

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: July 13, 2020

Item: Midtown Redevelopment, 1221 through 1261 8th Street– Approval of a Site Plan and Preliminary Plat to allow development of a commercial and residential vertical mixed-use development – JGC Holdings, LLC – SP-0004688-2020 and PP-004587-2020

Requested Action: Recommend Approval of a Preliminary Plat and Approval of a Site Plan

Case Advisor: J. Bradley Munford

Applicant's Request: The applicant and owner, JGC Holdings, LLC, represented by Michael Murphy of Larson Engineering, is requesting approval of a Site Plan and a 3 lot Preliminary Plat for that property located on the east side of 8th Street and encompassing properties addressed as 1261, 1249, 1247, 1245, 1243, 1241, 1237, 1235, 1231 and 1221 8th Street. The site plan allows for the construction of two buildings four stories in height with commercial and residential uses, while the third building is an existing restaurant building that will remain. An existing two-story office building will be removed from the site. The site will contain approximately 24,000 square feet of new commercial space and 83 apartment units.

History: The property was platted as a part of Colby's Factory Addition in 1946. It was replatted in 1971 and again in 1985. The larger office building was built in 1973. The southernmost restaurant building was constructed in 1970. On November 18, 2019, the City Council approved a rezoning for the establishment of the Midtown PUD.

City Council Subcommittee: This item was presented to the Development & Planning City Council Subcommittee at their April 20, 2020 meeting, as an informational item only. No discussion was had and no disagreement with the proposal was expressed.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues. Staff would summarize the following key points of interest:

- **Parkland Dedication Agreement:** City Code requires residential developments of more than 4-units provide for recreational amenities for the additional population as a result of the development. In the simplest of terms, parkland dedication requirements are determined by taking the number of dwellings being created by national standards for area of parkland per person to come up with an acreage amount to be provided. The dollar value of improvements to be provided is then determined based on the purchase price of the ground times the acres. Because of this being a mixed-use project in a generally commercially developed area, it has presented some unique challenges with identification of appropriate valuation from which to calculate the developer's contribution. The Parks Department recently had appraisal work done to determine a fair land price from which to calculate the developer's responsibilities. The applicant and the Parks Department continue to have conversation regarding the matter. To allow the applicant to move forward while this issue is resolved, staff is recommending a condition of approval requiring the execution of the Parkland Dedication Agreement prior to the issuance of a building permit for above ground construction and

implementation of the agreed upon improvements prior to issuance of any occupancy permits, including temporary occupancy permits for either the commercial or any dwelling unit.

- **Temporary construction easements and agreements:** The proposed plan shows some offsite work that connect the detention area on site to a shared stormwater structure to the east. The applicant is working with the adjacent property owner to obtain the necessary offsite agreements and temporary construction easements. The documents are currently awaiting signatures from the adjacent owner. To keep the project moving forward, the applicant is requesting a condition of approval that the offsite agreements and temporary construction easements are submitted to staff prior to the case being heard by the City Council. Staff is in support of this request and have added a condition of approval.
- **Project Phasing:** The applicant is proposing to develop the site in two phases. The timing of the phases will be back to back. The applicant wishes to have the northern building (phase one) occupied while they construct or finish the new southern building (phase two). The applicant has submitted a phased plan (Page C2.1 of Attachment B) that they are requesting is approved with the Site Plan. Staff is comfortable with the request and is recommending conditions that will allow for the phasing.
- **Building Design:** Staff has been working with the Applicant to develop architectural designs which fits the context of the area and is consistent with the president images included in the PUD. The proposed building design for the mixed use buildings are included as Attachment 'D'.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City

Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.

5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendation and Conditions of Approval: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Midtown Redevelopment Site Plan and Preliminary Plat to allow development of a commercial and residential vertical mixed-use development, subject to the applicant meeting all City Code requirements and the following:

1. The applicant acknowledging and agreeing that execution of the Parkland Agreement shall occur prior to the issuance of a building permit for above ground construction and that implementation of the agreed upon improvements prior to the issuance of occupancy permits, including temporary occupancy for either the commercial space or dwelling units.
2. The applicant acknowledging and agreeing to submit the necessary offsite agreements and temporary construction easements prior to the case being heard by the City Council.
3. Applicant acknowledging and agreeing that in order to occupy buildings within the Phase One area, all site improvements, including pavement and ADA markings, sidewalks, buffers, landscaping and lawns within that identified phase area will need to be completed. For the purposes of determining the required improvements, Phases are illustrated on Attachment C of this report.

Property Owner: JGC Holdings LLC.
Joseph Cordaro
950 Office Park Road, Suite 300
West Des Moines, Iowa 50265
JCordaro@Benchmarkreg.com

Applicant(s): Benchmark Real Estate Group
Jackie Nickolaus
950 Office Park Road, Suite 300
West Des Moines, Iowa 50265
JNickolaus@benchmarkreg.com

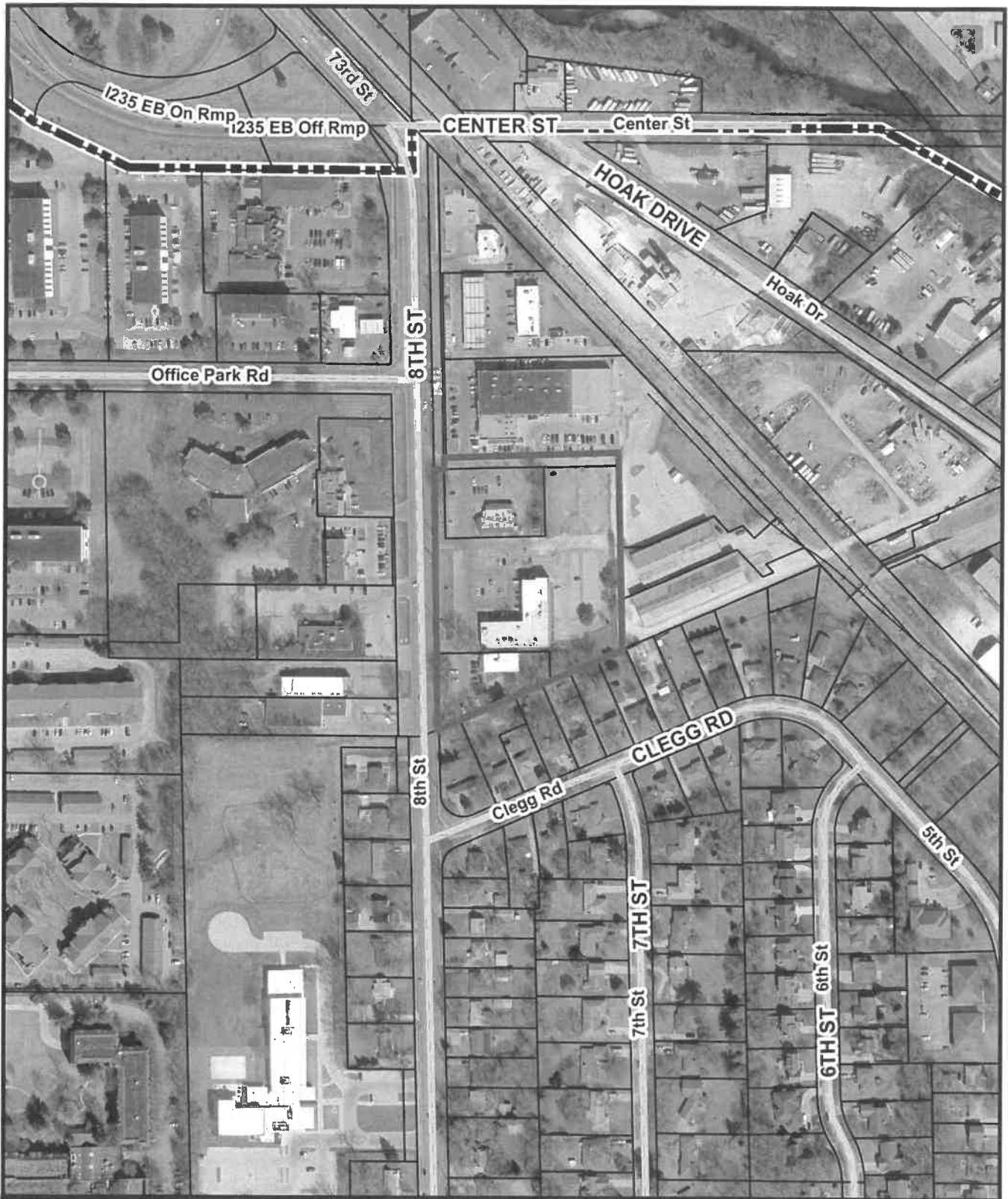
Applicant

Representative: Larson Engineering
Michael Murphy
1001 Office Park Road, Suite 120
West Des Moines, Iowa 50265
Mmurphy@Larsonengr.com

ATTACHMENTS:

- Attachment A - Location Map
- Attachment B - Site Plans**
- Attachment C - Building Elevations**
- Attachment D - Preliminary Plat **
- Attachment E - Plan and Zoning Commission Resolution
- Exhibit A - Conditions of Approval

**Plans and building elevations included in staff report are for illustrative purposes only – Approved plans on file with the City.



Midtown Redevelopment



PROJECT: MIDTOWN REDEVELOPMENT PUD

PARCEL LEGAL DESCRIPTIONS AND BENCHMARKS

PARCEL 1:
ALL THAT PART OF LOT 9 AND THAT PART OF THE SOUTH 25.0 FEET OF LOT 10, ALL IN COLBY'S FACTORY ADDITION, AN OFFICIAL PLAT NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 9; THENCE NORTH 88°45'37" EAST, A DISTANCE OF 27.00 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF 8TH STREET, AS PRESENTLY ESTABLISHED; THENCE NORTH 01°00'06" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 182.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE NORTH 01°00'06" WEST, A DISTANCE OF 242.67 FEET; THENCE NORTH 88°45'42" EAST, A DISTANCE OF 373.07 FEET; THENCE SOUTH 00°51'00" EAST, A DISTANCE OF 244.21 FEET; THENCE SOUTH 88°59'55" WEST, A DISTANCE OF 372.42 FEET TO THE POINT OF BEGINNING, CONTAINING 90.799 SQUARE FEET OR 2.08 ACRES, MORE OR LESS, AND SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.

PARCEL 2:
ALL THAT PART OF LOTS 8 AND 9 IN COLBY'S FACTORY ADDITION, AN OFFICIAL PLAT NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 9; THENCE NORTH 88°45'37" EAST, A DISTANCE OF 27.00 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF 8TH STREET, AS PRESENTLY ESTABLISHED, AND SAID POINT BEING THE POINT OF BEGINNING; THENCE NORTH 01°00'06" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 182.30 FEET; THENCE NORTH 88°59'55" EAST, A DISTANCE OF 372.42 FEET; THENCE SOUTH 00°51'00" EAST, A DISTANCE OF 180.45 FEET TO THE SOUTHEAST CORNER OF SAID LOT 8; THENCE SOUTH 66°28'22" WEST ALONG THE SOUTHERLY LINE OF SAID LOT 8, A DISTANCE OF 167.99 FEET; THENCE NORTH 00°51'00" WEST, A DISTANCE OF 83.41 FEET; THENCE SOUTH 88°45'37" WEST, A DISTANCE OF 216.84 FEET TO THE POINT OF BEGINNING, CONTAINING 72.450 SQUARE FEET OR 1.66 ACRES, MORE OR LESS, AND SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.

PARCEL 3:
ALL THAT PART OF LOT 8 IN COLBY'S FACTORY ADDITION, AN OFFICIAL PLAT NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 8; THENCE NORTH 66°28'22" EAST, A DISTANCE OF 29.23 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF 8TH STREET, AS PRESENTLY ESTABLISHED, AND SAID POINT BEING THE POINT OF BEGINNING; THENCE NORTH 01°00'06" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 152.41 FEET; THENCE NORTH 88°45'37" EAST, A DISTANCE OF 216.84 FEET; THENCE SOUTH 00°51'00" WEST, A DISTANCE OF 63.41 FEET TO THE SOUTHERLY LINE OF SAID LOT 8; THENCE SOUTH 88°28'22" WEST ALONG SAID LINE, A DISTANCE OF 234.67 FEET TO THE POINT OF BEGINNING, CONTAINING 23.396 SQUARE FEET OR 0.54 ACRES, MORE OR LESS, AND SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.

PARCEL 4 TO BE DEEDED TO CITY:
THE WEST 27 FEET OF LOTS 8 AND 9 AND THE EAST 5 FEET OF THE WEST 27 FEET OF THE SOUTH 25 FEET OF LOT 10, ALL IN COLBY'S FACTORY ADDITION, AN OFFICIAL PLAT NOW IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, ALL CONTAINING 0.35 ACRES, MORE OR LESS, AND SUBJECT TO ANY EASEMENTS OR RESTRICTION OF RECORD.

BM#1 WEST DES MOINES STD BM #66 NORTH CENTER OF BUFFALO RD 130 FEET WEST OF NORFOLK & SOUTHERN R.R. TRACKS ALONG EDGE OF SIDEWALK.
ELEVATION = 60.60

BM#2 WEST DES MOINES STD BM#65 INTERSECTION OF 8TH STREET AND CENTER STREET, SE CORNER OF INTERSECTION, 7 FEET EAST OF THE EAST CURB LINE OF TURN LANE ON 8TH STREET, 6 FEET SOUTH OF TRAFFIC HAND HOLE IN SOUTHEAST PARKING, BETWEEN EAST OF CURB AND SIDEWALK.
ELEVATION = 51.76

ZONING & COMPREHENSIVE PLAN

ZONING: PUD - MIDTOWN REDEVELOPMENT
COMPREHENSIVE PLAN: SC - SUPPORT COMMERCIAL

JGC HOLDINGS, LLC
950 OFFICE PARK ROAD
WEST DES MOINES, IA 50265

CITY CASE NUMBER: SP-004688-2020

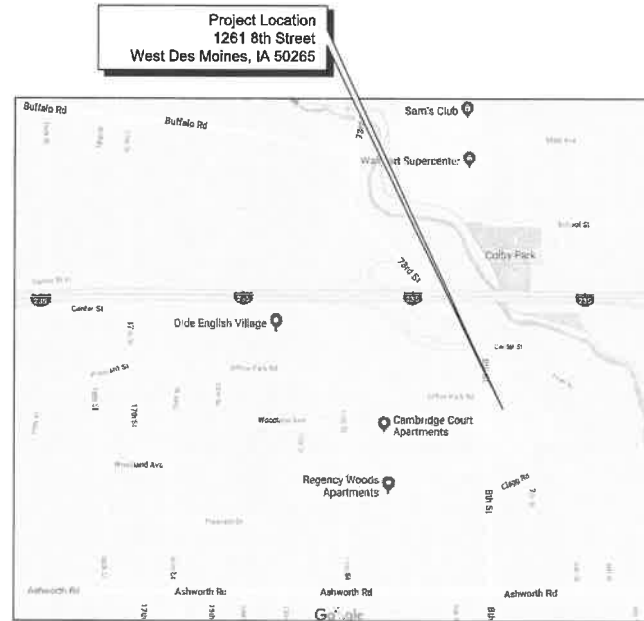
BUILDING/PARKING DATA

BUILDING AREAS/USES	
PARCEL A	
RESTAURANT:	4,800 S.F.
RETAIL:	4,800 S.F.
OFFICE:	2,800 S.F.
RESIDENTIAL:	41 UNITS (1-2 BEDROOM)
PARCEL B	
RESTAURANT:	4,800 S.F.
RETAIL:	4,800 S.F.
OFFICE:	2,800 S.F.
RESIDENTIAL:	42 UNITS (1-2 BEDROOM)
PARCEL C	
EXISTING RESTAURANT:	3,000 S.F.
PARKING CODE REQUIREMENT PER PUD	
RESTAURANT:	131,000 G.F.A.
RETAIL:	2,251,000 G.F.A.
OFFICE:	2,251,000 G.F.A.
RESIDENTIAL:	0.525 SPACES/UNIT (UP TO 2 BEDROOMS)
PARKING REQUIRED:	
PARCEL A	
RESTAURANT:	62.4 STALLS
RETAIL:	10.8 STALLS
OFFICE:	6.3 STALLS
RESIDENTIAL:	21,525 STALLS
PARCEL B	
RESTAURANT:	62.4 STALLS
RETAIL:	10.8 STALLS
OFFICE:	6.3 STALLS
RESIDENTIAL:	22.05 STALLS
PARCEL C	
RESTAURANT:	39 STALLS
TOTAL PUD PARKING REQUIRED = 242 STALLS	
TOTAL PUD PARKING PROVIDED = 242 STALLS	

IMPERVIOUS/OPEN SPACE DATA

TOTAL SITE AREA = 4.26 AC (186,545 S.F.)	
BUILDING AREAS	
EXISTING:	3,000 S.F.
PROPOSED:	24,800 S.F. 27,800 S.F.
IMPERVIOUS SURFACES	
EXISTING IMPERVIOUS:	13,675 S.F. (7.3%)
PROPOSED IMPERVIOUS:	118,827 S.F. (63.7%) 132,502 S.F. (71.0%)
IMPERVIOUS SURFACE PER PARCEL	
PARCEL 1:	67,162 S.F.
PARCEL 2:	49,161 S.F.
PARCEL 3:	16,178 S.F. 132,502 S.F.
OPEN SPACE REQUIRED:	
OPEN SPACE PROVIDED	46,646 S.F. (25%)
PROPOSED OPEN SPACE:	59,435 S.F. (31.9%)
LANDSCAPE SPACE WITHIN PROPOSED PARKING AREAS	
REQUIRED:	5,036 S.F. (10%)
PROVIDED:	6,480 S.F. (12.9%)

VICINITY MAP



INDEX OF DRAWINGS

T	Title Sheet
C0.0	Topographic Survey
C1.0	Demolition Plan
C2.0	Paving Plan
C2.1	Phasing Plan
C3.0	Grading Plan
C3.1	Erosion Control Plan
C4.0	Utility Plan
C5.0	Civil Details
C5.1	Civil Details
C5.2	Civil Details
L100	Landscape Plan
L200	Landscape Elevations
L300	Landscape Details

PROJECT CONTACTS

OWNER/APPLICANT: JGC HOLDINGS, LLC 950 OFFICE PARK ROAD, STE 300 WEST DES MOINES, IA 50265 TEL: 515.520.8812	CIVIL ENGINEER: MICHAEL A. MURPHY, P.E., LEED AP LARSON ENGINEERING, INC. 1001 OFFICE PARK ROAD, STE 120 WEST DES MOINES, IA 50265 TEL: 515.225.4377
APPLICANT REPRESENTATIVE: BENCHMARK REAL ESTATE GROUP 950 OFFICE PARK ROAD, STE 300 WEST DES MOINES, IA 50265 TEL: 515.491.5103	LANDSCAPE ARCHITECT: ERIC DOLL, PLA, ALSA JEFFREY L. BRUCE & COMPANY 300 4TH STREET WEST DES MOINES, IA 50265 TEL: 515.778.8397
ARCHITECT (PARCELS A & B): RON DANNER, AIA VANTAGE ARCHITECTS, L.L.C. 131 W. 2ND STREET, SUITE 401 DAVENPORT, IA 52801 TEL: 563.324.9028	

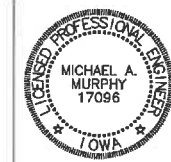
HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL A. MURPHY, P.E.
PRINTED OR TYPED NAME

SIGNATURE & DATE

ENGINEER 17096
DISCIPLINE & REGISTRATION NO.

C - DRAWINGS
PAGES OR SHEETS COVERED



PRELIMINARY NOT FOR CONSTRUCTION

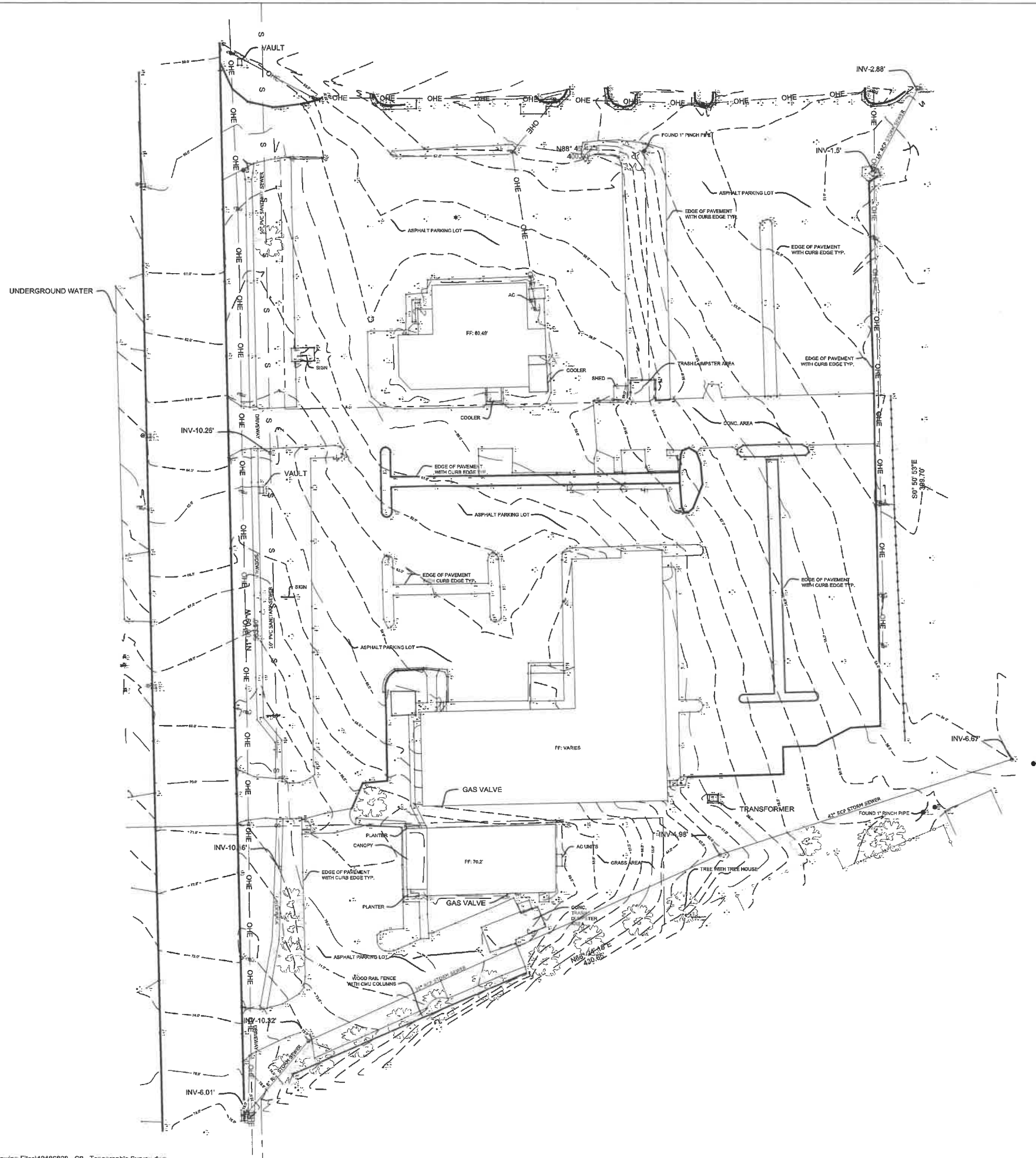


JGC HOLDINGS, LLC
950 OFFICE PARK ROAD
WEST DES MOINES, IA 50265

MIDTOWN REDEVELOPMENT PUD
WEST DES MOINES, IA

Rev.	Date	Description

Project #: 12186828.000
Drawn By: NWW
Checked By: MAM
Issue Date: 06.24.20
Sheet Title:
TITLE SHEET
Sheet:
T



PRELIMINARY NOT FOR CONSTRUCTION

Larson Engineering, Inc.
 1001 Office Park Road, Ste 120
 West Des Moines, IA 50265
 515.225.4377
 www.larsonengr.com

JGC HOLDINGS, LLC
 950 OFFICE PARK ROAD
 WEST DES MOINES, IA 50265

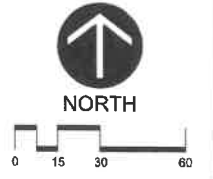
MIDTOWN REDEVELOPMENT PUD
 WEST DES MOINES, IA

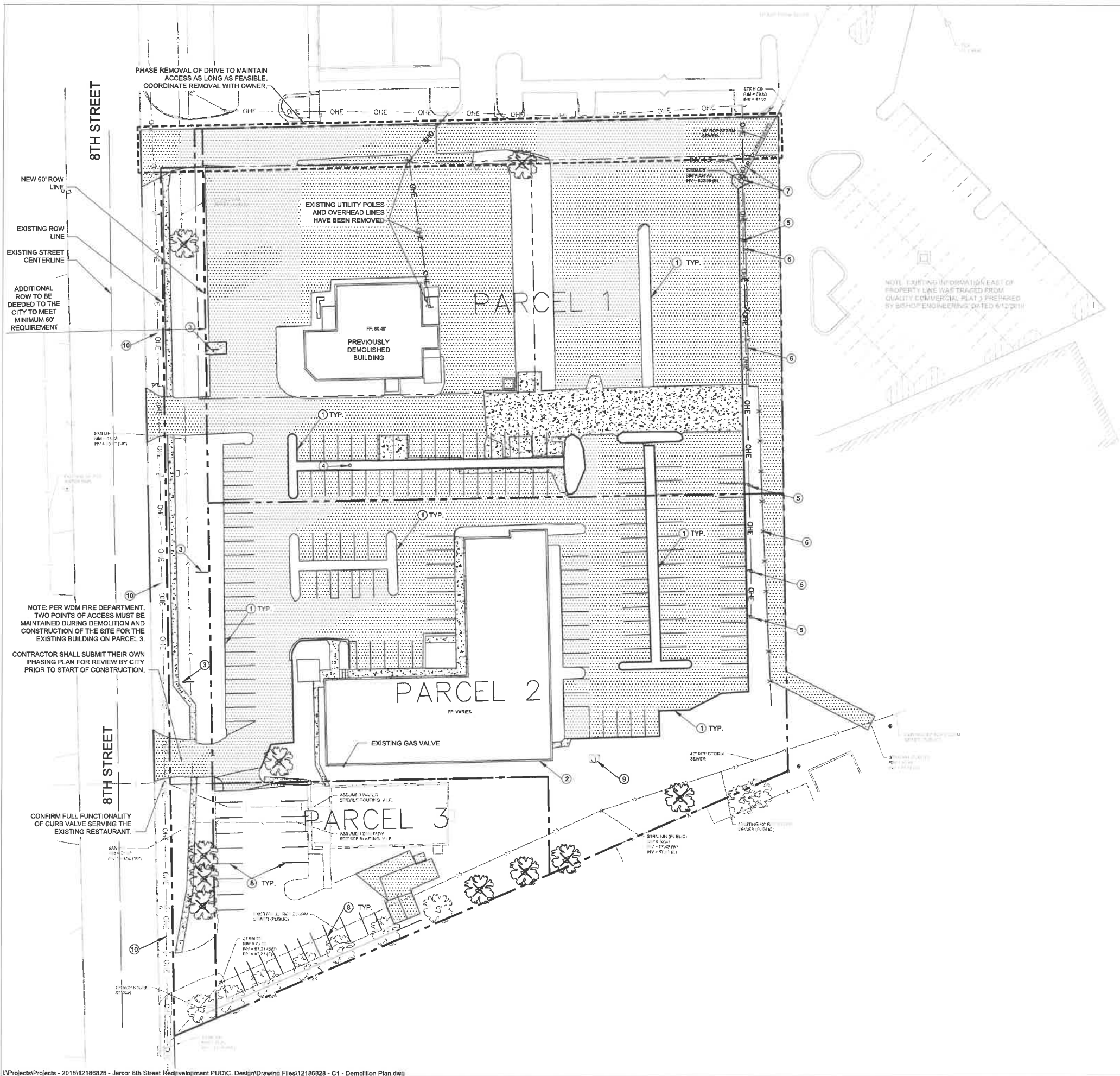
Rev.	Date	Description

Project #: 12186828.000
 Drawn By: NWW
 Checked By: MAM
 Issue Date: 06.24.20
 Sheet Title:

TOPOGRAPHIC SURVEY

Sheet: **C0.0**





SYMBOL LEGEND

- REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION
- REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION
- REMOVE AND DISPOSE OF EXISTING TREE

KEY NOTES

- 1 SAWCUT, REMOVE, AND DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- 2 DEMOLISH EXISTING BUILDING. DISCONNECT ANY EXISTING UTILITY SERVICES PRIOR TO STARTING DEMOLITION.
- 3 REMOVE AND DISPOSE OF EXISTING SIGN.
- 4 REMOVE AND DISPOSE OF EXISTING LIGHT POLE AND ASSOCIATED ELECTRICAL LINES.
- 5 REMOVE AND DISPOSE OF EXISTING POWER POLE AND ASSOCIATED ELECTRICAL LINES. COORDINATE WITH UTILITY COMPANY PRIOR TO REMOVAL.
- 6 REMOVE AND DISPOSE OF EXISTING FENCE.
- 7 REMOVE AND DISPOSE OF EXISTING CATCH BASIN. ABANDON EXISTING STORM SEWER PIPE.
- 8 SANDBLAST EXISTING PAVEMENT STRIPING PRIOR TO RE-STRIPING. SEE PAVING PLAN.
- 9 PROTECT EXISTING UTILITY TRANSFORMER.
- 10 PROTECT EXISTING OVERHEAD UTILITY LINES.

DEMOLITION NOTES

1. CONTRACTOR TO COORDINATE PROJECT PHASING REQUIREMENTS WITH CONSTRUCTION MANAGER PRIOR TO STARTING WORK. COORDINATE ALL SHUTDOWNS WITH OWNER.
2. VERIFY ALL EXISTING UTILITY LOCATIONS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM OR COORDINATE ALL NECESSARY UTILITY DEMOLITIONS AND RELOCATIONS FROM EXISTING UTILITY LOCATIONS TO ALL ONSITE AMENITIES AND BUILDINGS. THESE CONNECTIONS INCLUDE, BUT ARE NOT LIMITED TO, WATER, SANITARY SEWER, CABLE TV, TELEPHONE, GAS, ELECTRIC, SITE LIGHTING, ETC.
4. PRIOR TO BEGINNING WORK, CONTACT IOWA ONE CALL (800-292-8989) TO LOCATE UTILITIES THROUGHOUT THE AREA UNDER CONSTRUCTION. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A PRIVATE UTILITY LOCATOR TO LOCATE THE PRIVATE UTILITIES.
5. SAWCUT ALONG EDGES OF PAVEMENTS, SIDEWALKS, AND CURBS TO REMAIN.
6. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION.
7. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.
8. UNUSED EXISTING WATER SERVICES SHALL BE ABANDONED AT THE MAIN ON THE WEST SIDE OF 8TH STREET.

WEST DES MOINES CITY NOTES

1. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
2. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES (515-223-3475) TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICATION OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
3. IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
4. COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
5. LANE CLOSURE NOTICES MUST BE SUBMITTED TO WEST DES MOINES PUBLIC SERVICES FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
6. ALL CONNECTION TO PUBLIC SEWERS SHALL BE CORE DRILLED.



Larson Engineering, Inc.
 1001 Office Park Road, Ste 120
 West Des Moines, IA 50265
 515.225.4377
 www.larsonengr.com

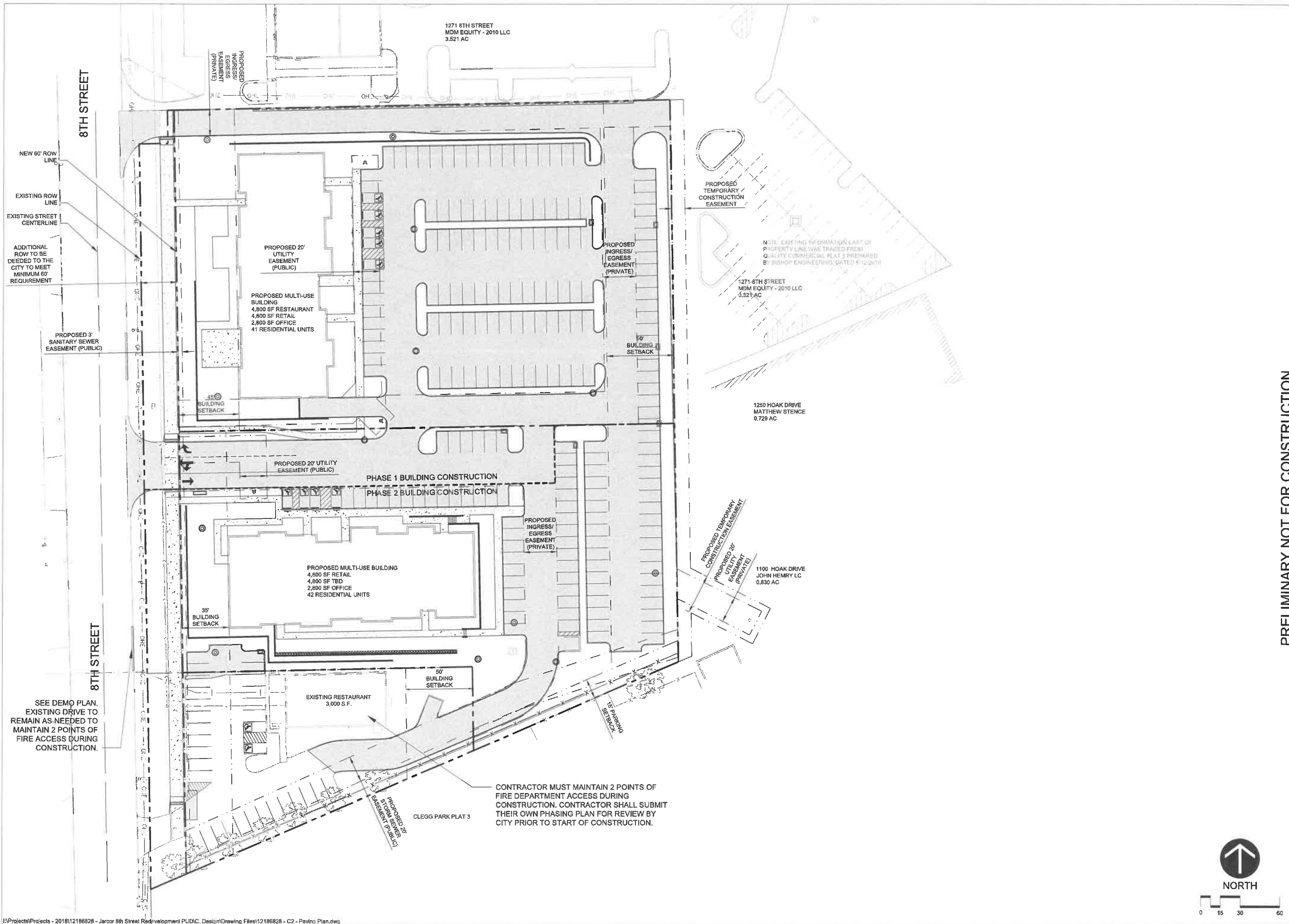
JGC HOLDINGS, LLC
 950 OFFICE PARK ROAD
 WEST DES MOINES, IA 50265

MIDTOWN REDEVELOPMENT PUD
 WEST DES MOINES, IA

PRELIMINARY NOT FOR CONSTRUCTION

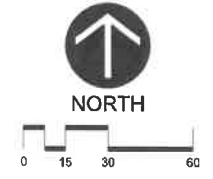
Rev.	Date	Description

Project #: 12186828.000
 Drawn By: NWW
 Checked By: MAM
 Issue Date: 06.24.20
 Sheet Title:
DEMOLITION PLAN
 Sheet:
C1.0



SEE DEMO PLAN.
EXISTING DRIVE TO
REMAIN AS NEEDED TO
MAINTAIN 2 POINTS OF
FIRE ACCESS DURING
CONSTRUCTION.

CONTRACTOR MUST MAINTAIN 2 POINTS OF
FIRE DEPARTMENT ACCESS DURING
CONSTRUCTION. CONTRACTOR SHALL SUBMIT
THEIR OWN PHASING PLAN FOR REVIEW BY
CITY PRIOR TO START OF CONSTRUCTION.



PRELIMINARY NOT FOR CONSTRUCTION

Larson Engineering, Inc.
1001 Office Park Road, Ste 120
West Des Moines, IA 50265
515.225.4377
www.larsonengr.com

JGC HOLDINGS, LLC
950 OFFICE PARK ROAD
WEST DES MOINES, IA 50265

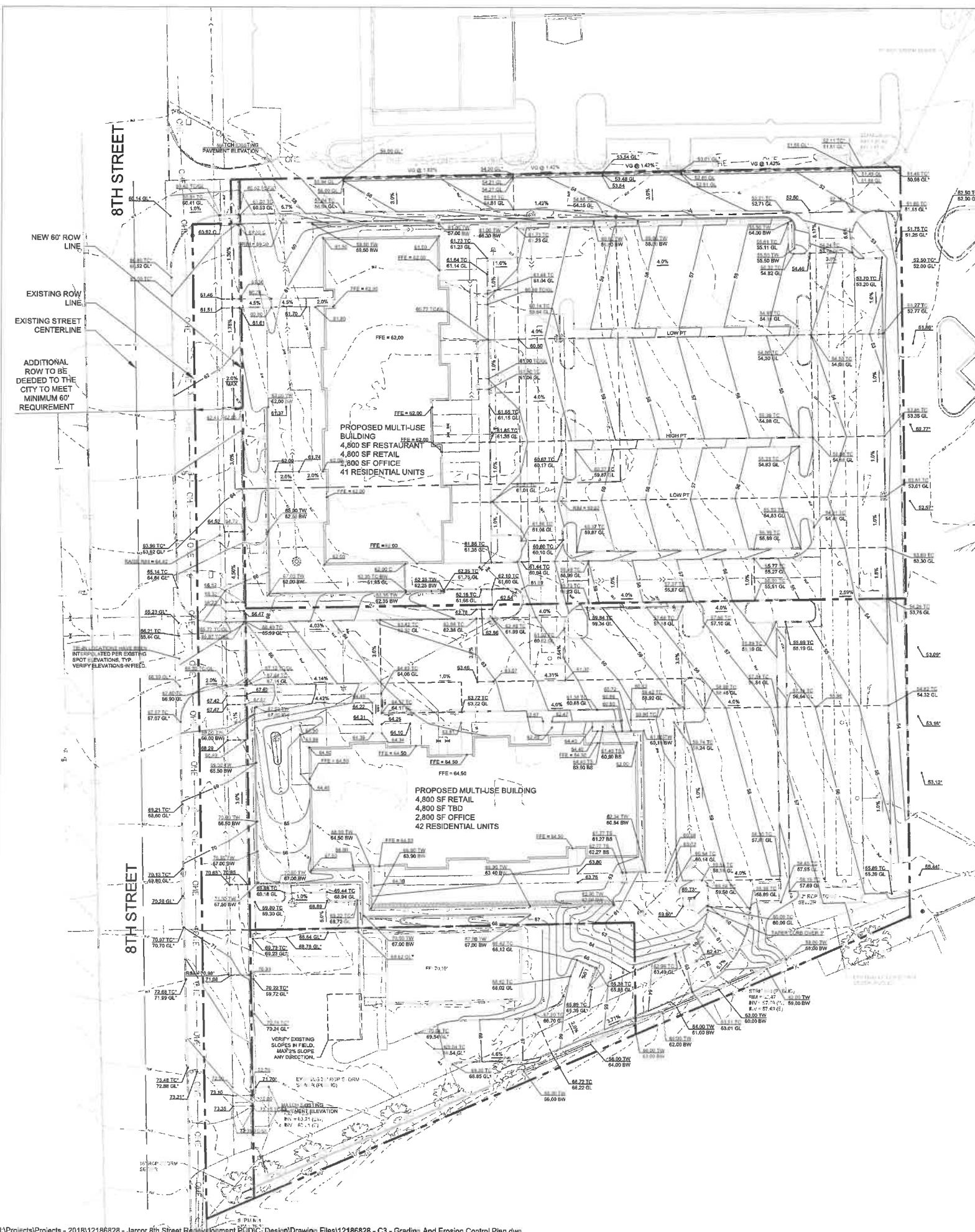
MIDTOWN REDEVELOPMENT PUD
WEST DES MOINES, IA

Rev.	Date	Description

Project #: 12186828.000
Drawn By: NWW
Checked By: MAM
Issue Date: 06.24.20
Sheet Title:

PHASING PLAN

Sheet:
C2.1



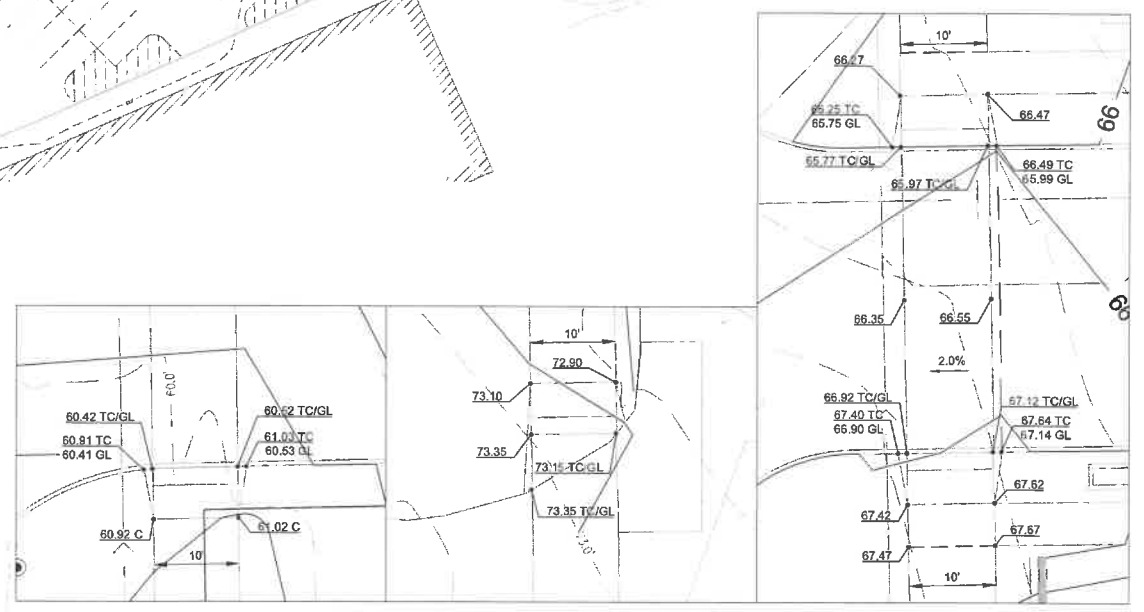
GRADING NOTES

1. TREE PROTECTION CONSISTING OF SNOW FENCE OR SAFETY FENCE INSTALLED AT THE DRIP LINE SHALL BE IN PLACE PRIOR TO BEGINNING ANY GRADING OR DEMOLITION WORK AT THE SITE.
2. ALL ELEVATIONS WITH AN ASTERISK (*) SHALL BE FIELD VERIFIED. IF ELEVATIONS VARY SIGNIFICANTLY, NOTIFY THE ENGINEER FOR FURTHER INSTRUCTIONS.
3. GRADES SHOWN IN PAVED AREAS REPRESENT FINISH ELEVATION.
4. RESTORE ALL DISTURBED AREAS WITH 4" OF GOOD QUALITY TOPSOIL AND SEED.
5. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
7. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 515-222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICATION OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.

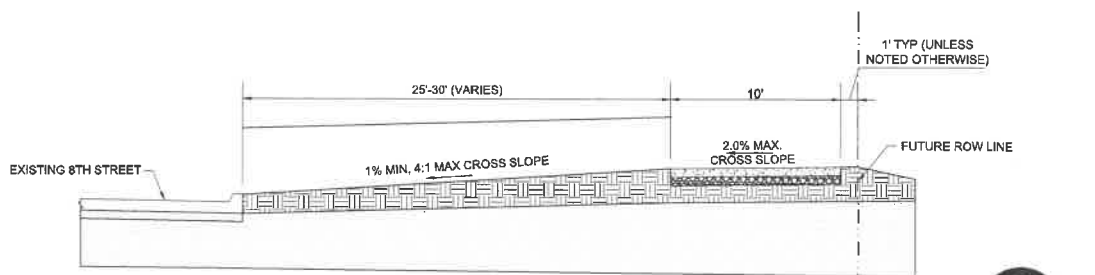
LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS - MAJOR INTERVAL
- PROPOSED CONTOURS - MINOR INTERVAL
- GRADE BREAK LINE
- GRADE SLOPE
- SPOT ABBREVIATIONS:
 - TC - TOP OF CURB
 - GL - GUTTER LINE
 - B - BITUMINOUS
 - C - CONCRETE
 - EO - EMERGENCY OVERFLOW
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL (F/G)
 - (*) - EXISTING TO BE VERIFIED

NOTE: EXISTING INFORMATION EAST OF PROPERTY LINE WAS TRACED FROM QUALITY COMMERCIAL PLAT J PREPARED BY BISHOP ENGINEERING, DATED 6/12/2010.



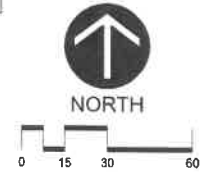
ADA RAMP @ N. ENTRANCE ADA RAMP @ S. ENTRANCE ADA RAMP @ MAIN ENTRANCE



TYPICAL RIGHT-OF-WAY GRADING DETAIL

1
C3.0

NOT TO SCALE



PRELIMINARY NOT FOR CONSTRUCTION

Larson Engineering, Inc.
 1001 Office Park Road, Ste 120
 West Des Moines, IA 50265
 515.225.4377
 www.larsonengr.com

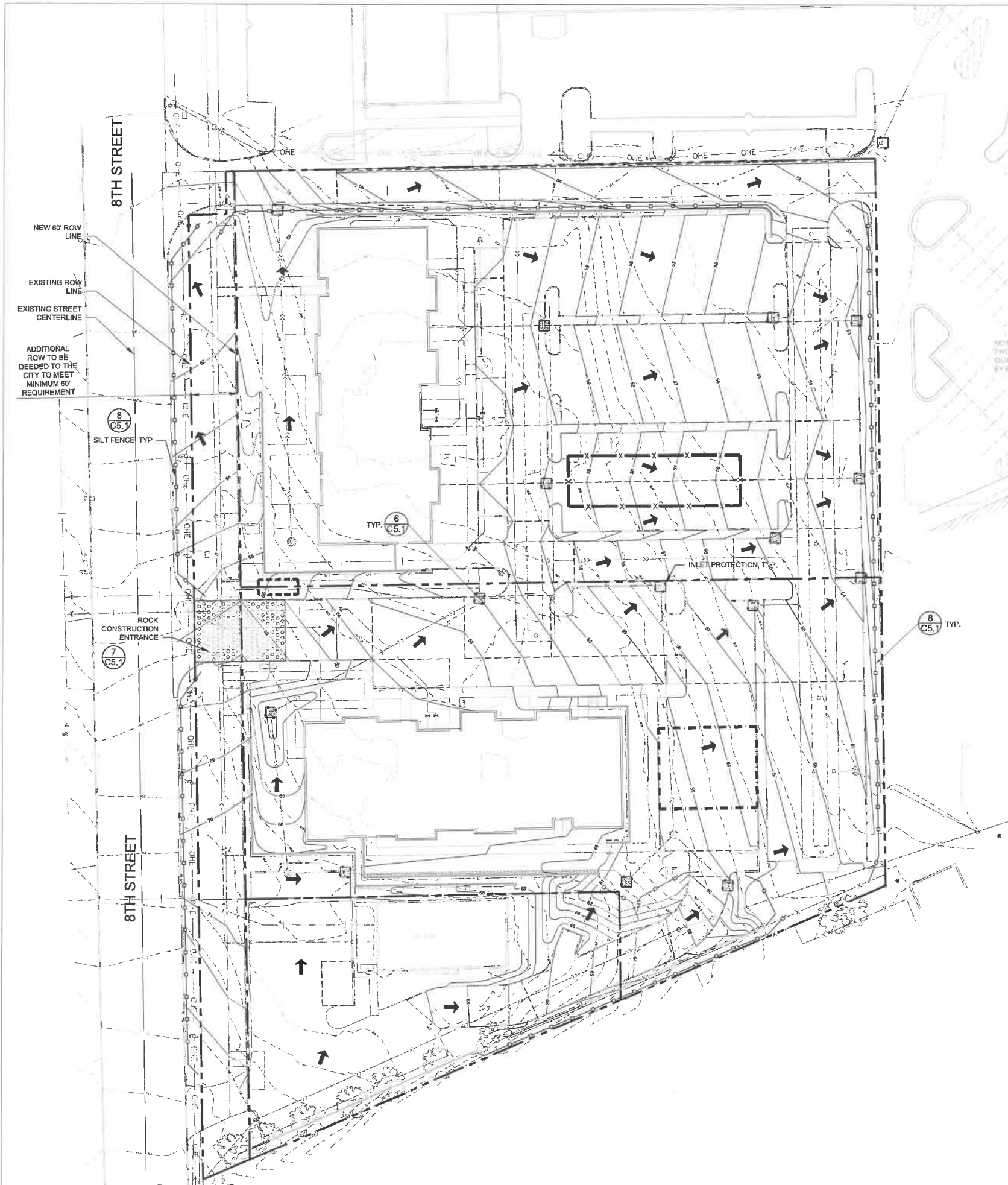
JGC HOLDINGS, LLC
 950 OFFICE PARK ROAD
 WEST DES MOINES, IA 50265

MIDTOWN REDEVELOPMENT PUD
 WEST DES MOINES, IA

Rev.	Date	Description

Project #: 12186828.000
 Drawn By: NWW
 Checked By: MAM
 Issue Date: 06.24.20
 Sheet Title:

GRADING PLAN
 Sheet:
C3.0

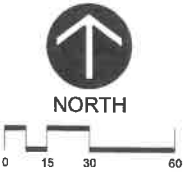


LEGEND

- 950 EXISTING CONTOURS
- 950 PROPOSED CONTOURS - MAJOR INTERVAL
- 949 PROPOSED CONTOURS - MINOR INTERVAL
- GRADE BREAK LINE
- 2.0% GRADE SLOPE
- SILT FENCE
- RIP-RAP / ROCK CONST. ENTRANCE
- INLET PROTECTION
- CONCRETE WASHOUT STATION
- STABILIZED STAGING AREA
- TOPSOIL STOCKPILE, IF NECESSARY
- DRAINAGE PATTERN

EROSION CONTROL NOTES

1. OWNER AND CONTRACTOR SHALL OBTAIN IDNR-NPDES PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES PERTAINING TO THIS PERMIT. THE SWPPP SHALL BE KEPT ONSITE AT ALL TIMES.
2. INSTALL TEMPORARY EROSION CONTROL MEASURES (INLET PROTECTION, SILT FENCE, AND ROCK CONSTRUCTION ENTRANCES) PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION WORK AT THE SITE.
3. EROSION CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN ARE THE ABSOLUTE MINIMUM. THE CONTRACTOR SHALL INSTALL TEMPORARY EARTH DIKES, SEDIMENT TRAPS OR BASINS, ADDITIONAL SILTATION FENCING, AND/OR DISK THE SOIL PARALLEL TO THE CONTOURS AS DEEMED NECESSARY TO FURTHER CONTROL EROSION. ALL CHANGES SHALL BE RECORDED IN THE SWPPP.
4. ALL CONSTRUCTION SITE ENTRANCES SHALL BE SURFACED WITH CRUSHED ROCK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE AND FROM THE ENTRANCE TO A POINT 50' INTO THE CONSTRUCTION ZONE.
5. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN A MINIMUM OF 6". THE TRENCH BACKFILL SHALL BE COMPACTED WITH A VIBRATORY PLATE COMPACTOR.
6. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. SEDIMENT CONTROL PRACTICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITIES BEGIN.
7. ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT.
8. ALL STORM SEWER CATCH BASINS NOT NEEDED FOR SITE DRAINAGE DURING CONSTRUCTION SHALL BE COVERED TO PREVENT RUNOFF FROM ENTERING THE STORM SEWER SYSTEM. CATCH BASINS NECESSARY FOR SITE DRAINAGE DURING CONSTRUCTION SHALL BE PROVIDED WITH INLET PROTECTION.
9. IN AREAS WHERE CONCENTRATED FLOWS OCCUR (SUCH AS SWALES AND AREAS IN FRONT OF STORM CATCH BASINS AND INTAKES) THE EROSION CONTROL FACILITIES SHALL BE BACKED BY STABILIZATION STRUCTURE TO PROTECT THOSE FACILITIES FROM THE CONCENTRATED FLOWS.
10. INSPECT THE CONSTRUCTION SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL INSPECTIONS SHALL BE RECORDED IN THE SWPPP.
11. ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/3 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS. ALL REPAIRS SHALL BE RECORDED IN THE SWPPP.
12. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
13. ALL SOILS TRACKED ONTO PAVEMENT SHALL BE REMOVED DAILY.
14. TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.
15. COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH IDNR DISPOSAL REQUIREMENTS.
16. OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH IDNR REGULATIONS.
17. EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF. NO ENGINE DEGREASING IS ALLOWED ONSITE.
18. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH IDNR REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
19. UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL GRADED AREAS, ALL TEMPORARY EROSION CONTROL FACILITIES (SILT FENCES, HAY BALES, ETC.) SHALL BE REMOVED FROM THE SITE.
20. ALL PERMANENT SEDIMENTATION BASINS MUST BE RESTORED TO THEIR DESIGN CONDITION IMMEDIATELY FOLLOWING STABILIZATION OF THE SITE. CONTRACTOR SHALL SUBMIT NOTICE OF TERMINATION FOR IDNR-NPDES PERMIT WITHIN 30 DAYS AFTER FINAL STABILIZATION.
21. PREPARATION OF SEED-BED:
 - 21.1. AREAS ACCESSIBLE TO MACHINERY: AREAS ACCESSIBLE TO FIELD MACHINERY SHALL BE THOROUGHLY WORKED TO A DEPTH OF NOT LESS THAN THREE INCHES (3"). THE SOIL SHALL BE BROUGHT TO A LOOSE, FRIABLE CONDITION, AND SHALL BE PICKED FREE OF ROCKS AND CONCRETE CHUNKS IN EXCESS OF ONE INCH (1") DIAMETER WHERE WEED GROWTH HAS DEVELOPED EXTENSIVELY, THE USE OF A DISK WILL BE ALLOWED TO DISK THESE WEEDS INTO THE GROUND IF THE WEEDS CAN BE COMPLETELY COVERED BY THIS METHOD.
 - 21.2. AREAS INACCESSIBLE TO MACHINERY: AREAS INACCESSIBLE TO MACHINERY SHALL BE PREPARED BY HAND TO A DEPTH OF NOT LESS THAN ONE AND ONE-HALF INCHES (1-1/2"). THE SOIL SHALL BE BROUGHT TO A LOOSE FRIABLE CONDITION.
 - 21.3. THE SEEDBED SHALL BE INSPECTED AND APPROVED BY THE CITY ENGINEER PRIOR TO SEEDING.



Larson Engineering, Inc.
 1001 Office Park Road, Ste 120
 West Des Moines, IA 50265
 515.225.4377
 www.larsonengr.com

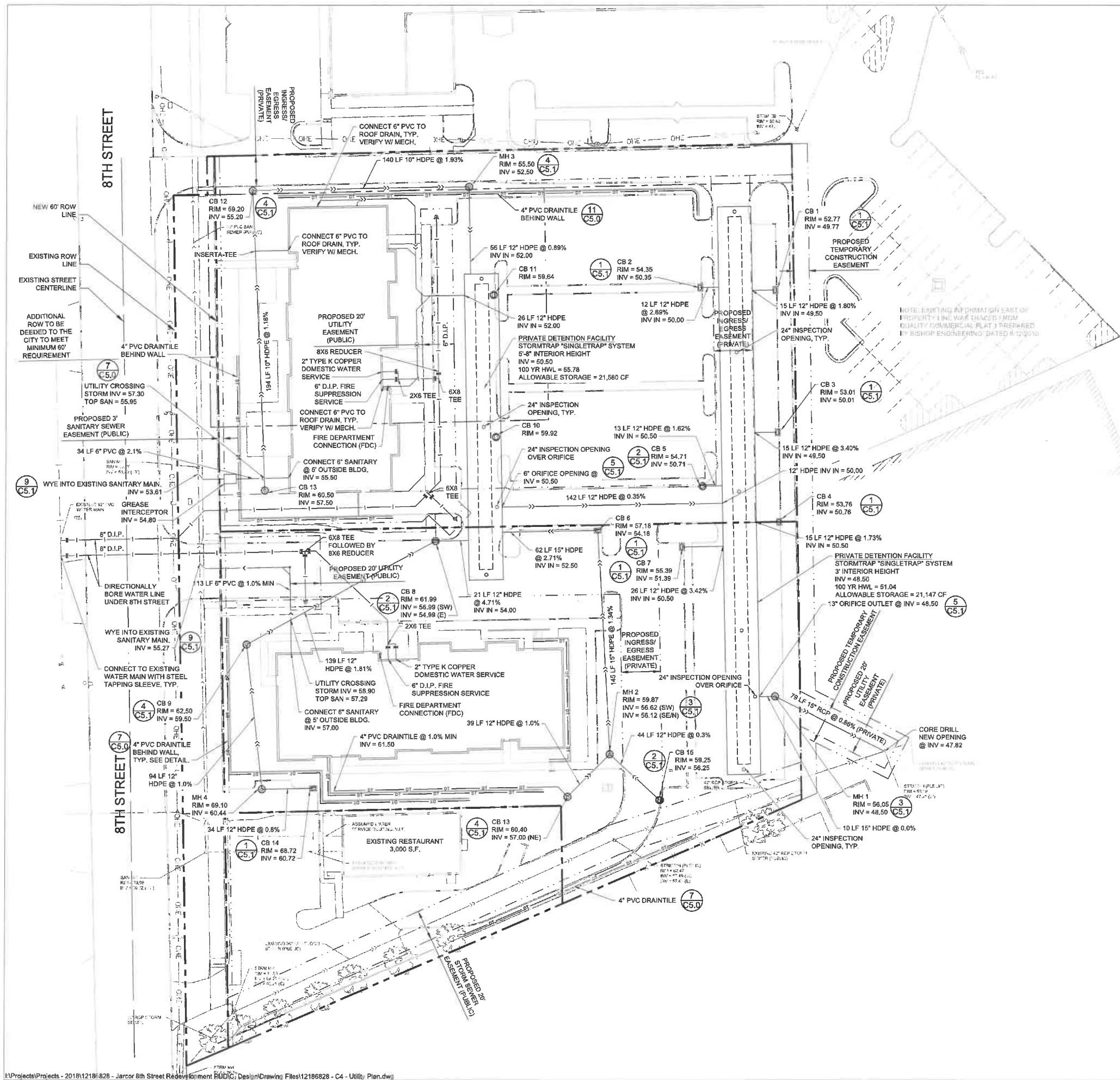
JGC HOLDINGS, LLC
 950 OFFICE PARK ROAD
 WEST DES MOINES, IA 50265

MIDTOWN REDEVELOPMENT PUD
 WEST DES MOINES, IA

PRELIMINARY NOT FOR CONSTRUCTION

Rev.	Date	Description

Project #: 12186828.000
 Drawn By: NWW
 Checked By: MAM
 Issue Date: 06.24.20
 Sheet Title:
EROSION CONTROL PLAN
 Sheet:
C3.1



LEGEND

- STORM MANHOLE
- CATCH BASIN
- CURB INLET
- ⊕ FLARED END
- SANITARY MANHOLE
- HYDRANT
- ⊕ GATE VALVE & BOX
- ⊕ WATER SHUTOFF
- ⊕ LIGHT POLE
- CTV
- OE
- UE
- FO
- C
- T
- DT
- CABLE UNDERGROUND LINE
- ELECTRIC OVERHEAD LINE
- ELECTRIC UNDERGROUND LINE
- FIBER OPTIC UNDERGROUND LINE
- NATURAL GAS UNDERGROUND LINE
- SANITARY SEWER PIPE
- STORM SEWER PIPE
- TELEPHONE UNDERGROUND LINE
- WATERMAIN PIPE
- DRAIN TILE PIPE

UTILITY NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM OR COORDINATE ALL NECESSARY UTILITY CONNECTIONS AND RELOCATIONS FROM EXISTING UTILITY LOCATIONS TO THE PROPOSED BUILDING, AS WELL AS TO ALL ONSITE AMENITIES. THESE CONNECTIONS INCLUDE BUT ARE NOT LIMITED TO WATER, SANITARY SEWER, CABLE TV, TELEPHONE, GAS, ELECTRIC, SITE LIGHTING, ETC.
2. ALL SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION. UTILITY CONNECTIONS (SANITARY SEWER, WATERMAIN, AND STORM SEWER) MAY REQUIRE A PERMIT FROM THE CITY.
3. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS AT PROPOSED CONNECTIONS TO EXISTING UTILITIES PRIOR TO ANY DEMOLITION OR EXCAVATION.
4. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE ENGINEERING DEPARTMENTS AND UTILITY COMPANIES 72 HOURS PRIOR TO CONSTRUCTION. ALL NECESSARY PRECAUTIONS SHALL BE MADE TO AVOID DAMAGE TO EXISTING UTILITIES.
5. STORM SEWER REQUIRES TESTING WHERE LOCATED WITHIN 10 FEET OF WATERLINES OR THE BUILDING, IN ACCORDANCE WITH IOWA PLUMBING CODE.
6. HDPE STORM SEWER PIPING AND FITTINGS MUST MEET MATERIALS AND INSTALLATION STANDARDS PER IOWA PLUMBING CODE, INCLUDING ASTM D3212 JOINT PRESSURE TEST AND ASTM C2321 INSTALLATION PRACTICES. THE CITY REQUIRES RCP PIPE WITHIN THE PUBLIC RIGHT-OF-WAY.
7. MAINTAIN A MINIMUM OF 5' OF COVER OVER ALL WATER LINES AND SANITARY SEWER LINES. INSTALL WATER LINES 18" ABOVE SANITARY SEWERS. WHERE THE SANITARY SEWER CROSSES OVER THE WATER LINE, INSTALL SEWER PIPING OF MATERIALS EQUAL TO WATERMAIN STANDARDS FOR 9 FEET ON BOTH SIDES AND MAINTAIN 18" OF SEPARATION.
8. SEE PROJECT SPECIFICATIONS FOR BEDDING REQUIREMENTS.
9. PRESSURE TEST AND DISINFECT ALL NEW WATERMANS IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
10. SANITARY SEWER PIPING SHALL BE PVC, SDR-35 FOR DEPTHS LESS THAN 12', PVC SDR-26 FOR DEPTHS BETWEEN 12' AND 26', AND CLASS 52 D.I.P. FOR DEPTHS OF 26' OR MORE.
11. ALL PROPOSED UTILITIES SHOWN ARE PRIVATE UNLESS OTHERWISE NOTED.

CITY OF WEST DES MOINES NOTES

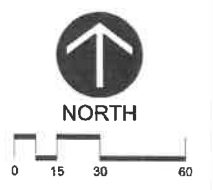
1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
2. CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
3. DESIGNATED BUFFERS SHALL BE LABELED AS A "NO BUILD AREA".
4. ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALL PACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOT-CANDLE.

WEST DES MOINES WATER WORKS STANDARD NOTES

1. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
2. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
3. ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.

PRIVATE WATER MAIN QUANTITIES

2" WATER SERVICE	30 LF
6" WATER MAIN	284 LF
8" WATER MAIN	494 LF
FIRE HYDRANT ASSEMBLY	3 EA
2" VALVE	2 EA
6" VALVE	7 EA
8" VALVE	4 EA
2" 90° BEND	1 EA
6" 45° BEND	2 EA
8" 45° BEND	4 EA
2X8 TEE	2 EA
6X8 TEE	3 EA
8X8 REDUCER	2 EA



Larson Engineering, Inc.
 1001 Office Park Road, Ste. 120
 West Des Moines, IA 50265
 515.225.4377
 www.larsonengr.com

JGC HOLDINGS, LLC
 960 OFFICE PARK ROAD
 WEST DES MOINES, IA 50265

MIDTOWN REDEVELOPMENT PUD
 WEST DES MOINES, IA

PRELIMINARY NOT FOR CONSTRUCTION

Project Title:

Client:

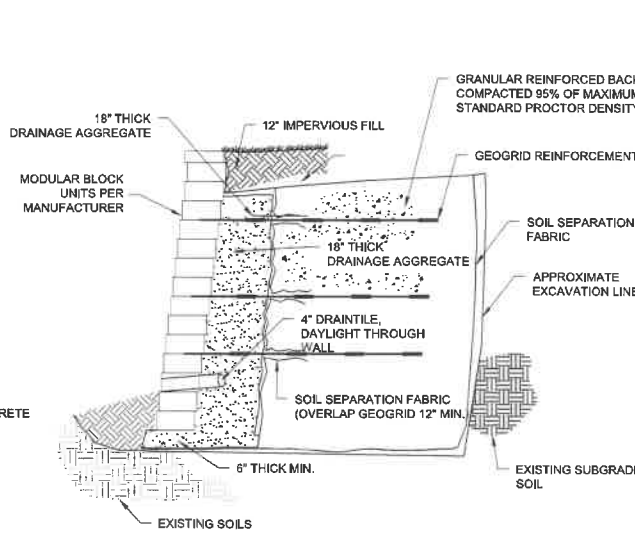
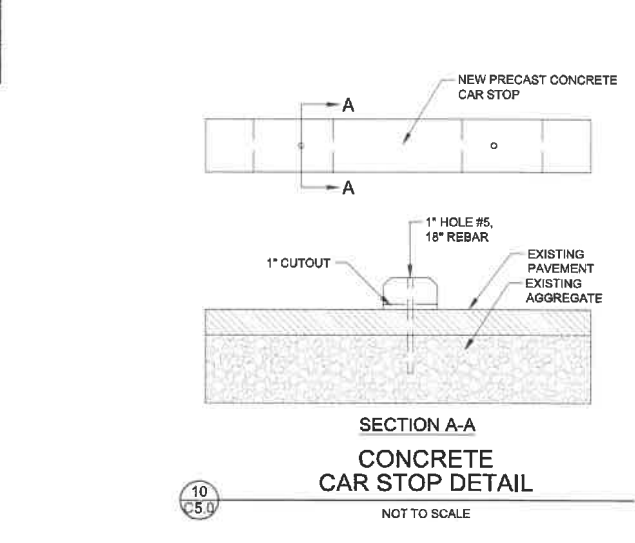
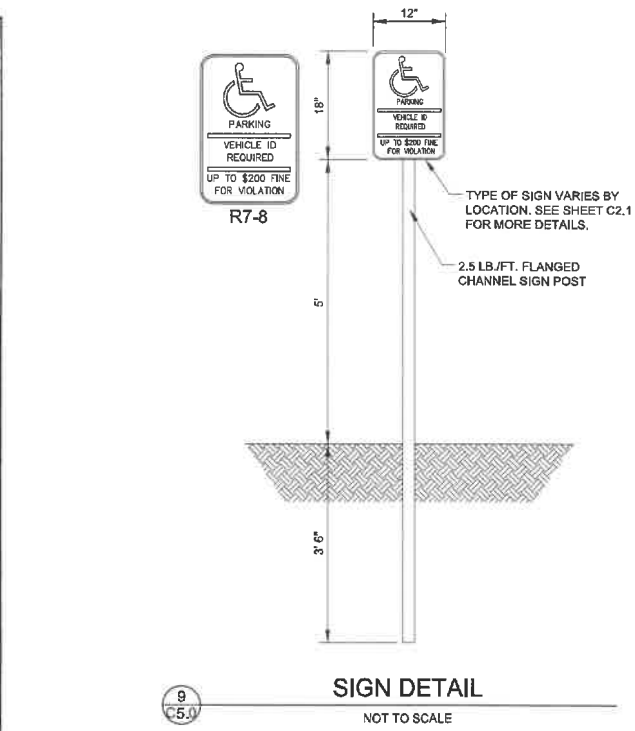
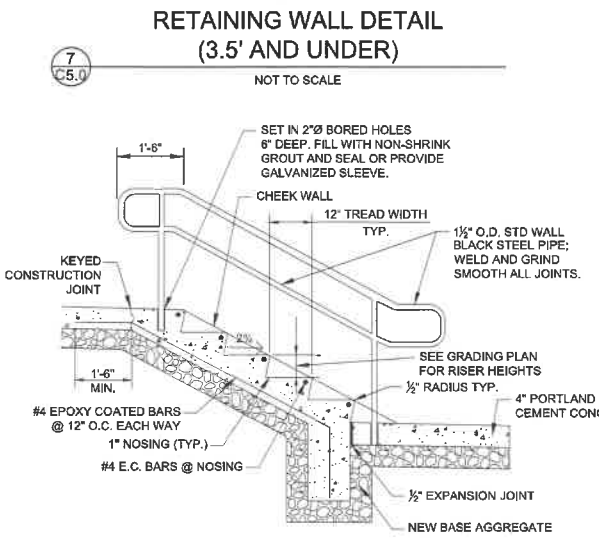
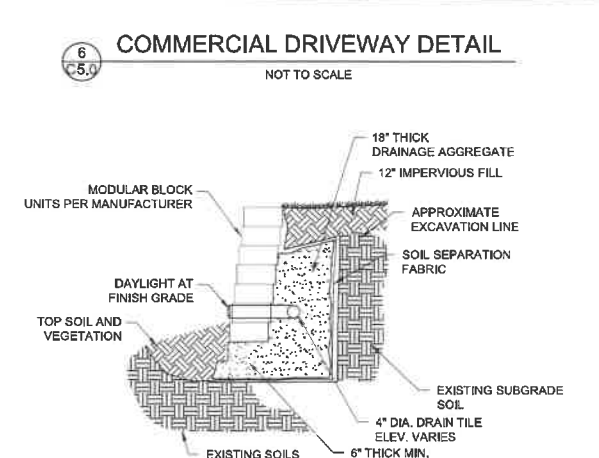
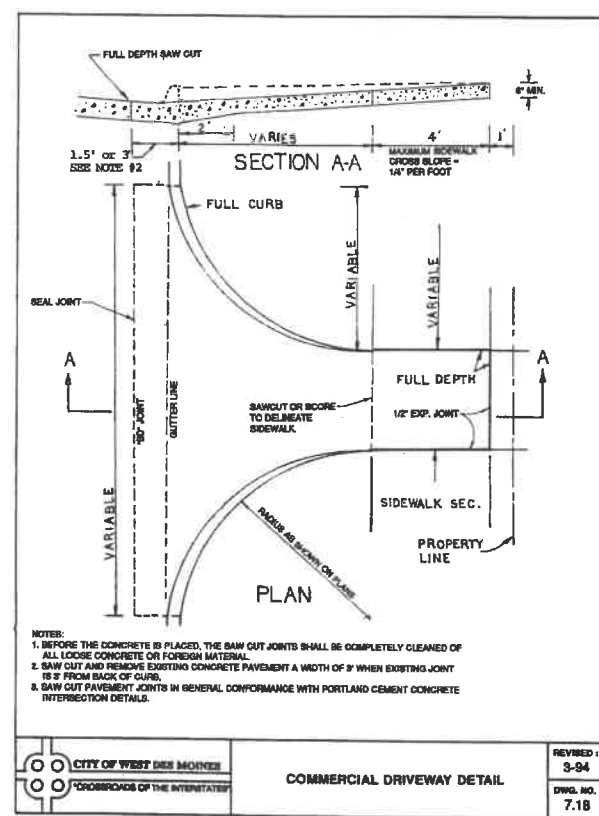
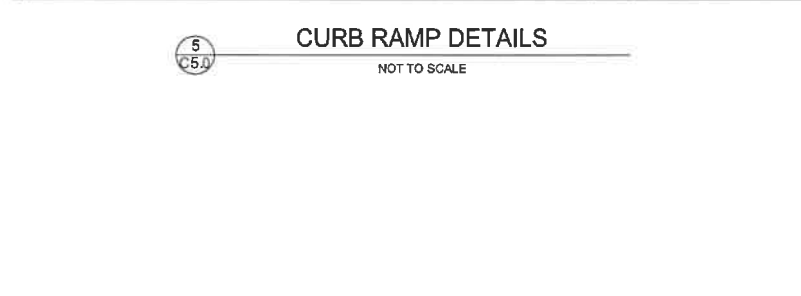
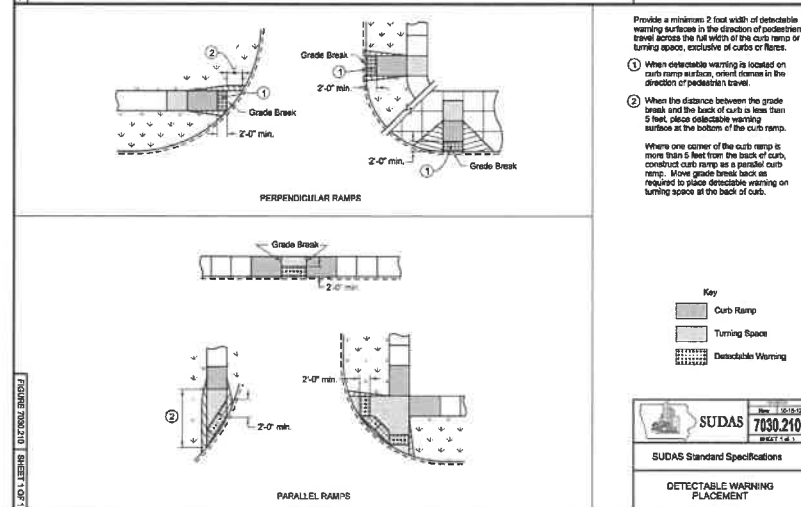
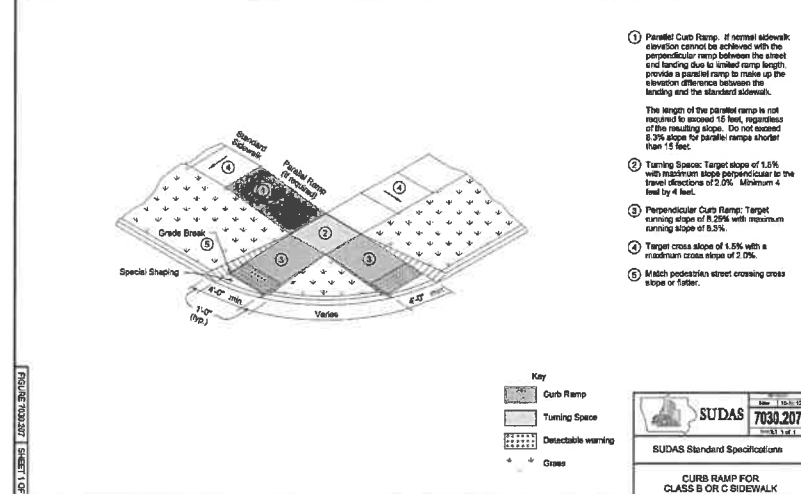
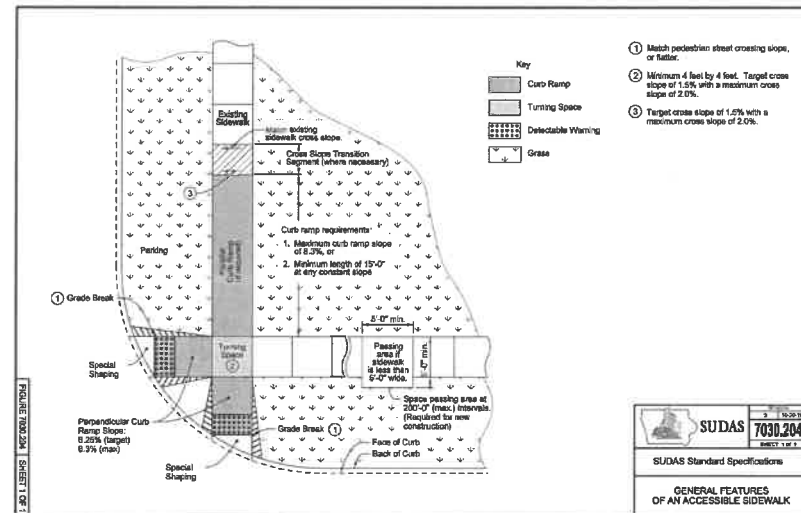
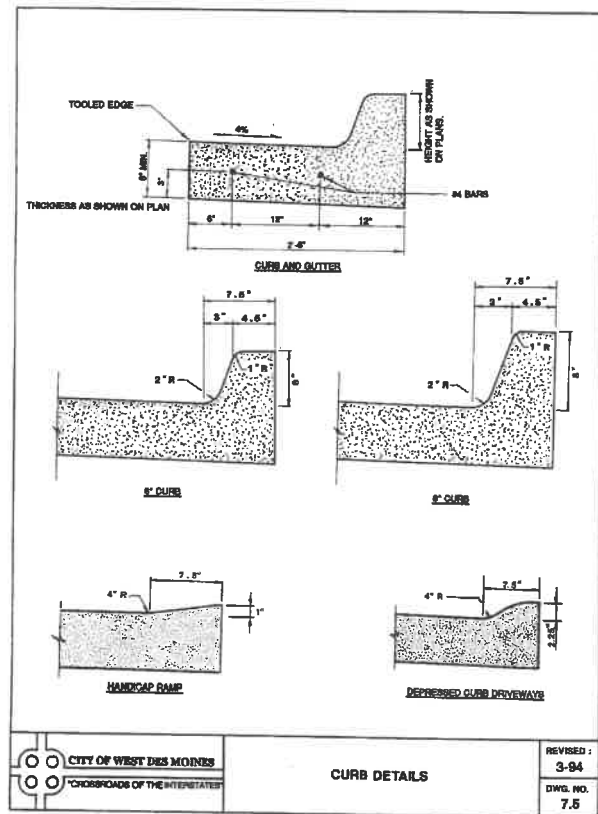
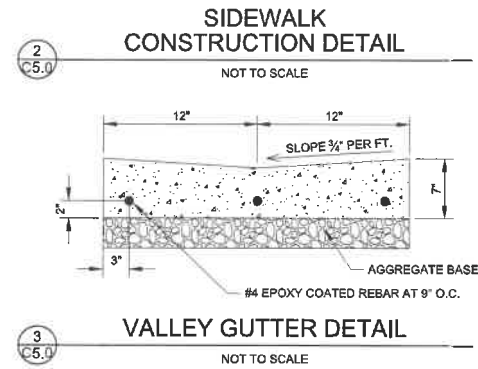
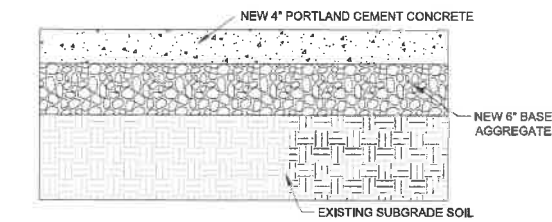
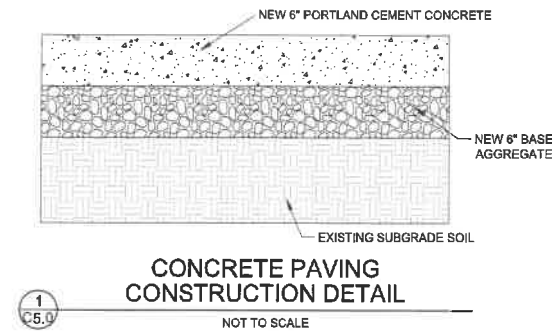
Sheet Title:

Rev.	Date	Description

Project #: 12186828.000
 Drawn By: NWW
 Checked By: MAM
 Issue Date: 06.24.20
 Sheet Title:

UTILITY PLAN

Sheet:
C4.0



PRELIMINARY NOT FOR CONSTRUCTION

Client: **JGC HOLDINGS, LLC**
950 OFFICE PARK ROAD
WEST DES MOINES, IA 50265

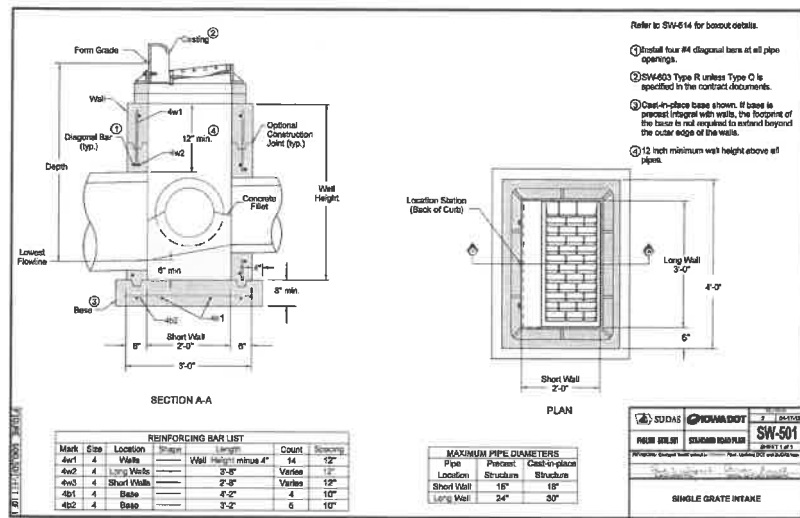
Project Title: **MIDTOWN REDEVELOPMENT PUD**
WEST DES MOINES, IA

Larson Engineering, Inc.
1001 Office Park Road, Ste 120
West Des Moines, IA 50265
515.225.4377
www.larsonengr.com

Rev.	Date	Description

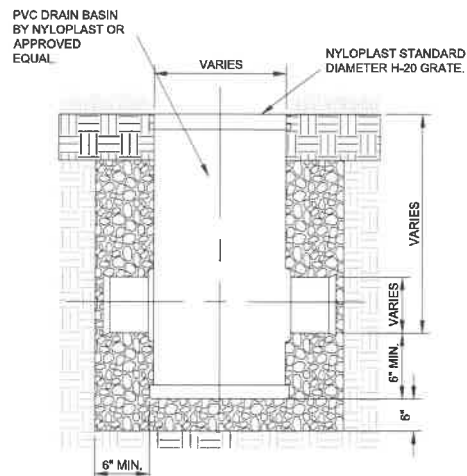
Project #: 12186828.000
 Drawn By: NWW
 Checked By: MAM
 Issue Date: 06.24.20
 Sheet Title: **CIVIL DETAILS**

Sheet: **C5.0**



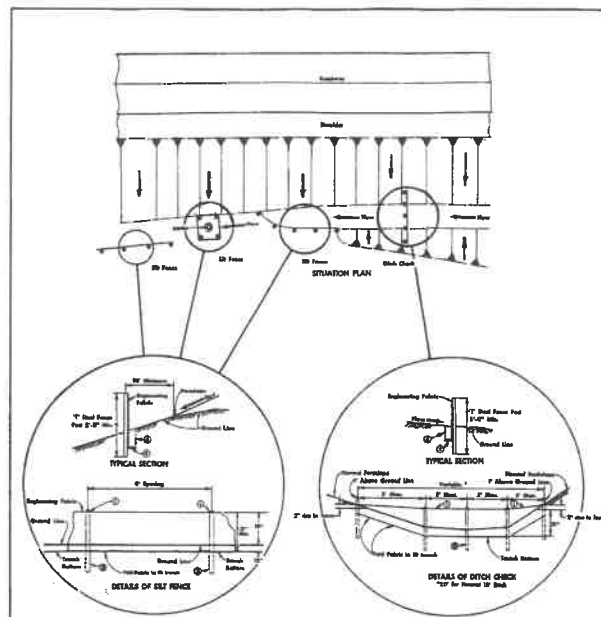
SW-501 SINGLE GRATE INTAKE DETAIL

1
C5.1
NOT TO SCALE



DRAIN BASIN DETAIL

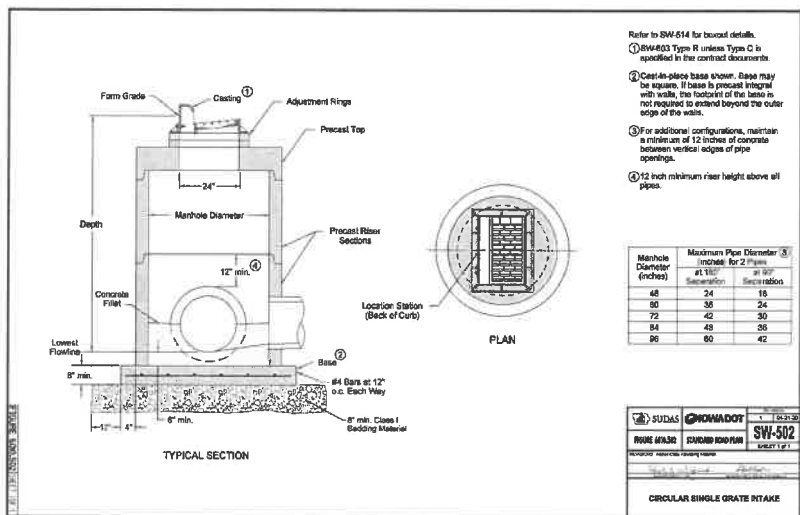
4
C5.1
NOT TO SCALE



SILT FENCE DETAILS

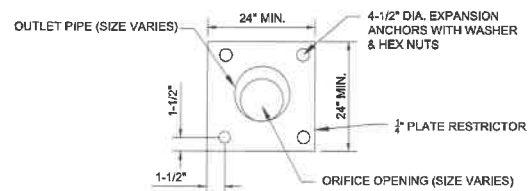
NOTES:
1. SECURE TOP OF ENGINEERING FABRIC TO STEEL POST. SEE DETAIL OF ATTACHMENT TO POST.
2. ENGINEERING FABRIC TO BE FOLDED ACROSS THE BOTTOM OF THE TRENCH.
3. STEEL POST TO BE EMBEDDED 24\"/>

REVISED:
3-94
DWG. NO.
2.1



SW-502 CIRCULAR SINGLE GRATE INTAKE DETAIL

2
C5.1
NOT TO SCALE

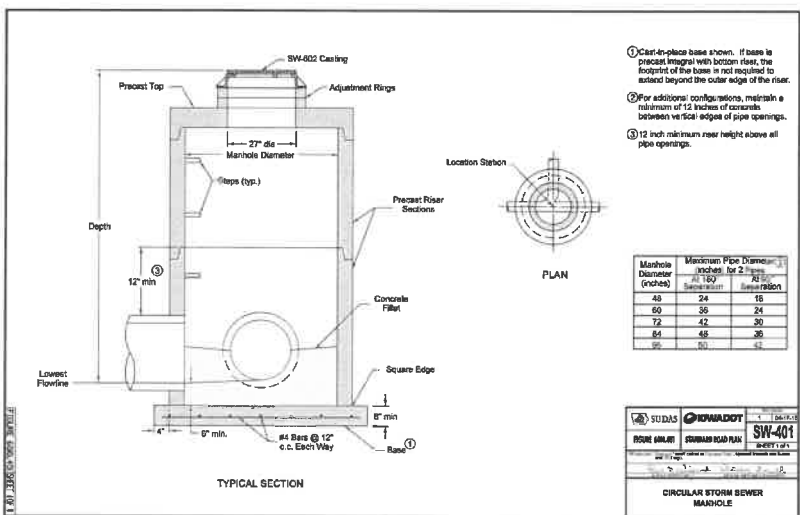


ORIFICE PLATE DETAIL

5
C5.1
NOT TO SCALE

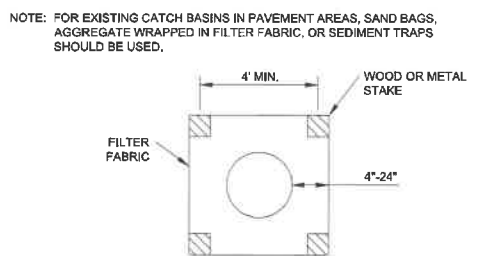
SILT FENCE DETAIL

8
C5.1
NOT TO SCALE



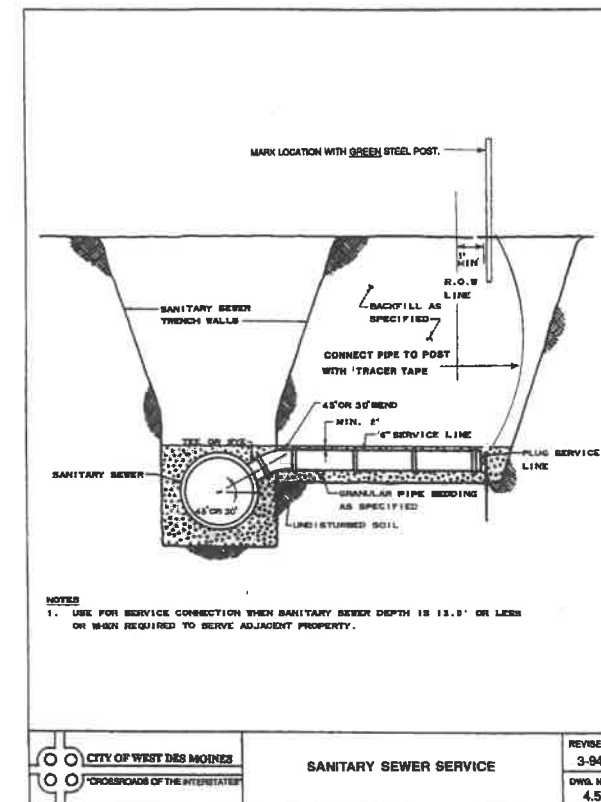
SW-401 CIRCULAR STORM SEWER MANHOLE DETAIL

3
C5.1
NOT TO SCALE



SILT FENCE INLET SEDIMENT FILTER

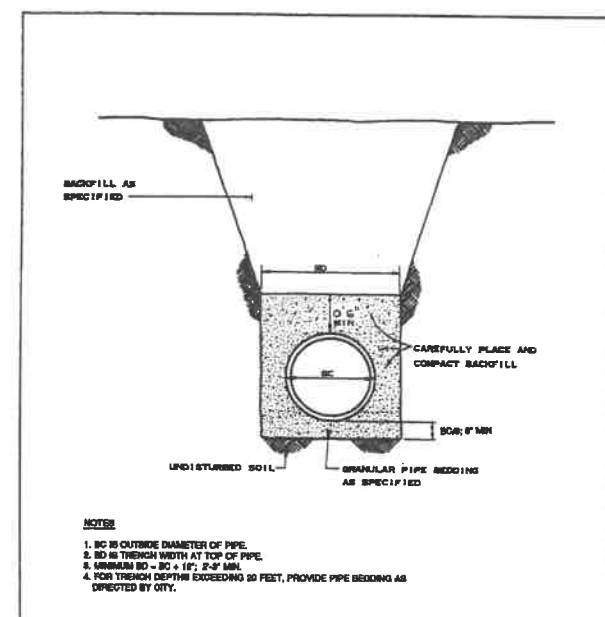
6
C5.1
NOT TO SCALE



SANITARY SEWER SERVICE

NOTES:
1. USE FOR SERVICE CONNECTION WHEN SANITARY SEWER DEPTH IS 13.0' OR LESS OR WHEN REQUIRED TO SERVE ADJACENT PROPERTY.

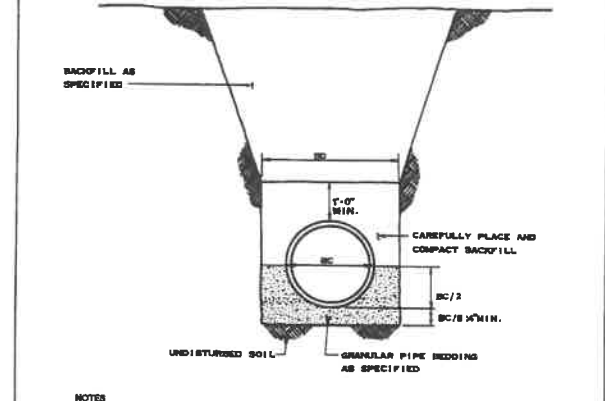
REVISED:
3-94
DWG. NO.
4.5



FLEXIBLE SEWER PIPE BEDDING

NOTES:
1. BO IS OUTSIDE DIAMETER OF PIPE.
2. BO IS TRENCH WIDTH AT TOP OF PIPE.
3. MINIMUM BO = BO + 12\"/>

REVISED:
3-94
DWG. NO.
4.1



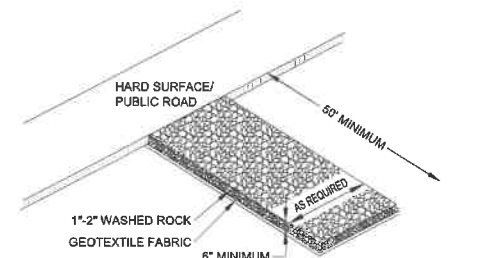
RIGID SEWER PIPE BEDDING

NOTES:
1. BO IS OUTSIDE DIAMETER OF PIPE.
2. BO IS TRENCH WIDTH AT TOP OF PIPE.
3. MINIMUM BO = BO + 12\"/>

REVISED:
3-94
DWG. NO.
4.2

SEWER BEDDING DETAILS

10
C5.1
NOT TO SCALE



ROCK CONSTRUCTION ENTRANCE

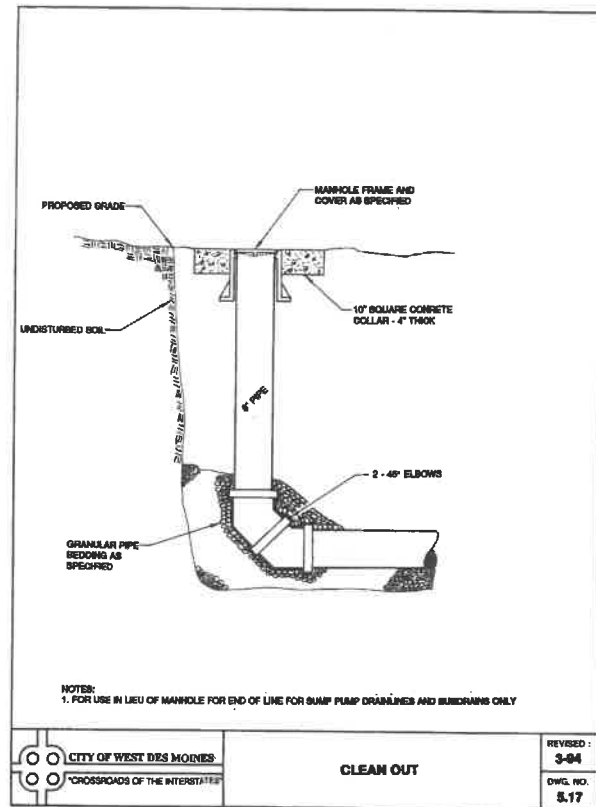
7
C5.1
NOT TO SCALE

SANITARY SEWER SERVICE DETAIL

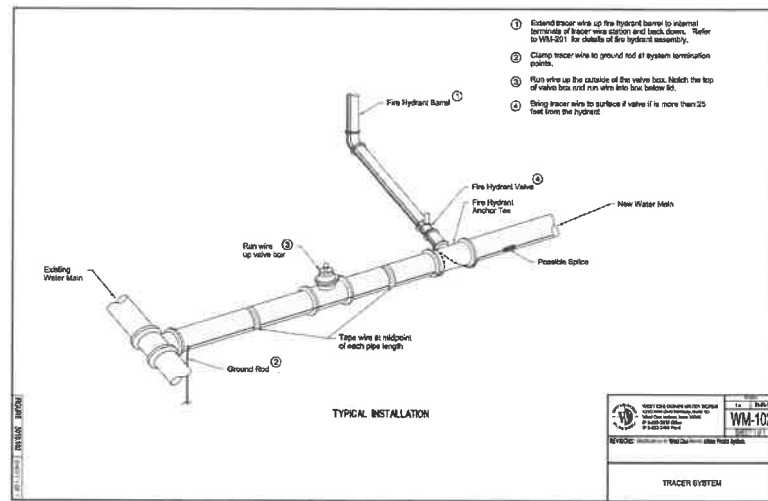
9
C5.1
NOT TO SCALE

Client: CITY OF WEST DES MOINES
Project Title: MIDTOWN REDEVELOPMENT PUD
PRELIMINARY NOT FOR CONSTRUCTION

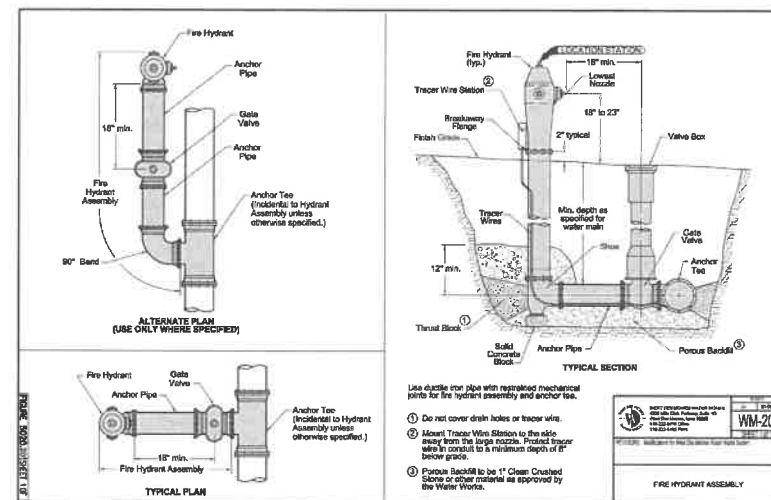
Rev.	Date	Description



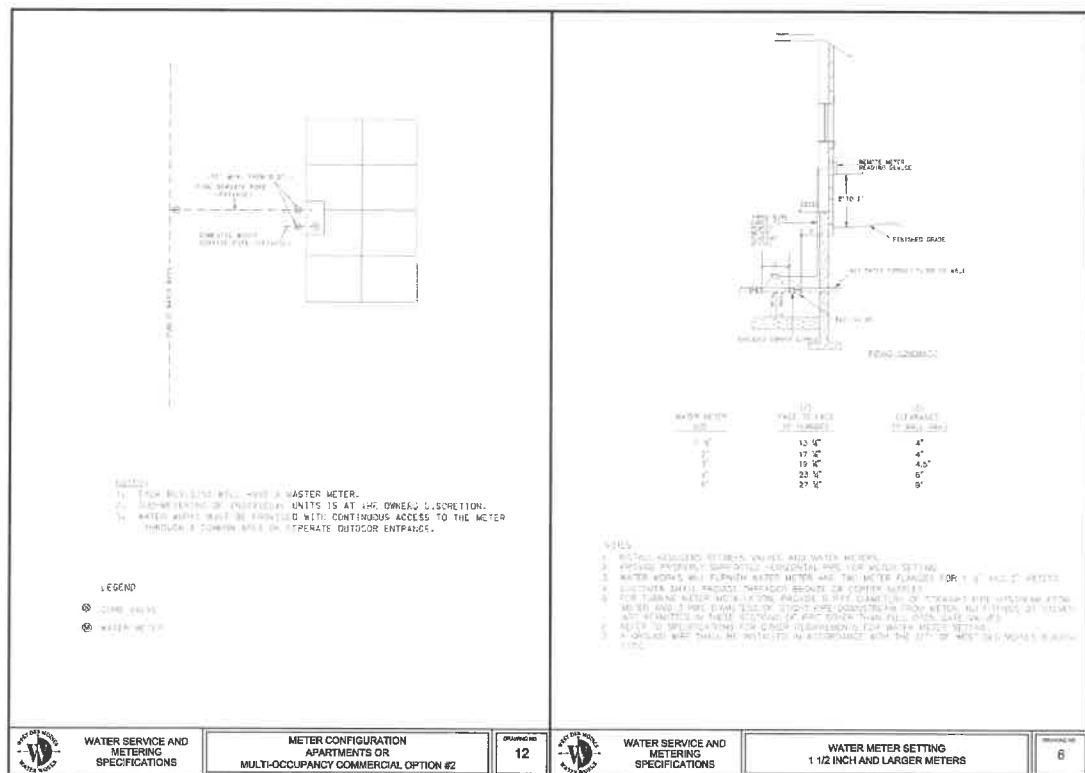
1
C5.2
CLEANOUT DETAIL
NOT TO SCALE



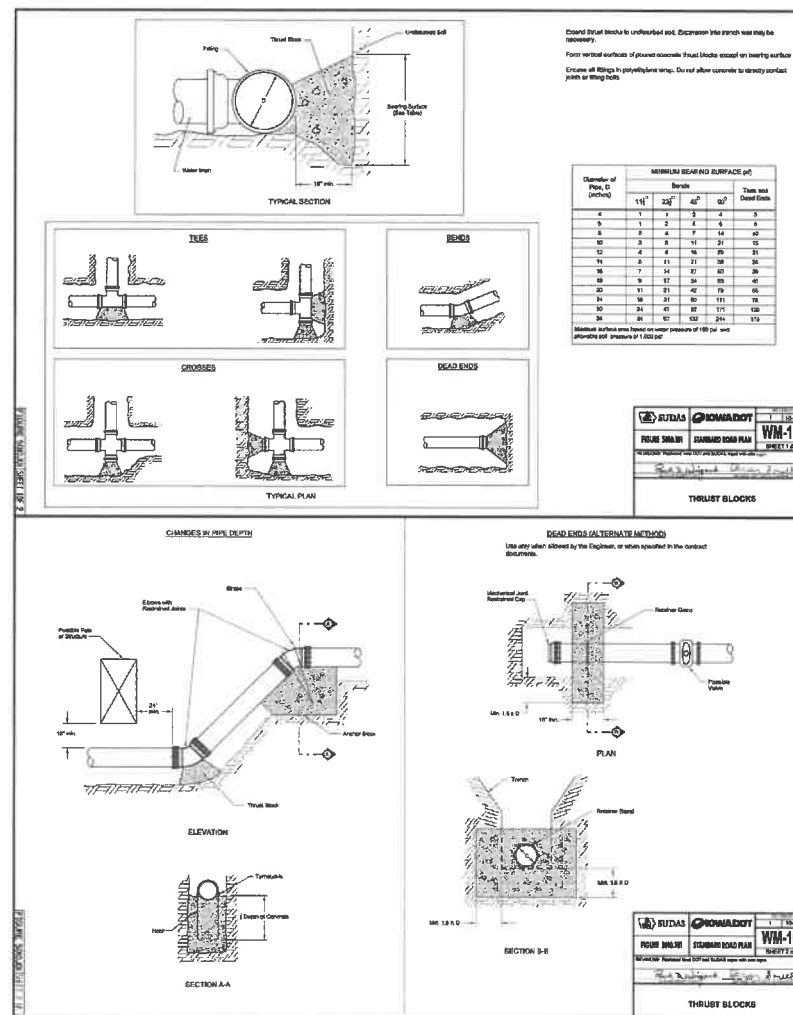
3
C5.2
TRACER SYSTEM DETAIL
NOT TO SCALE



5
C5.2
FIRE HYDRANT DETAIL
NOT TO SCALE



2
C5.2
WATER METER DETAIL
NOT TO SCALE



4
C5.2
THRUST BLOCKING DETAIL
NOT TO SCALE

Larson Engineering, Inc.
1001 Office Park Road, Ste 120
West Des Moines, IA 50265
515.225.4377
www.larsonengr.com

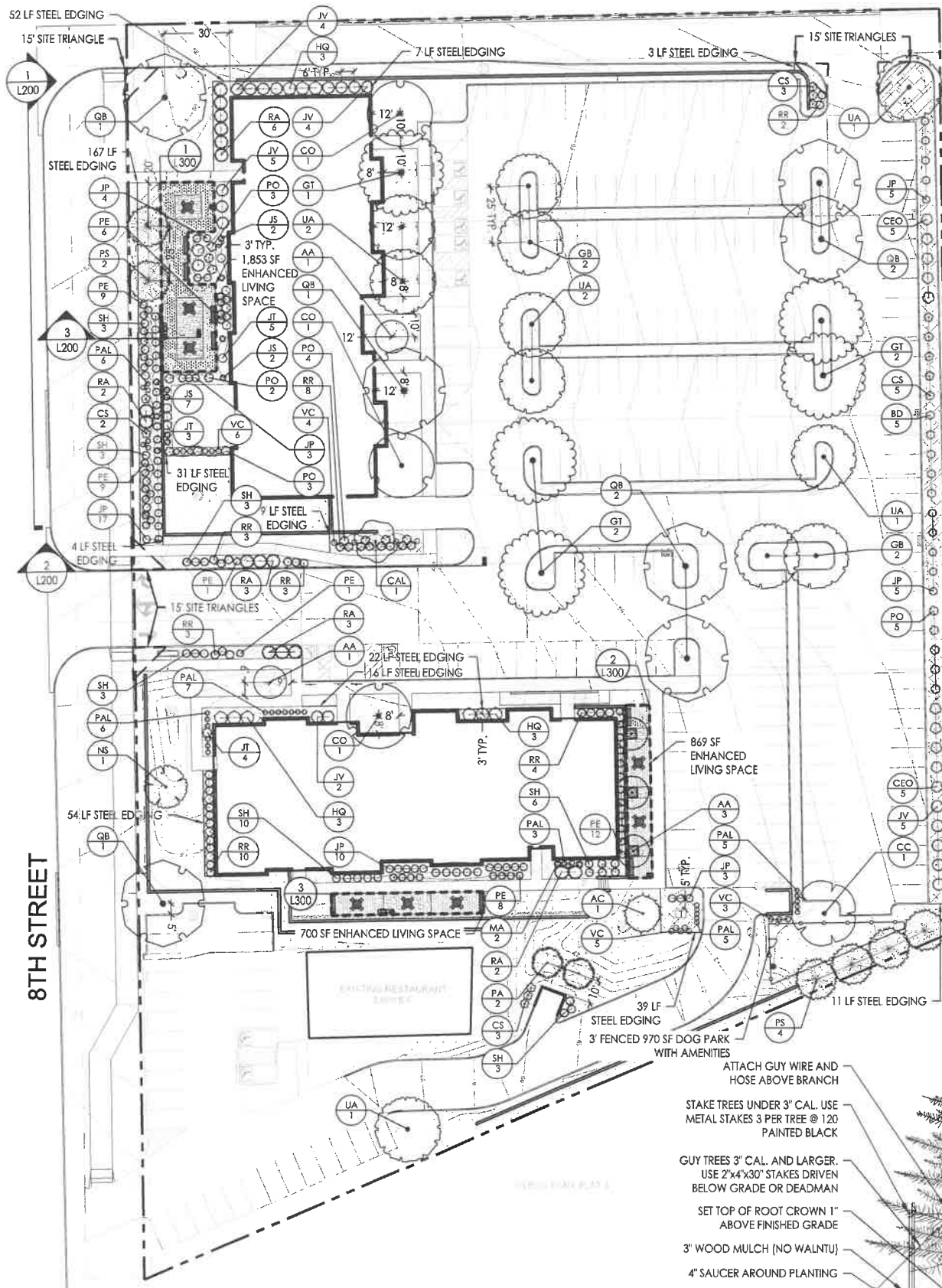
JGC HOLDINGS, LLC
950 OFFICE PARK ROAD
WEST DES MOINES, IA 50265

MIDTOWN REDEVELOPMENT PUD
WEST DES MOINES, IA

PRELIMINARY NOT FOR CONSTRUCTION

Rev.	Date	Description

Project # 12186828.000
Drawn By: MWW
Checked By: MAM
Issue Date: 06.24.20
Sheet Title: CIVIL DETAILS
Sheet: C5.2



PLANTING SCHEDULE:

EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AC	Abies concolor	White Fir	6' HT.	1
JS	Juniperus scopulorum "Skyrocket"	Skyrocket Juniper	6' HT.	11
PA	Picea abies	Norway Spruce	6' HT.	2
PS	Pinus strobus	White Pine	6' HT.	6

OVERSTORY TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
CO	Cedrus occidentalis	Common Hackberry	2" CAL.	3
CC	Corylus colurna	Turkish Filbert	2" CAL.	1
GB	Ginkgo biloba "Autumn Gold"	Ginkgo	2" CAL.	4
GT	Gleditsia triacanthos f. inermis	Thornless Honey Locust	2" CAL.	5
NS	Nyssa sylvatica	Black Tupelo	2" CAL.	1
QB	Quercus bicolor	Swamp White Oak	2" CAL.	7
UA	Ulmus americana "Princeton"	American Elm	2" CAL.	7

UNDERSTORY TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AA	Amelanchier arborea	Downy Serviceberry	1-1/2" CAL.	5
CAL	Cornus alternifolia	Pagoda Dogwood	1-1/2" CAL.	1

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
BD	Buddleja davidii	Butterfly Bush	3' HT.	5
CEO	Cephalanthus occidentalis	Butterfly Bush	3' HT.	10
CS	Cornus stolonifera "Farrow"	Aralic Fire Dogwood	2' HT.	13
HQ	Hydrangea quercifolia	Oakleaf Hydrangea	3' HT.	9
JT	Juniperus scopulorum "Blue Trail"	Blue Trail Juniper	3' HT.	12
JV	Juniperus virginiana "Grey Owl"	Grey Owl Juniper	2' HT.	20
JP	Juniperus x pfitzeriana "Sea Green"	Sea Green Juniper	2' HT.	47
MA	Mahonia aquifolium	Oregon Grape	3' HT.	2
PO	Physocarpus opulifolius	Ninebark	3' HT.	17
RA	Rhus aromatica "Gro-Low"	Fragrant Sumac	2' HT.	16
RR	Rosa rugosa	Saltspray Rose	2' HT.	33
VC	Viburnum carlesii "Compactum"	Korean Spice Viburnum	2' HT.	18

PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
PAL	Pennisetum alopecuroides	Fountain Grass	4" POT	32
PE	Perovskia atriplicifolia	Russian Sage	2' HT.	46
SH	Sporobolus heterolepis	Prairie Dropseed	4" POT	31

LANDSCAPE SUMMARY:	
OPEN SPACE PROVIDED:	
REQUIRED:	46,646 S.F.
PROVIDED:	59,435 S.F.
PLANTINGS PROVIDED [NO PARKING OR FOUNDATION]:	
REQUIRED:	17 OVERSTORY TREES
PROVIDED:	20 OVERSTORY TREES
REQUIRED:	6 EVERGREEN TREES
PROVIDED:	9 EVERGREEN TREES
REQUIRED:	50 SHRUBS
PROVIDED:	84 SHRUBS
ENHANCED LIVING SPACE PROVIDED:	
REQUIRED:	2,700 S.F.
PROVIDED:	2,700 S.F.
PARKLAND DEDICATION AREA:	
PROVIDED:	970 S.F. DOG PARK
	3,422 S.F. (INCLUDES ENHANCED LIVING SPACES)
	4,700 S.F. TRAIL
TOTAL:	9,092 S.F. PARKLAND DEDICATED AREA
LANDSCAPE SPACE WITHIN PARKING AREAS PROVIDED:	
REQUIRED:	5,038 S.F. (10%)
PROVIDED:	6,480 S.F. (12.9%)

LANDSCAPE LEGEND:

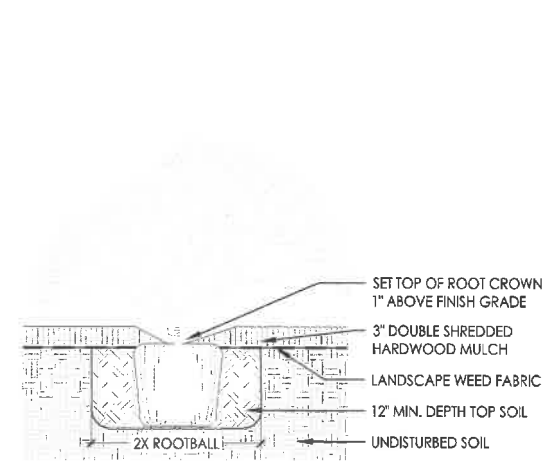
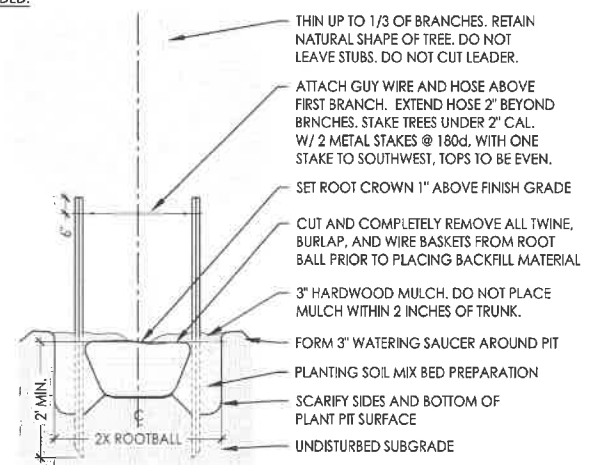
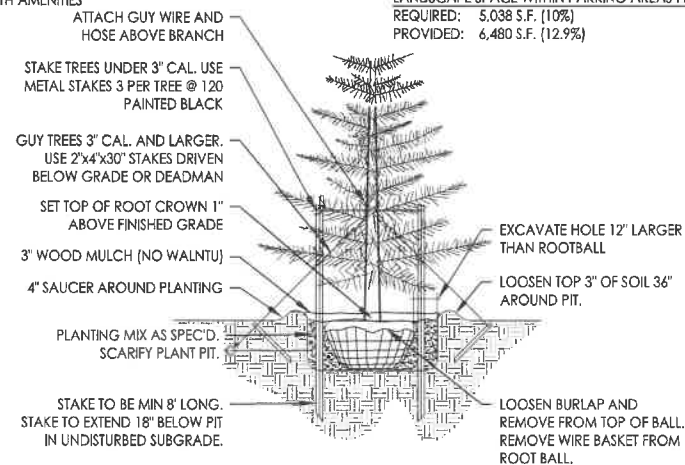
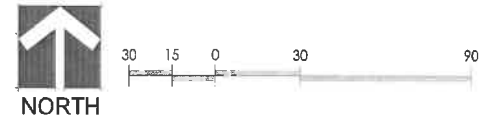
PATTERN	DESCRIPTION
[Blank]	SOD
[Cross-hatch]	MULCH
[Stippled]	CONCRETE PAVER
[Diagonal lines]	FLAGSTONE PAVER

GENERAL NOTES:

- ALL SITE AND UTILITY INFORMATION SHOWN IS BASED UPON INFORMATION AVAILABLE AT THE TIME OF DESIGN. VERIFY ALL SITE CONDITIONS, ELEVATIONS, UTILITY LOCATIONS AND DIMENSIONS INCLUDING NEW IMPROVEMENTS PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER REPRESENTATIVE OF ANY DISCREPANCIES OR IRREGULAR CONDITIONS.
- CONTRACTOR SHALL PROTECT ALL SITE IMPROVEMENTS AND UTILITIES. DAMAGE OCCURRING DURING AND AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR AT NO INCREASE IN CONTRACT PRICE.

LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS AND SECTIONS OF THE LOCAL JURISDICTION'S STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY CONTOURS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK.
- LOCATIONS OF ALL PLANT MATERIALS TO BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- ALL PLANTS OF THE SAME SPECIES SHALL BE OBTAINED FROM A SINGLE NURSERY SOURCE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF PLANT MATERIALS AND IMPROVEMENTS SHOWN.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SEED AND RESTORE ALL DISTURBED AREAS BACK TO ORIGINAL OR FINISH GRADE ELEVATIONS, INCLUDING EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.
- PLANT TREES AFTER FINAL GRADES ARE ESTABLISHED AND PRIOR TO PLANTING OF ALL OTHER PLANTS.
- ALL EXISTING PLANTS SHOWN ON PLAN ARE IN APPROXIMATE LOCATIONS. ADJUST NEW PLANTING BED AND TREE LOCATIONS TO AVOID CONFLICT WITH EXISTING PLANTINGS. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT ON ANY NECESSARY ADJUSTMENTS.
- THE LANDSCAPE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT INJURY TO ALL PLANT MATERIAL DURING DIGGING, HANDLING, PLANTING AND MAINTENANCE OPERATIONS.
- CONTRACTOR SHALL STAKE LOCATIONS OF ALL TREES AND OUTLINES OF BEDS FOR APPROVAL BY OWNER'S REP.
- REFER TO STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) STANDARD SPECIFICATIONS TREE PLANTING DETAILS ON 9030.101, 9030.102, AND 9030.103 FOR TREE PLANTING, STAKING, GUYING, AND WRAPPING.
- ALL TREE AND SHRUB LANDSCAPE BEDS SHALL HAVE WEED-PREVENTION FABRIC INSTALLED. WEED PREVENTION FABRIC SHALL COVER THE ENTIRE LANDSCAPE BED, PAYING CLOSE ATTENTION TO LEAVE NO GAPS ALONG THE EDGES.
- CANOPY TREES AND EVERGREEN TREES SHALL RECEIVE A MINIMUM OF 4" SHREDDED HARDWOOD MULCH. MULCH AROUND TREES SHALL BE EXTENDED OUT AS FAR AS THE HOLE DUG FOR PLANTING AND SHALL BE PLACED IN SUCH A WAY AS TO FORM A BOWL AT THE BASE OF THE TRUNK, ALLOWING WATER TO COLLECT MORE EFFECTIVELY.
- REMOVE ALL WIRE, TWINE, OR BURLAP FROM THE ROOTBALLS OF STREET TREES PRIOR TO PLANTING.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ANY TREES THAT HAVE BECOME TILTED WITHIN ONE YEAR FROM DATE OF INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF IDENTIFICATION TAGS, CONTAINERS, AND BURLAP ON ALL PLANT MATERIAL PRIOR TO COMPLETION OF THE CONTRACT.



1 LANDSCAPE PLAN

2 CONIFEROUS TREE PLANTING DETAIL
NOT TO SCALE

3 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

4 SHRUB PLANTING DETAIL
NOT TO SCALE

Larson Engineering, Inc.
1001 Office Park Road, Ste 120
West Des Moines, IA 50265
515.225.4377
www.larsonengr.com

JGC HOLDINGS, LLC
960 OFFICE PARK ROAD
WEST DES MOINES, IA 50265

MIDTOWN REDEVELOPMENT PUD
WEST DES MOINES, IA

PRELIMINARY NOT FOR CONSTRUCTION

Rev.	Date	Description

Project #: 1218628.000
Drawn By: JTJ
Checked By: EAD
Issue Date: 06.24.20
Sheet Title: LANDSCAPE PLAN

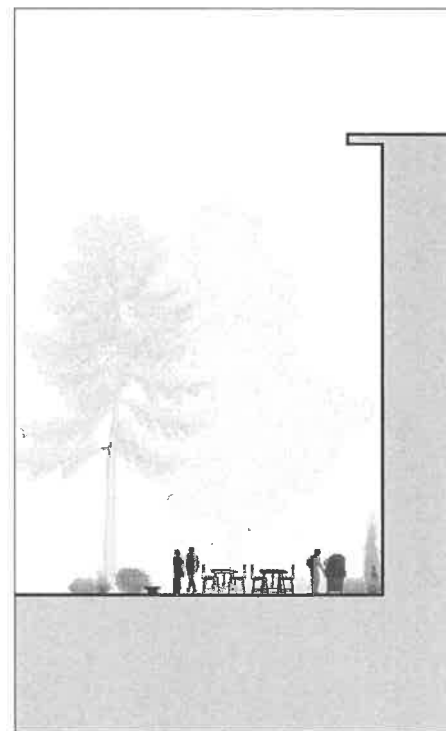
Sheet: **L100**



1 LANDSCAPE ELEVATION: FACING EAST
1" = 10' - 0"



2 LANDSCAPE ELEVATION: LOOKING NORTH
1" = 10' - 0"



3 LANDSCAPE SECTION: LOOKING NORTH
1" = 10' - 0"

PRELIMINARY NOT FOR CONSTRUCTION

Client:

JGC HOLDINGS, LLC
950 OFFICE PARK ROAD
WEST DES MOINES, IA 50265

Project Title:
**MIDTOWN
REDEVELOPMENT PUD**
WEST DES MOINES, IA

Rev.	Date	Description

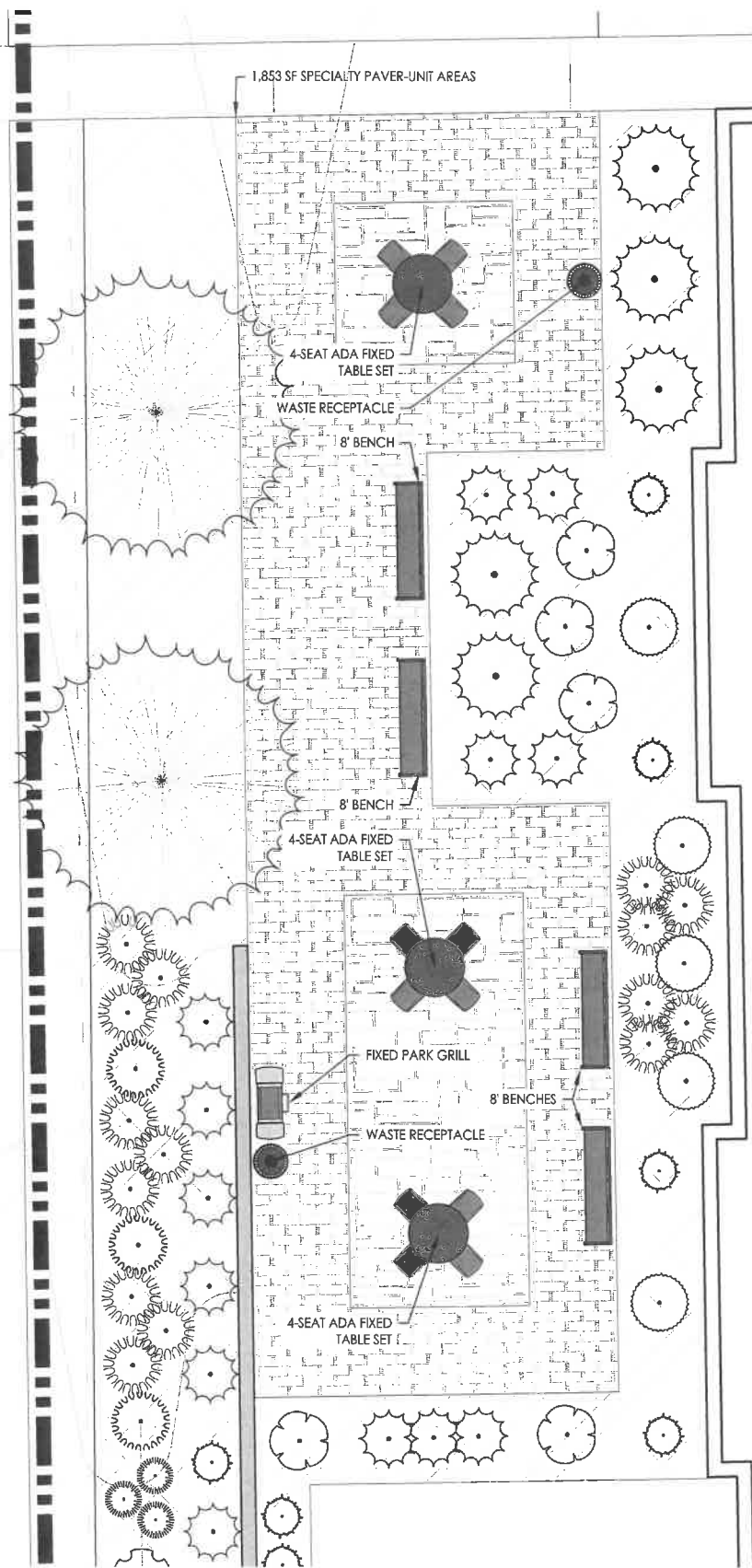
Project #: 12186828.000
 Drawn By: JTJ
 Checked By: EAD
 Issue Date: 06.24.20

Sheet Title:
**LANDSCAPE
ELEVATIONS**

Sheet:
L200

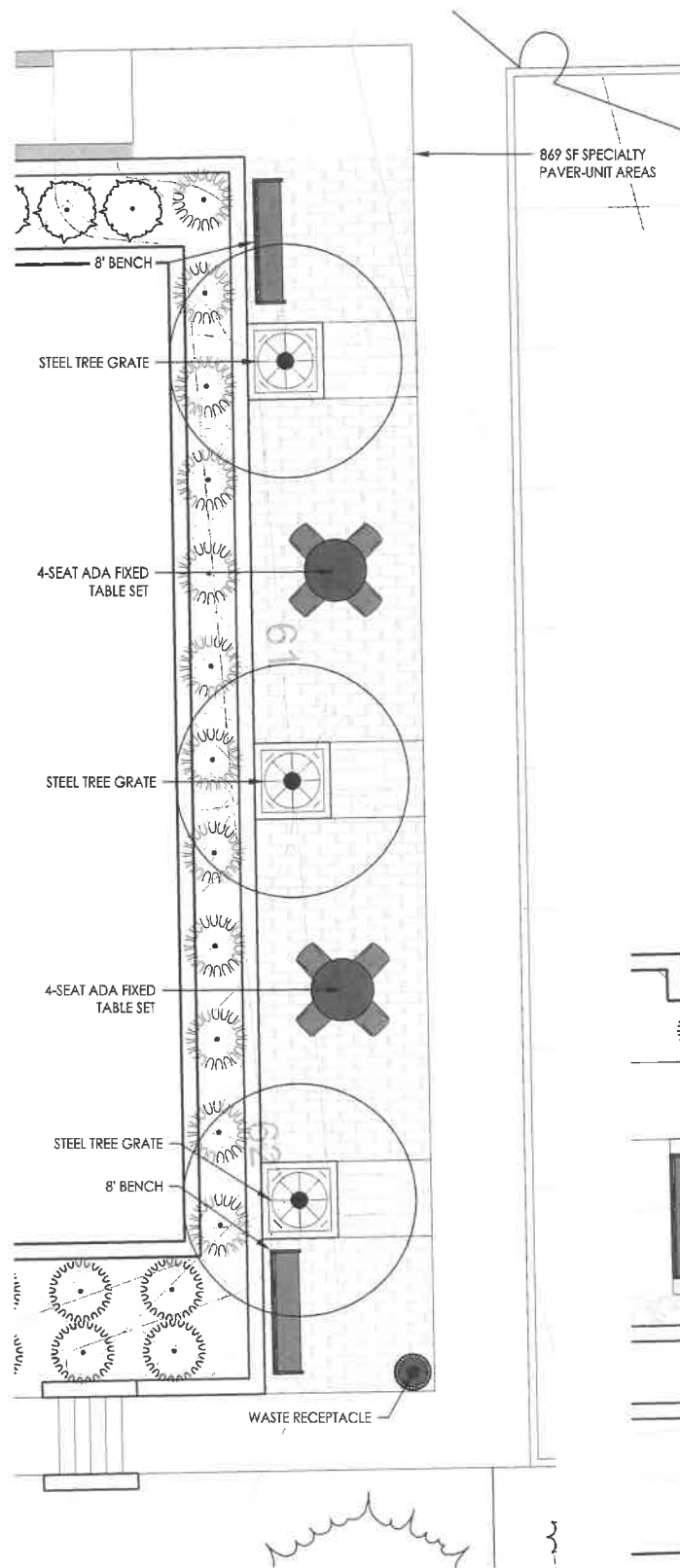
**Larson
Engineering, Inc.**
1001 Office Park Road, Ste 120
West Des Moines, IA 50265
515.225.4377
www.larsonengr.com

© 2020 Larson Engineering, Inc. All rights reserved.



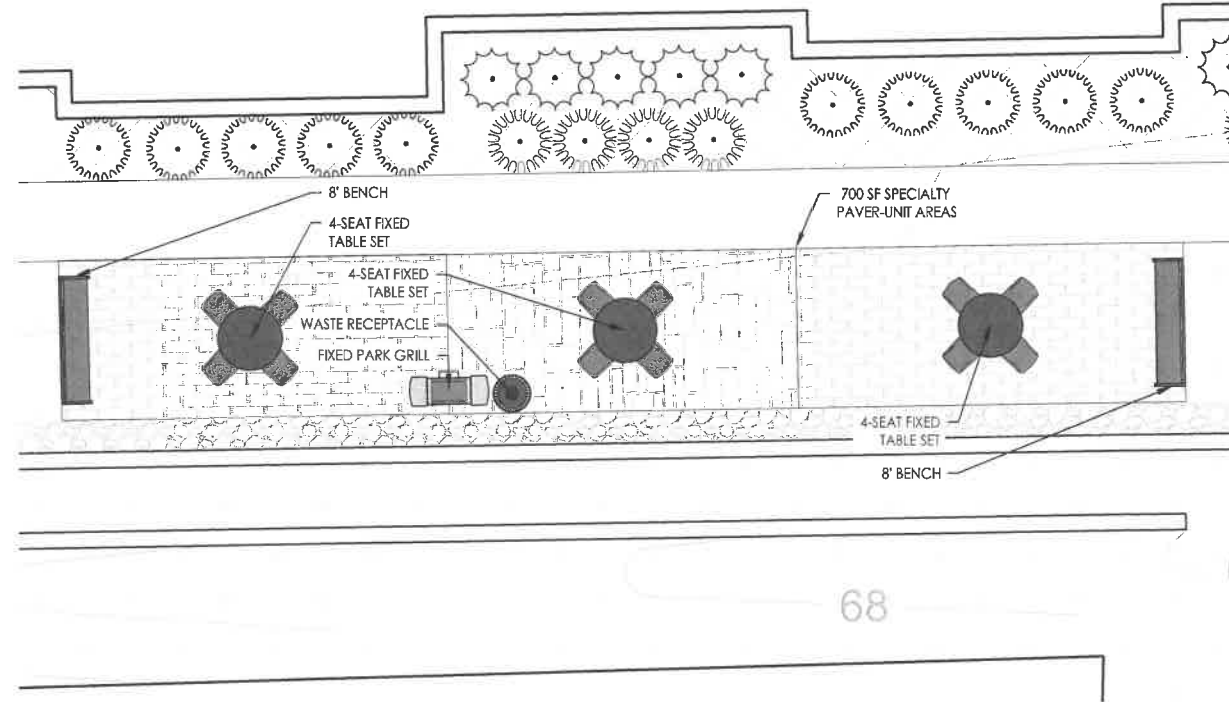
NORTH

1 1,853 S.F. ENHANCED OUTDOOR LIVING SPACE
3/16" = 1'-0"



NORTH

2 868 S.F. ENHANCED OUTDOOR LIVING SPACE
3/16" = 1'-0"



NORTH

3 700 S.F. ENHANCED OUTDOOR LIVING SPACE
3/16" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

Client:

JGC HOLDINGS, LLC
950 OFFICE PARK ROAD
WEST DES MOINES, IA 50265

Project Title:

MIDTOWN
REDEVELOPMENT PUD
WEST DES MOINES, IA

Rev.	Date	Description

Project #: 1216628.000
Drawn By: J.T.J.
Checked By: EAD
Issue Date: 05.24.20
Sheet Title:

LANDSCAPE DETAILS

Sheet:
L300

Larson Engineering, Inc.
1001 Office Park Road, Ste. 120
West Des Moines, IA 50265
515.225.4377
www.larsonengr.com

© 2020 Larson Engineering, Inc. All rights reserved.



2 NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

- CANOPY FASCIA & SOFFIT TO BE FLAT PANEL (MP-F) - SEE MATERIAL SCHEDULE ON G4.0
- CANOPY WALL TO BE FLAT PANEL (MP-E) - SEE MATERIAL SCHEDULE ON G4.0
- CANOPY WALL CAP TO BE OUT OF METAL FLASHING (FLASH-2) - SEE MATERIAL SCHEDULE ON G4.0
- CANOPY DRIP FLASHING TO BE OUT OF METAL FLASHING (FLASH-2) - SEE MATERIAL SCHEDULE ON G4.0
- TYPICAL WALL CAP TO BE OUT OF METAL FLASHING (FLASH-1) - SEE MATERIAL SCHEDULE ON G4.0
- TYPICAL WALL/WINDOW FLASHINGS TO BE OUT OF METAL FLASHING (FLASH-1) - SEE MATERIAL SCHEDULE ON G4.0
- THRU-WALL OVERFLOW TO BE OUT OF METAL FLASHING (FLASH-2) - SEE MATERIAL SCHEDULE ON G4.0
- ROOF DRAIN DOWNSPOUT TO BE OUT OF METAL FLASHING (FLASH-1) - SEE MATERIAL SCHEDULE ON G4.0
- PAINTED CMU - MATCH PAINT TO UTILITY BRICK COLOR (BRICK-1), PAINT COLOR: SHERWIN WILLIAMS 'SEALSKIN' SW7675 OR APPROVED EQUAL
- PAINTED HOLLOW METAL DOORS AND FRAME - MATCH PAINT TO UTILITY BRICK COLOR (BRICK-1), PAINT COLOR: SHERWIN WILLIAMS 'SEALSKIN' SW7675 OR APPROVED EQUAL
- SADDLE BACK PRECAST CONCRETE CAP WITH HIP ENDS, TYP. - SIZE TO WALL DEPTH, FINISH: ACID WASH, COLOR: EDWARDS CAST STONE 18-008 'BUFF' OR APPROVED EQUAL
- CORRUGATED STEEL DUMPSTER GATES WITH SUPPORT POST, TYP. COLOR: 'MATTIE BLACK' OR APPROVED EQUAL
- FIRE DEPARTMENT CONNECTION - VERIFY LOCATION WITH PLUMBING/FIRE PROTECTION DRAWINGS
- KNOX BOX - COORDINATE LOCATION WITH AUTHORITIES HAVING JURISDICTION
- BUILDING SIGNAGE - SIZE, LOCATION AND FINISH T.B.D.

GENERAL NOTES

- REFER TO STRUCTURAL DRAWINGS FOR SLAB ON GRADE CONSTRUCTION, CONTROL AND ISOLATION JOINTS.
- RETAINING WALL BLOCK TO BE KEYSTONE - REGAL STONE 6" STRAIGHT OR APPROVED EQUAL. BLOCK COLOR: PEWTER. SEE CML DRAWINGS FOR LOCATIONS AND DESIGN REQUIREMENTS.

BUILDING SYSTEMS:
SEE SHEET G3.0 FOR EXTERIOR BUILDING SYSTEMS AND WALL TYPE INFORMATION

SCHEDULES:
SEE SHEET G4.0 FOR MATERIAL & LIGHTING SCHEDULES



1 EAST ELEVATION
1/8" = 1'-0"

VANTAGE
ARCHITECTS
131 WEST 2ND STREET, STE 401
DAVENPORT, IA 52801
563-324-9028 (phone)
www.vp-arch.com

**KEYSTONE ON 8TH -
NORTH BUILDING**
8TH STREET
WEST DES MOINES, IOWA

DD SET 03/19/2020
PRELIMINARY NOT
FOR CONSTRUCTION

DRAWN JKC	CHECKED KJC
DATE 03/19/2020	JOB NO. DV011
BUILDING ELEVATIONS	

SHEET
A3.0



3 VIEW FROM WEST ENTRY
A3.2



1 VIEW FROM NORTHEAST
A3.2



4 VIEW FROM EAST ENTRY
A3.2



2 VIEW FROM SOUTHWEST
A3.2

REVISIONS

Rev #	Date	Description

VANTAGE
ARCHITECTS
131 WEST 2ND STREET, STE 401
DAVENPORT, IA 52801
563-324-9028 (phone)
www.vp-arch.com

KEYSTONE ON 8TH -
NORTH BUILDING
8TH STREET
WEST DES MOINES, IOWA

DD SET 03/19/2020
PRELIMINARY NOT
FOR CONSTRUCTION

DRAWN	CHECKED
JCK	KJC
DATE	JOB NO.
03/19/2020	DV011

3D VIEWS

SHEET
A3.2

C:\TEMP\KEYSTONE NORTH_ARCH\19_dsk\vp-arch.com\01

RESOLUTION NO. PZC 20-046

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, IOWA, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE THE MIDTOWN REDEVELOPMENT SITE PLAN AND PRELIMINARY PLAT (SP-0004688-2020 AND PP-004587-2020) FOR THAT PROPERTY LOCATED AT 1261, 1249, 1247, 1245, 1243, 1241, 1237, 1235, 1231 AND 1221 8TH STREET.

WHEREAS, pursuant to the provisions of Title 10, Chapter 1 and Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, JGC Holdings, LLC, has requested approval of a Site Plan and Preliminary Plat to allow the development of a commercial and residential vertical mixed-use development for that property located at 1261, 1249, 1247, 1245, 1243, 1241, 1237, 1235, 1231 and 1221 8th Street; and

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, on July 13, 2020, this Commission held a duly-noticed meeting to consider the Site Plan and Preliminary Plat (SP-0004688-2020 and PP-004587-2020).

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report, dated July 13, 2020, or as amended orally at the Plan and Zoning Commission hearing of July 13, 2020, are adopted.

SECTION 2. Site Plan and Preliminary Plat (SP-0004688-2020 and PP-004587-2020) to allow the development of a commercial and residential vertical mixed-use development is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report, dated July 13, 2020, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on July 13, 2020.

Erica Andersen, Chair
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on July 13, 2020, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary

Exhibit A Conditions of Approval

1. The applicant acknowledging and agreeing that execution of the Parkland Agreement shall occur prior to the issuance of a building permit for above ground construction and that implementation of the agreed upon improvements prior to the issuance of occupancy permits, including temporary occupancy for either the commercial space or dwelling units.
2. The applicant acknowledging and agreeing to submit the necessary offsite agreements and temporary construction easements prior to the case being heard by the City Council.
3. Applicant acknowledging and agreeing that in order to occupy buildings within the Phase One area, all site improvements, including pavement and ADA markings, sidewalks, buffers, landscaping and lawns within that identified phase area will need to be completed. For the purposes of determining the required improvements, phases are illustrated on Attachment C of this report.