

Welcome to the May 26, 2020 West Des Moines Plan and Zoning Commission Meeting

Here are a few housekeeping items before we get started:

- You will be muted by default when joining the meeting. The Commission Chair will first ask for the applicant's and then staff's presentation on an agenda item. After the applicant and staff have presented, the Commission Chair will ask for public comment. At this point, please raise your hand to indicate you wish to speak. The Chair will then call on you and you will be unmuted.



Raise Hand:

Location - Click participants in your bottom Zoom toolbar, you will see a box pop up with this at the bottom of the participants window:



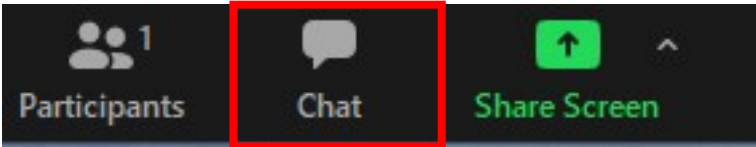
If you are participating by phone, dial *9 to raise or lower your hand

- When the meeting is in session, please write in the chat window (click the speech bubble icon in the bottom bar) and let us know if you can't see or hear something or you are having other issues



Chat:

Location - Click on the speech bubble in your bottom Zoom toolbar



- If you have the meeting display on Full Screen, the Participants or Chat window may be hidden. Chose "Exit Full Screen" at the top right corner and the meeting display will shrink and you will have room to show these windows off to the side of the main display.

AGENDA
PLAN AND ZONING COMMISSION MEETING
Members of the public wishing to participate in this meeting may
do so telephonically, by calling:

Dial in: 1-301-715-8592 or 1-312-626-6799 / Meeting ID: 917 2216 3463 Password:
05262020

Tuesday, May 26, 2020

5:30 p.m.

Roll Call

1. Consent Agenda

- a. Approval of Minutes of May 11, 2020 meeting

2. Public Hearings

- a. Tallyn's Reach, Northwest corner of the intersection of 88th Street and Booneville Road – Amend Comprehensive Plan Land Use Map to change approximately 12.5 acres of Neighborhood Commercial (NC) to Single Family (SF) and Medium Density Residential (MD) land use and amend the Tallyn's Reach Planned Unit Development (PUD) to change the Parcel I from Neighborhood Commercial (NC) to Parcel J - Residential Single Family (RS-5) and Parcel G - Medium Density Residential (RM-12) and establish regulations to accommodate development of 52 rowhouses and 21 single family homes – Clark Family Investors – CPA-004674-2020 and ZC-004675-2020 (*Continued from May 11, 2020*)

Recommendation: Continuation to June 8th meeting

3. Old Business

4. New Business

- a. Lots 3 and 4 All State Industrial – 1690 and 1730 All State Court – approval of a Phased Site Plan to allow grading of the site and installation of underground private utilities – Next Phase Development – SP-004641-2020

Resolution: *Recommend Approval of Phased Site Plan*

- b. Della Vita Townhomes Phase 2 Revised, Northwest corner of EP True Parkway and 88th Street – Approval of a site plan to construct 36 townhome units – Della Vita, LLC – SP-004615-2020

Resolution: *Recommend Approval of Site Plan*

- c. Review of Ponderosa Urban Renewal Plan for Conformity with the General Plan (Comprehensive Plan)

Resolution: *Finding of Conformity with the General Plan*

5. Staff Reports

- a. Next Meeting Date – June 8, 2020

6. Adjournment

**Item 2a - Tallyn's Reach (Banks Landing) – Amend Comprehensive Plan Land Use Map
and amend the Tallyn's Reach Planned Unit Development (PUD)**

**The Applicant is requesting a continuation of the hearing to the
June 8, 2020 Plan and Zoning Commission meeting**

Item 4a - Lots 3 and 4, All State Industrial – Approval of a Phased Site Plan

To participate on this item:

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- The Chair will then call on you and you will be unmuted.

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- When a motion is made and a vote is called for, ONLY the Commission members vote.



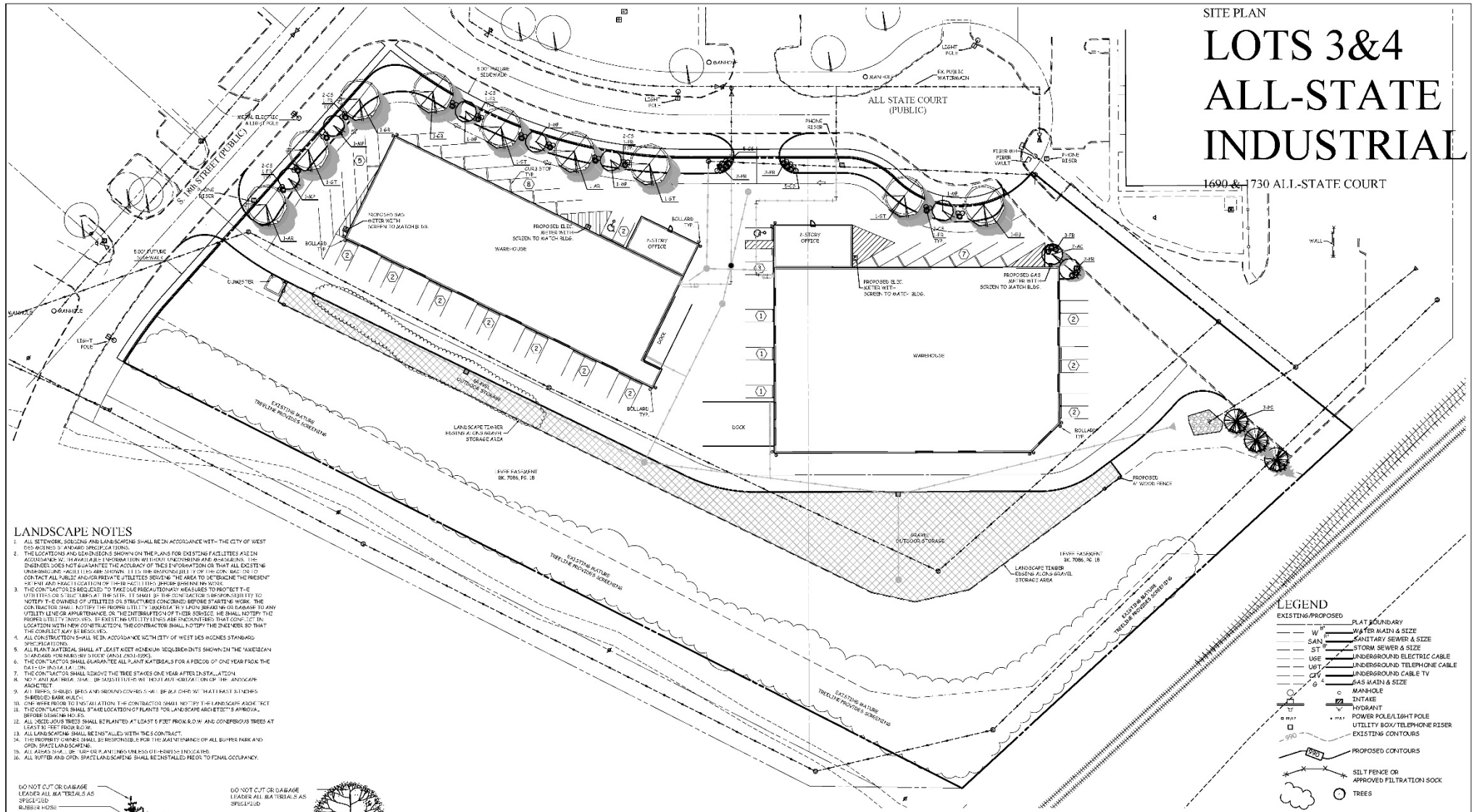
Lots 3 & 4 All State Industrial



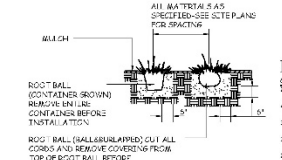
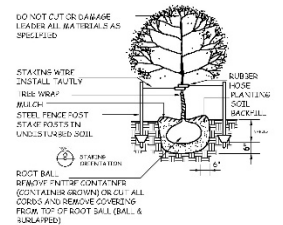
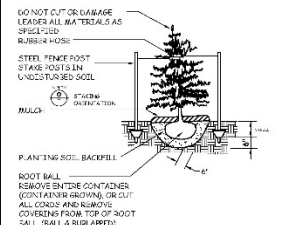
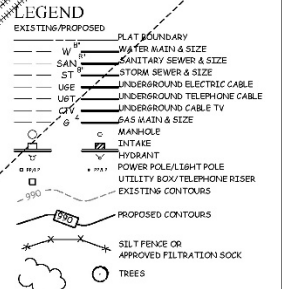


LOTS 3&4 ALL-STATE INDUSTRIAL

1690 & 1730 ALL-STATE COURT



- ### LANDSCAPE NOTES
1. ALL SITEWORK, SOILING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS.
 2. THE LOCATIONS AND SPECIES SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITH REGARD TO EXISTING FACILITIES. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL UTILITIES AGENCIES TO OBTAIN THE AREA TO BE WORKED TO VERIFY THE PRESENT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES OF ANY AND ALL UTILITIES TO BE EXCAVATED OR TO BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE UTILITIES OF ANY AND ALL UTILITIES TO BE EXCAVATED OR TO BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE UTILITIES OF ANY AND ALL UTILITIES TO BE EXCAVATED OR TO BE PROTECTED BY THE CONTRACTOR.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES OF ANY AND ALL UTILITIES TO BE EXCAVATED OR TO BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE UTILITIES OF ANY AND ALL UTILITIES TO BE EXCAVATED OR TO BE PROTECTED BY THE CONTRACTOR.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS.
 5. ALL PLANT MATERIAL SHALL BE AT LEAST ONE YEAR OLD AND SHALL BE SHOWN ON THE PLANS WITH SPECIES, SIZE, AND PLANTING DETAILS FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION.
 6. THE CONTRACTOR SHALL REMOVE THE TREE STAKES ONE YEAR AFTER INSTALLATION.
 7. THE CONTRACTOR SHALL REMOVE THE TREE STAKES ONE YEAR AFTER INSTALLATION.
 8. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS.
 9. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LANDSCAPE ARCHITECT BEFORE REMOVING ANY PLANTS.
 11. THE CONTRACTOR SHALL STAKE THE LOCATION OF PLANTS TO LANDSCAPE ARCHITECT'S APPROVAL BEFORE REMOVING ANY PLANTS.
 12. ALL DECIDUOUS TREES SHALL BE PLANTED AT LEAST 6 FEET FROM ROW AND CONSPICUOUS TREES AT LEAST 15 FEET FROM ROW.
 13. ALL LANDSCAPING SHALL BE INSTALLED WITH THE CONTRACTOR.
 14. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL BURIED PARK AND OPEN SPACE LANDSCAPING.
 15. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS.
 16. ALL SUFFER AND OPEN SPACE LANDSCAPING SHALL BE INSTALLED PRIOR TO FINAL OCCUPANCY.



PLANTING SCHEDULE

COUNT	QTY	SPECIES	COMMENTS	OFFER	CONDITION	REMARKS
2	01	ALLIUM	BLACK AZALEA	2 1/2' cal.	15 / 868	SEE PLAN
4	01	ALLIUM	BLACK AZALEA	2 1/2' cal.	15 / 868	SEE PLAN
2	01	ALLIUM	BLACK AZALEA	2 1/2' cal.	15 / 868	SEE PLAN
2	01	ALLIUM	BLACK AZALEA	2 1/2' cal.	15 / 868	SEE PLAN
2	01	ALLIUM	BLACK AZALEA	2 1/2' cal.	15 / 868	SEE PLAN
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2	01	ALLIUM	BLACK AZALEA	2 1/2' cal.	15 / 868	SEE PLAN
2	01	ALLIUM	BLACK AZALEA	2 1/2' cal.	15 / 868	SEE PLAN

OPEN SPACE LANDSCAPE REQUIREMENTS

BASED ON 20% MINIMUM OPEN SPACE REQUIREMENT (20% MINIMUM OPEN SPACE REQUIREMENT)

REQUIREMENTS: 20% MINIMUM OPEN SPACE REQUIREMENT (20% MINIMUM OPEN SPACE REQUIREMENT)

REQUIREMENTS: 20% MINIMUM OPEN SPACE REQUIREMENT (20% MINIMUM OPEN SPACE REQUIREMENT)

OFF STREET PARKING LANDSCAPE REQUIREMENTS

1 OFF-STREET PARKING SPACE PER 100 SQUARE FEET OF PARKING AREA

REQUIREMENTS: 1 OFF-STREET PARKING SPACE PER 100 SQUARE FEET OF PARKING AREA

REQUIREMENTS: 1 OFF-STREET PARKING SPACE PER 100 SQUARE FEET OF PARKING AREA

COOPER CRAWFORD & ASSOCIATES, L.L.C.

CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1341 FAX: (515) 224-1345

DATE: 3-11-2020
REVISIONS: 3-10-2020

JOB NUMBER: CC 2292

SCALE: 1"=30'

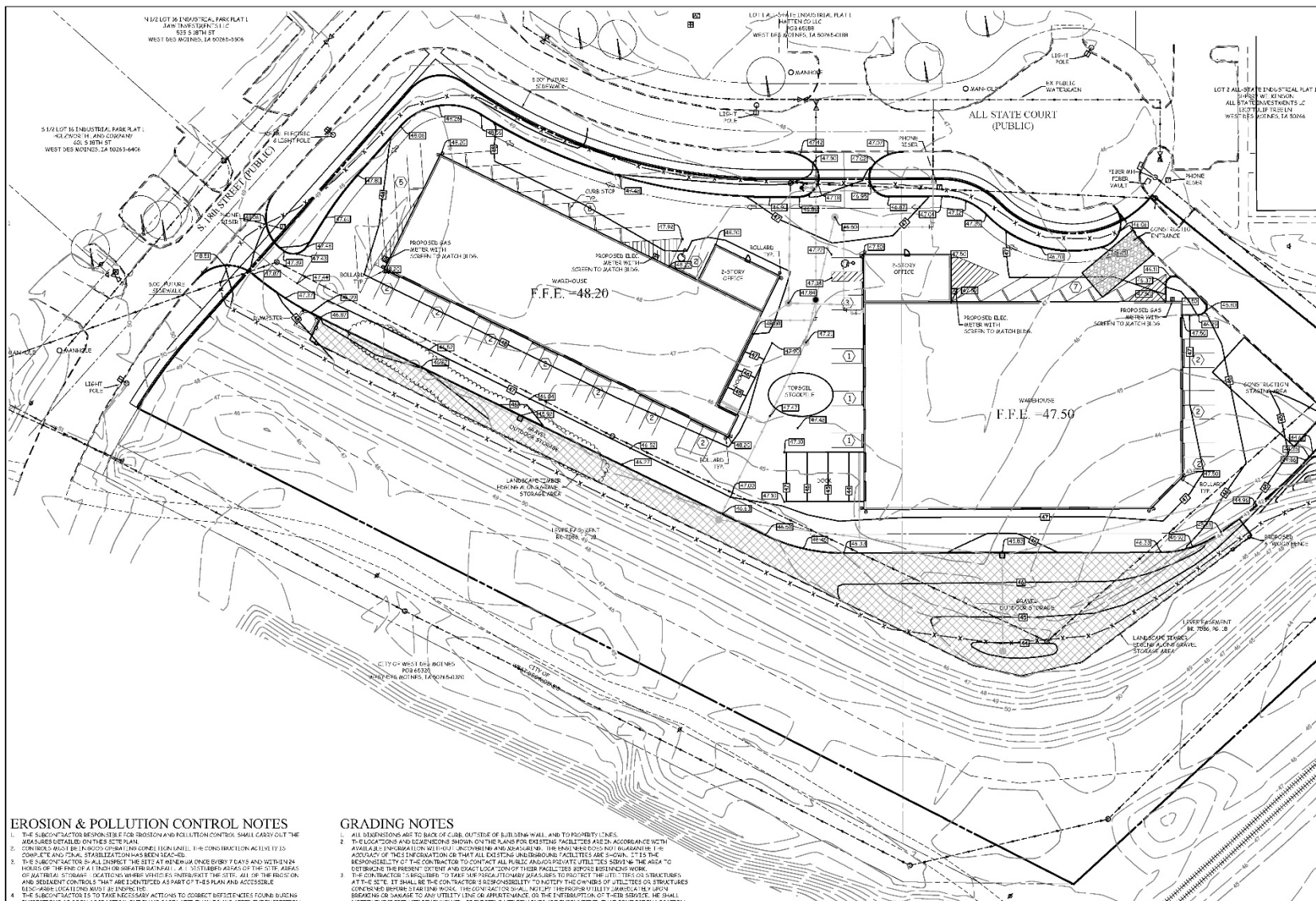
LANDSCAPE PLAN

LOTS 3 & 4 ALL-STATE INDUSTRIAL PLAT 1

SHEET 5 OF 5

LOTS 3&4 ALL-STATE INDUSTRIAL

1690 & 1730 ALL-STATE COURT



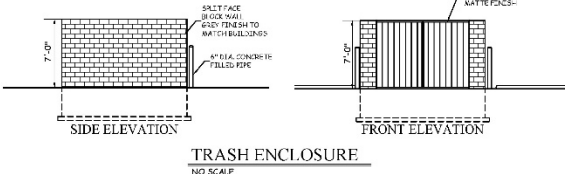
LEGEND

EXISTING/PROPOSED

- PLAT BOUNDARY
- WATER MAIN & SIZE
- SANITARY SEWER & SIZE
- STORM SEWER & SIZE
- UNDERGROUND ELECTRIC CABLE
- UNDERGROUND TELEPHONE CABLE
- UNDERGROUND CABLE TV
- GAS MAIN & SIZE
- MAN-HOLE
- INTAKE
- HYDRANT
- POWER POLE/LIGHT POLE
- UTILITY BOX/TELEPHONE RESER
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SILT FENCE OR APPROVED FILTRATION SOCK
- TREES

- EROSION & POLLUTION CONTROL NOTES**
1. THE SUBCONTRACTOR RESPONSIBLE FOR EROSION AND POLLUTION CONTROL SHALL CARRY OUT THE MEASURES DETAILED ON THIS SITE PLAN.
 2. CONSIDERATION SHALL BE GIVEN TO THE CONSTRUCTION OF SLOTTED CURBS AND CURB STABILIZATION HAS BEEN REACHED.
 3. THE SUBCONTRACTOR SHALL SUBMIT THE SITE AT MINIMUM ON CONCRETE SLABS AND WITHIN 24 HOURS OF THE POUR OF A FINISH OR IMPERMEABLE ASPHALT. A LIST OF STABILIZATION PRODUCTS AND MATERIALS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL. ALL PRODUCTS SHALL BE APPLIED TO THE ENTIRE AREA OF THE PROJECT AND SEEDING CONTROLS THAT ARE IDENTIFIED AS PART OF THIS PLAN AND ACCESSIBLE AREAS LOCATIONS MUST BE MAINTAINED.
 4. THE SUBCONTRACTOR IS TO TAKE NECESSARY ACTIONS TO CORRECT DEFICIENCIES FOUND DURING INSPECTIONS AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION. IN THE EVENT OF A DEFICIENCY, THE SUBCONTRACTOR SHALL SUBMIT A CORRECTIVE ACTION PLAN TO THE CITY ENGINEER FOR APPROVAL.
 5. THE SUBCONTRACTOR SHALL KEEP LOG AND RECORD OVERSIGHTS DETAILING THE INSPECTIONS AND MEASURES TAKEN TO CORRECT ANY AND ALL DEFICIENCIES FOUND IN THE EROSION AND POLLUTION CONTROL MEASURES. THE RECORDS SHALL CONFORM TO THE STANDARDS SET BY THE CITY ENGINEER AND SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.
 6. AFTER THE CONSTRUCTION OF UTILITY CONNECTIONS, ALL UNDISTURBED AREAS OUTSIDE OF THE PROPOSED 50' WIDE TO HAVE TEMPORARY SEEDING AND MULCHING LESS SEEDING DETAIL FOR ANY AREAS CONSTRUCTION AND ACCESS TO BE TO BE MAINTAINED TO CONFORMANCE TO THE SPECIFICATIONS TO BE PROVIDED BY THE CITY ENGINEER.
 7. EROSION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AFTER THE COMPLETION OF CONSTRUCTION OF UTILITY CONNECTIONS.
 8. ANY FULFILLMENT OF SEEDING/MULCHING SHALL BE SAMPLED.
 9. ANY SOIL OR SILL MULCHING, BRACKEN OR BROWN OR RED OR BROWN OR WHITE OR GREY AND PROPERTY WILL BE CLEANED UP BY THE OWNER/CONTRACTOR WITHIN 24 HOURS.
 10. FILTER SOCKS ARE TO BE INSTALLED ON ALL EXPOSED AREAS AFTER EACH VEHICLE LOAD FOR UNDISTURBED AREAS AND ALL UNDISTURBED AREAS SHALL BE MAINTAINED TO CONFORMANCE TO THE SPECIFICATIONS TO BE PROVIDED BY THE CITY ENGINEER.
 11. FILTER SOCKS ARE TO BE INSTALLED ON ALL EXPOSED AREAS AFTER EACH VEHICLE LOAD FOR UNDISTURBED AREAS AND ALL UNDISTURBED AREAS SHALL BE MAINTAINED TO CONFORMANCE TO THE SPECIFICATIONS TO BE PROVIDED BY THE CITY ENGINEER.
 12. FILTER SOCKS ARE TO BE INSTALLED ON ALL EXPOSED AREAS AFTER EACH VEHICLE LOAD FOR UNDISTURBED AREAS AND ALL UNDISTURBED AREAS SHALL BE MAINTAINED TO CONFORMANCE TO THE SPECIFICATIONS TO BE PROVIDED BY THE CITY ENGINEER.
 13. FILTER SOCKS ARE TO BE INSTALLED ON ALL EXPOSED AREAS AFTER EACH VEHICLE LOAD FOR UNDISTURBED AREAS AND ALL UNDISTURBED AREAS SHALL BE MAINTAINED TO CONFORMANCE TO THE SPECIFICATIONS TO BE PROVIDED BY THE CITY ENGINEER.
 14. FILTER SOCKS ARE TO BE INSTALLED ON ALL EXPOSED AREAS AFTER EACH VEHICLE LOAD FOR UNDISTURBED AREAS AND ALL UNDISTURBED AREAS SHALL BE MAINTAINED TO CONFORMANCE TO THE SPECIFICATIONS TO BE PROVIDED BY THE CITY ENGINEER.
 15. FILTER SOCKS ARE TO BE INSTALLED ON ALL EXPOSED AREAS AFTER EACH VEHICLE LOAD FOR UNDISTURBED AREAS AND ALL UNDISTURBED AREAS SHALL BE MAINTAINED TO CONFORMANCE TO THE SPECIFICATIONS TO BE PROVIDED BY THE CITY ENGINEER.
 16. FILTER SOCKS ARE TO BE INSTALLED ON ALL EXPOSED AREAS AFTER EACH VEHICLE LOAD FOR UNDISTURBED AREAS AND ALL UNDISTURBED AREAS SHALL BE MAINTAINED TO CONFORMANCE TO THE SPECIFICATIONS TO BE PROVIDED BY THE CITY ENGINEER.
 17. FILTER SOCKS ARE TO BE INSTALLED ON ALL EXPOSED AREAS AFTER EACH VEHICLE LOAD FOR UNDISTURBED AREAS AND ALL UNDISTURBED AREAS SHALL BE MAINTAINED TO CONFORMANCE TO THE SPECIFICATIONS TO BE PROVIDED BY THE CITY ENGINEER.
 18. EROSION CONTROL CONTRACTOR SHALL BE LICENSED UNDER LICENSE NUMBER 518 801 4063.

- GRADING NOTES**
1. ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
 2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLAN FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION AND RECORDS. THE INFORMATION AND RECORDS ARE SUBJECT TO THE ACCURACY OF THE INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND PRIVATE UTILITIES TO DETERMINE THE PRESENT EXISTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE BEGINNING WORK. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES UNLESS SPECIFICALLY BEING REMOVED OR DAMAGED TO ANY UTILITY LINE OR APPLICABLE ON THE INTRODUCTION OF THEIR SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE BEGINNING WORK. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES UNLESS SPECIFICALLY BEING REMOVED OR DAMAGED TO ANY UTILITY LINE OR APPLICABLE ON THE INTRODUCTION OF THEIR SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE BEGINNING WORK. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES UNLESS SPECIFICALLY BEING REMOVED OR DAMAGED TO ANY UTILITY LINE OR APPLICABLE ON THE INTRODUCTION OF THEIR SERVICE.
 4. STOP WORK FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT.
 5. STOP WORK FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT.
 6. ALL AREAS TO BE FILLED OR CUT SHALL BE FILLED TO A BIRTH OF 2 INCHES.
 7. PREPARE BOTTOM OF HILLS OR TILLS BY BEING TO A BIRTH OF 2 INCHES.
 8. ALL SILL BRIMS SHALL BE RECONSTRUCTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR AND MEET ALL CITY ENGINEER'S REQUIREMENTS.
 9. MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE TREATMENT AT ALL TIMES.
 10. FENCE BRACKEN WITH FULFILLMENT OF CONFORMANCE ALL OTHER AREAS TO BE WITHIN 2' OF PLANTING.
 11. A CONNECTION OF ONE FOOT OF CONCRETE CONCRETE SHALL BE PROVIDED BENEATH ALL MOVEMENTS.
 12. ALL CONNECTIONS SHALL BE IN ACCORDANCE WITH THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS.
 13. EXISTING UTILITIES SHALL BE MAINTAINED TO THE EXTENT POSSIBLE TO ACCORDANCE WITH UTILITY AND STREET CONSTRUCTION.
 14. ALL WORK WITHIN PUBLIC ROW CONNECTION TO PUBLIC IMPROVEMENTS, AND ALL WORK ASSOCIATED WITH PUBLIC IMPROVEMENTS SHALL CONFORM WITH WEST DES MOINES STANDARD SPECIFICATIONS INCLUDING ALL APPLICABLE FOUNDATION.
 15. FOUNDATIONS SURROUNDING WOOD SHALL EXTEND AT LEAST 6" ABOVE ADJACENT GRADE AND THE CLEARANCE BETWEEN ANY BEAMS AND GRADE AND THE SOIL SHALL BE A MINIMUM OF 6".
 16. THE FOUNDATION SHALL BE INSTALLED TO THE FOUNDATION SHALL BE 5' OFFER AWAY FROM THE BUILDING AND AT LEAST 1' FROM THE EXISTING FOUNDATION.
 17. THE WEST DES MOINES UTILITIES ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PUBLIC UTILITIES AND CONNECTIONS, INCLUDING THE BIRTH OF 2 INCHES.
 18. ANY GRADING WITHIN PUBLIC ROW SHALL BE TO CONFORM WITH THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS.
 19. ALL SILL BRIMS SHALL BE RECONSTRUCTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR AND MEET ALL CITY ENGINEER'S REQUIREMENTS.
 20. CROSS SLOPE ON ALL SIDEWALKS NOT TO EXCEED 2.0%.
 21. ALL SLOPES ARE TO TOP OF GRADE UNLESS OTHERWISE NOTED.



COOPER CRAWFORD & ASSOCIATES, L.L.C.
CIVIL ENGINEERS

475 S. 50TH STREET, SUITE 800, WEST DES MOINES, IOWA 50325
PHONE: (515) 224-1344 FAX: (515) 224-1345

REVISIONS: 3-26-2020 4:59:30PM
JOB NUMBER: CC 2292

GRADING PLAN
LOTS 3 & 4 ALL-STATE INDUSTRIAL PLAT 1

SHEET 2 OF 5

IOWA ONE-CALL 800-255-8888

Item 4b - Della Vita Townhomes Phase 2 Revised – Approval of a Site Plan

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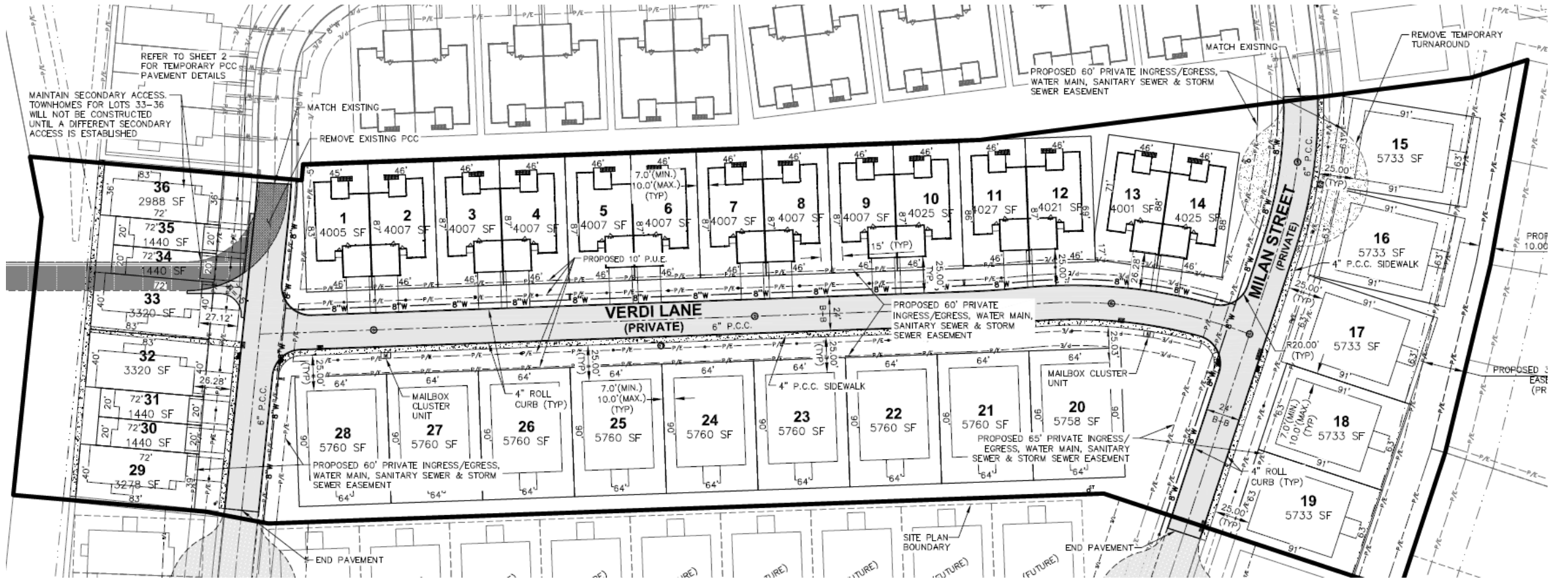
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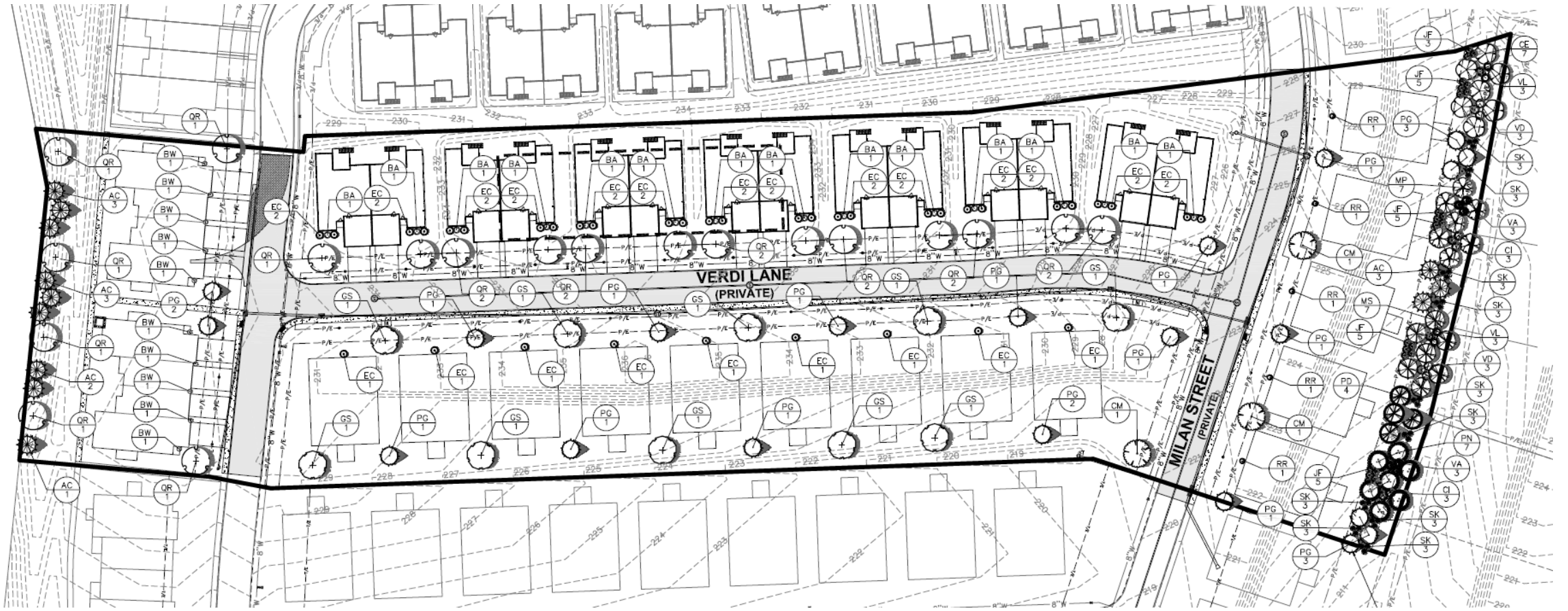
Della Vita Townhomes Phase 2

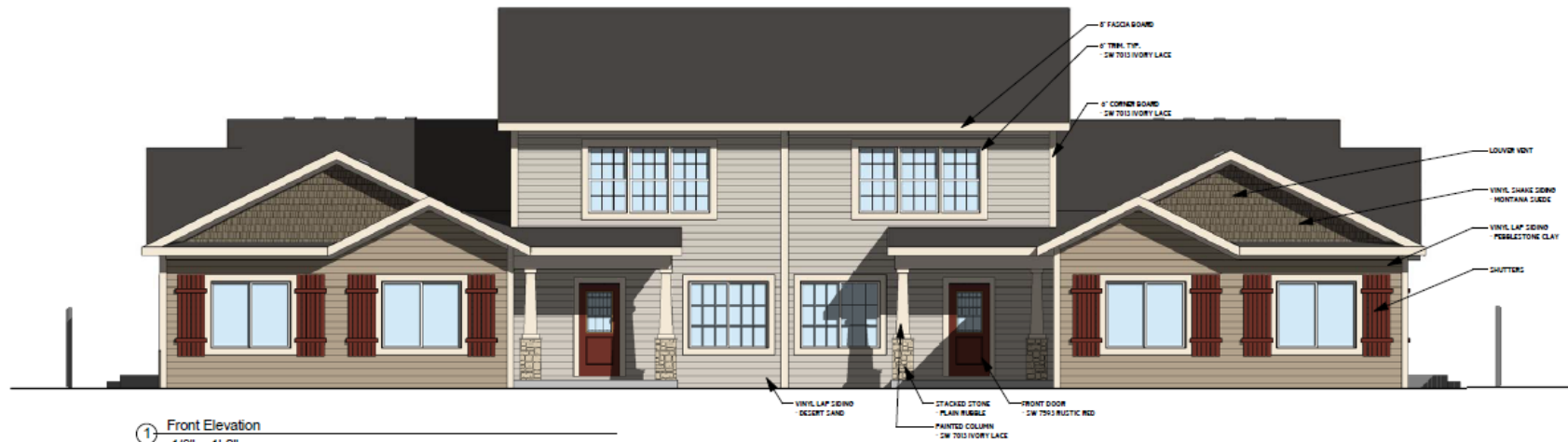


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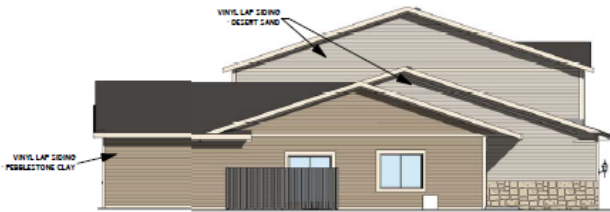




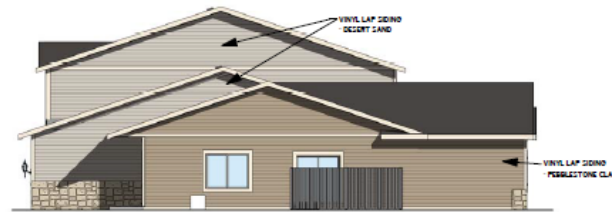
① Front Elevation
1/8" = 1'-0"



② Rear Elevation
1/8" = 1'-0"



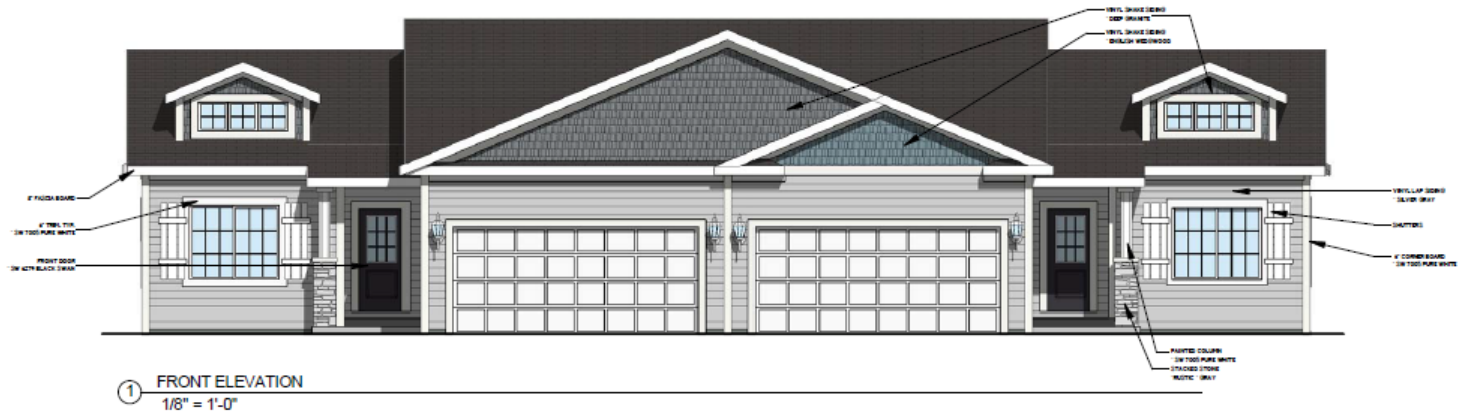
③ Left Elevation
1/16" = 1'-0"



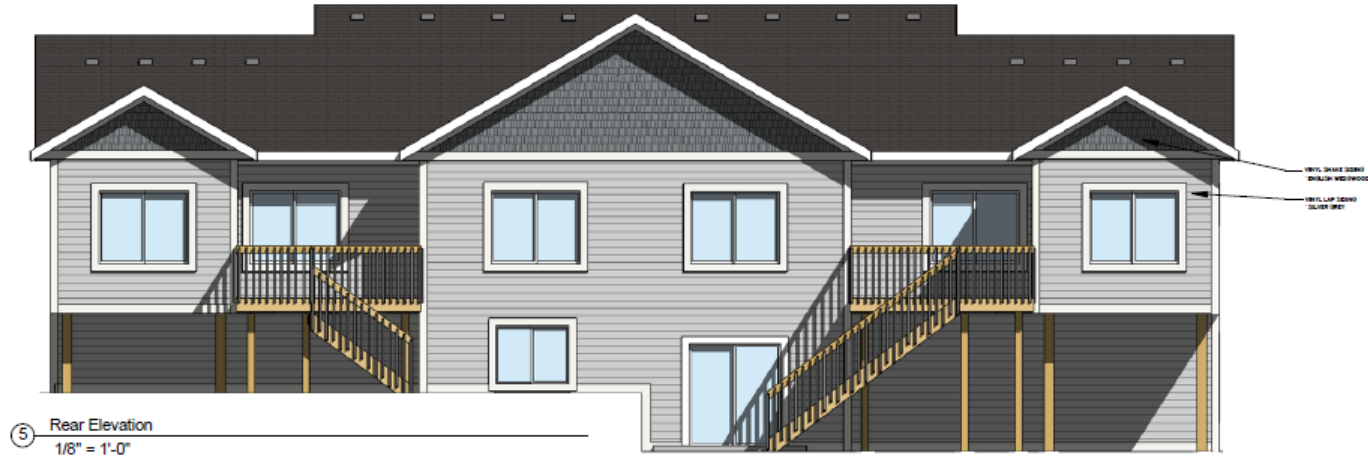
④ Right Elevation
1/16" = 1'-0"

2' - 0"
1" = 1"

Client: _____ Date: _____
Issue Date: 5/16/2017 2:44:16 PM



① FRONT ELEVATION
1/8" = 1'-0"



⑤ Rear Elevation
1/8" = 1'-0"

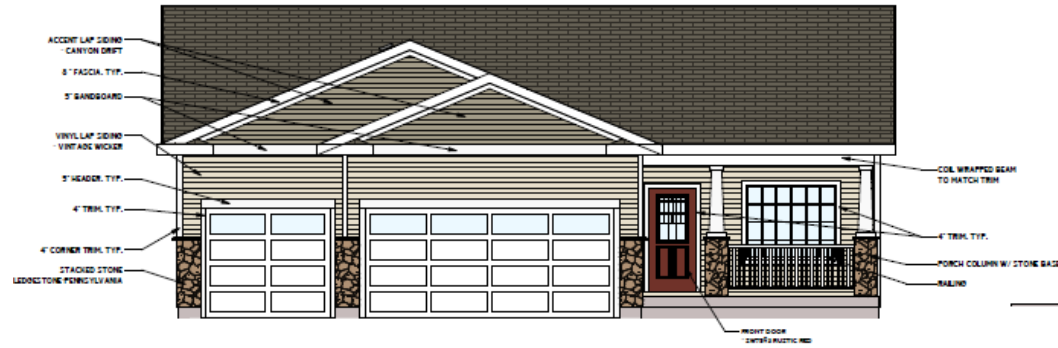


④ RIGHT ELEVATION - STREET VIEW
1/16" = 1'-0"

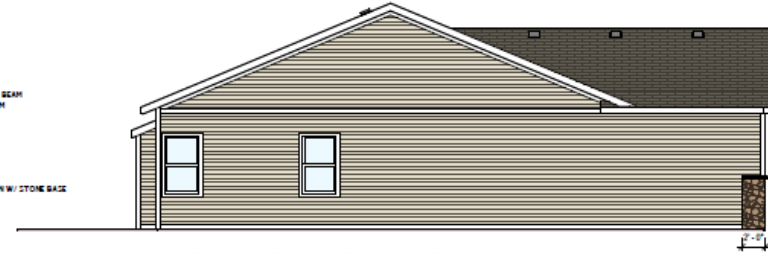


③ LEFT ELEVATION - STANDARD VIEW
1/16" = 1'-0"

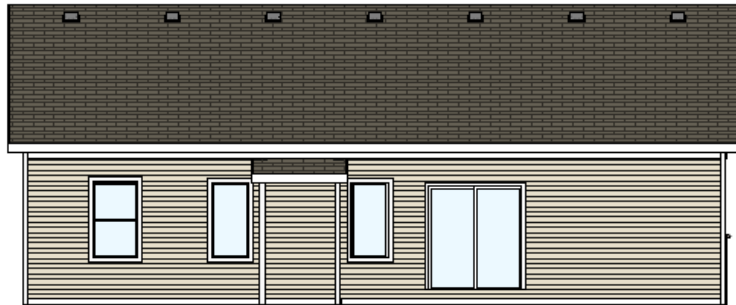
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Issue Date: 4/14/2017 4:46:36 PM



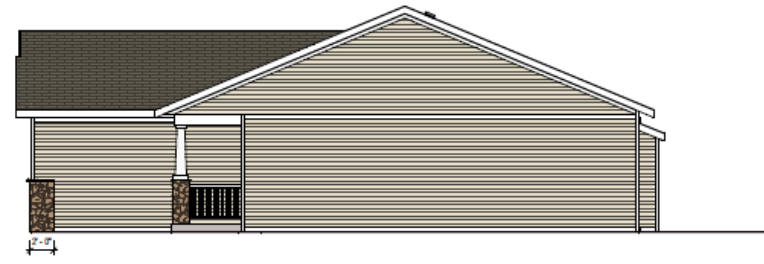
① Front Elevation - B - Colored Elevation
1/8" = 1'-0"



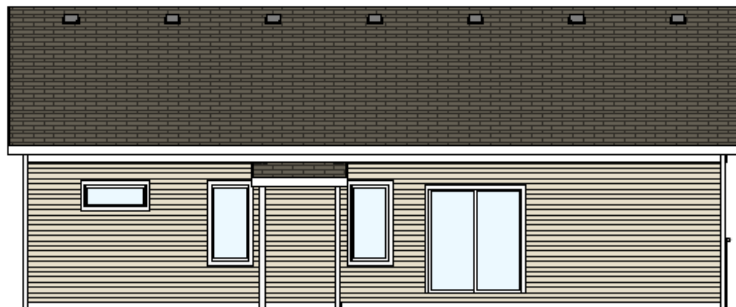
③ Left Elevation - Elevation B - Colored Elevation - Standard
3/32" = 1'-0"



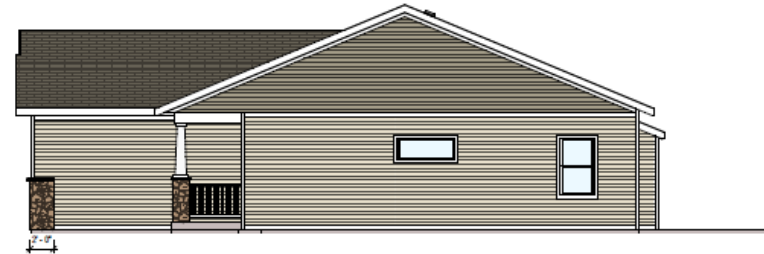
② Rear Elevation - Elevation B - Colored Elevation - Standard Side Elevation
1/8" = 1'-0"



⑥ Right Elevation - Elevation B - Colored Elevation - Standard
3/32" = 1'-0"



⑤ Rear Elevation - Elevation B - Colored Elevation - Public Side Elevation
1/8" = 1'-0"



④ Right Elevation - Elevation B - Colored Elevation - Public
3/32" = 1'-0"

Item 4c - Review of Ponderosa Urban Renewal Plan for Conformity with the General Plan

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When you are unmuted – please state your name and address for the record before you make your comments.



Raise Hand:

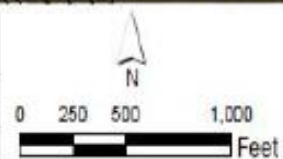
Location - Click participants in your bottom Zoom toolbar, you will see a box pop up with this at the bottom of the participants box:



- Please note, it is entirely at the Chair's discretion to limit the length of time that individuals may speak, as well as whether to allow individuals to speak a second time.
- When a motion is made and a vote is called for, ONLY the Commission members vote.



	PROJECT	Project Host		
	LOCATION	Urban Renewal Area		
	AUTHOR	BJM	DATE	2/17/2020
	SHEET	1 OF 1		



Legend

Proposed Urban Renewal Area