

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: February 24, 2020

Item: Wirtz Commercial Park Plat 6/Kindercare Learning Center, 865 S. 51st Street – Approve Preliminary Plat to Subdivide Property into Two Commercial Lots and One Street Lot and Approve Site Plan to Construct a 12,000 sq. ft. Childcare Building – EIG14T Development–PP-004556-2019/SP-004553-2019

Requested Action: Recommend Approval of a Preliminary Plat and Approval of a Site Plan

Case Advisor: Kara Tragesser, AICP 

Applicant's Request: The applicant, EIG14T Development, with permission from the property owner, Hy-Vee, Inc., requests approval of a preliminary plat to subdivide property located at 865 S. 51st Street into two commercial lots and one street lot. Also requested is approval of a site plan to construct a 12,000 sq. ft. childcare center on Lot 1.

History: The property being platted is a replat of Lots 2 and 3 Wirtz Commercial Park Plat 1 originally platted in 2000. The property is located within the Wirtz Planned Unit Development and has an underlying zoning of Support Commercial. A childcare center is a Permitted Conditional Use in this zoning district; the Board of Adjustment approved the permitted conditional use permit on November 20, 2019. A vacation of a 30 foot buffer park along the south and west side of both lots was approved under public hearing by the City Council on December 16, 2019.

City Council Subcommittee: This item was presented to the Development & Planning City Council Subcommittee at their December 2, 2019 meeting, the Subcommittee supported the preliminary plat and site plan.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff notes the following:

There is a condition of approval regarding the issuance of a building permit upon either the final plat being filed or a situation where the childcare center can be wholly constructed on Lot 2 of Wirtz Commercial Park Plat 1. Lot 2 Wirtz Commercial Park Plat 1 is a legal lot of record and could be developed without the replat that is occurring through the current review process. The intent of the applicant is to fulfill the process through a replat with a final plat proceeding to the City Council in the near future, however, staff wants to cover the contingency that the final plat is not approved before the applicant wishes to construct the childcare center. Staff presents that condition of approval to address that situation.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all the goals and policies of the Comprehensive Plan.

2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendation and Conditions of Approval: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Wirtz Commercial Park Plat 6 and the Site Plan for Kindercare Learning Center, subject to the applicant meeting all City Code requirements and the following:

1. That remaining comments on the storm water pollution prevention plan be provided prior to the issuance of a building permit for either lot.
2. Provide screening information for the ground mounted mechanical units prior to the issuance of a building permit for the childcare center building.
3. That no building permit be issued for the childcare center building until either the final plat for Wirtz Commercial Park Plat 1 has been approved and filed with the county or the site plan is revised to show all site plan improvements meet codes and regulations to be constructed on Lot 2 Wirtz Commercial Park Plat 1.
4. That the balance of the traffic study fee be paid prior to issuance of a building permit.

Property Owner: Hy-Vee, Inc.
5820 Westown Parkway
West Des Moines IA 50266
Pete Hosch

Applicant(s): EIG14T Development
3221 W. Big Beaver Road, Suite 111
Troy MIC 48084
Samantha Coponen

Applicant's Representatives:
ISG
7900 International Drive Suite 550
Minneapolis MN 55425
Ryan Anderson

ATTACHMENTS:

- Attachment A - Plan and Zoning Commission Resolution
- Exhibit A - Conditions of Approval
- Attachment B - Location Map
- Attachment C - Preliminary Plat
- Attachment D - Site Plan
- Attachment E - Building Elevations

RESOLUTION NO. PZC-20-007

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, IOWA, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE THE WIRTZ COMMERCIAL PARK PLAT 6 AND SITE PLAN FOR KINDERCARE LEARNIG CENTER AT 865 S. 51ST STREET

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, EIG14T Development, request approval of a preliminary plat to subdivide the property at 865 S. 51st Street into two lots for commercial development and approval of a site plan to construct a 12,000 sq. ft. child care center; and

WHEREAS, studies and investigations were made and staff reports and recommendations were submitted which are made a part of this record and herein incorporated by reference; and

WHEREAS, on February 24, 2020, this Commission held a duly-noticed meeting to consider the Preliminary Plat and Site Plan;

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report, dated February 24, 2020, or as amended orally at the Plan and Zoning Commission hearing of February 24, 2020, are adopted.

SECTION 2. The Wirtz Commercial Park Plat 6 preliminary plat (PP-004556-2019) and the site plan (SP-004553-2019) for Kindercare Learning Center are recommended to the City Council for approval, subject to compliance with all the conditions in the staff report, dated February 24, 2020, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on February 24, 2020.

Erica Andersen, Chair
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on February 24, 2020, by the following vote:

AYES:
NAYS:
ABSTENTIONS:
ABSENT:

ATTEST:

Recording Secretary

Exhibit A
Conditions of Approval

1. That remaining comments on the storm water pollution prevention plan be provided prior to the issuance of a building permit for either lot.
2. Provide screening information for the ground mounted mechanical units prior to the issuance of a building permit for the childcare center building.
3. That no building permit be issued for the childcare center building until either the final plat for Wirtz Commercial Park Plat 1 has been approved and filed with the county or the site plan is revised to show all site plan improvements meet codes and regulations to be constructed on Lot 2 Wirtz Commercial Park Plat 1.
4. That the balance of the traffic study fee be paid prior to issuance of a building permit.

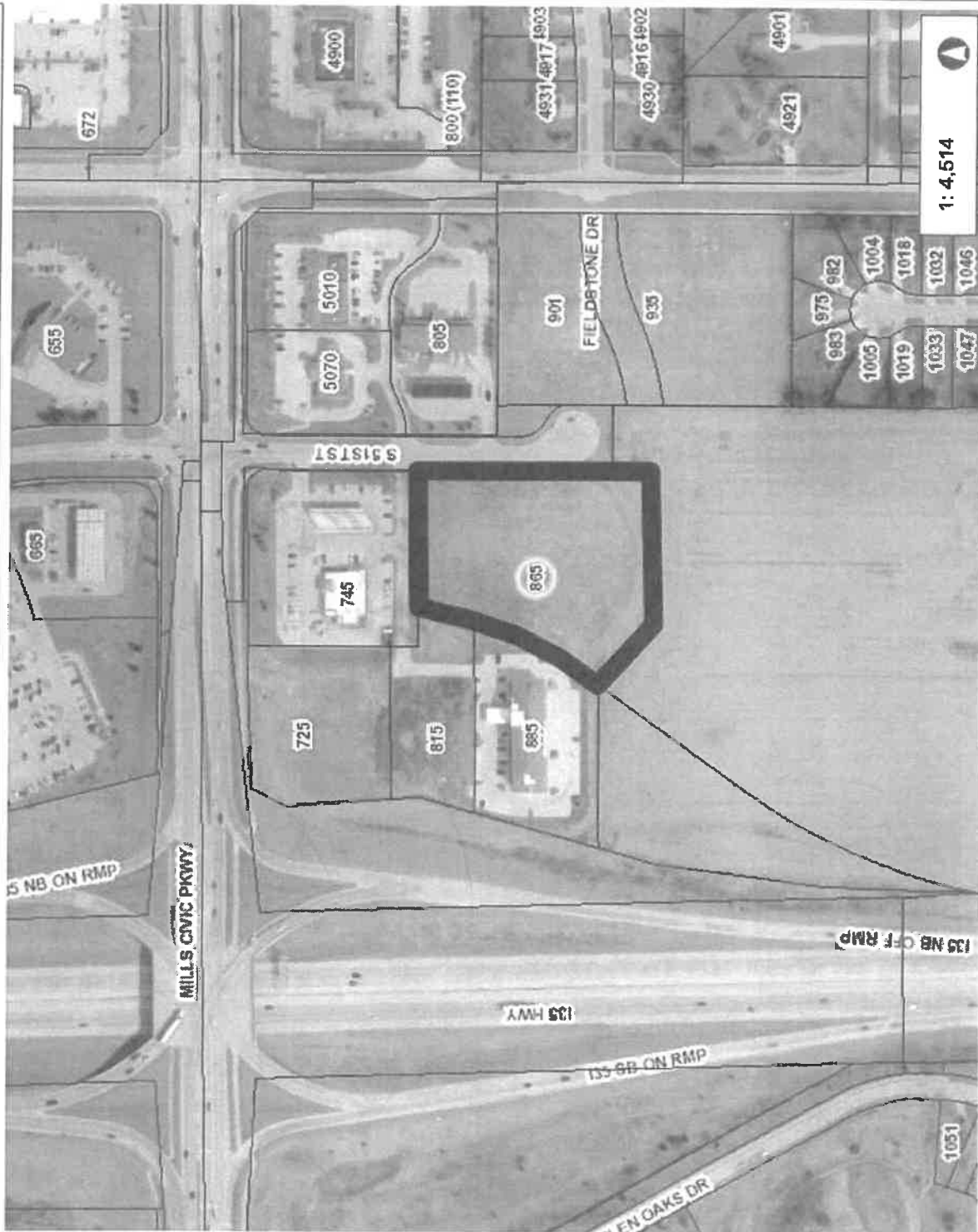


865 S. 51st Street

Ubandale

Waukee

West Des Moines



1: 4,514



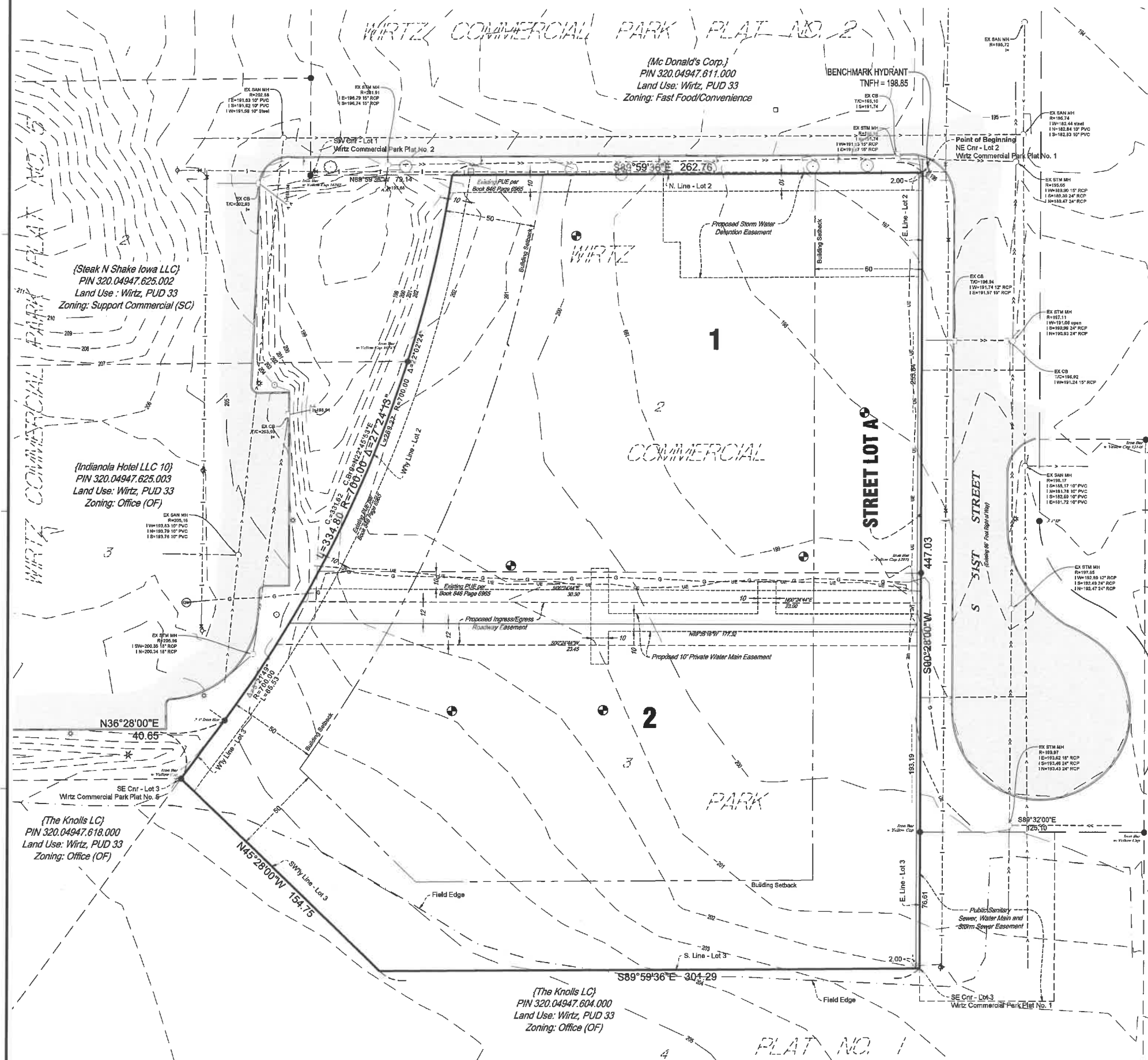
Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

WGS_1984_Web_Mercator_Auxiliary_Sphere
© City of West Des Moines, Iowa

PRELIMINARY PLAT OF WIRTZ COMMERCIAL PARK PLAT NO. 6

ATTACHMENT C



EXISTING LEGAL DESCRIPTION:

Lot 2 in Wirtz Commercial Park Plat No. 1, an Official Plat, now included in and forming a part of the City of West Des Moines, Polk County, Iowa.

AND

Lot 3 in Wirtz Commercial Park Plat No. 1, an Official Plat, now included in and forming a part of the City of West Des Moines, Polk County, Iowa.

More particularly described as:

Beginning at the Northeast corner of said Lot 2; thence South 00 degrees 28 minutes 00 seconds West, on the east line of said Lots 2 and 3, a distance of 447.03 feet to the Southeast corner of said Lot 3; thence North 89 degrees 59 minutes 36 seconds West, on the south line of said Lot 3, a distance of 301.29 feet; thence North 45 degrees 28 minutes 00 seconds West, on the southwesterly line of said Lot 3, a distance of 154.75 feet to the most westerly corner of said Lot 3; thence North 36 degrees 28 minutes 00 seconds East, on the westerly line of said Lot 3, a distance of 40.65 feet; thence northerly along a tangential curve, and on the westerly line of said Lots 2 and 3, concave to the west, having a central angle of 27 degrees 24 minutes 13 seconds, a distance of 334.80 feet to the Northwest corner of said Lot 2; thence South 89 degrees 59 minutes 36 seconds East, on the north line of said Lot 2, a distance of 262.76 feet to the Northeast corner of said Lot 2, said point also the point of beginning.

OWNERS/DEVELOPERS:

Eight Development
3221 W. Big Beaver Road, Suite 111
Troy, MI 48064
248-817-1691

SURVEYOR:

ISG
508 East Locust Street
Des Moines, IA 50306
515-243-9143

EXISTING PROPERTY/LAND USE:

ZONED: Wirtz PUD 33, SC - Support Commercial
(Per City of West Des Moines Comprehensive Plan)

Building Setbacks

Front - 60 feet
Side - 0 feet
Rear - 50 feet

AREA TABLE:

Lot 1 - 74,963 sq. ft.
Lot 2 - 71,143 sq. ft.
Street Lot A - 894 sq. ft.
Total - 147,000 sq. ft.

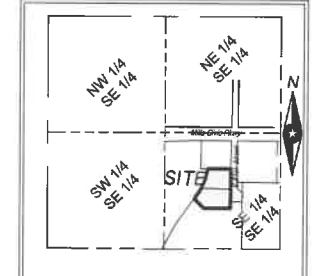
BEARING NOTE:

The orientation of this bearing system is based on the plat of Wirtz Commercial Park Plat No. 1.

NOTES:

- Proposed Address for Lot 1 is 865 South 51st Street, West Des Moines, IA 50265.
- Street Lot A will be 2 feet in width and will be dedicated to the City of West Des Moines as right of way.
- The field work was completed on October 18, 2019.
- Lot corners will be set within one year of recording.
- Construction Plans for improvements will be submitted to and approved by the City Engineer.
- The benchmarks used for the basis of the elevations shown herein are:
 - City of West Des Moines benchmark number 004, Elevation = 119.81, Found at S. 35th Street at north entrance to Southwoods Park.
 - City of West Des Moines benchmark number 127, Elevation = 119.48, Found at southwest corner of EP True Parkway and S. 41st Street.

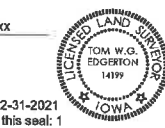
VICINITY MAP
(NOT TO SCALE)



SE 1/4 SEC. 18, TWP. 78, RGE. 25
Polk County, Iowa

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

DRAFT



Tom W.G. Edgerton
License Number 14199
My license renewal date is 12-31-2021
Pages or sheets covered by this seal: 1

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

KINDERCARE LEARNING CENTERS

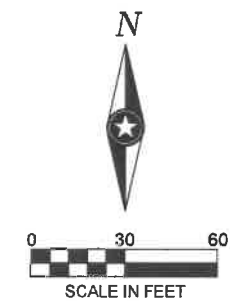
Lots 2 and 3, Wirtz Commercial Park Plat No. 2
City of West Des Moines, Polk County, IA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
8/21/19		KH
01/07/20	City Comments	JW
02/17/20	City Comments	ARA
02/20/20	City Comments	JW

PROJECT NO.	19-23523
FILE NAME	23523 PPLAT
DRAWN BY	JW
DESIGNED BY	
REVIEWED BY	TWGE
ORIGINAL ISSUE DATE	
CLIENT PROJECT NO.	SP-004553-2019

PRELIMINARY PLAT

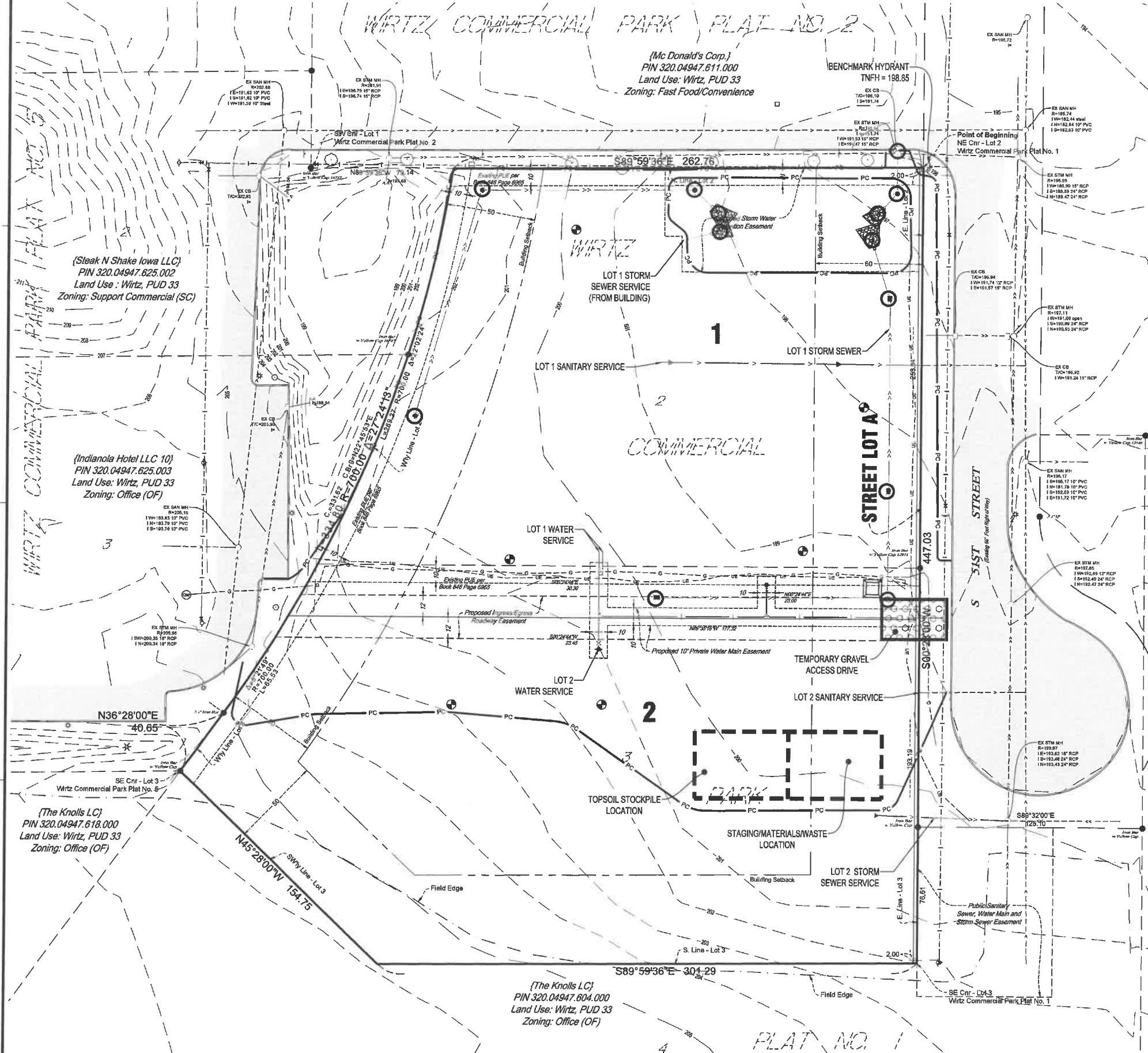
SHEET **1** OF 2



LEGEND

	Bituminous Surface		Iron Monument Found
	Concrete Surface		Gas Meter
	Sanitary Sewer Line		Light Pole
	Storm Sewer Line		Utility Marker
	Water Line		Deciduous Tree
	Underground Gas Line		Coniferous Tree
	Underground Electric Line		Water Valve
	Soil Boring		Hydrant
	Sign		Utility Hand Hole
			Manhole/Catch Basin

PRELIMINARY PLAT OF WIRTZ COMMERCIAL PARK PLAT NO. 6



MAINTENANCE SCHEDULE

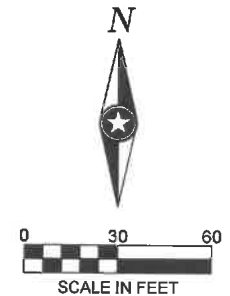
The following Maintenance Schedule has been provided. The INSPECTOR must perform the inspections. The OPERATOR/CONTRACTOR must perform all needed maintenance. Furthermore, all erosion control features requiring maintenance may not be listed below. The OPERATOR/CONTRACTOR and INSPECTOR must perform their respective duties on all BMP's that are not listed below as well.

- Construction Entrance** - The entrance shall be maintained in a condition which will prevent tracking or flow of sediment onto public rights-of-way. This may require periodic top dressing with additional stone or the washing and reworking of existing stone as conditions demand and repair and/or cleanout of any structures used to trap sediment. All materials spilled, dropped, washed, or materials dropped, washed or tracked onto roadways will not be permitted under any circumstances.
- Wattles** - The maintenance measures are as follows: (2.1) wattles shall be inspected weekly; (2.2) close attention shall be paid to the repair of damaged wattles, and runs and undercutting beneath wattles; (2.3) necessary repairs to barriers or replacement of wattles shall be accomplished promptly; (2.4) sediment deposits shall be removed after each rainfall, they must be removed when the level of deposition reaches approximately one-half the height of the wattle; and (2.5) any sediment deposits remaining in place after the wattle is no longer required shall be dressed to conform to the existing grade, prepared and seeded.
- Silt Fence** - The maintenance measures are as follows: (3.1) silt fences shall be inspected weekly, any required repairs shall be made immediately; (3.2) close attention shall be paid to the repair of damaged silt fence resulting from end runs and undercutting; (3.3) should the fabric on a silt fence decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the fabric shall be replaced promptly; (3.4) sediment deposits must be removed when the level of deposition reaches approximately one-half the height of the barrier; and (3.5) any sediment deposits remaining in place after the silt fence is no longer required shall be dressed to conform to the existing grade, prepared and seeded.
- Storm Drain Inlet Protection** - The maintenance measures are as follows: (4.1) structures shall be inspected weekly and repairs made as necessary and (4.2) structures shall be removed and the area stabilized when the remaining drainage area has been properly stabilized.
- Temporary Seeding** - Areas which fail to establish vegetative cover adequate to prevent soil erosion will be re-seeded as soon as such areas are identified.
- Permanent Seeding** - The maintenance measures are as follows: (10.1) in general, a stand of vegetation cannot be determined to be fully established until it has been maintained for one full year after planting; (10.2) new seedlings shall be supplied with adequate moisture, supply water as needed, especially late in the season, in abnormally hot or dry conditions, or on adverse sites, water applications shall be controlled to prevent excessive runoff; (10.3) inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within the planting season, if possible; (10.3.a) if stand is inadequate for erosion control, over seed and fertilize using half of the rates originally specified; (10.3.b) if stand is 60% damaged, re-establish following seedbed and seeding recommendations; (10.3.c) if stand has less than 40% cover, re-evaluate choice of plant materials and quantities of lime and fertilizer, the soil must be tested to determine if acidity or nutrient imbalances are responsible, re-establish the stand following seedbed and seeding recommendations.
- Street Cleaning / Sweeping** - The maintenance measures are as follows: (13.1) evaluate access points daily for sediment tracking; (13.2) when tracked or spilled sediment is found on paved surfaces, it will be removed daily, during times of heavy track-out, such as during rains, cleaning may be done several times throughout the day; (13.3) all streets shall be swept at the end of each working day and prior to a rain event; (13.4) unknown spills or objects will not be mixed with the sediment; and (13.5) if sediment is mixed with other pollutants, it will be disposed of properly at an authorized landfill.

SWPPP Contact

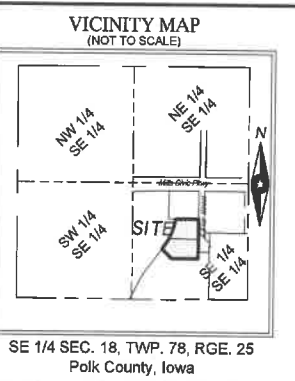
The following individual responsible for insuring mud and rock are cleaned off of public streets on a daily basis, installation, periodic checking and reinstallation of erosion and sedimentation control measures, maintenance schedule listed above, and in charge of Iowa Department of Natural Resources NPDES General Permit No. 2 for "Storm Water Discharges Associated with Industrial Activity for Construction Activities" for the proposed facility.

Joe Bianchini
Senior Project Manager
248-953-8439
EIG14T Development



LEGEND

- Bituminous Surface
- Concrete Surface
- Proposed Sanitary Sewer Line
- Proposed Storm Sewer Line
- Proposed Water Line
- Existing Underground Gas Line
- Existing Underground Electric Line
- Existing Sanitary Sewer Line
- Existing Storm Sewer Line
- Existing Water Line
- Soil Boring
- Sign
- Iron Monument Found
- Gas Meter
- Light Pole
- Utility Marker
- Deciduous Tree
- Coniferous Tree
- Water Valve
- Hydrant
- Utility Hand Hole
- Proposed Manhole/Catch Basin
- Existing Manhole/Catch Basin



SE 1/4 SEC. 18, TWP. 78, RGE. 25
Polk County, Iowa

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

DRAFT

Tom W.G. Edgerton
License Number 14199
My license renewal date is 12-31-2021
Pages or sheets covered by this seal: 1

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

KINDERCARE LEARNING CENTERS

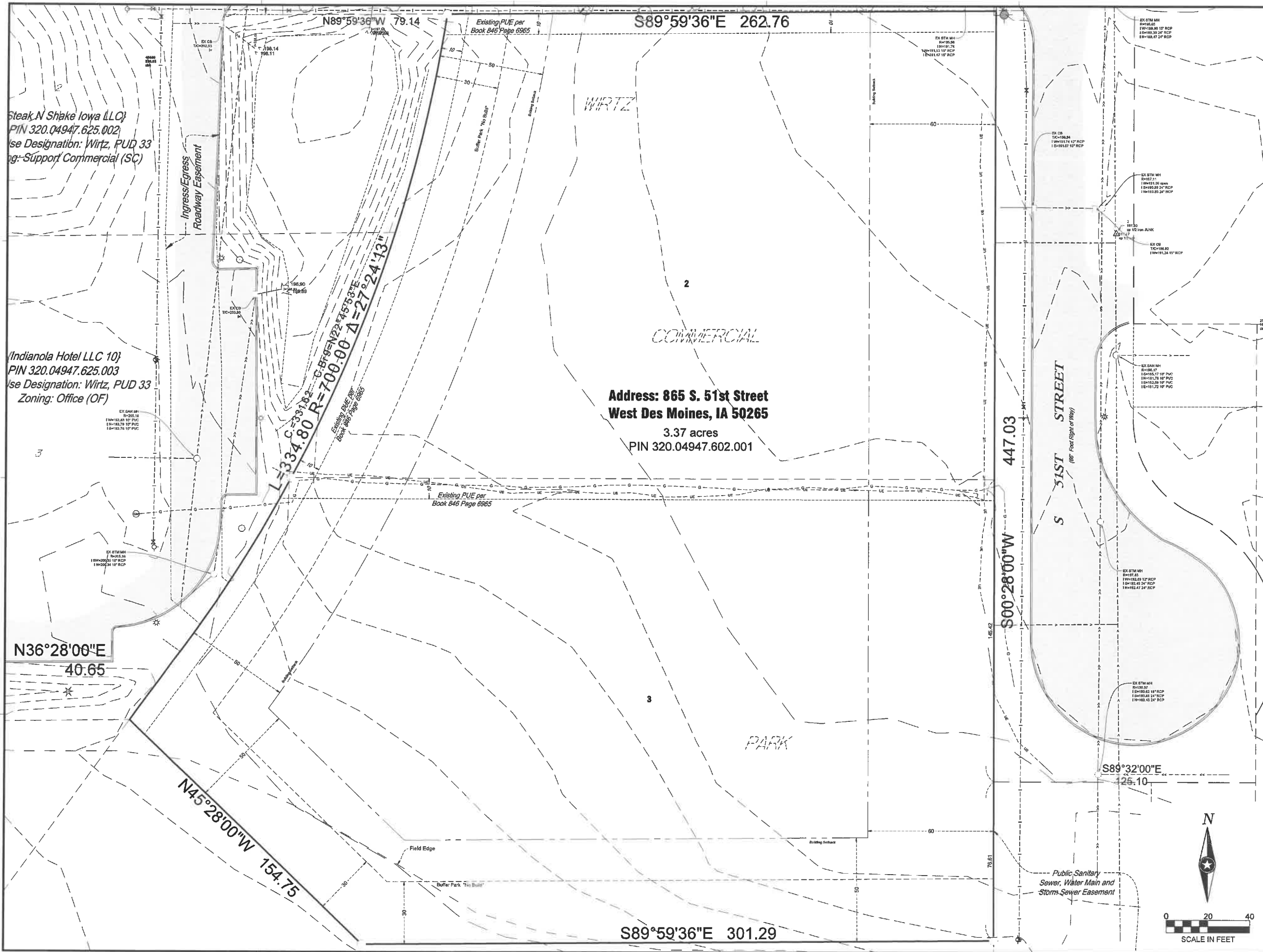
Lots 2 and 3, Wirtz Commercial Park Plat No. 2
City of West Des Moines, Polk County, IA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY
8/21/19		KH
01/07/20	City Comments	JW
02/17/20	City Comments	ARA
02/20/20	City Comments	JW

PROJECT NO.	19-23523
FILE NAME	23523 PPLAT
DRAWN BY	JW
DESIGNED BY	
REVIEWED BY	TWGE
ORIGINAL ISSUE DATE	
CLIENT PROJECT NO.	SP-004559-2019

TITLE

PRELIMINARY PLAT



Steak N Shake Iowa LLC
 PIN 320.04947.625.002
 Use Designation: Wirtz, PUD 33
 Zoning: Support Commercial (SC)

Indianola Hotel LLC 10
 PIN 320.04947.625.003
 Use Designation: Wirtz, PUD 33
 Zoning: Office (OF)

Address: 865 S. 51st Street
West Des Moines, IA 50265
 3.37 acres
 PIN 320.04947.602.001



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

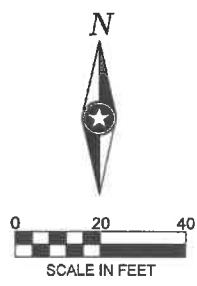
PROJECT
KINDERCARE
WEST DES MOINES

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

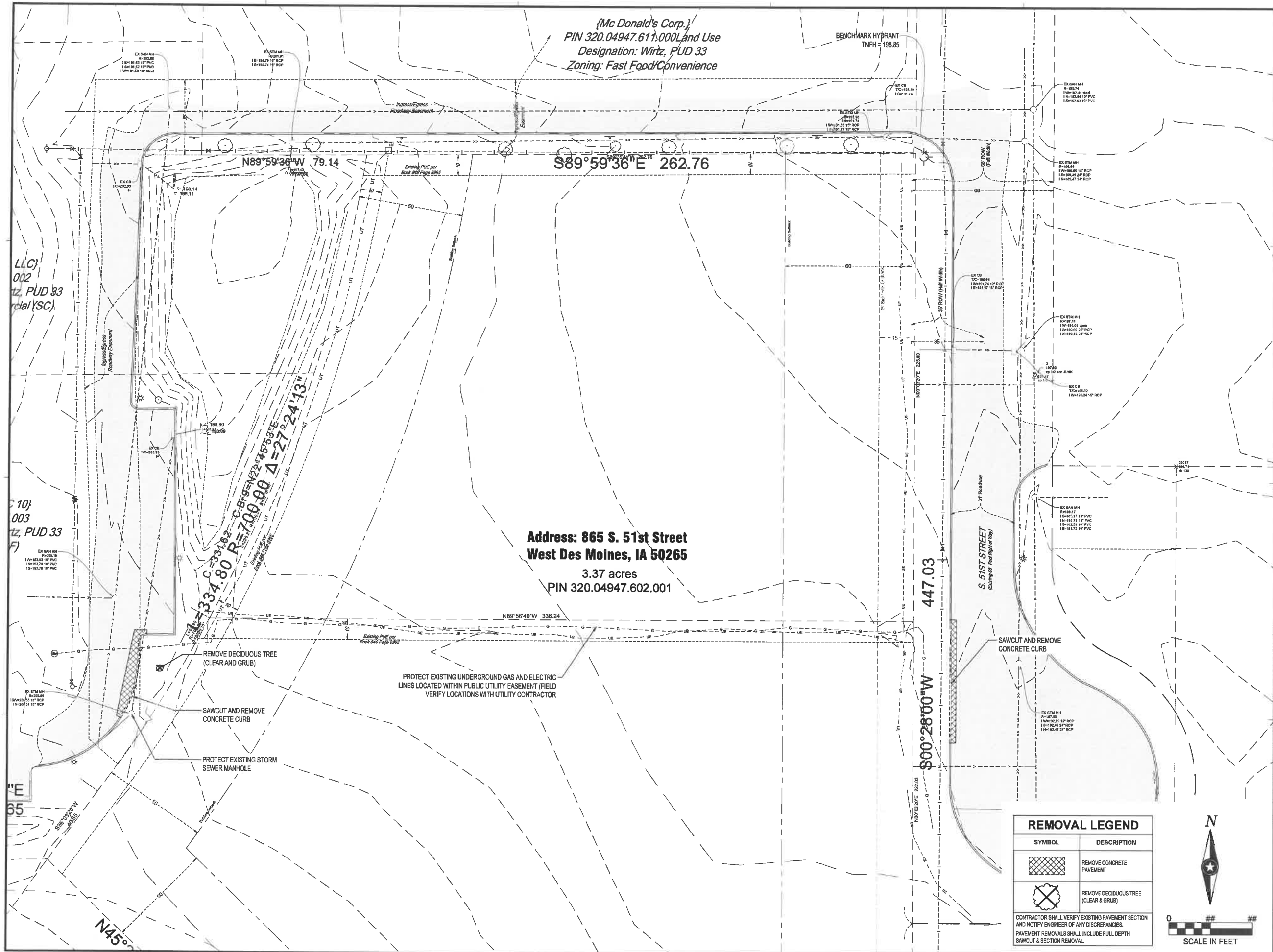
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 19-23523
 FILE NAME 23523 C2-EXISTING
 DRAWN BY ARA
 DESIGNED BY ARA/JJA
 REVIEWED BY RJA/ART
 ORIGINAL ISSUE DATE 1/13/20
 CLIENT PROJECT NO. -

TITLE
EXISTING CONDITIONS
 SHEET
C200



PRELIMINARY NOT FOR CONSTRUCTION



{Mc Donald's Corp.}
 PIN 320.04947.611.000 Land Use
 Designation: Wirtz, PUD 33
 Zoning: Fast Food/Convenience

Address: 865 S. 51st Street
 West Des Moines, IA 50265
 3.37 acres
 PIN 320.04947.602.001

REMOVAL LEGEND

SYMBOL	DESCRIPTION
	REMOVE CONCRETE PAVEMENT
	REMOVE DECIDUOUS TREE (CLEAR & GRUB)

CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT & SECTION REMOVAL.



EIGHT

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT
KINDERCARE
WEST DES MOINES

WEST DES MOINES IA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-23523
FILE NAME	23523 C2-EXISTING
DRAWN BY	ARA
DESIGNED BY	ARA/RA
REVIEWED BY	ART
ORIGINAL ISSUE DATE	11/13/19
CLIENT PROJECT NO.	-

TITLE

DEMO PLAN

SHEET

C300

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION



EIGHT

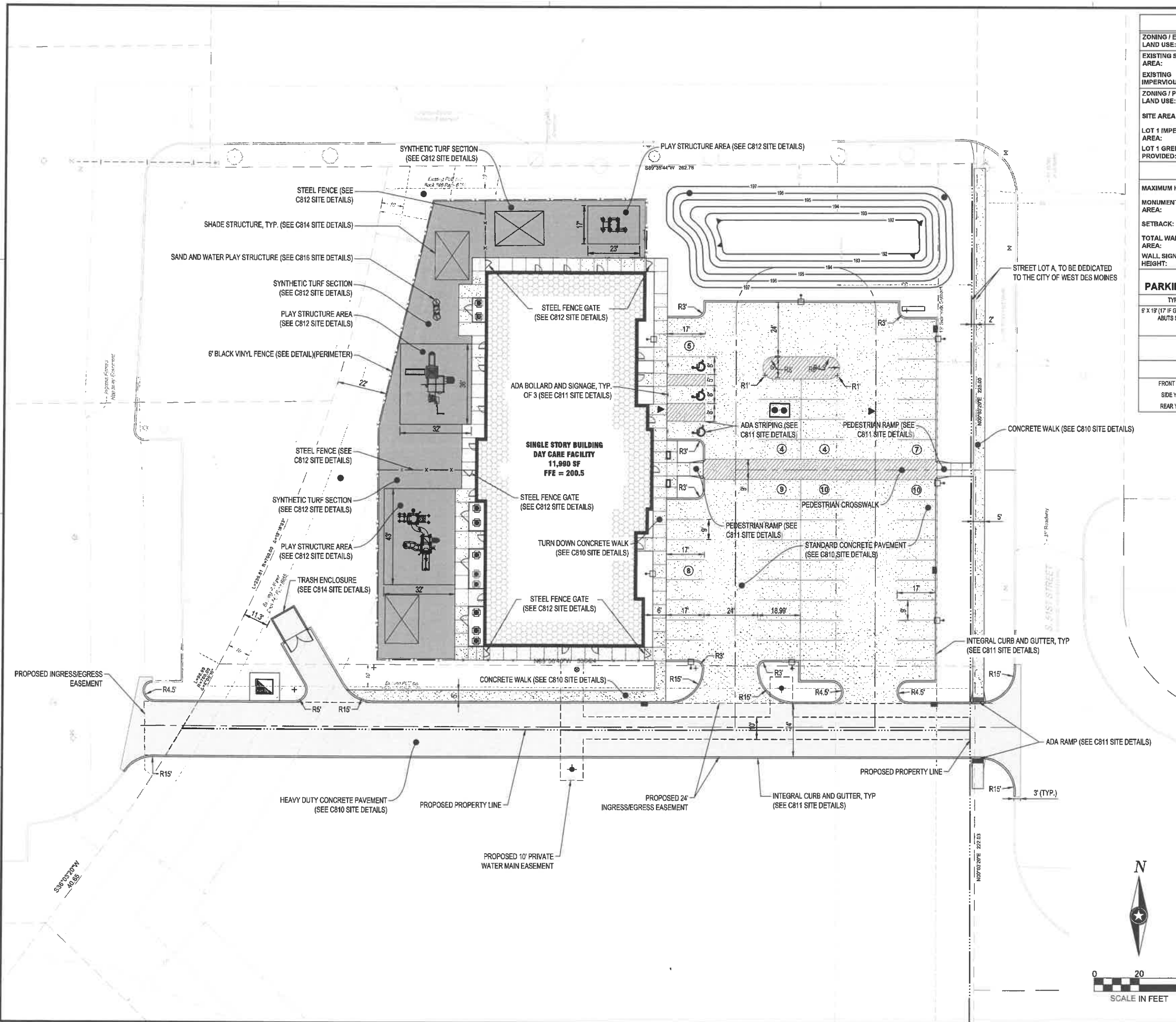
SITE SUMMARY			
ZONING / EXISTING LAND USE:	FJD-33, SC, SUPPORT COMMERCIAL (PER CITY OF WEST DES MOINES COMPREHENSIVE PLAN)		
EXISTING SITE/LOT AREA:	147,000 SQ. FT / 3.37 AC.		
EXISTING IMPERVIOUS AREA:	0 SQ. FT / 0 AC. (0%)		
ZONING / PROPOSED LAND USE:	FJD-33, PERMITTED CONDITIONAL USE, SIC 835 CHILD CARE SERVICES		
SITE AREA / LOT 1:	76,427 SQ. FT / 1.82 AC.		
LOT 1 IMPERVIOUS AREA:	46,640 SQ. FT / 1.07 AC. (58.72%) (REQUIRED 75% MAXIMUM)		
LOT 1 GREENSPACE PROVIDED:	32,787 SQ. FT / 0.75 AC. (41.28%) (REQUIRED 25% MINIMUM)		
SIGN REQUIREMENTS			
MAXIMUM HEIGHT:	5'-0"		
MONUMENT SIGN AREA:	35 SQ. FT		
SETBACK:	10'-0"		
TOTAL WALL SIGN AREA:	198 SQ. FT		
WALL SIGN LETTER HEIGHT:	6'-0"		
PARKING REQUIREMENTS (PER CITY CODE)			
TYPE	UNIT / AREA	STALLS REQUIRED	STALLS PROVIDED
8' X 19' (17' IF GREEN SPACE ABUTS STALL)		54	57
TOTAL:			57
SETBACKS			
	PARKING	BUILDING	BUILDING-PROVIDED
FRONT YARD	15'-0"	60'-0"	145'-4"
SIDE YARD	0'-0"	0'-0"	48'-10"
REAR YARD	0'-0"	50'-0"	51'-0"

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT			
KINDERCARE			
WEST DES MOINES			
WEST DES MOINES			IA
ISSUE SCHEDULE			
DATE	DESCRIPTION	BY	
11/04/19	CLIENT REVIEW SET	ARA	
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA	
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA	
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA	
REVISION SCHEDULE			
DATE	DESCRIPTION	BY	

PLAYGROUND TABLE	
TYPE OF PLAY AREA	AREA
INFANT	2,240 SF
TODDLER	4,365 SF
VARSITY	4,065 SF
TOTAL AREA	10,670 SF

PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER (6")
	HEAVY DUTY CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER (6")
	TURNDOWN CONCRETE SIDEWALK
	CONCRETE SIDEWALK
	SYNTHETIC TURF

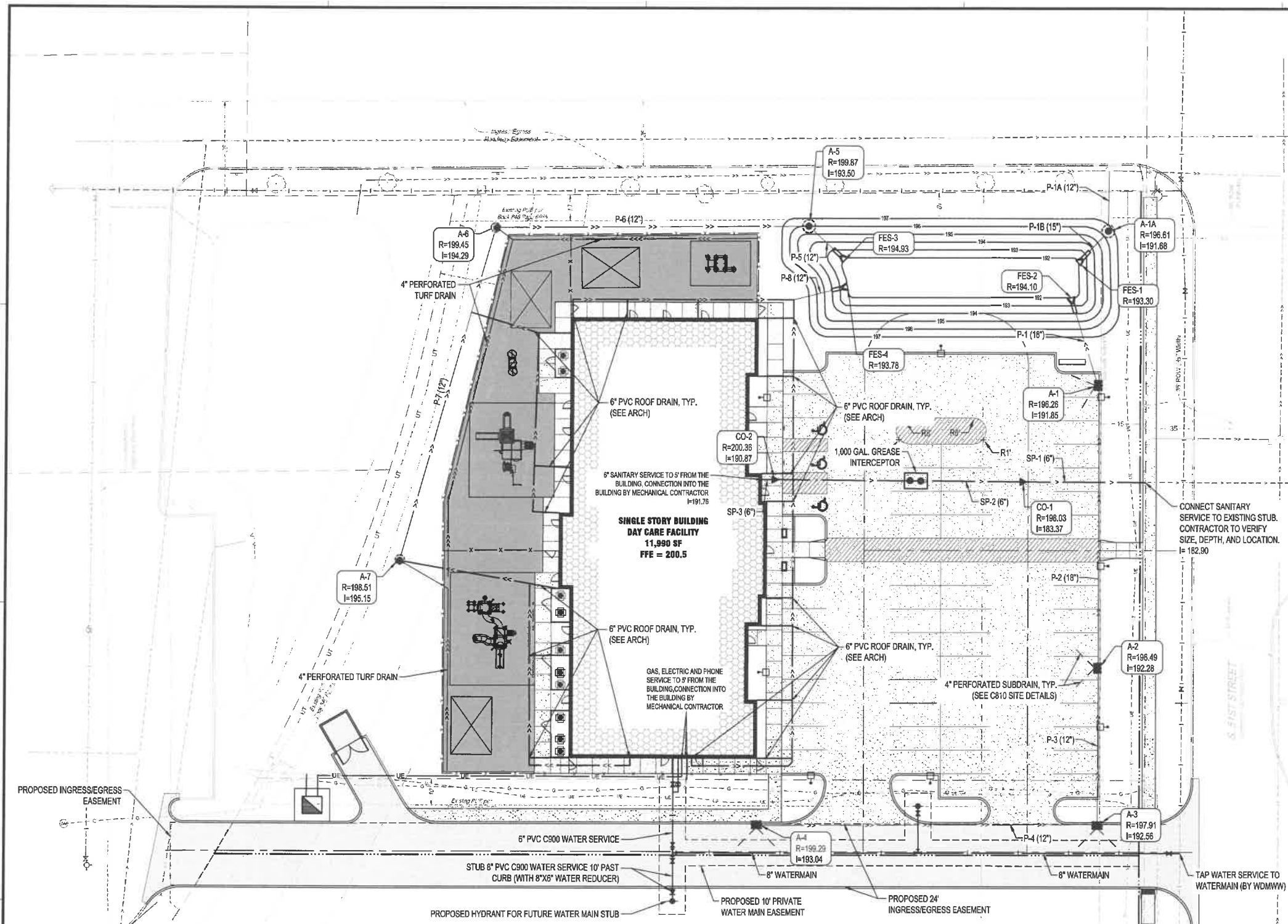


PROJECT NO.	19-23523
FILE NAME	23523 C3-SITE
DRAWN BY	ARA
DESIGNED BY	ARAR/JA
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	11/13/19
CLIENT PROJECT NO.	
TITLE	
SITE PLAN	
SHEET	C400



EIGHT

PRELIMINARY NOT FOR CONSTRUCTION



UTILITY LEGEND

EXISTING	PROPOSED
--->---	--->---
---	---
---	---
---	---
---	---
---	---
---	---
---	---

NOTE:
 CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.
 CONTACT BUILDING INSPECTION (515-222-5830) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
 ALL PROPOSED UTILITIES INSTALLED BY THIS PROJECT SHALL BE PRIVATE.
 ALL CONNECTIONS TO PUBLIC SEWER SHALL BE CORE DRILLED.
 REFERENCE SUDAS SPECIFICATIONS, FIGURE WM-201, FOR VALVING AND PIPE MATERIAL AT HYDRANT TEE.
 ALL CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
 THE PHYSICAL TAP OF THE PUBLIC WATER MAIN SHALL BE PERFORMED BY WDMWF STAFF.

WATERMAIN SCHEDULE

PIPE TYPE	START STATION	END STATION	** PIPE LENGTH (FT)	PIPE SIZE (IN)
8in PVC C900	0+04.56	0+06.52	4	8
8in PVC C900	0+06.52	1+03.67	94	8
6in PVC C900	1+04.29	1+04.29	2	6
6in PVC C900	1+04.29	1+04.29	15	6
8in PVC C900	1+04.70	1+70.02	65	8
8in PVC C900	1+70.02	1+97.02	27	8
4in C900	1+95.56	1+97.56	2	4
4in C900	1+95.56	1+95.57	13	4
8in PVC C900	1+97.56	1+97.57	12	8
6in PVC C900	1+97.56	1+97.56	23	6
6in PVC C900	1+97.56	1+97.56	2	6
6in PVC C900	1+97.57	1+97.56	10	6
8in PVC C900	1+97.57	1+97.56	3	8

WATERMAIN FITTING SCHEDULE

ALIGNMENT	TYPE	STATION
23523 WATERMAIN ALIGNMENT	8in Reducer	1+98
23523 WATERMAIN ALIGNMENT	8in Tee	1+04
23523 WATERMAIN ALIGNMENT	8in Tee	1+98

VALVE SCHEDULE

ALIGNMENT	STATION	NOTES
23523 WATERMAIN ALIGNMENT	1+98	8in Gate Valve
23523 WATERMAIN ALIGNMENT	1+98	Hydrant 6'-0"
23523 WATERMAIN ALIGNMENT	1+98	8in Gate Valve
23523 WATERMAIN ALIGNMENT	1+98	8in Gate Valve
23523 WATERMAIN ALIGNMENT	1+04	Hydrant 6'-0"
23523 WATERMAIN ALIGNMENT	1+04	8in Gate Valve
23523 WATERMAIN ALIGNMENT	0+09	8in Gate Valve

STORM DRAIN PIPE SCHEDULE

PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE (IN)	MATERIAL	PIPE GRADE	PIPE LENGTH (FT)
P-1	A-1	192.55	FES-2	192.25	18	HDPE	0.50%	35
P-1A	A-1A	191.68	EX-ST1	191.57	12	HDPE	0.48%	23
P-1B	FES-1	191.74	A-1A	191.68	15	HDPE	0.39%	17
P-2	A-2	192.78	A-1	192.45	18	HDPE	0.30%	108
P-3	A-3	193.06	A-2	192.88	12	HDPE	0.30%	50
P-4	A-4	193.54	A-3	193.16	12	HDPE	0.30%	129
P-5	A-5	193.60	FES-5	192.50	12	HDPE	5.85%	19
P-6	A-6	194.29	A-5	193.70	12	HDPE	0.50%	119
P-7	A-7	195.15	A-6	194.39	12	HDPE	0.58%	132
P-8	BUILDING	194.00	FES-4	192.50	12	HDPE	7.13%	21

STORM DRAIN SCHEDULE

STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (in)	STRUCTURE MATERIAL	CASTING	* TOP OF CASTING ELEVATION	INVERT ELEVATION	OUTLET PIPE
A-1	SW-501	36 x 24	RC	SW-603 TYPE R	196.26	191.65	P-1
A-1A	SW-401	48 0	RC	SW-602 TYPE E	195.51	191.68	P-1A
A-2	SW-501	36 x 24	RC	SW-603 TYPE R	196.49	192.28	P-2
A-3	SW-501	36 x 24	RC	SW-603 TYPE R	197.91	192.56	P-3
A-4	SW-501	36 x 24	RC	SW-603 TYPE R	196.29	193.04	P-4
A-5	SW-401	48 0	RC	SW-602 TYPE E	199.67	193.50	P-5
A-6	SW-502	48 0	RC	SW-604 TYPE 3A	196.45	194.29	P-6
A-7	SW-502	48 0	RC	SW-604 TYPE 3A	198.51	195.15	P-7

* TOP OF CASTING ELEVATION ON CURB STYLE CATCH BASINS SIGNIFIES TOP BACK OF CURB ELEVATION

SANITARY SEWER PIPE SCHEDULE

PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE	MATERIAL	PIPE CLASS	PIPE GRADE	PIPE LENGTH (FT)
SP-1	CO-1	183.37	EX 6" STUB	182.90	6"	PVC	SDB-40	1.90%	47
SP-2	CO-2	190.89	CO-1	183.37	6"	PVC	SCH-40	8.00%	94
SP-3	BUILDING	191.29	CO-2	190.89	6"	PVC	SCH-40	8.00%	5

SANITARY SEWER STRUCTURE SCHEDULE

STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (in)	STRUCTURE MATERIAL	CASTING	TOP OF CASTING ELEVATION	INVERT ELEVATION	PIPE NO.
CO-1	CLEANOUT	6 0	PVC	SOLID	188.06	183.37	SP-1
CO-2	CLEANOUT	6 0	PVC	SOLID	200.36	190.87	SP-2

STORM DRAIN APRON SCHEDULE

APRON NO.	APRON SIZE (in)	APRON MATERIAL	INVERT ELEVATION	PIPE NO.
FES-1	15	RC	191.74	P-1B
FES-2	18	RC	192.25	P-1
FES-3	12	RC	192.50	P-5
FES-4	12	RC	192.50	P-6

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

KINDERCARE WEST DES MOINES

WEST DES MOINES IA

ISSUE SCHEDULE

DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE

DATE	DESCRIPTION	BY

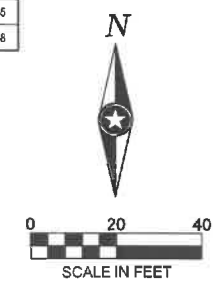
PROJECT NO. 19-23523
 FILE NAME 23523 C3-SITE
 DRAWN BY ARA
 DESIGNED BY ARA/RJA
 REVIEWED BY RJA/ART
 ORIGINAL ISSUE DATE
 CLIENT PROJECT NO. -

TITLE

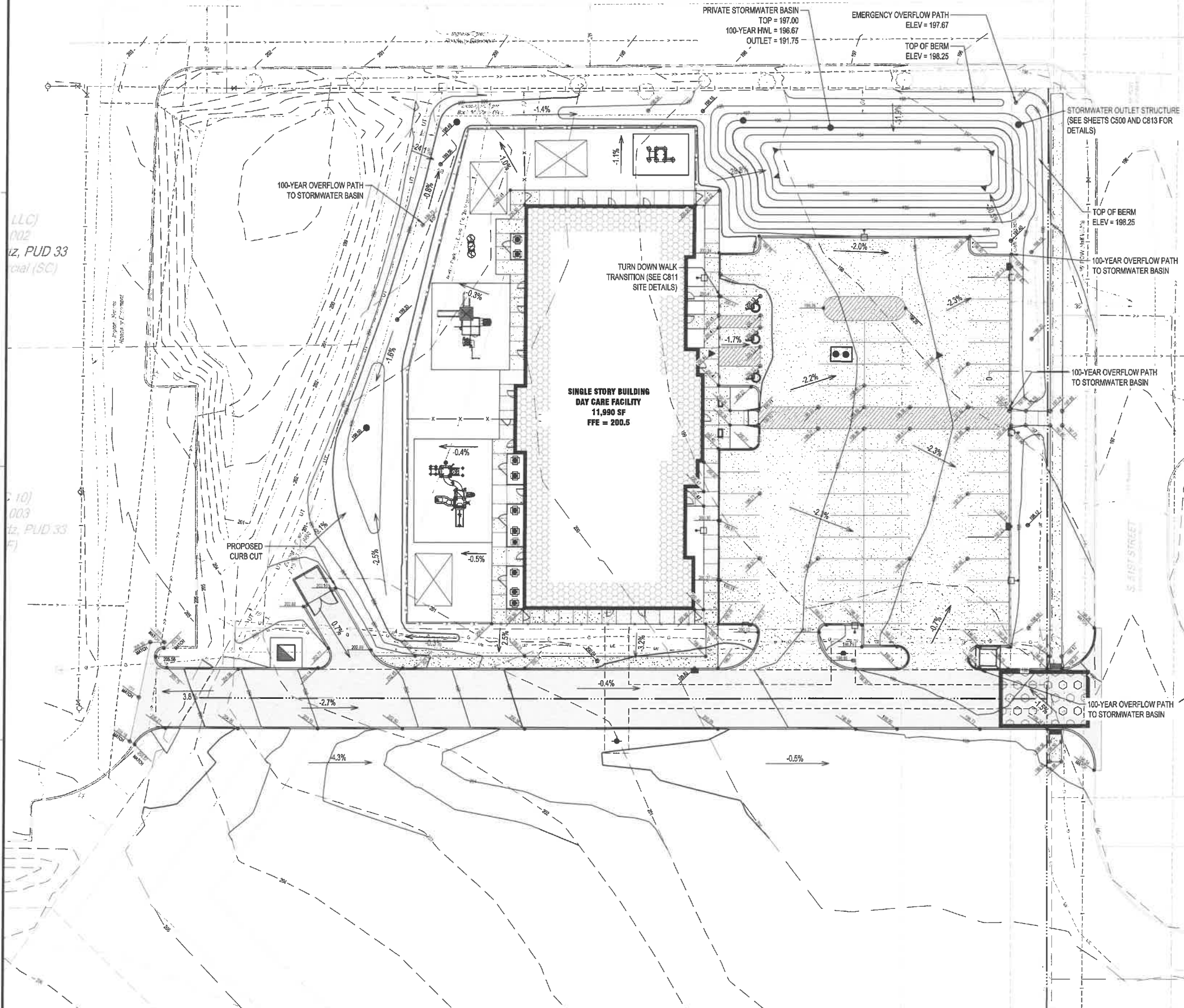
SITE UTILITY PLAN

SHEET

C500



(Mc Donald's Corp.)
 PIN 320.04947.611.000 Land Use
 Designation: Wrtz, PUD 33
 Zoning: Fast Food/Convenience



GRADING LEGEND	
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MINOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MINOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)
	PROPOSED SPOT ELEVATION
	PROPOSED TOP BACK OF CURB SPOT ELEVATION
	SURFACE GRADE / DIRECTION

GENERAL GRADING NOTES

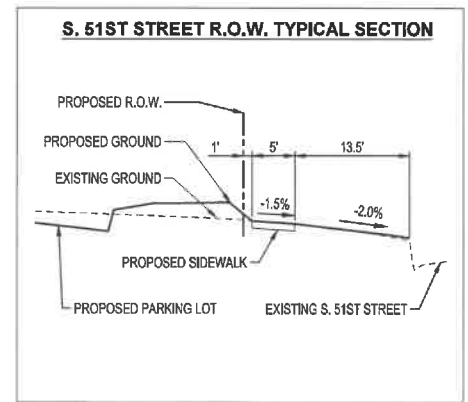
SEE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC DATED NOVEMBER 1, 2019 FOR CONSTRUCTION CONSIDERATIONS.

PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED.

SWPPP CONTACT

THE FOLLOWING INDIVIDUAL RESPONSIBLE FOR INSURING MUD AND ROCK ARE CLEANED OFF OF PUBLIC STREETS ON A DAILY BASIS, INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES, MAINTENANCE SCHEDULE LISTED ABOVE, AND IN CHARGE OF IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2 FOR "STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FOR CONSTRUCTION ACTIVITIES" FOR THE PROPOSED FACILITY.

JOE BIANCHINI
 SENIOR PROJECT MANAGER
 249-853-4439
 EIGHT DEVELOPMENT



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

KINDERCARE

WEST DES MOINES

WEST DES MOINES IA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

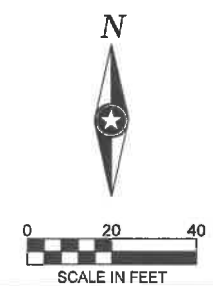
PROJECT NO. 19-23523
 FILE NAME 23523 C4-GRADE
 DRAWN BY ARA
 DESIGNED BY ARA/RLA
 REVIEWED BY RJA/ART
 ORIGINAL ISSUE DATE
 CLIENT PROJECT NO.

TITLE

GRADING PLAN

SHEET

C600



PRELIMINARY NOT FOR CONSTRUCTION



EIGHT

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

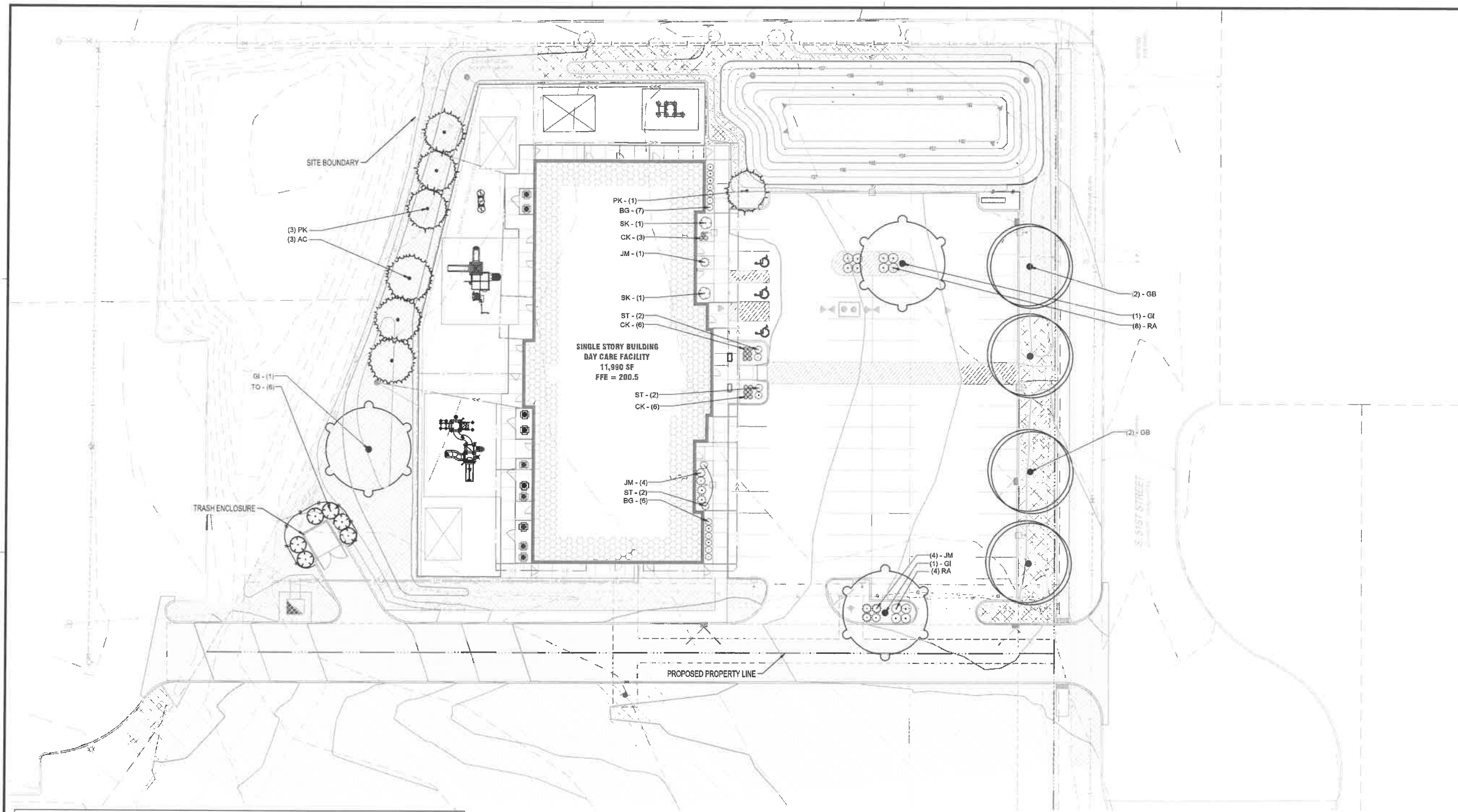
KINDERCARE WEST DES MOINES

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-23523
FILE NAME	23523 OS-LAND
DRAWN BY	DPP/RAB
DESIGNED BY	DPP/RAB
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	11/13/19
CLIENT PROJECT NO.	

TITLE	PLANTING PLAN
SHEET	C700

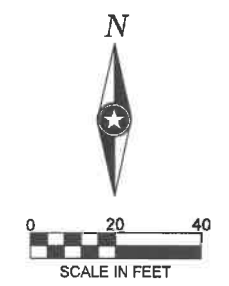


LANDSCAPE REQUIREMENTS AS REQUIRED IN WEST DES MOINES, IOWA ZONING CODE: PUD (PLANNED UNIT DEVELOPMENT)

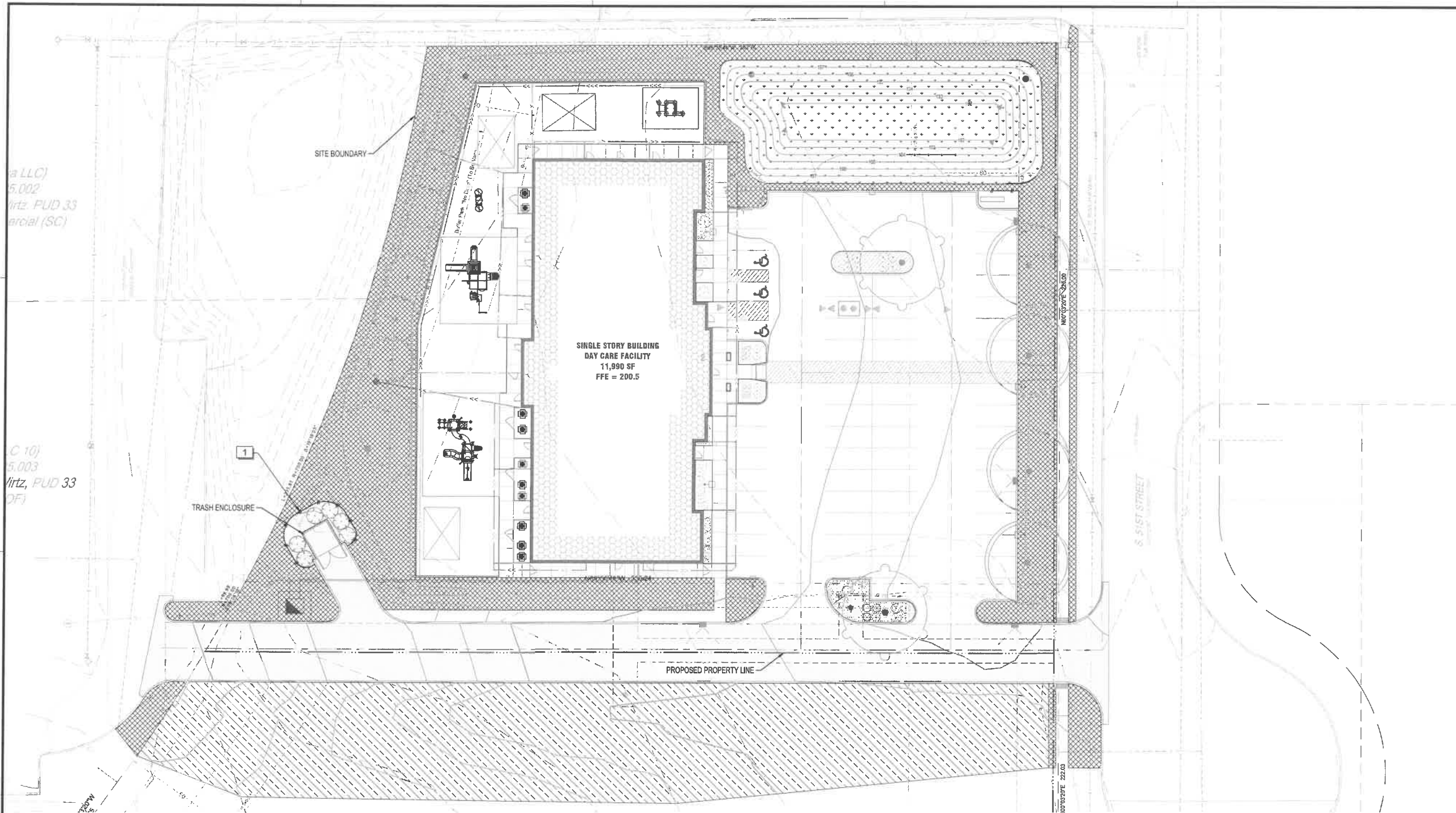
LOCATION	TYPE	CODE	REQUIRED	PROVIDED
ENTIRE SITE	OPEN SPACE	25% MINIMUM FOR SITE	SITE AREA = 79,427 SF X 25% = 19,857 SF REQUIRED	32,787 SF PROVIDED
ENTIRE SITE	TREE REQUIREMENT	MINIMUM 2 TREES / 3,000 SF OF REQUIRED OPEN SPACE 50% MUST BE EVERGREEN	19,857 SF / 3,000 SF = 6.62 X 2 = 14 REQUIRED TREES 7 MUST BE EVERGREEN	14 PROVIDED (7 DECIDUOUS, 7 EVERGREEN)
ENTIRE SITE	SHRUB REQUIREMENT	MINIMUM 3 SHRUBS / 3,000 SF OF REQUIRED OPEN SPACE	19,857 SF / 3,000 SF = 6.62 X 3 = 20 REQUIRED SHRUBS	20 PROVIDED
ENTIRE SITE	PLANTING REQUIREMENT	LANDSCAPE VEGETATION REQUIREMENTS FOR ONE PURPOSE AREA ARE IN ADDITION TO LANDSCAPE REQUIREMENTS FOR OTHER PURPOSE AREAS	LANDSCAPE REQUIREMENT CALCULATIONS ARE SEPARATED BY DIFFERENT PURPOSE AREAS	
STREETSCAPE	STREETSCAPE TREES	REQUESTED, BUT NOT REQUIRED	OVERSTORY TREES PROVIDED AS PART OF OPEN SPACE	
TRASH ENCLOSURE	SCREENING	PROVIDE SCREENING TO MINIMIZE PRESENCE	6 EVERGREENS PROVIDED	
BUILDING	FOUNDATION PLANTING	PROVIDE LANDSCAPING NEXT TO BUILDING	22 SHRUBS AND 15 GRASSES PROVIDED AT BUILDING FOUNDATION	

PLANT SCHEDULE

EVERGREEN TREE	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT
AC	3	White Fir / <i>Abies concolor</i>	6" HT MIN	B & B
PK	4	Korean Pine / <i>Pinus koraiensis</i>	6" HT MIN	B & B
TO	6	Techny Arborvitae / <i>Thuja occidentalis</i> 'Techny'	6" HT MIN	B & B
OVERSTORY TREE	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT
GB	4	Maidenhair Tree / <i>Ginkgo biloba</i>	2" CAL	B & B
GI	3	Skyline Thornless Honey Locust / <i>Gleditsia triacanthos inermis</i> 'Skycote'™	2" CAL	B & B
DECIDUOUS SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT
RA	12	Gro-Low Fragrant Sumac / <i>Rhus aromatica</i> 'Gro Low'	24" HT MIN	CONT
SK	2	Miss Kim Korean Lilac / <i>Syringa pubescens</i> 'Miss Kim'	36" HT MIN	CONT
ST	6	Birchleaf Spirea / <i>Spiraea betulifolia</i> 'Tor'	24" HT MIN	CONT
EVERGREEN SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT
BG	13	Green Velvet Boxwood / <i>Buxus</i> x 'Green Velvet'	24" HT MIN	CONT
JM	9	Maney Juniper / <i>Juniperus chinensis</i> 'Maney'	24" HT MIN	CONT
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT
CK	15	Feather Reed Grass / <i>Calamagrostis</i> x <i>acutiflora</i> 'Karl Foerster'	3 GAL	POT



PRELIMINARY NOT FOR CONSTRUCTION



LLC)
5,002
PUD 33
Commercial (SC)

C 10)
5,003
PUD 33
DFI

GROUND COVER SCHEDULE

	BLUEGRASS SOD SALT-TOLERANT, IRRIGATED	17,995 sf
	RAINGARDEN SEED MIX	6,510 sf
	SEED SUDAS TYPE 1 SEED MIX	16,750 sf
	3" CLEAN EGG STONE MULCH REFER TO NOTES	1,963 sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
	STEEL EDGING - REFER TO NOTES	96 lf

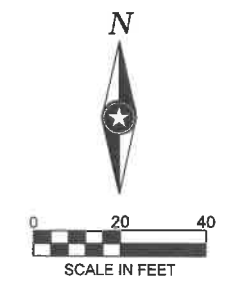
NOTE: QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

TEMPORARY EROSION CONTROL & STABILIZATION NOTE

TEMPORARY STABILIZATION MEASURES, INCLUDING EROSION CONTROL FENCE, INLET PROTECTION, ETC. MUST BE MAINTAINED UNTIL FINAL SEEDING AND STABILIZATION MEASURES ARE IN PLACE AND APPROVED BY THE OWNER'S REPRESENTATIVE.

RESTORATION NOTE:

ALL AREAS DISTURBED BY UTILITY INSTALLATION AND CONSTRUCTION SHALL BE HYDROSEEDDED WITH SEED MIX AS SPECIFIED.



EIGHT

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

KINDERCARE

WEST DES MOINES

WEST DES MOINES IA

ISSUE SCHEDULE

DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE

DATE	DESCRIPTION	BY

PROJECT NO.	19-23523
FILE NAME	23523 CS-LAND
DRAWN BY	ARA
DESIGNED BY	ARA/RA
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	11/13/19
CLIENT PROJECT NO.	-

TITLE

RESTORATION PLAN

SHEET

C701

PRELIMINARY NOT FOR CONSTRUCTION



EIGHT

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

KINDERCARE WEST DES MOINES

WEST DES MOINES IA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

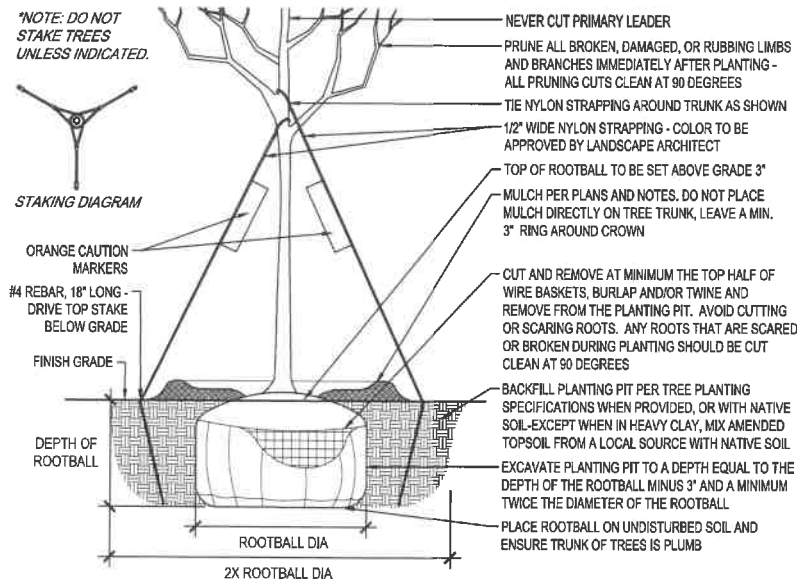
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-23523
FILE NAME	23523 CS-LAND
DRAWN BY	ARA
DESIGNED BY	ARA/RA
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	11/13/19
CLIENT PROJECT NO.	

PLANTING SCHEDULE, NOTES, & DETAILS

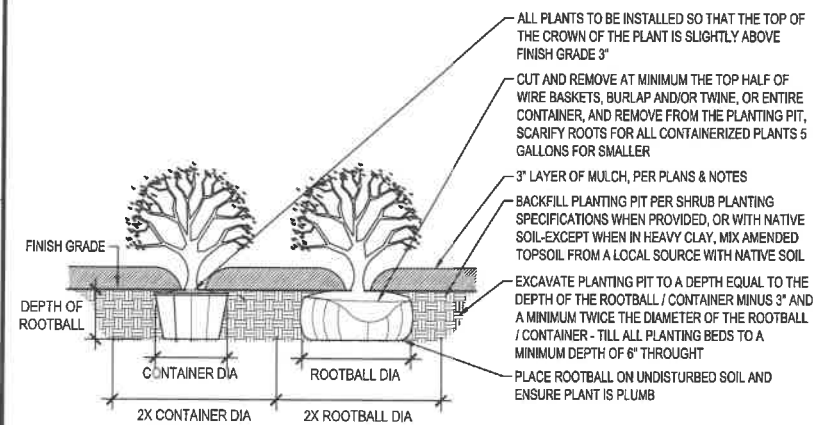
SHEET C702

PRELIMINARY NOT FOR CONSTRUCTION



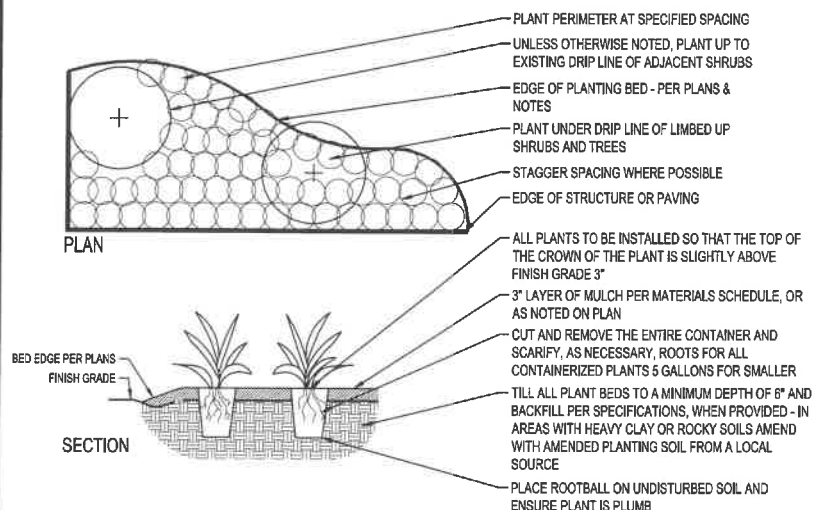
DECIDUOUS TREE PLANTING DETAIL

SCALE: 1" = 1'-0"



SHRUB PLANTING DETAIL

SCALE: 1" = 1'-0"

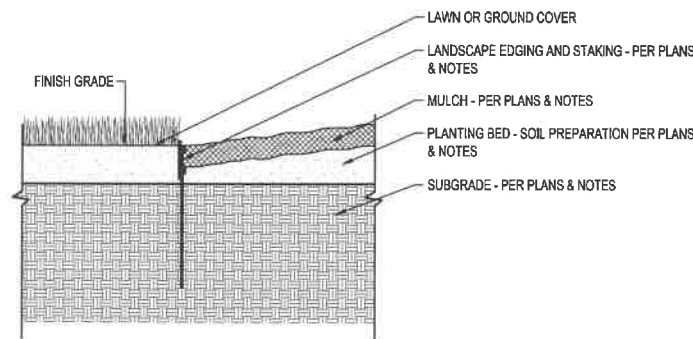


PERENNIAL PLANTING DETAIL

SCALE: 1" = 1'-0"

GENERAL PLANTING NOTES

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- LAWN AREAS SHALL HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL BE COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
- REFER TO PLANTING DETAILS PLAN FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- OWNER RESERVES THE RIGHT TO REVISE QUANTITIES TO SUIT BUDGET LIMITATIONS. CONTRACTOR'S UNIT BID PRICES SHALL PREVAIL FOR ANY CHANGES IN QUANTITIES.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE AND OWNER.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO A.N.S.I.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE WITH THE SAME GRADE AND SPECIES. ALL TREES SHALL HAVE A STRONG CENTRAL LEADER.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING BED EDGING - USE 1/8" x 4" METAL EDGING IN ALL AREAS WHERE PLANTING BED MEETS LAWN AREAS OR WHERE INDICATED. USE 12" METAL SPIKES AS INSTRUCTED BY MANUFACTURER.
- PROVIDE ROCK MULCH, 3-INCH EGG STONE, WITH LANDSCAPE FABRIC, IN ALL PLANTING BEDS TO A 3-INCH MINIMUM DEPTH.
- PROVIDE SHREDDED HARDWOOD MULCH CIRCLE, WITHOUT LANDSCAPE FABRIC, TO A 4-FOOT DIAMETER AROUND ALL TREES OUTSIDE PLANTING BEDS.
- SOD SECTIONS SHALL BE STAKED IN PLACE WITH BIODEGRADABLE SOD STAKES WHEN SLOPE IS STEEPER THAN 5:1 OR WHEN CONDITIONS REQUIRE.
- ALL PLANTS AND TURF TO BE IRRIGATED WITH A PERMANENT, UNDERGROUND IRRIGATION SYSTEM.
- INDICATED QUANTITIES ARE ESTIMATES AND SHOULD BE CONFIRMED BY THE CONTRACTOR/BIDDER.
- INFILTRATION BASIN SHALL RECEIVE EROSION CONTROL PER SWPPP. NO LANDSCAPE FABRIC, NO ROCK MULCH, NO EDGING, AND NO IRRIGATION.



LANDSCAPE EDGING DETAIL

SCALE: 1" = 1'-0"



EIGHT

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

KINDERCARE WEST DES MOINES

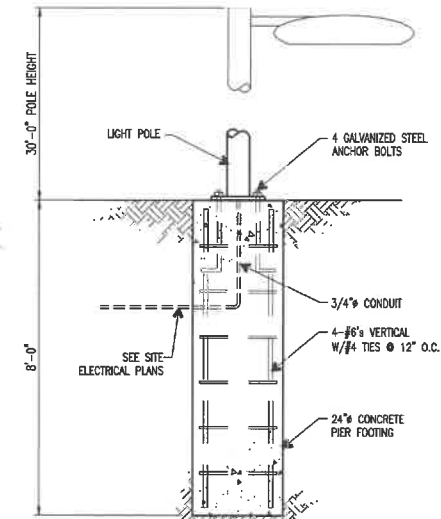
ISSUE SCHEDULE		BY
DATE	DESCRIPTION	
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE		BY
DATE	DESCRIPTION	

PROJECT NO.	19-23523
FILE NAME	23523 CS-LIGHTING
DRAWN BY	ARA
DESIGNED BY	ARA/RJA
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	11/13/19
CLIENT PROJECT NO.	-

PHOTOMETRIC PLAN

SHEET C800



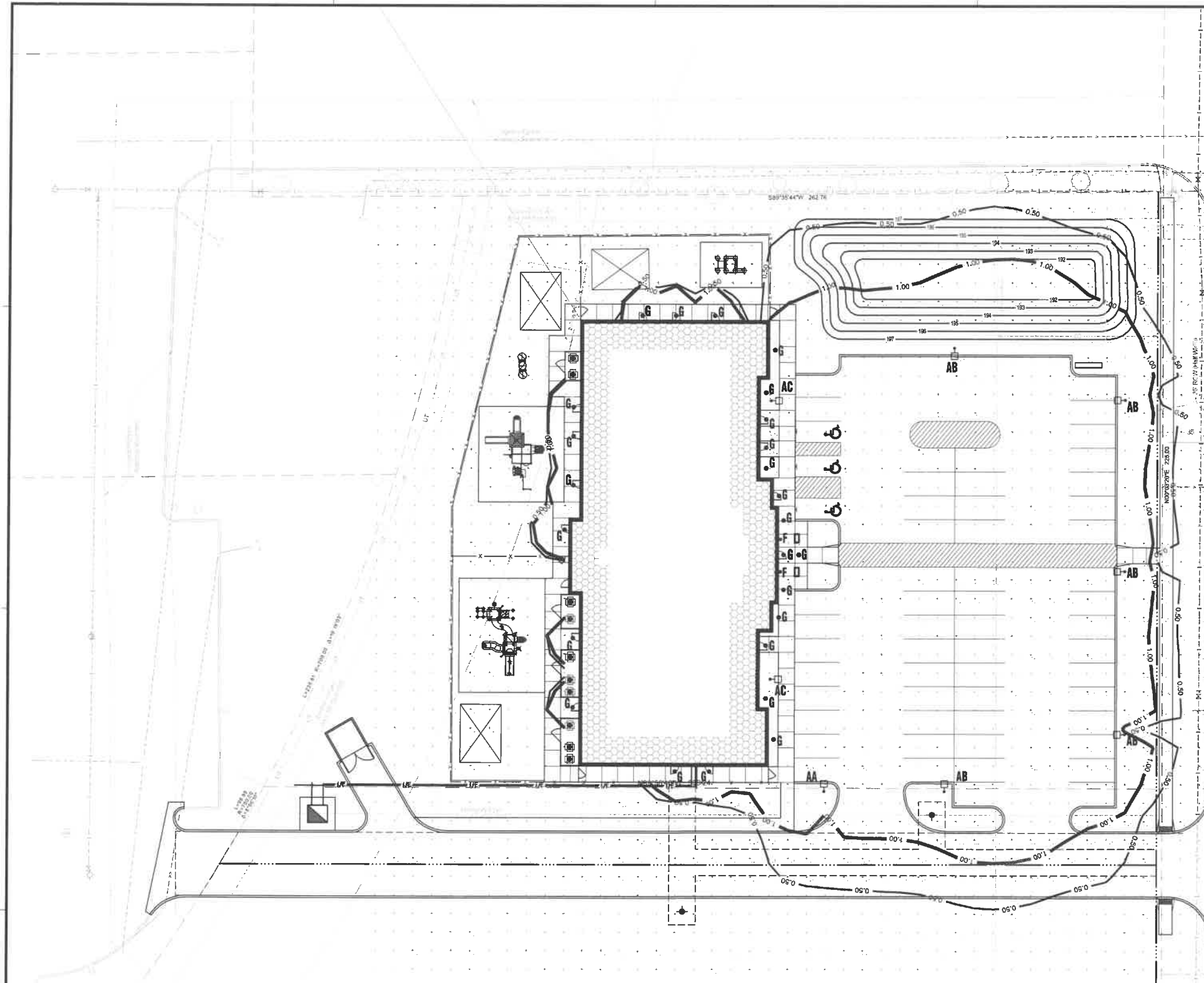
1 LIGHT POLE DETAIL
N.T.S.



"AA, AB, AC, AD" LIGHT STYLE



"F" LIGHT STYLE

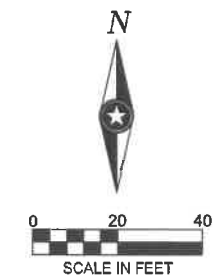


Provide light fixtures as shown on Fixture Schedule. Substitutions shall have prior approval by the Project Engineer before bid date. Being listed as an acceptable Manufacturer in no way relieves the Contractors obligation to provide all equipment and features in accordance with these specifications.

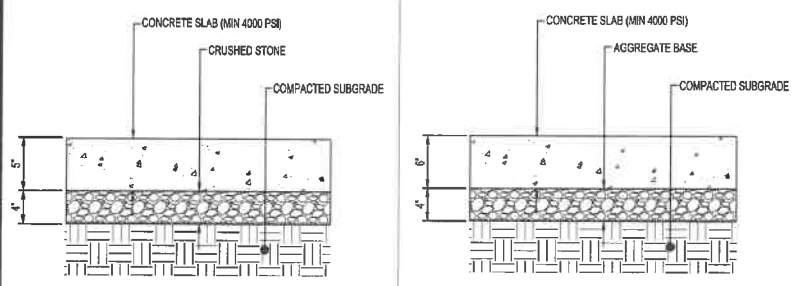
TYPE	STYLE	MANUFACTURER/MODEL NUMBER	LAMPS	REMARKS
	SITE POLE SINGLE HEAD	(7) LITHONIA LIGHTING /RTA-30-7E-DM19AS-DBLXD		SEE SITE PLAN FOR BASE DETAIL 30'-0" POLE
	SITE POLE TWIN HEAD	(1) LITHONIA LIGHTING /RTA-30-7E-DM28AS-DBLXD		
AA	SINGLE HEAD	(1) LITHONIA LIGHTING /DSKO-LED-P6-30K-13M-INVOLT-RPA-DBLXD-HS	134W LED	SEE SITE PLAN FOR BASE DETAIL
AB	SINGLE HEAD	(5) LITHONIA LIGHTING /DSKO-LED-P6-30K-13M-INVOLT-RPA-DBLXD-HS	134W LED	SEE SITE PLAN FOR BASE DETAIL
AC	SINGLE HEAD	(2) LITHONIA LIGHTING /DSKO-LED-P7-30K-14M-INVOLT-RPA-DBLXD	188W LED	SEE SITE PLAN FOR BASE DETAIL
F	DECORATIVE SCIENCE	(2) ACCESS LIGHTING /20362	(2) 18W LED	MOUNT @ 7'-0" AFF
G	RECESSED CAN	(25) LITHONIA LIGHTING /LDNS 35/15 LOGAR LSS INVOLT	17.5W LED	RECESSED INTO OVERHANG

FOOTCANDLE LEGEND

0.50 FOOTCANDLE LINE	0.50
1.00 FOOTCANDLE LINE	1.00

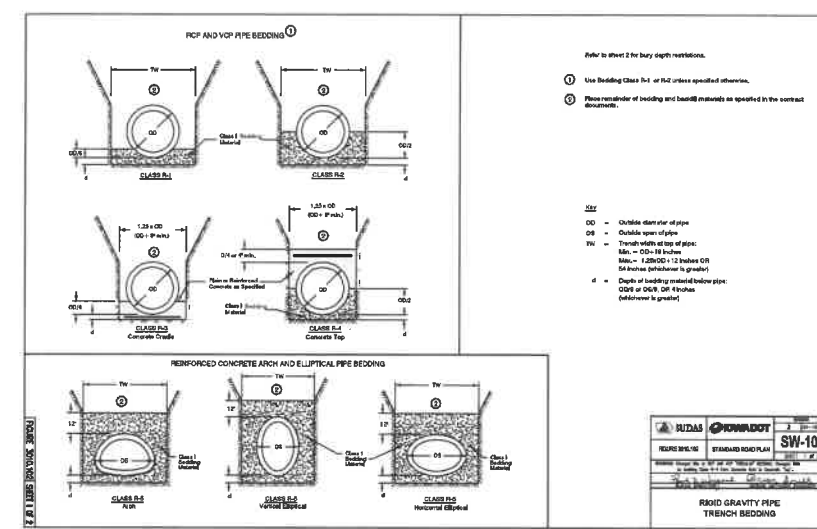
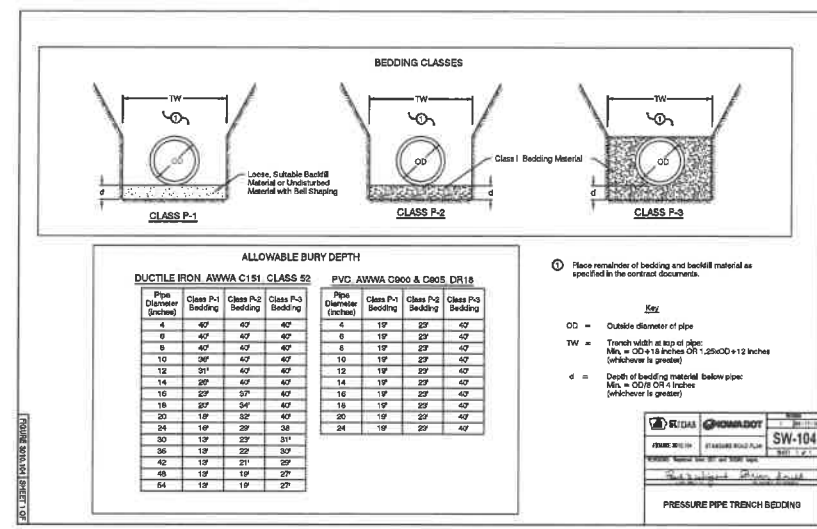


PRELIMINARY NOT FOR CONSTRUCTION



STANDARD CONCRETE PAVEMENT
NTS

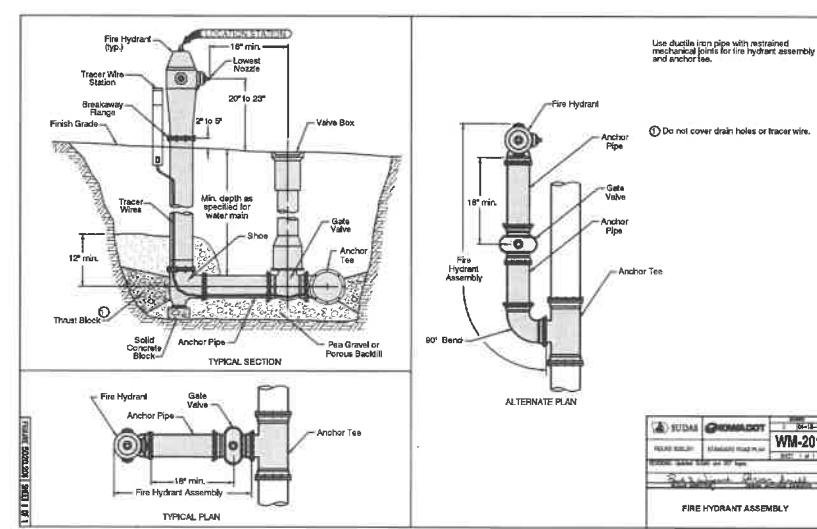
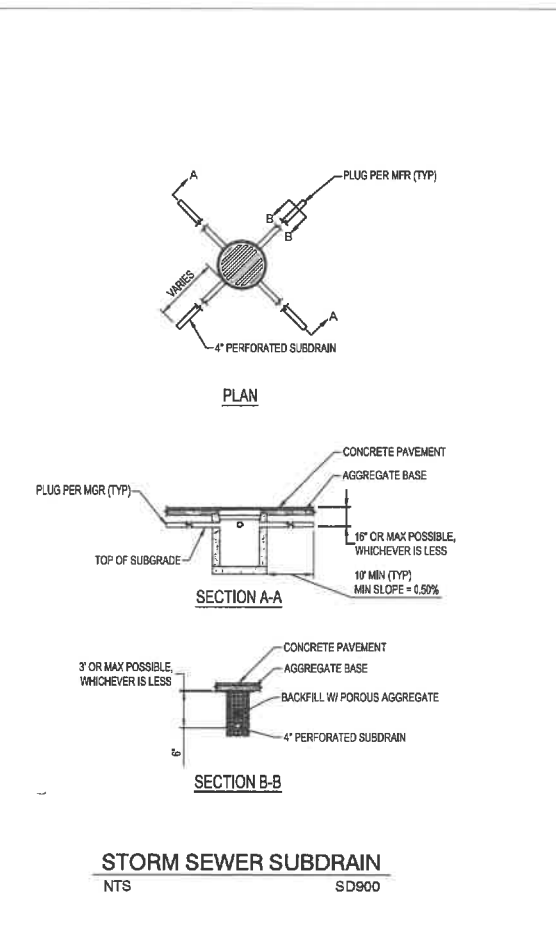
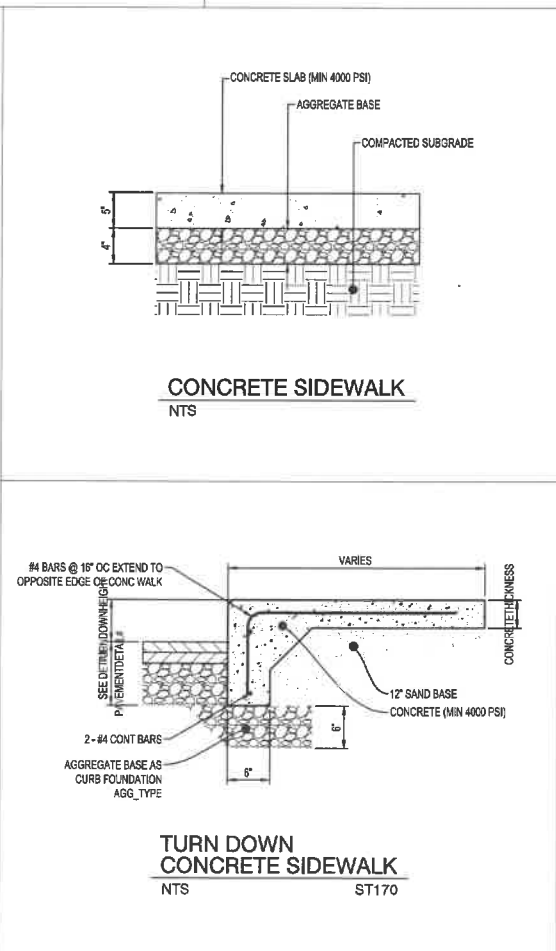
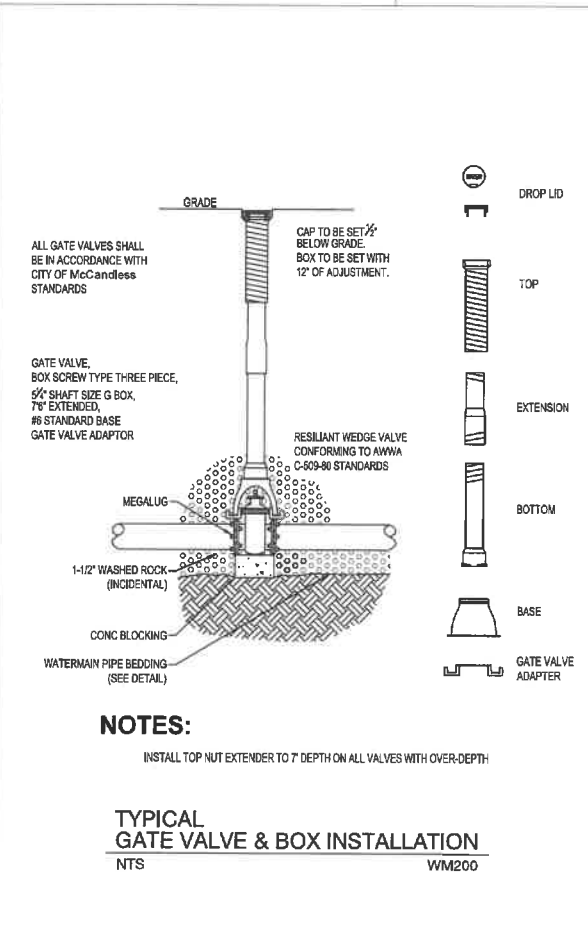
HEAVY DUTY CONCRETE PAVEMENT
NTS



RIGID GRAVITY PIPE TRENCH BEDDING
SW-102

CLASS B RCP				ALLOWABLE BURY DEPTH				CLASS V RCP			
Pipe Dia (in)	Class B Bedding	Class V Bedding	Class V Bedding	Class B & V Bedding	Class B & V Bedding	Class B & V Bedding	Class B & V Bedding	Class B & V Bedding	Class B & V Bedding	Class B & V Bedding	Class B & V Bedding
12	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
15	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
18	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
21	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
24	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
27	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
30	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
33	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
36	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
42	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
48	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
54	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"

RIGID GRAVITY PIPE TRENCH BEDDING
SW-102



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT		KINDERCARE WEST DES MOINES	
ISSUE SCHEDULE		IA	
DATE	DESCRIPTION	BY	
11/04/19	CLIENT REVIEW SET	ARA	
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA	
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA	
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA	
REVISION SCHEDULE			
DATE	DESCRIPTION	BY	
PROJECT NO.		19-23523	
FILE NAME		23523 CD-DETAILS	
DRAWN BY		ARA	
DESIGNED BY		ARA/RJA	
REVIEWED BY		RJA/ART	
ORIGINAL ISSUE DATE		-	
CLIENT PROJECT NO.		-	
TITLE		SITE DETAILS	
SHEET		C810	



EIGHT

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

KINDERCARE WEST DES MOINES

WEST DES MOINES IA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-23523
FILE NAME	23523 CO-DETAILS
DRAWN BY	ARA
DESIGNED BY	ARA/RJA
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	---
CLIENT PROJECT NO.	

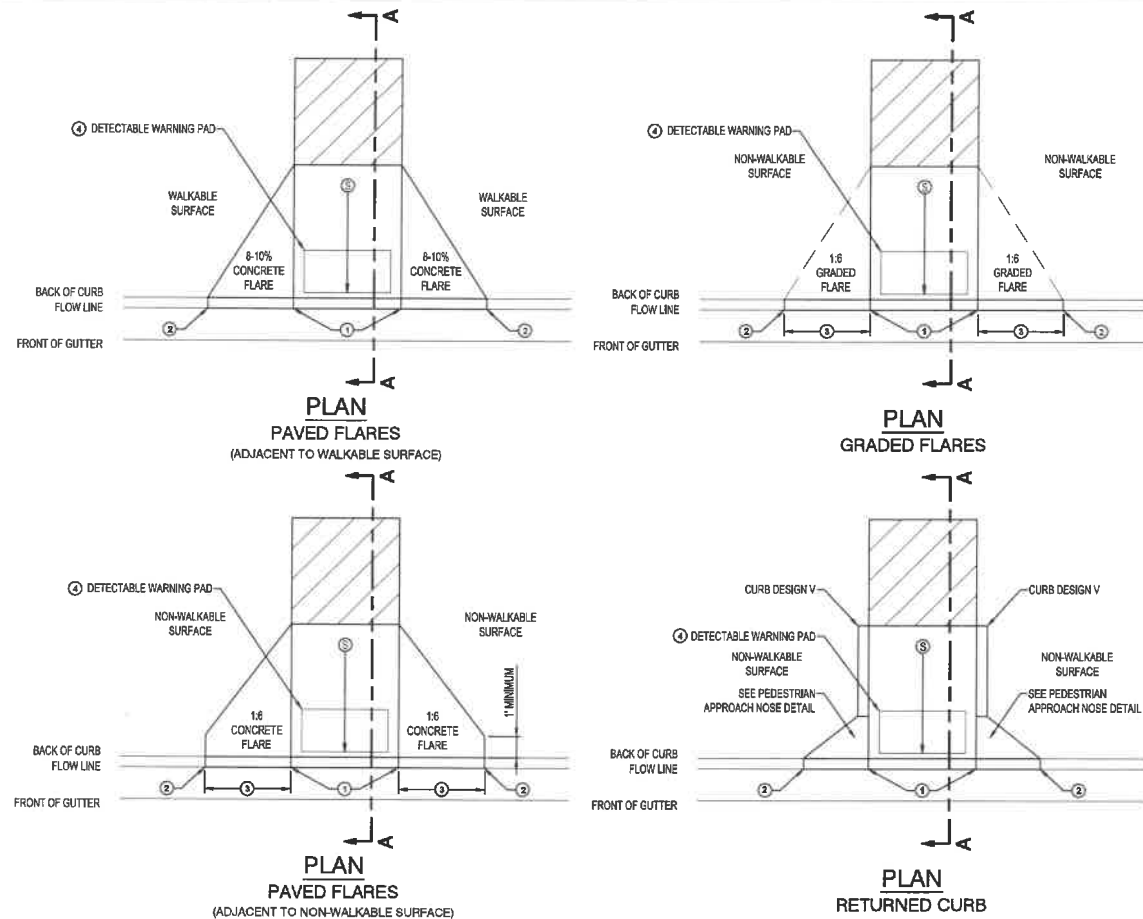
TITLE

SITE DETAILS

SHEET

C811

PRELIMINARY NOT FOR CONSTRUCTION



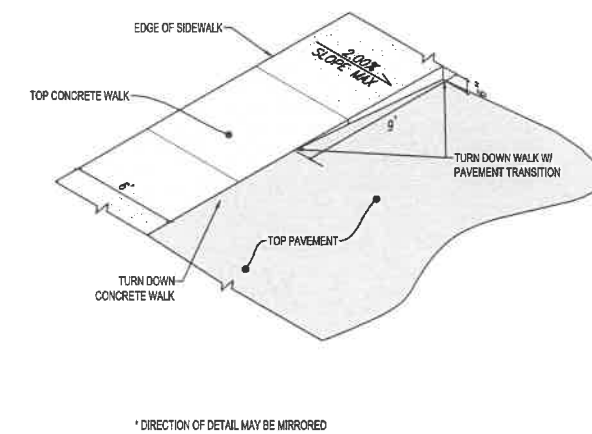
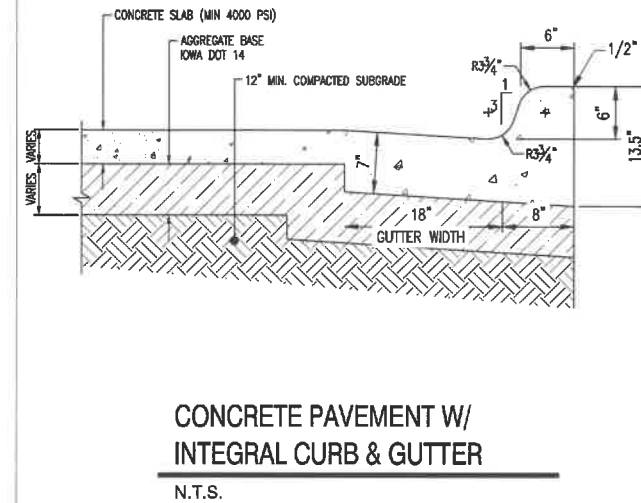
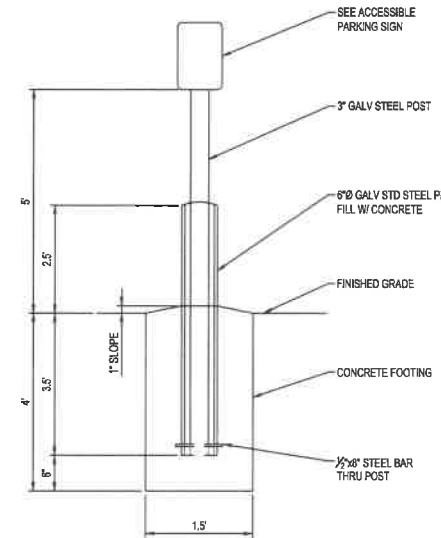
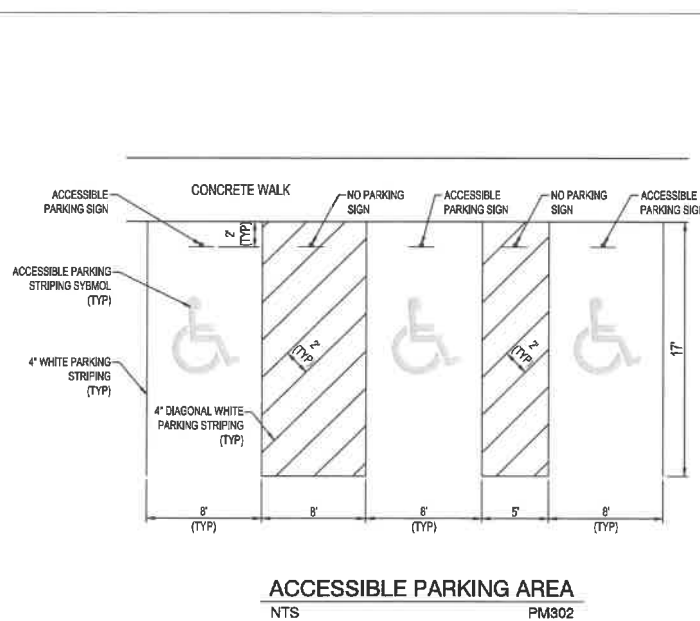
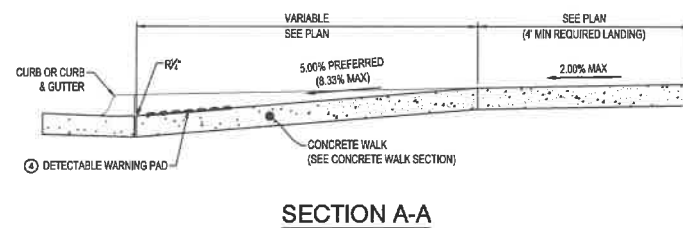
LEGEND	
	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.0%.
	LANDING AREA - 4' x 4' MIN. (5' x 5' MIN. PREFERRED); DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS. LANDING SHALL BE FULL WIDTH OF INCOMING PEDESTRIAN ACCESS ROUTE.

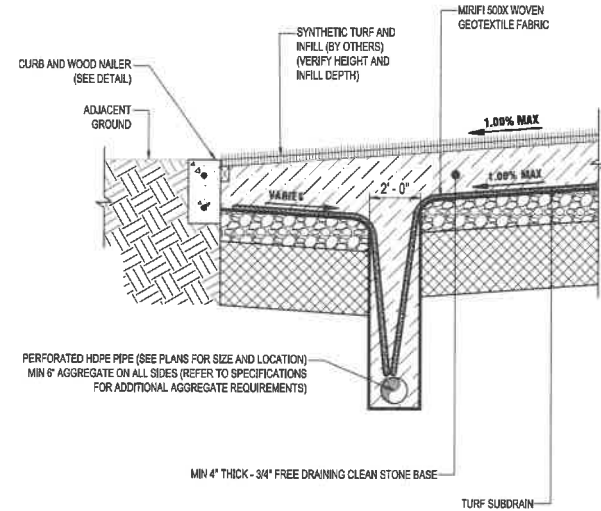
NOTES:

- ① 6" CURB HEIGHT.
- ② FULL CURB HEIGHT.
- ③ 2" FOR 4" HIGH CURB AND 3" FOR 6" HIGH CURB.
- ④ IF DEPICTED ON THE PLANS, DETECTABLE WARNING PADS WILL BE INSTALLED IN ACCORDANCE WITH MDOT STANDARD PLAN 5-297.250.

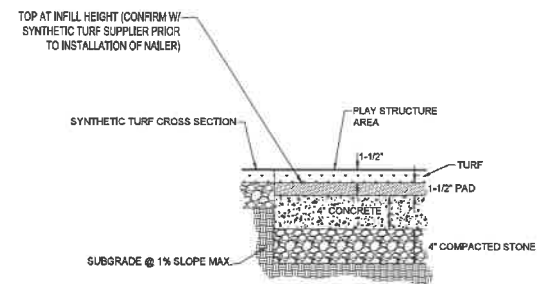
STANDARD PERPENDICULAR CURB RAMP

NTS ST500

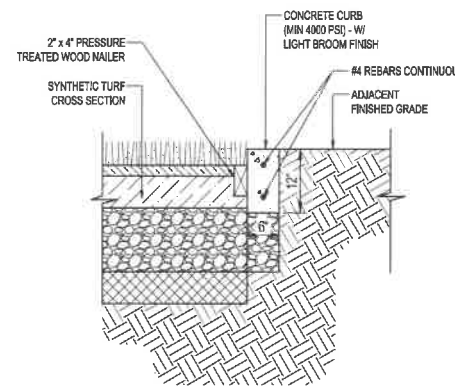




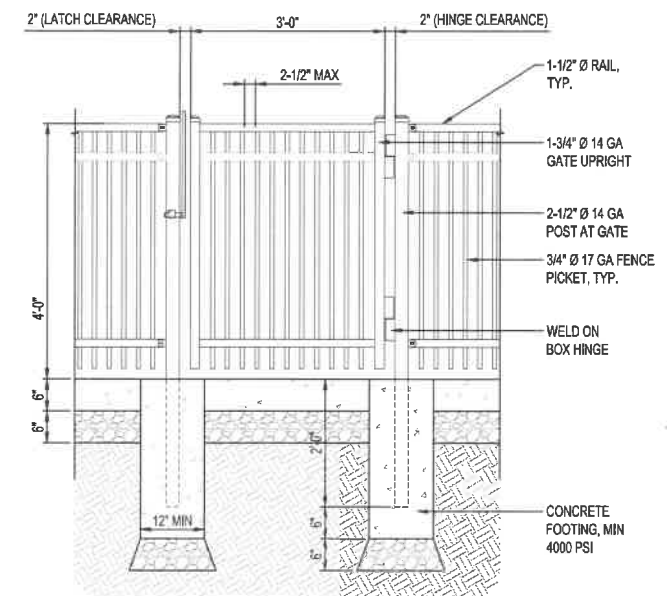
SYNTHETIC TURF CROSS SECTION
NTS



PLAY STRUCTURE AREA
(N.T.S.)



12" X 6" CONCRETE CURB AND WOOD NAILER AT PLAYGROUND EDGE
NTS



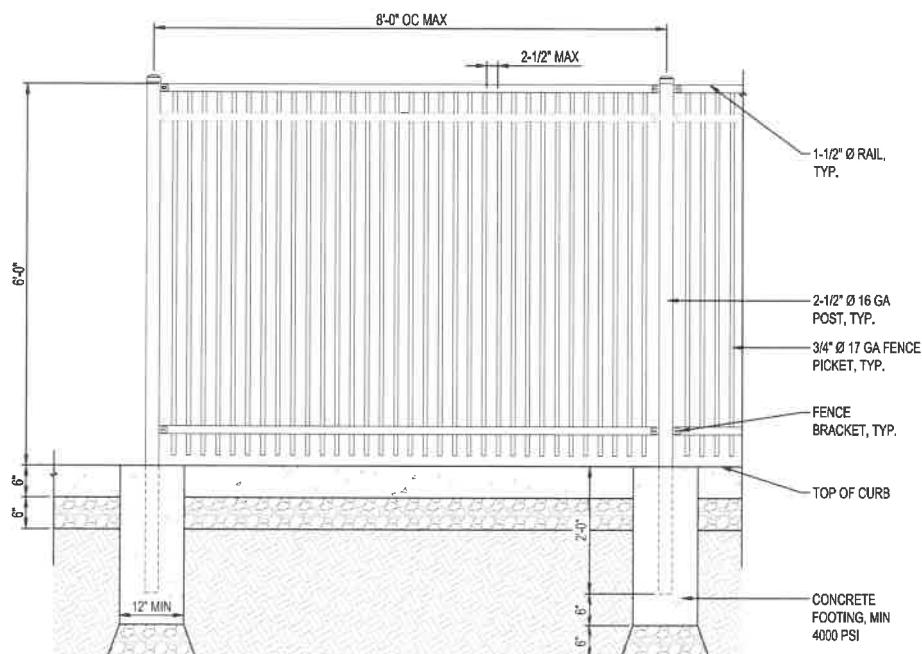
FENCE NOTE:

STYLE TO BE AMERISTAR MONTAGE PLUS MAJESTIC STEEL FENCING. SEE MANUFACTURER SPECIFICATIONS FOR ADDITIONAL INFORMATION AND DETAILS.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

1 STEEL FENCE GATE DETAIL
3/4" = 1'-0"



FENCE NOTE:

STYLE TO BE AMERISTAR MONTAGE PLUS MAJESTIC STEEL FENCING. SEE MANUFACTURER SPECIFICATIONS FOR ADDITIONAL INFORMATION AND DETAILS.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

2 PERIMETER FENCE CURB SECTION
3/4" = 1'-0"

FENCE NOTE:

STYLE TO BE AMERISTAR MONTAGE PLUS MAJESTIC STEEL FENCING. SEE MANUFACTURER SPECIFICATIONS FOR ADDITIONAL INFORMATION AND DETAILS.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

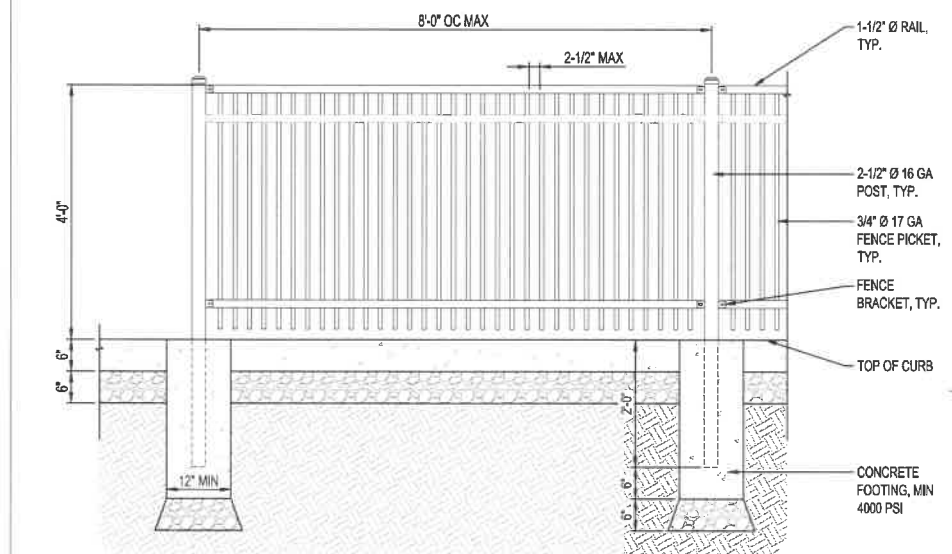
PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

3 PERIMETER FENCE CURB SECTION
3/4" = 1'-0"



FENCE NOTE:

STYLE TO BE AMERISTAR MONTAGE PLUS MAJESTIC STEEL FENCING. SEE MANUFACTURER SPECIFICATIONS FOR ADDITIONAL INFORMATION AND DETAILS.

CONTRACTOR TO PROVIDE SHOP DRAWING TO LA-E FOR APPROVAL PRIOR TO FABRICATION.

PANIC HARDWARE TO BE PROVIDED WHERE REQUIRED BY CODE.

4 STEEL FENCE DETAIL
3/4" = 1'-0"



EIGHT

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

**KINDERCARE
WEST DES MOINES**

WEST DES MOINES IA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE

DATE	DESCRIPTION	BY

PROJECT NO.	19-23523
FILE NAME	23523 CO-DETAILS
DRAWN BY	ARA
DESIGNED BY	ARA/RJA
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	11/04/19
CLIENT PROJECT NO.	-

TITLE

SITE DETAILS

SHEET

C812

PRELIMINARY NOT FOR CONSTRUCTION



EIGHT

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

**KINDERCARE
WEST DES MOINES**

WEST DES MOINES IA

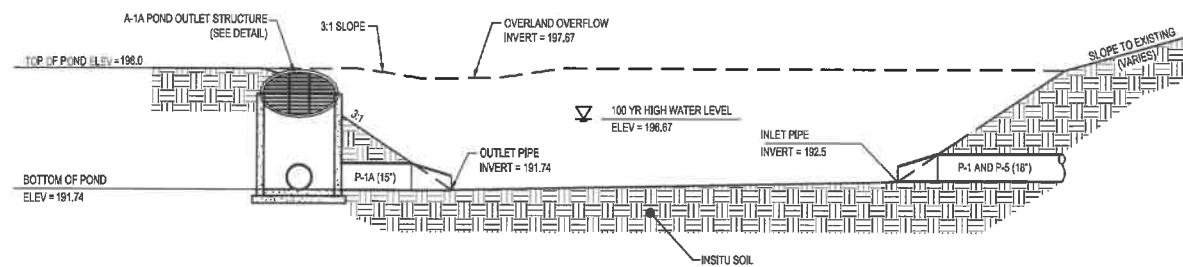
ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-23523
FILE NAME	23523 CD-DETAILS
DRAWN BY	ARA
DESIGNED BY	ARA/RA
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	11/13/19
CLIENT PROJECT NO.	-

TITLE
SITE DETAILS

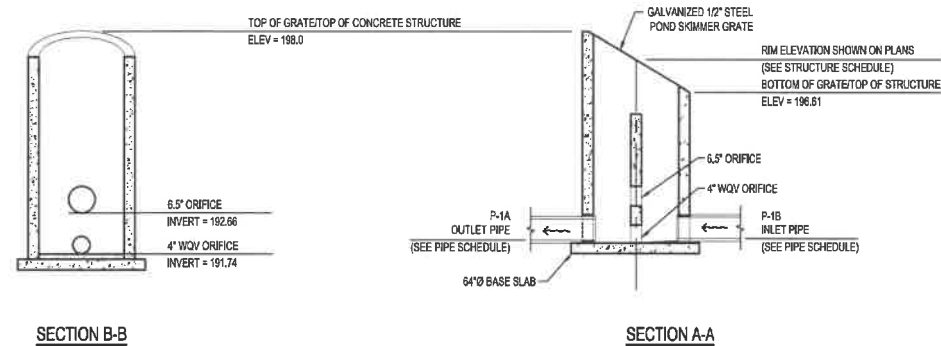
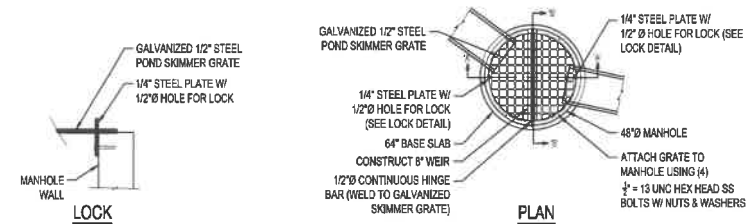
SHEET
C813



**DRY DETENTION
BASIN CROSS SECTION**
NTS

NOTES:

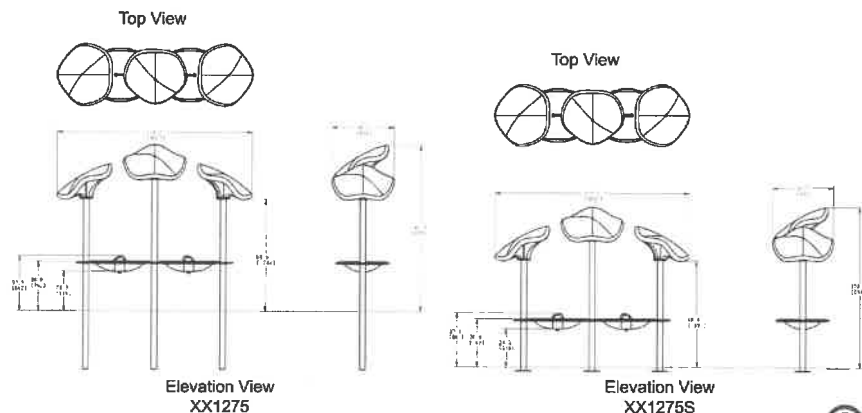
- GRIND EXPOSED FIELD & SHOP WELDS FLUSH WITH ADJACENT SURFACES
- AFTER FABRICATION, GALVANIZE STRUCTURAL SHAPES AND MISCELLANEOUS ITEMS IN ACCORDANCE WITH ASTM A123.
- REPAIR DAMAGED & SCRATCHED GALVANIZED COATINGS AFTER INSTALLATION
- GROUT AROUND ALL PIPES ON INSIDE AND OUTSIDE OF MANHOLE



**A-1A
POND OUTLET STRUCTURE**
NTS

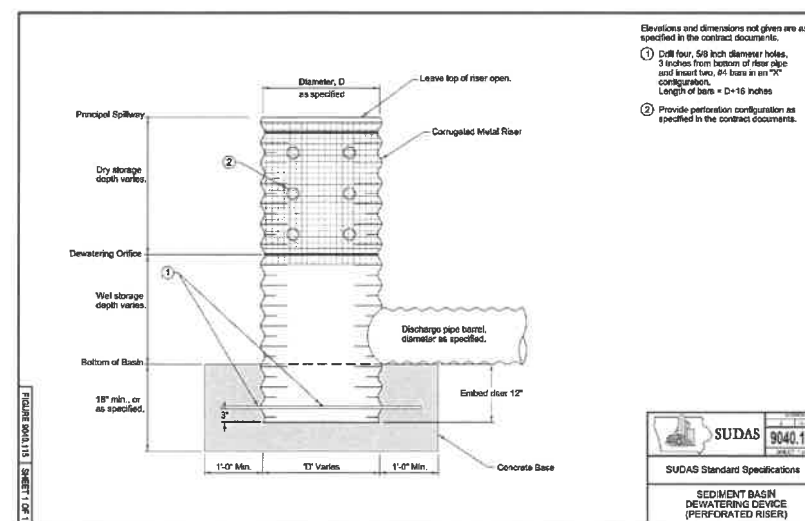
Installation Instructions

Position	Unit of Measurement
Top #	Inches
Bottom #	Millimeters



Page 6 of 14
Models *XX1270, *XX1270S, *XX1275, *XX1275S, XX1276, XX1276S, XX1280, & XX1280S
ECN2083, *ECN2569

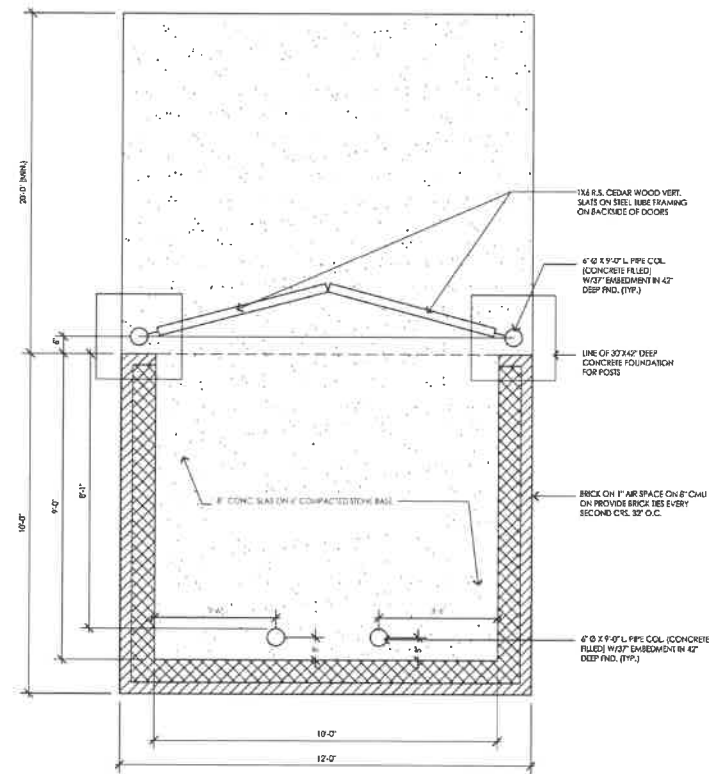
SAND AND WATER PLAY STRUCTURE



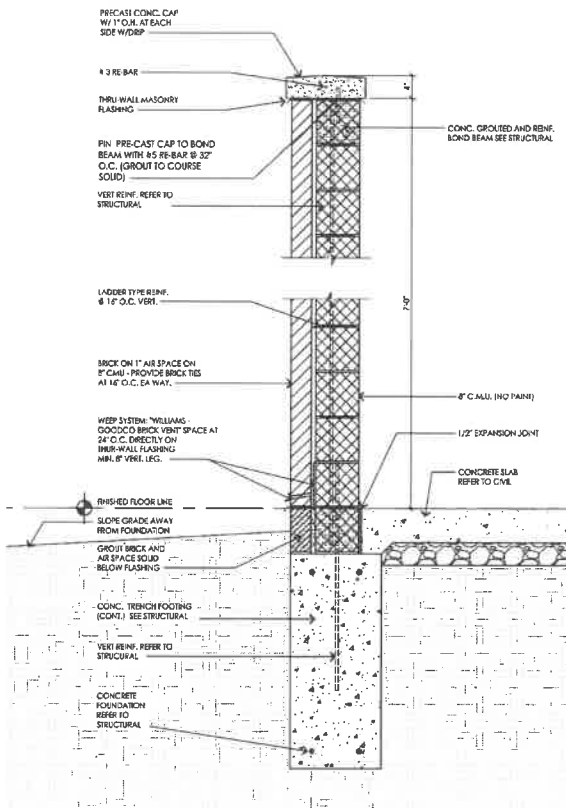
PRELIMINARY NOT FOR CONSTRUCTION



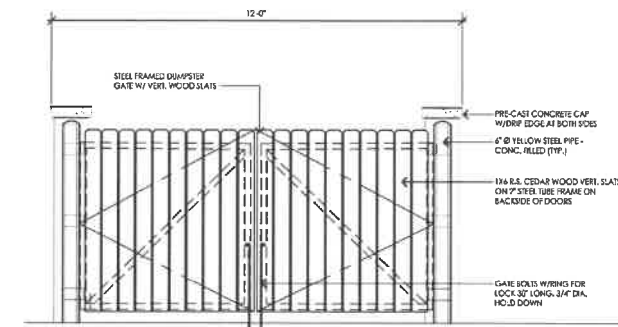
EIGHT



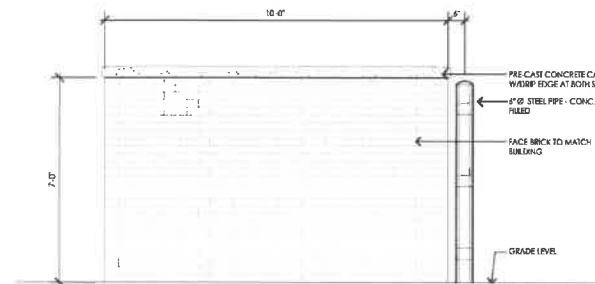
A Trash Enclosure Plan
Scale: 1/2" = 1'-0"



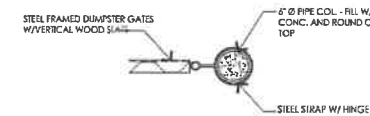
B Section Thru Trash Enclosure
Scale: 1" = 1'-0"



C Trash Enclosure Front Elevation
Scale: 1/2" = 1'-0"



D Trash Enclosure Side Elevation
Scale: 1/2" = 1'-0"



E Bollard Detail
Scale: 1 1/2" = 1'-0"

GENERAL NOTES:
 1. ALL EXTERIOR FINISHES TO MATCH BUILDING.
 IF BRICK IS NO BRICK TO MATCH - MATCH MASONRY.
 2. ADHERE TO ALL LOCAL ORDINANCES AND DESIGN REQUIREMENTS, MOSTLY ARCHITECT OF ANY DISCREPANCIES.

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

KINDERCARE WEST DES MOINES

WEST DES MOINES IA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-23523
FILE NAME	23523 CD-DETAILS
DRAWN BY	ARA
DESIGNED BY	ARA/RA
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	11/13/19
CLIENT PROJECT NO.	

TITLE

SITE DETAILS

SHEET

C814

PRELIMINARY NOT FOR CONSTRUCTION

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT
KINDERCARE WEST DES MOINES
WEST DES MOINES IA

DATE	ISSUE SCHEDULE DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

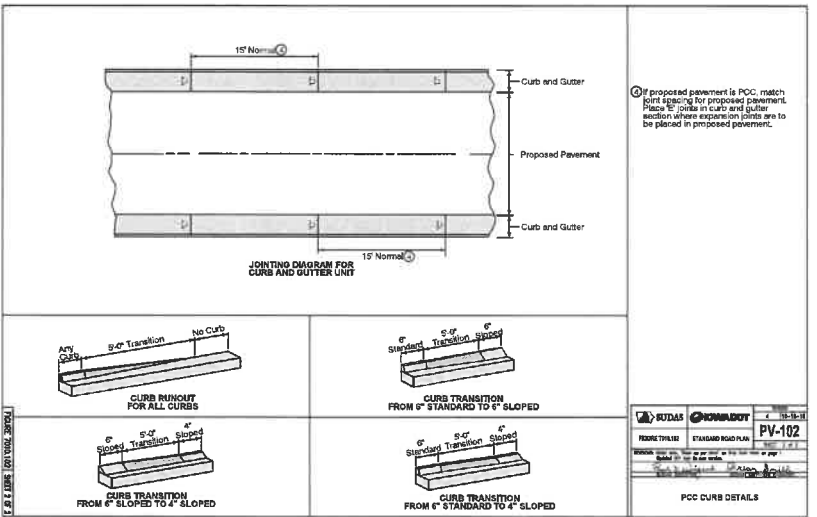
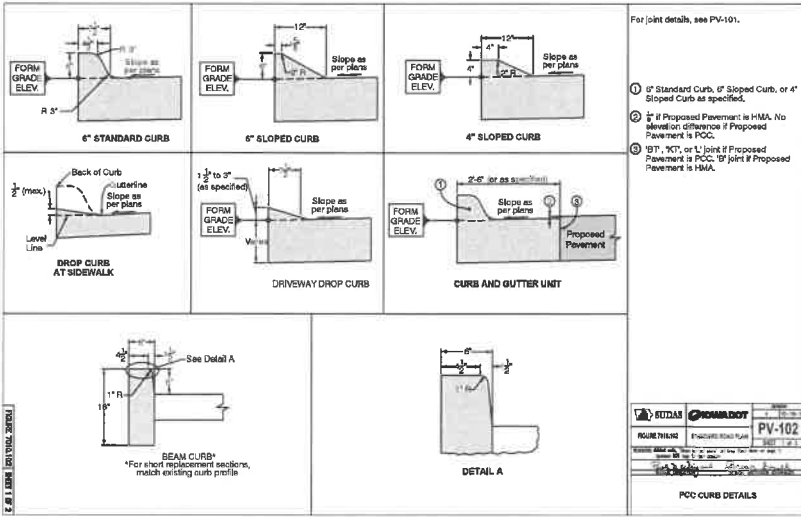
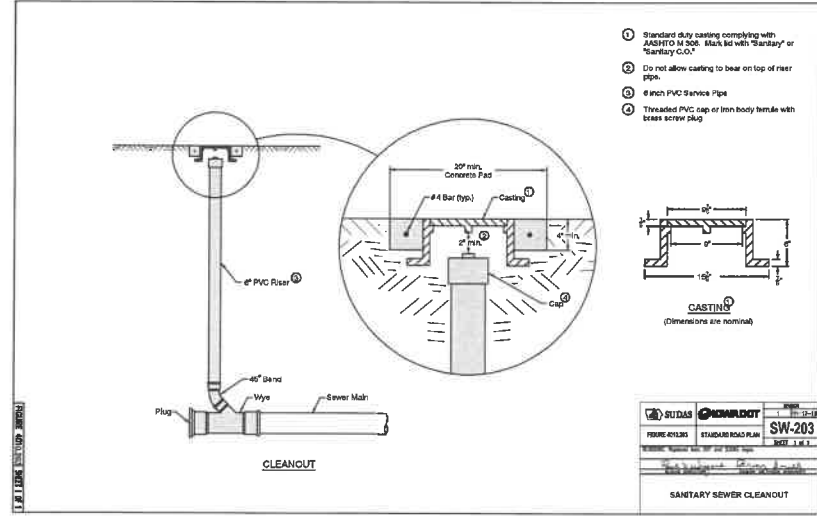
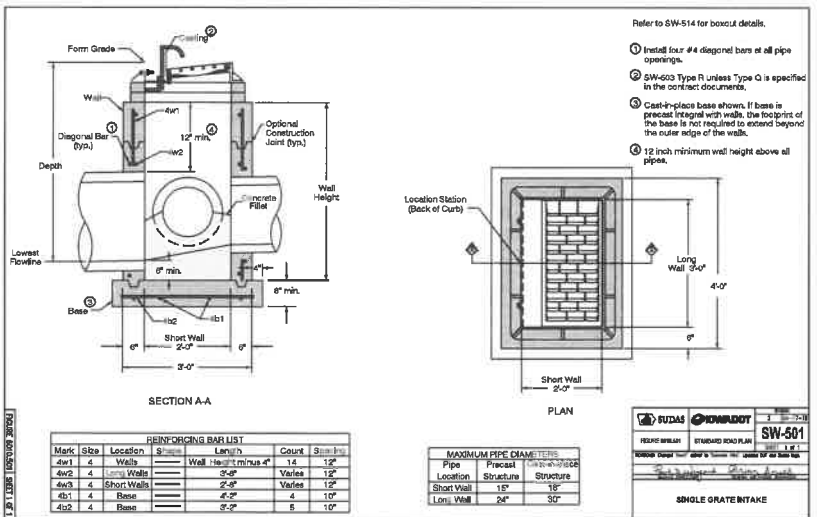
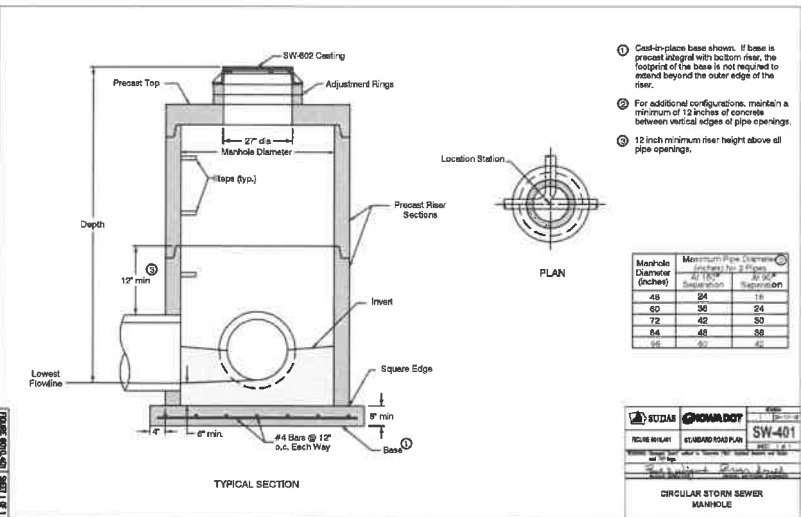
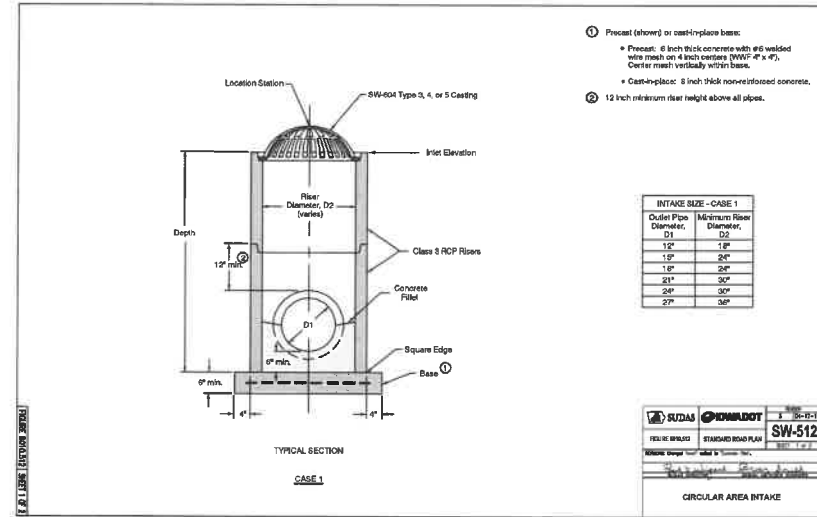
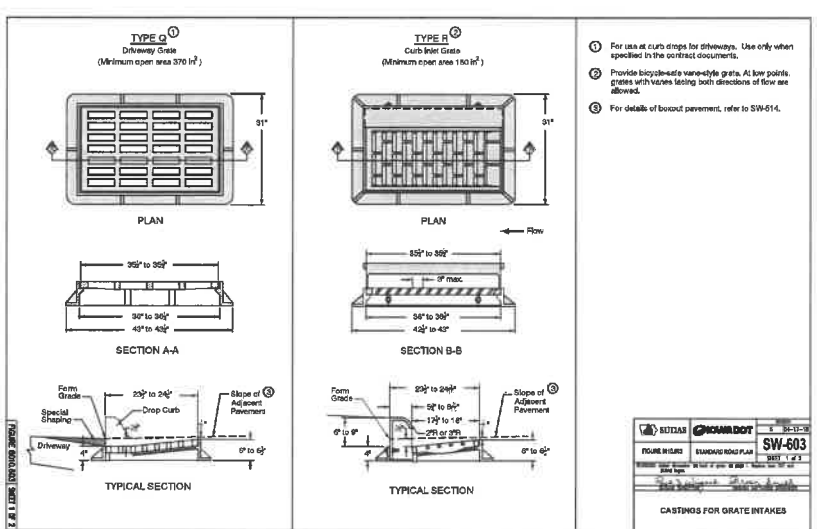
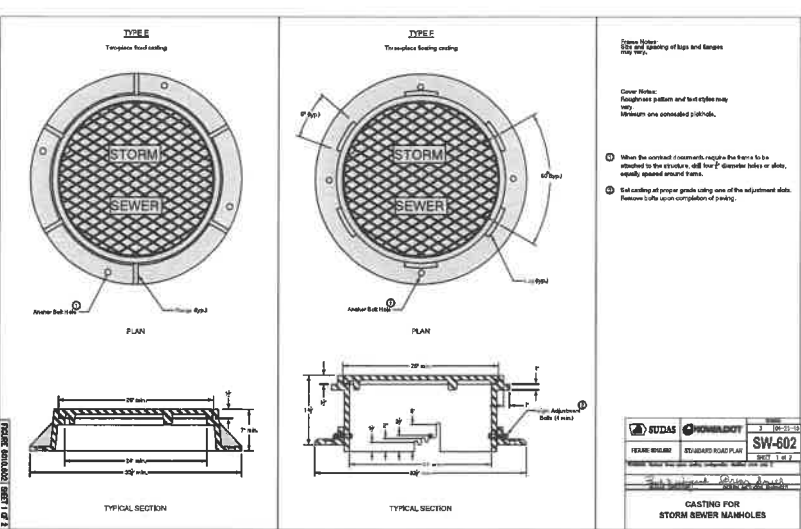
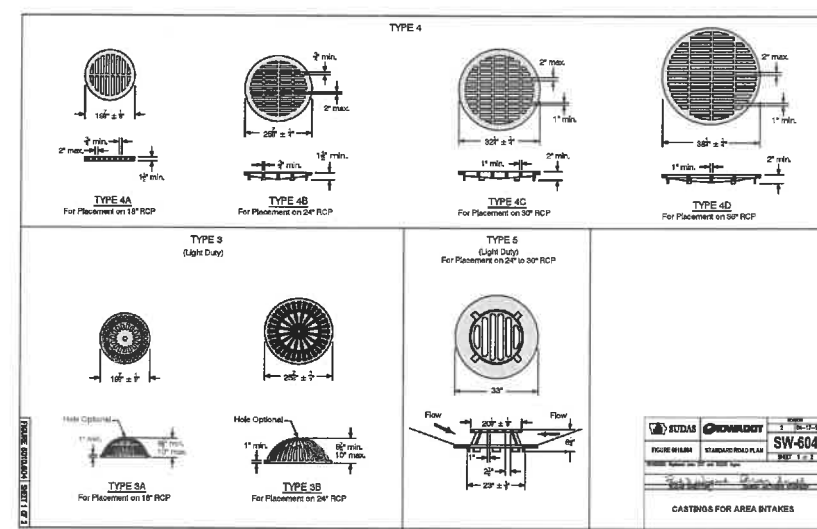
DATE	REVISION SCHEDULE DESCRIPTION	BY

PROJECT NO.	19-23523
FILE NAME	23523 CO-DETAILS
DRAWN BY	ARA
DESIGNED BY	ARAJA
REVIEWED BY	RJAART
ORIGINAL ISSUE DATE	
CLIENT PROJECT NO.	

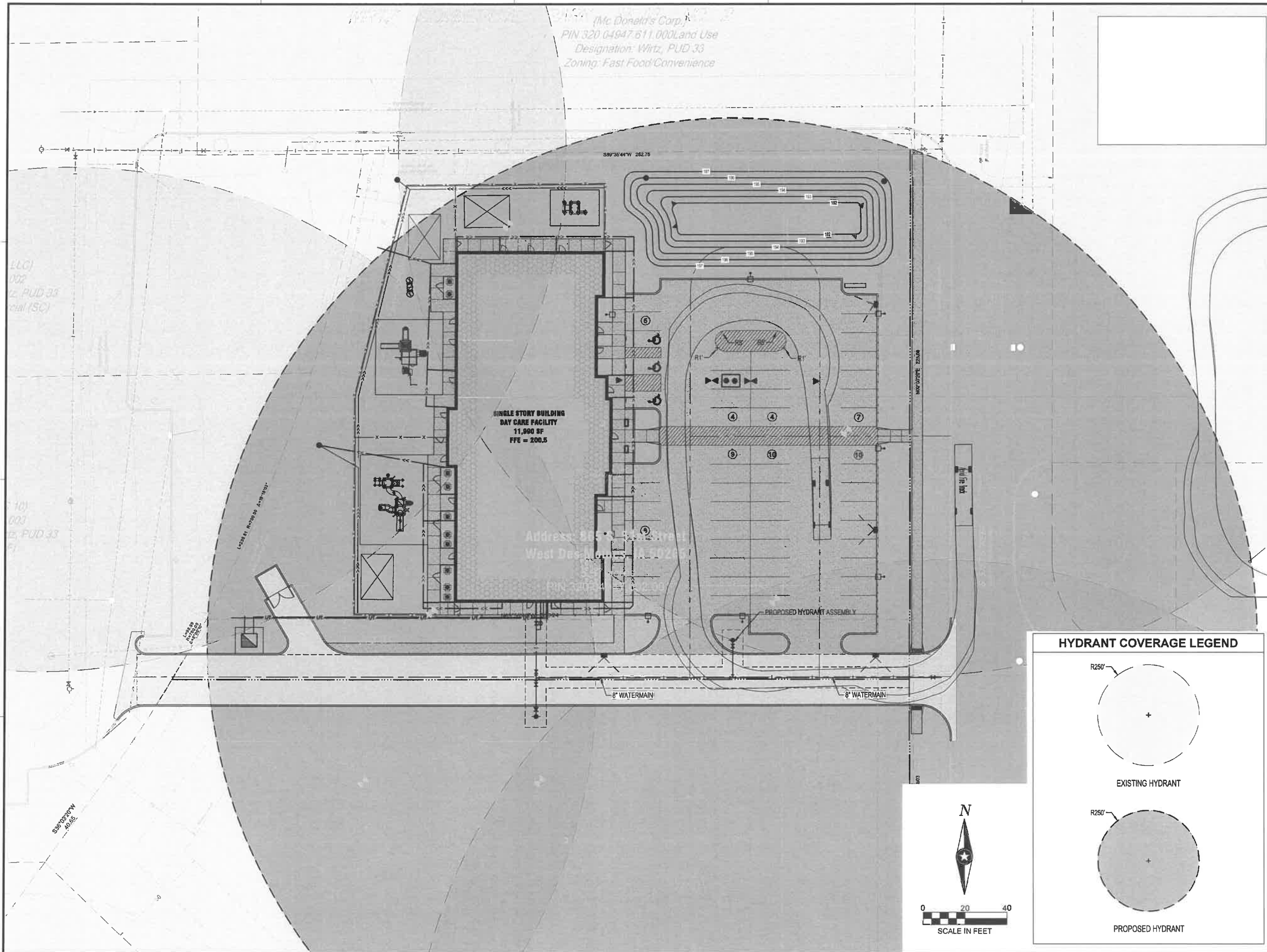
TITLE

SITE DETAILS

SHEET
C815



(Mc Donald's Corp.)
 PIN 320 04947 611.000 Land Use
 Designation: Wirtz, PUD 33
 Zoning: Fast Food/Convenience



EIGHT

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT
KINDERCARE
WEST DES MOINES

WEST DES MOINES IA

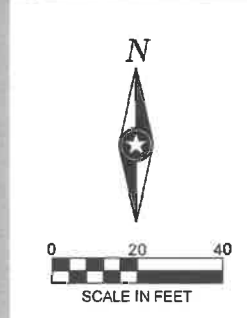
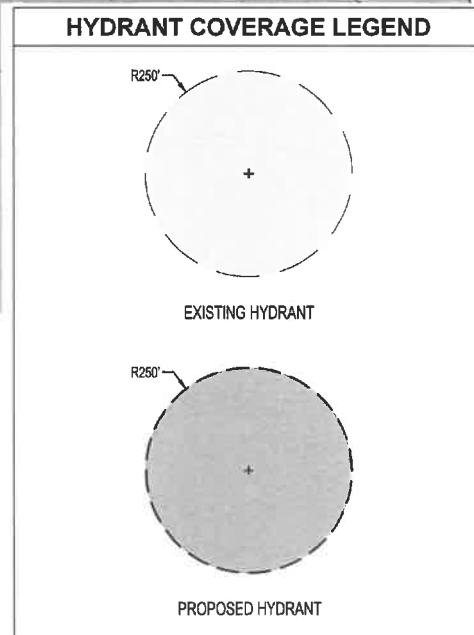
ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-23523
FILE NAME	23523 C3-SITE
DRAWN BY	ARA
DESIGNED BY	ARA/RA
REVIEWED BY	RJA/ART
ORIGINAL ISSUE DATE	11/13/19
CLIENT PROJECT NO.	-

TITLE
FIRE TRUCK ACCESS AND HYDRANT COVERAGE PLAN

SHEET
C820

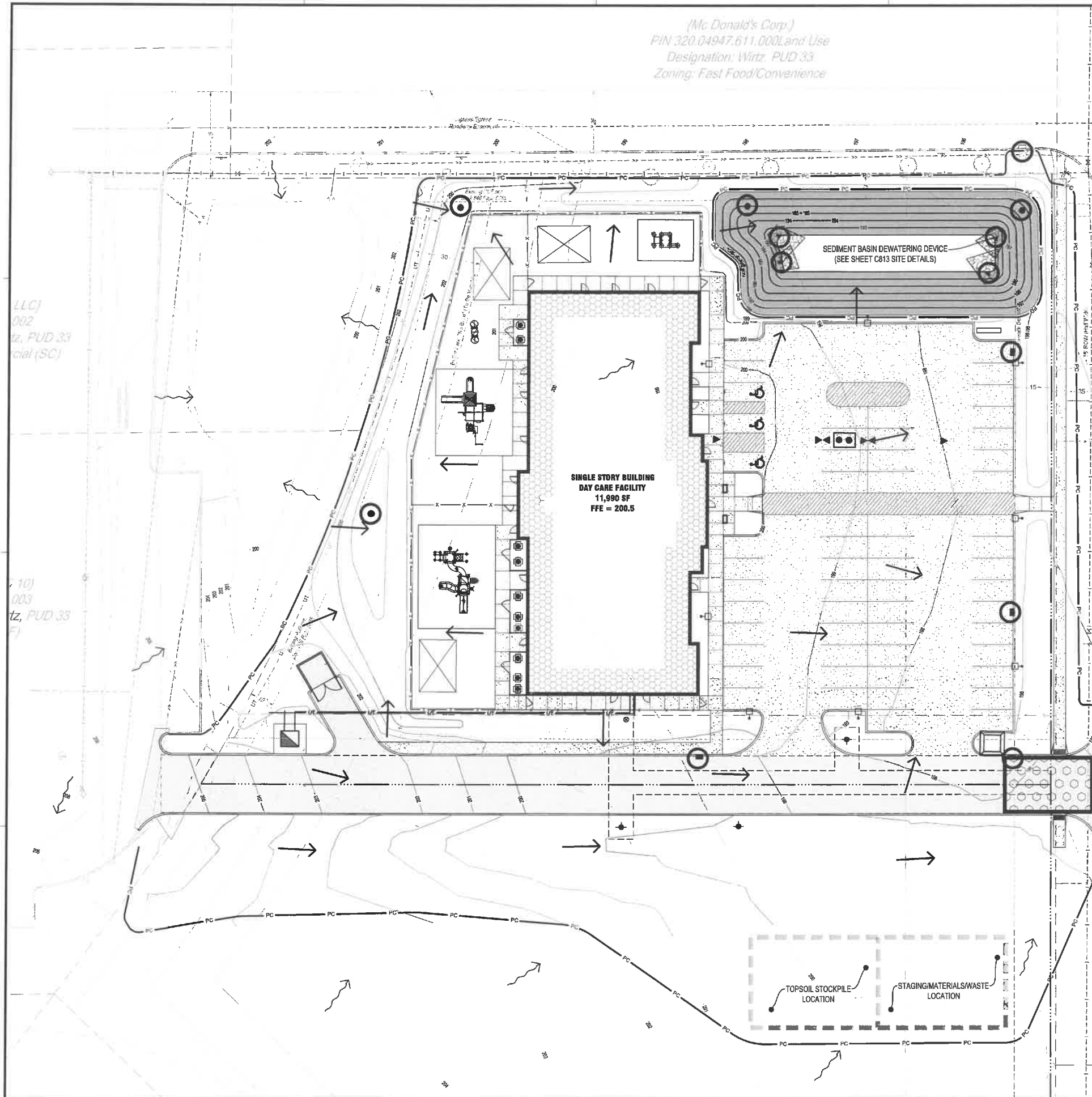


PRELIMINARY NOT FOR CONSTRUCTION

(Mc Donald's Corp.)
 PIN 320.04947.611.000 Land Use
 Designation: Wirtz PUD 33
 Zoning: Fast Food/Convenience

LLC)
 002
 z, PUD 33
 (SC)

10)
 003
 z, PUD 33
)



EROSION CONTROL LEGEND

SYMBOL	ITEM NO.	DESCRIPTION	UNITS	QUANTITY
	2511.507	RANDOM RIPRAP, CLASS __	CY	28
		PERIMETER CONTROL	LF	1275
	2573.502	EXISTING STORM DRAIN INLET PROTECTION	EACH	1
	2573.502	PROPOSED STORM DRAIN INLET PROTECTION	EACH	12
	2573.501	STABILIZED CONSTRUCTION EXIT	EACH	1
	2575.504	EROSION CONTROL BLANKET, CATEGORY __	SY	575
		CONCRETE WASHOUT AREA	EA	1
		EXISTING DRAINAGE ARROW		
		PROPOSED DRAINAGE ARROW		
		EXISTING CONTOUR (MINOR INTERVAL)		
		EXISTING CONTOUR (MAJOR INTERVAL)		
	101	PROPOSED CONTOUR (MINOR INTERVAL)		
	103	PROPOSED CONTOUR (MAJOR INTERVAL)		

PERIMETER CONTROL CAN BE SILT FENCE, SEDIMENT CONTROL LOG, OR WOOD MULCH.
 QUANTITIES ARE FOR INFORMATIONAL PURPOSES TO MEET THE REQUIREMENTS OF THE CONSTRUCTION STORMWATER PERMIT. NO GUARANTEE IS MADE TO THE ACTUAL QUANTITIES REQUIRED.
 THE QUANTITIES SHOWN ARE TOTAL FOR THE ENTIRE PROJECT NOT SPECIFIC TO THIS SHEET.
 SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT
 NOTE: SWPPP COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS SWPPP INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.

SWPPP CONTACT
 THE FOLLOWING INDIVIDUAL RESPONSIBLE FOR INSURING MUD AND ROCK ARE CLEANED OFF OF PUBLIC STREETS ON A DAILY BASIS, INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES, MAINTENANCE SCHEDULE LISTED ABOVE, AND IN CHARGE OF IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2 FOR 'STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FOR CONSTRUCTION ACTIVITIES' FOR THE PROPOSED FACILITY.
 JOE BIANCHINI
 SENIOR PROJECT MANAGER
 248-853-8435
 ISG/AT DEVELOPMENT



EIGHT

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT
KINDERCARE
WEST DES MOINES
 WEST DES MOINES IA

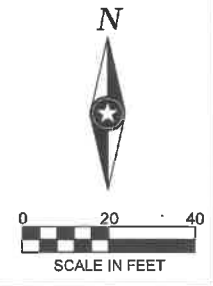
ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 19-23523
 FILE NAME 23523 C1-SWPPP
 DRAWN BY ARA
 DESIGNED BY ARARJA
 REVIEWED BY RJAAAT
 ORIGINAL ISSUE DATE 1/13/20
 CLIENT PROJECT NO. -

TITLE
TEMPORARY
EROSION AND
SEDIMENT
CONTROL PLAN

SHEET
C900



PRELIMINARY NOT FOR CONSTRUCTION

CONSTRUCTION ACTIVITY NOTES:

EROSION PREVENTION:

Construction of silt fence and all other erosion control measures shall be complete before other construction activity occurs.

Use phased construction wherever practical and establish turf as soon as possible to minimize sediment transport.

Turf establishment or temporary seeding or mulching of all exposed soil not being actively worked should be immediately initiated once earth disturbing activities have ceased. Temporary cover during construction is incidental.

Pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours after connection to a surface water.

Stabilization of disturbed areas must be initiated immediately whenever any clearing, grading, excavating, or other earth disturbing activities have permanently ceased on any portion of the site or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days.

SEDIMENT CONTROL PRACTICES:

Construction of silt fence and all other erosion control measures shall be complete prior to land disturbing activities occur.

Inlet erosion protection shall be installed and maintained until turf has been established.

The contractor shall be responsible to control erosion from leaving the construction zone. All eroded material that leaves the construction zone shall be collected by the contractor and returned to the site at the contractor's expense.

All streets must be swept at the end of each working day and prior to a rain event.

Silt fence or other effective erosion control measures must be installed around the perimeter of any soil stockpiles, including temporary stockpiles. Stockpiles cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.

Perimeter control shall be installed along the back of curb immediately following curb installation at all locations with positive drainage to parking lot and/or streets, and shall remain until stabilization is achieved. This shall be accomplished through the use of silt fence, bionolls, Rock logs, or other methods approved by the Engineer.

CONSTRUCTION ACTIVITY NOTES:

DEWATERING AND BASIN DRAINING:

Dewater sediment-laden water to sedimentation basins if possible, or use other BMP's to prevent erosion and remove sediment when discharging to surface waters. Use appropriate energy dissipation measures on all discharges.

Dewatering practices cannot cause nuisance conditions, erosion or in receiving channels or inundation of wetlands resulting in adverse impacts.

POLLUTION PREVENTION:

All solid waste collected from the construction site must be disposed in accordance with all applicable regulations.

All hazardous materials (oil, gasoline, fuel, paint, etc) must be properly stored to prevent spills, leaks or other discharge, storage areas shall provide secondary containment and a hazardous materials spill kit. Storage and disposal of hazardous waste must be in compliance with all applicable regulations.

Equipment maintenance areas must be limited to a defined area of the site. All runoff containing any hazardous material must be properly collected and disposed. No engine degreasing shall be allowed on site.

The contractor is responsible for monitoring air pollution and ensuring it does not exceed levels set by local, state, or federal regulations. This includes dust created by work being performed on the site. Air pollution and dust control correction is considered incidental to the unit bid prices for which work is being performed. Additional dust control measures may be required by the Engineer.

Concrete washout onsite: All liquid waste generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. The liquid waste must not contact the ground, and there must not be runoff from the concrete washout operations or areas. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities. Protect storm sewers and drainage ways from allowing concrete slurry from concrete operations to discharge offsite.

INSPECTION AND MAINTENANCE:

The Permittees must routinely inspect the construction site once every seven (7) days during active construction.

All inspections performed during construction must be recorded and records retained with the SWPPP.

Contractor is responsible for keeping a record of all rainfall information & erosion control maintenance until final establishment of turf.

All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/2 of the height of the fence.

Erosion control, and other BMP's must be replaced, repaired, or supplemented when they reach 50% design load.

FINAL STABILIZATION:

The Permittees must ensure final stabilization of the site. The Permittees must submit a notice of termination within 30 days after final stabilization is complete or control has been passed to another owner.

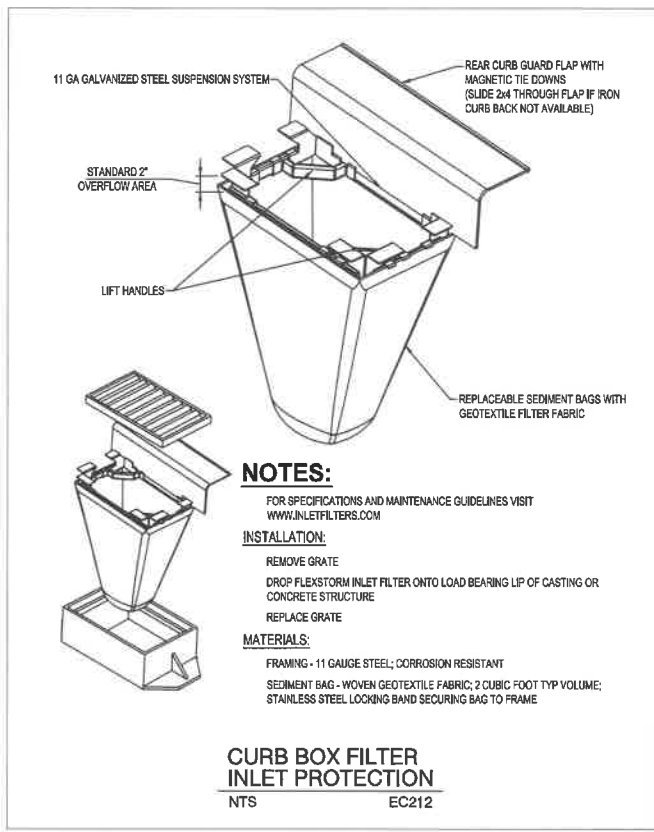
All temporary erosion control measures and BMP's must be removed as part of the final site stabilization.

The storm water permit further defines final stabilization and its requirements.

MAINTENANCE SCHEDULE

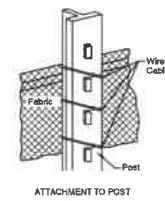
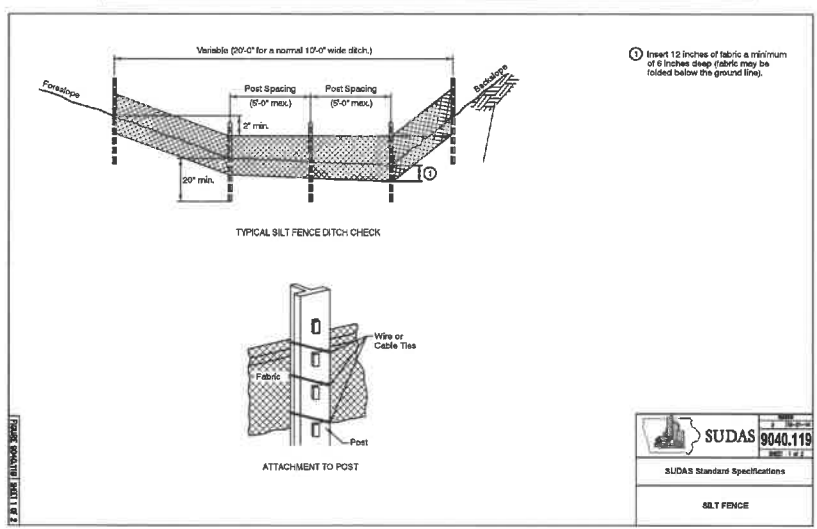
The following Maintenance Schedule has been provided. The INSPECTOR must perform the inspections. The OPERATOR/CONTRACTOR must perform all needed maintenance. Furthermore, all erosion control feature requiring maintenance may not be listed below. The OPERATOR/CONTRACTOR and INSPECTOR must perform their respective duties on all BMP's that are not listed below as well.

- Construction Entrance** - The entrance shall be maintained in a condition which will prevent tracking or flow of sediment onto public rights-of-way. This may require periodic top dressing with additional stone or the washing and reworking of existing stone as conditions demand and repair and/or cleanout of any structures used to trap sediment. All materials spilled, dropped, washed, or materials dropped, washed or tracked onto roadways will not be permitted under any circumstances.
- Wattles** - The maintenance measures are as follows: (2.1) wattles shall be inspected weekly; (2.2) close attention shall be paid to the repair of damaged bales, end runs and undercutting beneath bales; (2.3) necessary repairs to barriers or replacement of wattles shall be accomplished promptly; (2.4) sediment deposits shall be removed after each rainfall, they must be removed when the level of deposition reaches approximately one-half the height of the wattle; and (2.5) any sediment deposits remaining in place after the wattle is no longer required shall be dressed to conform to the existing grade, prepared and seeded.
- Silt Fence** - The maintenance measures are as follows: (3.1) silt fences shall be inspected weekly, any required repairs shall be made immediately; (3.2) close attention shall be paid to the repair of damaged silt fence resulting from end runs and undercutting; (3.3) should the fabric on a silt fence decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the fabric shall be replaced promptly; (3.4) sediment deposits must be removed when the level of deposition reaches approximately one-half the height of the barrier; and (3.5) any sediment deposits remaining in place after the silt fence is no longer required shall be dressed to conform to the existing grade, prepared and seeded.
- Storm Drain Inlet Protection** - The maintenance measures are as follows: (4.1) structures shall be inspected weekly and repairs made as necessary and (4.2) structures shall be removed and the area stabilized when the remaining drainage area has been properly stabilized.
- Temporary Seeding** - Areas which fail to establish vegetative cover adequate to prevent soil erosion will be re-seeded as soon as such areas are identified.
- Permanent Seeding** - The maintenance measures are as follows: (10.1) in general, a stand of vegetation cannot be determined to be fully established until it has been maintained for one full year after planting; (10.2) new seedlings shall be supplied with adequate moisture, supply water as needed, especially late in the season, in abnormally hot or dry conditions, or on adverse sites, water applications shall be controlled to prevent excessive runoff; (10.3) inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within the planting season, if possible; (10.3.a) if stand is inadequate for erosion control, over seed and fertilize using half of the rates originally specified; (10.3.b) if stand is 50% damaged, re-establish following seedbed and seeding recommendations; (10.3.c) if stand has less than 40% cover, re-evaluate choice of plant materials and quantities of lime and fertilizer, the soil must be tested to determine if acidity or nutrient imbalances are responsible, re-establish the stand following seedbed and seeding recommendations.
- Street Cleaning / Sweeping** - The maintenance measures are as follows: (13.1) evaluate access points daily for sediment tracking; (13.2) when tracked or spilled sediment is found on paved surfaces, it will be removed daily, during times of heavy track-out, such as during rains, cleaning may be done several times throughout the day; (13.3) all streets shall be swept at the end of each working day and prior to a rain event; (13.4) unknown spills or objects will not be mixed with the sediment; and (13.5) if sediment is mixed with other pollutants, it will be disposed of properly at an authorized landfill.

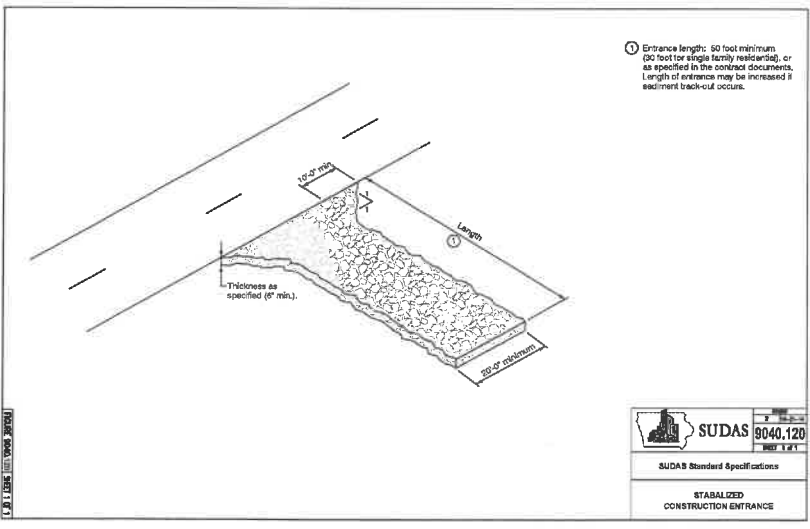


NOTES:
FOR SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM
INSTALLATION:
REMOVE GRATE
DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LP OF CASTING OR CONCRETE STRUCTURE
REPLACE GRATE
MATERIALS:
FRAMING - 11 GAUGE STEEL; CORROSION RESISTANT
SEDIMENT BAG - WOVEN GEOTEXTILE FABRIC; 2 CUBIC FOOT TYP VOLUME;
STAINLESS STEEL LOCKING BAND SECURING BAG TO FRAME

CURB BOX FILTER INLET PROTECTION
NTS EC212

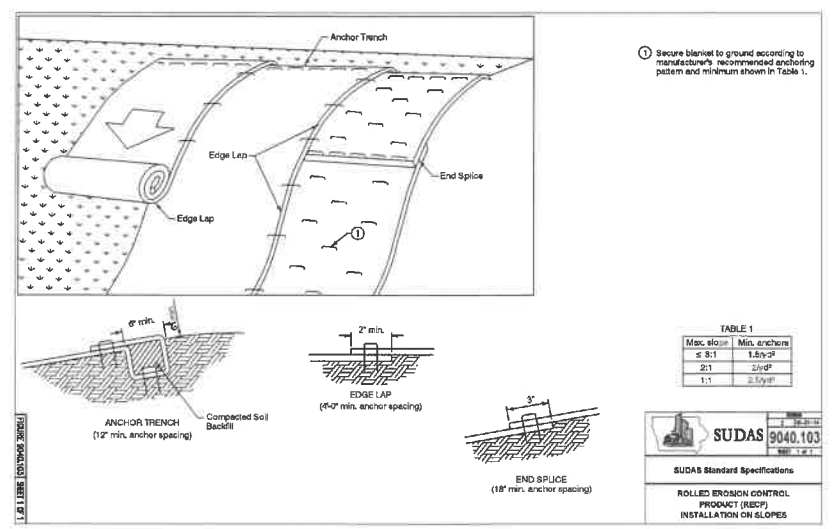


SUDAS 9040.119	
SUDAS Standard Specifications	
SILT FENCE	



Entrance length: 50 feet minimum (20 feet for single family residential), or as specified in the contract documents. Length of entrance may be increased if sediment track-out occurs.

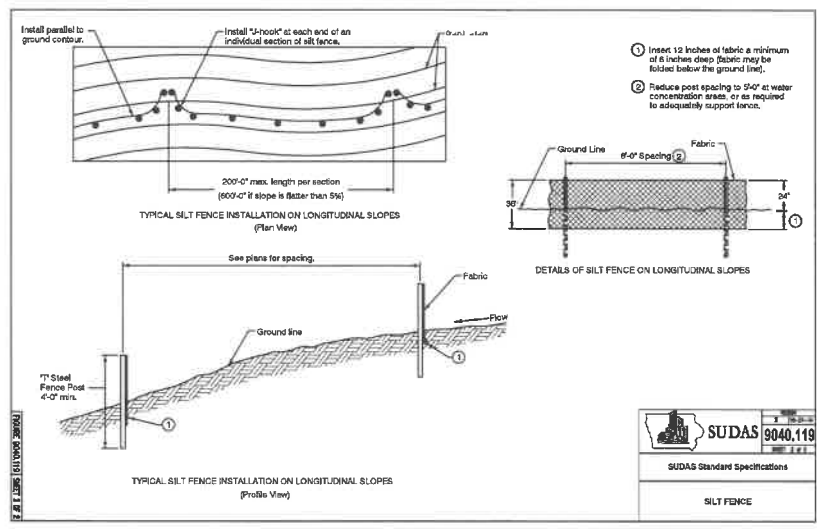
SUDAS 9040.120	
SUDAS Standard Specifications	
STABILIZED CONSTRUCTION ENTRANCE	



Secure blanket to ground according to manufacturer's recommended anchoring pattern and minimum shown in Table 1.

Max. slope	Min. anchors
≤ 8:1	1.5x/3'
2:1	2x/3'
1:1	3.5x/3'

SUDAS 9040.103	
SUDAS Standard Specifications	
ROLLED EROSION CONTROL PRODUCT (RECP) INSTALLATION ON SLOPES	



Insert 12 inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).
Reduce post spacing to 36" at water concentration areas, or as required to adequately support fence.

SUDAS 9040.119	
SUDAS Standard Specifications	
SILT FENCE	



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

KINDERCARE WEST DES MOINES
WEST DES MOINES IA

ISSUE SCHEDULE		
DATE	DESCRIPTION	BY
11/04/19	CLIENT REVIEW SET	ARA
11/13/19	CITY SITE PLAN SUBMITTAL #1	ARA
01/13/20	CITY SITE PLAN SUBMITTAL #2	ARA
02/17/20	CITY SITE PLAN SUBMITTAL #3	ARA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 19-23523
FILE NAME 23523 C1-SWPPP
DRAWN BY ARA
DESIGNED BY ARA/RA
REVIEWED BY RAJART
ORIGINAL ISSUE DATE --/--
CLIENT PROJECT NO. --

TITLE **EROSION & SEDIMENT CONTROL NOTES AND DETAILS**
SHEET **C901**

PRELIMINARY NOT FOR CONSTRUCTION

CLIENT

EIGHT

3221 W Big Beaver, Suite 111
Troy, MI, 48064

COPYRIGHT

This drawing has been prepared solely for the intended use, and any reproduction or distribution for any purpose other than authorized by EIGHT Group is prohibited. Without limitation, this drawing shall not be used for any other project. Contractors shall verify and be responsible for all dimensions and conditions on the job, and EIGHT Group shall be relieved of any liability from the drawings and conditions shown on the drawing. Once the drawing is submitted to the City for general conformances before proceeding with fabrication.
EIGHT Group - Michigan LLC
is a member of the EIGHT Group of companies

ISSUES

No.	DESCRIPTION	DATE
A	SITE PLAN REVIEW	1-1-15
B	SITE PLAN REVIEW REV 01	2019-01-09

NOT FOR CONSTRUCTION



CONSULTANTS

WSP WSP USA BUILDINGS INC.
600 WEST CHICAGO AVENUE
SUITE 600
CHICAGO, ILLINOIS 60654
TEL: +1312.274.2400
www.wsp.com

SEAL



KinderCare
EDUCATION

PROJECT
KINDERCARE LEARNING CENTER

WEST DES MOINES, IA

PROJECT NO:

122889

DRAWN BY:

C.GREER

CHECKED BY:

E.SHELHINE

PROJECT MGR:

M.STOCK

APPROVED BY:

L.SIMIGLIANI

SCALE:

As Indicated

DATE:

2019-11-08

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

AE2-001a

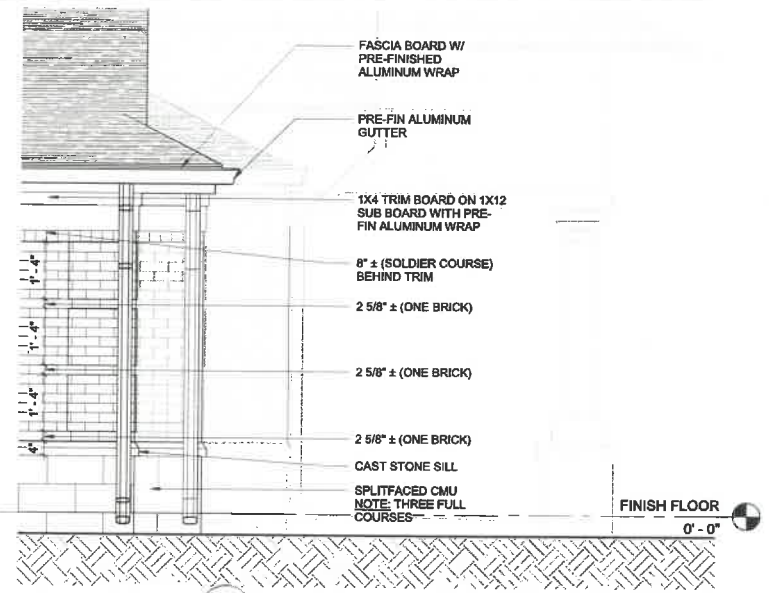
ISSUE

A

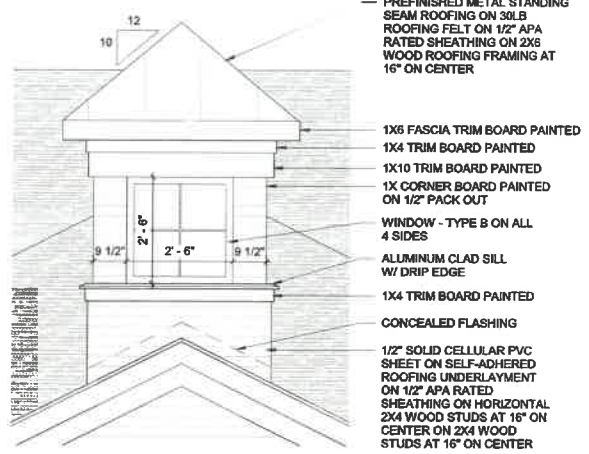
EXTERIOR ELEVATION MATERIALS

SYMBOL	ITEM	MANUFACTURER	MODEL	COLOR / FINISH	REMARKS
M-1	BRICK	BRAMPTON BRICK	CROSSROADS SERIES	JASPER	IF BRICK IS NOT READILY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE
M-2	ASPHALT SHINGLES	GAF ROOFING	TIMBERLINE HD - LIFETIME SHINGLES	WEATHERED WOOD	
M-3	BREAK METAL TRIM	QUALITY EDGE	TRULINE EMBOSSED TRIM COIL	807 CLAY	
M-4	CEMENT BOARD SIDING	JAMES HARDIE	5" HORIZONTAL LAP SIDING	COBBLESTONE	
M-5	SILLS & COLUMNS	ESCHELON MASONRY	CORDOVA STONE	LIMESTONE GROUNDFACE	
M-6	PRE-FIN ALUM GUTTER	PLY-GEM MASTIC	6" GUTTER COIL, 27 GAGE	PEBBLESTONE CLAY	
M-8	STANDING SEAM METAL ROOF	McELROY METAL	INSTALOC STANDING SEAM SYSTEM, STYLE - PLANK PROFILE	COPPER PENNY METALLIC	
M-9	SPLIT FACE CMU	ESCHELON MASONRY	MESASTONE	COUNTY GRAY	IF CMU IS NOT READILY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE

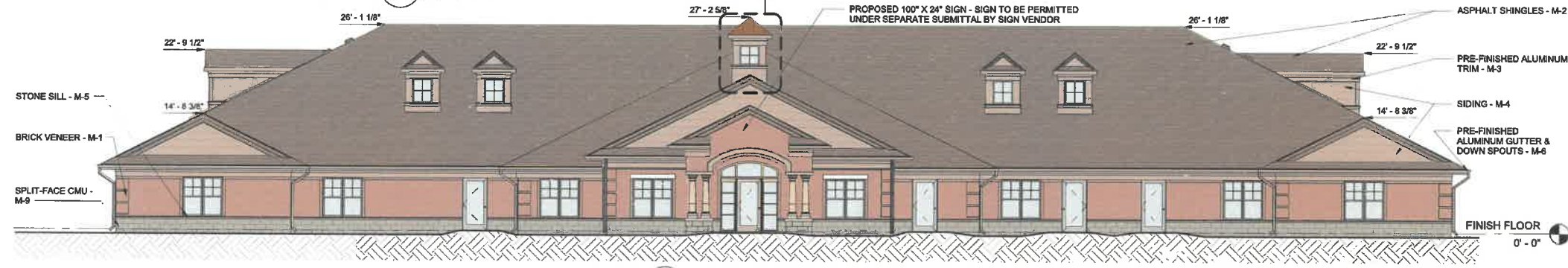
NOTE:
- PAINT EXT DOORS AND FRAMES SW7071 SCREEN GRAY.
- TYPICAL DORMERS M-4 SIDING, PAINT TRIM SW9172 TO MATCH.
- CUPOLA TO BE PAINTED CLAY & DESERT SAND, PAINT SW9117 TO MATCH M-3.



4 ELEVATION DETAIL - QUION
AE2-001a Scale: 1/2" = 1'-0"



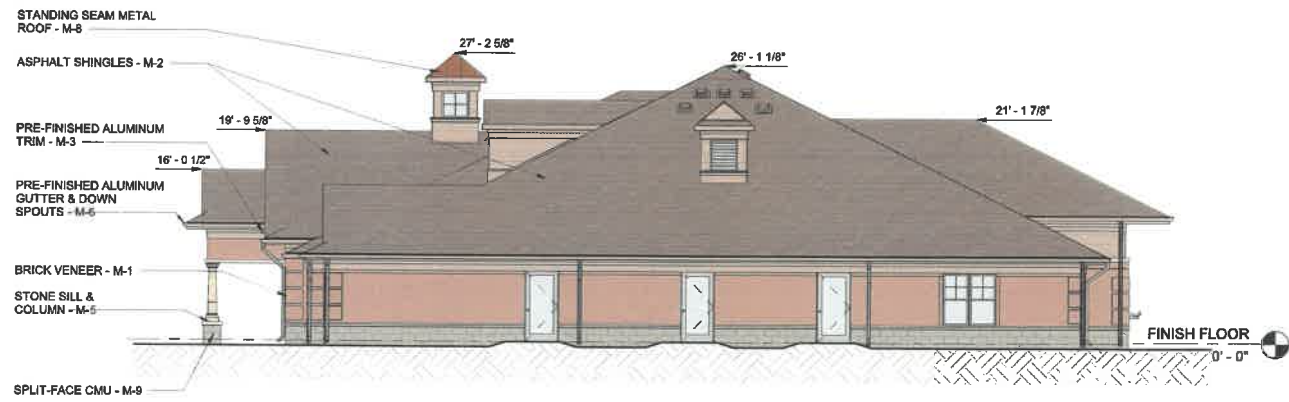
3 ELEVATION DETAIL - CUPOLA
AE2-001a Scale: 1/2" = 1'-0"



2 EAST ELEVATION
AE1-100a Scale: 1/8" = 1'-0"



6 WEST ELEVATION
AE1-100a Scale: 1/8" = 1'-0"



5 NORTH ELEVATION
AE1-100a Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION
AE1-100a Scale: 1/8" = 1'-0"

C:\Users\kconner\OneDrive\Documents\AE2\001\AE2-001a.dwg, 8/14/2019, 10:44:00 AM, 1/8" = 1'-0"