseball. In addition, Information Kiosks with decorative columns will be placed at both Youth Baseball and Girls Softball. And lastly the project will include a new dumpster enclosure to be located at Girls Softball. In addition to the base bid, the project will also include add alternates for more detailed way-finding directional signage throughout the park.

OUTSTANDING ISSUES: None.

RECOMMENDATION: That the Council approve the Resolution.

Lead Staff Member: David Sadler, Superintendent of Parks 

STAFF REVIEWS

Department Director	Sally Ortgies, Director of Parks and Recreation <i>so by DS</i>
Appropriations/Finance	Tim Stiles, Finance Director <i>TS</i>
Legal	Richard Scieszinski, City Attorney
Agenda Acceptance	<i>(KS)</i>

PUBLICATION(S) (if applicable)

Published In	N/A
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee	N/A		
Date Reviewed			
Recommendation	Yes	No	Split

**Resolution Ordering Construction and
Notice of Public Hearing on Plans, Specifications,
Form of Contract, Estimate of Cost and
Directing Advertisement for Bids**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, that the following described public improvement:

Holiday Park Signage and Ancillary Improvements

is hereby ordered constructed according to the Plans and Specifications prepared by JBC & Company and now on file in the office of City Clerk.

BE IT FURTHER RESOLVED, that the detailed Plans and Specifications, Form of Contract, Bid Security and Notice to Bidders are hereby approved, subject to hearing thereon, and that the same are now on file in the office of City Clerk for public inspection.

BE IT FURTHER RESOLVED, that the City Clerk is hereby directed to publish notice of hearing on the Plans and Specifications, Form of Contract, Bid Security and Estimate of Costs for said project to be held at 5:35 p.m. on **Monday, August 5, 2019** with said notice published not less than four (4) days nor more than twenty (20) days prior to the date heretofore fixed.

BE IT FURTHER RESOLVED, that the City Clerk is hereby directed to publish Notice to Bidders for said project with publication not less than thirteen (13) days nor more than forty-five (45) days prior to the date for receiving bids. Said bids are to be filed prior to 2:00 o'clock p.m. on **Wednesday, July 24, 2019.**

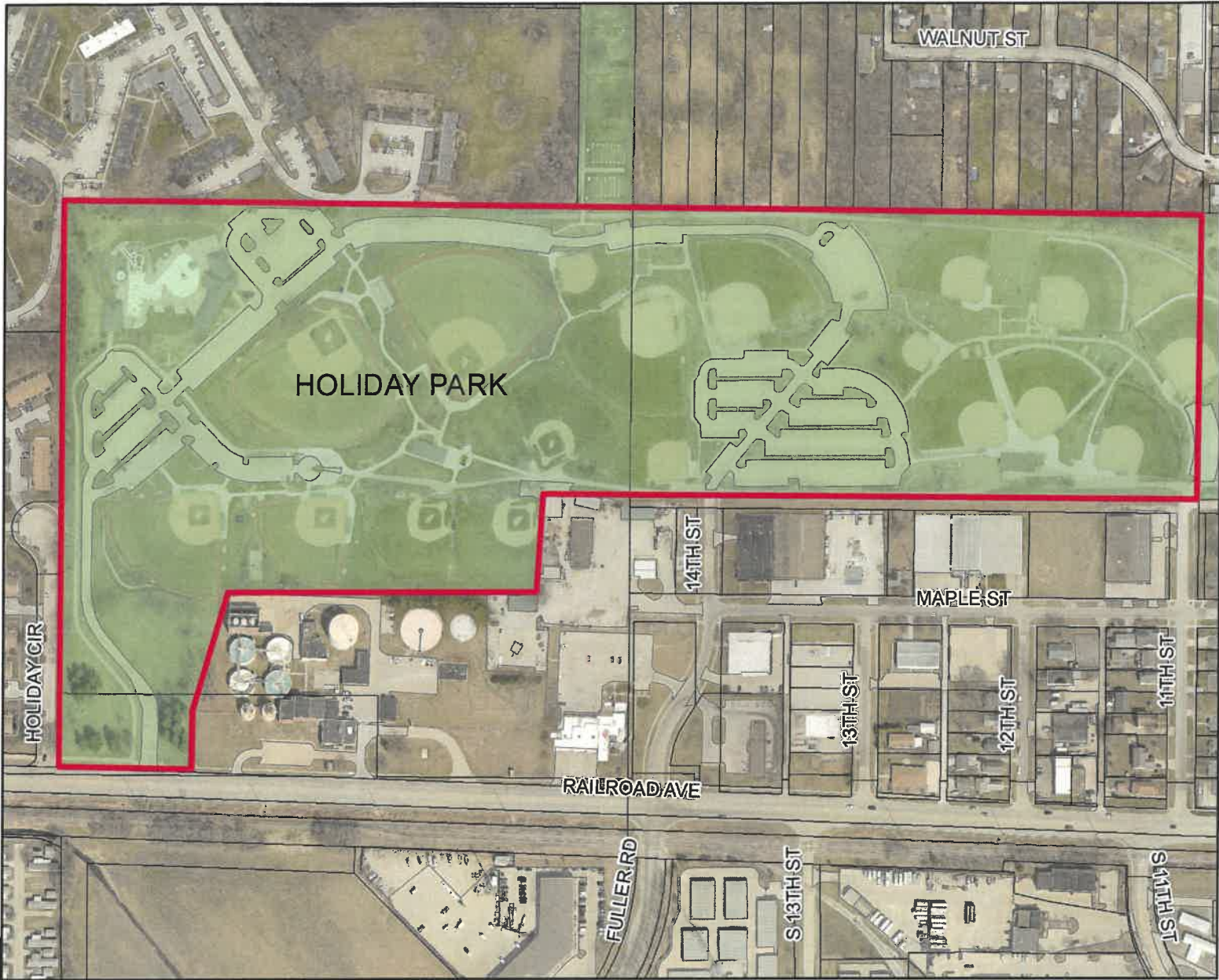
BE IT FURTHER RESOLVED, that bids received for construction of said improvements will be opened, publicly read and tabulated by the City Clerk, Deputy City Clerk, or City Clerk designee at 2:00 o'clock p.m. on **Wednesday, July 24, 2019** and the results of said bids shall be considered at a meeting of this Council on **Monday, August 5, 2019** at 5:35 p.m. and acted upon at said time, or such time as may then be fixed.

PASSED AND APPROVED this 1st day of **July, 2019.**

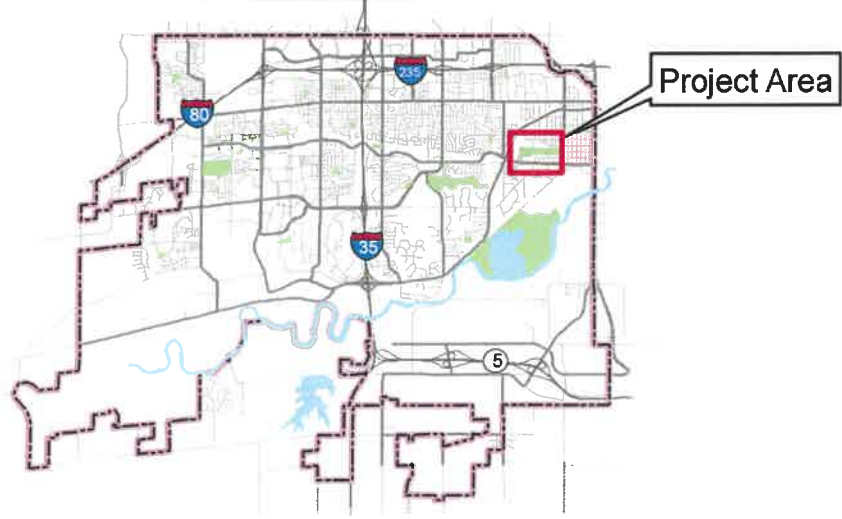
Steven K. Gaer, Mayor

ATTEST:

Ryan T. Jacobson, City Clerk



VICINITY MAP



LEGEND

 Project Location



PROJECT:	HOLIDAY PARK SIGNAGE & ANCILLARY IMPROVEMENTS		
LOCATION:	1701 RAILROAD AVE		
DRAWN BY: MAA	DATE: 3/15/2018	PROJECT NO.:	SHT. 1 of 1

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM:

Resolution - Accepting Work
West Public Services Facility – Site Development (Phase 1)

FINANCIAL IMPACT:

The total construction cost for the West Public Services Facility – Site Development (Phase 1) was \$1,030,995.81 which was paid from account no. 500.000.000.5250.490 with ultimate funding intended to come from Road Use Tax and/or General Obligation Bonds. The original cost of the project was \$1,086,699.25. There were three (3) Change Orders on the project that totaled (\$55,703.44).

BACKGROUND:

Elder Corporation was working under an agreement dated October 1, 2018 for construction services for the West Public Services Facility – Site Development (Phase 1). Work on this project included rough grading, storm sewer, sanitary sewer, and watermain to accommodate the construction of the West Public Services Facility. Work on the remainder of the West Public Services Facility project is separate and currently ongoing.

This action accepts the public improvements and authorizes staff to pay the retainage no sooner than 30 days.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

OUTSTANDING ISSUES: None.

RECOMMENDATION:

City Council Adopt:

- Resolution Accepting Work for West Public Services Facility – Site Development (Phase 1).

Lead Staff Member: Brian J. Hemesath, P.E., City Engineer *BH*

STAFF REVIEWS

Department Director	Brian J. Hemesath, P.E., City Engineer
Appropriations/Finance	Tim Stiles, Finance Director <i>MS</i>
Legal	Richard Scieszinski, City Attorney <i>JDS</i>
Agenda Acceptance	<i>KA</i>

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee				
Date Reviewed				
Recommendation	<table border="1"> <tr> <td>Yes</td> <td>No</td> <td>Split</td> </tr> </table>	Yes	No	Split
Yes	No	Split		

RESOLUTION ACCEPTING WORK

WHEREAS, on October 1, 2018, the City Council entered into a contract with Elder Corporation of Des Moines, Iowa for the following described public improvement:

**West Public Services Facility – Site Development (Phase 1)
Project No. 0510-027-2017**

and,

WHEREAS, said contractor has substantially completed the construction of said improvement in accordance with plans and specifications as shown by the report of the City Engineer filed with the City Clerk on July 1, 2019; and,

WHEREAS, the City has retained 5% of the construction costs;

therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, that said report of the City Engineer is hereby approved and said public improvement is accepted as having been substantially completed in accordance with plans and specifications and the total final construction cost of said improvement is \$1,030,995.81 as shown in said report, and that the Finance Director is hereby authorized to make payment to the Contractor in the amount of \$51,549.79, which includes retainage for the project, no sooner than 30 days subject to the Contractor satisfying all the conditions of the contract.

PASSED AND APPROVED on this 1st day of **July, 2019**.

Steven K. Gaer, Mayor

ATTEST:

Ryan T. Jacobson
City Clerk



ENGINEERING SERVICES
 4200 Mills Civic Parkway, Suite 2E
 PO Box 65320
 West Des Moines, IA 50265-0320
 (515) 222-3475 Fax (515) 273-0602

RETAINAGE

Contractor: **Elder Corporation**
5088 E University Ave
Des Moines, IA 50327

Project Title	West Public Services Facility PH1 Site Development	
WDM Project File Number	0510-027-2017	
Purchase Order Number	2019-00000293	
Orig. Contract Amount & Date	\$1,086,699.25	10/01/18
Estimated Completion Date	04/30/19	
Pay Period	04/31/2019 - 06/30/2019	
Pay Request Number	Retainage	
Date	07/01/19	

BID ITEMS							
Item No.	Description	Unit	Est. Qty	Unit Price	Extended Price	Quantity Completed	Value Completed
1.01	Storm Sewer Removal	EA	2	\$9,000.00	\$18,000.00	2.00	\$18,000.00
2.01	Mobilization	LS	1.00	\$34,000.00	\$34,000.00	1.00	\$34,000.00
2.02	Topsoil, Strip, Stockpile, 6 Inch	CY	23500.00	\$1.75	\$41,125.00	22,320.00	\$39,060.00
2.03	Select Import	CY	18500	\$14.00	\$259,000.00	18,500.00	\$259,000.00
2.04	Excavation, Class 10 Roadway & Borrow	CY	9000	\$3.45	\$31,050.00	6,260.00	\$21,597.00
2.05	Topsoil Respread, 6 Inch	CY	29500	\$1.75	\$51,625.00	5,270.00	\$9,222.50
4.01	12 Inch RCP	LF	387	\$58.00	\$22,446.00	387.00	\$22,446.00
4.02	15 Inch RCP	LF	479	\$62.50	\$29,937.50	479.00	\$29,937.50
4.03	18 Inch RCP	LF	248	\$62.50	\$15,500.00	248.00	\$15,500.00
4.04	24 Inch RCP	LF	800	\$80.50	\$64,400.00	800.00	\$64,400.00
4.05	30 Inch RCP	LF	538	\$119.00	\$64,022.00	538.00	\$64,022.00
4.06	36 Inch RCP	LF	474	\$128.50	\$59,961.00	474.00	\$59,961.00
4.07	SW-511 Rectangular Area Intake	EA	7	\$2,900.00	\$20,300.00	7.00	\$20,300.00
4.08	SW-502 Intake with Type 6 Grate	EA	3	\$6,100.00	\$18,300.00	3.00	\$18,300.00
4.09	SW-401 Circular Manhole	EA	5	\$4,700.00	\$23,500.00	5.00	\$23,500.00
4.10	12 Inch FES with Footing	EA	4	\$2,100.00	\$8,400.00	4.00	\$8,400.00
4.11	15 Inch FES with Footing	EA	1	\$2,200.00	\$2,200.00	1.00	\$2,200.00
4.12	24 Inch FES with Footing	EA	2	\$2,700.00	\$5,400.00	2.00	\$5,400.00
4.13	30 Inch FES with Footing	EA	1	\$3,000.00	\$3,000.00	1.00	\$3,000.00
4.14	36 Inch FES with Footing	EA	1	\$4,000.00	\$4,000.00	1.00	\$4,000.00
4.15	12 Inch Nyloplast Structure	EA	2	\$2,300.00	\$4,600.00	2.00	\$4,600.00
4.16	15 Inch Nyloplast Structure	EA	1	\$2,400.00	\$2,400.00	1.00	\$2,400.00
4.17	18 Inch Nyloplast Structure	EA	1	\$2,500.00	\$2,500.00	1.00	\$2,500.00
5.01	8 Inch DIP Water Main (CO2.1-1 Add 156 LF)	LF	1258	\$46.50	\$58,497.00	1,258.00	\$58,497.00
5.02	8 Inch PVC Water Main (CO2.1-2 Deduct 93 LF)	LF	1502	\$25.75	\$38,676.50	1,502.00	\$38,676.50
5.03	6 Inch PVC Water Service (CO2.1-3 Add 66 LF)	LF	179	\$37.50	\$6,712.50	179.00	\$6,712.50
5.04	4 Inch PVC Water Service	EA	1	\$2,100.00	\$2,100.00	1.00	\$2,100.00
5.06	8 Inch Gate Valve	EA	8	\$1,400.00	\$11,200.00	8.00	\$11,200.00
5.07	6 Inch Gate Valve	EA	2	\$1,100.00	\$2,200.00	2.00	\$2,200.00
5.08	4 Inch Gate Valve	EA	1	\$930.00	\$930.00	1.00	\$930.00
5.10	8" x 8" Tee Section	EA	3	\$610.00	\$1,830.00	3.00	\$1,830.00
5.11	8" x 6" Tee Section	EA	5	\$560.00	\$2,800.00	5.00	\$2,800.00
5.12	Fire Hydrant Assembly	EA	7	\$4,200.00	\$29,400.00	7.00	\$29,400.00
5.13	Connect to Existing	EA	1	\$2,100.00	\$2,100.00	1.00	\$2,100.00
5.14	8" DIP Water Service	LF	89	\$34.50	\$3,070.50	89.00	\$3,070.50
6.01	6 Inch PVC Sanitary Sewer	LF	935	\$42.00	\$39,270.00	935.00	\$39,270.00
6.02	8 Inch PVC Sanitary Sewer	LF	425	\$58.50	\$24,862.50	425.00	\$24,862.50
6.03	Sanitary Clean-out Structure	EA	8	\$1,300.00	\$10,400.00	8.00	\$10,400.00
6.04	Standard SW-301 Manhole, 48 Inch	EA	3	\$6,200.00	\$18,600.00	3.00	\$18,600.00
6.05	Connect to Existing Sanitary Sewer Manhole	EA	1	\$11,000.00	\$11,000.00	1.00	\$11,000.00
8.01	Traffic Control	LS	1	\$4,400.00	\$4,400.00	1.00	\$4,400.00
9.01	Type 5 Rural Temporary Erosion Control Mixture	AC	30	\$630.00	\$18,900.00	0.00	\$0.00
9.02	Silt Fence	LF	3120	\$1.55	\$4,836.00	350.00	\$542.50

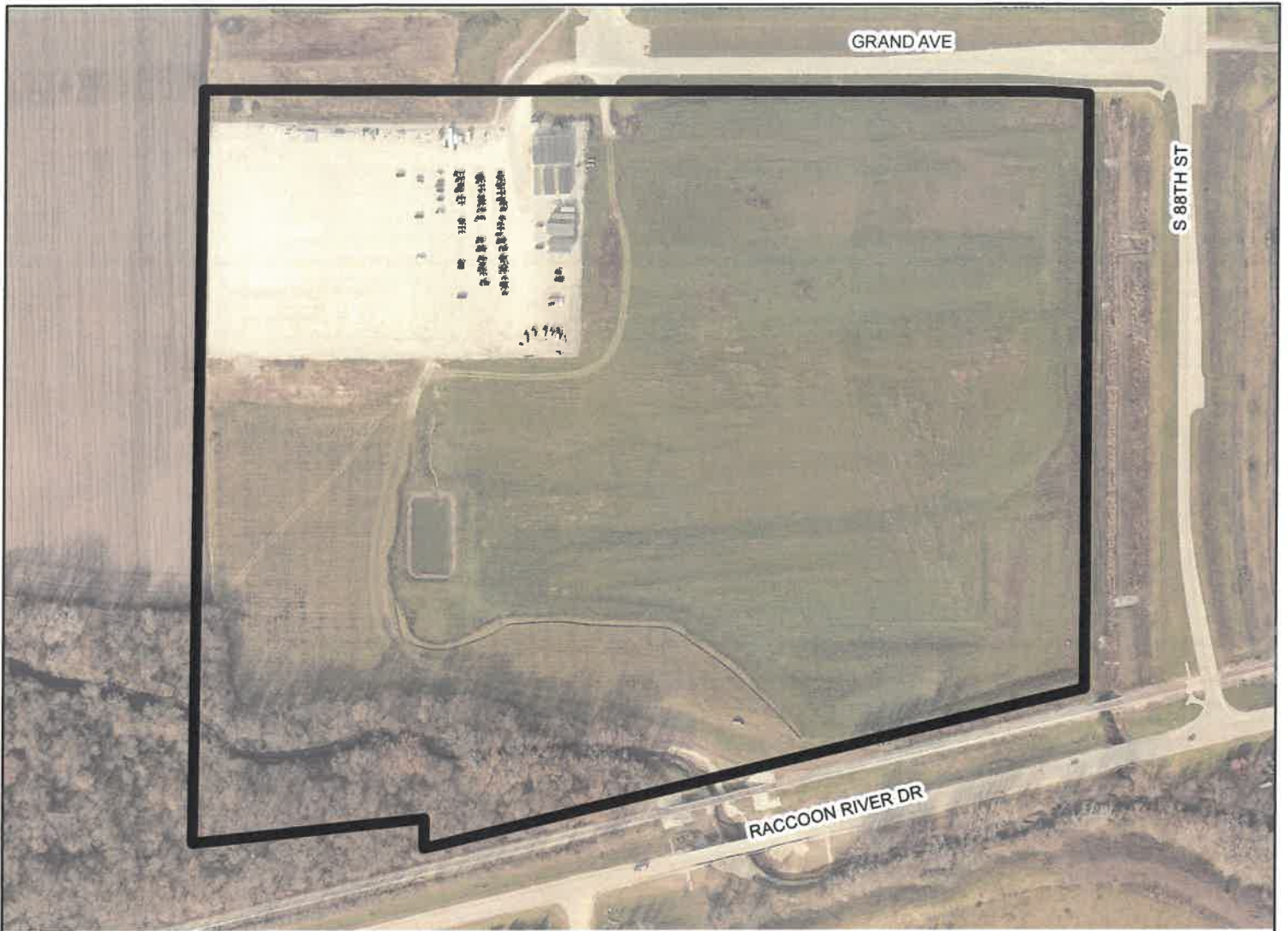
9.03	Silt Fence Removal	LF	3120	\$0.10	\$312.00	0.00	\$0.00
9.04	SWPPP Management	LS	1	\$1,600.00	\$1,600.00	1.00	\$1,600.00
9.05	Erosion and Sediment Control Inspection	LS	1	\$2,100.00	\$2,100.00	1.00	\$2,100.00
9.06	Stabilized Construction Entrance	LS	1	\$1,600.00	\$1,600.00	1.00	\$1,600.00
9.07	Turf Reinforcement Mats	LS	1	\$570.00	\$570.00	1.00	\$570.00
9.08	Flow Transition Mats	LS	1	\$2,700.00	\$2,700.00	1.00	\$2,700.00
11.10	Construction Survey	LS	1	\$7,700.00	\$7,700.00	1.00	\$7,700.00
CO2.2-1	Sanitary Sewer Tie-in Modifications per CO-2	LS	1	\$10,903.15	\$10,903.15	1.00	\$10,903.15
CO2.2-2	Elder GC OHP/Fee (5%) for CO-2	LS	1	\$545.16	\$545.16	1.00	\$545.16
CO2.3-1	As-built survey of underground of Utilities per CO-2	LS	1	\$2,940.00	\$2,940.00	1.00	\$2,940.00
TOTAL					\$1,108,421.81		\$1,030,995.81

MATERIALS STORED SUMMARY						
			Description	# of Units	Unit Price	Extended Cost
						\$0.00
						\$0.00
TOTAL						\$0.00

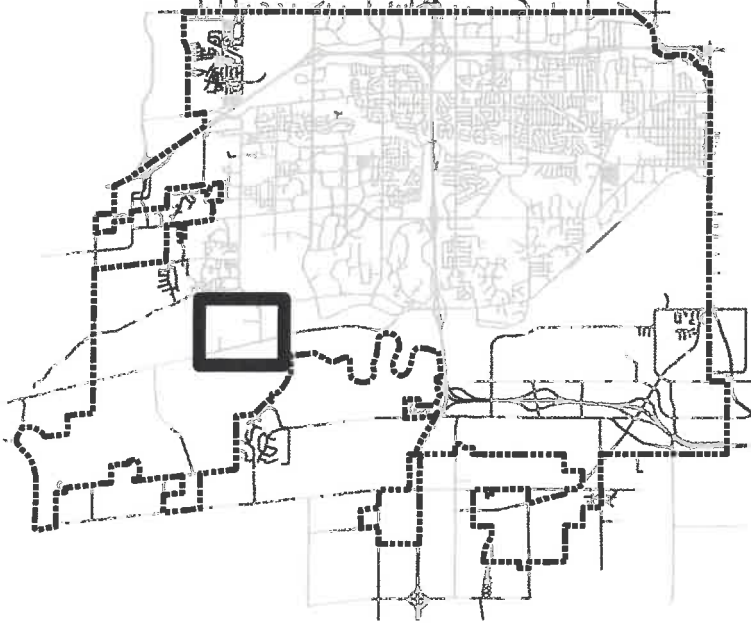
PAY REQUEST SUMMARY			
		Total Approved	Total Completed
Contract Price		\$1,066,699.25	\$1,030,995.81
Approved Change Order 1		\$0.00	\$0.00
Approved Change Order 2		\$21,722.56	\$0.00
Approved Change Order 3		(\$77,426.00)	
Revised Contract Price		\$1,030,995.81	\$1,030,995.81
Materials Stored			\$0.00
Retainage (5%)			\$0.00
Total Earned Less Retainage			\$1,030,995.81
Total Previously Approved (list each)	Pay Request 1	\$428,528.09	
	Pay Request 2	\$514,181.56	
	Pay Request 3	\$20,636.43	
	Pay Request 4	\$16,099.94	
	Pay Request 5		
	Pay Request 6		
	Total Previously Approved		
Amount Due This Request			\$51,549.79
Percent Complete			100%
Percent of Contract Period Utilized			100%

The amount **\$51,549.79** is recommended for approval for payment in accordance with the terms of the Contract

Contractor: Elder Corporation	Recommended By: FEH DESIGN	Checked By: <i>JC</i> City of West Des Moines
Signature:	Signature:	Signature:
Name:	Name: John D Karmann, AIA	Name: Brian J. Hemesath, P.E.
Title:	Title: Vice President	Title: City Engineer
Date:	Date:	Date:



VICINITY MAP



LEGEND

PROJECT LOCATION



PROJECT:

West Public Services Facility

LOCATION:

South 88th Street & Grand Avenue

DRAWN BY: JDR

DATE: 8/6/2018

PROJECT NUMBER/NAME: 0510-027-2017

SHT. 1 of 1

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM: Resolution – Accept Work – Veteran’s Parkway Enhancements, Folded Flags

FINANCIAL IMPACT: The total construction cost of this project is \$201,880.00. All costs of the project have been paid from the Veteran’s Parkway Enhancements (G/L Acct 500.000.000.5250.490, Project No. 0510 022 2017). A portion of the costs (\$50,000) is being funded through a Bravo Greater Des Moines grant. The original contract amount of the project was \$180,750.00, with two change orders for an increase of \$21,130.00 for some minor electrical changes, to modify the fabrication process, and material change on the flags to an acrylic.

BACKGROUND: Concrete Connection, LLC from Johnston, Iowa is working under an agreement dated December 10, 2018 for construction services related to the Veteran’s Parkway Enhancements, Folded Flags project. Work is substantially complete. This action accepts the improvements and authorizes staff to pay retainage no sooner than 30 days.



The project involved the installation of 15 individual standing, folded flags that are viewed by vehicle and trail users along Veteran’s Parkway. The folded flags are lighted for visual attraction both day and night. This is the first component installed as part of the Veterans Parkway Enhancements Project which will enhance the entire 11.5 mile long roadway. The project included mobilization, construction staking, electrical distribution/lighting control/dimming, 15 folded flag units, site restoration and other associated work.

OUTSTANDING ISSUES: None

RECOMMENDATION: That the City Council approve the Resolution.

Lead Staff Member: David Sadler, Superintendent of Parks 

STAFF REVIEWS

Department Director	Sally Ortgies, Director of Parks and Recreation	<i>SO by DS</i>
Appropriations/Finance	Tim Stiles, Finance Director	
Legal	Richard Scieszinski, City Attorney	
Agenda Acceptance		

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

Resolution Accepting Work

WHEREAS, on December 10, 2018 the City Council entered into a contract with Concrete Connection, LLC of Des Moines, Iowa for the following described public improvement:

Veteran's Parkway Enhancements, Folded Flags

and,

WHEREAS, said contractor has completed the construction of said improvement in accordance with plans and specifications as shown by the Council Communication filed with the City Clerk on July 1, 2019.

Therefore

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, that said report of the Superintendent of Parks be approved and said public improvement is accepted as having been completed in accordance with plans and specifications and the total final construction cost of said improvement is \$201,880.00 as shown in said report.

PASSED AND APPROVED, this 1st day of July, 2019.

Steven K. Gaer, Mayor

ATTEST:

Ryan Jacobson, City Clerk



VICINITY MAP



LEGEND



PROJECT:	VETERANS PKWY ENHANCEMENTS - FOLDED FLAGS		
LOCATION:	VETERANS PKWY AND BROWNS WOODS DR		
DRAWN BY:	MAA	DATE:	11/8/2018
PROJECT NO.:		SHT.	1 of 1

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM:

Approve Contract for Office Furniture
City Hall Renovations (Phase 2)

FINANCIAL IMPACT:

The Contract (attached) associated with the office furniture for Phase 2 of construction is \$373,277.70. All costs for these services can be paid from account no. 500.000.000.5400.720 with the ultimate funding intended to come from the General Fund.

BACKGROUND:

Approval of this contract authorizes All Makes to furnish and setup workstations in Suites 1A (City Manager), 1B (Parks & Recreation), 2A (ITS), and 2B (Finance) after Phase 2 renovations are completed at City Hall located at 4200 Mills Civic Parkway.

City Staff desires to sole-source with All Makes to provide this office furniture based on their past work experience, qualifications of their staff, their familiarity with office furnishings in most City of West Des Moines buildings, availability of labor forces, and past performance. All Makes will be utilizing National IPA with Hon-brand furniture and National and NASPO with Allsteel-brand furniture. These contracts have all been competitively solicited and publicly awarded and provide the best discounting opportunities.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

OUTSTANDING ISSUES: None

RECOMMENDATION:

- Approving Contract for Office Furniture.

Lead Staff Member: Brian J. Hemesath, P.E., City Engineer *Boh*

STAFF REVIEWS

Department Director	Brian J. Hemesath, P.E., City Engineer
Appropriations/Finance	Tim Stiles, Finance Director <i>TS</i>
Legal	Richard Scieszinski, City Attorney <i>JDS</i>
Agenda Acceptance	<i>hr</i>

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split



All Makes
 500 E. Court Avenue, Suite 150
 Des Moines, IA 50309
 Phone: 515.282.2166
 Fax: 515.282.5456
 Email/Web: www.allmakes.com

Quotation

Project: D4677
Proj Desc: Phase 2

Quote: D4677.001
Status: New

Sold To: 3430-00
 City Of West Des Moines
 ap@wdm.iowa.gov
 4200 Mills Civic Pkwy
 West Des Moines, IA 50265

Bill To: 3430-00
 City Of West Des Moines
 ap@wdm.iowa.gov
 4200 Mills Civic Pkwy
 West Des Moines, IA 50265
 Attention: Accounts Payable

Ship To: 3430-00
 City Of West Des Moines
 ap@wdm.iowa.gov
 4200 Mills Civic Pkwy
 West Des Moines, IA 50265

Phone: 515-222-3600

Date Entered	Customer PO	Salesperson	FOB	Terms
06/14/2019		Kelly Coenen	D	Net 30 Days

Summary:

Line Note	Extended Price	Tax	Total Amount
1A CITY MANAGER	8,374.48	0.00	8,374.48
1B PARKS & REC	94,387.52	0.00	94,387.52
2A ITS	68,204.14	0.00	68,204.14
2B FINANCE	78,400.62	0.00	78,400.62
DEMOUNTABLE WALLS	77,826.92	0.00	77,826.92
FREIGHT	1,709.02	0.00	1,709.02
DELIVERY & INSTALLATION OF NEW FURNITURE	44,375.00	0.00	44,375.00
Totals:	373,277.70	0.00	373,277.70



All Makes
 500 E. Court Avenue, Suite 150
 Des Moines, IA 50309
 Phone: 515.282.2166
 Fax: 515.282.5456
 Email/Web: www.allmakes.com

Quotation

Project: D4677
Proj Desc: Phase 2
Quote: D4677.001
Status: New

Sold To: 3430-00
 City Of West Des Moines
 ap@wdm.iowa.gov
 4200 Mills Civic Pkwy
 West Des Moines, IA 50265

Bill To: 3430-00
 City Of West Des Moines
 ap@wdm.iowa.gov
 4200 Mills Civic Pkwy
 West Des Moines, IA 50265
 Attention: Accounts Payable

Ship To: 3430-00
 City Of West Des Moines
 ap@wdm.iowa.gov
 4200 Mills Civic Pkwy
 West Des Moines, IA 50265

Phone: 515-222-3600

Date Entered	Customer PO	Salesperson	FOB	Terms
06/14/2019		Kelly Coenen	D	Net 30 Days

Line	Loc	Item Number	MFG	Description	Qty	Unit Price	Extended	
							Subtotal	373,277.70
							TOTAL AMOUNT - USD	373,277.70

Deposit Required: 186,638.85

This Quote will expire on: July 14, 2019

TERMS AND CONDITIONS

ACCEPTANCE AND INCORPORATION BY REFERENCE. This quotation becomes a contract when accepted by All Makes and is subject to All Makes full terms and conditions available at any All Makes' location and by request.
DEPOSITS. A 50% deposit is required for special orders from buyers with a commercial credit account in good standing; a 75% deposit is required for projects over \$100,000. A 100% deposit is required for orders from buyers without an account and is due upon acceptance. Remaining balances are due per the terms above.
CANCELLATION AND CHANGES. Special order merchandise is non-returnable. Cancelling or making changes to an order after acceptance will be subjected to a restocking fee.
WARRANTY. All new products are guaranteed to be free from defects in material or workmanship for a period of at least twelve (12) months from the date of delivery unless specified by mfg. warranty. Defective products will be repaired or replaced with proof of purchase. All used products are sold AS IS with NO WARRANTY and may not be returned.

Subtotal 373,277.70
Total 373,277.70

 PRINT NAME

 TITLE

 SIGNATURE

 DATE



STATE OF IOWA
MASTER AGREEMENT
Contract Declaration and Execution

MA 005

19061

EFFECTIVE BEGIN DATE: 08-31-2018
EXPIRATION DATE: 01-21-2023
PAGE: 1 of 4

VENDOR:

All Makes Office Interiors

VENDOR CONTACT:

Breanna Peters

ISSUER:

Julie Janssen

**500 E COURT AVE STE 150
DES MOINES, IA 50309-2041**

PHONE: 515-282-2166

EXT:

PHONE: (515) 281-5602

EMAIL: BreannaP@allmakes.com

EMAIL: julie.janssen@iowa.gov

FOB: FOB Dest, Freight Prepaid

Contract For: Allsteel Office Furniture and Related Services

The State of Iowa and Paragon Commercial Interiors establish this agreement under the terms and conditions of NASPO VALUEPOINT MA#144 and Master Agreement 18266. The attached Participating Addendum serves to modify and amend the contract between Allsteel and the State of Iowa. The Parties agree to comply with the terms and conditions on the following attachments which are by this reference made a part of the Agreement.

Attachment 1: NASPO VALUEPOINT Competitive Solicitation RC17020.

Attachment 2: NASPO VALUEPOINT - Allsteel CONTRACT #MA144.

Attachment 3: NASPO VALUEPOINT - Allsteel Pricing Sheets. <https://cms.allsteeloffice.com/Pages/Markets-We-Serve/Government/NASPOValuePoint/Overview2018.aspx>

Attachment 4: NASPO VALUEPOINT - Allsteel PRICING MATRIX.

Attachment 5: NASPO VALUEPOINT - Allsteel STATE OF IOWA Participating Addendum.

This Contract is associated with NASPO VALUEPOINT MA144 for discounts and pricing on Allsteel office furniture and related service and solutions.

PAYMENT TERMS: NET 60

DELIVERY TERMS: FOB Freight Destination.

INVOICING: Invoicing will be direct through contracted dealer. Any orders placed by State of Iowa agencies and political subdivisions must reference NASPO VALUEPOINT contract #MA144 and State of Iowa master agreement 19061.

SALES CONTACT: Breanna Peters, 515-331-8587, BreannaP@allmakes.com

APPROVED DEALER ADDRESSES: All Makes Office Equipment, 500 E Court Ave Suite 150, Des Moines, Iowa 50309. 2558 Farnham St, Omaha, NE 68131

RENEWAL OPTIONS

AUTHORIZED DEPARTMENT

ALL

SUB Other Governmental Entities



STATE OF IOWA
MASTER AGREEMENT
 Contract Declaration and Execution

MA 005

19061

EFFECTIVE BEGIN DATE: 08-31-2018
 EXPIRATION DATE: 01-21-2023
 PAGE: 2 of 4

LINE NO.	QUANTITY / SERVICE DATES	UNIT	COMMODITY / DESCRIPTION	UNIT COST / PRICE OF SERVICE
----------	--------------------------	------	-------------------------	------------------------------

1	0.00000	EA	425	\$ 0.000000
				\$ 0.000000

REF DOC: REF VNDR LN: REF COMM LN: REF TYPE: FINAL

FURNITURE: OFFICE
FURNITURE: OFFICE

The State of Iowa has signed a participating agreement with NAPSO VALUEPOINT for ALLSTEEL INC.

All purchase orders issued by the purchasing entities within the jurisdiction of this Addendum shall identify your organization as a government entity and provide Contract number MA144 and MA18266.

Serving Dealers will assist with price quotes, specifying product, design and color selections, delivery, installation, and warranty.

It is the responsibility of the ordering Agency to ensure that the Contractor is given the correct delivery and billing address.

Please see Discount Matrix and Price Lists.

Specifying information is located throughout the Price Lists. Actual samples are available by contacting your Servicing Dealer.

2	0.00000	EA	93145	\$ 0.000000
				\$ 0.000000

REF DOC: REF VNDR LN: REF COMM LN: REF TYPE: FINAL

Furniture Installation and Reconfiguration Services
Furniture Installation and Reconfiguration Services

Installation Services include all labor required to disassemble, assemble, deliver, set-up, install, and otherwise finish an office installation or remodel project.

3	0.00000	EA	93145	\$ 0.000000
				\$ 0.000000

REF DOC: REF VNDR LN: REF COMM LN: REF TYPE: FINAL

Furniture Installation and Reconfiguration Services
Design, Consulting and Professional Services

Design, Consulting and Professional Services include all labor required to finish an office installation or remodel project.

4	0.00000	EA	97742	\$ 0.000000
				\$ 0.000000

REF DOC: REF VNDR LN: REF COMM LN: REF TYPE: FINAL

Furniture, Office, Rental or Lease



STATE OF IOWA
MASTER AGREEMENT
Contract Declaration and Execution

MA 005

19061

EFFECTIVE BEGIN DATE: 08-31-2018
EXPIRATION DATE: 01-21-2023
PAGE: 3 of 4

LINE NO.	QUANTITY / SERVICE DATES	UNIT	COMMODITY / DESCRIPTION	UNIT COST / PRICE OF SERVICE
----------	--------------------------	------	-------------------------	------------------------------

Furniture Installation and Reconfiguration Services

Lease Agreements for Office Furniture.



STATE OF IOWA
MASTER AGREEMENT
 Contract Declaration and Execution

MA 005

19061

EFFECTIVE BEGIN DATE: 08-31-2018
 EXPIRATION DATE: 01-21-2023
 PAGE: 4 of 4

TERMS AND CONDITIONS

Goods Effective 1 May 16

The parties agree to comply with the terms and conditions on the following web site which are by this reference made a part of the Agreement. General Terms and Conditions for goods contracts are posted at: <https://das.iowa.gov/sites/default/files/procurement/pdf/050116%20terms%20goods.pdf>

Services Effective 1 May 16

The parties agree to comply with the terms and conditions on the following web site which are by this reference made a part of the Agreement. General Terms and Conditions for service contracts are posted at: <https://das.iowa.gov/sites/default/files/procurement/pdf/050116%20terms%20services.pdf>

THIS MASTER AGREEMENT IS EFFECTIVE AS OF THE LATEST DATE SHOWN IN "EFFECTIVE BEGIN DATE" IN THE UPPER RIGHT HAND CORNER OR THE DATE BELOW SIGNED BY THE STATE OF IOWA.

CONTRACTOR	STATE OF IOWA
CONTRACTOR'S NAME (if other than an individual, state whether a corp, partnership, etc.) <i>All Makes Office Interiors</i>	AGENCY NAME DAS CENTRAL PROCUREMENT & FLEET ENTERPRISE
BY (Authorized Signature) Date Signed <i>Kelly Coenen</i> 8-21-18	BY (Authorized Signature) Date Signed <i>Julie Janssen</i> 8-21-2018
Printed Name and Title of Person Signing <i>Kelly Coenen, Vice President</i>	Printed Name and Title of Person Signing Julie Janssen, Purchasing Agent III
Address <i>600 E. Court Ave #150 Des Moines, IA 50309</i>	Address Hoover Building, 3rd Floor 1305 E Walnut Street Des Moines, Iowa 50319



all makes

500 E. Court Avenue
Suite 150
Des Moines, IA 50309
P: (515) 282-2166

City of West Des
Moines
Phase 2
1st Floor

REVISIONS

01.28.19
04.17.19
06.05.19
06.12.19

Scale:
Site Measure:
x
Job #:

Preliminary Plan

This drawing is for
reference only, not
for construction.





all makes

500 E. Court Avenue
Suite 150
Des Moines, IA 50309
P: (515) 282-2166

City of West Des Moines
Phase 2
2nd Floor

REVISIONS

01.28.19
04.17.19
06.05.19
06.12.19
06.17.19

Scale:

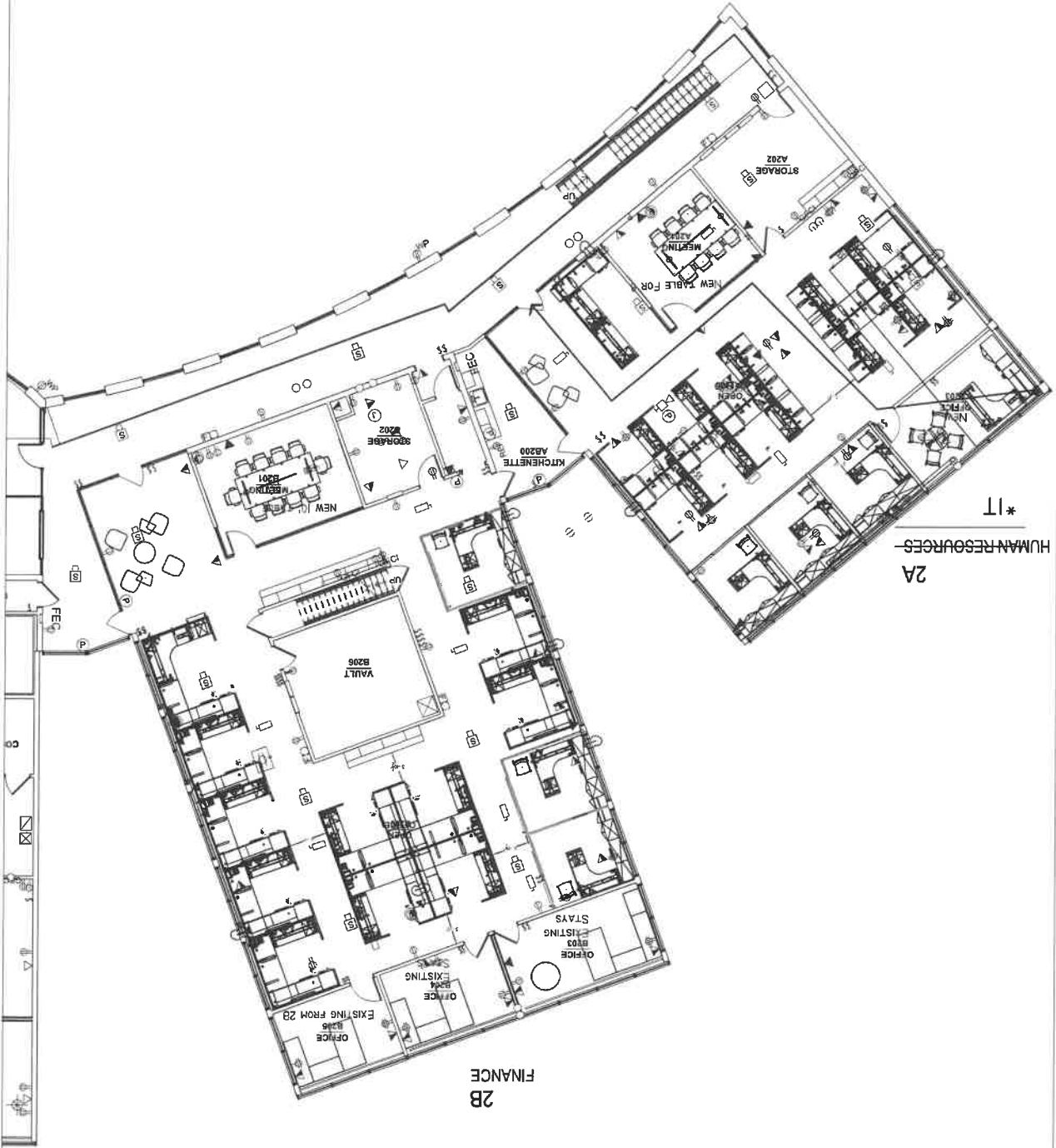
Site Measure:

x

Job #:

Preliminary Plan

This drawing is for reference only, not for construction.



2A
HUMAN RESOURCES
*IT

2B
FINANCE



all makes

500 E. Court Avenue
Suite 150
Des Moines, IA 50309
P: (515) 282-2166

**City of West Des
Moines**

**Standard New
Workstation
Typicals**

REVISIONS

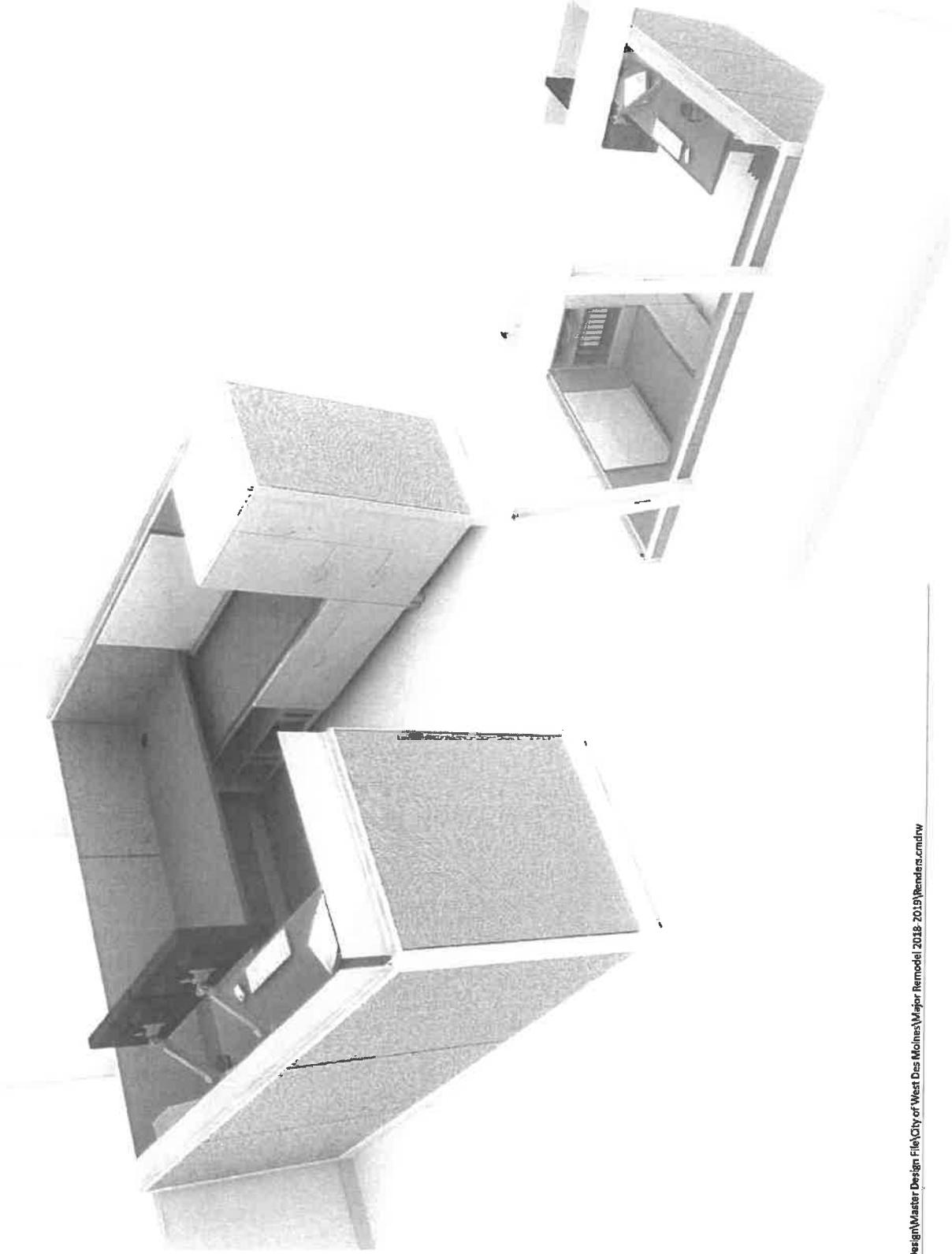
Site Measure:

X

Job #:

Preliminary Plan

This drawing is for
reference only, not
for construction.





all makes

500 E. Court Avenue
Suite 150
Des Moines, IA 50309
P: (515) 282-2166

City of West Des
Moines

Large
Workstations

2D & 1D

REVISIONS

Site Measure:
X

Job #:

Preliminary Plan

This drawing is for
reference only, not
for construction.



Large Workstation Typical
- 2D & All of Phase 2

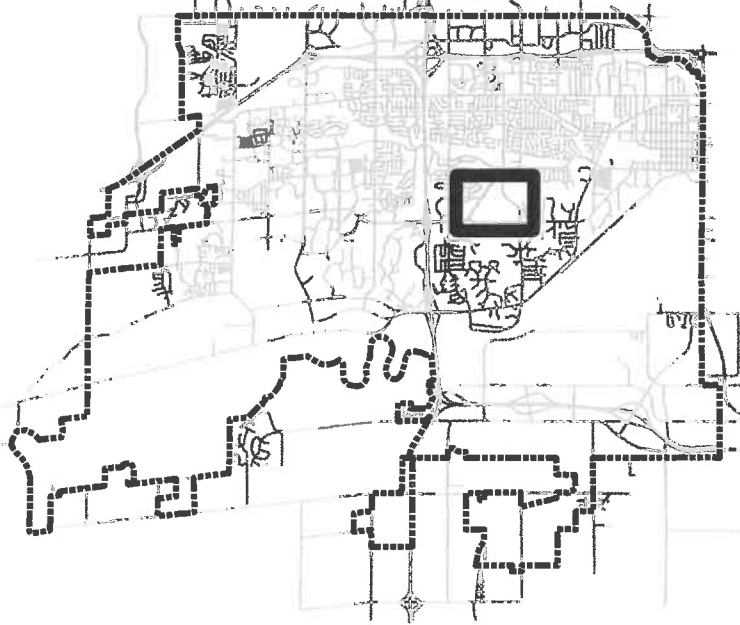


Large Workstation Typical
- Variations for 1D





VICINITY MAP



LEGEND

PROJECT LOCATION



PROJECT:

City Hall Renovations

LOCATION:

4200 Mills Civic Parkway

DRAWN BY: JDR

DATE: 04/25/2018

PROJECT NUMBER : 0510-052-2017
SUBDIVISION NAME:

SHT. 1 of 1

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM:

Resolution - Establishing Public Hearing
Regarding the Final Design, Site Selection and Consideration of Acquiring Agricultural Property
Sugar Creek Conveyance Phase 2

FINANCIAL IMPACT:

None at this time.

BACKGROUND:

State law requires a public hearing prior to the authorization for acquisition of agricultural property necessary for a public improvement project. A Public Hearing should be scheduled for 5:35 p.m. on August 5, 2019.

A copy of the notice that will be mailed to property owners is included in the packet.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

OUTSTANDING ISSUES: None.

RECOMMENDATION:

City Council Adopt:

- Resolution Establishing Public Hearing Regarding the Final Design, Site Selection and Consideration of Acquiring Agricultural Property
- Ordering the City Clerk to publish the notice of intent to commence a Public Improvements project and to Acquire Agricultural Land

Lead Staff Member: Brian J. Hemesath, P.E., City Engineer *BJA*

STAFF REVIEWS

Department Director	Brian J. Hemesath, P.E., City Engineer
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Richard Scieszinski, City Attorney <i>JAS</i>
Agenda Acceptance	<i>(W)</i>

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**RESOLUTION ESTABLISHING PUBLIC HEARING REGARDING THE FINAL DESIGN,
SITE SELECTION AND CONSIDERATION OF ACQUIRING AGRICULTURAL
PROPERTY**

**SUGAR CREEK CONVEYANCE PHASE 2
PROJECT NO. 0510-021-2016**

WHEREAS, the City of West Des Moines is initiating the construction of above named project (hereinafter "Project") which will include the acquisition of private property necessary for the location, construction and operation of stormwater conveyance improvements;

WHEREAS, the acquisition of private property necessary for the Project includes agricultural property; and

WHEREAS, Code of Iowa Section 6B.2A requires a municipality to hold a public hearing to receive input regarding the final design and site selection for a public improvement project in which agricultural property will be acquired; and

WHEREAS, pursuant to state code it is necessary to set a public hearing date and provide written and published notice regarding the public hearing to each owner and contract purchaser of agricultural property which may be the subject of acquisition for the Project; and

WHEREAS, the City is establishing a public hearing date to receive public input regarding the general nature of the Project, determine the source of funding for the Project, review the site-specific design and location of the Project and determine if the acquisition of agricultural property, through voluntary purchase or condemnation, is for a public purpose and necessary for completion of the Project.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA THAT:

1. A public hearing time and date of 5:35 p.m. on August 5, 2019 is established to consider the Project.
2. Pursuant to Code of Iowa Section 6B.2A, written and published notice of the public hearing shall be made to each owner and contract purchaser of agricultural property which may be needed for construction of the Project.
3. Written and published notices shall be provided as required by State Code to affected property owners, tenants and contract purchasers.

PASSED AND ADOPTED on this 1st day of July, 2019.

Steven K. Gaer, Mayor

ATTEST:

Ryan T. Jacobson, City Clerk

**NOTICE OF INTENT TO COMMENCE A PUBLIC IMPROVEMENT PROJECT
AND TO ACQUIRE AGRICULTURAL LAND FOR THE PROJECT**

**SUGAR CREEK CONVEYANCE PHASE 2
PROJECT NO. 0510-021-2016**

All or a portion of the property as shown on the Parcel Location Map attached hereto as Exhibit "A".

TO: Owners and Parties in Possession

Under the provisions of Chapter 6B of the Iowa Code, a governmental body which proposes to acquire agricultural land under power of eminent domain for a public improvement project is required to give notice of intent to commence the project to all owners of such agricultural land whose properties may be acquired in whole or in part for the project (see Iowa Code §§ 6A.21(a) and 6B.2A)

1. DESCRIPTION OF THE PROJECT.

NOTICE IS HEREBY GIVEN to the above identified owners of agricultural land that the City Council of the City of West Des Moines, Iowa will consider authorizing the commencement of a project to acquire property and property interests for the construction of stormwater conveyance improvements which will comprise the Sugar Creek Conveyance Phase 2 Project to be located along Sugar Creek from Raccoon River Drive to Raccoon River.

2. PRIVATE PROPERTY MAY BE ACQUIRED BY PURCHASE OR CONDEMNATION.

If the above described project and/or acquisition of property is approved by the City Council, the City will be required to acquire property for the project improvements. Upon review of Dallas County property records, it appears that agricultural land and property interests owned by the above identified persons/entities may have to be acquired in whole or in part for the Project. The City will attempt to purchase the required agricultural land and/or property interests by good faith negotiations, and it may condemn those properties which it is unable to purchase. The proposed location of the above described public improvement is shown on a conceptual drawing of the Project which is now on file in the office of the City Clerk and available for public inspection.

3. CITY PROCESS TO DECIDE TO PROCEED WITH THE PROJECT AND TO ACQUIRE PROPERTY; CITY COUNCIL ACTION REQUIRED TO PROCEED WITH PROJECT; OPPORTUNITY FOR PUBLIC INPUT.

In making the decision to proceed with the Project and to authorize the acquisition of property and property interests, the City Council will hold a public hearing, giving persons interested in the proposed Project the opportunity to present their views, including the proposed acquisition of property. The public hearing will be held during the City Council's regularly scheduled meeting on **the 5th day of August, 2019 in the City Council Chambers, City Hall, 4200 Mills Civic Parkway, West Des Moines, Iowa, commencing at 5:35 p.m.** In order for the City to proceed, the City Council will be required to consider and approve the Project and authorize acquisition of private property by Council resolution following the public hearing.

If the Project is approved, an appraiser retained by the City will determine the compensation to be paid for property or property interests that are needed for the Project. The City will offer no less than the

appraised fair market value and will attempt to purchase only the needed property by good faith negotiations. If the City is unable to acquire property needed for the Project by negotiation, the City will acquire the property by condemnation.

4. CONTACT PERSON.

Further information regarding this proposed public improvement project or its impact on the properties identified above may be obtained by contacting **Brian Hemesath, West Des Moines City Engineer, 4200 Mills Civic Parkway, West Des Moines, Iowa 50265, or by telephone at (515) 222-3475.**

5. STATEMENT OF RIGHTS.

Just as the law grants certain entities the right to acquire private property, you as the owner of property have certain rights. You have the right to:

- a. Receive just compensation for the taking of property. (Iowa Const., Article 1, Section 18)
- b. An offer to purchase which may not be less than the lowest appraisal of the fair market value of the property. (Iowa Code §§ 6B.45, 6B54)
- c. Receive a copy of the appraisal, if an appraisal is required, upon which the acquiring agency's determination of just compensation is based, not less than ten (10) days before being contacted by the acquiring agency's acquisition agent. (Iowa Code §6B.45)
- d. When an appraisal is required, an opportunity to accompany at least one appraiser of the acquiring agency who appraises your property. (Iowa Code §6B.54)
- e. Participate in good faith negotiations with the acquiring agency before the acquiring agency begins condemnation proceedings. (Iowa Code §6B.3(1))
- f. If you cannot agree on a purchase price with the acquiring agency, a determination of just compensation by an impartial compensation commission and the right to appeal its award to district court. (Iowa Code §§ 6B.4, 6B.7, and 6B.18)
- g. A review by the compensation commission of the necessity for the condemnation if your property is agricultural land being condemned for industry. (Iowa Code § 6B.4A)
- h. Payment of the agreed upon purchase price, or if condemned, a deposit of the compensation commission award before you are required to surrender possession of the property. (Iowa Code §§ 6B.25 and 6B.54(11))
- i. Reimbursement for expenses incidental to transferring title to the acquiring agency. (Iowa Code §§ 6B.33 and 6B.54(10))
- j. Reimbursement of certain litigation expenses: (1) if the award of the compensation commissioners exceeds 110 percent of the acquiring agency's final offer before condemnation; and (2) if the award on appeal in court is more than the compensation commissioner's award. (Iowa Code § 6B.33)
- k. At least 90 days written notice to vacate occupied property. (Iowa Code § 6B.54(4))

1. Relocation services and payments, if you are eligible to receive them, and the right to appeal your eligibility, and the amount of payments. (Iowa Code §316.9)

The rights set out in this Statement are not claimed to be a full and complete list or explanation of an owner's rights under the law. They are derived from Iowa Code Chapters 6A, 6B and 316. For a more thorough presentation of an owner's rights, you should refer directly to the Iowa Code or contact an attorney of your choice.

This Notice is given by authority of the City Council of the City of West Des Moines, Iowa.

/s/ Ryan T. Jacobson
City Clerk, West Des Moines, Iowa

To be published in the Des Moines Register no less than four (4) nor more than twenty (20) days before August 5, 2019.

Mailed to all affected Property Owners on June 25, 2019.

**Agricultural Properties
Sugar Creek Conveyance Phase 2
0510-021-2016**

Parcel No.	Mail Name	Mail Address	Mail City	Mail ST	Mail ZIP
1626100003	Hallett Construction Company	PO Box 55038	Lexington	KY	40555
1626100005	Hallett Construction Company	PO Box 55038	Lexington	KY	40555
1626200005	Hallett Construction Company	PO Box 55038	Lexington	KY	40555
1626300003	Hallett Construction Company	PO Box 55038	Lexington	KY	40555
1626400001	Hallett Construction Company	PO Box 55038	Lexington	KY	40555

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM: Resolution Approval and acceptance of Quit Claim Deed necessary for the clearing of title to the vacated part of old Ashworth Road right-of-way, Project No. 0510 031 2016

FINANCIAL IMPACT: Previously paid - \$50.00 pursuant to Code of Iowa Section 649.5

SYNOPSIS: In April 1913, the Nellie McCurnin Trust dedicated land to the City for road purposes (now known as the vacated part of old Ashworth Road right-of-way lying East of Lot 2, McCurnin Place, and West of a line which is West of the Center line of Section 11, Township 78 North, Range 25 West of the 5th P.M.). It was discovered that a deed was never recorded for such transfer. In June 2012, the Nellie McCurnin Trust filed an Affidavit of Possession claiming a right to the vacated part of old Ashworth Road right-of-way. As part of the process to clear title to said vacated right-of-way for the Grand Ave. Reconstruction Project – 1st Street to 6th Street, the Nellie McCurnin Trust has agreed to waive said claim to possession by executing a quit claim deed pursuant to Code of Iowa Section 649.5.

For policy and title purposes, formal acceptance by the City of quit claim deeds is required. The attached resolution approves acceptance of the property interests.

RECOMMENDATION:

Adopt resolution accepting the Property Interests for the Clearing of Title to the Vacated Part of Old Ashworth Road Right-of-Way

Lead Staff Member: Jessica D. Spoden, Assistant City Attorney *JDS*

STAFF REVIEWS

Department Director	Richard J. Scieszinski, City Attorney
Appropriations/Finance	<i>[Signature]</i>
Legal	<i>[Signature]</i>
Agenda Acceptance	<i>[Signature]</i>

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee	None		
Date Reviewed			
Recommendation	Yes	No	Split

RESOLUTION NO. _____

**AUTHORIZING APPROVAL AND ACCEPTANCE OF PROPERTY INTERESTS FOR THE
CLEARING OF TITLE TO THE VACATED PART OF OLD ASHWORTH ROAD RIGHT-OF-WAY,
PROJECT NO. 0510 031 2016**

WHEREAS, in April 1913, the Nellie McCurnin Trust dedicated land to the City for road purposes (now known as the vacated part of old Ashworth Road right-of-way lying East of Lot 2, McCurnin Place, and West of a line which is West of the Center line of Section 11, Township 78 North, Range 25 West of the 5th P.M.), and

WHEREAS, it was discovered that a deed was never recorded for the transfer, and

WHEREAS, in June 2012, the Nellie McCurnin Trust filed an Affidavit of Possession claiming a right to the vacated part of old Ashworth Road right-of-way; and

WHEREAS, as part of the process to clear title to said vacated right-of-way for the Grand Ave. Reconstruction Project – 1st Street to 6th Street, the Nellie McCurnin Trust has agreed to waive said claim to possession by executing a quit claim deed pursuant to Code of Iowa Section 649.5; and

WHEREAS, it is the policy of the City of West Des Moines, Iowa, to approve the conveyance of all property interests to the City; and

WHEREAS, documents conveying property interests for the clearing of title have been presented to the City for approval; and

WHEREAS, it is in the best interest of the citizens of the City to approve and accept the above-described documents.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA THAT:

1. The documents described above conveying property interests to the City of West Des Moines, Iowa, are hereby approved and accepted.
2. The City Clerk is directed to certify the Council's approval and acceptance.
3. The documents shall be filed with the county recorder as appropriate.

PASSED AND ADOPTED this 1st day of July, 2019.

Steven K. Gaer, Mayor

ATTEST:

Ryan T. Jacobson
City Clerk

NO CHANGE FROM PREVIOUS READING

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

Date: July 1, 2019

ITEM: Grand Ridge PUD, 1809 S. 50th Place – Establish a Planned Unit Development (PUD) Ordinance to preserve trees and adjust bulk standards – Lowry Company LLC – ZC-004310-2019

ORDINANCE: Approval of Second Reading, Waive Third Reading, and Adopt in Final Form to Establish PUD

FINANCIAL IMPACT: Undetermined.

BACKGROUND: Bill Lowry of the Lowry Company LLC is requesting that a Planned Unit Development (PUD) ordinance be established for the remaining portion of the Boone Family Farm located at 1809 S. 50th Place. The developer is requesting a PUD to modify the minimum lot square footage required and front and rear yard setbacks for select lots to respect topography and trees. The PUD will reduce the minimum lot size from 40,000sf to 30,000sf for lots 1, 2 and 10; and the front and rear yard setbacks for lots 1, 2, 7, and 10 to be reduced from 50 feet to 35 feet.

Previous Council Action:

Vote: 5-0 approval

Date: June 17, 2019

Motion: Approval of the First Reading of the ordinance

OUTSTANDING ISSUES: There are no outstanding issues.

RECOMMENDATION – Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the City Council approve the second reading, waive the third reading and adopt the ordinance in final form.

Lead Staff Member: Kara Tragesser, AICP

Staff Reviews:

Department Director	<i>[Signature]</i>
Appropriations/Finance	
Legal	<i>[Signature]</i>
Agenda Acceptance	<i>[Signature]</i>

PUBLICATION(S) (if applicable)

Published In	Des Moines Register	
Date(s) Published	May 17, 2019	
Letter sent to surrounding property owners		May 14, 2019

SUBCOMMITTEE REVIEW (if applicable)

Committee	Development & Planning		
Date Reviewed	May 20, 2019		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

ATTACHMENT:

Exhibit I – ORDINANCE

Attachment A – Rezoning Sketch

Prepared by: K Tragesser, Development Services, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265
Return To: City Clerk, City of West Des Moines, P.O. Box 65320, West Des Moines, IA 50265
Tax Statement: Not Applicable

ORDINANCE NO.

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP AND THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA, 2019 BY AMENDING TITLE 9, ZONING, CHAPTER 9, PLANNED UNIT DEVELOPMENT DISTRICT, PERTAINING TO P.U.D. (PLANNED UNIT DEVELOPMENT) DISTRICT REGULATIONS AND GUIDELINES TO ESTABLISH THE GRAND RIDGE PUD

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:

SECTION 1. AMENDMENT: Amend the Zoning Map of the City of West Des Moines, Iowa, to change the zoning of the following legally described property from Residential Estate (RE-IA) to Grand Ridge Planned Unit Development (PUD):

Legal Description

THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 19, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, LYING NORTH OF THE CENTERLINE OF GRAND AVENUE AS IT PRESENTLY EXISTS, EXCEPT THAT PART LYING WEST OF INTERSTATE NO. 35 AND EXCEPT THOSE PARTS CONVEYED TO THE STATE OF IOWA BY WARRANTY DEEDS RECORDED IN BOOK 3005, PAGE 491 AND BOOK 13732, PAGE 407 IN THE OFFICE OF THE POLK COUNTY RECORDER, POLK COUNTY, IOWA

AND

THE EAST 33 FEET OF THE SOUTH 1/2 SE1/4 OF SECTION 19, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M. EXCEPT THE SOUTH 740 FEET, WEST DES MOINES, POLK COUNTY, IOWA THAT IS ALL MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SE CORNER OF QUAIL COVE PLAT 1, AN OFFICIAL PLAT RECORDED IN BOOK 9044, PAGE 204 AT THE POLK COUNTY RECORDER'S OFFICE, SAID SE CORNER ALSO BEING ON THE WEST LINE OF QUAIL RIDGE PARK, AN OFFICIAL PLAT RECORDED IN BOOK 7836, PAGE 74 AT THE POLK COUNTY RECORDER'S OFFICE; THENCE S00°26'13"E, 652.81 FEET ALONG A LINE THAT COINCIDES THE WEST LINE OF SAID QUAIL RIDGE PARK AND THE WEST LINE OF QUAIL MEADOWS WEST, AN OFFICIAL PLAT RECORDED IN BOOK 8006, PAGE 121 AT THE POLK COUNTY RECORDER'S OFFICE, TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF GRAND AVENUE AS IT IS PRESENTLY ESTABLISHED; THENCE S89°49'15"W, 40.38 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO A POINT; THENCE S08°59'54"W 335.71 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO A POINT; THENCE S89°55'23"W, 360.67 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF US INTERSTATE I-35; THENCE N47°49'29"W, 587.13 FEET ALONG SAID

EAST RIGHT-OF-WAY LINE TO A POINT; THENCE N19°36'41"W, 622.63 FEET ALONG THE SAID EAST RIGHT-OF-WAY LINE AS ESTABLISHED IN THE ACQUISITION PLAT RECORDED IN BOOK 13732, PAGE 407 AT THE POLK COUNTY RECORDER'S OFFICE; THENCE N22°54'18"W, 1.00 FEET ALONG SAID EAST RIGHT-OF-WAY LINE AS ESTABLISHED IN THE ACQUISITION PLAT RECORDED IN BOOK 13581, PAGE 26 AT THE POLK COUNTY RECORDER'S OFFICE TO A POINT ON THE SOUTH LINE OF SAID QUAIL COVE PLAT 1; THENCE N89°49'28"E, 1093.06 FEET ALONG SAID SOUTH LINE OF QUAIL COVE PLAT 1 TO THE POINT OF BEGINNING AND CONTAINING 18.96 ACRES MORE OR LESS.

SECTION 2. SKETCH PLAN: Attached hereto and made a part of this rezoning approval, for concept description and delineation is the Sketch Plan document for the Grand Ridge PUD marked Exhibit "A". The Sketch Plan is a graphic representation of the property included in the PUD delineating the approximate location and configuration of the PUD Parcels for the purpose of easier reference for the applicable regulations of this Ordinance. Wherever conflict occurs between the written text in this document and the notations on the Sketch Plan, the written text shall prevail.

SECTION 3. DEVELOPMENT INTENT: To provide the framework for a large lot single-family residential neighborhood that allows for development while encouraging preservation of the site's natural characteristics and accommodates the channel pattern of the creek dividing the site.

SECTION 4. REQUIRED PLANS: Prior to or in conjunction with development or transfer of ownership of any portion of the property covered by this PUD, the following plans shall be required:

- A. Preliminary Plat and Final Plat: The PUD area shall be platted in accordance with the City's Subdivision Ordinance. Parcels created via the Plat-of-Survey process and platted Outlots identified on a plat shall be unbuildable until such time that the plat-of-survey parcel and/or Outlot is re-platted into a developable lot through the preliminary plat and final plat process.

SECTION 5. CONDITIONS: Whereas, Title 9, Chapter 9, PUD Planned Unit Development District of the City Code, establishes certain regulations and guidelines pertaining to accompanying information required on plat and site plan documents. Now, therefore, the following conditions, restrictions, and regulations are adopted as part of this approval in addition to the PUD Sketch Plan.

1. General Conformance To Subdivision Ordinance: All subdivisions, public and private streets, public or private street rights-of-way and general development shall adhere to the standards and design criteria set forth in the West Des Moines Subdivision Ordinance and/or established City policies pertaining thereto, unless otherwise stated within this Ordinance.
2. General Conformance to Zoning Ordinance: Unless otherwise specified herein, the development of the PUD shall comply with the provisions of the West Des Moines Zoning Ordinance.
3. Flood Hazard: In all areas within a 100-year frequency flood hazard zone, or adjoining drainage ways, and detention ponding areas involving potential flood hazards, no building shall be erected which has a lowest level floor, including basements, less than one foot (1') above the determined level of the 100-year frequency flood event. Buildings shall not be permitted within twenty five feet (25') of any easement or property boundary of a major drainage way, storm water detention basin or pond unless said location is approved as part of the development entitlement by the city council and said building is structurally designed accordingly.
4. Developer Responsibilities: The Developer, their successors and/or assigns, if any, shall pay all planning, engineering, and construction costs for the development of the planned unit development, as required by this Ordinance and approved site plans. Developer shall be responsible for cost of all streets, storm sewers, sanitary sewers, drainage way improvements, detention basins, water mains, buffers and other improvements as required of the development. Developer shall dedicate appropriate rights-of-way and/or public easements required within the PUD, unless otherwise approved by the City Council.

5. Sanitary Sewer: Any proposed change in approved land use densities for the PUD will require an analysis of the downstream sanitary sewer capacity to assure that adequate capacity is available for the proposed change in approved land use densities.
6. Private On-Site Sewer: Private on-site sewer systems will be allowed on platted lots 8, 9, and 10 or lots on the northwest corner of the site gaining access from Cherrywood Drive.
7. Street Lighting: The Developer shall be responsible for all costs associated with the installation of public street lights within or adjacent to any area proposed to be platted or included within a development.
8. Mailboxes: The Developer shall be responsible for installation of any required Cluster Box Units (CBUs / mailboxes) required by the local U.S. Postal Service Post Office.
9. All homes within the PUD must have a fire sprinkler system in accordance with West Des Moines Fire Code provisions due to the length of the streets accessing the development.

SECTION 6. LAND USE DESIGN CRITERIA: In addition to the general criteria as stated above, the following land use regulations, development standards, and design criteria shall apply to the development of all areas designated on the Sketch Plan:

All general use regulations and provisions set forth in Title 9, Zoning of the West Des Moines City Code for Residential Estate (RE-1A) shall apply to any development proposal for the property, unless noted otherwise in this ordinance.

1. The minimum lot size permitted in this development shall be 40,000 square feet, except lots 1, 2, and 10 which shall be no less than 30,000 square feet.
2. Minimum lot width shall be no less than 100' as measured at the front building setback line.
3. Building height shall be in accordance with the requirements for the Residential Estate zoning district as set forth in Title 9, Chapter 7.
4. Building Setbacks: Setbacks for all residential development shall be as follows:
 - a. Front Yard: a minimum of 50', except lots 1, 2, 7, and 10, which will be allowed a minimum 35' front yard setback
 - b. Rear Yard: a minimum of 50', except lots 1, 2, 7, and 10 which will be allowed a minimum 35' rear yard setback
 - b. Side Yard: 20' as measured to the foundation with no other element of the building encroaching into the setback by more than two feet.
 - c. For detached structures on lots 1 and 2, the maximum size of the total of all structures is 1,000 gross square feet.

SECTION 7. BUFFERS: No buffers will be required in this development. The developer or individual property owner may install additional landscaping along the east boundary adjacent to the medium density/townhome development and along the interstate right-of-way as they deem appropriate to mitigate views or buffer adjacent higher intensity uses.

SECTION 8. PARKLAND DEDICATION: An area of land calculated by a set formula based upon the density (total number of dwelling units) of the proposed development is required to be dedicated for purposes of a public park and greenway as per city code. A Parkland Dedication Agreement, acceptable to the Park and Recreation Department, detailing the specifics related to the Parkland Dedication requirements for the development of any area contained within the PUD is required to be executed in conjunction with the Final Platting of the subdivision.

SECTION 9. MASTER PROPERTY OWNERS ASSOCIATION: If deemed applicable, proper action shall be taken to establish a master property owners association. The property owners association shall be responsible for the

ongoing upkeep and maintenance of any common grounds as outlined in the association documents and any other specific development improvements noted as their responsibility in this ordinance.

SECTION 10. TREE PRESERVATION: The intent of this section is to recognize existing areas containing trees of significant size, value, and quantity such that the environmental aesthetic is enhanced by these areas. At the time of platting, existing tree cover on the site shall be protected and any loss mitigated. Removal of trees will be permitted for diseased, dead, damaged, or of a species not commonly recognized as being desirable. For all other trees removed one inch of caliper at breast height of overstory trees shall be provided for every inch of caliper at breast height of removed trees. At the time of Building Permit Application for each home, documentation from a certified arborist or ASLA licensed landscape professional shall be provided to the Development Services department of the City, indicating trees to be removed, the reason for tree removal and whether replacement is required. Tree replacement shall occur prior to issuance of a final occupancy permit for the home.

- A. Trees shall not be planted closer than five feet (5') to a sidewalk as measured from the center of the tree.
- B. No vegetation which obstructs visibility shall be located within the site triangle of intersecting streets and private drives, including residential driveways.

SECTION 11: ARCHITECTURE: The intent of these regulations is to create building façades throughout this development that are varied and articulated to provide visual interest. Architectural design for single family dwellings shall accomplish this by careful attention to exterior building materials and details, use of windows and doors, and change in building mass within the plan and roof design. Non – masonry materials, fenestration, and trim used on the front façade shall be continued around all sides of the building. However, the level of detail can be reduced on the facades not facing a street. Care should be taken in the design of the building to keep grading and tree removal to a minimum.

Exteriors of the dwellings and accessory structures shall incorporate materials such as brick, stone, lap or vertical siding, shakes, decorative trim or similar combination of material which incorporates elements typical of the chosen architectural style. Use of natural materials is encouraged, composite materials such as fiber cement and wood composites are appropriate substitutions. Vinyl siding may be used only with appropriately scaled and detailed trim and not as the primary cladding material. Changes in materials should be aligned with changes in plan or roof form to emphasize these changes in building mass and shall have the appearance of 3-dimensional elements. Trim and structural elements such as posts or columns shall be sized to the scale of the building and detailed appropriately to the style. Masonry shall be incorporated into the building architecture on the front and side facades, and in a proportion that provides a strong visual presence. Fenestration (door and window openings) shall be sized to the scale of the building and be compatible with the chosen architectural style.

Detached garages or accessory structures should incorporate architectural details of the primary building with the use of roof forms, materials, fenestration and other facade detailing.

Garage Orientation: Garages shall be sited to minimize the visual presence to the street. To facilitate this requirement, acceptable garage orientations include:

- A. Street Oriented Garage: garages that open to the street are strongly encouraged and desired to be recessed behind the front plane of the house a minimum of five feet (5'). In no case shall the garage project more than five feet (5') in front of the plane of the house.
 - 1. In situations where the garage is located less than five feet (5') behind the front plane of the house, the third car garage, if applicable, must be stepped back a minimum of four feet (4') from the front of the two (2) car garage with all garage doors to be individual one car doors.
 - 2. In situations where the garage projects up to five (5') in front of the plane of the house, a covered porch shall be constructed that is at least the width equal to twenty five percent (25%) of the total width of the house and at least five unobstructed feet (5') in depth.
- B. Side Loaded Garage: garages that open to a side yard. This garage orientation can be located in front of the house equal to the building setback for the house. Side loaded garages should incorporate architectural details such as windows, doors, and other detailing on the street facade in order to present a house appearance thus disguising the garage function.

SECTION 12. SIGNAGE REGULATION: Signage shall comply with all provisions and standards of Title 9, Chapter 18 for the Residential Estate (RE) Zoning District.

SECTION 13. STORM WATER MANAGEMENT: A Storm Water Management Plan will be required with the platting of this property. The Developer will have said Storm Water Management Plan prepared by a Professional Engineer licensed in the State of Iowa, in conjunction with the submittal of a preliminary plat for the development of the property. The Storm Water Management Plan shall comply with the City's current design standards for storm water management. The method of storm water management and the storm water conveyance system shall be determined prior to City approval of a preliminary plat.

At time of platting, ownership and responsibility for all storm water detention areas and private storm water detention outlet structures will need to be established through the execution of a Storm Water Facility Maintenance Agreement prepared by the City with information provided by the developer. This agreement essentially provides that the property owner will maintain and repair their storm water facilities. If they fail to do so, the city will make repairs or perform maintenance and assess all costs back to the property owner. As part of the maintenance agreement, the property owner will be responsible to provide a letter certifying the detention facility in in conformance with the approved Storm Water Management Plan. The property owner also will need to provide as-built drawings of the detention facilities. Both the letter and as-builts will need to be signed and sealed in accordance with Chapter 6, 193c-6.1(542B) of the Iowa Code.

SECTION 14. PUBLIC IMPROVEMENTS: The developer shall be responsible for constructing and/or installing the public infrastructure necessary to support development within the subdivision in a manner that will assure that the public infrastructure functions at an acceptable level of service (per the City's Comprehensive Plan) and that it complies with all City Ordinances. Public improvements must be accepted by the city prior to issuance of any occupancy permit, including temporary occupancy permits.

SECTION 15. REPEALER: All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 16. SAVINGS CLAUSE: If any section, provision, sentence, clause, phrase or part of the Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

SECTION 17. VIOLATIONS AND PENALTIES: Any person who violates the provision of this Ordinance upon conviction shall be punished as set forth in Section 1-4-1 of the City Code of the City of West Des Moines, Iowa.

SECTION 18. OTHER REMEDIES: In addition to the provisions set out in the Violations and Penalties Section herein, the City may proceed in law or equity against any person, firm or corporation for violation of any section or subsection of this Ordinance.

SECTION 19. EFFECTIVE DATE: This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

Passed and approved by the City Council on this _____ day of _____ 2019.

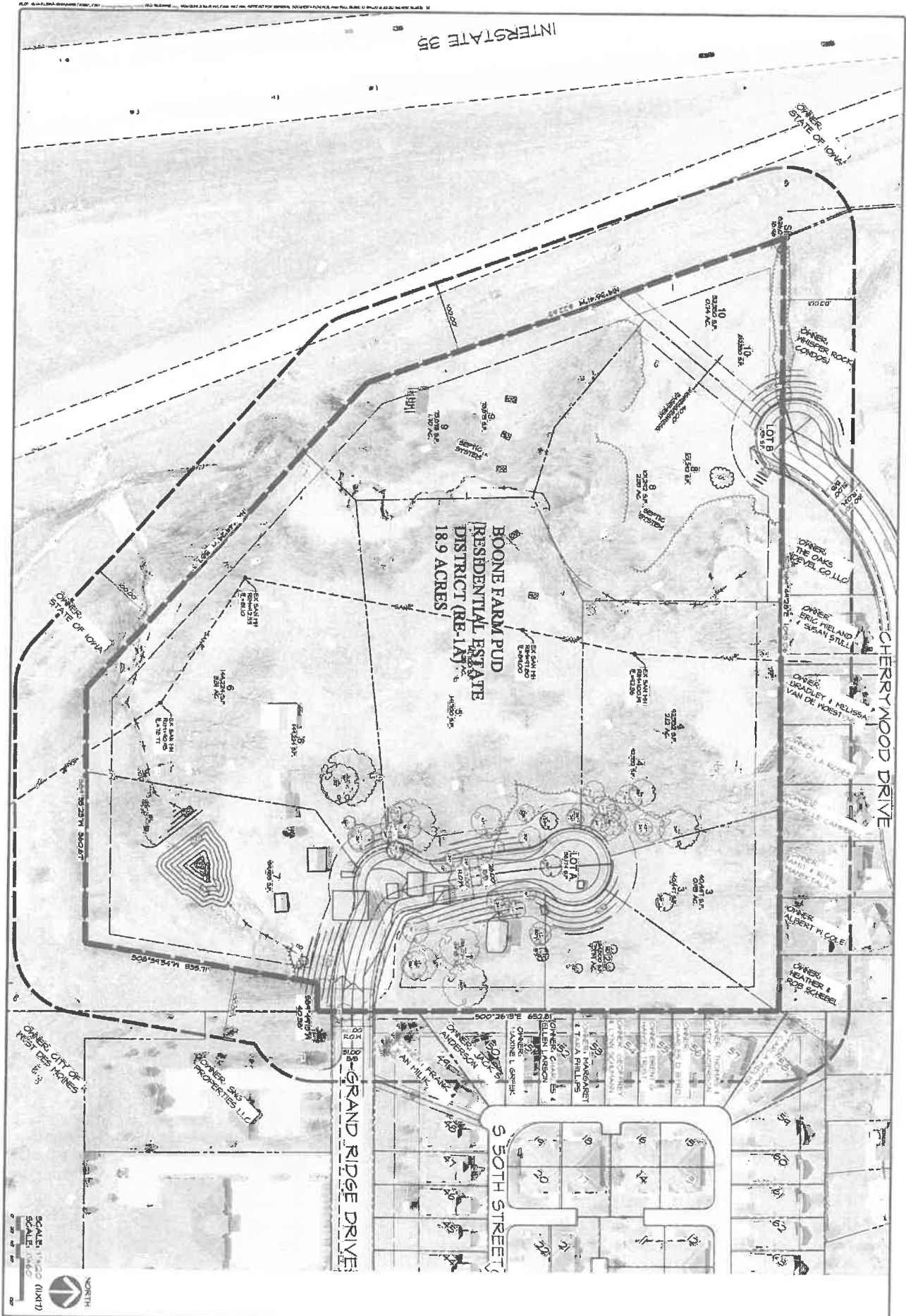
Steve K. Gaer, Mayor

ATTEST:

Ryan T. Jacobson, City Clerk

I certify that the foregoing was published as Ordinance No. _____ on the ____ day of _____ 2019.

Ryan T. Jacobson, City Clerk



SHEET 2 OF 2 A-100	BOONE FARM REZONING	DATE: 01-06-2018 DATE OF SURVEY: 01-26-2018 DESIGNED BY: ARP DRAWN BY: JMB	<table border="1"> <thead> <tr> <th>REVISIONS</th> <th>COMMENTS</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> </tr> <tr> <td>2</td> <td></td> </tr> <tr> <td>3</td> <td></td> </tr> <tr> <td>4</td> <td></td> </tr> <tr> <td>5</td> <td></td> </tr> </tbody> </table>	REVISIONS	COMMENTS	1		2		3		4		5		Civil Engineering Consultants, Inc. 2400 86th Street, Unit 12 - Des Moines, Iowa 50322 515.276.4884 - Fax: 515.276.7084 - mail@cecinc.com
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NO CHANGE FROM PREVIOUS READING

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

Date: July 1, 2019

ITEM: Jordan Creek Town Center PUD, Northwest corner of S. 68th Street and Mills Civic Parkway – Amend Jordan Creek Town Center PUD to allow SIC 7542, Car washes, as a Permitted Conditional Use – GGP Jordan Creek, LLC – ZC-004335-2019

ORDINANCE: Approval of Second Reading, Waive Third and Adopt in Final Form

FINANCIAL IMPACT: Undetermined.

BACKGROUND: The applicant, Mister Car Wash, in association with the property owner, GGP Jordan Creek, LLC, has submitted an application for approval of an amendment to the Jordan Creek Town Center PUD to allow SIC 7542, Car Washes, as Permitted Conditional Use within the PUD area. The applicant proposes to construct a Mister Car Wash on the current Jordan Creek Town Center maintenance equipment storage area at the southeast corner of Bridgewood Boulevard and Jordan Creek Parkway.

Previous Council Action:

Vote: 5-0 approval

Date: June 17, 2019

Motion: Approval of the First Reading of the amendment to City Code.

OUTSTANDING ISSUES: There are no outstanding issues.

RECOMMENDATION: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the City Council approve an amendment to the Jordan Creek Town Center PUD to allow SIC 7542, Car washes, as a Permitted Conditional Use, subject to meeting all City Code requirements.

Lead Staff Member: Brian Portz, AICP *BP*

Staff Reviews:

Department Director	<i>JK</i>
Appropriations/Finance	<i>JK</i>
Legal	<i>JK</i>
Agenda Acceptance	<i>(M)</i>

PUBLICATION(S) (if applicable)

Published In	Des Moines Register
Date(s) Published	May 31, 2019
Letter sent to surrounding property owners	May 29, 2019

SUBCOMMITTEE REVIEW (if applicable)

Committee	Development & Planning		
Date Reviewed	February 4, 2019 & June 3, 2019		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

ATTACHMENTS:

Exhibit I - Proposed Ordinance

Prepared by: B. Portz, Development Services, PO Box 65320, West Des Moines, IA 50265-0320, 515-222-3620
When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

ORDINANCE NO.

AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA, 2019, AND ORDINANCES #1219, #1447, #1481, #1578, #1586, #1939, #1986, #2016, #2023 AND #2291 PERTAINING TO PLANNED UNIT DEVELOPMENT (PUD) DISTRICT REGULATIONS AND GUIDELINES, SPECIFICALLY PUD #47 JORDAN CREEK TOWN CENTER

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:

SECTION 1. AMENDMENT: Amend Ordinances #1219, #1447, #1481, #1578, #1586, #1939, #1986, #2016, #2023 and #2291 pertaining to the Jordan Creek Town Center Planned Unit Development, Section 047-06: *Conditions*, Section B: *Land Use Design Criteria; Parcels 1, 2 and 3*, Subsection 3: *Parcel 3*, Subsection a: *Allowed Uses*, is hereby amended by adding the following bold, italicized text:

(2) The following uses shall be prohibited:

Automotive repair, services, and parking (SIC 75) (except as permitted as an accessory use below) *and except that one SIC 7542, Car Wash shall be allowed within the Jordan Creek Town Center PUD with approval of a permitted conditional use.*

SECTION 2. REPEALER. All ordinances or parts of ordinances in conflict with the provision of this ordinance are hereby repealed.

SECTION 3. SAVINGS CLAUSE. If any section, provision, sentence, clause, phrase or part of the Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

SECTION 4. VIOLATIONS AND PENALTIES. Any person who violates the provisions of this Ordinance upon conviction shall be punished as set forth in Title 1, Chapter 4, Section 1 of the City Code of the City of West Des Moines, Iowa.

SECTION 5. OTHER REMEDIES. In addition to the provisions set out in the Violations and Penalties Section herein, the City may proceed in law or equity against any person, firm or corporation for violation of any section or

subsection of this Ordinance.

SECTION 6. EFFECTIVE DATE. This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

Passed and approved by the City Council on the ____ day of _____, 2019.

Steven K. Gaer, Mayor

ATTEST:

Ryan T. Jacobson
City Clerk

I certify that the foregoing was published as Ordinance No. _____ on the _____ day of _____, 2019.

Ryan T. Jacobson
City Clerk

NO CHANGE FROM PREVIOUS READING

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

Date: July 1, 2019

ITEM: Sammons Financial Group, Southwest corner of S. 81st Street and Mills Civic Parkway – Establish Sammons Financial Group Planned Unit Development (PUD) on 39.2 acres located at the SW corner of Mills Civic Parkway and S 81st Street – Sammons Financial Group, LLC – ZC-004213-2019

ORDINANCE: Approval of Second Reading, Waive Third and Adopt in Final Form

FINANCIAL IMPACT: Undetermined.

BACKGROUND: The applicant, Sammons Financial Group, LLC, is requesting approval of establishment of a new Planned Unit Development (PUD) ordinance for property located at the southwest corner of S. 81st Street and Mills Civic Parkway. The applicant is requesting to create the Sammons Financial Group Planned Unit Development with an underlying zoning classification of Office in place of the current Etzel Properties Plat 2 PUD. The applicant is proposing to develop a 6-story, 200,000 square foot office building on the north side of the site. A second phase would allow for approximately 150,000 square feet of additional space that would be connected to the first building. Specifics are not known about future building additions at this time.

At the June 17, 2019, the City Council approved a request to change approximately 12.38 acres located at the southwest corner of Mills Civic Parkway and S 91st Street from Community Commercial (CMC) to Office (OF).

Previous Council Action:

Vote: 5-0 approval

Date: July 1, 2019


Motion: Approval of the First Reading to adopt the Sammons Financial Group PUD

OUTSTANDING ISSUES: There are no outstanding issues. Staff would note that at the first reading the City Council voted to remove an access drive interconnect between PUD parcels 1 and 2. The PUD language has been updated to reflect the City Council’s direction.

RECOMMENDATION: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the City Council approve the second reading, waive the third and adopt the Sammons Financial Group PUD ordinance in final form, subject to meeting all City Code requirements.

Lead Staff Member: Brian Portz, AICP **BP**

Staff Reviews:

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	Des Moines Register
Date(s) Published	May 31, 2019
Letter sent to surrounding property owners	6/3/2019

SUBCOMMITTEE REVIEW (if applicable)

Committee	Development & Planning		
Date Reviewed	April 1, 2019		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

ATTACHMENTS:

Exhibit I - Proposed Ordinance

Prepared by: B. Portz, Development Services, City of West Des Moines, P.O. Box 65320, West Des Moines, IA 50265

Return To: City Clerk, City of West Des Moines, P.O. Box 65320, West Des Moines, IA 50265

ORDINANCE #

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP AND THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA 2019, BY AMENDING TITLE 9, ZONING, CHAPTER 9, PLANNED UNIT DEVELOPMENT DISTRICT, PERTAINING TO P.U.D. (PLANNED UNIT DEVELOPMENT) DISTRICT REGULATIONS AND GUIDELINES.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:

SECTION 1. AMENDMENT: Ordinance #2194, pertaining to Etzel Properties Plat 2 Planned Unit Development (PUD) #110 is hereby amended by deleting in its entirety and in place thereof creating the ‘**Sammons Financial Group Planned Unit Development (PUD)**’ with the following text:

Legal Description

THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, EXCEPT PARCEL AA AND PARCEL H OF THE PLAT OF SURVEY FILED IN BOOK 2014, PAGE 4167 AS PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE 5TH P.M., WEST DES MOINES, DALLAS COUNTY, IOWA AND EXCEPT THOSE PARCELS SHOWN ON THE DEED TO THE CITY OF WEST DES MOINES AS FILED IN BOOK 2009, PAGE 15835, AND EXCEPT THAT PARCEL SHOWN ON THE DEED TO THE CITY OF WEST DES MOINES AS FILED IN BOOK 2015, PAGE 13828.

SECTION 2. DEVELOPMENT INTENT: The Sammons Financial Group PUD aims to create a development that provides for a professional office development linked by a system of trails, walkways, streetscapes and bike paths. An open space/stream preserve unifies the development while providing links with surrounding developments.

SECTION 3. REQUIRED PLANS: The following plans shall be required as a part of the processing of any development application for any property within the Sammons Financial Group PUD:

- A. Preliminary and Final Platting: Prior to or in conjunction with any site plan submittal for proposed development within Sammons Financial Group PUD, such area shall be subdivided by both preliminary and final plat, in accordance with the City’s Subdivision Ordinance, to delineate the parcel to be developed or sold. A preliminary and final plat shall be required regardless if a plat-of-survey is approved for the property to allow for transfer of ownership. Outlots are not buildable until such time that they are replatted through the Preliminary and Final Plat subdivision process. Prior to approval of an associated final plat, unless otherwise authorized by the City Council, the developer of property within the Sammons Financial Group

- B. PUD shall provide all necessary and appropriate agreements, easements, and sureties for all public rights-of-way and other public improvements (utilities, sidewalks, street lights, traffic signals, etc.) within and associated with the property being Final platted.

An associated final plat applicable to each proposed development area must be approved and recorded with the Dallas County Recorder's Office prior to issuance of any building permit, including footing and foundation permits, for construction of any structure or improvement within the parcel identified for development.

- C. Development Applications (Site Plans): Site Plans for all lots and phases of development within the Sammons Financial Group PUD must meet the intent of the approved PUD sketch. The Sammons Financial Group building site plan shown on the PUD sketch is for illustrative purposes only. The specific site layout is not approved with the Sammons Financial Group PUD. Site plans shall be submitted to the City of West Des Moines for review and approval prior to the development of any portion of the development of the subject property. At the discretion of the Director of Development Services, an amendment to the Sammons Financial Group PUD Ordinance may be required to bring consistency between the ordinance and site plan development proposed.

Unless otherwise specifically restricted by the City Council, ground work and construction of private roads and utilities may be started, at the developer's risk, upon approval of the preliminary plat by the City Council; however, no construction of structures, including footing and foundations shall be allowed prior to site plan approval. Public street and utility construction may begin, at the sole risk of the developer, after approval of the preliminary plat by the City Council and Public Improvement Plans by the City of West Des Moines.

SECTION 4. COMPLIANCE WITH CODE:

Unless otherwise specified herein, the development of all property within the Sammons Financial Group PUD shall comply with the provisions of the West Des Moines City Code.

SECTION 5. CONDITIONS: Whereas, Title 9, Chapter 9, Planned Unit Development District of the City Code, establishes certain regulations and guidelines pertaining to accompanying information required on plat and site plan documents. In addition, the following conditions, restrictions, and regulations are adopted as part of this approval:

- A. **General Conditions:** In addition to the PUD Sketch Plan Map, the following general development criteria shall be integrated into and made a part of this planned unit development.
1. **Flood Hazard:** In all areas within a 100-year frequency flood hazard zone, or adjoining drainage ways, and detention ponding areas involving potential flood hazards, no building shall be erected which has a minimum opening elevation (including top of window well) less than one foot (1') above the determined level of the 100-year frequency flood event. Buildings shall only be permitted within twenty five feet (25') of any easement or property boundary of a major drainageway, storm water detention basin or pond if said location is approved as part of the development entitlement by the city council and said building is structurally designed accordingly.
 2. **Developer Responsibility:** Unless otherwise specifically approved by the City Council, the developer, its successors and/or assigns, if any, shall pay all planning, engineering, and construction costs for the development of the planned unit development as required by this Ordinance, and shall pay all costs related to approved site plans, which may include but is not limited to the cost of all streets, storm sewers, sanitary sewers, water mains and service lines, drainage-way improvements, detention basins, and other improvements as required. No occupancy permits, either temporary or permanent, shall be issued until all necessary improvements applicable to the area/lot or structure requesting occupancy are installed and public improvements accepted by the City of West Des Moines. Nothing in this Ordinance shall be construed to prevent the developer, its successors and/or assigns, if any, from entering into private agreement(s) as it/they may desire to share the cost of improvements.
 3. **Public Street Improvements and Right-Of-Way Dedication:** Unless otherwise provided for in a separate development agreement, at the time of subdivision platting within the PUD, the subdivider shall be responsible for construction and/or installation of all required public infrastructure improvements in accordance with the City's Subdivision Ordinance, as indicated herein, and/or as indicated on the approved Sammons Financial Group PUD sketch plan. With any subdivision plat within the PUD,

the subdivider shall be responsible for constructing and/or installing the public infrastructure necessary to support development within the subdivision in a manner that will assure that the public infrastructure functions at an acceptable level of service (per the City’s Comprehensive Plan) and that complies with all City Ordinances

4. Cross Connections: No cross connection(s) will be required between Area 1 and Area 2.
5. Sanitary Sewer: Any proposed change in approved land use densities for the PUD will require an analysis of the downstream sanitary sewer capacity to assure that adequate capacity is available for the proposed change in approved land use densities.
6. Street Lighting: Unless otherwise provided for in a separate development agreement, the Developer shall be responsible for all costs associated with the installation of public street lights within or adjacent to any area proposed to be platted or included within a development.
7. Mailboxes: The Developer shall be responsible for installation of any required Cluster Box Units (CBUs) as per the local U.S. Postal Service Post Office.

SECTION 6. VEHICLE TRIP ALLOCATION: A traffic analysis was completed on April 18, 2019 which evaluated proposed land uses on areas within the Sammons Financial Group PUD. The analysis indicates that the Sammons Financial Group PUD as a whole is anticipated to generate 4,741 Average Daily Trips, 757 A.M. peak hour and 685 P.M. peak hour trips. Based upon the traffic analysis, the traffic allocation table specifies the allowable traffic generation for each developed and undeveloped parcel in the Sammons Financial Group PUD.

Development of each area and implementation of desired land uses in the Sammons Financial Group PUD will be limited by the available number of trips designated for each area as shown on the traffic allocation table, as well as compliance with all applicable regulations within this ordinance or city code. The traffic to be generated by each parcel within the Sammons Financial Group PUD must be less than or equal to the traffic allocation shown on the traffic allocation table for that area. The maximum traffic allocation shown on the traffic allocation table shall be an entitlement to each area within the PUD. Traffic generation due to subsequent redevelopment, expansion or change of use for any parcel within the PUD shall not exceed the maximum traffic allocation entitlement shown on the traffic allocation table. Unless otherwise specified, the traffic allocation for each area shown on the traffic allocation table shall not change. Areas 1 & 2 collectively may not exceed the number of vehicle trips shown in the traffic allocation table for these areas. The trips may be distributed to another area, as necessary, at the time of initial site development, if determined acceptable through a traffic study and with written consent of the property owner transferring (losing) trips; however, the two (2) areas together may not exceed 4,741 Average Daily Trips, 757 A.M. peak hour and 685 P.M. peak hour trips.

Traffic Allocation Table			
PUD Sketch Area	Average Daily Trips	Traffic Allocation (A.M. Peak)	Traffic Allocation (P.M. Peak)
1	3,938	660	598
2	803	97	87
Total trips for development	4,741	757	685

SECTION 7. FIRE ACCESS:

- A. All streets and parking lots shall permit the travel of the Fire Department’s largest vehicle, including adequate accommodation of the vehicle’s turning needs. Approval of unique design solutions to accommodate fire access may be granted by the City Council if, the solutions proposed are recommended by the West Des Moines Fire Department.
- B. At the discretion of the City’s Fire Marshal, “No Parking Fire Lane” areas may be established as necessary to ensure efficient movement and access of the fire trucks. The owner of each respective area within Sammons Financial Group PUD shall be responsible for the procurement and erection of approved fire lane signage applicable to their parcel(s).
- C. All roads, alleys, and access drives shall maintain a minimum of twenty feet (20’) of clear pavement.
- D. A minimum of fourteen feet (14’) of vertical clearance over the travel portion shall be maintained at all times over all vehicle travel ways, including drive-under canopies.

- E. The developer or its designee shall be responsible for enforcement of no parking lanes and maintaining adequate clearance of structures and vegetation along and above all vehicle travel ways regardless if public or private.

SECTION 8. PARKING:

A. Off-Street Parking:

1. All off-street parking areas shall be sited and landscaped to screen their visibility from street rights-of-way, pedestrian pathways, and adjoining property outside of Sammons Financial Group PUD development.
2. Excluding parking structures, parking stalls measurements and drive aisle widths shall conform to Title 9, Chapter 15 of the City's Zoning Ordinance.
3. If parking structures are proposed, architectural design and vehicle functionality, including emergency services access and maneuverability, shall be reviewed in conjunction with site plan review.
4. If a proposed parking stall is designed to allow the bumper of the vehicle to overhang an open area or center median which does not include a pedestrian pathway, the length of both the parking stall and island may be reduced by that overhang amount or a maximum of two feet (2'). If the proposed overhang is over a sidewalk less than seven feet (7') wide rather than natural green space, that sidewalk width shall be increased two feet (2') to accommodate pedestrian movements and vehicle overhang.
5. It is desired that all off-street parking areas be aesthetically improved to reduce obtrusive characteristics that are inherent to their function. Multiple landscape islands combined with vegetation shall be incorporated to effectively eliminate a "sea of asphalt/concrete" and to provide shade thus decreasing heat reflection back into the environment. Landscape islands/tree pods and associated vegetation shall be implemented in accordance with the following:
 - a. Islands or open areas shall be located at the terminus end of all parking rows. Terminal islands shall measure at least ten feet (10') in width and shall match, at a minimum the stall length.
 - b. Linear parking islands that run the length of the parking row shall be implemented every six (6) rows. Said linear islands may be used as pedestrian pathways and shall measure an average of ten feet (10') in width. These areas may also serve as bioswales/detention areas.
 - c. No more than ten (10) continuous parking stalls are allowed in a single row without being interrupted by landscape areas. Landscape islands or landscape pods shall be incorporated at least every ten (10) parking stalls per row. Islands shall measure a minimum of ten feet (10') in width and shall match, at a minimum the stall length. Each 10' X 17' landscape island or landscape pod shall contain at least one (1) overstory tree and vegetated groundcover (turf, perennials, ornamental grasses or shrubs), except for parking islands associated with lower levels within a parking structure. As an alternative to the implementation of pods within a linear row of parking, the terminal islands at each end of the row of parking may be increased in width by five feet (5') for every two (2) pods within the row which are eliminated. In no instance however, should there be greater than eighteen (18) parking stalls in a row uninterrupted by a landscape island or pod. The width of landscape islands within a linear row of parking need only match the minimum width of a parking stall. In the event landscape islands are increased in size, one (1) overstory tree shall be required for everyone hundred fifty (150) square feet of landscape area in those larger islands.

B. Parking Ratios:

1. A minimum of one space per two hundred seventy-five (275) square feet of gross floor area (gfa) shall be provided within each lot/parcel.
2. At the discretion of the Director of Development Services, a less stringent parking calculation may be used provided the applicant can demonstrate a parking rate less than that required by code is adequate due to the type of potential use, shared uses or off-peak uses.

SECTION 9. STORM WATER MANAGEMENT PLAN: A Master Storm Water Management Plan (MSWMP) which governs the overall storm water management of the PUD shall be submitted to and approved by the City of West Des Moines as part of the preliminary plat or site plan application process, whichever occurs first. Specific Storm Water Management Plans (SWMP) which demonstrates compliance with the approved Sammons Financial Group PUD Master Storm Water Management Plan, on file with the city, will be required with the development of each subsequent preliminary plat or site plan. The Specific Storm Water Plans shall be prepared at the developer's expense, by a Professional Engineer licensed in the State of Iowa. All Storm Water

Management Plans shall comply with the City's applicable design standards for storm water management existing at the time each development (site plan) is approved.

SECTION 10. UTILITIES: The developer, its successors or assigns, if any, shall construct at its cost, and if for general public use dedicate to the City, all sanitary sewer mains, water mains, and storm sewers associated with the Sammons Financial Group PUD as required by the City of West Des Moines' Subdivision Ordinance in accordance with applicable City design standards. All necessary easements to allow City access to public utilities for maintenance and repair purposes shall be executed prior to approval and recordation of the final plat for each respective area or shall be executed as a blanket access agreement prior to the approval and recordation of the first final plat. Unless otherwise specified within a specific easement document, the City shall not be responsible for reimbursement, restoration and/or replacement of any improvements located within the public easements should the City be required to excavate the public utilities for normal City operations.

Overstory trees shall not be placed over utility lines or within utility easements. Adequate access for maintenance vehicles shall be provided into and through the easement areas.

SECTION 11. LAND USE & BULK REGULATIONS:

In addition to the general conditions stated previously within this ordinance, the following land use and bulk regulations shall apply to the specific areas designated on the Sammons Financial Group PUD Sketch.

A. Areas 1 & 2:

1. Land Use:

All general use regulations, performance standards, and provisions set forth in Title 9; "Zoning" of the City Code for the Office (OF) district shall apply to Areas 1 & 2 within the Sammons Financial Group PUD.

2. Building Setbacks:

- a. Unless otherwise specifically stated, setbacks shall be measured from the property line of parcels that abut a public street or back-of-curb of an adjoining private street. Setbacks along boundaries that don't abut a street shall be measured from the lot boundary.
- b. Building setbacks are to the main plane of the building excluding canopies and pedestrian arcades. Canopies and arcades are allowed to extend into the building setback a maximum of 8' however they may not extend into a required buffer.
 - (1) Buildings must be setback a minimum of thirty feet (30') from Mills Civic Parkway, Cascade Avenue, S 81st Street, & S 85th Street right-of-way/property lines.
 - (2) Rear yard: 35'; 15' if it abuts a like zoning district
 - (3) Side yard: 10'; 0' if it abuts a like zoning district.
 - (4) Buildings should be setback a minimum of fifteen feet (15') from the back-of-curb of internal private streets and off-street parking areas to accommodate the pedestrian streetscape.
- c. Detached accessory structures shall be setback a minimum of thirty feet (30') from all public streets. Detached accessory structures shall be setback a minimum of fifteen feet (15') from interior lot lines and from the back of curb of internal private drives.

3. Building Height: The maximum height of a building shall not exceed thirty-six feet (36') in height, except that an additional 12 feet of height is allowed for each additional 10' of building setback.

4. Off-Street Parking Lot Setbacks: Parking lots shall be setback a minimum of thirty feet (30') from the Mills Civic Parkway, Cascade Avenue, S 81st Street, and S 85th Street right-of-way/property lines and five feet (5') from the back of curb of internal private streets. Parking lots shall be setback a minimum of thirty feet (30') from the edge of the blueline stream running through the property. A minimum five-foot (5') setback is required along an adjoining lot line, unless the parking space within the setback is part of a common parking lot of joint usage between the adjoining lots. Views of parking lots from public thoroughfares and adjacent parcels shall be visually mitigated through the use of a combination of earthen berms and landscape vegetation – this may or may not require the parking lots to be setback more than the minimum.

SECTION 12. PEDESTRIAN ELEMENTS:

Sammons Financial Group PUD aims to encourage pedestrian movement and opportunities for pedestrian interaction through a series of interconnected sidewalks and trails which lead to the office areas as well as adjacent developments. Development of these areas shall comply with the following guidelines with details of the development of each area to be specified, reviewed, and approved at the time of site plan development. Unless otherwise specified, the installation of these pedestrian elements shall be by the respective developer of each parcel within the Sammons Financial Group PUD in conjunction with or before the development of the parcel.

A. Trails and Sidewalks:

1. Pedestrian crossings of internal private streets and parking lot drive aisles should be identified through the use of striped crosswalks as appropriate.
2. A minimum of eight feet (8') of vertical clearance shall be maintained at all times over all pedestrian travel ways.
3. **Public Trails:**
 - a. Public trails shall be installed within the Sammons Financial Group PUD area in alignment with the City's Master Trail Plan or as agreed upon with the City of West Des Moines.
 - b. Trails shall be constructed in accordance with the City of West Des Moines' Standard Specifications.
 - c. A minimum of two feet (2') of clear shoulder should be provided on each side of the trail.

SECTION 13. LANDSCAPING:

The landscaping requirements specified herein are intended to create an aesthetically pleasing development which enhances the appearance and character of the City of West Des Moines, while protecting the general health, safety and welfare of the citizens. Landscaping is required to address the following primary aspects or consequences of development:

- Open space protection and enhancement
 - Creation of environments conducive and inviting to pedestrian activities
 - Street/parking side enhancement ('streetscapes')
 - Visual screening of undesirable views, activities and/or site elements, and
 - Mitigation of paving expenses associated with off-street parking
- A. **Open/Green Space:** The intent of open space is to allow for a balance between natural areas and the built environment and to provide for the overall beautification and "greening" of the City. The minimum percentage of the site to be provided as open space shall comply with City Code for the respective zoning district for each parcel. All of the land within a site that is not occupied by buildings, on-street and off-street parking areas, or other vehicle use areas may be classified as open space. Plaza areas, water features and structures such as gazebos, arbors, pergolas, etc. that are associated with outdoor pedestrian use areas may be counted towards fulfilling the minimum open space requirement.
1. In order to ensure 'green' within the development, vegetation must be incorporated at a rate of two (2) overstory trees, one (1) understory or conifer tree, and three (3) shrubs for every three thousand (3,000) square feet of required open space.
 - a. One tree may be substituted for ten (10) shrubs.
 - b. A twenty (20) square foot mass planting of perennial flowers or ornamental grasses may be substituted for three (3) shrubs.
 - c. No substitution for required trees is allowed.
 - d. The incorporation of evergreen vegetation is encouraged to provide winter substance within the landscape.
 2. Vegetation required as part of the open space may be placed into off-street parking areas or required buffers; however, the open space vegetation is in addition to that which would be required of buffers or parking islands/pods and may not be counted towards fulfilling the minimum amount of vegetation required for these areas.
- B. **Buffer and Visual Screening:** The implementation of vegetation is required as part of buffering/screening. This vegetation may be combined with other measures such as berming, low stone walls, decorative fencing,

or any combination thereof to enhance the effectiveness of the buffering/screening. Buffers should be designed to achieve the maximum amount of screening from the maximum number of viewpoints with vegetation layered to ensure adequate blockage of views and to create depth.

1. A minimum thirty-foot (30') wide buffer shall be required along Mills Civic Parkway. A combination of land forms, evergreen and deciduous trees and shrubs, and tall grasses shall be used to visually buffer adjacent parking and negative ground level site improvements from public streets and from properties outside of the Sammons Financial Group PUD development. Land forms ranging from 3 to 4 feet in height with slopes not to exceed 3:1 are required. Land forms should undulate to create a natural appearance rather than being designed with a consistent height along the entire berm. One (1) overstory trees, two (2) understory tree and six (6) shrubs shall be provided for an average of every thirty-five lineal feet (35') of this buffer; of the required trees, one-fourth (1/4) shall be evergreen in nature.
 - a. Vegetation may be substituted at the following rate:
 - (1) One tree may be substituted for ten (10) shrubs as long as under-canopy views of parking and negative elements are mitigated.
 - (2) A sixty (60) square foot mass planting of perennial flowers or ornamental grasses may be substituted for six (6) shrubs.
 - (3) No substitution for required trees is allowed.
 - b. No parking lots, drive aisles, fences, or buildings are permitted within required buffers; however, sidewalks, trails, landscape features, pedestrian furniture, and permitted signage may be located within the buffers.
2. In addition to that specified above, the elements identified within the following section shall be buffered/screened regardless of use area:
 - a. Views of off-street parking areas, loading docks, and other vehicle related service areas from adjacent roadways, pedestrian paths and adjoining properties within and outside of the development shall be buffered and visually screened to a height of at least six feet (6'). Creative grading including land forms can be used to provide this screening, in conjunction with plantings or fencing. Loading docks must be located and oriented to minimize views into the dock/service area. Screening can be provided thru a combination of the placement of adjacent buildings, screen walls, land forms, and plantings.
 - b. Mechanical, utility meters, transformers, HVAC, and other similar undesirable elements/equipment which are located on, besides, or adjacent to any building shall be buffered and visually screened from streets, pedestrian pathways, and adjoining property within and outside of the development. A permanent screen that utilizes building materials and designs compatible and consistent with the architecture and materials of the principal building shall be implemented whenever possible. It is desired that raised parapets or elevated architectural features provide roof top mechanical screening rather than wrapping the units with screen walls. As much as possible, roof top mechanical units should be clustered rather than randomly placed on the roof. Additionally, roof top units should be located towards the center of the roof as much as possible to minimize views thereof. Equipment should be screened on all sides.
 - c. Sanitation/Recycle enclosures shall be visually screened from view from streets, businesses, pedestrian pathways, and adjoining property within and outside of the development. The enclosure should incorporate the primary building material of the adjacent buildings on three sides (brick or masonry material) and a durable gate material on the fourth side.

SECTION 14. SIGNAGE: All proposed exterior signage requires a sign permit issued by the city of West Des Moines through normal sign review procedures prior to installation of the sign. Unless otherwise prescribed herein, signage shall abide by the standards and regulations as set forth in title 9, chapter 18, "Signs", of the city code for the Office (OF) district.

A. Monument Signs:

1. Primary Monument Entrance Sign: One (1) monument sign shall be allowed at the primary entrance to Area 1 from Mills Civic Parkway (east entrance). The sign shall not exceed twelve feet (12') in height, a maximum size for the total structure of ninety-six (96) square feet and a maximum sign copy of thirty-five (35) square feet per side. The sign shall be setback a minimum of twenty feet (20') from the ultimate street right-of-way line.

2. Secondary Monument Entrance Sign: One (1) monument sign shall be allowed at the secondary entrance to Area 1 from S. 81st Street (north entrance). The sign shall not exceed seven feet (7') in height, a maximum size for the total structure of seventy-seven (77) square feet and a maximum sign copy of twenty (20) square feet per side. The sign shall be setback a minimum of twenty feet (20') from the ultimate street right-of-way line.
 3. All other monument signs within Area 1 shall comply with current City sign code.
 4. Area 2 Monument signs: Area 2 of the Sammons Financial Group PUD shall comply with current City sign code for allowed monument signs.
- B. Landscape Signs: Landscape signs shall be allowed at the corner of each perimeter public street intersection for both Area 1 and Area 2. The signs shall be designed according to the current City sign code.
- C. Directional Signs: Directional signs shall be allowed according to the current City sign code for both Area 1 and Area 2.
- D. Wall Signs: Building wall signage shall comply with current City sign code for both Area 1 and Area 2.

SECTION 15. ARCHITECTURE: The intent is to create building facades throughout this development that are varied and articulated to provide visual interest to pedestrians and to establish a unique identity for the development. The architectural design of any building within this development shall be acceptable to the City. The architecture shall express a creative presentation by careful attention to exterior building materials and details, use of fenestration, and change in building mass within the plane and roof design to lessen the plainness of appearance which can be characteristic of large commercial buildings. Building design, materials, trim, detailing, and colors shall provide continuity amongst buildings to unite all structures within the development into one project concept. All sides to each building shall receive high quality materials, finishes, and details (360-degree architectural treatment). There are no "backs" to a building. Materials should be durable, economically maintained and of a quality that will maintain their appearance over a prolonged time.

On file with the City are conceptual architectural illustrations of the general building style and material options. Once City approval is gained on a particular building design, any alteration in design before or during construction must be reviewed and approved by the City's Development Services Department.

- A. All buildings within this development shall accommodate or incorporate the following in building design and materials:
1. Corporate architecture shall be prohibited. Limited use of architectural elements characteristic of prototypical architecture may be allowed at the discretion of the Director of Development Services or the appropriate reviewing and approval body. Implementation of these architectural elements shall be minimized and whenever possible modified to give a unique image to the establishment. No standard corporate building design without modifications shall be implemented.
 2. Buildings shall be organized to create a logical and identifiable relationship with the site and other buildings, open spaces, and pedestrian circulation paths.
 3. The use of building articulation and materials which break up the building mass into modules that respect a pedestrian scale and reflects proportions similar to other buildings within the development.
 4. The building's design should meet context and site objectives such as providing gateways, creating visual and physical linkages and framing or terminating views.
 5. Variation in building height, mass and roof forms shall be provided to create interest while still maintaining an overall building continuity. Roofs should not be designed as attention-getting devices related to the reinforcement of signage or as an identifiable corporate image.
 6. Entrances into buildings should be easily identified through the use of building design and detailing. Projected or recessed entryways, change in rooflines, addition of awnings or changes in building material are examples that can create this effect.
 7. Shifts in building planes/facades and variation in exterior materials shall be incorporated to minimize long expanses of wall. Long blank walls shall be prohibited.
 8. Variation in materials, material modules, expressed joints, textures, colors and details should be used to break up the mass of the buildings. Materials should change with the change in building planes.
 9. Trim and structural elements such as posts or columns shall be sized to the scale of the building.

10. Whenever possible, ground floor areas should provide the maximum possible glazing toward sidewalks to provide pedestrians with visual interest. Use of reflective glass or mirrored glass is discouraged. Efforts should be made to use clear glass on storefronts, windows and doors to promote the linkage of the interior and exterior of buildings.
 11. Natural materials such as brick and stone shall be used as the major elements of the facade. Architectural precast concrete or metal acceptable to the City may be incorporated in the design as the major element. Concrete products shall have integrated color rather than surface applied paint/staining and should generally have texture for interest; smooth finish concrete products may be used in conjunction with texture for accent purposes. The use of EIFS, synthetic stucco or composite materials shall be used in moderation and primarily used as an accent or trim material and cannot be the predominate building material. Use of EIFS is limited to areas of the building six feet (6') above grade and higher and use of vinyl materials is prohibited.
- B. Area 2: It is recognized that the development of Area 2 has not been planned and therefore the architectural intent for that portion of the site cannot be defined at the time of the writing of this ordinance. At such time that development of this area is pending, the architecture design and choice of colors and materials will need to be such so as to provide visual cohesiveness and achieve a unified development for the entire PUD area. At time of development of Area 2, an amendment to the PUD may be necessary to address the specific architecture needs for Area 2.

SECTION 16. REPEALER. All ordinances or parts of ordinances in conflict with the provision of this ordinance are hereby repealed.

SECTION 17. VIOLATIONS AND PENALTIES. Any person who violates the provisions of this Ordinance upon conviction shall be punished as set forth in 1-4-1 of the City Code of the City of West Des Moines, Iowa.

SECTION 18. OTHER REMEDIES. In addition to the provisions set out in the Violations and Penalties Section herein, the City may proceed in law or equity against any person, firm or corporation for violation of any section or subsection of this Ordinance.

SECTION 19. SAVINGS CLAUSE. If any section, provision, sentence, clause, phrase or part of the Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

SECTION 20. EFFECTIVE DATE. This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

Passed and approved by the City Council on the _____ day of _____, 2019.

Steven K. Gaer, Mayor

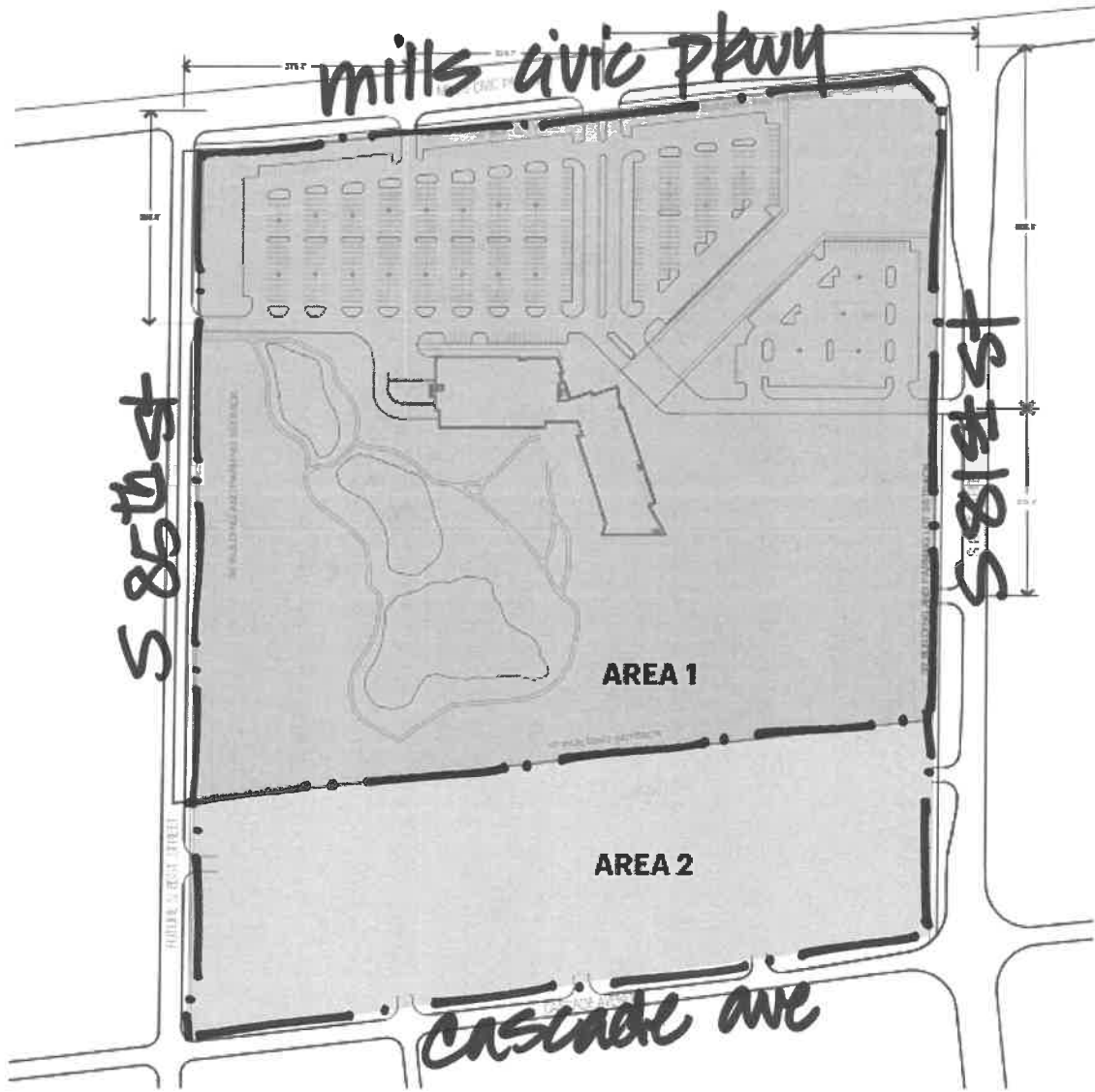
ATTEST:

Ryan T. Jacobson, City Clerk

I certify that the foregoing was published as Ordinance No. _____ on the ___ day of _____, 2019.

Ryan T. Jacobson, City Clerk

Sammons Financial Group PUD Sketch Plan



**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

NO CHANGE FROM PREVIOUS READING

ITEM: Second Reading, Waiver of Third Reading, and Adoption of Proposed Ordinance to City Code – Title 4 (Health and Safety Regulations), Chapter 5C (Solid Waste Control) – Modifications to Fees and Charges

DATE: July1, 2019

FINANCIAL IMPACT: Additional revenue will be generated each fiscal year in an amount needed to balance the fund against anticipated expenditures. The City’s Solid Waste Enterprise Fund revenue is used primarily to offset expenses paid to Des Moines Metro Waste Authority (MWA) for solid waste and recycling collection and disposal services, and expenses paid to the West Des Water Works for billing services. The fund currently has a positive fund balance but absent the proposed rate adjustment, the City projects to lose approximately \$175,000 in the upcoming fiscal year (FY 19-20). The new rates shown below and described in the ordinance will allow the City to “pass through” all costs.

With the new rates, an individual homeowner using the traditional 96 gallon waste and recycling containers will see his/her cost for service increase by a total of \$12.60 per year. It is proposed that these new rates take effect September 1, 2019.

BACKGROUND: The City last adjusted its solid waste collection rate September 1, 2018. The current rate adjustment is needed due to increasing costs incurred by the MWA. These costs are explained in the attached memorandum from MWA Executive Director Michael McCoy.

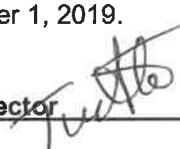
The current and proposed rates are summarized as follows:

<u>48 Gallon Cart</u>	<u>Current</u>	<u>Proposed</u>
Per Month	\$10.55 / mo.	\$11.50 / mo.
Ea. Additional Cart	\$ 7.05	\$ 7.50
<u>96 Gallon Cart</u>	<u>Current</u>	<u>Proposed</u>
Per Month	\$11.25 / mo.	\$12.00 / mo.
Ea. Additional Cart	\$ 7.75	\$ 8.00


The first reading of the ordinance was approved unanimously on June 17, 2019.

OUTSTANDING ISSUES: None

RECOMMENDATION: Approve the First Reading of the proposed Ordinance to adjust Solid Waste Collection fees with an effective date of September 1, 2019.

Lead Staff Member: Tim Stiles, Finance Director 

STAFF REVIEWS

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

MEMORANDUM

DATE: January 21, 2019

TO: MWA Member and Planning Member City Managers, City Clerks, and Public Works Officials

FROM: Michael McCoy, Executive Director

CC: MWA Board of Directors
Leslie Irlbeck, MWA Public Affairs Manager
Sue Nielsen, MWA Accounting Manager
Greg Traver, Waste Management

SUBJECT: Curb It! Rates for FY19/20

The Curb It! fee effective July 1, 2019, will increase \$0.01 to \$2.69 per household per month, which is less than a .5% increase. The rate is calculated based on nationally published CPI and the compressed natural gas index that are provisions of the MWA contract with Waste Management for collection services. This slight increase covers the cost of collection for recycled materials.

Also, effective July 1, 2019 is an additional \$0.74 per household per month increase. This is the first processing fee of its kind. After multiple, unplanned contract renegotiations with the recycling processor, Metro Waste Authority most recently incurred a 37% increase, in addition to a change in the structure of the revenue share from commodities. Metro Waste Authority will continue working with city staff over the coming months to determine a process for passing this fee on to cities, and the residents.

In summary, beginning July 1, 2019, the total cost for residents to recycle is \$3.43 per month.

Communities in our service area pay a competitive collection rate under the singlestream recycling program, which is directly based on market prices. You will see the adjusted price in the invoices mailed at the end of July 2019. It will be applied to the housecounts provided to Metro Waste Authority on a quarterly basis.

Please do not hesitate to contact me if you have any questions about this increase. You can reach me at 323-6535.

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA, BY AMENDING TITLE 4, HEALTH AND SAFETY REGULATIONS, CHAPTER 5, ARTICLE C PERTAINING TO SOLID WASTE COLLECTION CHARGES

BE IT ORDAINED BY CITY COUNCIL OF WEST DES MOINES, IOWA:

SECTION 1. Title 4, Chapter 5, Article C, Section 3 – MONTHLY CHARGES, and Section 4 – PRORATION OF CHARGES, are hereby amended to read as follows:

4-5C-3 MONTHLY CHARGES: There is herewith imposed a solid waste collection and disposal fee as follows applicable to each residential unit for solid waste collected by the city approved contractor:

48 gallon cart - ~~\$12.25~~ ~~\$11.50~~ per month
96 gallon cart - ~~\$12.75~~ ~~\$12.00~~ per month

Charges for collection of additional carts shall be as follows:

48 gallon cart - ~~\$8.25~~ ~~\$7.50~~ per month
96 gallon cart - ~~\$8.75~~ ~~\$8.00~~ per month

These charges shall be made on all bills mailed by West Des Moines Water Works on and after the effective date hereof. Additional charges may also be imposed for changing cart size. The collection agent for the city shall be the West Des Moines Water Works which shall provide for solid waste charges to be listed upon its regular billing statement and collected in the same manner as water and sanitary sewer fees. Billing for the change in container size shall be made in the billing cycle following the change. All charges imposed herein shall be due and payable upon receipt of the billing.

4-5C-4 PRORATION OF CHARGES: The service availability charge shall be prorated according to the ratio of the number of days for which solid waste collection service was available to a customer at a premises and the total number of days in the month.

SECTION 2. REPEALER. All Ordinances or parts of Ordinances in conflict with the provision of this Ordinance are hereby repealed.

SECTION 3. SAVINGS CLAUSE. If any section, provision, sentence, clause, phrase, or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section,

ORDINANCE NO. _____

subsection, sentence, clause, phrase, or part hereof not adjudged invalid or unconstitutional.

SECTION 4. EFFECTIVE DATE. This Ordinance shall be in full force and effect from and after its passage, adoption, and publication as required by law.

PASSED AND APPROVED, this 17th day of June, 2019.

Steven K. Gaer
Mayor

ATTEST:

Ryan Jacobson, City Clerk

Published in the Des Moines Register on _____

**CITY OF WEST DES MOINES
MEMORANDUM**

TO: Mayor Gaer and Members of the City Council

FROM: J. Bradley Munford, Development Services *JBM*

DATE: July 1, 2019

RE: Item 6a – Stark Drive Vacation

The applicant has requested that agenda item 6a related to the vacation of Stark Drive be withdrawn. The applicant has worked with Staff to resolve the issue and did chose an option that does not require vacation of the public street.

Recommendation: Approve a Motion for the withdrawal of item 6a.

Cc: Tom Hadden, City Manager
Richard Scieszinski, City Attorney
Lynne Twedt, Director Development Services

**CITY OF WEST DES MOINES
MEMORANDUM**

TO: Mayor Gaer and Members of the City Council

FROM: J. Bradley Munford, Development Services



DATE: July 1, 2019

RE: Item 6b. – Cedar Ridge PUD Amendment

At the June 24, 2016 Plan & Zoning Commission meeting, the Commission deferred the public hearing for the Cedar Ridge PUD Amendment to their July 8, 2019 meeting per staff's request because all required fees have not been paid.

Recommendation: Approve a Motion to continue the public hearing for item 6b to the July 15, 2019 City Council meeting.

Cc: Tom Hadden, City Manager
Richard Scieszinski, City Attorney
Lynne Twedt, Director Development Services

MEMORANDUM

TO: Mayor Gaer and Council Members

FROM: Ryan T. Jacobson, City Clerk *RTJ*

DATE: July 1, 2019

RE: Item 6(c) Sale and Conveyance of Property Located Near the Intersection of SE 11th Street and Veterans Parkway - Hurd Land Company, LLC

Staff is recommending the public hearing for Item 6(c) be continued indefinitely. If an agreement is reached at a later date, the public hearing will be re-noticed.

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

ITEM: Public Hearing on the Issuance of Not to Exceed
\$2,935,000 General Obligation Corporate Purpose
and Refunding Bonds (Series 2019 E)

DATE: July 1, 2019

FINANCIAL IMPACT: Final debt service amounts (principal and interest) undetermined, pending sale date and interest rate details. The current estimate of overall interest savings is approximately \$110,000 (net present value).

BACKGROUND: This public hearing will consider a Loan Agreement for the future sale of not to exceed \$2.935 million General Obligation Refunding Bonds. These bonds will refund the City's outstanding Series 2011A General Obligation bonds. It is anticipated that, if approved, the sale would occur on August 1, 2019.

The original Series 2011A General Obligation Bonds being refunded were issued to construct a number of infrastructure projects identified in the City's capital improvement plan. Interest rates on the 2011A bonds have been monitored by staff and the City's financial advisory firm (PFM Financial Advisors LLC) and the market is currently favorable to support a current refunding of their remaining balance.

The bond refunding transaction will be completed as part of a larger sale of "new money" General Obligation bonds, the sale of which has previously been approved by the Council. Conducting a joint sale allows for a reduction of sale costs and issuance fees. As part of an agenda item later in this meeting, Council will be asked to direct the sale of Series 2019E Bonds which includes this refunding component.

OUTSTANDING ISSUES (if any): None

RECOMMENDATION: Conduct the public hearing.

Lead Staff Member: Tim Stiles, Finance Director 

STAFF REVIEWS

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	DM Register
Dates(s) Published	June 21, 2019

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM:

Public Hearing (5:35 p.m.)
Fiber Conduit Interconnect Project – Green Route
0510-017-2017

FINANCIAL IMPACT:

The engineering estimate of construction cost was estimated to be \$976,538.00 for the Fiber Conduit Interconnect Project – Green Route. There were six (6) bids submitted with the low bid of \$589,856.50 being submitted by Price Industrial Electric, Inc. of Robins, Iowa. Payments will be made from account no. 500.000.000.5250.490. The City is acting as the coordinating agency for the project; Microsoft is providing all funding and will reimburse the City as invoiced.

BACKGROUND:

The Fiber Conduit Interconnect Project – Green Route includes installation of a multi-duct conduit pathway along the S. 60th Street, Adams Street, S. 50th Street, Maffitt Lake Road, SE 35th Street, Iowa Highway 5 and SE Soteria Avenue corridors. Improvements include horizontal directional drilling approximately 32,131 lineal feet of multi-duct conduit and appurtenances. Upon completion the conduit and structures will be transferred to Microsoft for perpetual operation and maintenance. The project is anticipated to be completed by October 31, 2019.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

OUTSTANDING ISSUES:

None.

RECOMMENDATION:

City Council Adopt:

- Resolution adopting Plans, Specifications, Form of Contract, and Estimate of Costs for Fiber Conduit Interconnect Project – Green Route;
- Motion receiving and filing Report of Bids;
- Resolution waiving bid irregularities and awarding the construction contract to Price Industrial Electric, Inc.

Lead Staff Member: Brian J. Hemesath, P.E., City Engineer *BOK*

STAFF REVIEWS

Department Director	Brian J. Hemesath, P.E., City Engineer
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Richard Scieszinski, City Attorney <i>RJS</i>
Agenda Acceptance	<i>W</i>

PUBLICATION(S) (if applicable)

Published In	Des Moines Register
Dates(s) Published	June 21, 2019

SUBCOMMITTEE REVIEW (if applicable)

Committee				
Date Reviewed				
Recommendation	<table border="1"> <tr> <td>Yes</td> <td>No</td> <td>Split</td> </tr> </table>	Yes	No	Split
Yes	No	Split		

RESOLUTION APPROVING ADOPTING PLANS, SPECIFICATIONS, FORM OF CONTRACT, AND ESTIMATE OF COST

WHEREAS, on June 3, 2019, Plans, Specifications, Form of Contract, and Estimate of Cost were filed with the City Clerk for the following described public improvement:

**Fiber Conduit Interconnect Project – Green Route
Project No. 0510-017-2017**

and,

WHEREAS, notice of hearing on Plans, Specifications, Form of Contract, and Estimate of Cost for said public improvements were published as required by law;

therefore,

BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, that the Plans, Specifications, Form of Contract, and Estimate of Costs for said Public Improvement are hereby approved.

PASSED AND APPROVED 1st day of July, 2019.

Steven K. Gaer, Mayor

ATTEST:

Ryan T. Jacobson, City Clerk

RESOLUTION APPROVING THE AWARDING OF A CONTRACT

WHEREAS, the City Council of the City of West Des Moines has heretofore directed advertisement for bids for the following described public improvement:

**Fiber Conduit Interconnect Project – Green Route
Project No. 0510-017-2017**

and,

WHEREAS, bids have been received and opened by the City Clerk and placed on file by the City Council;
and,

WHEREAS, irregularities were noted on one of the bids that was received; and,

WHEREAS, the irregularities noted were not substantive in nature; and,

WHEREAS, the bid of Price Industrial Electric, Inc., in the amount of \$589,856.50 was the lowest responsible bid received for said public improvement;

therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, waives the irregularities in the bids that were received.

BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, that a contract for the Fiber Conduit Interconnect Project – Green Route, is hereby awarded to Price Industrial Electric, Inc., in the amount of \$589,856.50 and the bond of said bidder for the project is hereby fixed in the same amount.

BE IT FURTHER RESOLVED that the City Engineer is authorized and directed to return bid bond(s) and/or check(s) to any unsuccessful bidder.

BE IT FURTHER RESOLVED that work on said project may commence as soon as the final contract and bond have been approved by the City Engineer and have been signed by the City Clerk and after the contractor is given a written notice to proceed by the City Engineer.

PASSED AND ADOPTED on this 1st day of July, 2019.

Steven K. Gaer, Mayor

ATTEST:

Ryan T. Jacobson, City Clerk

West Des Moines Fiber Interconnect
 BID Tabulation - Green Route
 West Des Moines, Iowa
 June 26, 2019

ITEM NO.	ITEM DESCRIPTION	Emerson's Language			Price Industrial			TD & Lobe			Communication Data Link			TelCom Construction			Lin-Tel Communications Services			CDB Util. Contractors					
		UNIT	QUANTITY	PRICE	UNIT	QUANTITY	PRICE	UNIT	QUANTITY	PRICE	UNIT	QUANTITY	PRICE	UNIT	QUANTITY	PRICE	UNIT	QUANTITY	PRICE	UNIT	QUANTITY	PRICE			
1	Cleaner and Grabbing	LS	1	\$ 5,000.00	\$ 5,000.00	\$ 2,000.00	\$ 2,000.00	1	\$ 1,000.00	\$ 1,000.00	1	\$ 7,000.00	\$ 7,000.00	1	\$ 1,500.00	\$ 1,500.00	1	\$ 1,500.00	\$ 1,500.00	1	\$ 50,000.00	\$ 50,000.00			
2	Traffic Control	LS	1	\$ 5,000.00	\$ 5,000.00	\$ 4,000.00	\$ 4,000.00	1	\$ 3,500.00	\$ 3,500.00	1	\$ 5,000.00	\$ 5,000.00	1	\$ 3,500.00	\$ 3,500.00	1	\$ 3,500.00	\$ 3,500.00	1	\$ 17,000.00	\$ 17,000.00			
3	Pull Box (2.5'x4'x4') - Finish and Install	EA	11	\$ 2,500.00	\$ 27,500.00	\$ 2,500.00	\$ 2,500.00	11	\$ 1,179.87	\$ 12,978.57	11	\$ 1,481.72	\$ 16,300.92	11	\$ 1,590.20	\$ 17,492.20	11	\$ 1,590.20	\$ 17,492.20	11	\$ 1,590.20	\$ 17,492.20	11	\$ 17,000.00	\$ 187,000.00
4	Vault (2'x2'x2') - Multi-Duct, Directional Bored	EA	14	\$ 13,000.00	\$ 182,000.00	\$ 13,000.00	\$ 13,000.00	14	\$ 10,112.34	\$ 141,572.76	14	\$ 14,805.34	\$ 207,274.76	14	\$ 14,859.60	\$ 208,034.40	14	\$ 14,220.00	\$ 199,080.00	14	\$ 14,220.00	\$ 199,080.00	14	\$ 23,000.00	\$ 322,000.00
5	Conduit (PVC) 2" x 2' - Multi-Duct, Directional Bored	LF	32131	\$ 19.00	\$ 610,489.00	\$ 15,000.00	\$ 481,965.00	32131	\$ 11.44	\$ 367,846.64	32131	\$ 12.47	\$ 400,673.57	32131	\$ 18.63	\$ 598,600.53	32131	\$ 20.25	\$ 651,652.75	32131	\$ 21.00	\$ 673,813.00	32131	\$ 21.00	\$ 673,813.00
6	Conduit (PVC) 2" x 2' - Multi-Duct, Directional Bored	LF	8000	\$ 19.00	\$ 152,000.00	\$ 15,000.00	\$ 120,000.00	8000	\$ 10.13	\$ 81,040.00	8000	\$ 11.47	\$ 91,760.00	8000	\$ 17.75	\$ 142,000.00	8000	\$ 19.00	\$ 152,000.00	8000	\$ 20.00	\$ 160,000.00	8000	\$ 20.00	\$ 160,000.00
7	Maintenance of Silt Fence or Filter Stock	LF	8000	\$ 1.50	\$ 12,000.00	\$ 1,500.00	\$ 1,500.00	8000	\$ 0.13	\$ 1,040.00	8000	\$ 0.20	\$ 1,600.00	8000	\$ 0.22	\$ 1,760.00	8000	\$ 0.22	\$ 1,760.00	8000	\$ 0.22	\$ 1,760.00	8000	\$ 0.22	\$ 1,760.00
8	Removal of Silt Fence or Filter Stock	LF	8000	\$ 1.00	\$ 8,000.00	\$ 1,000.00	\$ 1,000.00	8000	\$ 0.13	\$ 1,040.00	8000	\$ 0.20	\$ 1,600.00	8000	\$ 0.22	\$ 1,760.00	8000	\$ 0.22	\$ 1,760.00	8000	\$ 0.22	\$ 1,760.00	8000	\$ 0.22	\$ 1,760.00
9	Botswana Seedling, Fertilizers and Mulch - Type 1	ACRE	0.6	\$ 8,000.00	\$ 4,800.00	\$ 4,800.00	\$ 4,800.00	0.6	\$ 1,050.00	\$ 630.00	0.6	\$ 1,132.42	\$ 679.45	0.6	\$ 1,156.62	\$ 693.97	0.6	\$ 1,180.82	\$ 708.49	0.6	\$ 1,205.02	\$ 723.01	0.6	\$ 1,229.22	\$ 737.53
10	Erosion Control Mulch - Conventional	ACRE	24	\$ 6,800.00	\$ 163,200.00	\$ 6,800.00	\$ 6,800.00	24	\$ 2,040.00	\$ 48,960.00	24	\$ 2,132.42	\$ 51,177.48	24	\$ 2,224.42	\$ 53,386.08	24	\$ 2,316.42	\$ 55,594.68	24	\$ 2,408.42	\$ 57,803.28	24	\$ 2,500.42	\$ 60,011.88
11	Fiber optic Line Marker	EA	24	\$ 3,200.00	\$ 76,800.00	\$ 3,200.00	\$ 3,200.00	24	\$ 2,040.00	\$ 48,960.00	24	\$ 2,132.42	\$ 51,177.48	24	\$ 2,224.42	\$ 53,386.08	24	\$ 2,316.42	\$ 55,594.68	24	\$ 2,408.42	\$ 57,803.28	24	\$ 2,500.42	\$ 60,011.88
12	Permit Requirements	LS	1	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	1	\$ 7,500.00	\$ 7,500.00	1	\$ 5,000.00	\$ 5,000.00	1	\$ 2,500.00	\$ 2,500.00	1	\$ 0.00	\$ 0.00	1	\$ 0.00	\$ 0.00	1	\$ 0.00	\$ 0.00
13	As-Built Documentation	LS	1	\$ 15,000.00	\$ 15,000.00	\$ 15,000.00	\$ 15,000.00	1	\$ 7,500.00	\$ 7,500.00	1	\$ 5,000.00	\$ 5,000.00	1	\$ 2,500.00	\$ 2,500.00	1	\$ 0.00	\$ 0.00	1	\$ 0.00	\$ 0.00	1	\$ 0.00	\$ 0.00
14	Construction Survey	LS	1	\$ 30,000.00	\$ 30,000.00	\$ 30,000.00	\$ 30,000.00	1	\$ 15,000.00	\$ 15,000.00	1	\$ 7,500.00	\$ 7,500.00	1	\$ 3,750.00	\$ 3,750.00	1	\$ 1,875.00	\$ 1,875.00	1	\$ 937.50	\$ 937.50	1	\$ 468.75	\$ 468.75
15	Multi-Duct Conduit and Fiber Wire Assemblies - Termination	LS	1	\$ 35,000.00	\$ 35,000.00	\$ 35,000.00	\$ 35,000.00	1	\$ 21,645.15	\$ 21,645.15	1	\$ 13,211.00	\$ 13,211.00	1	\$ 6,605.50	\$ 6,605.50	1	\$ 3,302.75	\$ 3,302.75	1	\$ 1,651.37	\$ 1,651.37	1	\$ 825.69	\$ 825.69
16	Foundation or Unfilled Multi-Duct Conduit	EA	10	\$ 350.00	\$ 3,500.00	\$ 3,500.00	\$ 3,500.00	10	\$ 35.00	\$ 350.00	10	\$ 35.00	\$ 350.00	10	\$ 35.00	\$ 350.00	10	\$ 35.00	\$ 350.00	10	\$ 35.00	\$ 350.00	10	\$ 35.00	\$ 350.00
		Sub Total:			\$ 994,696.75	Total:			\$ 624,833.12	Sub Total:			\$ 810,566.53	Total:			\$ 866,072.79	Sub Total:			\$ 994,696.75	Total:			\$ 1,335,444.00

Unit Price Extension Discrepancies:
 0.0 AC (0) \$4,266.00 (0) \$4,266.00
 0.0 AC (0) \$3,500.00 (0) \$3,500.00

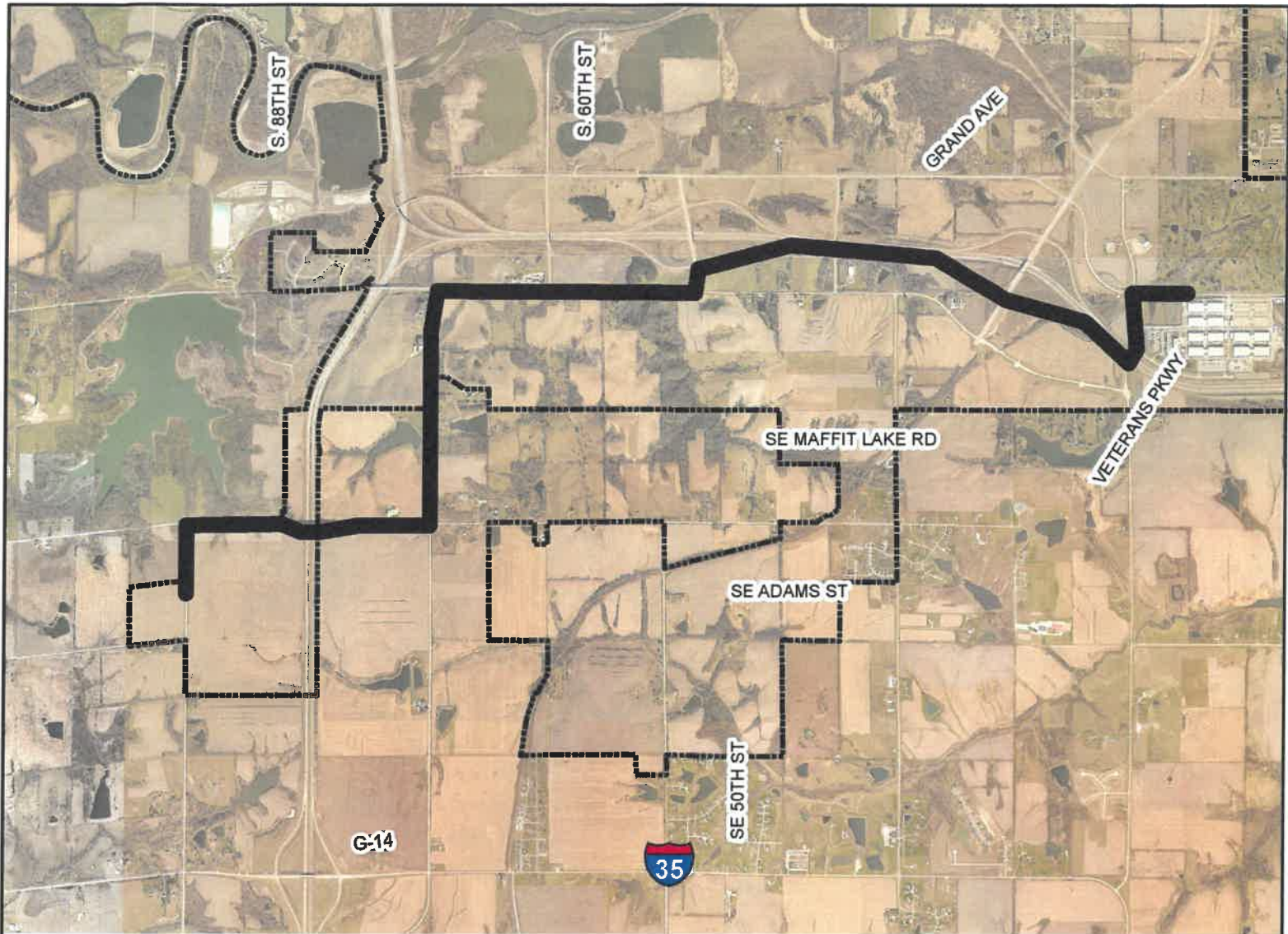
Unit Price Extension Discrepancies:
 0.0 AC (0) \$4,266.00 (0) \$4,266.00
 0.0 AC (0) \$3,500.00 (0) \$3,500.00

0 - Quantity
 UP - Unit Price
 P - Price

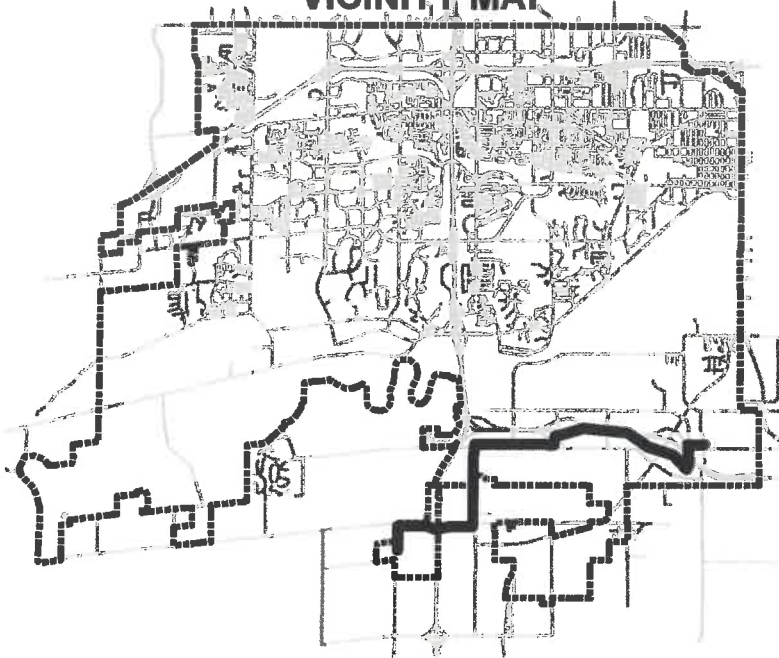
** This bid list is an accurate tabulation of the bids received with the discrepancies as noted. **



JEFFREY A. HOKES
 MECHANICAL ENGINEER
 LICENSE NO. 102419
 STATE OF IOWA
 EXPIRES 12/31/2021



VICINITY MAP



LEGEND

PROJECT LOCATION 



PROJECT:

Osmium Fiber Conduit

LOCATION:

Exhibit "A"

DRAWN BY: RLC

DATE: 5/24/2019

PROJECT NUMBER/NAME: 0510-017-2017

SHT. 1 of 1

CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION

DATE: July 1, 2019

ITEM:

Public Hearing (5:35 p.m.)
City Entrance Enhancements – Phase 1A

FINANCIAL IMPACT:

The Engineering Estimate of Construction Cost was estimated to be \$407,000.00 for Phase 1A of the City Entrance Enhancements. There were six (6) bids submitted with the low bid of \$284,936.00 being submitted by Graphic House, Inc. of Wausau, Wisconsin. Payments will be made from account no. 500.000.000.5250.490 with the ultimate funding intended to come from General Obligation Bonds.

BACKGROUND:

The project includes the procurement of four (4) branded monument signs to denote key roadway entrances to the City of West Des Moines. Locations include eastern corporate limits along IA-5, eastern corporate limits along I-235, northern corporate limits along I-35/80, and 98th & University. Work includes all work associated with the fabrication and installation of complete, internally illuminated signs including all electrical appurtenances. The extent of the work is for the sign only. Concrete footings and associated site work will be completed under a separate contract. The project is anticipated to be completed by November 1, 2019.

This agenda item was distributed to the Public Services Subcommittee by e-mail only since there was no meeting.

OUTSTANDING ISSUES: None.

RECOMMENDATION:

City Council Adopt:

- Resolution adopting Plans, Specifications, Form of Contract, and Estimate of Costs for City Entrance Enhancements – Phase 1A;
- Motion receiving and filing Report of Bids;
- Resolution waiving bid irregularities and awarding the construction contract to Graphic House, Inc.

Lead Staff Member: Brian J. Hemesath, P.E., City Engineer



STAFF REVIEWS

Department Director	Brian J. Hemesath, P.E., City Engineer
Appropriations/Finance	Tim Stiles, Finance Director
Legal	Richard Scieszinski, City Attorney
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	Des Moines Register
Dates(s) Published	June 21, 2019

SUBCOMMITTEE REVIEW (if applicable)

Committee	Public Services		
Date Reviewed			
Recommendation	Yes	No	Split

**RESOLUTION APPROVING ADOPTING PLANS, SPECIFICATIONS, FORM OF CONTRACT,
AND ESTIMATE OF COST**

WHEREAS, on June 3, 2019, Plans, Specifications, Form of Contract, and Estimate of Cost were filed with the City Clerk for the following described public improvement:

**City Entrance Enhancements – Phase 1A
Project No. 0510-051-2018**

and,

WHEREAS, notice of hearing on Plans, Specifications, Form of Contract, and Estimate of Cost for said public improvements were published as required by law;

therefore,

BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, that the Plans, Specifications, Form of Contract, and Estimate of Costs for said Public Improvement are hereby approved.

PASSED AND APPROVED on this 1st day of **July, 2019**.

Steven K. Gaer, Mayor

ATTEST:

Ryan T. Jacobson, City Clerk

RESOLUTION APPROVING THE AWARDING OF A CONTRACT

WHEREAS, the City Council of the City of West Des Moines has heretofore directed advertisement for bids for the following described public improvement:

**City Entrance Enhancements – Phase 1A
Project No. 0510-051-2018**

and,

WHEREAS, bids have been received and opened by the City Clerk and placed on file by the City Council; and,

WHEREAS, four of the bidders submitted their bids in the same envelope as their bid bond; and,

WHEREAS, an irregularity was noted on one of the bids that was received; and,

WHEREAS, the submission errors and irregularities noted were not substantive in nature; and,

WHEREAS, the bid of Graphic House, Inc. in the amount of \$284,936.00 was the lowest responsible bid received for said public improvement;

therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, waives the irregularities in the bids that were received.

BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA, that a contract for the City Entrance Enhancements – Phase 1A is hereby awarded to Graphic House, Inc. in the amount of \$284,936.00 and the bond of said bidder for the project is hereby fixed in the same amount.

BE IT FURTHER RESOLVED that the City Engineer is authorized and directed to return bid bond(s) and/or check(s) to any unsuccessful bidder.

BE IT FURTHER RESOLVED that work on said project may commence as soon as the final contract and bond have been approved by the City Engineer and have been signed by the City Clerk and after the contractor is given a written notice to proceed by the City Engineer.

PASSED AND ADOPTED on this 1st day of July, 2019.

Steven K. Gaer, Mayor

ATTEST:

Ryan T. Jacobson, City Clerk



26-Jun-19

Client: City of West Des Moines
 Project Name: City Entrance Enhancements - Phase 1A Monument Sign Fabrication

WDM Project No.: 0510-051-2018
 SH Project No.: 4173891

Item	Description	Quantity	Units	Engineers Estimate		Graphic House Inc. *	Latimer Associates, Inc DBA ASI Signage Innovations *	CR Signs & Lighting, Inc. *		Nagle Signs Inc.		Hilton Displays, LLC *		Chestnut Signs	
				Unit Price	Amount			Unit Price	Amount	Unit Price	Amount	Unit Price	Amount	Unit Price	Amount
	Bid Security					X	X	X		X		X			
	Addendum 1					X	X			X		X			
	Bidder Status Form					X	X	X		X		X		X	
1	32' MONUMENT SIGN	3	EACH	\$104,000.00	\$312,000.00	\$75,389.00	\$226,167.00	\$80,030.00	\$240,090.00	\$89,798.00	\$269,394.00	\$104,692.63	\$314,077.89	\$112,000.00	\$336,000.00
2	27' MONUMENT SIGN	1	EACH	\$95,000.00	\$95,000.00	\$58,769.00	\$58,769.00	\$71,772.00	\$71,772.00	\$83,864.00	\$83,864.00	\$88,267.11	\$88,267.11	\$106,000.00	\$106,000.00
TOTAL BID					\$407,000.00		\$284,936.00		\$311,862.00		\$353,258.00		\$402,345.00		\$442,000.00

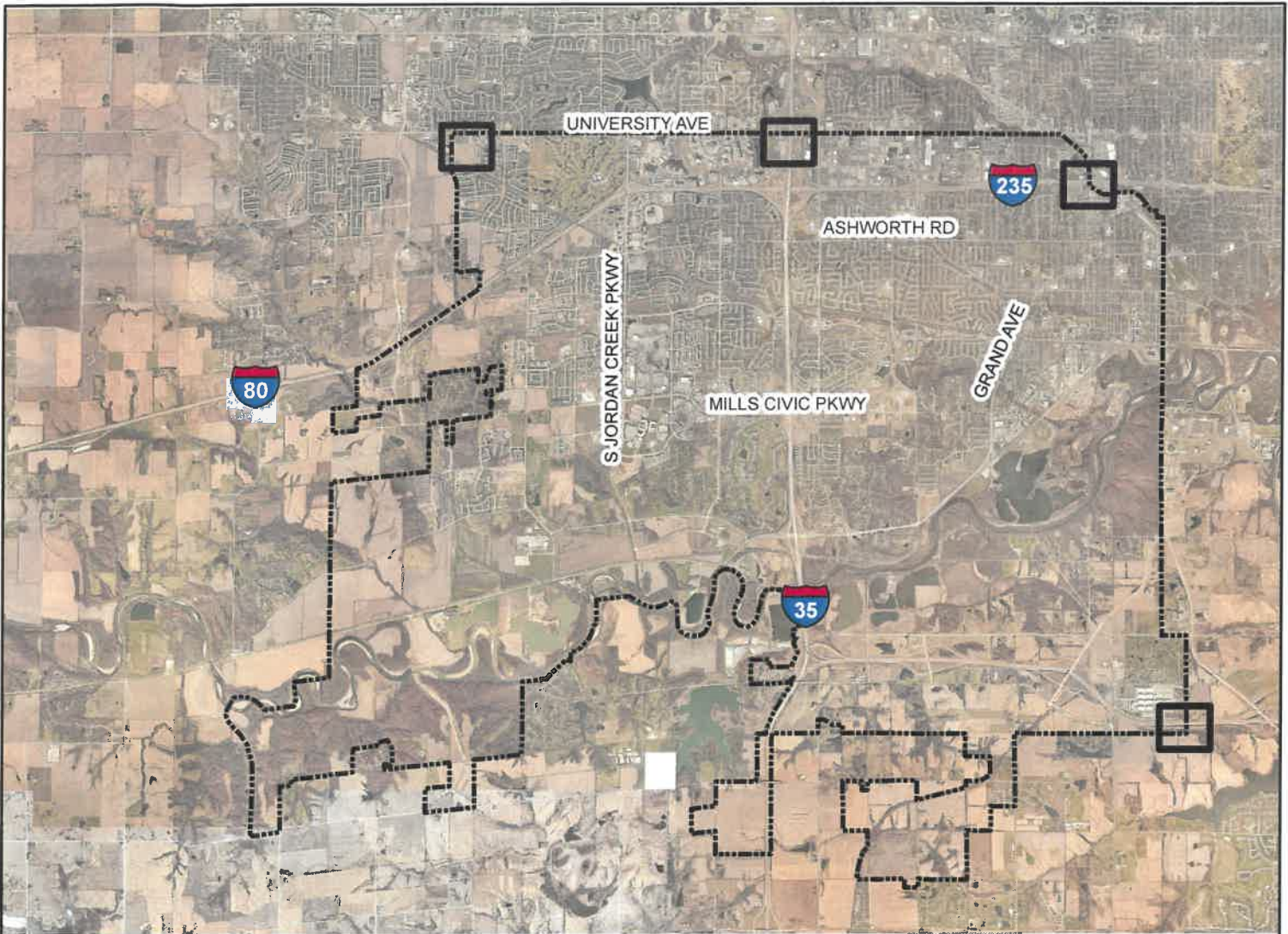
* Denotes corrected error on tabulation of extension amount and total bid amount.

* Irregularity noted: bidder combined bid security and bid proposal documents in the same envelope, rather than submitting in separate envelopes as specified in the project manual.

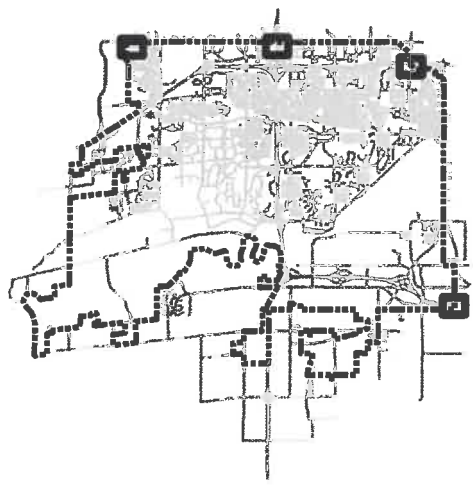
I hereby certify that this document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa.

Emily C. Taylor Jun 26 2019 4:06 PM

Emily C. Nailor, PLA
 License #424




VICINITY MAP



LEGEND

PROJECT LOCATION 



	PROJECT:			
	City Entrance Enhancements - Level 1			
	LOCATION: Various Locations			
DRAWN BY: REF	DATE: 01/07/2019	PROJECT NUMBER/NAME: 0510-051-2018	SHT. 1 of 1	

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

DATE: July 1, 2019

ITEM: Sammons Financial Group, Southwest corner of Mills Civic Parkway and S. 81st Street – Approval of a Preliminary Plat and Site Plan for office development – Sammons Financial Group, LLC – PP-004254-2019/SP-004181-2019

RESOLUTION: Approval of a Preliminary Plat and Site Plan

FINANCIAL IMPACT: Undetermined.

BACKGROUND: The applicant, Sammons Financial Group, LLC, in association with the property owner Midland National Life Insurance Company, is requesting approval of a Preliminary Plat and Site Plan for that approximately 30-acre parcel located at the southwest corner of Mills Civic Parkway and S. 81st Street. The applicant proposes to create one lot for office development. The property is proposed to be developed into a 6 story, 200,000 square foot office building on the site. A future phase would allow for an additional 6-story approximately 150,000 square foot office building; however, no details for development of the future phase is provided in this site plan.

Plan and Zoning Commission Action:

Vote: 5-0 approval, Commissioners Hatfield and Drake absent

Date: June 24, 2019

Motion: Adopt a resolution recommending the City Council approve the Preliminary Plat and Site Plan request.

Plan and Zoning Commission Discussion: Prior to the Plan & Zoning Commission meeting, the applicant was made aware that a sanitary sewer easement would need to be executed for the existing public sewer main that runs through the site. This easement was provided to the applicant for the owner's signature. Staff stated that this easement will need to be received prior to the issuance of a building permit for the site. A new condition of approval as recommended by staff that the signed sanitary sewer easement document be submitted prior to the issuance of a building permit for the building has been added to this staff report for City Council consideration.

OUTSTANDING ISSUES: There are no outstanding issues. The applicant has stated that they are in agreement with all of staff's recommendations and conditions. The following items of interest are noted in the attached Plan and Zoning Commission report (see Exhibit I):

- Applicant's Request
- History
- City Council Subcommittee – Development and Planning: *April 1, 2019*
- Staff Review and Comment
 - *Preliminary Plat*
 - *Final Plat*
 - *Storm Water Management Facility Maintenance Agreement*
 - *Cross Connection*
- Comprehensive Plan Consistency
- Findings
- Staff Recommendation and Conditions of Approval
- Property Owner/Applicant/Applicant's Representative Information

RECOMMENDATION: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, the Plan and Zoning Commission recommends the City Council adopt a resolution approving a Preliminary Plat to create one lot and approve a site plan for a 6 story, 200,000 square foot office building, subject to the applicant meeting all City Code requirements and the following:

1. Prior to issuance of a final occupancy permit for the associated building, ground and wall mounted utilities/mechanical units shall be screened from view with landscaping or fencing/walls to staff's satisfaction.

2. Applicant acknowledging that the associated Final plat must be approved and released for recordation by the City and recorded with the County prior to the issuance of any type of occupancy for the building, including temporary occupancy.
3. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The signed agreement shall be submitted to the City for recording prior to issuance of a building permit. The as-built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building created with the final plat.
4. Requirement for a cross connection from the applicant's property to the property to the south shall be as provided in the Sammons Financial Group PUD.

Lead Staff Member: Brian S. Portz, AICP *BP*

STAFF REVIEWS

Department Director	<i>JA</i>
Appropriations/Finance	
Legal	
Agenda Acceptance	<i>W</i>

PUBLICATION(S) (if applicable)

Published In	N/A
Date(s) Published	
Letter sent to surrounding property owners	

SUBCOMMITTEE REVIEW (if applicable)

Committee	Development & Planning		
Date Reviewed	April 1, 2019		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

ATTACHMENTS:

- Exhibit I - Plan and Zoning Commission Communication
 - Attachment A - Plan and Zoning Commission Resolution
 - Exhibit A - Conditions of Approval
 - Attachment B - Location Map
 - Attachment C - Preliminary Plat/Site Plan
 - Attachment D - Architectural Elevations
- Exhibit II - City Council Resolution
 - Exhibit A - Conditions of Approval

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: June 24, 2019

Item: Sammons Financial Group, Southwest corner of Mills Civic Parkway and S. 81st Street – Approval of a Preliminary Plat and Site Plan for office development – Sammons Financial Group, LLC – PP-004254-2019/SP-004181-2019

Requested Action: Recommend Approval of Preliminary Plat and Site Plan

Case Advisor: Brian S. Portz, AICP *BP*

Applicant's Request: The applicant, Sammons Financial Group, LLC, is requesting approval of a Preliminary Plat and Site Plan for that approximately 30-acre parcel located at the southwest corner of Mills Civic Parkway and S. 81st Street. The applicant proposes to create one lot for office development. The property is proposed to be developed into a 6 story, 200,000 square foot office building on the site. A future phase would allow for an additional 6-story approximately 150,000 square foot office building; however, no details for development of the future phase is provided in this site plan.

History: The property was annexed into the City in 2005 as a part of the Smith Witmer Mentzer Annexation. A Comprehensive Plan Amendment was approved in 2009 to change the future land use on the property from Single Family Residential to Office. In 2017, the land uses on the property were changed to Community Commercial along the north and Office on the balance of the property. Also, in 2017, the zoning of the property was changed from “Unzoned” to Etzel Properties Plat 2 PUD with an underlying zoning classification of Office and Community Commercial. The Etzel Properties Plat 2 PUD was created for the development of a Fareway store and other commercial and office development. On March 4, 2019, the City Council approved a plat-of-survey of the Sammons property for the transfer of ownership. At their June 17, 2019 meeting, the City Council approved a Comprehensive Plan Amendment to change the land use designation for a portion of the property from Community Commercial back to Office. Also, at that meeting the City Council approved the first reading of an ordinance creating a new PUD (Sammons Financial Group PUD) for the development of the property with all office.

City Council Subcommittee: This item was presented to the Development & Planning City Council Subcommittee at their April 1, 2019 meeting, as an informational item only. No discussion was had and no disagreement with the proposal was expressed.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff notes the following:

- **Preliminary Plat:** The proposed preliminary plat will create one lot for the development of The Sammons Financial Group office building. As a part of this project, the City will be constructing additional lanes on Mills Civic Parkway, S. 81st Street and Cascade Avenue. In addition, S. 85th Street will be constructed from Mills Civic Parkway to Cascade Avenue.
- **Final Plat:** A final plat will be submitted for the site to combine two existing plat-of-survey parcels (Parcel 17-141 and Parcel 19-11) where the Sammons building will be located. Since the building will be located on a legal parcel of record (Parcel 19-11), construction may begin on the site upon City Council approval and the issuance of the required building permit. The final plat will need to be approved and recorded prior to any occupancy being issued for the building, including temporary occupancy. A condition of approval is recommended requiring the approval and recording of the final plat.
- **Storm Water Management Facility Maintenance Agreement:** Storm Water Management Facility Maintenance Agreements are required for all new site developments or sites that have detention facilities but have not otherwise previously executed the agreement. These agreements allow the City to enter a site to do maintenance and/or repairs on a private detention facility in the event that the facility has not been maintained by the property owner and advises who the City should bill for the maintenance/repair work. The agreement has been provided to the applicant for signature, but the executed agreement has not yet been provided to staff. Staff recommends

that the signed agreement be submitted to the City for recording prior to issuance of a building permit and the required as built be submitted prior to final occupancy of the building.

- **Cross Connection:** The traffic study prepared for the Sammons Financial Group site recommended a cross connection between the Sammons site and the property to the south. The PUD Ordinance for the property indicated that a cross connection between the two properties would be required as recommended by the traffic study. The applicant indicated that they did not want to provide the cross connection. At the June 10, 2019, Plan & Zoning Commission meeting as a part of the Sammons Financial Group PUD Ordinance review, the Commission voted to recommend to the City Council that the cross connection not be required. On June 17, 2019, the City Council voted in agreement with the Plan & Zoning Commission. The Sammons Financial Group PUD language has been amended to remove the requirement for a cross connection between the two PUD parcels. The 2nd and 3rd Reading of the Sammons Financial Group PUD Ordinance is scheduled to be considered by the City Council on July 1, 2019.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use do assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct, or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendation And Conditions Of Approval: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Preliminary Plat to create one lot and approve a site plan for a 6 story, 200,000 square foot office building, subject to the applicant meeting all City Code requirements and the following:

1. Prior to issuance of a final occupancy permit for the associated building, ground and wall mounted utilities/mechanical units shall be screened from view with landscaping or fencing/walls to staff's satisfaction.

2. Applicant acknowledging that the associated Final plat must be approved and released for recordation by the City and recorded with the County prior to the issuance of any type of occupancy for the building, including temporary occupancy.
3. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The signed agreement shall be submitted to the City for recording prior to issuance of a building permit. The as-built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building created with the final plat.
4. Requirement for a cross connection from the applicant's property to the property to the south shall be as provided in the Sammons Financial Group PUD.

Property Owner/Applicant: Sammons Financial Group, LLC
 4350 Westown Parkway
 West Des Moines, IA 50266

Applicant's Representative: Confluence
 525 17th Street
 Des Moines, IA 50309
 Matt Carlile
mcarlile@thinkconfluence.com

ATTACHMENTS:

- Attachment A - Plan and Zoning Commission Resolution
- Exhibit A - Conditions of Approval
- Attachment B - Location Map
- Attachment C - Preliminary Plat/Site Plan
- Attachment D - Architectural Elevations

RESOLUTION NO. PZC. 19-056

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A PRELIMINARY PLAT TO CREATE ONE LOT AND APPROVE A SITE PLAN FOR A 6 STORY, 200,000 SQUARE FOOT OFFICE BUILDING

WHEREAS, pursuant to the provisions of Title 10 and Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Sammons Financial Group, LLC, has requested approval for a Preliminary Plat (PP-004254-2019) to create one (1) lot and has requested approval of a Site Plan (SP-004181-2019) to allow construction of a 6 story, 200,000 square foot office building and associated site improvements for that approximately 30-acre site located at the southwest corner of Mills Civic Parkway and S. 81st Street;

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, on June 24, 2019, this Commission held a duly-noticed public meeting to consider the application for a Preliminary Plat (PP-004254-2019) and for a Site Plan (SP-004181-2019);

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report dated, June 24, 2019, or as amended orally at the Plan and Zoning Commission meeting of June 24, 2019, are adopted.

SECTION 2. Preliminary Plat (PP-004254-2019) to create one (1) lot and Site Plan (SP-004181-2019) for a 6 story, 200,000 square foot office building and associated site improvements, are recommended to the City Council for approval, subject to compliance with all the conditions in the staff report, dated June 24, 2019, including conditions added at the meeting, and attached hereto as Exhibit "A." Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on June 24, 2019

Erica Andersen
Erica Andersen, Chairperson
Plan and Zoning Commission

ATTEST:

Denise Canaday
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on June 24, 2019, by the following vote:

AYES: Andersen, Costa, Crowley, Erickson, Southworth

NAYS:

ABSTENTIONS.

ABSENT: Drake, Hatfield

ATTEST:

Denise Canaday
Recording Secretary

Exhibit A
CONDITIONS OF APPROVAL

1. Prior to issuance of a final occupancy permit for the associated building, ground and wall mounted utilities/mechanical units shall be screened from view with landscaping or fencing/walls to staff's satisfaction.
2. Applicant acknowledging that the associated Final plat must be approved and released for recordation by the City and recorded with the County prior to the issuance of any type of occupancy for the building, including temporary occupancy.
3. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to be signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The signed agreement shall be submitted to the City for recording prior to issuance of a building permit. The as-built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building created with the final plat.
4. Requirement for a cross connection from the applicant's property to the property to the south shall be as provided in the Sammons Financial Group PUD.



Sammons Financial Group

Urban/State

Stauke

West
Des Moines



Legend

- Addresses
- Corporate Limits
- Parcels

1: 4,888

814.6 0 407.30 814.6 Feet

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

WGS_1984_Web_Mercator_Auxiliary_Sphere
© City of West Des Moines, Iowa

THIS MAP IS NOT TO BE USED FOR NAVIGATION

SAMMONS FINANCIAL GROUP HEADQUARTERS

MILLS CIVIC PARKWAY
WEST DES MOINES / IOWA

CONFLUENCE PROJECT NO: 18315



OWNER/APPLICANT
SAMMONS FINANCIAL GROUP
4350 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50265

CONTACT
BRENT STRONG
PHONE: 214-695-7865
EMAIL: brent.strong@kdc.com

ZONING AND LAND USE
EXISTING ZONING: COMMUNITY COMMERCIAL & OFFICE
PROPOSED ZONING: SAMMONS FINANCIAL GROUP PUD
EXISTING LAND USE: COMMUNITY COMMERCIAL AND OFFICE
PROPOSED LAND USE: OFFICE

IMPERVIOUS SURFACE CALCULATION
EXISTING IMPERVIOUS 4,980 S.F. (.38% OF TOTAL SITE)
PROPOSED IMPERVIOUS 537,819 S.F. (41.24% OF TOTAL SITE)

SITE SUMMARY
TOTAL SITE AREA: 1,304,352 SF (29.94 ACRES)

PARKING
G.F.A. : 218,139 SF
REQUIRED:
1 STALL PER 275 S.F., G.F.A.
TOTAL: 794 STALLS

PROVIDED:
GENERAL PARKING: 778 STALLS
ACCESSIBLE: 17 STALLS
UNDERGROUND PARKING: 30 STALLS
TOTAL: 823 STALLS

SITE PLAN NOTES

ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION (UTILITY SHEET ONLY).
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1999. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3468) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION. (UTILITY SHEET ONLY).
DESIGNATED BUFFERS SHALL BE LABELED AS A "NO BUILD AREA".
ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALL PACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOT-CANDLE.

CONFLUENCE

DRAWING INDEX

SHEET NUMBER	SHEET TITLE
L000	COVER
C001	NOTE SHEET
C100	GEOMETRIC PLAN
C200	NORTH UTILITY PLAN SANITARY SEWER & WATER MAIN
C201	SOUTH UTILITY PLAN SANITARY SEWER & WATER MAIN
C202, C203	NORTHEAST UTILITY PLAN STORM SEWER
C204, C205	SOUTHEAST UTILITY PLAN STORM SEWER
C300	NORTHWEST GRADING PLAN
C301	NORTHEAST GRADING PLAN
C302	SOUTHEAST GRADING PLAN
C303	SOUTHWEST GRADING PLAN
C304	SWPPP NOTES SHEET
C305	SWPPP-GRADING PLAN NORTH
C306	SWPPP-GRADING PLAN SOUTH
C307	SWPPP-DETAILS SHEET
C400	PAVING PLAN
L100	LAYOUT PLAN
L101, L102, L103, L104, L106, L107, L108	LAYOUT PLAN ENLARGEMENT
L200	PLANTING PLAN COVER
L201	PLANTING PLAN
L202	PLANTING PLAN GROUND PLANE TREATMENT
L203, L204, L205, L206, L207, L208	PLANTING PLAN ENLARGEMENTS
L300, L301	SITE DETAILS
L302	PLANTING DETAILS

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
01	03/14/2019	SITE PLAN PRELIMINARY PLAT
02	04/12/2019	SITE PLAN PRELIMINARY PLAT
03	05/04/2019	SITE PLAN PRELIMINARY PLAT
04	06/14/2019	SITE PLAN PRELIMINARY PLAT
05	06/20/2019	SITE PLAN PRELIMINARY PLAT

VICINITY SKETCH



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MECHANICAL ENGINEER	STRUCTURAL ENGINEER	CIVIL ENGINEER	DESIGN ARCHITECT
BLUESTONE ENGINEERING 9119 NORTHPARK DR JOHNSTON, IA 50131 PH: 515.727.0700 CONTACT: TOM FOLDES	KPFF 604 LOCUST ST STE 202 DES MOINES, IA 50309 PH: 515.279.3900 CONTACT: PAUL TAYLOR	CEC 2400 86TH STREET, UNIT 12 DES MOINES, IA 50322 PH: 515.276.4884 CONTACT: PAUL CLAUSEN	HKS 350 N SAINT PAUL STREET SUITE 100 DALLAS, TEXAS 75201 PH: 1.214.969.5599 CONTACT: KEVIN VANDERSALL
			ARCHITECT OF RECORD
			SVPA 1466 28TH ST STE 200 WEST DES MOINES, IA 50266 PH: 515.327.5990 CONTACT: SARA HERMAN

LANDSCAPE ARCHITECT

CONFLUENCE
525 17TH STREET
DES MOINES, IOWA 50309
PHONE: 515.288.4875
CONTACT:



I HEREBY CERTIFY THAT THE PORTION OF THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION, AND THAT I AM A DULY REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

CHRIS DELLA VEDOVA IOWA REGISTRATION #335 DATE
MY REGISTRATION DATE IS JUNE 30, 2019
SHEETS COVERED BY THIS SEAL: _____

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**SAMMONS FINANCIAL
 GROUP HEADQUARTERS**
 8300 MILLS CIVIC PARKWAY
 WEST DES MOINES, IOWA

REVISION SCHEDULE

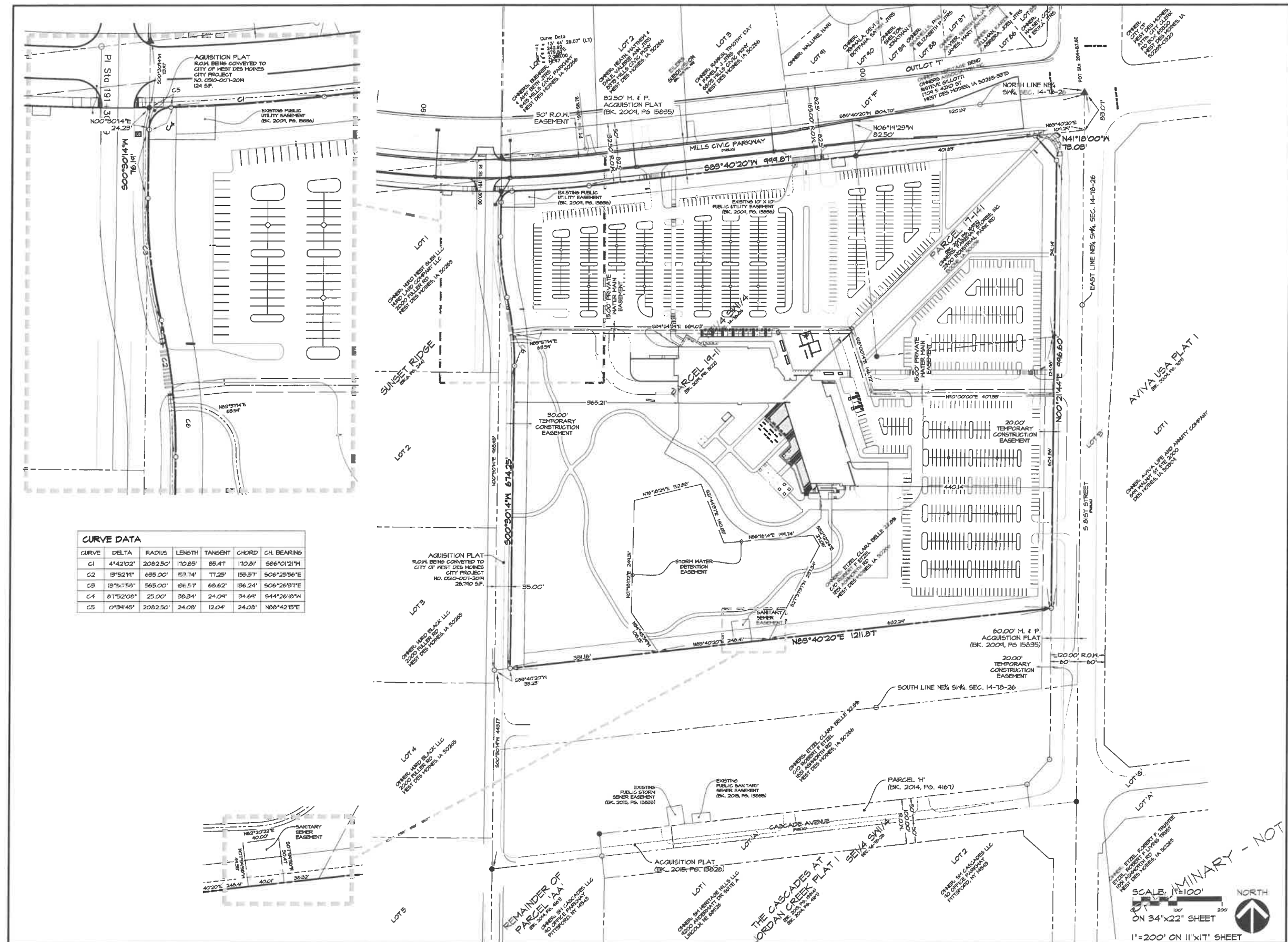
ISSUE	DATE	DESCRIPTION
01	03/14/2015	SITE PLAN PRELIMINARY PLAT
02	04/13/2015	SITE PLAN PRELIMINARY PLAT
03	06/02/15	SITE PLAN PRELIMINARY PLAT

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GEOMETRIC PLAN
 CONFLUENCE PROJECT NO: 18315

C100



U:\PLANS\18315\18315_01.dwg (Sammons Financial Group Headquarters) - 11

CONFLUENCE

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**SAMMONS FINANCIAL
 GROUP HEADQUARTERS**
 8300 MILLS CIVIC PARKWAY
 WEST DES MOINES, IOWA

REVISION SCHEDULE		
ISSUE	DATE	DESCRIPTION
01	05/14/2010	SITE PLAN PRELIMINARY PLAT
02	04/13/2010	SITE PLAN PRELIMINARY PLAT
03	05/03/2010	SITE PLAN PRELIMINARY PLAT

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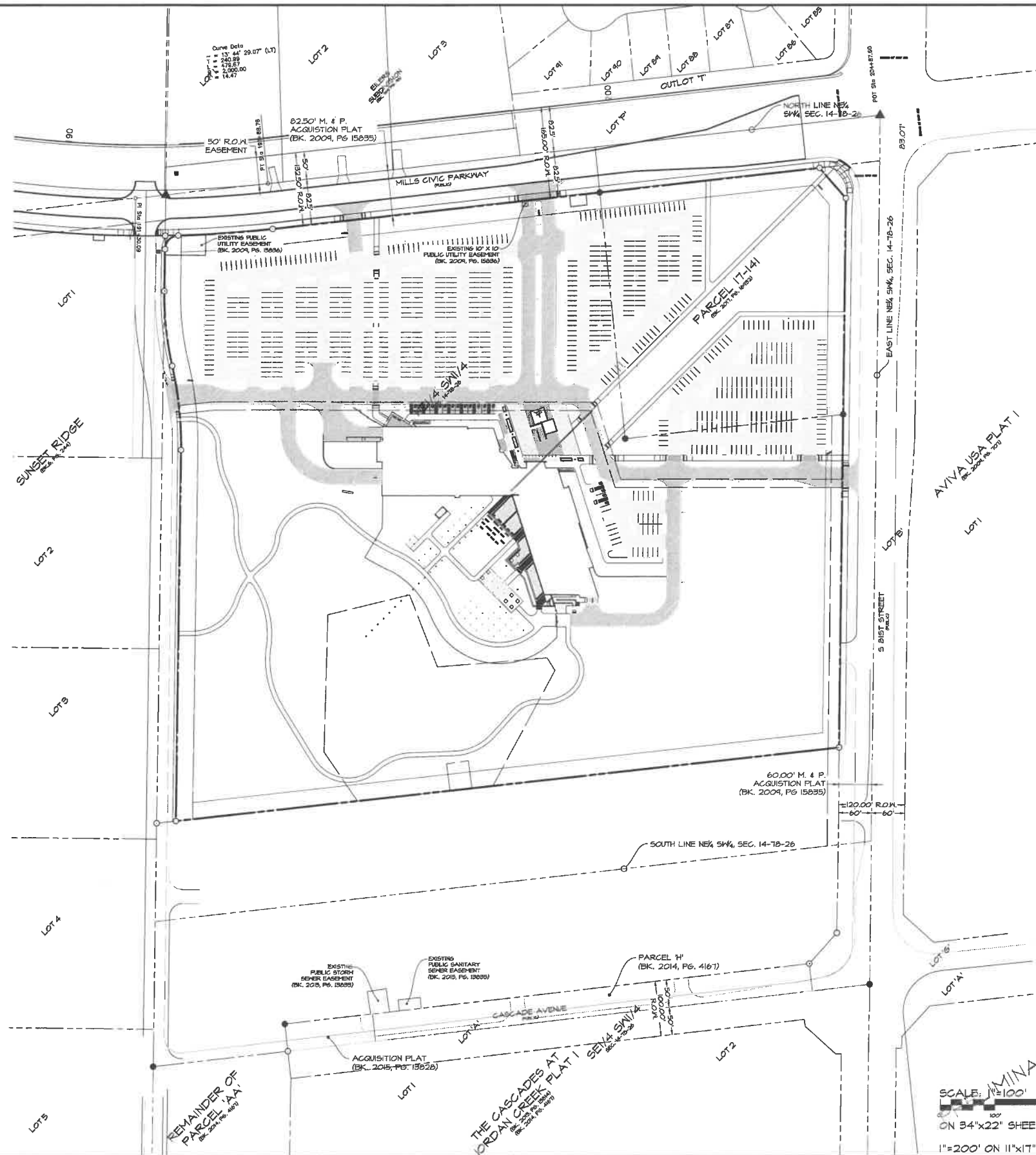
PAVING PLAN

CONFLUENCE PROJECT NO: 18315

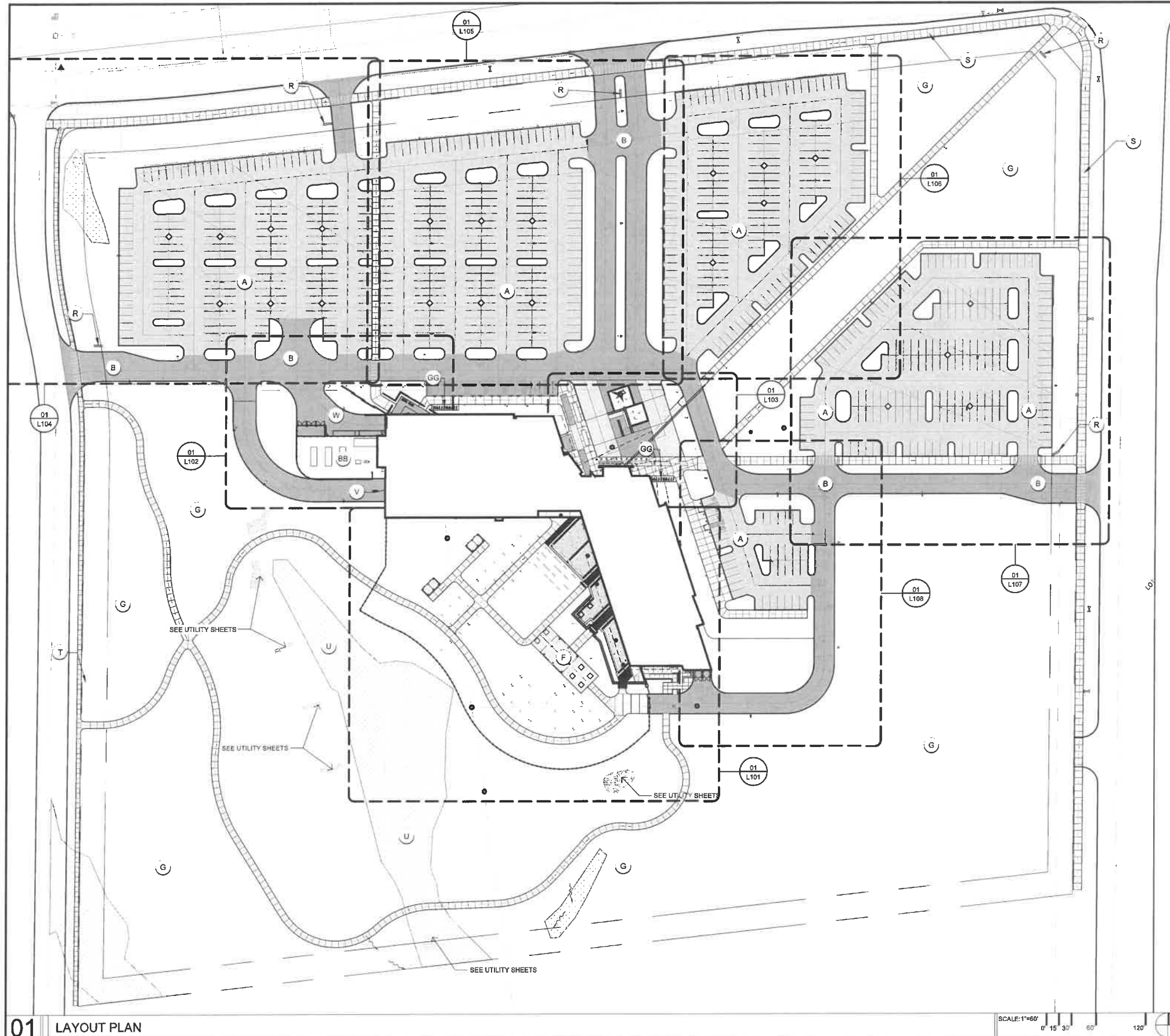
C400

PAVING QUANTITY:

10,369 S.Y.	6-1/2" P.C.C. W/6-INCH CRUSHED ROCK BASE
28,350 S.Y.	5-1/2" P.C.C. W/6-INCH CRUSHED ROCK BASE



SCALE: 1"=100'
 ON 34"x22" SHEET
 1"=200' ON 11"x17" SHEET



- LAYOUT NOTES:**
1. ALL CURBS RAMPS TO BE BUILT AS PER FEDERAL ACCESSIBILITY STANDARDS.
 2. PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 3. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY ARE PREPARED BY CEC, 2400 86TH STREET, UNIT 12, DES MOINES, IA 50322
 4. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
 5. VERIFY COORDINATES PRIOR TO CONSTRUCTION.
 6. CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY SLEEVES UNDER PAVING AND WALKS.
 7. PROPOSED SIGNAGE TO MEET CITY CODES FOR GROUND SIGNS.

- KEYNOTE LEGEND (SITE):**
- A PCC PAVING (TYPE 1) SEE DETAIL 01/L500
 - B PCC PAVING (TYPE 2) SEE DETAIL 02/L500
 - C PCC PAVING (TYPE 3) SEE DETAIL 03/L500
 - D PCC PAVING (TYPE 4) SEE DETAIL 04/L500
 - E PCC PAVING (TYPE 5) SEE DETAIL 04/L500
 - F PAVILION
 - G LANDSCAPED AREA, SEE PLANTING SHEETS
 - H PCC SEATWALL, SEE DETAIL 14/L500
 - I PRECAST BENCH, SEE DETAIL 00/L000
 - J STAIRS AT BACK SPACE SEE DETAIL 17/L500
 - K 6" ORNAMENTAL STEEL SECURITY FENCE, SEE DETAIL 18/L500
 - L PEDESTRIAN GATES FOR FENCED AREA, SEE DETAIL 01/L501
 - M GUARDRAIL AT RAMP WALLS, SEE DETAIL
 - N LANDSCAPE EDGERS; SEE DETAIL XX/L500
 - O CURB RAMP; SEE DETAIL 13/L500
 - P TREE DIAMOND; SEE DETAIL 00/L000
 - Q PLANTER; SEE DETAIL 00/L000
 - R MONUMENT SIGN SEE DETAILS L503
 - S CITY TRAIL (10' WIDE)
 - T CITY SIDEWALK (5' WIDE)
 - U DETENTION BASIN/EXISTING WETLAND
 - V UNDERGROUND PARKING ACCESS
 - W SERVICE DOCK
 - X LIGHT POLE, SEE LIGHTING PLAN
 - Y LIGHT STICK; SEE LIGHTING PLAN
 - Z LIGHT BOLLARD (3") SEE LIGHTING PLAN
 - AA LIGHT BOLLARD (18") SEE LIGHTING PLAN
 - BB EQUIPMENT AREA
 - CC SECURITY BOLLARD, SEE DETAIL 02/L501
 - DD SCREEN WALLS, SEE DETAIL 05/L501
 - EE ART INSTALLATION
 - FF POWER SLIDING GATE, SEE DETAIL 19/L501
 - GG BIKE RACK, SEE DETAIL 03/L501
 - HH PARKING SIGN, SEE DETAIL 04/L501
 - II PCC RAMP, SEE DETAIL
 - JJ TRASH ENCLOSURE AREA- SEE ARCH. PLANS
 - KK OUTDOOR WORK AREA- SEE DETAIL
 - LL CURBED ISLAND WITH CARD ACCESS PEDESTAL
 - MM PAINTED CROSSWALK
 - NN WATERWALL FOUNTAIN
 - OO ADA SIGNAGE SEE DETAIL 03/L501
 - PP PRECAST PARKING CURB 12/L500
 - QQ AMENITIES BUILDING PAVER PLAZA; SEE DETAIL SHEET L504

- PAVEMENT LEGEND (SITE):**
- PCC PAVING (TYPE 1)
5-1/2" PCC ON 6" CRUSHED ROCK BASE
 - PCC PAVING (TYPE 2)
6-1/2" PCC ON 6" CRUSHED ROCK BASE
 - PCC PAVING (TYPE 3)
5" PCC ON COMPACTED SUBGRADE
 - CONCRETE PAVERS ON ASPHALT SETTING BED (TYPE 4)
COLOR: LIGHT GRAY
 - CONCRETE PAVERS ON ASPHALT SETTING BED (TYPE 5)
COLOR: DARK GRAY

NOTE:
CONTRACTOR TO PROVIDE 4X4' MOCKUPS OF EACH CONCRETE TYPE (1-4) FOR REVIEW AND APPROVAL BY OWNER. MOCKUPS TO BE PROVIDED ADJACENT TO EACH OTHER AND INCLUDE EXAMPLE FINISHES AND JOINTS.

CONFLUENCE

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**SAMMONS FINANCIAL
 GROUP HEADQUARTERS**

WEST DES MOINES / IOWA

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
01	03/14/2019	SITE PLAN/PRELIMINARY PLAT
02	04/12/2019	SITE PLAN/PRELIMINARY PLAT
03	05/02/2019	SITE PLAN/PRELIMINARY PLAT

ISSUED FOR
 SITE PLAN /
 PRELIMINARY
 PLAT
 NOT FOR
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LAYOUT PLAN

CONFLUENCE PROJECT NO: 18315

L100

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**SAMMONS FINANCIAL
 GROUP HEADQUARTERS**

WEST DES MOINES / IOWA

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
01	03/14/2019	SITE PLAN/PRELIMINARY PLAT
02	04/13/2019	SITE PLAN/PRELIMINARY PLAT
03	05/24/2019	SITE PLAN/PRELIMINARY PLAT

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PLANTING PLAN







CONFLUENCE PROJECT NO: 18315

L201
















PLANTING REQUIREMENTS:

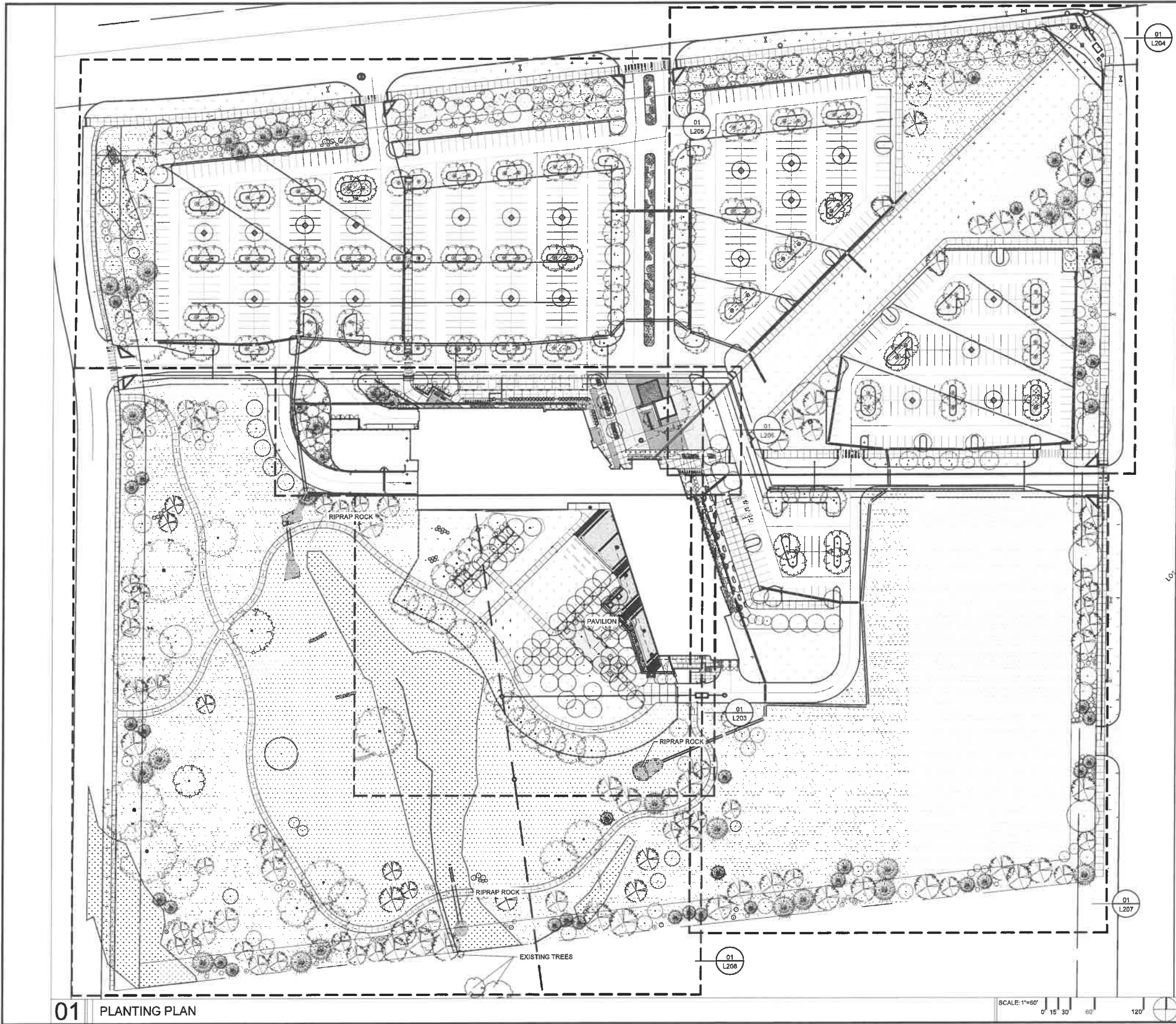
TOTAL SITE AREA: 1,304,052 SF (29.84 ACRES)
 26% OPEN SPACE REQUIRED: 326,088 SF
 TREES REQUIRED: 327 (3 TREES / 3,000 SF OPEN SPACE)
 TREES PROVIDED: 327
 NO EXISTING
 NEW OVERSTORY: 218
 NEW UNDERSTORY: 109
 165 EVERGREEN/327 REQUIRED TREES= 51%
 SHRUBS REQUIRED: 327 (3 SHRUBS / 3,000 SF OPEN SPACE)
 BUFFER ALONG MILLS CIVIC PARKWAY= 1220 LF
 TREES REQUIRED: 35 (1 OVERSTORY TREE/ 35 LINEAR FT)
 TREES PROVIDED: 135
 NO EXISTING
 NEW OVERSTORY = 35
 TREES REQUIRED: 70 (2 UNDERSTORY TREES/ 35 LINEAR FT)
 TREES PROVIDED: 70
 NO EXISTING
 NEW UNDERSTORY = 70
 36 EVERGREEN/105 REQUIRED: 34%
 SHRUBS REQUIRED: 210 (6 SHRUBS / 35 LF BUFFER)
 SHRUBS PROVIDED: 210 (0 EXISTING, 210 PROPOSED)
 PARKING ISLANDS REQUIRED: 40
 DOUBLE: 40
 SINGLE: 5
 PARKING ISLANDS PROVIDED: 45
 PARKING PODS REQUIRED: 22
 PARKING PODS PROVIDED: 22
 PARKING TREES REQUIRED: 107 (2/DOUBLE, 1/SINGLE 1/POD)
 PARKING TREES PROVIDED: 107

TREE LEGEND

-  OVERSTORY TREE
-  LARGE EVERGREEN TREE
-  EVERGREEN TREE
-  UNDERSTORY TREE
-  SHRUB
-  PERENNIAL

HATCH LEGEND

-  EXISTING WETLAND
-  TYPE 1 SHORT GRASS
-  TYPE 2 TURF SEED MIX
-  TYPE 3 NATIVE WETLAND MIX
-  TYPE 4 PRAIRIE MIX
-  TYPE 5 SHADE PRAIRIE MIX
-  TYPE 6 DELOSPERMA 'KELAIDIS' (DK)
-  TYPE 7 CORNUS CANADENSIS
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-  TYPE 9 THYMUS SERPYLLUM (TY)
-  TYPE 10 DELOSPERMA 'JOHN PROFFITT' (DJ)
-  TYPE 11 VINCA MINOR
-  TYPE 12 ECHINACEA 'PAJUPREA' 'SENSATION PINK'
-  TYPE 13 COREOPSIS ROSEA
-  TYPE 14 MULCH



01 PLANTING PLAN

SCALE: 1"=60'
 0' 15' 30' 60' 120'

CONFLUENCE

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 DES MOINES, IOWA 50309
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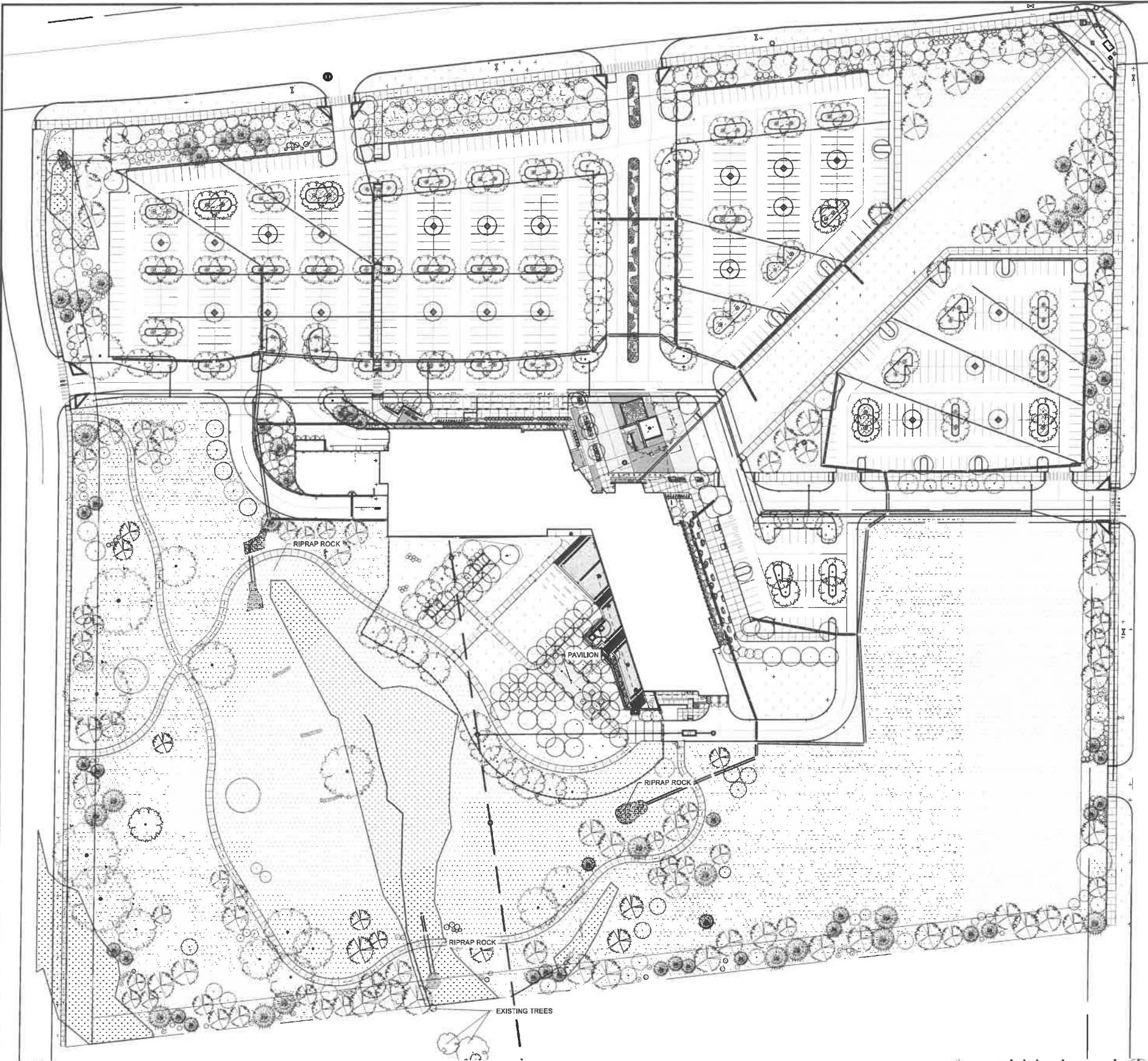
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HATCH LEGEND

- EXISTING WETLAND
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- TYPE 14 MULCH

SAMMONS L202 PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
GROUNDCOVER						
DJ	1635	Delosperma 'John Proffitt	DELOSPERMA 'JOHN PROFFITT	#SP4	CONT.	1'-6" TRIANGULAR SPACING
DK	2187	Delosperma 'Kelaidis'	DELOSPERMA 'KELAIDIS'	#SP4	CONT.	1'-6" TRIANGULAR SPACING
TY	2183	Thymus serpyllum	MOTHER OF THYME	#SP4	CONT.	1'-6" TRIANGULAR SPACING

SEEDING SPECIFICATIONS

SQ.FT.	ACRES	SEED TYPE	NAME	SUPPLIER	SEEDING RATE
SEED MIXES					
481206.62	11.5	TYPE 1 - SHORT GRASS MIX	CARE-FREE TURF GRASS SEED MIX	LA CROSSE SEED	6-8LBS/1000 SF
113219.59	2.6	TYPE 2 - TURF MIX	LOW MAINTENANCE LAWN MIX	MILLER SEED	DRILLED 1.5LBS/1000SF
119897.4	2.75	TYPE 3 - NATIVE WETLAND MIX	WETLAND PRAIRIE MIX	MILLER SEED	15 LBS / ACRE
18175.71	.44	TYPE 4 - PRAIRIE MIX	NATIVE WILDFLOWERS & POLLINATOR MIX MIDWEST	LA CROSSE SEED	33 LBS/ACRE
6248.27	.14	TYPE 5 - SHADE PRAIRIE MIX	NATIVE WILDFLOWERS & POLLINATOR MIX SHADE MIX	LA CROSSE SEED	33 LBS/ACRE

REVISION SCHEDULE

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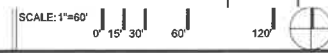
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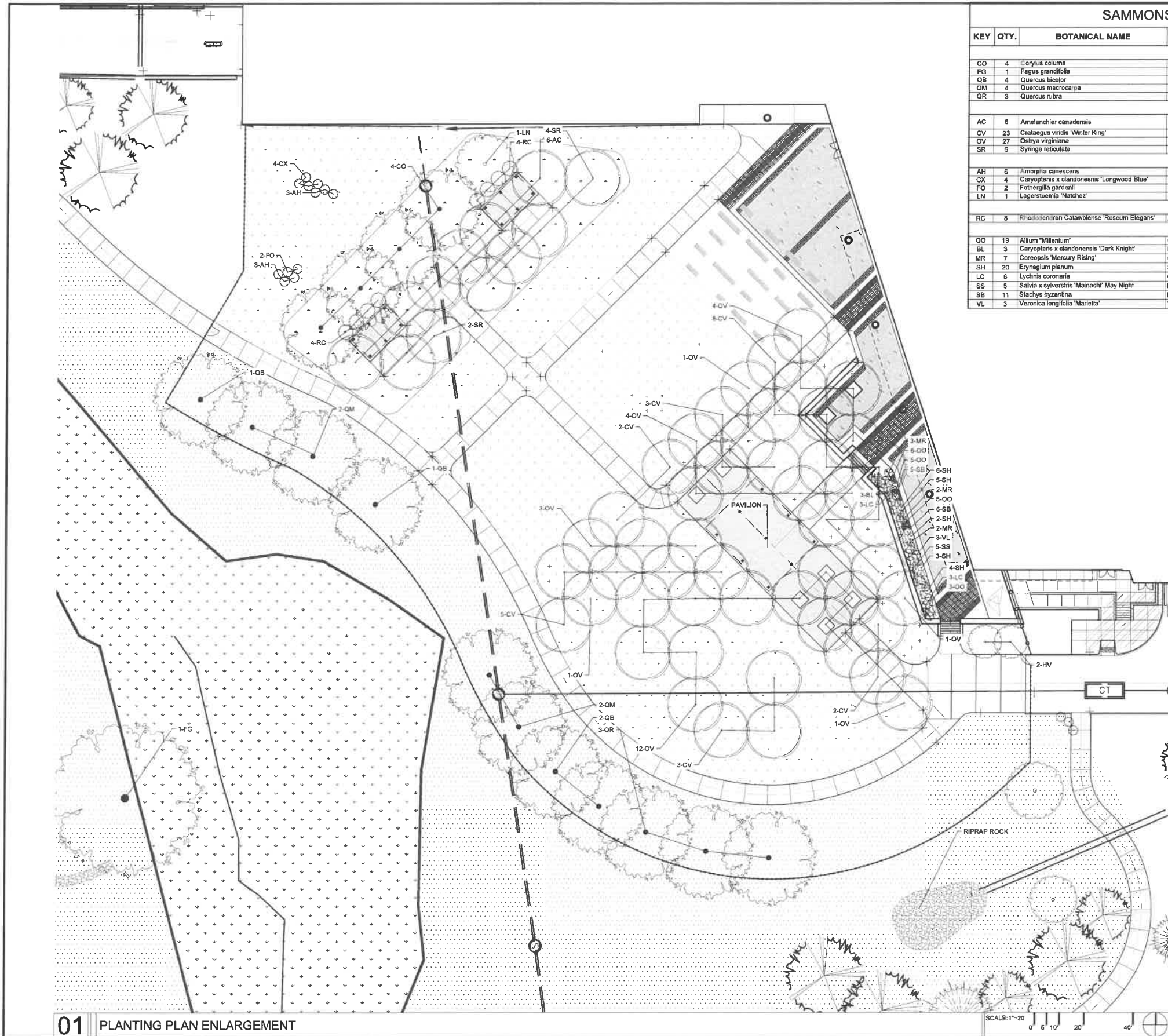
**PLANTING PLAN
 GROUND PLANE
 TREATMENT**

CONFLUENCE PROJECT NO: 18315

L202



**SAMMONS FINANCIAL
 GROUP HEADQUARTERS**
 WEST DES MOINES / IOWA



SAMMONS L203 PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
OVERSTORY TREES						
CO	4	<i>Corylus coloma</i>	TURKISH FILBERT	2" CAL.	B&B	SPECIMEN QUALITY
FG	1	<i>Fagus grandifolia</i>	AMERICAN BEECH	2" CAL.	B&B	SPECIMEN QUALITY
QB	4	<i>Quercus bicolor</i>	SWAMP WHITE OAK	2" CAL.	B&B	SPECIMEN QUALITY
QM	4	<i>Quercus macrocarpa</i>	BUR OAK	2" CAL.	B&B	SPECIMEN QUALITY
QR	3	<i>Quercus rubra</i>	RED OAK	2" CAL.	B&B	SPECIMEN QUALITY
UNDERSTORY TREES						
AC	6	<i>Amelanchier canadensis</i>	SHADBLOW SERVICEBERRY	1 1/2" CAL.	B&B	CLUMP FORM
CV	23	<i>Crataegus viridis</i> 'Winter King'	GREEN HAWTHORN	1 1/2" CAL.	B&B	
OV	27	<i>Ostrya virginiana</i>	EASTERN HOP HORNBEEAM	1 1/2" CAL.	B&B	
SR	6	<i>Syringa reiculata</i>	JAPANESE TREE LILAC	1 1/2" CAL.	B&B	
DECIDUOUS SHRUBS						
AH	6	<i>Amorpha canescens</i>	LEAD PLANT	#3	CONT.	2'-6" O.C.
CX	4	<i>Caryophanes x clandonensis</i> 'Longwood Blue'	BLUEBEARD	#3	CONT.	4'-0" O.C.
FO	2	<i>Fothergilla gardenii</i>	DWARF FOTHERGILLA	#3	CONT.	4'-0" O.C.
LN	1	<i>Lagerstroemia 'Natchez'</i>	CREPE MYRTLE	#3	CONT.	21'-0" O.C.
EVERGREEN SHRUBS						
RC	8	<i>Rhododendron Catawbiense</i> 'Roseum Elegans'	RHODODENDRON 'ROSEUM ELEGANS'	#3	CONT.	8'-0" O.C.
PERENNIALS						
OO	19	<i>Allium 'Millenium'</i>	ORNAMENTAL ONION	#SP4	CONT.	1'-6" TRIANGULAR SPACING
BL	3	<i>Caryophanes x clandonensis</i> 'Dark Knight'	BLUEBEARD	#SP4	CONT.	1'-6" TRIANGULAR SPACING
MR	7	<i>Coreopsis 'Mercury Rising'</i>	COREOPSIS	#SP4	CONT.	1'-6" TRIANGULAR SPACING
SH	20	<i>Eryngium planum</i>	SEAHOLLY	#SP4	CONT.	1'-6" TRIANGULAR SPACING
LC	6	<i>Lychins coronaria</i>	CATCHFLY	#SP4	CONT.	1'-6" TRIANGULAR SPACING
SS	6	<i>Salvia x sylvestris</i> 'Mainacht' May Night	MAY NIGHT SALVIA	#SP4	CONT.	1'-6" TRIANGULAR SPACING
SB	11	<i>Stachys byzantina</i>	LAMB'S EAR	#SP4	CONT.	1'-6" TRIANGULAR SPACING
VL	3	<i>Veronica longifolia</i> 'Marietta'	VERONICA	#SP4	CONT.	1'-6" TRIANGULAR SPACING

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TREE LEGEND

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- EVERGREEN TREE
- UNDERSTORY TREE
- SHRUB
- PERENNIAL

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SAMMONS FINANCIAL GROUP HEADQUARTERS

WEST DES MOINES / IOWA

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
01	03/14/2015	SITE PLAN/PRELIMINARY PLAT
02	04/12/2015	SITE PLAN/PRELIMINARY PLAT
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PLANTING PLAN ENLARGEMENT

CONFLUENCE PROJECT NO: 18315

L203

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SAMMONS FINANCIAL GROUP HEADQUARTERS
 WEST DES MOINES / IOWA

SAMMONS L204 PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
OVERSTORY TREES						
CK	4	<i>Cladrasalis kentuckea</i>	YELLOWWOOD	2" CAL.	B&B	SPECIMEN QUALITY
NS	13	<i>Nyssa sylvatica</i>	BLACK TUPELO	2" CAL.	B&B	SPECIMEN QUALITY
TA	10	<i>Tilia americana</i>	AMERICAN LINDEN	2" CAL.	B&B	SPECIMEN QUALITY
TC	8	<i>Tilia cordata</i>	LITTLE-LEAF-LINDEN	2" CAL.	B&B	SPECIMEN QUALITY
UNDERSTORY TREES						
AC	12	<i>Amelanchier canadensis</i>	SHADBLOW SERVICEBERRY	1 1/2" CAL.	B&B	CLUMP FORM
AG	4	<i>Acer griseum</i>	PAPERBARK MAPLE	1 1/2" CAL.	B&B	
AE	2	<i>Aesculus glabra</i>	OHIO BUCKEYE	1 1/2" CAL.	B&B	
CC	13	<i>Cercis canadensis</i>	EASTERN REDBUD	1 1/2" CAL.	B&B	CLUMP FORM
CH	3	<i>Chionanthus restuosus</i>	CHINESE FRINGE TREE	1 1/2" CAL.	B&B	
CR	6	<i>Cornus kousa</i>	KOUSA DOGWOOD	1 1/2" CAL.	B&B	
CV	5	<i>Crataegus viridis 'Winter King'</i>	GREEN HAWTHORN	1 1/2" CAL.	B&B	
OV	11	<i>Ostrya virginiana</i>	EASTERN HOP HORNBEEAM	1 1/2" CAL.	B&B	
EVERGREEN TREES						
AB	3	<i>Abies balsamea</i>	BALSAM FIR	6" HT	B&B	AS SHOWN ON PLAN
AS	2	<i>Abies concolor</i>	WHITE FIR	6" HT	B&B	AS SHOWN ON PLAN
LL	5	<i>Larix laricina</i>	LARCH / TAMARACK	6" HT	B&B	AS SHOWN ON PLAN
PG	3	<i>Picea glauca</i>	WHITE SPRUCE	6" HT	B&B	AS SHOWN ON PLAN
PB	5	<i>Pinus bungeana</i>	LACEBARK PINE	6" HT	B&B	AS SHOWN ON PLAN
PN	7	<i>Pinus nigra</i>	AUSTRIAN PINE	6" HT	B&B	AS SHOWN ON PLAN
PP	1	<i>Pinus ponderosa</i>	PONDEROSA PINE	6" HT	B&B	AS SHOWN ON PLAN
PS	9	<i>Pinus strobus</i>	SCOTCH PINE	6" HT	B&B	AS SHOWN ON PLAN
PT	1	<i>Pinus strobus</i>	EASTERN WHITE PINE	6" HT	B&B	AS SHOWN ON PLAN
FV	10	<i>Pinus virginiana</i>	WATER'S GOLDEN PINE / VIRGINIA PINE	6" HT	B&B	AS SHOWN ON PLAN
DECIDUOUS SHRUBS						
CE	12	<i>Ceanothus americanus</i>	NEW JERSEY TEA SHRUB	#3	CONT.	6'-0" O.C.
CG	2	<i>Cotinus coggygria 'Royal Purple'</i>	SMOKEBUSH / SMOKETREE	#3	CONT.	12'-0" O.C.
DP	3	<i>Dicra palustris</i>	LEATHERWOOD	#3	CONT.	6'-0" O.C.
FI	26	<i>Forsythia x intermedia 'Cordjia'</i>	BORDER FORSYTHIA	#3	CONT.	2.6'-0" O.C.
HV	10	<i>Hamamelis virginiana</i>	COMMON WITCH HAZEL	#3	CONT.	20'-0" O.C.
HA	10	<i>Hydrangea arborescens 'Annabelle'</i>	SMOOTH HYDRANGEA	#3	CONT.	6'-0" O.C.
HM	2	<i>Hydrangea macrophylla 'Spike'</i>	BIGLEAF HYDRANGEA	#3	CONT.	5'-0" O.C.
HQ	4	<i>Hydrangea quercifolia</i>	OAKLEAF HYDRANGEA	#3	CONT.	5'-0" O.C.
LN	12	<i>Lagerstroemia 'Natchez'</i>	CREPE MYRTLE	#3	CONT.	21'-0" O.C.
MP	3	<i>Myrica pensylvanica</i>	BAYBERRY	#3	CONT.	10'-0" O.C.
PO	6	<i>Physocarpus opulifolius 'Center Glow'</i>	NINEBARK	#3	CONT.	8'-0" O.C.
SM	3	<i>Syringa meyeri 'palibin'</i>	LILAC	#3	CONT.	7'-0" O.C.
SV	1	<i>Syringa vulgaris 'Sensation'</i>	COMMON LILAC	#3	CONT.	12'-0" O.C.
VC	17	<i>Viburnum cariesii</i>	KOREANSPICE VIBURNUM	#3	CONT.	7'-0" O.C.
VD	8	<i>Viburnum dentatum 'Christom' -Blue Muffin</i>	ARROWWOOD VIBURNUM	#3	CONT.	4'-0" O.C.
EVERGREEN SHRUBS						
PD	1	<i>Pinus densiflora 'Umbraculifera'</i>	RED CEDAR	#3	CONT.	25'-0" O.C.
RH	20	<i>Rhododendron PJM</i>	RHODODENDRON PJM	#3	CONT.	7'-0" O.C.
GROUND COVERS						
DJ	978	<i>Delosperma 'John Proffitt'</i>	DELOSPERMA JOHN PROFFITT	#SP4	CONT.	1'-6" TRIANGULAR SPACING
DK	1116	<i>Delosperma 'Kalaids'</i>	DELOSPERMA 'KALAIIDS'	#SP4	CONT.	1'-6" TRIANGULAR SPACING
TY	1503	<i>Thymus serpyllum</i>	MOTHER OF THYME	#SP4	CONT.	1'-6" TRIANGULAR SPACING

HATCH LEGEND

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TREE LEGEND

- OVERSTORY TREE
- LARGE EVERGREEN TREE
- EVERGREEN TREE
- UNDERSTORY TREE
- SHRUB
- PERENNIAL

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
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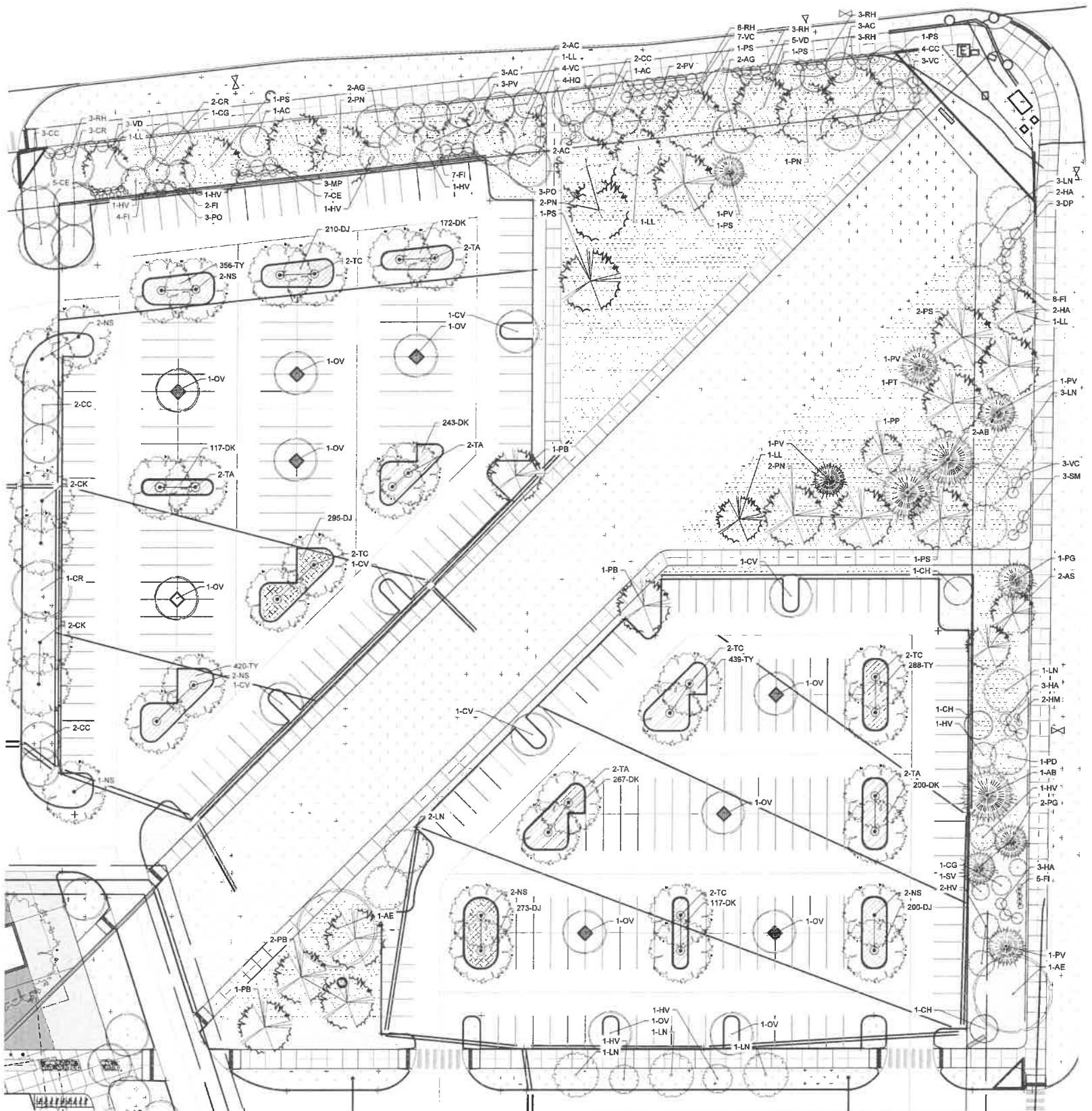
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PLANTING PLAN ENLARGEMENT

CONFLUENCE PROJECT NO: 18315

L204



01 PLANTING PLAN ENLARGEMENT

SCALE: 1"=30'
 0' 7.5' 15' 30' 60'

CONFLUENCE

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02	04/12/2019	SITE PLAN/PRELIMINARY PLAT
03	05/24/2019	SITE PLAN/PRELIMINARY PLAT

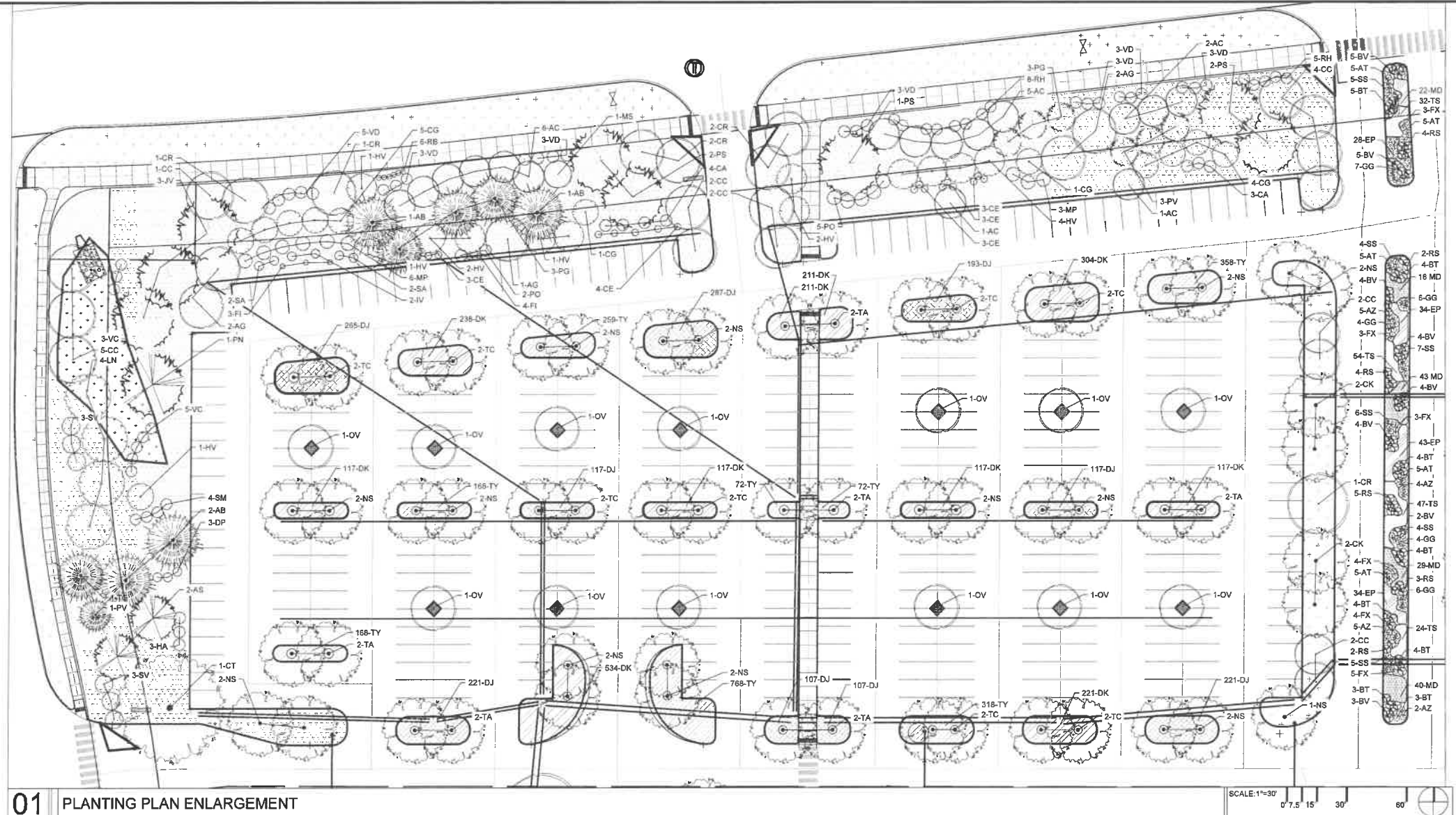
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 SITE PLAN /
 PRELIMINARY
 PLAT
 NOT FOR
 CONSTRUCTION

PLANTING PLAN ENLARGEMENT

CONFLUENCE PROJECT NO: 18315

L205

- HATCH LEGEND**
- EXISTING WETLAND
 - TYPE 1 SHORT GRASS
 - TYPE 2 TURF SEED MIX
 - TYPE 3 NATIVE WETLAND MIX
 - TYPE 4 PRAIRIE MIX
 - TYPE 5 SHADE PRAIRIE MIX
 - TYPE 6 DELOSPERMA 'KELAIDIS' (DK)
 - TYPE 7 CORNUS CANADENSIS
 - TYPE 8 MONARDA DIDYMA
 - TYPE 9 THYMUS SERPYLLUM (TY)
 - TYPE 10 DELOSPERMA 'JOHN PROFFITT' (DJ)
 - TYPE 11 VINCA MINOR
 - TYPE 12 ECHINACEA PUPUREA 'SENSATION PINK'
 - TYPE 13 COREOPSIS ROSEA
 - TYPE 14 MULCH
- TREE LEGEND**
- OVERSTORY TREE
 - LARGE EVERGREEN TREE
 - EVERGREEN TREE
 - UNDERSTORY TREE
 - SHRUB
 - PERENNIAL



01 PLANTING PLAN ENLARGEMENT

SAMMONS L205 PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
OVERSTORY TREES						
CT	1	Catalpa speciosa	NORTHERN CATALPA	2" CAL.	B&B	SPECIMEN QUALITY
CK	4	Cedrus deodora	DEODAR	2" CAL.	B&B	SPECIMEN QUALITY
NS	25	Nyssa sylvatica	BLACK Tupelo	2" CAL.	B&B	SPECIMEN QUALITY
TA	12	Tilia americana	AMERICAN LINDEN	2" CAL.	B&B	SPECIMEN QUALITY
TC	16	Tilia cordata	LITTLE-LEAF LINDEN	2" CAL.	B&B	SPECIMEN QUALITY
UNDERSTORY TREES						
AC	15	Amenanchier canadensis	SHADBLOW SERVICEBERRY	1 1/2" CAL.	B&B	CLUMP FORM
AG	5	Acer griseum	PAPERBARK MAPLE	1 1/2" CAL.	B&B	
CC	18	Cercis canadensis	EASTERN REDBUD	1 1/2" CAL.	B&B	CLUMP FORM
CR	7	Cornus kousa	KOUSA DOGWOOD	1 1/2" CAL.	B&B	
MS	1	Magnolia stellata	STAR MAGNOLIA	1 1/2" CAL.	B&B	
OV	13	Ostrya virginiana	EASTERN HOP HORNBEAM	1 1/2" CAL.	B&B	
EVERGREEN TREES						
AB	4	Abies balsamea	BALSAM FIR	6' HT	B&B	AS SHOWN ON PLAN
AS	2	Abies concolor	WHITE FIR	6' HT	B&B	AS SHOWN ON PLAN
JV	3	Juniperus virginiana	RED CEDAR	6' HT	B&B	AS SHOWN ON PLAN
PG	6	Picea glauca	WHITE SPRUCE	6' HT	B&B	AS SHOWN ON PLAN
PN	1	Pinus nigra	AUSTRIAN PINE	6' HT	B&B	AS SHOWN ON PLAN
PS	5	Pinus sylvestris	SCOTCH PINE	6' HT	B&B	AS SHOWN ON PLAN
PV	4	Pinus virginiana	WATE'S GOLDEN PINE / VIRGINIA PINE	6' HT	B&B	AS SHOWN ON PLAN
TG	1	Tsuga canadensis	CANADIAN HEMLOCK	6' HT	B&B	AS SHOWN ON PLAN
EVERGREEN SHRUBS						
RB	6	Rhododendron bulbosum	RHODODENDRON AGLO BUBBLEGUM	#3	CONT.	3'-0" O.C.
RH	13	Rhododendron PJM	RHODODENDRON PJM	#3	CONT.	7'-0" O.C.

SAMMONS L205 PLANT SCHEDULE CONTINUED

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
DECIDUOUS SHRUBS						
CA	7	Clethra alnifolia	SWEET PEPPERBUSH	#3	CONT.	6'-0" O.C.
CE	16	Ceanothus americanus	NEW JERSEY TEA SHRUB	#3	CONT.	5'-0" O.C.
CG	11	Cotinus coggygria 'Royal Purple'	SMOKEBUSH / SMOKETREE	#3	CONT.	12'-0" O.C.
DF	3	Dicentra palustris	LEATHERWOOD	#3	CONT.	6'-0" O.C.
FI	7	Forsythia x intermedia 'Cordata'	BORDER FORSYTHIA	#3	CONT.	2.5'-0" O.C.
HV	12	Hamelia virginiana	COMMON WITCH HAZEL	#3	CONT.	20'-0" O.C.
HA	3	Hydrangea arborescens 'Annabelle'	SMOOTH HYDRANGEA	#3	CONT.	6'-0" O.C.
IV	2	Ilex verticillata 'Jim Dandy'	WINTERBERRY	#3	CONT.	8'-0" O.C.
LN	4	Lagerstroemia 'Natchez'	CREPE MYRTLE	#3	CONT.	21'-0" O.C.
MP	9	Myrica pensylvanica	BAYBERRY	#3	CONT.	10'-0" O.C.
PO	7	Physocarpus opulifolius 'Center Glow'	NINEBARK	#3	CONT.	8'-0" O.C.
SA	4	Syringa carolinensis	SNOWBERRY	#3	CONT.	5'-0" O.C.
SM	4	Syringa meyeri 'Palibin'	LILAC	#3	CONT.	7'-0" O.C.
SV	6	Syringa vulgaris 'Sensation'	COMMON LILAC	#3	CONT.	12'-0" O.C.
VC	8	Viburnum carlesii	KOREANSPICE VIBURNUM	#3	CONT.	7'-0" O.C.
VD	23	Viburnum dentatum 'Christon'	ARROWWOOD VIBURNUM	#3	CONT.	4'-0" O.C.
PERENNIALS						
AZ	16	Accotium carmichaelii	AZURE MONKSHOOD	#SP4	CONT.	1'-6" TRIANGULAR SPACING
AT	25	Asclepias tuberosa	BUTTERFLY MILKWEED	#SP4	CONT.	1'-6" TRIANGULAR SPACING
BV	31	Baptisia x varicolor 'Twilite'	BLUE FALSE INDIGO	#SP4	CONT.	1'-6" TRIANGULAR SPACING
TS	157	Coreopsis rosea	TICKSEED	#SP4	CONT.	1'-6" TRIANGULAR SPACING
FX	22	Digitalis purpurea	COMMON FOXGLOVE	#SP4	CONT.	1'-6" TRIANGULAR SPACING
EP	139	Echinacea purpurea 'Sensation Pink'	SENSATION PINK CONEFLOWER	#SP4	CONT.	1'-6" TRIANGULAR SPACING
GG	27	Gallardia x grandiflora	BLANKET FLOWER	#SP4	CONT.	1'-6" TRIANGULAR SPACING
MD	152	Monarda didyma	BEE BALM	#SP5	CONT.	1'-6" TRIANGULAR SPACING
BT	31	Penstemon digitalis	BEARDTONGUE	#SP4	CONT.	1'-6" TRIANGULAR SPACING
RS	20	Perovskia atriplicifolia	RUSSIAN SAGE	#SP4	CONT.	1'-6" TRIANGULAR SPACING
SS	31	Salvia x sylvestris 'Majestic'	MAY NIGHT SALVIA	#SP4	CONT.	1'-6" TRIANGULAR SPACING
GROUND COVERS						
DJ	1635	Delosperma 'John Proffitt'	DELOSPERMA JOHN PROFFITT	#SP4	CONT.	1'-6" TRIANGULAR SPACING
DK	2187	Delosperma 'Kelaidis'	DELOSPERMA 'KELAIDIS'	#SP4	CONT.	1'-6" TRIANGULAR SPACING
TY	2183	Thymus serpyllum	MOTHER OF THYME	#SP4	CONT.	1'-6" TRIANGULAR SPACING

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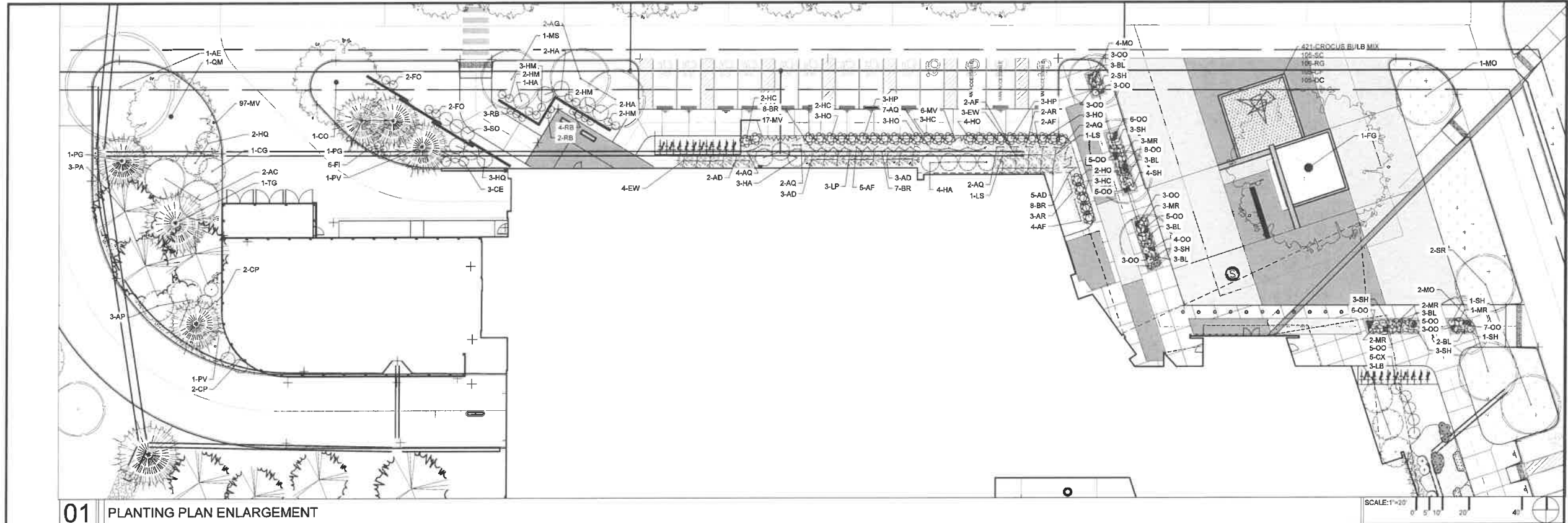
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**SAMMONS FINANCIAL
 GROUP HEADQUARTERS**
 WEST DES MOINES / IOWA



01 PLANTING PLAN ENLARGEMENT

SCALE: 1"=20'
 0 5 10 20 40'

SAMMONS L206 PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
OVERSTORY TREES						
CO	1	<i>Corylus colurna</i>	TURKISH FILBERT	2" CAL.	B&B	SPECIMEN QUALITY
FG	1	<i>Fagus grandifolia</i>	AMERICAN BEECH	2" CAL.	B&B	SPECIMEN QUALITY
QM	1	<i>Quercus macrocarpa</i>	BUR OAK	2" CAL.	B&B	SPECIMEN QUALITY
UNDERSTORY TREES						
AC	2	<i>Amelanchier canadensis</i>	SHADBLOW SERVICEBERRY	1 1/2" CAL.	B&B	CLUMP FORM
AG	2	<i>Acer griseum</i>	PAPERBARK MAPLE	1 1/2" CAL.	B&B	
AE	1	<i>Aesculus glabra</i>	OHIO BUCKEYE	1 1/2" CAL.	B&B	
MO	7	<i>Magnolia soulangeana</i>	SAUCER MAGNOLIA	1 1/2" CAL.	B&B	
MS	1	<i>Magnolia stellata</i>	STAR MAGNOLIA	1 1/2" CAL.	B&B	
SR	2	<i>Syringa reticulata</i>	JAPANESE TREE LILAC	1 1/2" CAL.	B&B	
EVERGREEN TREES						
PA	3	<i>Picea abies</i>	NORWAY SPRUCE	6' HT.	B&B	AS SHOWN ON PLAN
PG	2	<i>Picea glauca</i>	WHITE SPRUCE	6' HT.	B&B	AS SHOWN ON PLAN
PV	2	<i>Pinus virginiana</i>	WATE'S GOLDEN PINE / VIRGINIA PINE	6' HT.	B&B	AS SHOWN ON PLAN
TG	1	<i>Tsuga canadensis</i>	CANADIAN HEMLOCK	6' HT.	B&B	AS SHOWN ON PLAN
DECIDUOUS SHRUBS						
AP	3	<i>Aesculus parviflora</i>	BOTTLEBRUSH BUCKEYE	#3	CONT.	12'-0" O.C.
CX	6	<i>Caryocarpus x clandonensis</i> 'Longwood Blue'	BLUEBEARD	#3	CONT.	4'-0" O.C.
CE	3	<i>Ceanothus americanus</i>	NEW JERSEY TEA SHRUB	#3	CONT.	5'-0" O.C.
CG	1	<i>Cotinus coggygria</i> 'Royal Purple'	SMOKEBUSH / SMOKETREE	#3	CONT.	12'-0" O.C.
FO	4	<i>Fothergilla gardenii</i>	DWARF FOTHERGILLA	#3	CONT.	4'-0" O.C.
FI	6	<i>Forsythia x intermedia</i> 'Cordata'	BORDER FORSYTHIA	#3	CONT.	2.5'-0" O.C.
HA	12	<i>Hydrangea arborescens</i> 'Annabelle'	SMOOTH HYDRANGEA	#3	CONT.	5'-0" O.C.
HM	9	<i>Hydrangea macrophylla</i> 'Spice'	BIGLEAF HYDRANGEA	#3	CONT.	5'-0" O.C.
HQ	5	<i>Hydrangea quercifolia</i>	OAKLEAF HYDRANGEA	#3	CONT.	8'-0" O.C.
LB	3	<i>Lindera benzoin</i>	SPICEBUSH	#3	CONT.	12'-0" O.C.
SO	3	<i>Symphoricarpos orbiculatus</i>	CORALBERRY	#3	CONT.	8'-0" O.C.
EVERGREEN SHRUBS						
CP	4	<i>Chamaecyparis pisifera</i> 'Filifera Aurea'	JAPANESE FALSECYPRESS	#3	CONT.	7'-0" O.C.
RB	9	<i>Rhododendron 'Bubblegum'</i>	RHODODENDRON AGLO BUBBLEGUM	#3	CONT.	3'-0" O.C.
PERENNIALS						
OO	74	<i>Allium 'Millenium'</i>	ORNAMENTAL ONION	#SP4	CONT.	1'-6" TRIANGULAR SPACING
AQ	26	<i>Aquilegia canadensis</i>	COLUMBINE	#1	CONT.	1'-6" TRIANGULAR SPACING
AD	15	<i>Arnus dioicus</i>	GOAT'S BEARD	#1	CONT.	1'-6" TRIANGULAR SPACING
BR	23	<i>Astilbe 'Burgunderrot'</i>	ASTILBE BURGANDY RED	#1	CONT.	1'-6" TRIANGULAR SPACING
AF	16	<i>Astilbe 'Federsae'</i>	ASTILBE FEATHER LAKE	#1	CONT.	1'-6" TRIANGULAR SPACING
AR	8	<i>Astilbe 'Rheinland'</i>	ASTILBE RHEINLAND	#1	CONT.	1'-6" TRIANGULAR SPACING
BL	17	<i>Caryopteris x clandonensis</i> 'Dark Knight'	BLUEBEARD	#SP4	CONT.	1'-6" TRIANGULAR SPACING
MR	11	<i>Coreopsis 'Mercury Rising'</i>	COREOPSIS	#SP4	CONT.	1'-6" TRIANGULAR SPACING
SH	20	<i>Eryngium planum</i>	SEA HOLLY	#SP4	CONT.	1'-6" TRIANGULAR SPACING
HC	10	<i>Heuchera 'Carmel'</i>	CORAL BELLS 'CARMEL'	#1	CONT.	1'-6" TRIANGULAR SPACING
HO	15	<i>Heuchera 'Obsidian'</i>	CORAL BELLS	#1	CONT.	1'-6" TRIANGULAR SPACING
HP	3	<i>Hosta 'Pineapple Upside Down Cake'</i>	HOSTA PINEAPPLE UPSIDE DOWN CAKE	#1	CONT.	1'-6" TRIANGULAR SPACING
EW	7	<i>Hosta 'Empress Wu'</i>	HOSTA EMPRESS WU	#1	CONT.	1'-6" TRIANGULAR SPACING
LS	2	<i>Lamprocapnos spectabilis</i>	BLEEDING HEART	#1	CONT.	1'-6" TRIANGULAR SPACING
LP	3	<i>Ligularia 'The Rocket'</i>	LEOPARD PLANT	#1	CONT.	1'-6" TRIANGULAR SPACING
BULBS						
MV	120	<i>Mertensia virginica</i>	VIRGINIA BLUEBELLS			

HATCH LEGEND

- [Pattern] EXISTING WETLAND
- [Pattern] TYPE 1 SHORT GRASS
- [Pattern] TYPE 2 TURF SEED MIX
- [Pattern] TYPE 3 NATIVE WETLAND MIX
- [Pattern] TYPE 4 PRAIRIE MIX
- [Pattern] TYPE 5 SHADE PRAIRIE MIX
- [Pattern] TYPE 6 DELOSPERMA 'KELAIDIS' (DK)
- [Pattern] TYPE 7 CORNIUS CANADENSIS
- [Pattern] TYPE 8 MONARDA DIDYMA
- [Pattern] TYPE 9 THYMUS SERPYLLUM (TY)
- [Pattern] TYPE 10 DELOSPERMA 'JOHN PROFFITT' (DJ)
- [Pattern] TYPE 11 VINCA MINOR
- [Pattern] TYPE 12 ECHINACEA PUPUREA 'SENSATION PINK'
- [Pattern] TYPE 13 COREOPSIS ROSEA
- [Pattern] TYPE 14 MULCH

TREE LEGEND

- [Symbol] OVERSTORY TREE
- [Symbol] LARGE EVERGREEN TREE
- [Symbol] EVERGREEN TREE
- [Symbol] UNDERSTORY TREE
- [Symbol] SHRUB
- [Symbol] PERENNIAL

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
01	03/14/2019	SITE PLAN PRELIMINARY PLAT
02	04/12/2019	SITE PLAN PRELIMINARY PLAT
03	05/24/2019	SITE PLAN PRELIMINARY PLAT

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PLANTING PLAN ENLARGEMENT

CONFLUENCE PROJECT NO: 18315

L206

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SAMMONS FINANCIAL GROUP HEADQUARTERS
 WEST DES MOINES / IOWA

REVISION SCHEDULE		
ISSUE	DATE	DESCRIPTION
01	03/14/2019	SITE PLAN PRELIMINARY PLAT
02	04/12/2019	SITE PLAN PRELIMINARY PLAT
03	09/24/2019	SITE PLAN PRELIMINARY PLAT

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PLANTING PLAN ENLARGEMENT
 CONFLUENCE PROJECT NO: 18315

L207

SAMMONS L207 PLANT SCHEDULE

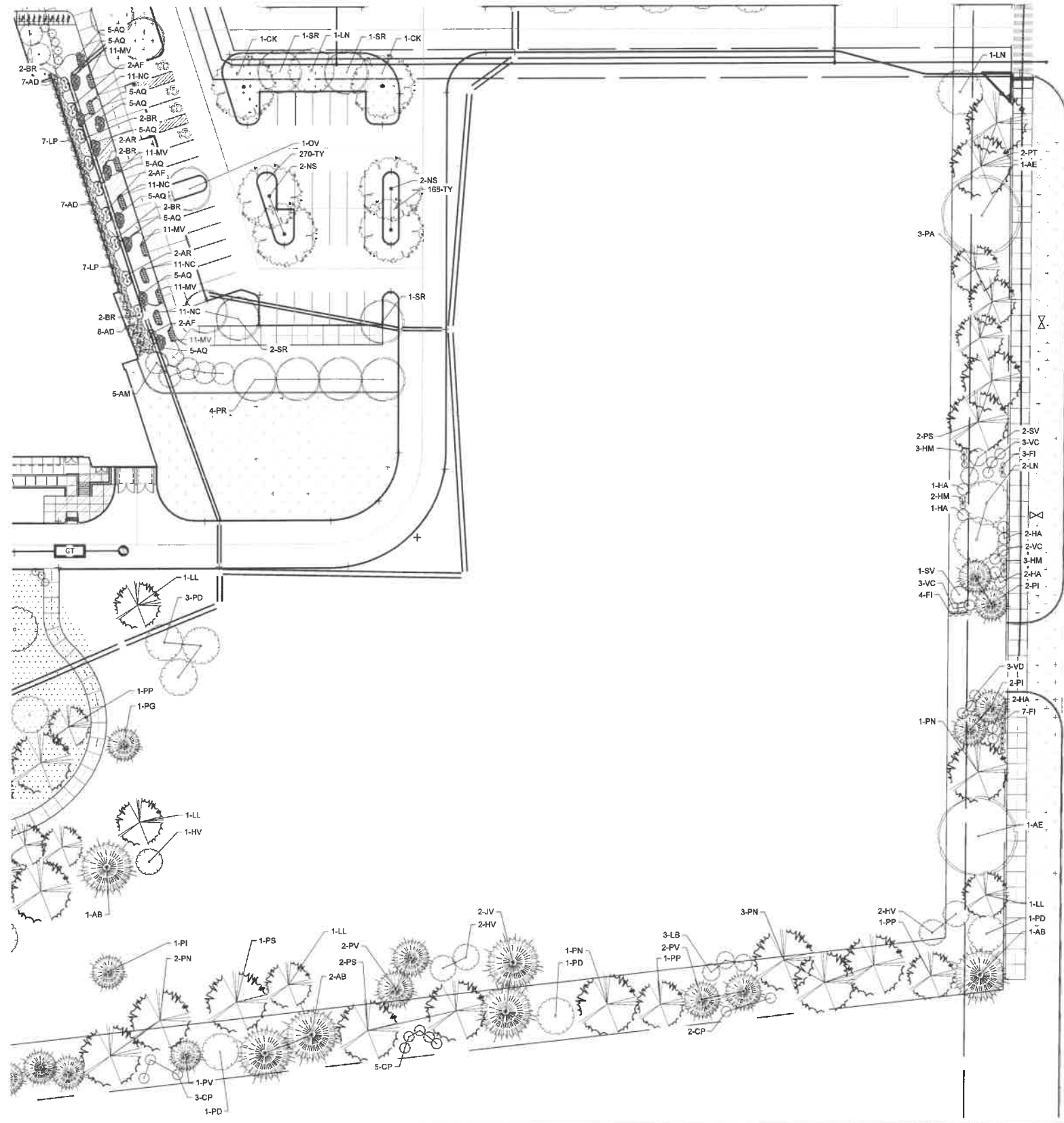
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
OVERSTORY TREES						
CK	2	<i>Cladrastis kermucosa</i>	YELLOWWOOD	2" CAL.	B&B	SPECIMEN QUALITY
NS	4	<i>Nyssa sylvatica</i>	BLACK TUPELO	2" CAL.	B&B	SPECIMEN QUALITY
UNDERSTORY TREES						
AE	2	<i>Aesculus glabra</i>	OHIO BUCKEYE	1 1/2" CAL.	B&B	
OV	1	<i>Ostrya virginiana</i>	EASTERN HOP HORNBEAM	1 1/2" CAL.	B&B	
PR	4	<i>Prunus americana</i>	WILD PLUM	1 1/2" CAL.	B&B	
SR	5	<i>Syringa reticulata</i>	JAPANESE TREE LILAC	1 1/2" CAL.	B&B	
EVERGREEN TREES						
AB	4	<i>Abies balsamea</i>	BALSAM FIR	6' HT	B&B	AS SHOWN ON PLAN
JV	2	<i>Juniperus virginiana</i>	RED CEDAR	6' HT	B&B	AS SHOWN ON PLAN
LL	4	<i>Larix laricina</i>	LARCH / TAMARACK	6' HT	B&B	AS SHOWN ON PLAN
PA	3	<i>Picea abies</i>	NORWAY SPRUCE	6' HT	B&B	AS SHOWN ON PLAN
PG	1	<i>Picea glauca</i>	WHITE SPRUCE	6' HT	B&B	AS SHOWN ON PLAN
PI	5	<i>Picea omorika</i>	SERBIAN SPRUCE	6' HT	B&B	AS SHOWN ON PLAN
PN	7	<i>Pinus nigra</i>	AUSTRIAN PINE	6' HT	B&B	AS SHOWN ON PLAN
PP	6	<i>Pinus ponderosa</i>	PONDEROSA PINE	6' HT	B&B	AS SHOWN ON PLAN
PS	5	<i>Pinus sylvestris</i>	SCOTCH PINE	6' HT	B&B	AS SHOWN ON PLAN
PT	2	<i>Pinus strobus</i>	EASTERN WHITE PINE	6' HT	B&B	AS SHOWN ON PLAN
PV	4	<i>Pinus virginiana</i>	WATES' GOLDEN PINE / VIRGINIA PINE	6' HT	B&B	AS SHOWN ON PLAN
DECIDUOUS SHRUBS						
AM	5	<i>Aronia melanocarpa</i> var. <i>elita</i>	BLACK CHOKEBERRY	#3	CONT.	9'-8" O.C.
FI	14	<i>Forsythia x intermedia</i> 'Courd'au'	BORDER FORSYTHIA	#3	CONT.	2'-6" O.C.
HV	5	<i>Hamelis virginiana</i>	COMMON WITCH HAZEL	#3	CONT.	20'-0" O.C.
HA	8	<i>Hydrangea arborescens</i> 'Annabelle'	SMOOTH HYDRANGEA	#3	CONT.	6'-0" O.C.
HM	8	<i>Hydrangea macrophylla</i> 'Spike'	BIGLEAF HYDRANGEA	#3	CONT.	5'-0" O.C.
LN	4	<i>Lagerloemia 'Natchez'</i>	CREPE MYRTLE	#3	CONT.	21'-0" O.C.
LB	3	<i>Linda benzoin</i>	SPICEBUSH	#3	CONT.	12'-0" O.C.
SV	3	<i>Syringa vulgaris</i> 'Sensation'	COMMON LILAC	#3	CONT.	12'-0" O.C.
VC	8	<i>Viburnum carlesii</i>	KOREANSPICE VIBURNUM	#3	CONT.	7'-0" O.C.
VD	3	<i>Viburnum dentatum</i> 'Christom' -Blue Muffin	ARROWWOOD VIBURNUM	#3	CONT.	4'-0" O.C.
EVERGREEN SHRUBS						
CP	10	<i>Campanocyparis pisifera</i> 'Foliera Aurea'	JAPANESE FALSECYPRESS	#3	CONT.	7'-0" O.C.
PD	6	<i>Pinus densiflora</i> 'Umbraculifera'	RED CEDAR	#3	CONT.	25'-0" O.C.
PERENNIALS						
AQ	50	<i>Aquilegia canadensis</i>	COLUMBINE	#1	CONT.	1'-6" TRIANGULAR SPACING
AD	22	<i>Amus diolus</i>	GOATS BEARD	#1	CONT.	1'-6" TRIANGULAR SPACING
BR	10	<i>Astilbe 'Burgunderrot'</i>	ASTILBE BURGANDY RED	#1	CONT.	1'-6" TRIANGULAR SPACING
AF	6	<i>Astilbe 'Fedensee'</i>	ASTILBE FEATHER LAKE	#1	CONT.	1'-6" TRIANGULAR SPACING
AR	4	<i>Astilbe 'Rheinland'</i>	ASTILBE RHEINLAND	#1	CONT.	1'-6" TRIANGULAR SPACING
LP	14	<i>Ligularia 'The Rocket'</i>	LEOPARD PLANT	#1	CONT.	1'-6" TRIANGULAR SPACING
GROUND COVERS						
TY	338	<i>Thymus serpyllum</i>	MOTHER OF THYME	#SP4	CONT.	1'-6" TRIANGULAR SPACING
BULBS						
MV	55	<i>Meibomia virginica</i>	VIRGINIA BLUEBELLS			
NC	44	<i>Narcissus</i>	DAFFODIL			

HATCH LEGEND

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- TYPE 6 DELOSPERMA 'KELAIIDIS' (DK)
- TYPE 7 CORNUS CANADENSIS
- TYPE 8 MONARDA DIDYMA
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- TYPE 10 DELOSPERMA 'JOHN PROFFITT' (D)
- TYPE 11 VINCA MINOR
- TYPE 12 ECHINACEA PUPUREA 'SENSATION PINK'
- TYPE 13 COREOPSIS ROSEA
- TYPE 14 MULCH

TREE LEGEND

- OVERSTORY TREE
- LARGE EVERGREEN TREE
- EVERGREEN TREE
- UNDERSTORY TREE
- SHRUB
- PERENNIAL



01 PLANTING PLAN ENLARGEMENT
 SCALE: 1"=20'
 0' 5' 10' 20' 40'



SAMMONS L208 PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
OVERSTORY TREES						
CT	3	<i>Catalpa speciosa</i>	NORTHERN CATALPA	2" CAL.	B&B	SPECIMEN QUALITY
CL	6	<i>Celtis occidentalis</i>	COMMON HACKBERRY	2" CAL.	B&B	SPECIMEN QUALITY
PL	7	<i>Platanus occidentalis</i>	AMERICAN SYCAMORE	2" CAL.	B&B	SPECIMEN QUALITY
UNDERSTORY TREES						
AE	2	<i>Aesculus glabra</i>	OHIO BUCKEYE	1 1/2" CAL.	B&B	
CC	3	<i>Cercis Canadensis</i>	EASTERN REDBUD	1 1/2" CAL.	B&B	CLUMP FORM
EVERGREEN TREES						
AB	6	<i>Abies balsamea</i>	BALSAM FIR	6" HT.	B&B	AS SHOWN ON PLAN
AS	3	<i>Abies concolor</i>	WHITE FIR	6" HT.	B&B	AS SHOWN ON PLAN
JV	1	<i>Juniperus virginiana</i>	RED CEDAR	6" HT.	B&B	AS SHOWN ON PLAN
LL	4	<i>Larix laricina</i>	LARCH / TAMARACK	6" HT.	B&B	AS SHOWN ON PLAN
PA	11	<i>Picea abies</i>	NORWAY SPRUCE	6" HT.	B&B	AS SHOWN ON PLAN
PG	6	<i>Picea glauca</i>	WHITE SPRUCE	6" HT.	B&B	AS SHOWN ON PLAN
PI	6	<i>Picea omorika</i>	SERBIAN SPRUCE	6" HT.	B&B	AS SHOWN ON PLAN
PB	6	<i>Pinus bungeana</i>	LACEBARK PINE	6" HT.	B&B	AS SHOWN ON PLAN
PN	10	<i>Pinus nigra</i>	AUSTRIAN PINE	6" HT.	B&B	AS SHOWN ON PLAN
PP	13	<i>Pinus ponderosa</i>	PONDEROSA PINE	6" HT.	B&B	AS SHOWN ON PLAN
PS	1	<i>Pinus sylvestris</i>	SCOTCH PINE	6" HT.	B&B	AS SHOWN ON PLAN
PT	5	<i>Pinus strobus</i>	EASTERN WHITE PINE	6" HT.	B&B	AS SHOWN ON PLAN
PV	3	<i>Pinus virginiana</i>	WATER'S GOLDEN PINE / VIRGINIA PINE	6" HT.	B&B	AS SHOWN ON PLAN
TD	4	<i>Taxodium distichum</i>	BALD CYPRESS	6" HT.	B&B	AS SHOWN ON PLAN
TG	1	<i>Tsuga canadensis</i>	CANADIAN HEMLOCK	6" HT.	B&B	AS SHOWN ON PLAN
DECIDUOUS SHRUBS						
AM	8	<i>Amorpha canescens</i>	LEAD PLANT	#3	CONT.	2'-6" O.C.
CU	7	<i>Cayalanthus occidentalis</i>	BUTTONBUSH	#3	CONT.	8'-0" O.C.
CG	3	<i>Cotinus coggygria 'Royal Purple'</i>	SMOKEBUSH / SMOKETREE	#3	CONT.	12'-0" O.C.
DP	20	<i>Dicentra palustris</i>	LEATHERWOOD	#3	CONT.	6'-0" O.C.
HV	7	<i>Hamamelis virginiana</i>	COMMON WITCH HAZEL	#3	CONT.	20'-0" O.C.
LN	5	<i>Lagerstroemia 'Natchez'</i>	CREPE MYRTLE	#3	CONT.	21'-0" O.C.
LB	3	<i>Lindea benzoin</i>	SPICEBUSH	#3	CONT.	12'-0" O.C.
EVERGREEN SHRUBS						
CP	14	<i>Chamaecyparis praifera 'Filifera Aurea'</i>	JAPANESE FALSECYPRESS	#3	CONT.	7'-0" O.C.
PD	10	<i>Pinus densiflora 'Umbroculifera'</i>	RED CEDAR	#3	CONT.	25'-0" O.C.

- HATCH LEGEND**
- [Symbol] EXISTING WETLAND
 - [Symbol] TYPE 1 SHORT GRASS
 - [Symbol] TYPE 2 TURF SEED MIX
 - [Symbol] TYPE 3 NATIVE WETLAND MIX
 - [Symbol] TYPE 4 PRAIRIE MIX
 - [Symbol] TYPE 5 SHADE PRAIRIE MIX
 - [Symbol] TYPE 6 DELOSPERMA 'KELAIDIS' (DK)
 - [Symbol] TYPE 7 CORNUS CANADENSIS
 - [Symbol] TYPE 8 MONARDA DIDYMA
 - [Symbol] TYPE 9 THYMUS SERPHYLLUM (TY)
 - [Symbol] TYPE 10 DELOSPERMA 'JOHN PROFFITT' (DJ)
 - [Symbol] TYPE 11 VINCA MINOR
 - [Symbol] TYPE 12 ECHINACEA PUPUREA 'SENSATION PINK'
 - [Symbol] TYPE 13 COREOPSIS ROSEA
 - [Symbol] TYPE 14 MULCH

- TREE LEGEND**
- [Symbol] OVERSTORY TREE
 - [Symbol] LARGE EVERGREEN TREE
 - [Symbol] EVERGREEN TREE
 - [Symbol] UNDERSTORY TREE
 - [Symbol] SHRUB
 - [Symbol] PERENNIAL

CONFLUENCE

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CONFLUENCE
 525 17TH STREET
 DES MOINES, IOWA 50309
 PH: 515.288.4875 FAX: 515.288.8359

DESIGN ARCHITECT
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 DALLAS, TEXAS 75201
 PH: 1.214.969.5599
 CONTACT: KEVIN VANDERSALL

ARCHITECT OF RECORD
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 CONTACT: SARA HERMAN

CIVIL ENGINEER
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 PH: 515.276.4884
 CONTACT: PAUL CLAUSEN

STRUCTURAL ENGINEER
SAUL ENGINEERING
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 PH: 515.278.3900
 CONTACT: BRAD STORK

MECHANICAL ENGINEER
BLUESTONE ENGINEERING
 9119 NORTH PARK DR
 JOHNSTON, IA 50131
 PH: 515.727.0700
 CONTACT: TOM FOLDES

SAMMONS FINANCIAL GROUP HEADQUARTERS
 WEST DES MOINES / IOWA

REVISION SCHEDULE

ISSUE	DATE	DESCRIPTION
01	03/14/2019	SITE PLAN/PRELIMINARY PLAT
02	04/12/2019	SITE PLAN/PRELIMINARY PLAT
03	03/24/2019	SITE PLAN/PRELIMINARY PLAT

ISSUED FOR
 SITE PLAN /
 PRELIMINARY
 PLAT
 NOT FOR
 CONSTRUCTION

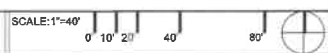
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PLANTING PLAN ENLARGEMENT

CONFLUENCE PROJECT NO: 18315

L208

01 PLANTING PLAN ENLARGEMENT





1466 28th Street, Suite 200 | West Des Moines, Iowa 50266 | 515.221.9991

SAMMONS FINANCIAL GROUP CORPORATE HEADQUARTERS
MILLS CIVIC PARKWAY
WEST DES MOINES, IA

KDC REAL ESTATE DEVELOPMENT & INVESTMENTS

ISSUANCE

SITE PLAN SUBMITTAL
05/14/2019

PRINCIPAL SH
DESIGNER KV

REVISIONS

NOT FOR CONSTRUCTION

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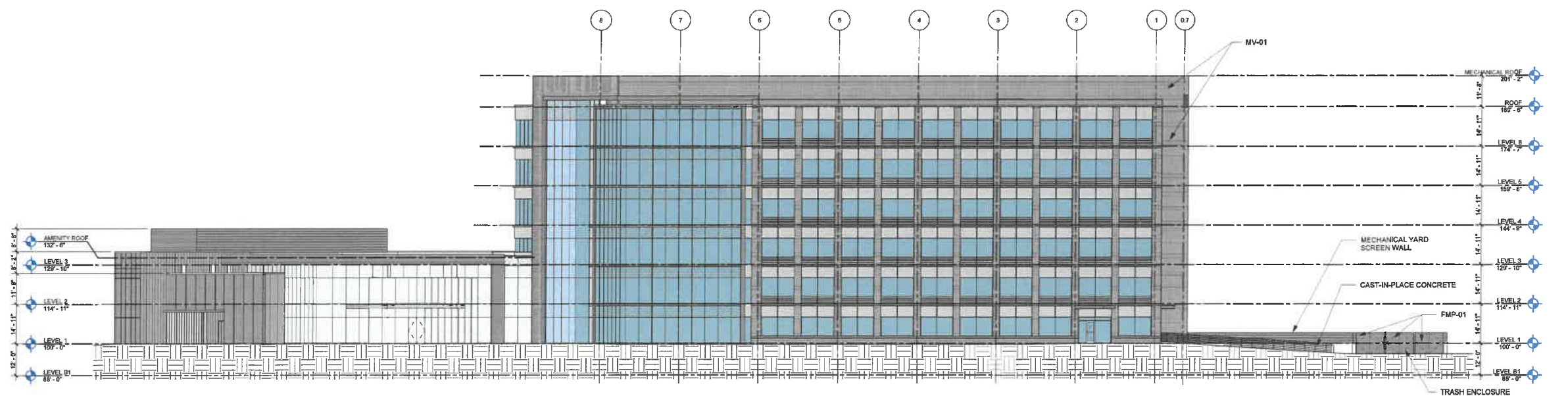
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Project Number
18082

OVERALL ELEVATIONS
A-200

- | | | | |
|------------------------------|---|--------------------|---|
| MASONRY VENEER | | METAL PANEL | |
| | MV-01 MODULAR SIZE BRICK VENEER (RUNNING BOND) ON PRECAST MANUFACTURER: ENDICOTT OR EQUIVALENT PANEL COLOR: DARK IRONSPOT FINISH: SMOOTH | | AMP-01 ALUMINUM COMPOSITE METAL PANEL SYSTEM MANUFACTURER: CENTRIA OR EQUIVALENT COLOR: UC106708LB "GRAPHITE GRAY" FINISH: PPG DURANAR |
| ARCHITECTURAL PRECAST | | | CMP-01 INSULATED COMPOSITE METAL PANEL SYSTEM MANUFACTURER: CENTRIA "FORMAWALL FWD" OR EQUIVALENT CONCEALED FASTENERS COLOR: UC106708LB "GRAPHITE GRAY" FINISH: PPG DURANAR |
| | PC-01 MANUFACTURER: ENTERPRISE PANEL COLOR: MATCH PPG 1006-2 "STORMS COMING" FINISH: ACID ETCH | | CMP-02 INSULATED COMPOSITE METAL PANEL SYSTEM MANUFACTURER: ALUCOSOND "MURAL" SERIES OR EQUIVALENT CONCEALED FASTENERS COLOR: CHESTNUT |
| GLASS SYSTEMS | | | CMP-03 INSULATED COMPOSITE METAL PANEL SYSTEM MANUFACTURER: CENTRIA "FORMAWALL FWD" OR EQUIVALENT CONCEALED FASTENERS COLOR: UC106708LB "MEDIUM GRAY" FINISH: PPG DURANAR |
| | GAWS-01 4-WAY BUTT-GLAZED CURTAIN WALL WITH HIGH EFFICIENCY GLASS. (STAIR GLASS) MANUFACTURER: KAWNEER "PG 2500 WALL" WITH VIRACON GLASS OR EQUIVALENT MULLION FINISH & COLOR: PPG DURANAR "SPACE SILVER" | | FMP-01 FORMED METAL WALL PANEL SYSTEM MANUFACTURER: CENTRIA "TW-10A" OR EQUIVALENT CONCEALED FASTENERS COLOR: TO MATCH MV-01 ON TOWER FINISH: PPG DURANAR |
| | GAWS-02 FULLY CAPTURED RIBBON WINDOW WITH HIGH EFFICIENCY GLASS. (PUNCH WINDOWS WITHIN GRIDS) STANDARD 1" MULLION CAPS FOR ALL HORIZONTALS, EDGE VERTICALS. 1" MULLION CAP EXTENSIONS AS NOTED. MANUFACTURER: KAWNEER "2240 IG" WITH VIRACON VRE18-38 OR EQUIVALENT. MULLION FINISH & COLOR: PPG DURANAR "SPACE SILVER" | | FMP-02 FORMED METAL WALL PANEL SYSTEM MANUFACTURER: CENTRIA "TW-10A" OR EQUIVALENT CONCEALED FASTENERS COLOR: UC106708LB "GRAPHITE GRAY" FINISH: PPG DURANAR |
| | GAWS-03 4-WAY BUTT-GLAZED GLASS SYSTEM WITH HIGH EFFICIENCY GLASS. (LOBBY) MANUFACTURER: TBD WITH VIRACON VRE18-38 AS BASIS OF DESIGN. MULLION FINISH & COLOR: PPG DURANAR "SPACE SILVER" | | |



2 OVERALL SOUTH ELEVATION
SCALE: 1" = 20'-0"



1 OVERALL NORTH ELEVATION
SCALE: 1" = 20'-0"

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**SAMMONS
 FINANCIAL GROUP
 CORPORATE
 HEADQUARTERS**
 MILLS CIVIC PARKWAY
 WEST DES MOINES, IA

**KDC REAL ESTATE
 DEVELOPMENT &
 INVESTMENTS**

ISSUANCE

SITE PLAN SUBMITTAL
 06/14/2019

PRINCIPAL: SH
 DESIGNER: KV

REVISIONS

NOT FOR CONSTRUCTION

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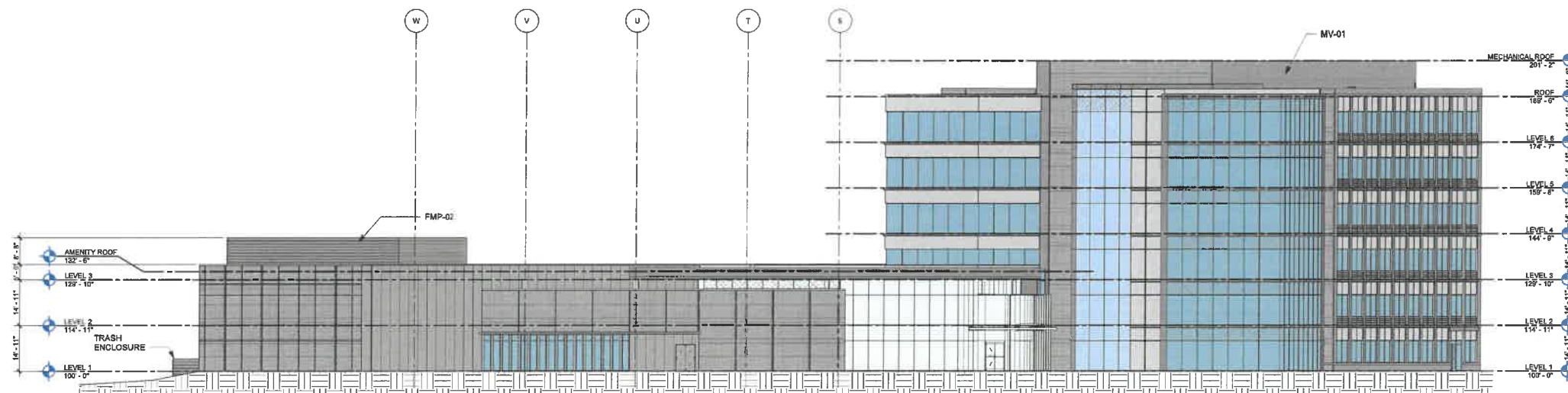
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 PROJECT NUMBER
18082
 OVERALL ELEVATIONS
A-201

- MASONRY VENEER**
- MV-01 MODULAR SIZE BRICK VENEER (RUNNING BOND) ON PRECAST MANUFACTURER: ENDICOTT OR EQUIVALENT PANEL COLOR: DARK IRONSPOT FINISH: SMOOTH
- ARCHITECTURAL PRECAST**
- PC-01 MANUFACTURER: ENTERPRISE PANEL COLOR: MATCH PPG 1088-2 "STORMS COMING" FINISH: ACID ETCH
- GLASS SYSTEMS**
- GAWS-01 4-WAY BUTT-GLAZED CURTAIN WALL WITH HIGH EFFICIENCY GLASS (STAR GLASS) MANUFACTURER: KAWNEER "PG 2500 WALL" WITH VIRACON GLASS OR EQUIVALENT MULLION FINISH & COLOR: PPG DURANAR "SPACE SILVER"
 - GAWS-02 FULLY CAPTURED RIBBON WINDOW WITH HIGH EFFICIENCY GLASS (PUNCH WINDOWS WITHIN GRIDS) STANDARD 1" MULLION CAPS FOR ALL HORIZONTALS, EDGE VERTICALS. 2" MULLION CAP EXTENSIONS AS NOTED. MANUFACTURER: KAWNEER "Z50 IS" WITH VIRACON VRE18-38 OR EQUIVALENT. MULLION FINISH & COLOR: PPG DURANAR "SPACE SILVER"
 - GAWS-03 4-WAY BUTT-GLAZED GLASS SYSTEM WITH HIGH EFFICIENCY GLASS (LOBBY) MANUFACTURER: TBD WITH VIRACON VE1-2M AS BASIS OF DESIGN. MULLION FINISH & COLOR: PPG DURANAR "SPACE SILVER"

- METAL PANEL**
- AMP-01 ALUMINUM COMPOSITE METAL PANEL SYSTEM MANUFACTURER: CENTRIA OR EQUIVALENT COLOR: UC106708LB "GRAPHITE GRAY" FINISH: PPG DURANAR
 - CMP-01 INSULATED COMPOSITE METAL PANEL SYSTEM MANUFACTURER: CENTRIA "FORMAWALL FWD5" OR EQUIVALENT CONCEALED FASTENERS COLOR: UC106708LB "GRAPHITE GRAY" FINISH: PPG DURANAR
 - CMP-02 INSULATED COMPOSITE METAL PANEL SYSTEM MANUFACTURER: ALICKBOND "Normal" SERIES OR EQUIVALENT CONCEALED FASTENERS COLOR: CHESTNUT
 - CMP-03 INSULATED COMPOSITE METAL PANEL SYSTEM MANUFACTURER: CENTRIA "FORMAWALL FWD5" OR EQUIVALENT CONCEALED FASTENERS COLOR: UC106708LB "GRAPHITE GRAY" FINISH: PPG DURANAR
 - FMP-01 FORMED METAL WALL PANEL SYSTEM MANUFACTURER: CENTRIA "TW-18" OR EQUIVALENT CONCEALED FASTENERS COLOR TO MATCH MP-01 ON TOWER FINISH: PPG DURANAR
 - FMP-02 FORMED METAL WALL PANEL SYSTEM MANUFACTURER: CENTRIA "TW-18A" OR EQUIVALENT CONCEALED FASTENERS COLOR: UC106708LB "GRAPHITE GRAY" FINISH: PPG DURANAR



2 OVERALL WEST ELEVATION
 SCALE: 1" = 20'-0"



1 OVERALL EAST ELEVATION
 SCALE: 1" = 20'-0"

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Prepared by: B. Portz, City of West Des Moines Development Services, P.O. Box 65320, West Des Moines, IA 50265-0320, 515-222-3620
When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES APPROVING THE PRELIMINARY PLAT TO CREATE ONE LOT AND APPROVE A SITE PLAN FOR A 6 STORY, 200,000 SQUARE FOOT OFFICE BUILDING

WERHEAS, pursuant to the provisions of Title 10 and Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Sammons Financial Group, LLC, has requested approval for a Preliminary Plat (PP-004254-2019) to create one (1) lot and has requested approval of a Site Plan (SP-004181-2019) to allow construction of a 6 story, 200,000 square foot office building and associated site improvements for that approximately 30-acre site located at the southwest corner of Mills Civic Parkway and S. 81st Street;

Legal Description of Property

PARCEL 19-11 AN OFFICIAL PLAT RECORDED BOOK 2019, PAGE 3122 AT THE DALLAS COUNTY RECORDER'S OFFICE, CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.

AND

PARCEL 17-141 AS DESCRIBED IN THE CORRECTED WARRANTY DEED RECORDED IN BOOK 2017, PAGE 16932 AT THE DALLAS COUNTY RECORDER'S OFFICE, SAID PARCEL 17-141 IS RECORDED IN BOOK 2017, PAGE 2766 AT THE DALLAS COUNTY RECORDER'S OFFICE.

SAID PARCELS CONTAIN 30.00 ACRES MORE OR LESS.

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, on June 24, 2019, the Plan and Zoning Commission did recommend to the City Council approval of the Preliminary Plat (PP-004254-2019);

WHEREAS, on June 24, 2019, the Plan and Zoning Commission did recommend to the City Council approval of a Site Plan (SP-004181-2019);

WHEREAS, on, July 1, 2019, this City Council held a duly-noticed meeting to consider the application for Preliminary Plat/Site Plan (PP-004254-2019/SP-004181-2019);

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, stated in the staff report, dated July 1, 2019, or as amended orally at the City Council meeting of July 1, 2019, are adopted.

SECTION 2. PRELIMINARY PLAT (PP-004254-2019) to create one (1) lot and SITE PLAN (SP-004181-2019) for a 6 story, 200,000 square foot office building are approved, subject to compliance with all the conditions in the

staff report, dated July 1, 2019, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on July 1, 2019.

Steven K. Gaer
Mayor

ATTEST:

Ryan T. Jacobson
City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on July 1, 2019, by the following vote:

ATTEST:

Ryan T. Jacobson
City Clerk

EXHIBIT "A"
CONDITIONS OF APPROVAL

1. Prior to issuance of a final occupancy permit for the associated building, ground and wall mounted utilities/mechanical units shall be screened from view with landscaping or fencing/walls to staff's satisfaction.
2. Applicant acknowledging that the associated Final plat must be approved and released for recordation by the City and recorded with the County prior to the issuance of any type of occupancy for the building, including temporary occupancy.
3. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to be signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The signed agreement shall be submitted to the City for recording prior to issuance of a building permit. The as-built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building created with the final plat.
4. Requirement for a cross connection from the applicant's property to the property to the south shall be as provided in the Sammons Financial Group PUD.
5. The applicant submitting a signed sanitary sewer easement prior to issuance of a building permit

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

Date: July 1, 2019

ITEM: Unity Point Clinic, 4055 Westown Parkway – Approval of site plan for 2 story, 28,000 square foot medical clinic – Central Iowa Hospital Corporation – SP-004277-2019

RESOLUTION: Approval of Site Plan

FINANCIAL IMPACT: Undetermined.

BACKGROUND: The applicant, Unity Point Health, in association with the property owner, Central Iowa Hospital Corporation, is requesting approval of a site plan to construct a 2 story, 28,000 square foot medical clinic on the property located at 4055 Westown Parkway.

Plan and Zoning Commission Action:

Vote: 5-0 approval, with Commissioners Hatfield and Drake absent.

Date: June 24, 2019

Motion: Adopt a resolution recommending the City Council approve the Site Plan

OUTSTANDING ISSUES: There are no outstanding issues.

The following items of interest are noted in the attached Plan and Zoning Commission report (see Exhibit I):

- Applicant's Request
- History
- City Council Subcommittee - Development & Planning: *April 15, 2019*
- Staff Review and Comments
 - *Access*
 - *Sanitary Sewer Easement Vacation*
 - *Storm Water Management Facility Maintenance Agreement*
 - *Right of Way Dedication*
- Comprehensive Plan Consistency
- Findings
- Staff Recommendation and Conditions of Approval
- Property Owner/Applicant/Applicant's Representative Information

RECOMMENDATION: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, the Plan and Zoning Commission recommends the City Council approve the Unity Point site plan to allow construction of a 2 story, 28,000 square foot medical clinic, subject to the applicant meeting all City Code requirements and the following conditions of approval:

1. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to be signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The signed agreement shall be submitted to the City for recording prior to issuance of a building permit. The as-built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building created with the final plat.
2. The applicant coordinating construction activities and timing with the adjacent property owner to the east to limit construction impacts, since the two properties share an access drive from Westown Parkway.
3. The public sanitary sewer easement along the south side of the building shall be vacated before the issuance of any occupancy permit for the building, including temporary occupancy.

4. The applicant submitting a signed warranty deed for the dedication of right of way before the issuance of a building permit for the building.

Lead Staff Member: Brian Portz, AICP **BP**

Staff Reviews:

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	

PUBLICATION(S) (if applicable)

Published In	NA
Date(s) Published	
Letter sent to surrounding property owners	

SUBCOMMITTEE REVIEW (if applicable)

Committee	Development & Planning		
Date Reviewed	April 15, 2019		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

ATTACHMENTS:

- Exhibit I - Plan and Zoning Commission Communication
 - Attachment A - Commission Resolution
 - Exhibit A - Conditions of Approval
 - Attachment B - Location Map
 - Attachment C - Building Elevations
 - Attachment D - Site Plans
- Exhibit II - City Council Resolution
 - Exhibit A - Conditions of Approval

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: June 24, 2019

Item: Unity Point Clinic, 4055 Westown Parkway – Approval of site plan for 2 story, 28,000 square foot medical clinic – Central Iowa Hospital Corporation – SP-004277-2019

Requested Action: Recommend Approval of Site Plan *BT*

Case Advisor: Brian Portz, AICP

Applicant's Request: The applicant, Unity Point Health, in association with the property owner, Central Iowa Hospital Corporation, is requesting approval of a site plan to construct a 2 story, 28,000 square foot medical clinic on the property located at 4055 Westown Parkway.

History: The property was originally platted in 1971 as Westown Plaza Plat 1 and replatted in 1995 as Westown Parkway Plaza. A Carlos O'Kelley's restaurant was constructed on the site in 1996. The building was demolished in August of 2018.

City Council Subcommittee: This item was presented to the Development & Planning City Council Subcommittee at their April 15, 2019 meeting, as an informational item only. No discussion was had and no disagreement with the proposal was expressed.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff would summarize the following key points of interest:

- **Access:** This property will be accessed by an existing driveway from Westown Parkway. This driveway is shared by the property to the east, which is Keller Williams Real Estate. The applicant will need to coordinate construction activities with the adjacent property owner so that business activities of Keller Williams are not disrupted during construction. Staff recommends a condition of approval that the applicant work with the adjacent property owner to limit the impacts of construction on the adjacent property.
- **Sanitary Sewer Easement Vacation:** The applicant will need to vacate a portion of a public sanitary sewer easement along the front of the building. The sanitary sewer main in this location will be used as the private sewer line to the building and therefore the portion of the public sanitary sewer easement in front of the proposed building will need to be vacated. The applicant has submitted an application for the vacation of this easement. This easement vacation will be considered by the City Council at a later date. A condition of approval is recommended for the vacation of this easement.
- **Storm Water Management Facility Maintenance Agreement:** Storm Water Management Facility Maintenance Agreements are required for all new site developments or sites that have detention facilities but have not otherwise previously executed the agreement. These agreements allow the City to enter a site to do maintenance and/or repairs on a private detention facility in the event that the facility has not been maintained by the property owner and advises who the City should bill for the maintenance/repair work. The agreement has been provided to the applicant for signature, but the executed agreement has not yet been provided to staff. Staff recommends that the signed agreement be submitted to the City for recording prior to issuance of a building permit and the required as builts be submitted prior to final occupancy of the building.
- **Right of Way Dedication:** As a part of this request, the property owner will be deeding 15 feet of land along Westown Parkway for right of way purposes. A warranty deed will be required for the dedication of right of way. A condition of approval is recommended requiring the warranty deed be submitted prior issuance of a building permit.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendation and Conditions of Approval: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Unity Point site plan to allow construction of a 2 story, 28,000 square foot medical clinic, subject to the applicant meeting all City Code requirements and the following:

1. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to be signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The signed agreement shall be submitted to the City for recording prior to issuance of a building permit. The as-built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building created with the final plat.
2. The applicant coordinating construction activities and timing with the adjacent property owner to the east to limit construction impacts, since the two properties share an access drive from Westtown Parkway.
3. The public sanitary sewer easement along the south side of the building shall be vacated before the issuance of any occupancy permit for the building, including temporary occupancy.

4. The applicant submitting a signed warranty deed for the dedication of right of way before the issuance of a building permit for the building.

Property Owner: Central Iowa Hospital Corporation
d/b/a Unity Point Health
1200 Pleasant Street
Des Moines, IA 50309

Applicant's Representatives:
Invision Architecture
303 Watson Powell Jr. Way, Suite 200
Des Moines, IA 50309
Brett Van Zee
brettv@invisionarch.com

ATTACHMENTS:

Attachment A	-	Plan and Zoning Commission Resolution
Exhibit A	-	Conditions of Approval
Attachment B	-	Location Map
Attachment C	-	Building Elevations
Attachment D	-	Site Plans

RESOLUTION NO. PZC -19-057

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, IOWA, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE THE UNITY POINT CLINIC SITE PLAN (SP-004277-2019) FOR THAT PROPERTY LOCATED AT 4055 WESTOWN PARKWAY

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Unity Point Health, in association with the property owner, Central Iowa Hospital Corporation, has requested approval of a site plan to allow the construction of a 2 story, 28,000 square foot medical clinic and associated site improvements for that property located at 4055 Westown Parkway;

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, on June 24, 2019, this Commission held a duly-noticed meeting to consider the Unity Point Clinic Site Plan Permit (SP-004277-2019);

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report, dated June 24, 2019, or as amended orally at the Plan and Zoning Commission meeting of June 24, 2019, are adopted.

SECTION 2. SITE PLAN PERMIT (SP-004277-2019) to allow construction of a 2 story, 28,000 square foot medical clinic and associate site improvements is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report, dated June 24, 2019, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on June 24, 2019.



Erica Andersen, Chairperson
Plan and Zoning Commission

ATTEST:


Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on June 24, 2019, by the following vote:

AYES: ANDERSEN, COSTA, CROWLEY, ERICKSON, SUTHWORTH

NAYS:

ABSTENTIONS:

ABSENT: DRAKE, HATFIELD

ATTEST:

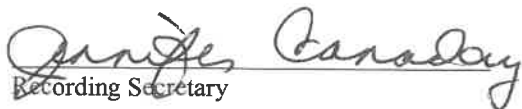
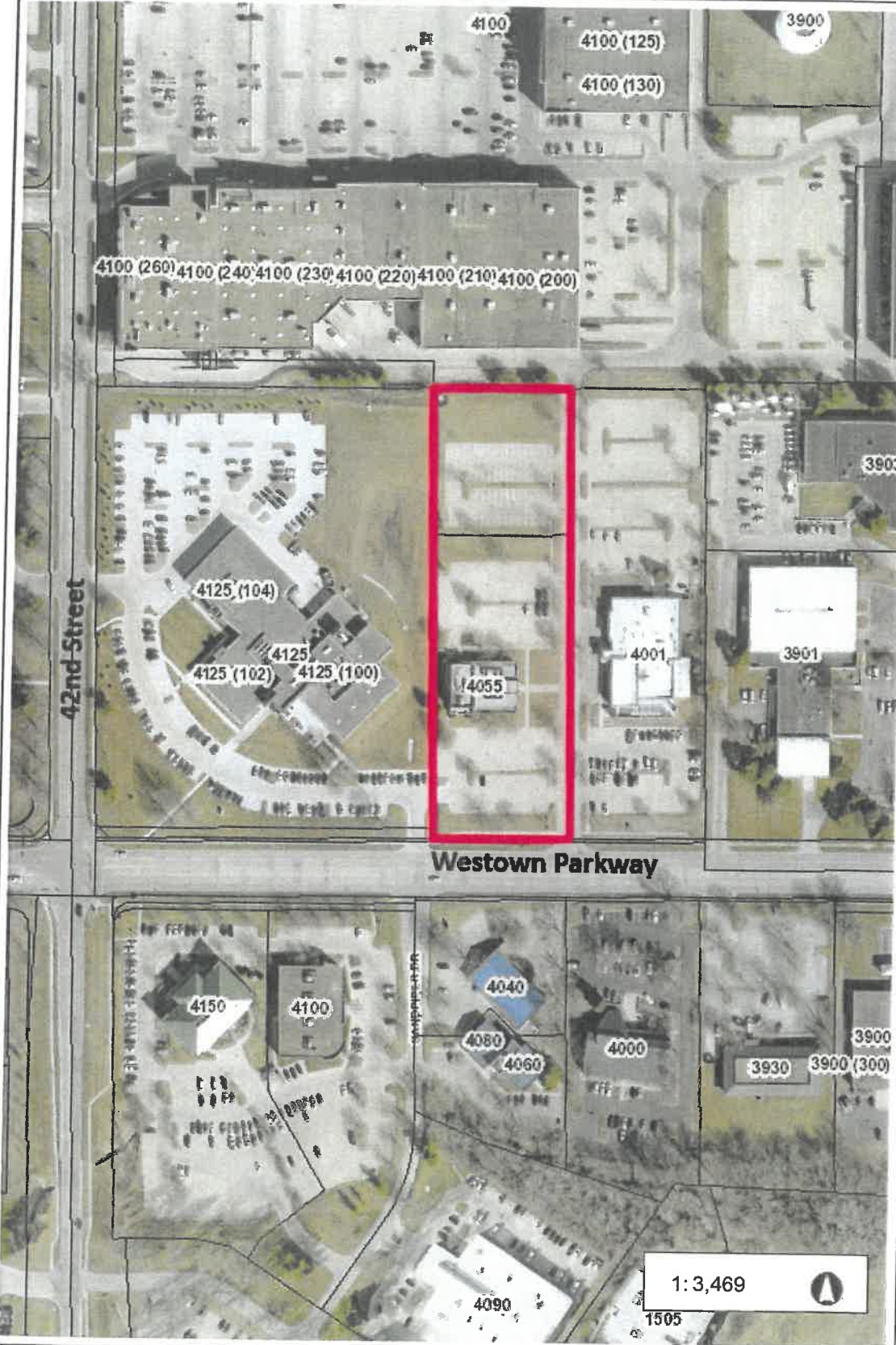
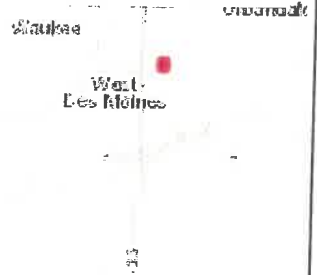

Recording Secretary

Exhibit A
Conditions of Approval

1. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to be signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The signed agreement shall be submitted to the City for recording prior to issuance of a building permit. The as-built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building created with the final plat.
2. The applicant coordinating construction activities and timing with the adjacent property owner to the east to limit construction impacts, since the two properties share an access drive from Westown Parkway.
3. The public sanitary sewer easement along the south side of the building shall be vacated before the issuance of any occupancy permit for the building, including temporary occupancy.
4. The applicant submitting a signed warranty deed for the dedication of right of way before the issuance of a building permit for the building.



Unity Point Clinic



Legend

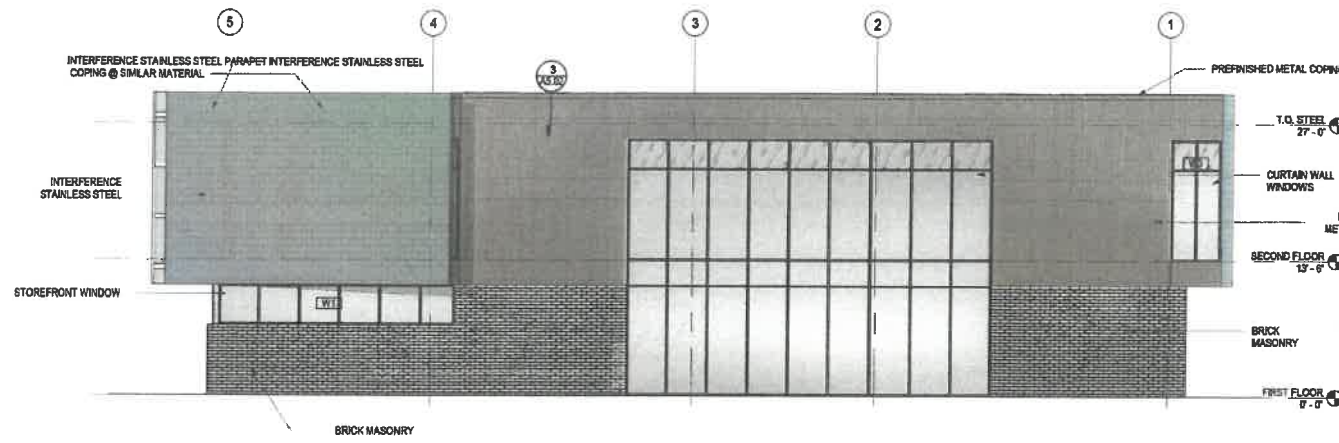
- Addresses
- Corporate Limits
- Parcels



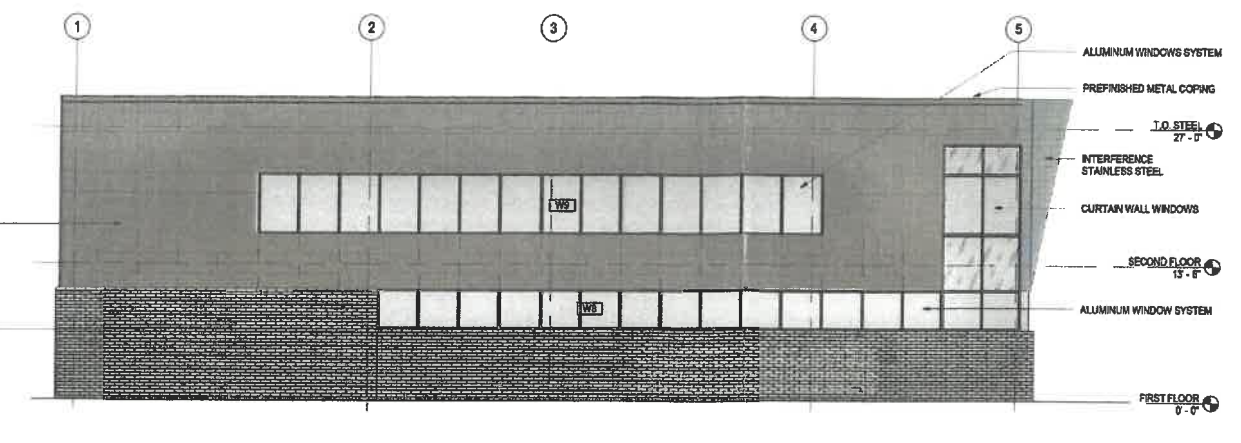
WGS_1984_Web_Mercator_Auxiliary_Sphere
© City of West Des Moines, Iowa

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

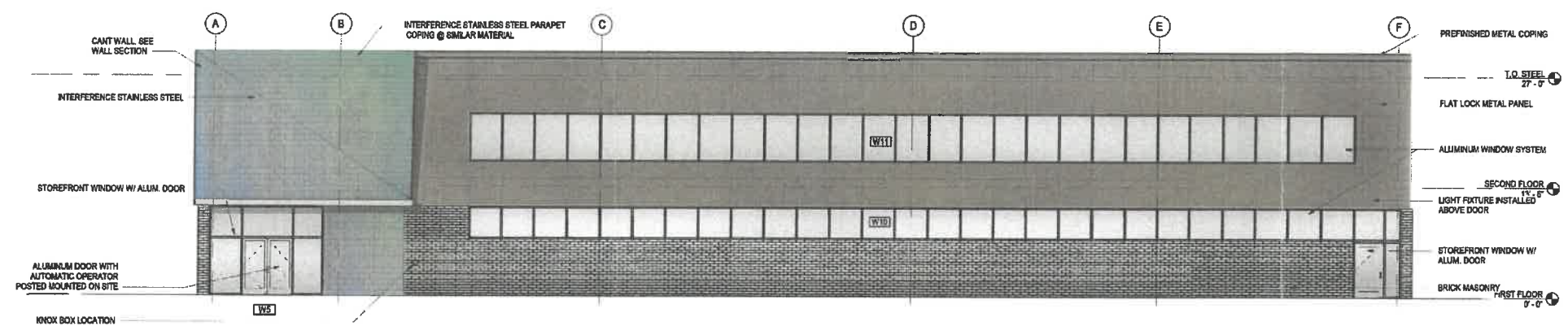


4 EAST ELEVATION
1/8" = 1'-0"

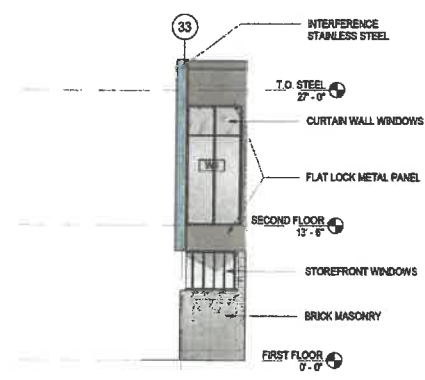


3 WEST ELEVATION
1/8" = 1'-0"

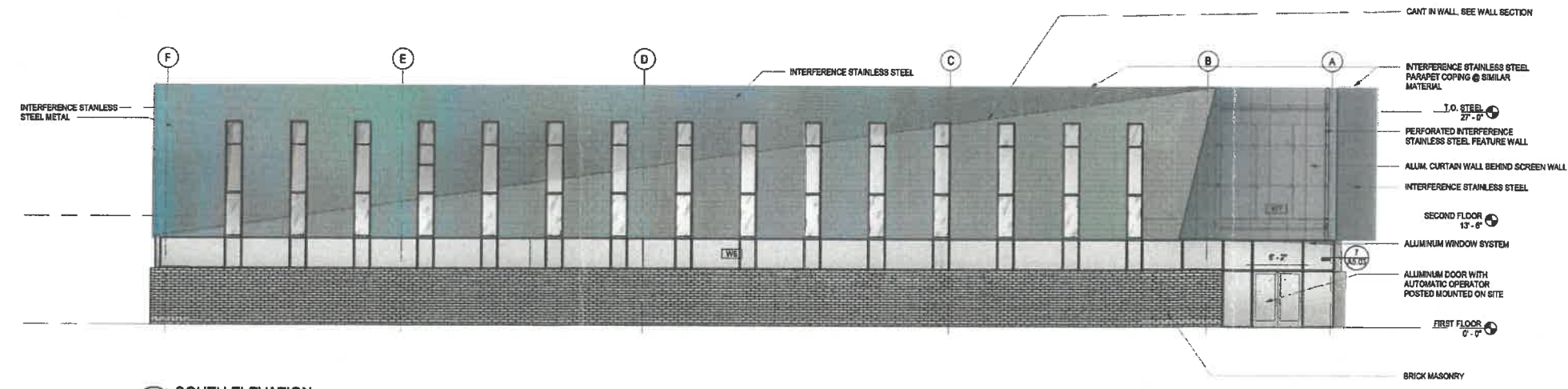
BRICK MASONRY	REVERE PEWTER VELOUR 12" UTILITY
INTERFERENCE STAINLESS STEEL	MILLENNIUM FORMS - BLUE GREEN, BRIGHT FINISH
FLAT LOCK METAL PANEL	BACKDROP - SW 7025, SHERWIN WILLIAMS
ALUMINUM WINDOW SYSTEM:	
STOREFRONT WINDOWS	
CURTAIN WALL WINDOWS	



2 NORTH ELEVATION
1/8" = 1'-0"

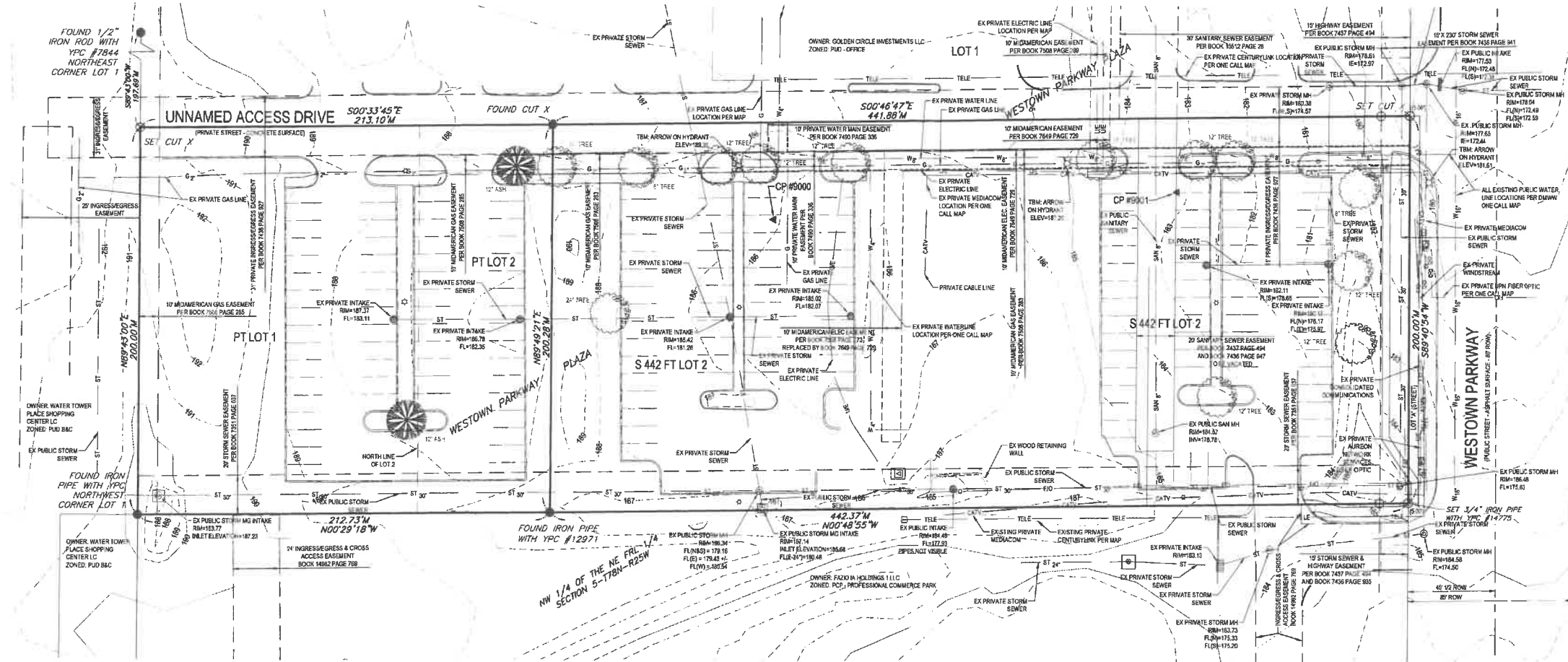


5 NORTHEAST ELEVATION
1/8" = 1'-0"

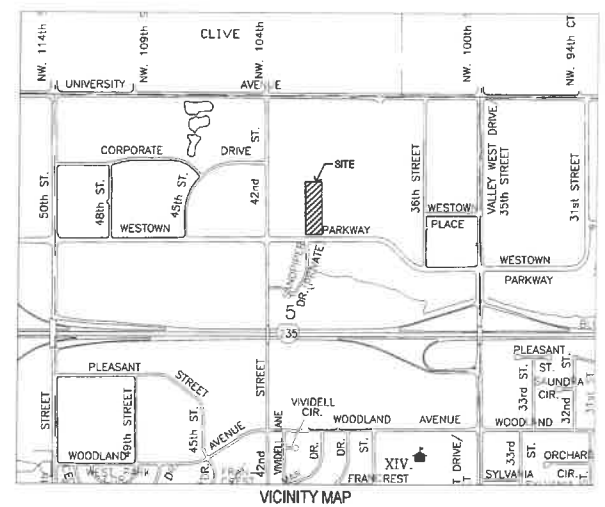


1 SOUTH ELEVATION
1/8" = 1'-0"

UNITY POINT CLINIC SITE SURVEY



- LEGEND:**
- SAN — SANITARY SEWER
 - ST — STORM SEWER
 - W — WATER LINE
 - G — GAS LINE
 - UE — UNDERGROUND ELECTRIC
 - OE — OVERHEAD ELECTRIC
 - TELE — TELEPHONE LINE
 - FO — FIBER OPTIC
 - CATV — CABLE TV
 - ⊙ STORM MANHOLE
 - ⊙ CURB INTAKE
 - ⊙ SURFACE INTAKE
 - ⊙ FLARED END SECTION
 - ⊙ SANITARY MANHOLE
 - ⊙ CLEANOUT
 - ⊙ FIRE HYDRANT
 - ⊙ SPRINKLER
 - ⊙ IRRIGATION CONTROL VALVE
 - ⊙ WATER MANHOLE
 - ⊙ WELL
 - ⊙ WATER VALVE
 - ⊙ WATER SHUT OFF
 - ⊙ YARD HYDRANT
 - ⊙ ELECTRIC MANHOLE
 - ⊙ ELECTRIC METER
 - ⊙ ELECTRIC RISER
 - ⊙ ELECTRIC VAULT
 - ⊙ POWER POLE
 - ⊙ TRANSFORMER POLE
 - ⊙ LIGHT POLE
 - ⊙ ELECTRIC JUNCTION BOX
 - ⊙ ELECTRIC PANEL
 - ⊙ TRANSFORMER
 - ⊙ GROUND LIGHT
 - ⊙ GUY WIRE
 - ⊙ ELECTRIC HANDHOLE
 - ⊙ GAS METER
 - ⊙ GAS VALVE
 - ⊙ AIR CONDITIONING UNIT
 - ⊙ TELEPHONE RISER
 - ⊙ TELEPHONE VAULT
 - ⊙ TELEPHONE MANHOLE
 - ⊙ TRAFFIC SIGNAL MANHOLE
 - ⊙ FIBER OPTIC RISER
 - ⊙ FIBER OPTIC FAULT
 - ⊙ CABLE TV RISER
 - ⊙ SIGN
 - ⊙ DENOTES NUMBER OF PARKING STALLS
 - ⊙ PROPERTY CORNER - FOUND AS NOTED
 - ⊙ PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 1475 OR AS NOTED
 - ⊙ SECTION CORNER - FOUND AS NOTED
 - ▲ SITE CONTROL POINT - MONUMENT AS NOTED



PROPERTY DESCRIPTION:
(SPECIAL WARRANTY DEED BOOK 6471, PAGE 648)
THE SOUTH 442.00 FEET OF LOT 2 IN WESTOWN PARKWAY PLAZA, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

AND
(WARRANTY DEED BOOK 15995, PAGE 245)
THE WEST 200.00 FEET OF LOT 1 LYING NORTH OF AND ADJACENT TO LOT 2 AND LOT 1 EXCEPT THE SOUTH 442.00 FEET, ALL IN WESTOWN PARKWAY PLAZA, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

ADDRESS:
4055 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266

OWNER:
HURD PROPERTIES
AND HURD WESTOWN LLC
2000 FULLER ROAD
WEST DES MOINES, IOWA 50265

PREPARED FOR:
INMISON ARCHITECTURE
303 WATSON POWELL JR. WAY
SUITE 200
DES MOINES, IOWA 50309
515-633-2841

ZONING:
INFORMATION OBTAINED FROM POLK COUNTY ASSESSOR PAGE PUD OFFICE - OFFICE PLANNED UNIT DEVELOPMENT FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF WEST DES MOINES AT 515-222-3820

SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = CITY OF WEST DES MOINES

POINT #8000
NORTHING = 581768.57
EASTING = 166857.15
ELEVATION = 188.07
DESCRIPTION: RPC ON IRON PIPE

POINT #8001
NORTHING = 581579.92
EASTING = 166855.91
ELEVATION = 183.15
DESCRIPTION: RPC ON IRON PIPE

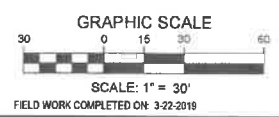
UTILITY MAPS PROVIDED BY:

1. STORM AND SANITARY (CITY OF WEST DES MOINES / 515-222-3510)
2. FIBER OPTIC (CONSOLIDATED COMMUNICATIONS / 507-367-1770)
3. FIBER OPTIC (AUREON NETWORK SERVICES / 515-630-0445)
4. FIBER OPTIC (UNITE PRIVATE NETWORKS, LLC / 515-425-3555)
5. GAS/ELECTRIC (MIDAMERICAN / 515-252-6832)
6. WATER (WEST DES MOINES WATER WORKS / 515-222-3510)
7. COMMUNICATION (JOB COMPANIES / 515-298-6998)
8. COMMUNICATION (CENTURYLINK / 726-578-6090)
9. CABLE (MEDACOM COMMUNICATIONS CORP / 515-246-2252)
10. COMMUNICATION (WINDSTREAM COMMUNICATIONS / 800-288-1801)

NOTES:

1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM POLK COUNTY ASSESSOR'S WEB PAGE
2. PARENTHESES () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

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SIGNED: LARRY D. HYLER, P.L.S. 14775 DATE: _____
LICENSE RENEWAL DATE: DEC. 31, 2020
PAGES OR SHEETS COVERED BY THIS SEAL: C0.2

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Established 1959

4055 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
SITE SURVEY

REFERENCE NUMBER: _____

DRAWN BY: C.J.M.

CHECKED BY: _____

REVISION DATE: _____

PROJECT NUMBER: 190129

SHEET NUMBER: C0.2

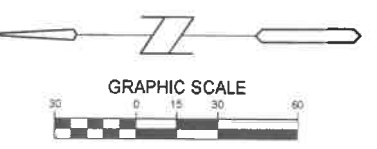
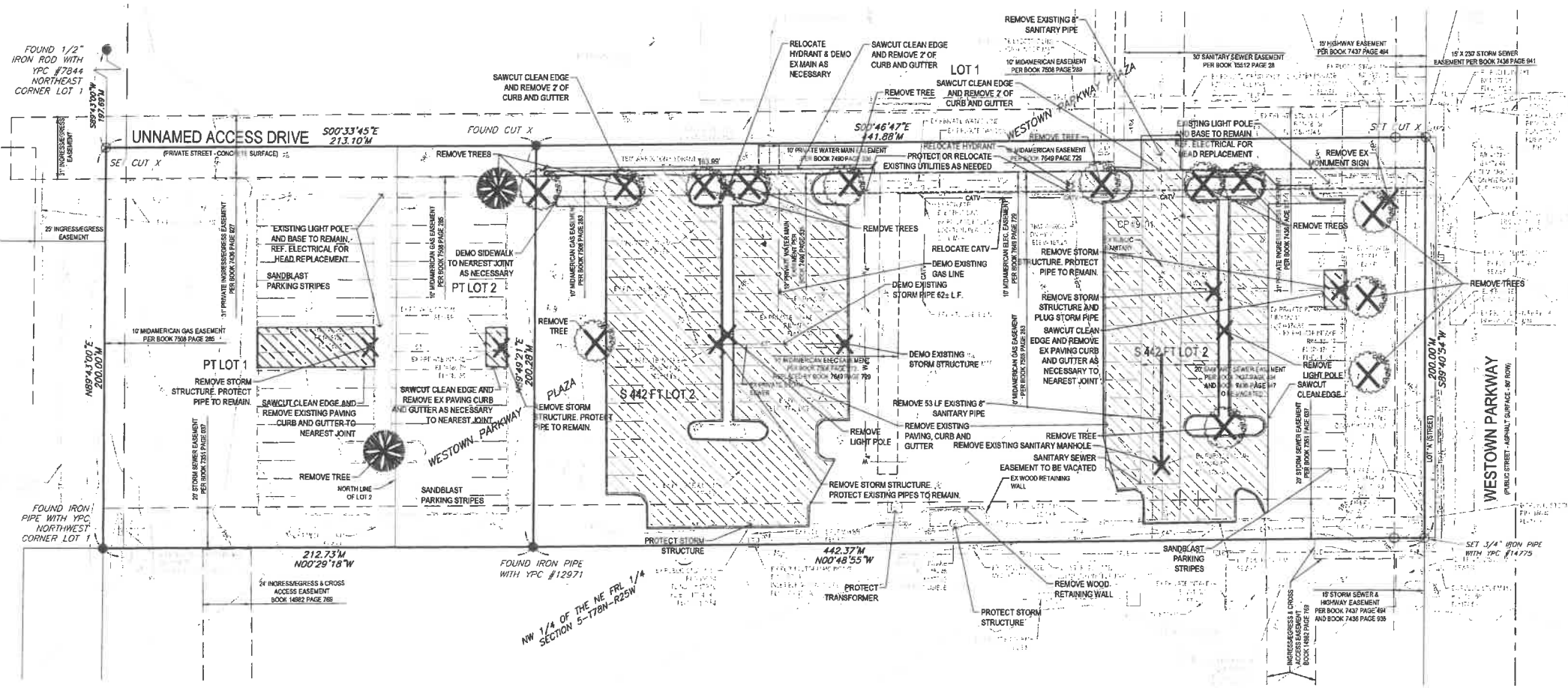


UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

PRELIMINARY- NOT FOR CONSTRUCTION

5/13/2019 1:38:07 PM I:\LAND PROJECTS 2019\190129 UNITY POINT\DWGSET\1 DEMO.DWG

- DEMO NOTES:**
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
 4. CONTRACTOR SHALL COORDINATE SIGNAGE AND/OR ACCESS ROAD CLOSURE WITH OWNER AND CITY AS NECESSARY TO REMOVE CURB AND GUTTER.
 5. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND LIGHT POLE REMOVAL/EXCHANGE WITH UTILITY PROVIDER AND ARCHITECT.



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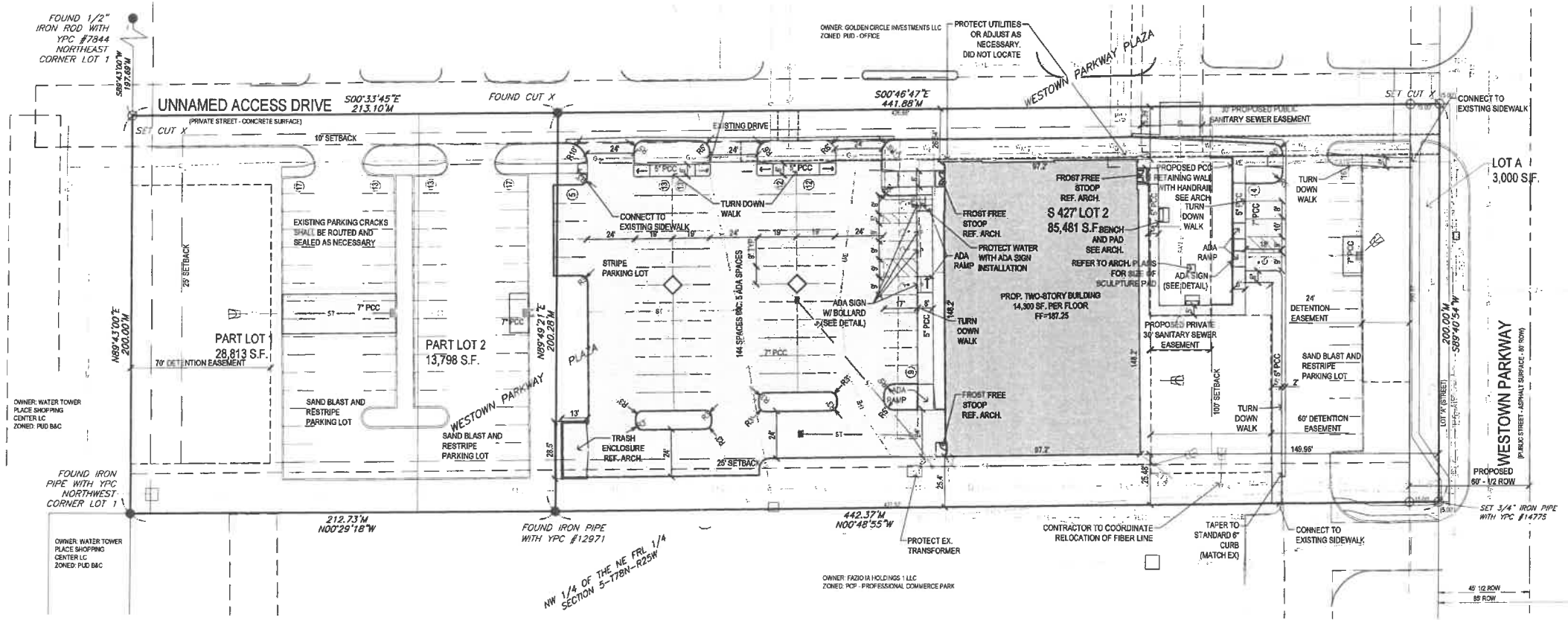
UNITY POINT CLINIC
 4055 WESTOWN PARKWAY W. DES MOINES, IA 50266
DEMO PLAN

REFERENCE NUMBER: 95-314-P 140343 160333
DRAWN BY: CEJ
CHECKED BY: DDB
REVISION DATE: 4-2-2019 1ST SUBMITTAL 4-26-2019 2ND SUBMITTAL 5-17-2019 3RD SUBMITTAL 5-20-2019 BID SET 5-29-2019 4TH SUBMITTAL 6-13-2019 5TH SUBMITTAL
PROJECT NUMBER: 190129
SHEET NUMBER: C1.1

PRELIMINARY - NOT FOR CONSTRUCTION

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- GENERAL NOTES:**
- EXISTING UTILITIES PER ONE CALL MAPS.
 - CONTRACTOR SHALL PROVIDE JOINTING PLAN FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL USE TYPICAL 'BT' TYPE JOINTS WHERE PROPOSED CONCRETE CONNECTS TO EXISTING CONCRETE.
 - CONTRACTOR SHALL COORDINATE BUILDING LAYOUT AND FOOTINGS WITH ARCHITECTURAL AND STRUCTURAL PLANS, AND FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.



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UNITY POINT CLINIC
 4055 WESTOWN PARKWAY W, DES MOINES, IA 50266
LAYOUT PLAN

REFERENCE NUMBER: 95-31-P 140343 160333
DRAWN BY: CEJ
CHECKED BY: DBB
REVISION DATE: 4-2-2019 1ST SUBMITTAL 4-26-2019 2ND SUBMITTAL 5-17-2019 3RD SUBMITTAL 5-20-2019 BID SET 5-29-2019 4TH SUBMITTAL 6-13-2019 5TH SUBMITTAL

PROJECT NUMBER
190129

SHEET NUMBER
C2.1

PRELIMINARY - NOT FOR CONSTRUCTION

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- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 6" OF SOIL ON ALL DISTURBED AREAS.
 2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 6" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
 3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
 4. TOPSOIL IS DEFINED AS: FERTILE, FRABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

EROSION CONTROL NOTE:
EDGE COMPANIES (JOSH WEIDERHOLT, 515-986-2229) IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED INTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED

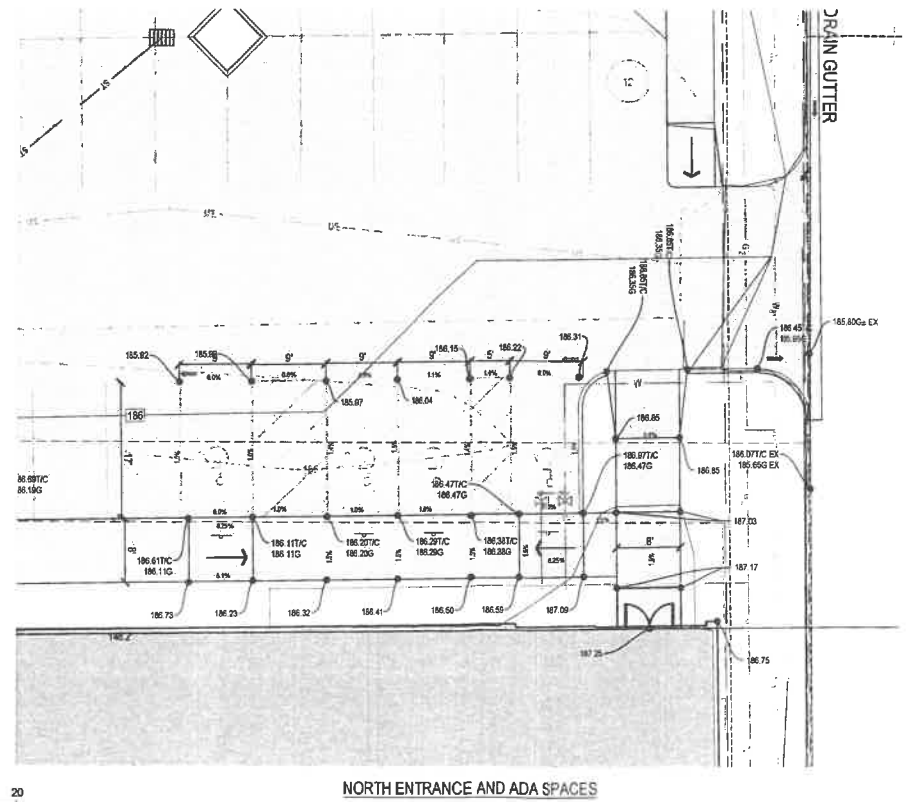
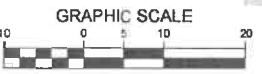
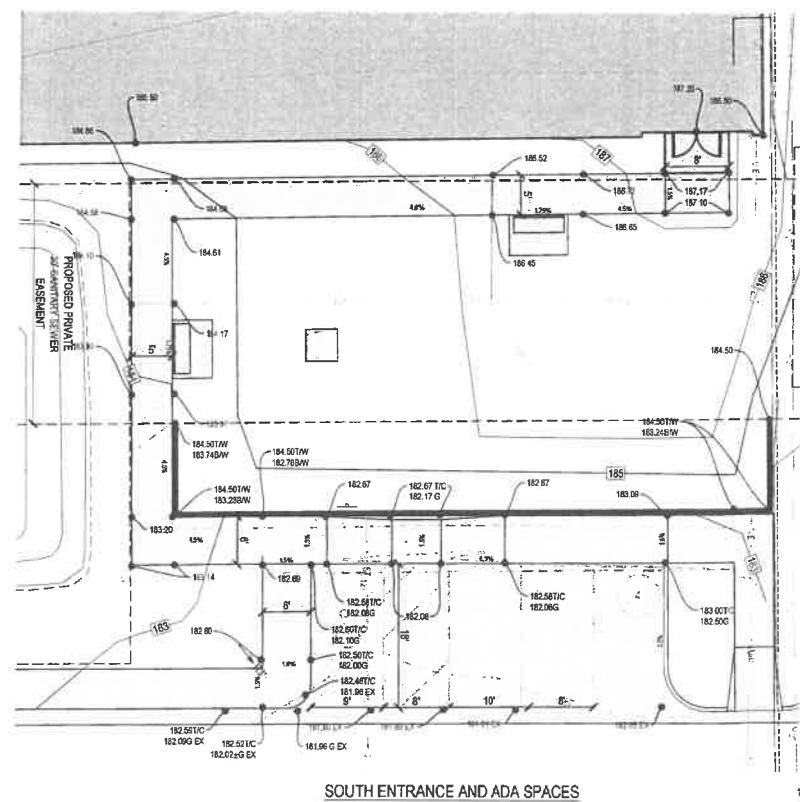
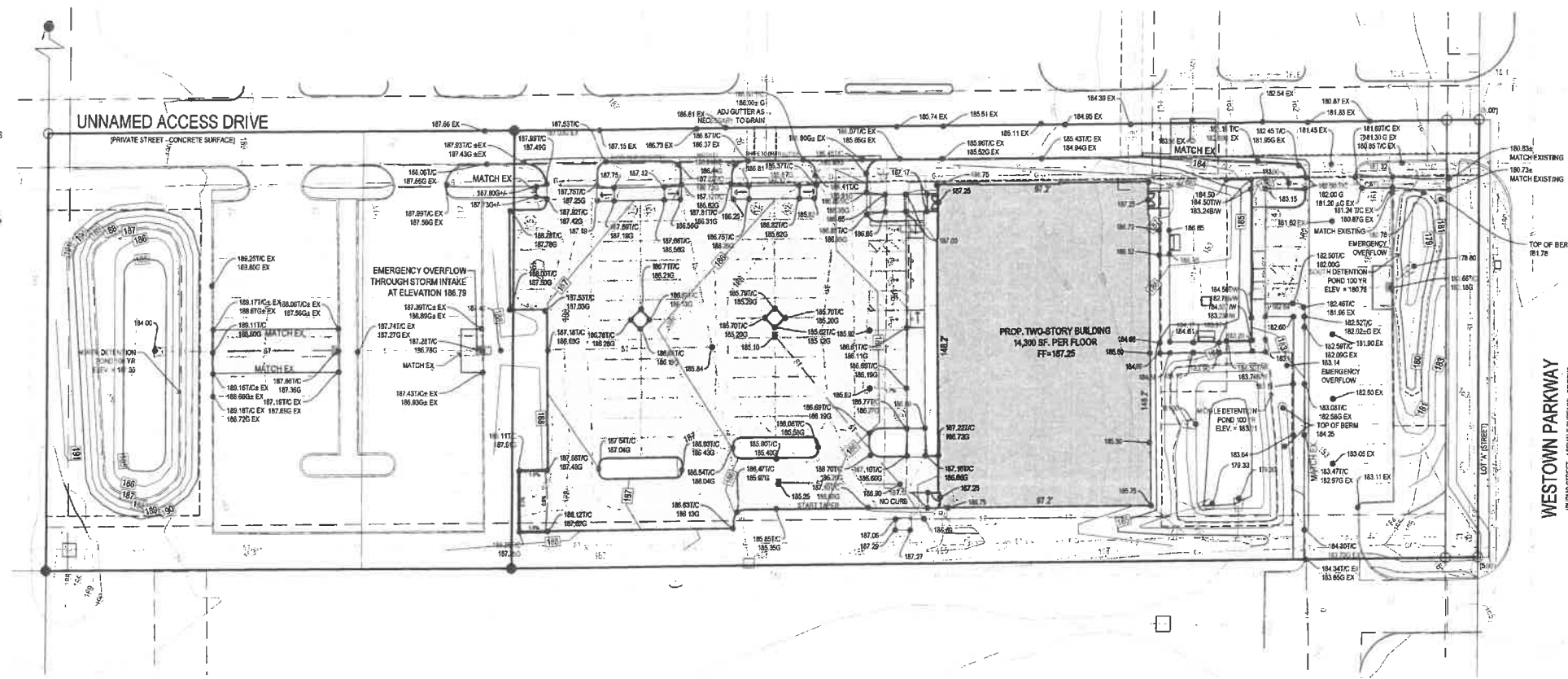
EDGE COMPANIES (JOSH WEIDERHOLT, 515-986-2229) IS RESPONSIBLE FOR INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES



GRADING LEGEND:

- EXISTING CONTOUR ——— 150 ———
- PROPOSED CONTOUR ——— 150 ———
- FINISHED GROUND ELEVATION ——— 150.50 ———
- TOP OF CURB ELEVATION ——— 150.50TC ———
- GUTTER ELEVATION ——— 150.50G ———
- TOP OF WALL ELEVATION ——— 150.50TW ———
- BOTTOM OF WALL ELEVATION ——— 150.50BW ———
- EDGE OF WALK ELEVATION ——— 150.50EW ———
- TOP OF STAIR ELEVATION ——— 150.50TS ———
- BOTTOM OF STAIR ELEVATION ——— 150.50BS ———

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.



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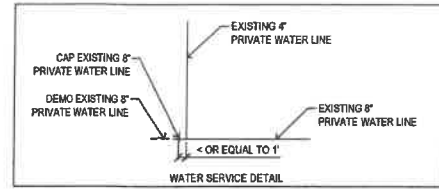
UNITY POINT CLINIC
4055 WESTOWN PARKWAY W. DES MOINES, IA 50266
GRADING PLAN

REFERENCE NUMBER:	95-31-P 140343 160333
DRAWN BY:	CEJ
CHECKED BY:	DBB
REVISION DATE:	4-2-2019 1ST SUBMITTAL 4-26-2019 2ND SUBMITTAL 5-17-2019 3RD SUBMITTAL 5-20-2019 BID SET 5-29-2019 4TH SUBMITTAL 6-13-2019 5TH SUBMITTAL
PROJECT NUMBER:	190129
SHEET NUMBER:	C3.1

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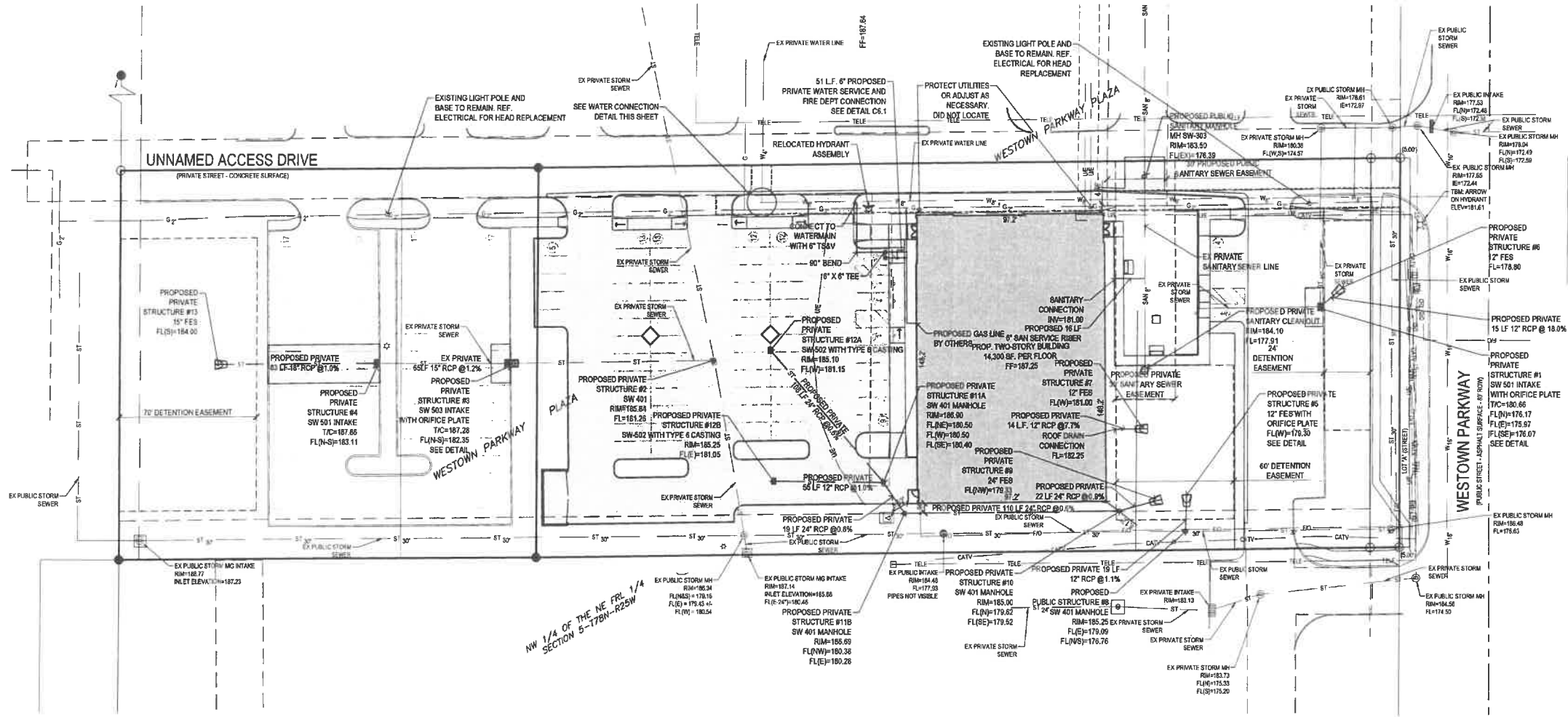
8/13/2019 1:44:48 PM \\KLAND\PROJECTS\2019\19129\UNITY POINT\DWG\C4.1 UTILITY.DWG

- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
 9. ALL WATER WORK NEEDS TO BE COMPLETED IN A MANNER TO MINIMIZE THE WATER SERVICE DISRUPTION FOR BOTH FIRE AND DOMESTIC TO THE ADJACENT BUILDING.



PRIVATE WATER QUANTITY

8" PIPE TO DEMO	22 FEET
HYDRANT TO BE RELOCATED	1
5" X 8" TSSV	1
PROPOSED 6" PIPE INCL. BEND AND TEE	46 FEET
PROPOSED 4" PIPE	20 FEET
PROPOSED 6" VALVE	2



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UTILITY PLAN

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PROJECT NUMBER:
190129

SHEET NUMBER:
C4.1

PRELIMINARY - NOT FOR CONSTRUCTION

01/20/2019 1:53:00 PM I:\LAND PROJECTS 2018\19120 UNITY POINT\WORKSHEETS\LANDSCAPE.DWG

LANDSCAPE NOTES:

1. ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE
2. SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1)
6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
8. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
9. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
10. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
11. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT
12. ALL EDGING SHALL BE RYERSON 110" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL.
13. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL INCORPORATE TYPAR 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 3" THICK LAYER OF WASHED RIVER ROCK (1.5" NOMINAL SIZE).
14. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER ROCK IS INSTALLED.
15. ALL GROUND MOUNTED AND WALL MOUNTED UTILITIES SHALL BE SCREENED WITH EVERGREEN SCREENING OR OTHER SCREENING MATERIAL AS APPROVED BY THE CITY OF WEST DES MOINES

GENERAL LANDSCAPE REQUIREMENTS

TOTAL SQUARE FOOTAGE OF PROJECT AREA	131,676 SF
REQUIRED OPEN SPACE(35%)	45,677 SF
GENERAL OPEN SPACE REQUIREMENT	
TOTAL REQUIRED TREES (2 PER 3,000 SF OPEN SPACE)	31
TOTAL PROPOSED TREES (19 EVERGREEN, 15 DECIDUOUS)	34
TOTAL REQUIRED SHRUBS (3 PER 3,000 SF OPEN SPACE)	46
TOTAL PROPOSED SHRUBS	69

PLANTING SCHEDULE

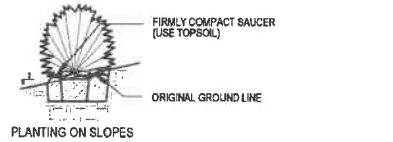
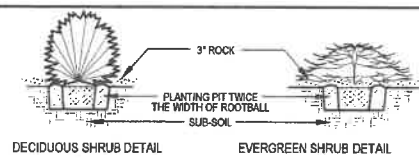
CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
GB	3	GINKGO	GINKGO BILOBA PRINCETON SENRY	7" CAL	B&B	MATCHED SPECIMENS
SH	12	SKYLINE HONEYLOCUST	GLECHYSIA TRICANTHO INERMIS 'SKYLINE'	2.5" CAL	B&B	MATCHED SPECIMENS
HB	7	HACKBERRY	CELTIS OCCIDENTALIS	2.5" CAL	B&B	MATCHED SPECIMENS
WO	8	WHITE OAK	QUERCUS ALBA	2.5" CAL	B&B	MATCHED SPECIMENS
EM	1	ELIZABETH MAGNOLIA	MAGNOLIA X ELIZABETH	1.5" CAL	B&B	SPECIMEN FORM (SINGLE TRUNK)
PS	3	PINK SPRES CRABAPPLE	AMALUS X PINK SPRES	1.5" CAL	B&B	SPECIMEN FORM (SINGLE TRUNK)
WP	6	WHITE PINE	PIRUS STRABUS	8"	B&B	FULL FORM TO GROUND
SH	3	BLACK HILLS SPRUCE	PICEA GLAUGICA DENSATA	8"	B&B	FULL FORM TO GROUND
CS	4	COLORADO SPRUCE	PICEA PLUNGENS	8"	B&B	FULL FORM TO GROUND
BX	32	CHICAGO LIND BURNWOOD	ILAEVUS X BLENDGE	#3	CONT	FULL FORM - MATCHED
IH	12	WINNIBELLE HYDRANGEA	HYDRANGEA ARBORESCENS WINNIBELLE	#5	CONT	FULL FORM - MATCHED
JH	16	WINNIBELLE HYDRANGEA	HYDRANGEA ARBORESCENS WINNIBELLE	#6	CONT	FULL FORM - MATCHED
LD	2	LITTLE DEVIL NINEBARK	PHYSCARPUS OPULIFOLIUS LITTLE DEVIL	#6	CONT	FULL FORM - MATCHED
GF	36	GOLD FLAME SPREA	SPRAXA X GOLD FLAME	#3	CONT	FULL FORM - MATCHED
VR	100	VIOLET ROY SALVA	SALVA X VIOLET ROY	4"	CONT	FULL FORM - MATCHED
CB	68	CRYSTAL BLUE SALVA	SALVA X CRYSTAL BLUE	4"	CONT	FULL FORM - MATCHED
RQ	84	ROSE QUEEN SALVA	SALVA X ROSE QUEEN	4"	CONT	FULL FORM - MATCHED
PA	560	PURPLE SENSATION ALLIUM	ALLIUM X PURPLE SENSATION	N/A	BULB	INSTALL AT 9" ON CENTER - GRID PAT TERN

SOD: PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)

FLOWER GONGS: PROVIDE AND INSTALL FOUR (4) "FOUR NOTE FLOWER GONGS", AS MANUFACTURED BY

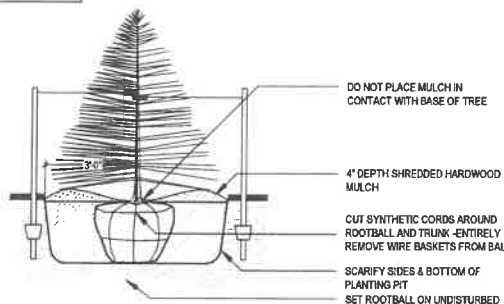
FREENOTES HARMONY PARK
194 BODO DRIVE, UNIT F
DURANGO CO, 81303
WWW.FREENOTESHARMONYPARK.COM

PROVIDE ONE OF EACH COLOR. INSTALL PER MANUFACTURERS RECOMMENDATIONS ON 18" X 18" X 6" CONCRETE PADS. SET CONCRETE MOUNTING PAD FLUSH WITH ADJACENT SIDEWALK IN LOCATIONS SHOWN ON PLAN. FINAL LOCATION OF EACH FLOWER GONG TO BE DETERMINED ON SITE BY OWNER OR OWNER'S REPRESENTATIVE



SHRUB PLANTING (TYP)

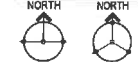
SCALE: NOT TO SCALE



EVERGREEN TREE PLANTING (B&B)

SCALE: NOT TO SCALE

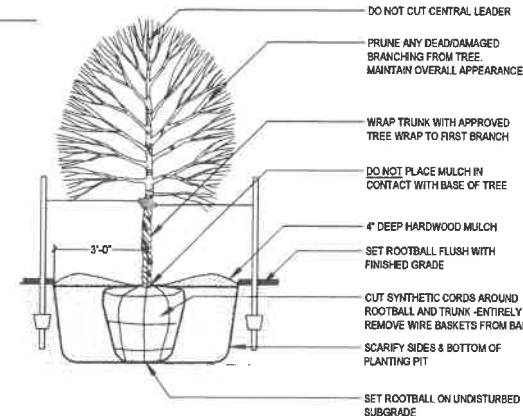
STAKING ORIENTATION



2 STAKES - 3" CAL & LESS
3 STAKES - GREATER THAN 3" CAL

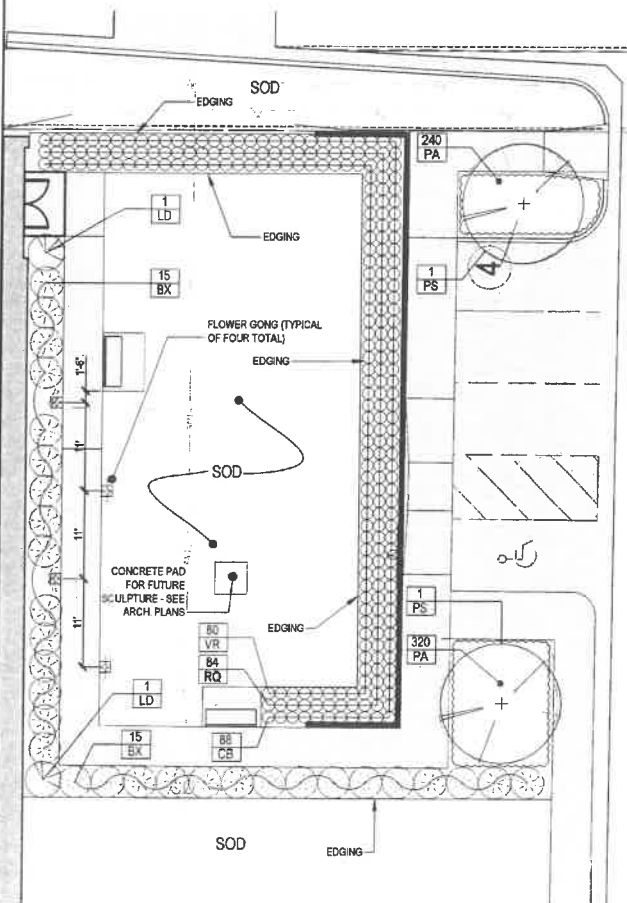
USE HOSE GUARDS AROUND TRUNK ON STAKING WIRE. TIE WIRE TO STEEL POSTS PLACED OUTSIDE PLANT PIT.

LEAVE STAKES IN PLACE NO MORE THAN 1 YEAR FROM INSTALLATION. CONTRACTOR RESPONSIBLE FOR REMOVAL.

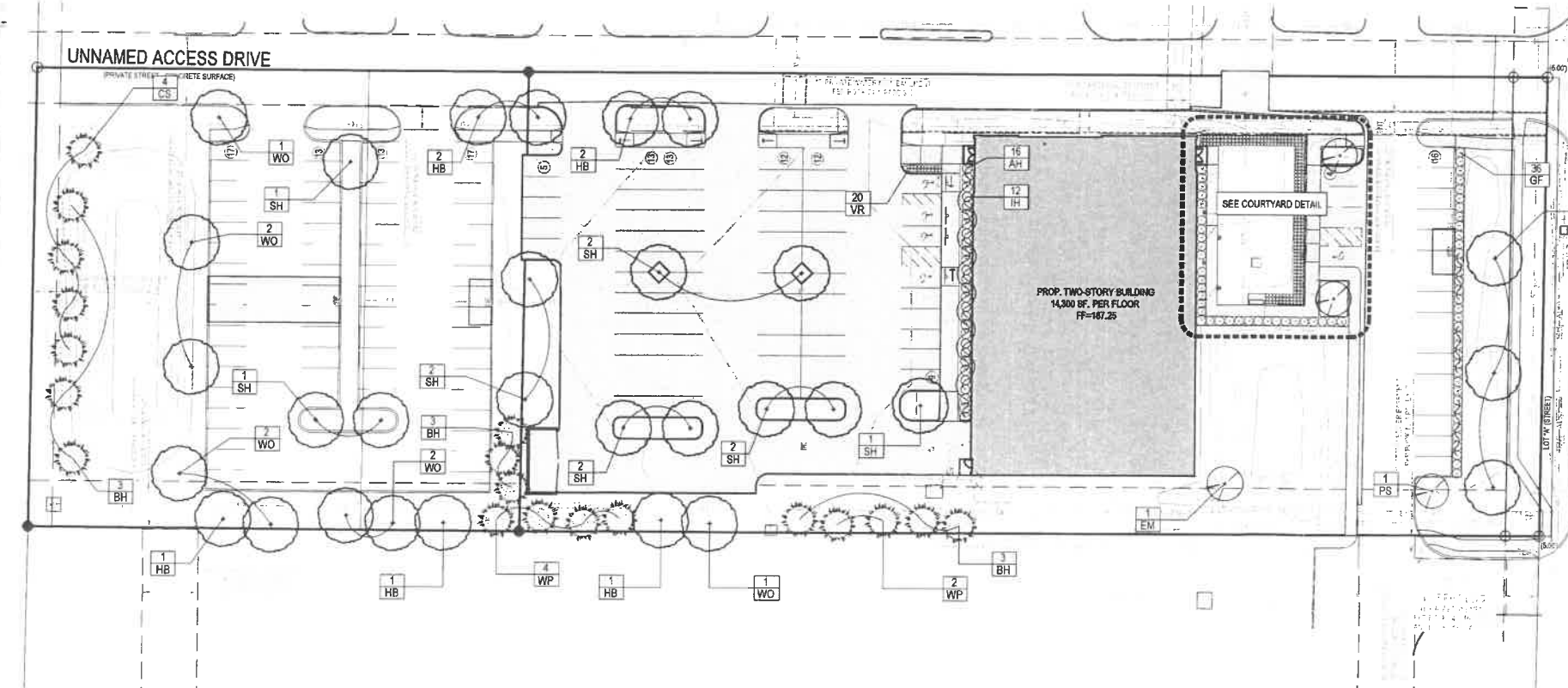


DECIDUOUS TREE PLANTING (TYP.)

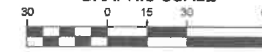
SCALE: NOT TO SCALE



COURTYARD DETAIL



GRAPHIC SCALE



WESTOWN PARKWAY
PUBLIC STREET - ASPHALT SURFACE - W/ 12" CURB

UNITY POINT CLINIC
4055 WESTOWN PARKWAY W. DES MOINES, IA 50266

LANDSCAPE PLAN

REFERENCE NUMBER:
95-31-P
140343
160333

DRAWN BY:
CEJ

CHECKED BY:
DBB

REVISION DATE:
4-2-2019 1ST SUBMITTAL
4-26-2019 2ND SUBMITTAL
5-17-2019 3RD SUBMITTAL
5-20-2019 BID SET
5-29-2019 4TH SUBMITTAL
6-13-2019 5TH SUBMITTAL

PROJECT NUMBER:
190129

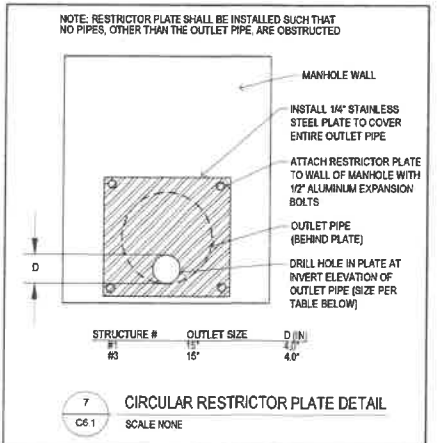
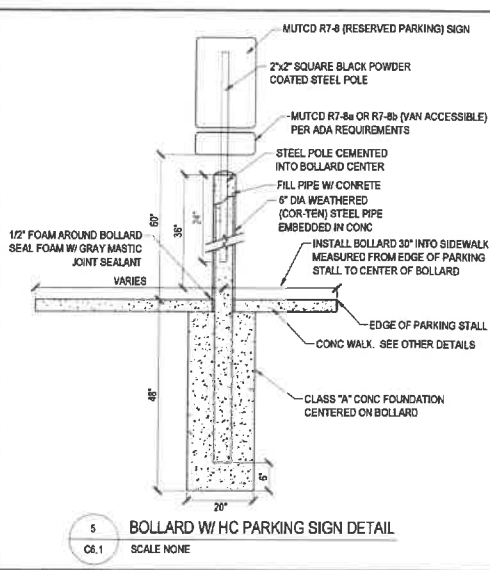
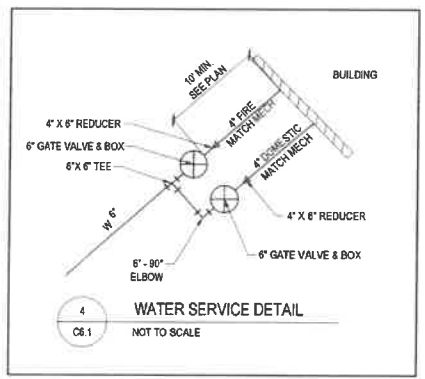
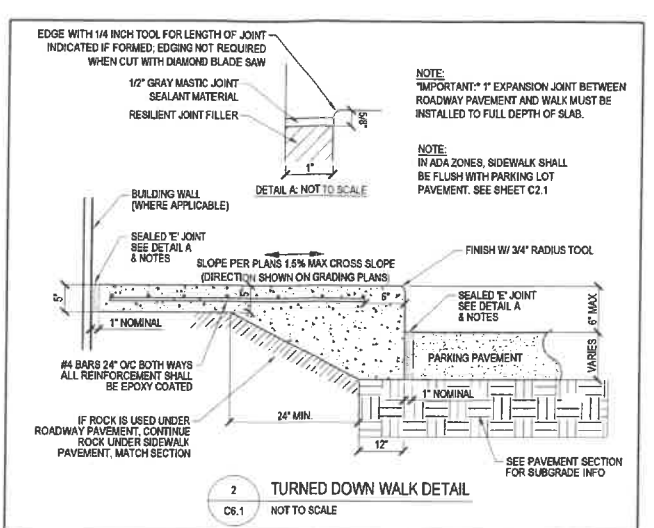
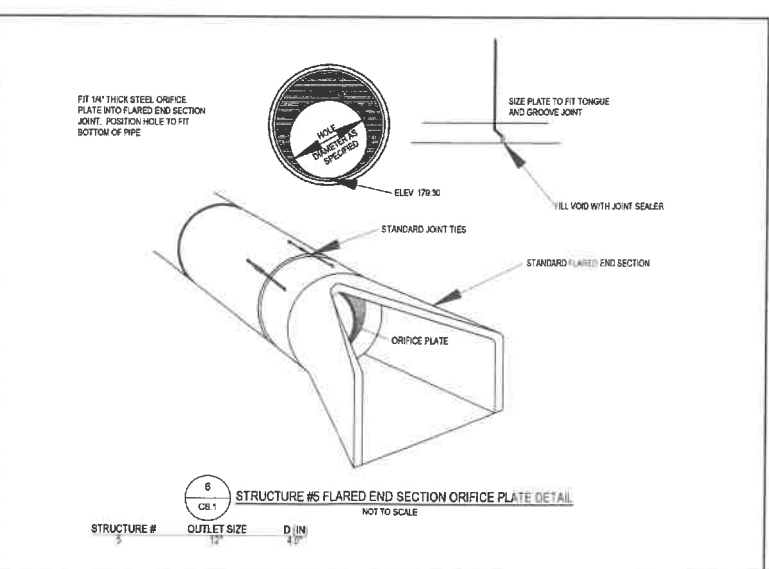
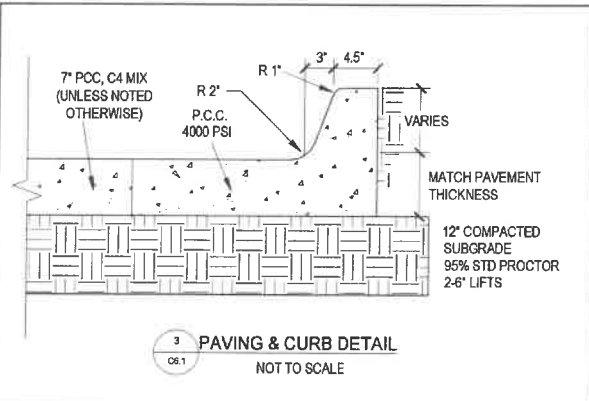
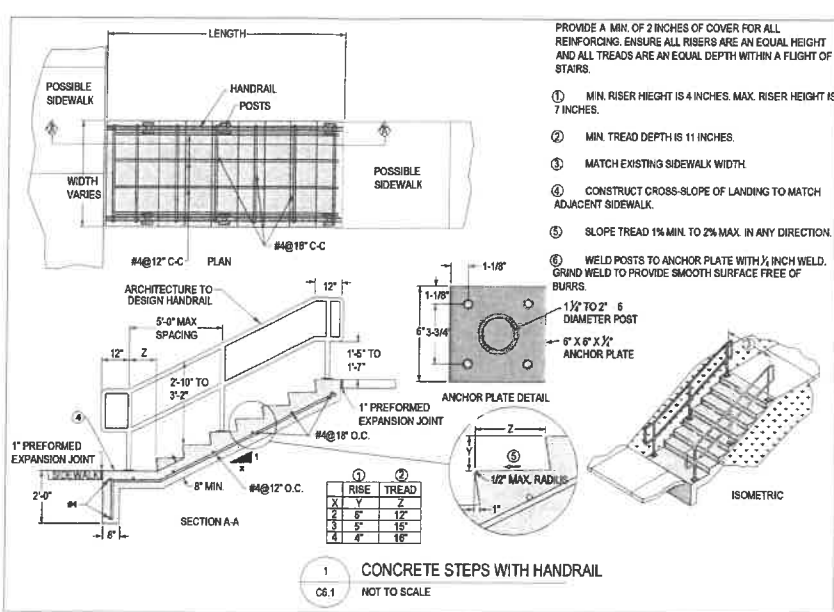
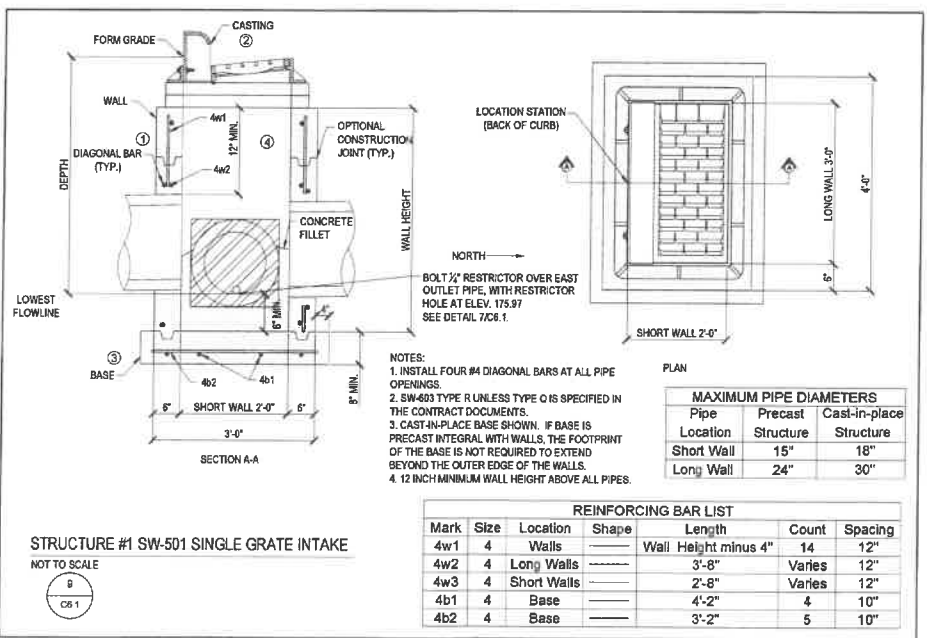
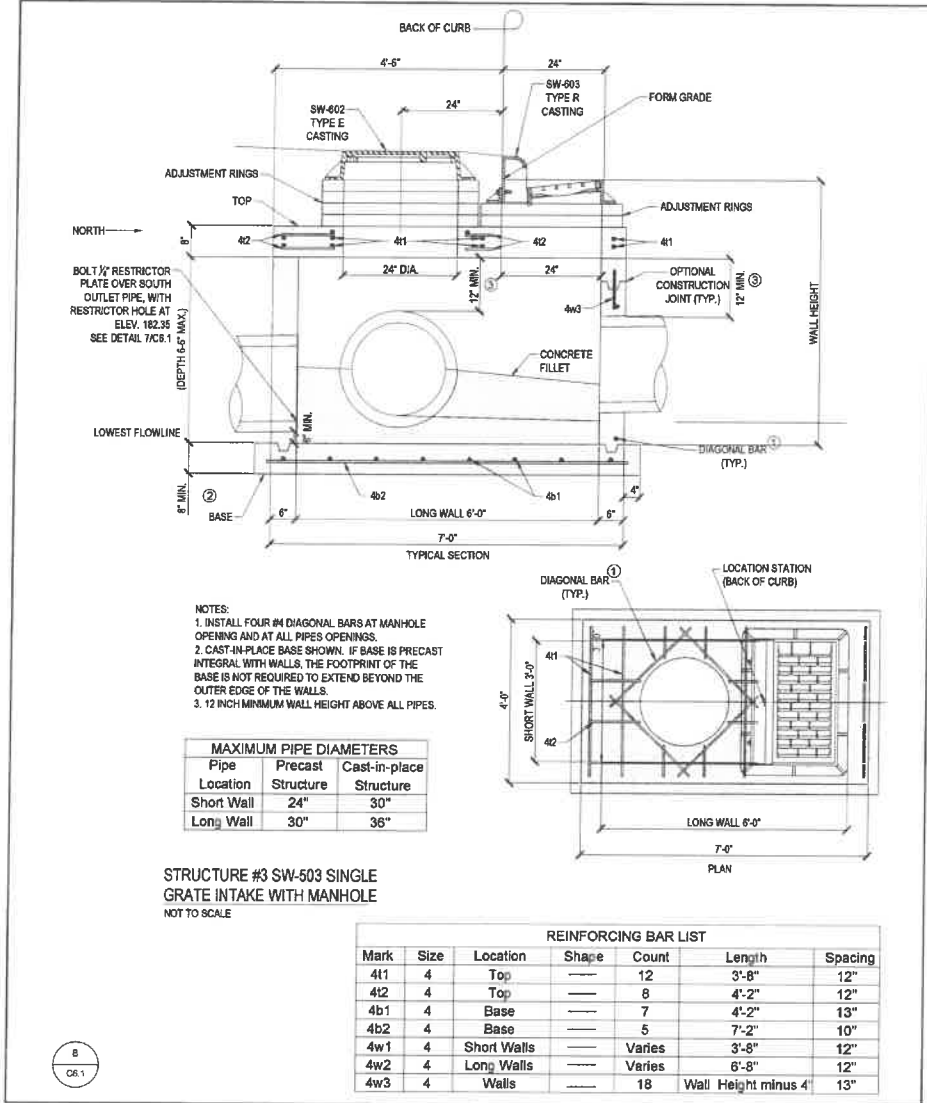
SHEET NUMBER:
C5.1

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Phone: (515)276-0467 Fax: (515)276-0217

Established 1959
Civil Engineering & Land Surveying

MILWAUKEE PROJECTS 2019/10/20 UNITY POINT CLINIC, 1 DECEMBER 2019 1:38:15 PM



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 Civil Engineering & Land Surveying
 Established 1959

UNITY POINT CLINIC
 4055 WESTOWN PARKWAY W. DES MOINES, IA 50266

DETAILS SHEET

REFERENCE NUMBER:
 95-31-P
 140343
 160333

DRAWN BY:
 CEJ

CHECKED BY:
 DBB

REVISION DATE:
 4-2-2019 1ST SUBMITTAL
 4-26-2019 2ND SUBMITTAL
 5-17-2019 3RD SUBMITTAL
 5-20-2019 BRD SET
 5-29-2019 4TH SUBMITTAL
 6-13-2019 5TH SUBMITTAL

PROJECT NUMBER:
 190129

SHEET NUMBER:
 C6.1

PRELIMINARY - NOT FOR CONSTRUCTION

STORM WATER POLLUTION PREVENTION PLAN

PROPERTY DESCRIPTION:

(SPECIAL WARRANTY DEED BOOK 8471, PAGE 648)
THE SOUTH 442.00 FEET OF LOT 2 IN WESTOWN PARKWAY PLAZA, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

AND

(WARRANTY DEED BOOK 15896, PAGE 245)
THE WEST 200.00 FEET OF LOT 1 LYING NORTH OF AND ADJACENT TO LOT 2 AND LOT 2 EXCEPT THE SOUTH 442.00 FEET, ALL IN WESTOWN PARKWAY PLAZA, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

ADDRESS:

4055 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266

OWNER:

HURD PROPERTIES
AND HURD WESTOWN LLC
2000 FULLER ROAD
WEST DES MOINES, IOWA 50265

PREPARED FOR:

INVISION ARCHITECTURE
302 WATSON POWELL JR. WAY
SUITE 200
DES MOINES, IOWA 50309
515-633-2841

SITE AREA:

2.94 AC (128,072 S.F.)

SWPPP LEGEND:

FILTER SOCK — SF —

ZONING:

INFORMATION OBTAINED FROM POLK COUNTY ASSESSOR PAGE
PUD OFFICE - OFFICE PLANNED UNIT DEVELOPMENT
FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF WEST DES MOINES AT 515-222-3520

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARINGS OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = CITY OF WEST DES MOINES

POINT #6000
NORTHING = 581768.57
EASTING = 1566537.15
ELEVATION = 186.07
DESCRIPTION: RPC ON IRON PIPE

POINT #6001
NORTHING = 581576.82
EASTING = 1566551.91
ELEVATION = 183.15
DESCRIPTION: RPC ON IRON PIPE

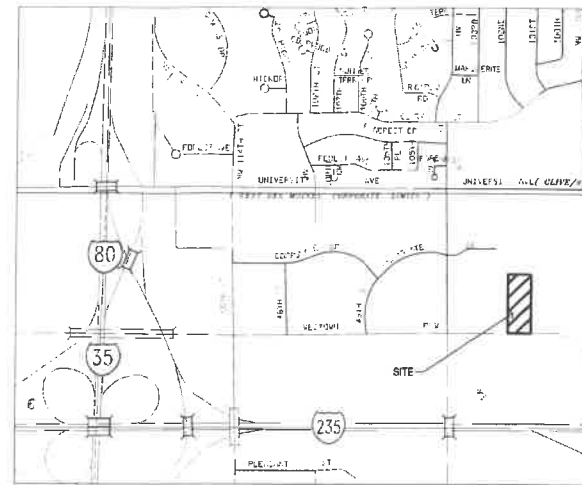
TBM:
ARROW ON HYDRANT LOCATE NEAR SE CORNER OF SUBJECT PROPERTY
ELEVATION=181.51

EROSION CONTROL NOTES:

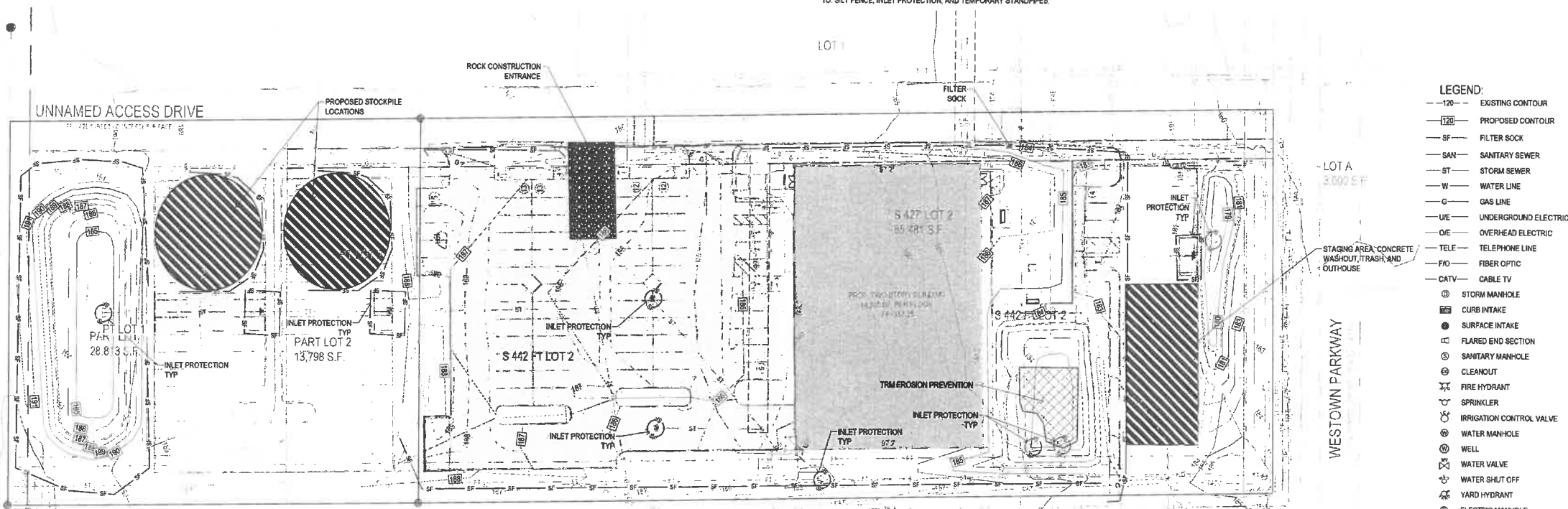
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2. EDGE COMPANIES (JOSH WEIDERHOLT, 515-866-2228) IS THE CONTACT.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

EROSION CONTROL REMOVAL NOTES:

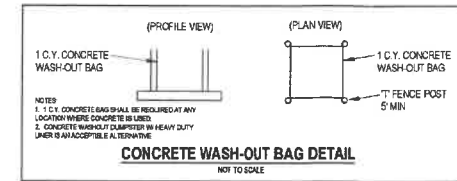
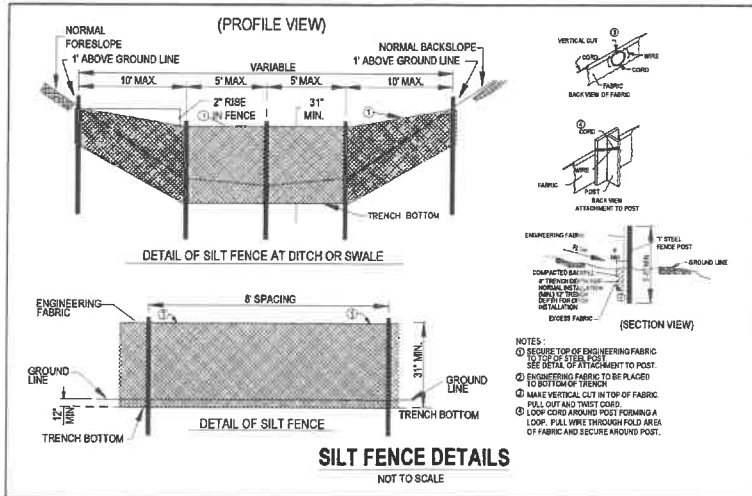
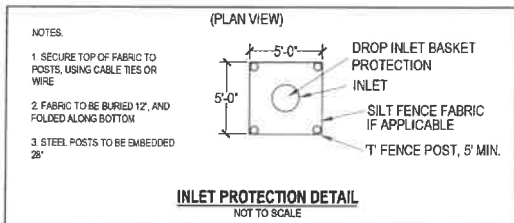
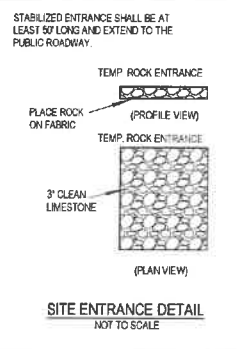
- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.



VICINITY MAP
NOT TO SCALE



- ### LEGEND:
- 120 — EXISTING CONTOUR
 - 120 — PROPOSED CONTOUR
 - SF FILTER SOCK
 - SAN SANITARY SEWER
 - ST STORM SEWER
 - W WATER LINE
 - G GAS LINE
 - UE UNDERGROUND ELECTRIC
 - OE OVERHEAD ELECTRIC
 - TELE TELEPHONE LINE
 - FO FIBER OPTIC
 - CATV CABLE TV
 - SM STORM MANHOLE
 - CI CURB INTAKE
 - SI SURFACE INTAKE
 - FE FLARED END SECTION
 - SMH SANITARY MANHOLE
 - CN CLEANOUT
 - FH FIRE HYDRANT
 - SP SPRINKLER
 - ICV IRRIGATION CONTROL VALVE
 - WMH WATER MANHOLE
 - WELL
 - WV WATER VALVE
 - WSO WATER SHUT OFF
 - YH YARD HYDRANT
 - EMH ELECTRIC MANHOLE
 - EM ELECTRIC METER
 - ER ELECTRIC RISER
 - EV ELECTRIC VAULT
 - PP POWER POLE
 - TP TRANSFORMER POLE
 - LP LIGHT POLE
 - EJB ELECTRIC JUNCTION BOX
 - EP ELECTRIC PANEL
 - TR TRANSFORMER
 - GL GROUND LIGHT
 - GW GUY WIRE
 - EHD ELECTRIC HANDHOLE
 - GM GAS METER
 - GV GAS VALVE
 - ACU AIR CONDITIONING UNIT
 - TRR TELEPHONE RISER
 - TV TELEPHONE VAULT
 - TMH TELEPHONE MANHOLE
 - TSMH TRAFFIC SIGNAL MANHOLE
 - FOR FIBER OPTIC RISER
 - FOF FIBER OPTIC FAULT
 - CTR CABLE TV RISER
 - SGN SIGN



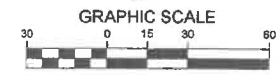
UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

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Phone: (515)276-4467 Fax: (515)276-0217
Civil Engineering & Land Surveying
Established 1999

UNITY POINT CLINIC
4055 WESTOWN PARKWAY W. DES MOINES, IA 50266

SWPPP

REFERENCE NUMBER:	95-31-P 140343 160333
DRAWN BY:	CEJ
CHECKED BY:	DBB
REVISION DATE:	4-2-2019 1ST SUBMITTAL 4-25-2019 2ND SUBMITTAL 5-17-2019 3RD SUBMITTAL 5-20-2019 4TH SUBMITTAL 5-29-2019 4TH SUBMITTAL 6-13-2019 5TH SUBMITTAL
PROJECT NUMBER:	190129
SHEET NUMBER:	C7.1



Prepared by: B. Portz, City of West Des Moines Development Services, P.O. Box 65320, West Des Moines, IA 50265-0320, 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, P. O. Box 65320, West Des Moines, IA 50265-0320

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING THE UNITY POINT CLINIC SITE PLAN (SP-004277-2019) TO ALLOW CONSTRUCTION OF A 2 STORY, 28,000 SQUARE FOOT MEDICAL CLINIC.

WHEREAS, pursuant to the provisions of Title 9, Zoning, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Unity Point Health, in association with the property owner, Central Iowa Hospital Corporation, has requested approval for the Unity Point Clinic Site Plan (SP-004277-2019) for that property located at 4055 Westown Parkway and legally described below for the purpose of constructing a 2 story, 28,000 square foot medical clinic;

Legal Description of Property

THE SOUTH 442.00 FEET OF LOT 2 IN WESTOWN PARKWAY PLAZA, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA (SPECIAL WARRANTY DEED BOOK 8471, PAGE 646).

AND

THE WEST 200.00 FEET OF LOT 1 LYING NORTH OF AND ADJACENT TO LOT 2 AND LOT 2 EXCEPT THE SOUTH 442.00 FEET, ALL IN WESTOWN PARKWAY PLAZA, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA (WARRANTY DEED BOOK 15996, PAGE 245).

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, on June 24, 2019, the Plan and Zoning Commission did recommend to the City Council approval of the Unity Point Clinic Site Plan (SP-004277-2019);

WHEREAS, on July 1, 2019, this City Council held a duly-noticed Meeting to consider the application for Unity Point Clinic Site Plan (SP-004277-2019);

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, stated in the staff report, dated July 1, 2019, or as amended orally at the City Council meeting of July 1, 2019, are adopted.

SECTION 2. SITE PLAN (SP-004277-2019) to allow construction of a 2 story, 28,000 square foot medical clinic is

approved, subject to compliance with all the conditions in the staff report, dated July 1, 2019, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on July 1, 2019.

Steven K. Gaer
Mayor

ATTEST:

Ryan Jacobson
City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on July 1, 2019, by the following vote:

ATTEST:

Ryan Jacobson
City Clerk

Exhibit A
Conditions of Approval

1. The applicant acknowledging that an executed maintenance easement agreement and maintenance covenant will need to be executed. As part of the maintenance covenant, the Applicant will be responsible to provide a letter certifying the detention facility is in conformance with the approved storm water management plan and as-builts of the detention facility. Letter and as-builts will need to signed/sealed in accordance with Chapter 6, 193C-6.1(542B) of the Iowa Code. The signed agreement shall be submitted to the City for recording prior to issuance of a building permit. The as-built information for the detention facilities which provide storm water management for any property within this plat's area shall be submitted prior to issuance of a final occupancy permit, for any building created with the final plat.
2. The applicant coordinating construction activities and timing with the adjacent property owner to the east to limit construction impacts, since the two properties share an access drive from Westown Parkway.
3. The public sanitary sewer easement along the south side of the building shall be vacated before the issuance of any occupancy permit for the building, including temporary occupancy.
4. The applicant submitting a signed warranty deed for the dedication of right of way before the issuance of a building permit for the building.

**CITY OF WEST DES MOINES
CITY COUNCIL MEETING COMMUNICATION**

ITEM: Additional Action on Proposal to Enter Into General Obligation Refunding Loan Agreement, Combining Loan Agreements, Setting Date of Sale for \$12,935,000 General Obligation Bonds (Series 2019E), and Approval of Preliminary Official Statement **DATE:** July 1, 2019

FINANCIAL IMPACT: Ultimate debt service amounts (principal and interest) are undetermined, pending interest rate bids received on Monday, July 15, 2019. Interest is estimated to range from 1.74% to 2.92% with an approximate all-in interest rate of 2.41%, with final maturity scheduled for June 1, 2031 (12 year bonds). Bonds due after June 1, 2027 will be subject to call for redemption prior to maturity on said date or any day thereafter. The refunding component of this issuance will result in net present value interest savings of approximately \$110,000.

BACKGROUND: This action allows the sale of \$12,935,000 of General Obligation Bonds (Series 2019E), to partially defray the costs of constructing a number of general CIP projects which were approved by City Council as part of the FY 19-20 budget. In addition, it has been identified that the City's Series 2011A General Obligation Bonds are in a position to be refunded with a result of interest savings. Staff has factored the cost of the proposed issuance compared to the total amount of funds available through the debt service levy in order to maintain positive cash flow throughout the life of the bond issuance.

The resolution also approves a Preliminary Official Statement and authorizes its distribution. The Council is encouraged to review the Preliminary Official Statement as its preparation is subject to Federal Securities Law regulation. As such, the City must be certain that facts and representations are true and correct in all material respects, up to and including the date of the delivery of the bonds. A copy of the Preliminary Official Statement has previously been sent electronically to the Councilmembers and is available for review in the offices of the City Clerk and Finance Director.

On March 5, 2019, a series of public hearings were held to institute proceedings on the issuance of "not to exceed" \$7.77 million Essential Corporate Purpose General Obligation Bonds and four separate "not to exceed" General Corporate Purpose General Obligation Bonds in amounts ranging from \$655,000 to \$700,000. Iowa Code Section 384.28 specifically permits the City to sell bonds for different projects together for market efficiency, once legal authority has been established through the required hearings, notices, and approvals. No comments were received at these public hearings

Earlier in this meeting (July 1, 2019), a public hearing was held to institute proceedings on the issuance of "not to exceed" \$2.935 million General Obligation Refunding Bonds.

Bids will be received Monday, July 15, 2019, at 11:00am, and either staff or a representative of the City's Financial Advisory Firm, Public Financial Management (PFM), will report on the results to Council at its meeting scheduled for that same evening.

RECOMMENDATION: Adoption of Resolution on proposal to enter into General Obligation Refunding Loan Agreement, combining loan agreements, setting the date of sale for \$12,935,000 General Obligation Bonds (Series 2019E), and approving the Preliminary Official Statement.

Lead Staff Member: Tim Stiles, Finance Director



STAFF REVIEWS

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	(W)

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

RESOLUTION NO. _____

Resolution taking additional action on proposal to enter into a Refunding Loan Agreement, combining Loan Agreements, setting the date for sale of General Obligation Corporate Purpose & Refunding Bonds, Series 2019E and authorizing the use of a preliminary official statement in connection therewith

WHEREAS, the City of West Des Moines (the “City”), in Dallas, Madison, Polk and Warren Counties, State of Iowa, heretofore proposed to enter into a loan agreement (the “Essential Purpose Loan Agreement”), pursuant to the provisions of Section 384.24A of the Code of Iowa, and to borrow money thereunder in a principal amount not to exceed \$7,770,000 for the purpose of paying the costs, to that extent, of (1) constructing street, road, alley, sanitary sewer system, storm water drainage and sidewalk improvements; (2) acquiring and installing street and pedestrian traffic lighting and signalization improvements; and (3) improving and equipping existing municipal parks, and has published notice of the proposed action and has held a hearing thereon on February 19, 2019; and

WHEREAS, the City also proposed to enter into a loan agreement (the “General Purpose Loan Agreement #1”), pursuant to the provisions of Section 384.24A of the Code of Iowa, and to borrow money thereunder in a principal amount not to exceed \$700,000 for the purpose of paying the costs, to that extent, of designing, acquiring and installing community entrance enhancements and welcome signs, and in lieu of calling an election upon such proposal, has published notice of the proposed action and has held a hearing thereon, and as of February 19, 2019, no petition had been filed with the City asking that the question of entering into the General Purpose Loan Agreement #1 be submitted to the registered voters of the City; and

WHEREAS, the City also proposed to enter into a loan agreement (the “General Purpose Loan Agreement #2”), pursuant to the provisions of Section 384.24A of the Code of Iowa, and to borrow money thereunder in a principal amount not to exceed \$700,000 for the purpose of paying the costs, to that extent, of (1) constructing improvements and repairs to parking lots at municipal buildings and grounds; and (2) undertaking roof replacement for Fire/EMS Station #21, and in lieu of calling an election upon such proposal, has published notice of the proposed action and has held a hearing thereon, and as of February 19, 2019, no petition had been filed with the City asking that the question of entering into the General Purpose Loan Agreement #2 be submitted to the registered voters of the City; and

WHEREAS, the City also proposed to enter into a loan agreement (the “General Purpose Loan Agreement #3”), pursuant to the provisions of Section 384.24A of the Code of Iowa, and to borrow money thereunder in a principal amount not to exceed \$685,000 for the purpose of paying the costs, to that extent, of (1) constructing and installing fueling system modifications at the Public Services facility; (2) installing air conditioning improvements at the Valley View Aquatic Center; and (3) undertaking roof replacement and exterior improvements at the Nature Lodge, and in lieu of calling an election upon such proposal, has published notice of the proposed action and has held a hearing thereon, and as of February 19, 2019, no petition had been filed with the City asking that the question of entering into the General Purpose Loan Agreement #3 be submitted to the registered voters of the City; and

WHEREAS, the City also proposed to enter into a loan agreement (the “General Purpose Loan Agreement #4”), pursuant to the provisions of Section 384.24A of the Code of Iowa, and to borrow money thereunder in a principal amount not to exceed \$655,000 for the purpose of paying the costs, to that extent, of (1) undertaking the HVAC system replacement at the Nature Lodge; and (2) undertaking the replacement of the generator at the Municipal Library, and in lieu of calling an election upon such proposal, has published notice of the proposed action and has held a hearing thereon, and as of February 19, 2019, no petition had been filed with the City asking that the question of entering into the General Purpose Loan Agreement #4 be submitted to the registered voters of the City; and

WHEREAS, the City previously issued its \$6,900,000 General Obligation Bonds, Series 2011A, dated August 10, 2011 (the “2011A Bonds”), a portion of which remain outstanding, maturing on June 1 in each of the years, and in such amounts, and bearing interest at such rates as follows:

<u>Year</u>	<u>Principal Amount</u>	<u>Interest Rate Per Annum</u>	<u>Year</u>	<u>Principal Amount</u>	<u>Interest Rate Per Annum</u>
2020	\$425,000	3.000%	2023	\$470,000	3.250%
2021	\$440,000	3.000%	2024	\$485,000	3.500%
2022	\$455,000	3.125%	2025	\$500,000	3.500%

; and

WHEREAS, pursuant to the resolution (the “2011A Bond Resolution”) authorizing the issuance of the 2011A Bonds, the City reserved the right to prepay part or all of the 2011A Bonds maturing in each of the years 2020 to 2025 (the “Callable 2011A Bonds”), inclusive, prior to and in any order of maturity on June 1, 2019 or on any date thereafter, subject to the provisions of the 2011A Bond Resolution; and

WHEREAS, the City, pursuant to the provisions of Section 384.24A of the Code of Iowa, has also proposed to enter into a loan agreement (the “Refunding Loan Agreement”) and to borrow money thereunder in a principal amount not to exceed \$2,935,000 for the purpose of paying the costs, to that extent, of current refunding the outstanding balance of the Callable 2011A Bonds, and pursuant to law and duly published notice of the proposed action, has held a hearing thereon on June 17, 2019; and

WHEREAS, pursuant to Section 384.28 of the Code of Iowa, the City Council intends to combine the Essential Purpose Loan Agreement, the General Purpose Loan Agreement #1, the General Purpose Loan Agreement #2, the General Purpose Loan Agreement #3, the General Purpose Loan Agreement #4, and the Refunding Loan Agreement into a single loan agreement (the “Loan Agreement”) and to issue General Obligation Corporate Purpose & Refunding Bonds, Series 2019E (the “Bonds”) in evidence of its obligations thereunder; and

WHEREAS, a Preliminary Official Statement (the “P.O.S.”) has been prepared to facilitate the sale of the Bonds to be issued in evidence of the obligation of the City under the Loan Agreement, and it is now necessary to make provision for the approval of the P.O.S. and to authorize its use by PFM Financial Advisors LLC (the “Financial Advisor”); and

WHEREAS, it is now necessary to set the date for the sale of the Bonds and to make provision for the advertisement thereof;

NOW, THEREFORE, Be It Resolved by the City Council of the City of West Des Moines, Iowa, as follows:

Section 1. The Essential Purpose Loan Agreement, the General Purpose Loan Agreement #1, the General Purpose Loan Agreement #2, the General Purpose Loan Agreement #3, the General Purpose Loan Agreement #4, and the Refunding Loan Agreement are hereby combined into the Loan Agreement. The City Council hereby determines to enter into the Loan Agreement in the future and orders that the Bonds be issued at such time, in evidence thereof. The City Council further declares that this resolution constitutes the “additional action” required by Section 384.24A of the Code of Iowa.

Section 2. The City Clerk and Finance Director are hereby authorized to take such action as shall be deemed necessary and appropriate, with the assistance of the Financial Advisor and Dorsey & Whitney LLP (the “Disclosure Counsel”), as the City’s disclosure counsel, to prepare the P.O.S. describing the Bonds and providing for the terms and conditions of their sale, and all action heretofore taken in this regard is hereby ratified and approved.

Section 3. The use by the Financial Advisor of the P.O.S. in substantially the form as has been presented to and considered by the City Council is hereby approved, and the Financial Advisor, together with Disclosure Counsel, is hereby authorized to prepare and use a final Official Statement for the Bonds substantially in the form of the P.O.S. but with such changes therein as are required to conform the same to the terms of the Bonds and the resolution, when adopted, providing for the sale and issuance of the Bonds, and the Finance Director is hereby authorized and directed to execute a final Official Statement for the Bonds, if requested by the Financial Advisor or Disclosure Counsel. The P.O.S. as of its date is deemed final by the City within the meaning of Rule 15(c)(2)-12 of the Securities and Exchange Commission.

Section 4. Sealed bids for the purchase of the Bonds shall be submitted, as set forth in the P.O.S., received and canvassed on behalf of the City until 11:00 a.m. on July 15, 2019, at the office of the City Clerk, at the City Hall, in the City, and the City Council shall meet on the same date at 5:30 p.m., at the City Hall, 4200 Mills Civic Parkway, P.O. Box 65320, West Des Moines, Iowa 50265, West Des Moines, Iowa, for the purpose of considering such bids received and considering and passing a resolution providing for the award of the Bonds, and the Financial Advisor is hereby authorized and directed to disseminate the notice of said sale, in compliance with the Internal Revenue Service regulations governing “Issue Price” determinations, such notice to minimally contain information regarding Establishment of Issue Price set forth in the “Terms of Offering” attached to the P.O.S. and to be in such form as the Financial Advisor may deem to be appropriate.

Section 5. Pursuant to Section 75.14 of the Code of Iowa, the City Council hereby authorizes the use of electronic bidding procedures for the sale of the Bonds through PARITY®, and hereby finds and determines that the PARITY® competitive bidding system will provide reasonable security and maintain the integrity of the competitive bidding process and will facilitate the delivery of bids by interested parties under the circumstances of this bond sale.

Section 6. All resolutions or parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section 7. This resolution shall be in full force and effect immediately upon its adoption and approval, as provided by law.

Passed and approved July 1, 2019.

Mayor

Attest:

City Clerk

CITY OF WEST DES MOINES CITY COUNCIL MEETING COMMUNICATION

ITEM: Resolution Setting the Date of Sale for \$15.4 million General Obligation Bonds (Series 2019F), and Approving Preliminary Official Statement

DATE: July 1, 2019

FINANCIAL IMPACT: Ultimate debt service amounts (principal and interest) are undetermined, pending interest rate bids received on Monday, July 15, 2019. Interest is estimated to range from 1.74% to 2.46% with an approximate all-in interest rate of 3.05%, with final maturity scheduled for June 1, 2039 (20 year bonds). Bonds due after June 1, 2027 will be subject to call for redemption prior to maturity on said date or any day thereafter.

BACKGROUND: This action allows the sale of \$15,400,000 of General Obligation Bonds (Series 2019F), to partially defray the costs of constructing the MidAmerican Energy Rec Plex. In addition, it has been identified that the City's Series 2011A General Obligation Bonds are in a position to be refunded with a result of interest savings. Because funding to pay the debt service on these bonds will come from Hotel/Motel Tax revenues, rather than the debt service levy, there is no effect on the overall debt service levy.

The resolution also approves a Preliminary Official Statement and authorizes its distribution. The Council is encouraged to review the Preliminary Official Statement as its preparation is subject to Federal Securities Law regulation. As such, the City must be certain that facts and representations are true and correct in all material respects, up to and including the date of the delivery of the bonds. A copy of the Preliminary Official Statement has previously been sent electronically to the Councilmembers and is available for review in the offices of the City Clerk and Finance Director.

On August 6, 2018, a public hearing was held to institute proceedings on the issuance of "not to exceed" \$15.4 million General Obligation Bonds. Iowa Code Section 384.28 specifically permits the City to sell bonds for different projects together for market efficiency, once legal authority has been established through the required hearings, notices, and approvals. No comments were received.

Bids will be received Monday, July 15, 2019, at 11:00am, and either staff or a representative of the City's Financial Advisory Firm, Public Financial Management (PFM), will report on the results to Council at its meeting scheduled for that same evening.

RECOMMENDATION: Adoption of Resolution on proposal to enter into entering into loan agreement, setting the date of sale for \$15,400,000 General Obligation Bonds (Series 2019F), and approving the Preliminary Official Statement.

Lead Staff Member: Tim Stiles, Finance Director *Tim Stiles*

STAFF REVIEWS

Department Director	
Appropriations/Finance	
Legal	
Agenda Acceptance	(AS)

PUBLICATION(S) (if applicable)

Published In	
Dates(s) Published	

SUBCOMMITTEE REVIEW (if applicable)

Committee			
Date Reviewed			
Recommendation	Yes	No	Split

RESOLUTION NO. _____

Resolution setting the date for the sale of General Obligation Recreation Complex Bonds, Series 2019F and authorizing the use of a preliminary official statement in connection therewith

WHEREAS, the City of West Des Moines (the "City"), in Dallas, Madison, Polk and Warren Counties, State of Iowa, heretofore proposed to enter into a loan agreement (the "Loan Agreement") and to borrow money thereunder in a principal amount not to exceed \$15,400,000, pursuant to the provisions of Section 384.24A and Section 384.24(3)(q) of the Code of Iowa, for the purpose of paying the cost, to that extent, of undertaking an urban renewal project in the Mills Parkway Urban Renewal Area consisting of constructing, furnishing and equipping an ice and turf sports and recreation campus, including an arena, a fieldhouse, outdoor soccer fields, parking facilities and related improvements, and in lieu of calling an election upon such proposal, has published notice of the proposed action, including notice of the right to petition for an election, and has held a hearing thereon, and as of August 20, 2018, no petition had been filed with the City asking that the question of entering into the Loan Agreement be submitted to the registered voters of the City; and

WHEREAS, a Preliminary Official Statement (the "P.O.S.") has been prepared to facilitate the sale of General Obligation Recreation Complex Bonds, Series 2019F (the "Bonds") to be issued in evidence of the obligation of the City under the Loan Agreement, and it is now necessary to make provision for the approval of the P.O.S. and to authorize its use by PFM Financial Advisors LLC, as municipal financial advisor (the "Financial Advisor") to the City; and

WHEREAS, it is now necessary to fix a date of meeting of the City Council to consider bids and take action for the sale and issuance of the Bonds and to give proper notice of such sale, as required by Chapter 75 of the Code of Iowa; and

NOW, THEREFORE, Be It Resolved by the City Council of the City of West Des Moines, Iowa, as follows:

Section 1. The City Clerk and Finance Director are hereby authorized to take such action as shall be deemed necessary and appropriate, with the assistance of the Financial Advisor and Dorsey & Whitney LLP (the "Disclosure Counsel"), as the City's disclosure counsel, to prepare the P.O.S. describing the Bonds and providing for the terms and conditions of their sale, and all action heretofore taken in this regard is hereby ratified and approved.

Section 2. The use by the Financial Advisor of the P.O.S. in substantially the form as has been presented to and considered by the City Council is hereby approved, and the Financial Advisor, together with Disclosure Counsel, is hereby authorized to prepare and use a final Official Statement for the Bonds substantially in the form of the P.O.S. but with such changes therein as are required to conform the same to the terms of the Bonds and the resolution, when adopted, providing for the sale and issuance of the Bonds, and the Finance Director is hereby authorized and directed to execute a final Official Statement for the Bonds, if requested by the

Financial Advisor or Disclosure Counsel. The P.O.S. as of its date is deemed final by the City within the meaning of Rule 15(c)(2)-12 of the Securities and Exchange Commission.

Section 3. Sealed bids for the purchase of the Bonds shall be received and canvassed on behalf of the City until 11:00 a.m. on July 15, 2019, at the office of the City Clerk, at the City Hall, in the City, and the City Council shall meet on the same date at 5:30 p.m., at the City Hall, 4200 Mills Civic Pkwy, West Des Moines, Iowa, for the purpose of considering such bids received and considering and passing a resolution providing for the award of the Bonds, and the Financial Advisor is hereby authorized and directed to disseminate the notice of said sale, in compliance with the Internal Revenue Service regulations governing "Issue Price" determinations. The City Clerk is hereby authorized and directed to disseminate the notice of said sale, such notice to be in substantially the following form, and also to be published at least once, not less than four (4) and not more than twenty (20) days before the July 15th sale date, in a newspaper of general circulation in the City:

**NOTICE OF SALE
CITY OF WEST DES MOINES, IOWA**

**\$15,400,000 GENERAL OBLIGATION RECREATION COMPLEX BONDS,
SERIES 2019F**

Bids will be received on behalf of the City of West Des Moines, Iowa, until 11:00 a.m. on July 15, 2019, for the purchase of \$15,400,000 General Obligation Recreation Complex Bonds, Series 2019F (the "Bonds") of the City.

Any of the methods set forth below may be used, but no open bids will be accepted:

Sealed Bidding: Sealed bids will be received City Clerk, City Hall, 4200 Mills Civic Pkwy, West Des Moines, Iowa 50265 until 11:00 a.m. C.D.T.

Electronic Internet Bidding: Electronic internet bids will be received at the office of the City Clerk, City Hall, 4200 Mills Civic Pkwy, West Des Moines, Iowa 50265, until 11:00 a.m. C.D.T. and must be submitted through PARITY®.

Electronic Facsimile Bidding: Electronic facsimile bids will be received at the office of the City Clerk, City Hall, 4200 Mills Civic Pkwy, West Des Moines, Iowa 50265, at facsimile number (515) 222-3638 or at the office of the municipal financial advisor, PFM Financial Advisors LLC, 801 Grand Avenue, Suite 3300, Des Moines, Iowa 50309, at facsimile number (515) 243-6994 until 11:00 a.m. C.D.T., and will be sealed and treated as sealed bids.

After the deadline for receipt of bids has passed, sealed bids that have been timely received will be opened and announced, and electronic internet bids will be accessed and announced. All bids will be presented to the City Council for consideration at its meeting to be held at 5:30 p.m., on July 15, 2019, at the City Hall, West Des Moines.

The City reserves the right to increase or decrease the aggregate principal amount of the issue. Any change will be in increments of \$5,000 and may be made in any of the maturities. The purchase price will be adjusted proportionately to reflect any change in issue size.

The Bonds will be issued as fully registered bonds in denominations of \$5,000 or any integral multiple thereof, will be dated August 1, 2019, will bear interest payable semiannually on each June 1 and December 1 to maturity, commencing December 1, 2019, and will mature on each June 1 in the following years and amounts:

<u>Date</u>	<u>Principal</u>	<u>Interest Rate</u>	<u>Date</u>	<u>Principal</u>	<u>Interest Rate</u>
2020	\$690,000	_____ %	2030	\$750,000	_____ %
2021	\$630,000	_____ %	2031	\$770,000	_____ %
2022	\$645,000	_____ %	2032	\$790,000	_____ %
2023	\$655,000	_____ %	2033	\$815,000	_____ %
2024	\$665,000	_____ %	2034	\$840,000	_____ %
2025	\$680,000	_____ %	2035	\$865,000	_____ %
2026	\$690,000	_____ %	2036	\$895,000	_____ %
2027	\$705,000	_____ %	2037	\$920,000	_____ %
2028	\$720,000	_____ %	2038	\$955,000	_____ %
2029	\$735,000	_____ %	2039	\$985,000	_____ %

Principal of the Bonds maturing in each of the years 2028 to 2039, inclusive, is subject to optional redemption prior to maturity on June 1, 2027, or on any date thereafter on terms of par plus accrued interest.

All bids must be for not less than a par amount of \$15,246,000, plus accrued interest. The legal opinion of Dorsey & Whitney LLP, Attorneys, Des Moines, Iowa, will be furnished by the City.

A good faith deposit of ONE PERCENT OF PAR (\$154,000) is required of the successful bidder and may be forfeited to the City in the event the successful bidder fails or refuses to take and pay for the Bonds.

The City reserves the right to reject any or all bids and to waive irregularities in any bid.

The Bonds are being issued pursuant to the provisions of Chapter 384 of the Code of Iowa and will constitute general obligations of the City, payable from taxes levied upon all the taxable property in the City without limitation as to rate or amount.

The Securities and Exchange Commission (the “SEC”) has promulgated certain amendments to Rule 15c2-12 under the Securities Exchange Act of 1934 (17 C.F.R. § 240.15c2-12) (the “Rule”) that make it unlawful for an underwriter to participate in the primary offering of municipal securities in a principal amount of \$1,000,000 or more unless, before submitting a bid or entering into a purchase contract for such securities, it has reasonably determined that the issuer or an obligated person has undertaken in writing for the benefit of the holders of such securities to provide certain disclosure information to prescribed information repositories on a continuing basis so long as such securities are outstanding.

On the date of issuance and delivery of the Bonds, the City will execute and deliver a Continuing Disclosure Certificate pursuant to which the City will undertake to comply with the Rule. The City will covenant and agree to comply with and carry out the provisions of the Continuing Disclosure Certificate. All of the officers of the City will be authorized and directed

to take any and all actions as may be necessary to comply with the Rule and the Continuing Disclosure Certificate.

Bidders should be aware that the official terms of offering (the “Terms of Offering”) to be published in the Official Statement (the “Official Statement”) for the Bonds contain additional bidding terms and information relative to the Bonds. In the event of a variance between statements in this Notice of Sale (except with respect to the time and place of the sale of the Bonds and the principal amount offered for sale) and said official terms of offering, the provisions of the latter shall control.

In order to establish the issue price of the Bonds for federal income tax purposes, the City requires bidders to agree to the following, and by submitting a bid, each bidder agrees to the following.

If a bid is submitted by a potential underwriter, the bidder confirms that (i) the underwriters have offered or reasonably expect to offer the Bonds to the public on or before the date of the award at the offering price (the “initial offering price”) for each maturity as set forth in the bid and (ii) the bidder, if it is the winning bidder, shall require any agreement among underwriters, selling group agreement, retail distribution agreement or other agreement relating to the initial sale of the Bonds to the public to which it is a party to include provisions requiring compliance by all parties to such agreements with the provisions contained herein. For purposes hereof, Bonds with a separate CUSIP number constitute a separate “maturity,” and the public does not include underwriters (including members of a selling group or retail distribution group) or persons related to underwriters.

If, however, a bid is submitted for the bidder’s own account in a capacity other than as an underwriter of the Bonds, and the bidder has no current intention to sell, reoffer, or otherwise dispose of the Bonds, the bidder shall notify the City to that effect at the time it submits its bid and shall provide a certificate to that effect in place of the certificate otherwise required below.

If the winning bidder intends to act as an underwriter, the City shall advise the winning bidder at or prior to the time of award whether the competitive sale rule applies.

If the City advises the Purchaser that the requirements for a competitive sale have been satisfied and that the competitive sale rule applies, the Purchaser will be required to deliver to the City at or prior to closing an Underwriter’s Certificate, substantially in the form attached to the Terms of Offering as Exhibit 1, as to the reasonably expected initial offering price as of the award date.

If the City advises the Purchaser that the requirements for a competitive sale have not been satisfied, the Purchaser shall (1) advise the City as soon as practicable after the award, but on the date of the award, whether the underwriters have sold at least 10% of each maturity of the Bonds to the public at the initial offering price, and, if not, the maturities with respect to which that is not the case (the “Undersold Maturities”); (2) from time to time, and upon one or more requests of the City, inform the City in writing of the amounts, times and prices of sales of Bonds that are Undersold Maturities and whether such sales were to the public until, with respect to a maturity, at least 10% of that maturity has been sold to the public at a single price, or, if earlier,

the date on which all Bonds of such Undersold Maturity have been sold to the Public; and (3) at or prior to closing, deliver to the City an Underwriter's Certificate substantially in the form attached to the Terms of Offering as Exhibit 2.

The Bonds will be subject to the "hold-the-offering-price" rule. Any bid submitted pursuant to the Terms of Proposal shall be considered a firm offer for the purchase of the Bonds, and bids submitted will not be subject to cancellation or withdrawal.

By order of the City Council of West Des Moines, Iowa.

Ryan Jacobson
City Clerk

Section 4. Pursuant to Section 75.14 of the Code of Iowa, the City Council hereby authorizes the use of electronic bidding procedures for the sale of the Bonds through PARITY®, and hereby finds and determines that the PARITY® competitive bidding system will provide reasonable security and maintain the integrity of the competitive bidding process and will facilitate the delivery of bids by interested parties under the circumstances of this bond sale.

Section 5. All resolutions or parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section 6. This resolution shall be in full force and effect immediately upon its adoption and approval, as provided by law.

Passed and approved July 1, 2019.

Mayor

Attest:

City Clerk