

## Item 2a

### CITY OF WEST DES MOINES STAFF REPORT COMMUNICATION

MEETING DATE: February 22, 2021

**ITEM:** West Grand Business Park – MidAmerican Energy RecPlex, 6500 Grand Avenue – Amend the West Grand Business Park PUD to modify development and signage regulations for Parcel 10 – City of West Des Moines – ZC-005013-2021

**ORDINANCE: Approval of Amendment to Planned Unit Development Ordinance**

**Background:** The City of West Des Moines, is requesting approval of a PUD Amendment to modify site development requirements for PUD Parcel 10, located at 6500 Grand Avenue within the West Grand Business Park PUD. This parcel is home to the MidAmerican Energy Companies RecPlex currently under construction. The requested amendment will modify regulations for building and parking lot setbacks, the allowance of no curbs along the patron drop-off/pick-up lane at the main building entrance and increases in the allowable signage within the parcel.

**Staff Review & Comment:**

- **Financial Impact:** Undetermined
- **Key Development Aspects:** The proposed amendment will modify the following:
  - **Building and Parking Setbacks:** The parking lot setback along the perimeter of Parcel 10 is proposed to be amended from the currently required 25 feet down to 20 feet. A parking lot setback of 20 feet is consistent with existing City Code for the Business Park zoning district which is the underlying zoning classification for the property. In addition to the parking lot setback requirement, the statement “0’ if abuts a similar district” is proposed to be added to the 50’ side and 50’ rear yard building setback requirements. This statement is also consistent with existing City Code. These changes will allow more flexibility for any future development of the area on the west side of the RecPlex Building.
  - **Curbs:** City code requires a 4” integral curb along all off-street vehicle drives and parking areas. Due to the anticipation of patron’s use of large rolling equipment bags, no curb was intended along the patron drop off/pick-up lane at the main entrance to the RecPlex building. Traditional concrete filled bollard posts in a color to match with the building will be placed at the edge of the vehicle use area in front of the primary building entrance and at the head of ADA defined parking stalls and access areas. In the future, if desired, decorative bollards, planter boxes, benches, etc. of a design to resist movement from vehicle impact may be placed along the remaining no curbed area to further delineate between vehicle use areas and pedestrian pathways. Implementation of these will be driven in part by whether patrons are honoring the designated drop-off/pick-up designated area or pulling vehicles onto the pedestrian pathways and closer to the building. The area of the patron drop off/pick-up intended for vehicles is required to be visually treated the full length of the drop off area to identify pedestrian intended areas from vehicle intended areas.
  - **Signage:** Due to the size and layout of the recreational complex site and anticipated high percentage of patrons that may not be regular attendees to the facility, the need to provide clear guidance to visitors of where to go for the various activities possible within the site is critical. A Signage Plan has been developed identifying the regulations, design and placement locations for specific signs for the following purposes: Main Entrance Identification, Vehicle Wayfinding, Pedestrian Wayfinding, Outdoor Recreational Field Identification, including sponsorship identification, video and non-video scoreboards and Rules and Regulations. The details of each of these signs are as follows:

- **Main Entrance Sign:** Current city code allows one ground monument sign on sites with a minimum of 150' of street frontage with the allowance of one additional sign for properties with more than 500' of frontage on one roadway. The RecPlex site would be allowed two such signs based on the frontage to Grand Avenue. The signage plan indicates one sign of this type to be located in the landscape area at the first decision point off the main entrance drive which is immediately in front of the primary building entrance. This sign is planned to be 7'6" tall by 8'10" wide and approximately 67sf in sign structure size. This exceeds the height of the largest ground monument sign allowed per city code by 6" and the structure square footage by roughly 3sf; however, this sign is located interior to the site, far exceeding the traditional 10 or 20 foot setback that the majority of business monument signs are located. While the name of the sign is the primary focus of the horizontal part of the sign, the vertical portion does provide vehicle wayfinding information for various parts of the complex which results in the need for additional size.
- **Vehicle Wayfinding:** The only provisions in city code for directing patrons entering and moving around a site is Access Identification and Directional Signs. These signs do not include logos or business identification, and are limited to generic information for the viewer's needs, such as: enter, exit, main entrance, employee parking, deliveries, drive thru, etc. This type of sign is limited to 16sf and a maximum of 4' in height; however, the number of these signs allowed within a site is unlimited. Due to the size of the RecPlex complex and the distance of vehicle turn movements from Grand Avenue, the vehicle wayfinding signs proposed exceed the 4' allowed by city code and instead are planned to be 7'6" tall to be noticeable to drivers entering the site. Additionally, the copy area of the sign is approximately 21sf in size but does comply with the provision of only generic information such as, main entrance, parking and fields. The PUD does not specifically limit the number of these signs but does provide that they should be located at key decision points. Three of these signs are currently proposed.
- **Pedestrian Wayfinding:** Similar to vehicle wayfinding signs along the roadways within the site, pedestrian wayfinding signs are proposed to direct patrons around the site. These signs will match the vehicle wayfinding signs in the 7'6" height, but since they are intended to be viewed by individuals standing close to the sign, they are only 15" in width. The signs are desired at the 7'6" height to allow them to be noticed above the heads of other patrons and amenities in the site. City code does not provide any regulations for pedestrian wayfinding signs as they are traditionally interior to the site and only provide directional information, rather than visible from an adjoining roadway and advertising a business. In addition to pedestrian wayfinding signs, 'Rules and Regulations' signs will be located throughout the site. These signs will be a 3' by 1'6" metal sign mounted on a single pole, similar to how ADA parking stalls are identified. The top of the sign will be placed at 7' in height with no limit on the number of these signs. City code does not contain any provisions for this type of sign.
- **Field Identification:** The RecPlex complex is currently planned to have three outdoor soccer fields, with the possibility of additional fields at the western end of the site in the future. The RecPlex project, including the outdoor fields was made possible through the partnership with and donations of various sponsors. As with most major sponsorship arrangements, announcement of the donating entity (naming rights) is being allowed for each of the soccer fields. The field identification signs are proposed to be 9'6" in height overall, however, the sponsorship identification area (maximum 4sf) and where the sponsorship is located on the sign (top of copy at 5' from ground) is within city code provisions of what would be allowed for monument signs (5' height and 35sf of copy). The roughly 3' of sign area above the sponsorship identification is reserved for the placement of identification of the soccer field number. The overall 9'6" height is intentional to ensure that the signs can be seen over parking areas,

spectators and pedestrians on the sidewalk between the parking area and fields. Field score boards are typically not regulated unless they have video display capabilities. If video boards are implemented, they will need to abide by adopted city code regulations stated within title 9, chapter 10 for Scoreboards at the time of installation.

- **Wall Signage:** In accordance with provisions in city code for buildings setback larger distances from the adjoining roadway, wall signage for the RecPlex will be calculated at a ratio of 1.75sf of wall signage per lineal foot of building face fronting to Grand Avenue. When multiple signs are desired on a building such as this, it is up to the building owner to determine how the total amount of wall signage allowed for the building will be allocated to the various entities desiring/warranting identification. Per city code, the maximum size of a letter, graphic or logo dimension shall not exceed six feet (6'), except in those situations in which a use occupies in excess of one hundred thousand (100,000) square feet of building area. In these instances, individual letters, graphics or logos may be up to, but shall not exceed eight feet (8') in height. The size of the City's "W" in combination with the circular format of the City's name wrapping around the "W" is 14'6". While the overall size of the circular area encompassing the City's identification exceeds current city code, individually the "W" and each letter spelling out the city's name does not exceed 6' in size. Given the overall size of the RecPlex building, the scale of the building wall upon which the City's identification will be placed, and the distance from Grand Avenue, the PUD includes language to allow the overall 14'6" sign.

**Outstanding Issues:** There are no outstanding issues.

**Recommendation:** Approve the Rezoning request to amend the West Grand Business Park Planned Unit Development (PUD), subject to the applicant meeting all City Code requirements.

**Lead Staff Member:** Brian Portz, AICP

**Approval Meeting Dates:**

Plan & Zoning Commission	February 22, 2021
City Council – First Reading	
City Council – Second Reading, Waive Third Reading & Adopt	
City Council – Third Reading	

**Staff Report Reviews**

Plan & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator	<input type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director	<input type="checkbox"/> Legal Department
	<input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Agenda Acceptance

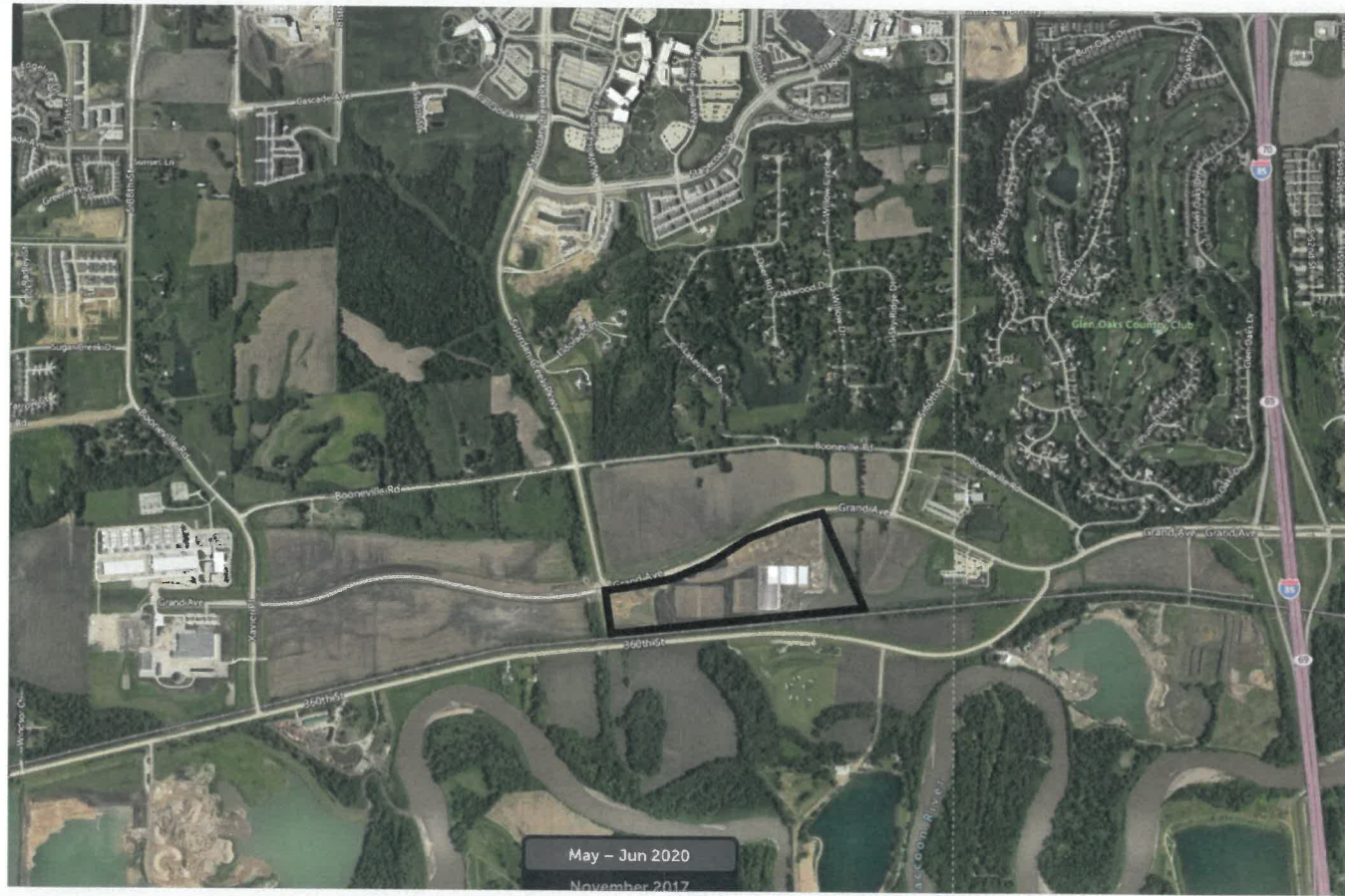
**Publications (if applicable)**

Published In	Des Moines Register Community Section	
Date(s) Published	P&Z	February 12, 2021
	City Council	February 12, 2021
Date(s) of Mailed Notices	P&Z	February 10, 2021
	City Council	February 10, 2021

**Subcommittee Review (if applicable)**

Committee	Development & Planning		
Date Reviewed	February 15, 2021		
Recommendation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Split <input type="checkbox"/>

Location Map



**A RESOLUTION OF THE PLAN AND ZONING COMMISSION  
NO. PZC-21-007**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, the applicant and property owner, The City of West Des Moines, has requested an amendment to the West Grand Business Park PUD to modify development and signage regulations for Parcel 10 within the PUD on property as legally defined in the Planned Unit Development Ordinance and indicated on the Location Map, both of which are included in the staff report; and

**WHEREAS**, the rezoning request complies with the applicable provisions of Iowa Code Chapter 414, the comprehensive plan and city code.

**NOW, THEREFORE**, the Plan and Zoning Commission of the City of West Des Moines recommends that City Council approve the Rezoning Request to modify development and signage regulations for Parcel 10 within the PUD, (ZC-005013-2021), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on February 22, 2021.

\_\_\_\_\_  
Erica Andersen, Chair  
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on February 22, 2021, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

\_\_\_\_\_  
Recording Secretary



# MidAmerican Energy RecPlex - Exterior Signage

## CITY OF WEST DES MOINES

6500 GRAND AVENUE | WEST DES MOINES, IOWA 50266  
 CITY PROJECT NO. 0764 001. 0510 055 2018

**GENERAL NOTES:**

- THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO SHIVEHATTERY, INC. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN TO SHIVEHATTERY, INC. AND NOT SHOWN ON THIS DRAWING. THE VERIFICATION OF EXISTENCE OF, AND THE DETERMINATION OF THE EXACT LOCATION OF, UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR(S).
- NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
- ANY WATER USE FROM HYDRANT REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-223-3895 TO RESERVE A METER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
- IOWA CODE 466, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-4989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEDNESDAYS AND HOLIDAYS.
- THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
- PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, STAGING AREAS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
- REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
- CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
- ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
- REPAIR OR REPLACE EXISTING FACILITIES (CURBS, PAVEMENT, PAVEMENT MARKINGS, UTILITIES, ETC.) TO REMAIN, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSE, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY OWNER'S REPRESENTATIVES AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS OF THE OWNER'S REPRESENTATIVE, WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT PRIOR AUTHORIZATION SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE.
- SPOT ELEVATIONS SHOWN REPRESENT ELEVATION AT FINISHED GRADE OF THAT SPECIFIED SURFACE.
- EROSION CONTROL MEASURES SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION TO MEET REQUIREMENTS OF ALL REGULATORY AGENCIES.
- CONTRACTOR TO COORDINATE ANY GRADE ADJUSTMENTS WITH THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ACCESS TO ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION. ANY WORK ON A PUBLIC STREET OR ALLEY THAT REQUIRES CLOSURE WILL REQUIRE A CLOSURE NOTICE SUBMITTED TO WEST DES MOINES PUBLIC SERVICES 48 HOURS IN ADVANCE.
- ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED TO FINAL FINISH GRADES.
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS, AND WDM ADDENDUMS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWER AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM CONSTRUCTION DIVISION CLINT CARPENTER (515-222-3539) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS / AGREEMENTS AND APPLICABLE PERMITS.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- STRIP TOPSOIL AND SOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT. RESPIREAD TOPSOIL AND BACKFILL TO TOP OF CURB OR EDGE OF PAVEMENT. COMPACT BACKFILL TO PREVENT SETTLING.
- BACKFILLING, FINISH GRADING, AND SEEDING SHALL BE THE RESPONSIBILITY OF CONTRACTOR UNLESS NOTED OTHERWISE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL WHICH IS NOT DESIRABLE TO BE INCORPORATED IN THE WORK INVOLVED IN THIS PROJECT - EXCAVATION, BROKEN CONCRETE, ETC. NO PAYMENT SHALL BE ALLOWED FOR MATERIAL HAULED TO THESE SITES.
- INSPECTION: THE CONTRACTOR SHALL CONTACT SHAYNE RATCLIFF, R6026 GM, (464-4775) 24 HOURS BEFORE BEGINNING CONSTRUCTION. SHAYNE SHALL BE CONSIDERED THE OWNER'S REPRESENTATIVE.

### SHEET INDEX

C000	COVER SHEET
C501	EXTERIOR SIGNS - LOCATION MAP
C502	MAIN ENTRANCE SIGN
C503	VEHICULAR WAYFINDING SIGN
C504	PEDESTRIAN WAYFINDING SIGN
C505	FIELD IDENTIFICATION SIGN
C506	FACADE SIGNS
C507	RULES & REGULATIONS SIGN

#### CITY CONTACT INFO

SHAYNE RATCLIFF (OWNER'S REPRESENTATIVE)  
 RECIPLEX GENERAL MANAGER  
 CITY OF WEST DES MOINES  
 (515) 440-4775

#### UTILITY CONTACTS

MID AMERICAN ENERGY (ELECTRIC & GAS)  
 GAIL DAVIS  
 (515) 281-2619

MEDIACOM  
 PAUL MAY  
 (515) 554-2648

AT&T CABLE  
 CLIFF STOCKWELL  
 (515) 246-2252

CENTURYLINK  
 ANGIE BACH  
 (515) 283-7320

HICKORY TECH COM  
 WESTON GROW  
 (515) 867-4769

WDM WATER WORKS  
 WILLIAM MABUCE  
 (515) 222-3510

WDM ENGINEERING SERVICES  
 CONSTRUCTION  
 CLINT CARPENTER  
 (515) 222-3539

WDM PUBLIC SERVICES  
 TRAFFIC  
 (515) 222-3480

### CERTIFICATIONS

#### STRUCTURAL ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed or typed name: ALEX BRASE  
 License Number: 23203  
 My License Renewal Date is: OCTOBER 31, 2021

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL:  
 PIER & FOUNDATION DETAILS AND NOTES ON C500 SERIES

#### LANDSCAPE ARCHITECT

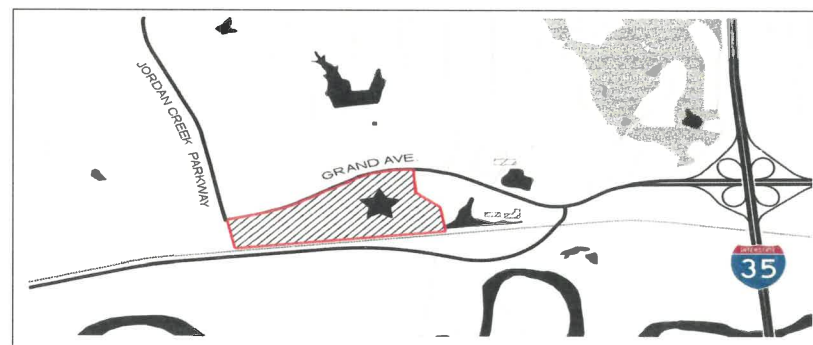
I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed or typed name: EMILY C. NAYLOR  
 License Number: \_\_\_\_\_

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL:  
 C500 SERIES, LESS PIER & FOUNDATION DETAILS AND NOTES

### PROJECT LOCATION MAP

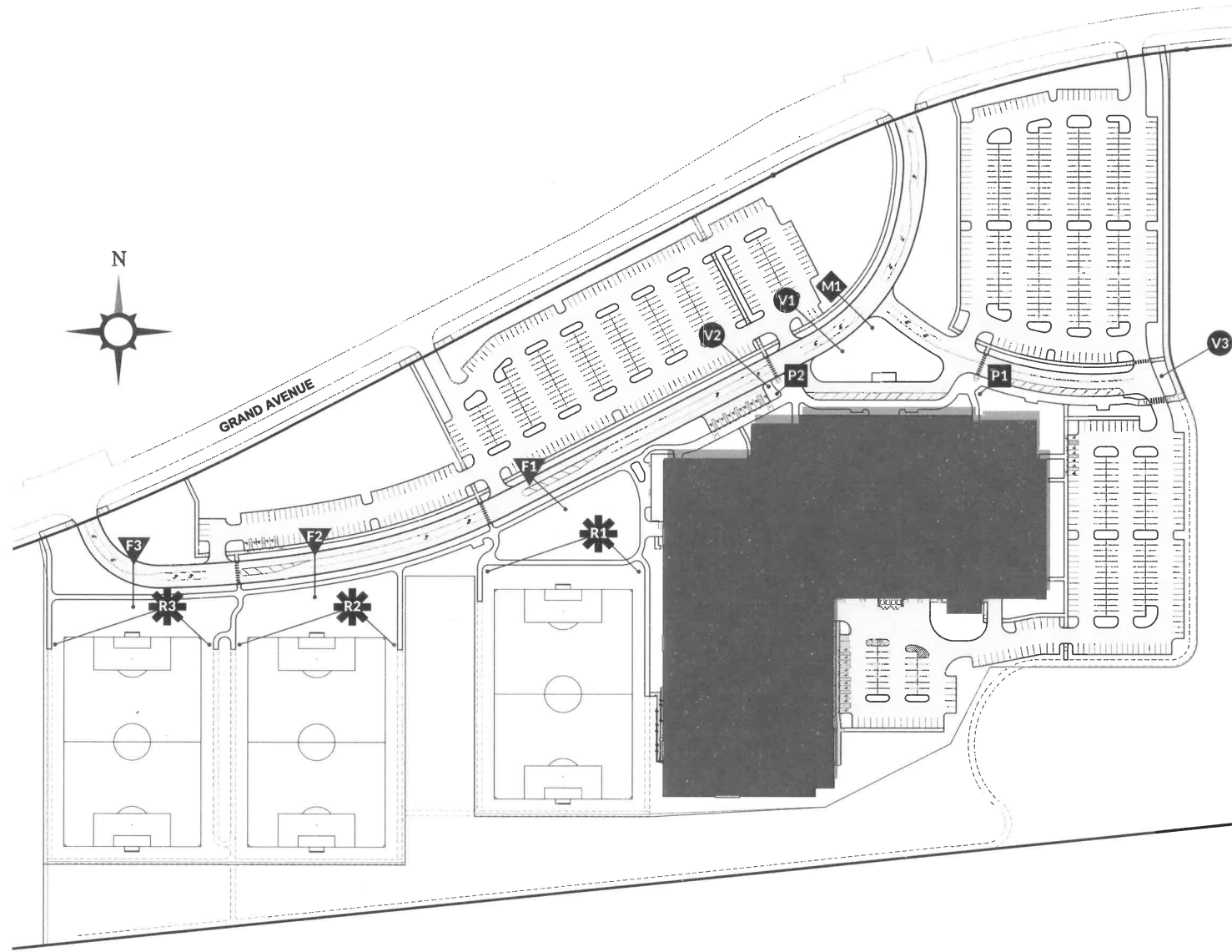


MidAmerican Energy RecPlex  
 CITY OF WEST DES MOINES  
 6500 GRAND AVENUE | WEST DES MOINES, IOWA 50266

11/13/2020  
 EXTERIOR SIGNAGE  
 PROJECT NO: 4022170  
 CLIENT NO: 0764.001.0510.055.2018

C000

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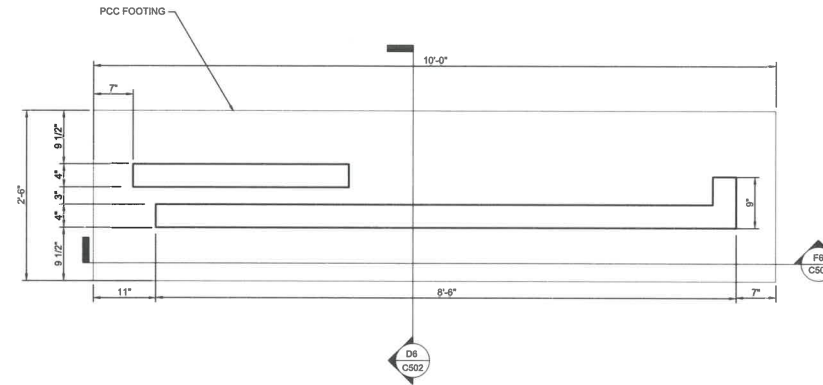
**EXTERIOR SIGNAGE SCHEDULE**

	ID	SIDE A	SIDE B
◆ MAIN ENTRANCE SIGN	M1	DIRECTION: North facing  CONTENT: ME/RecPlex logo ↻ Parking ↻ Drop-off ↻ Fields	
● VEHICULAR WAYFINDING	V1	DIRECTION: Northeast facing  CONTENT: ↻ Main Entrance ↻ Drop-off ↻ Parking ↻ Fields	DIRECTION: Southwest facing  CONTENT: ↻ Parking ↻ Exit to Grand ↻ See you next time!
	V2	DIRECTION: Northeast facing  CONTENT: ↻ Parking ↻ Fields	DIRECTION: Southwest facing  CONTENT: ↻ Main Entrance ↻ Drop-off ↻ Parking ↻ Exit to Grand Ave ↻ See you next time!
	V3	DIRECTION: West facing  CONTENT: ↻ Parking ↻ Overflow Parking ↻ Deliveries ↻ Exit to Grand Ave ↻ See you next time!	
■ PEDESTRIAN WAYFINDING	P1	DIRECTION: North facing  CONTENT: ↻ Main Entrance ↻ Fields	
	P2	DIRECTION: Northeast facing  CONTENT: ↻ Fields 1, 2, 3	DIRECTION: Southwest facing  CONTENT: ↻ Main Entrance
▼ FIELD IDENTIFICATION	F1	DIRECTION: Northeast facing  CONTENT: 1 Donor logo	DIRECTION: Southwest facing  CONTENT: 1 Donor logo
	F2	DIRECTION: East facing  CONTENT: 2 Donor logo	DIRECTION: West facing  CONTENT: 2 Donor logo
	F3	DIRECTION: East facing  CONTENT: 3 Donor logo	DIRECTION: West facing  CONTENT: 3 Donor logo
✱ RULES & REGULATIONS	R1	DIRECTION: North facing  CONTENT: Field 1 Rules & Regulations www.recplex.com	
	R2	DIRECTION: North facing  CONTENT: Field 2 Rules & Regulations www.recplex.com	
	R3	DIRECTION: North facing  CONTENT: Field 3 Rules & Regulations www.recplex.com	

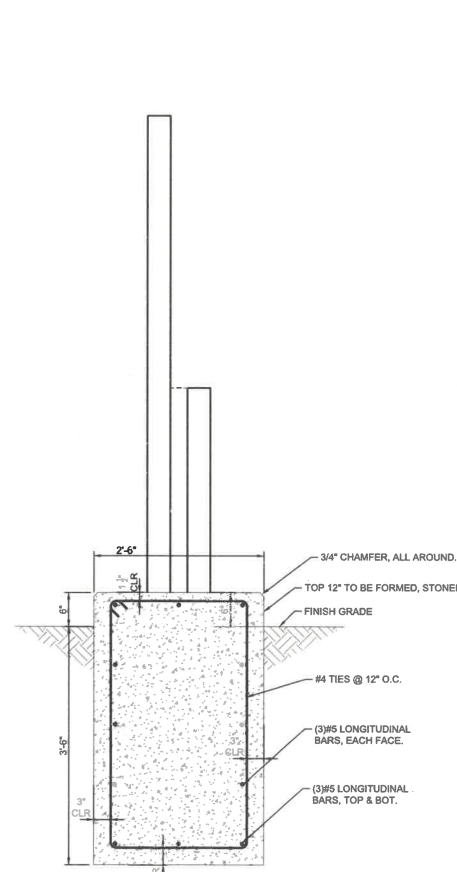


**FOUNDATION NOTES AND SPECIFICATIONS**

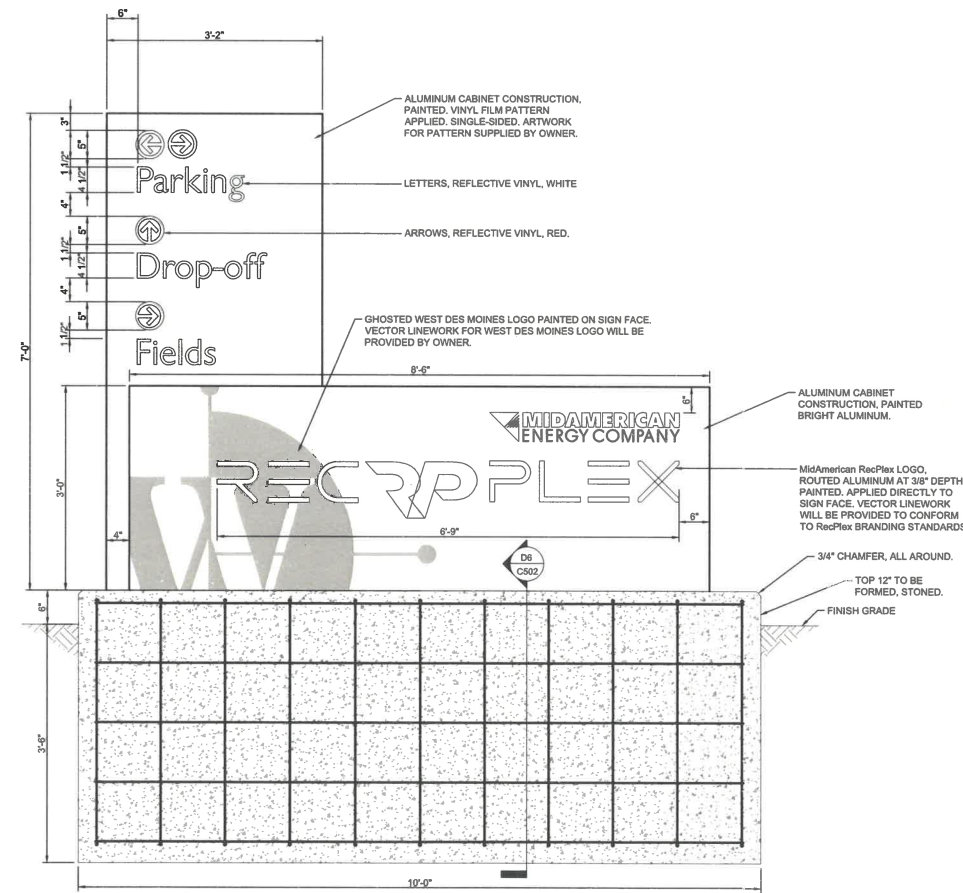
- ALL CONCRETE SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE'S PUBLICATIONS: ACI 301, ACI 305.1, ACI 308.1, ACI 315, AND ACI 318 UNLESS NOTED OTHERWISE.
- CONCRETE COMPRESSIVE STRENGTH (28 DAY)(F<sub>c</sub>)  
FOUNDATION - 4000 PSI
- CONCRETE REINFORCEMENT STANDARDS:  
DEFORMED BARS - ASTM A615 - F<sub>y</sub> = 60 KSI
- ALL CONCRETE SHALL BE STONE AGGREGATE UNLESS NOTED OTHERWISE. SUBMIT MIX DESIGN AND DOCUMENTATION FOR APPROVAL PER ACI 318.
- REINFORCEMENT PROTECTION  
A. CONCRETE PLACED AGAINST EARTH - 3"  
B. CONCRETE PLACED IN FORMS BUT EXPOSED TO WEATHER OR EARTH:  
a. BARS #6 AND SMALLER - 1 1/2"  
b. BARS LARGER THAN #6 - 2"
- WHERE REQUIRED, DOWELS SHALL MATCH THE SIZE, NUMBER AND SPACING OF THE MAIN REINFORCING UNLESS NOTED OTHERWISE.
- ALL SPLICES, STANDARD HOOKS, AND DEVELOPMENT LENGTHS TO BE PER THE REFERENCED EDITION OF ACI 318. MAKE BARS CONTINUOUS AROUND CORNERS. ALL SPLICES SHALL BE BY CONTACT LAP.  
ALL SPLICES SHALL BE A CLASS "B" TENSION SPLICE AS DEFINED IN ACI 318. PROVIDE LAP SPLICE LENGTHS AS FOLLOWS:  
LAP SPLICE LENGTHS GIVEN. ASSUME CLEAR SPACING BETWEEN BARS OF 2 BAR DIAMETERS, AND A MINIMUM CLEAR COVER OF 1 BAR DIAMETER. TOP BARS ARE DEFINED AS HORIZONTAL BARS WITH MORE THAN 12" ON FRESH CONCRETE BENEATH THE BARS.  
THERE SHALL BE NO ADDITIONAL OPENINGS LARGER THAN 10" IN CONCRETE WALLS.
- REINFORCING STEEL AND SIGN ANCHORAGE SHALL BE SECURELY FASTENED INTO FORMS PRIOR TO POURING CONCRETE. WET SETTING OF REINFORCING STEEL OR ANCHORS WILL NOT BE ACCEPTED PER ACI.
- CONCRETE MIX - FOUNDATIONS  
COARSE AGGREGATE - 100% PASSING 1" SIEVE  
FINE AGGREGATE - 100% PASSING 3/8" SIEVE  
WATER/CEMENT RATIO - 0.45  
SLUMP (NO WATER REDUCER) - 4" +/- 1"  
SLUMP (WITH WATER REDUCER) - 4" TO 5"  
AIR CONTENT - 6% +/- 1.5%
- EXPOSED SURFACE CONCRETE FINISH SHALL COMPLY WITH SMOOTH RUB ARCHITECTURAL FINISH AS DEFINED IN THE AMERICAN CONCRETE INSTITUTE SPECIFICATION SECTION 301.
- ANCHORS SHALL BE GALVANIZED AND BREAK-AWAY. SUBMITTAL REQUIRED FOR APPROVAL OF DELEGATED DESIGN BY FABRICATOR.
- SOILS INFORMATION BASED ON ASSUMED CONDITIONS. NET ALLOWABLE SOIL BEARING PRESSURES: SPREAD FOOTINGS - 1500 PSF
- MINIMUM FROST PROTECTION DEPTH MEASURED FROM GRADE EXTERIOR FOOTING - (-3'-4")
- VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY PRIOR TO CONSTRUCTION.
- TEST CONCRETE SLUMP (ASTM C143), TEMPERATURE (ASTM C1064), AND CONCRETE COMPRESSIVE STRENGTH (ASTM C31 & C39); 4 CYLINDERS PER BATCH OF CONCRETE, 1 BREAK AT 7 DAYS, 2 BREAKS AT 28 DAYS, AND 1 EXTRA.



**F3 MAIN ENTRANCE SIGN - PLAN**  
SCALE: 1" = 1'-0"



**D6 MAIN ENTRANCE SIGN - SECTION**  
SCALE: 1" = 1'-0"



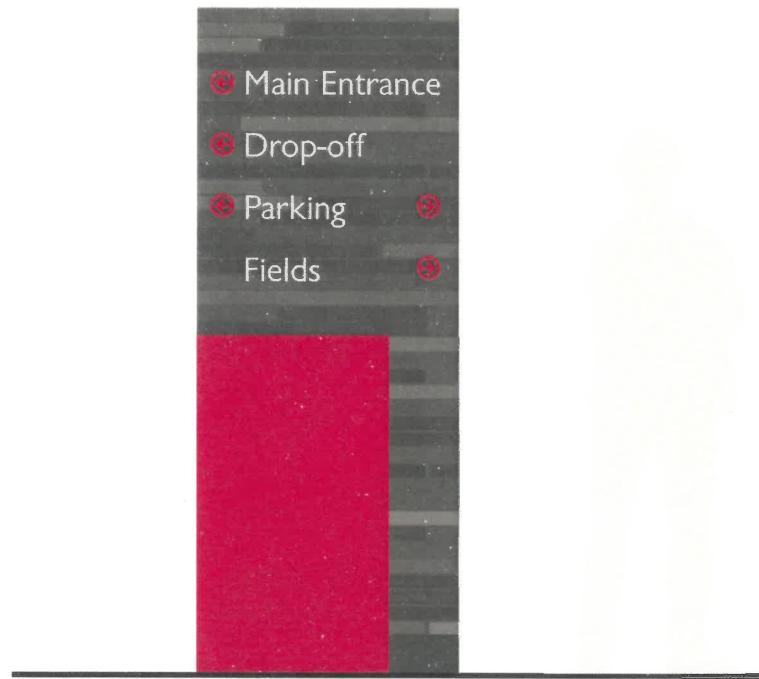
**F6 MAIN ENTRANCE SIGN - ELEVATION**  
SCALE: 1" = 1'-0"



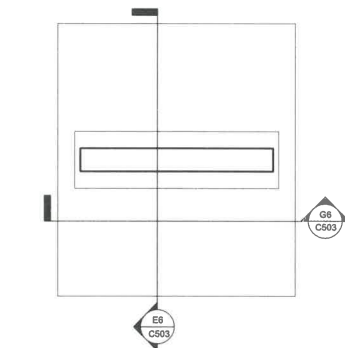
**A6 MAIN ENTRANCE SIGN - RENDERING - (FOR DESIGN INTENT ONLY)**  
NOT TO SCALE

**FOUNDATION NOTES AND SPECIFICATIONS**

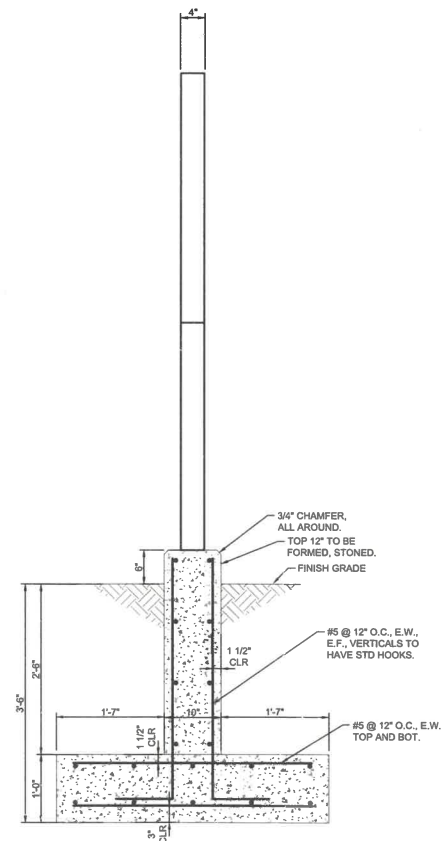
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- CONCRETE COMPRESSIVE STRENGTH (28 DAY)(F<sub>c</sub>)  
FOUNDATION - 4000 PSI
- CONCRETE REINFORCEMENT STANDARDS:  
DEFORMED BARS - ASTM A615 - F<sub>y</sub> = 60 KSI
- ALL CONCRETE SHALL BE STONE AGGREGATE UNLESS NOTED OTHERWISE. SUBMIT MIX DESIGN AND DOCUMENTATION FOR APPROVAL PER ACI 318.
- REINFORCEMENT PROTECTION  
A. CONCRETE PLACED AGAINST EARTH - 3"  
B. CONCRETE PLACED IN FORMS BUT EXPOSED TO WEATHER OR EARTH:  
a. BARS #5 AND SMALLER - 1 1/2"  
b. BARS LARGER THAN #5 - 2"  
6. WHERE REQUIRED, DOWELS SHALL MATCH THE SIZE, NUMBER AND SPACING OF THE MAIN REINFORCING UNLESS NOTED OTHERWISE.
- ALL SPLICES, STANDARD HOOKS, AND DEVELOPMENT LENGTHS TO BE PER THE REFERENCED EDITION OF ACI 318. MAKE BARS CONTINUOUS AROUND CORNERS. ALL SPLICES SHALL BE BY CONTACT LAP.
- ALL SPLICES SHALL BE A CLASS "B" TENSION SPLICE AS DEFINED IN ACI 318. PROVIDE LAP SPLICES LENGTHS AS FOLLOWS:  
LAP SPLICE LENGTHS GIVEN, ASSUME CLEAR SPACING BETWEEN BARS OF 2 BAR DIAMETERS, AND A MINIMUM CLEAR COVER OF 1 BAR DIAMETER. TOP BARS ARE DEFINED AS HORIZONTAL BARS WITH MORE THAN 12" ON FRESH CONCRETE BENEATH THE BARS.
- THERE SHALL BE NO ADDITIONAL OPENINGS LARGER THAN 10" IN CONCRETE WALLS.
- REINFORCING STEEL AND SIGN ANCHORAGE SHALL BE SECURELY FASTENED INTO FORMS PRIOR TO POURING CONCRETE. WET SETTING OF REINFORCING STEEL OR ANCHORS WILL NOT BE ACCEPTED PER ACI.
- CONCRETE MIX - FOUNDATIONS  
COARSE AGGREGATE - 100% PASSING 1" SIEVE  
FINE AGGREGATE - 100% PASSING 3/8" SIEVE  
WATER/CEMENT RATIO - 0.45  
SLUMP (NO WATER REDUCER) - 4" +/- 1"  
SLUMP (WITH WATER REDUCER) - 4" TO 6"  
AIR CONTENT - 6% +/- 1.5%
- EXPOSED SURFACE CONCRETE FINISH SHALL COMPLY WITH SMOOTH RUB ARCHITECTURAL FINISH AS DEFINED IN THE AMERICAN CONCRETE INSTITUTE SPECIFICATION SECTION 301.
- ANCHORS SHALL BE GALVANIZED AND BREAK-AWAY. SUBMITTAL REQUIRED FOR APPROVAL OF DELEGATED DESIGN BY FABRICATOR.
- SOILS INFORMATION BASED ON ASSUMED CONDITIONS. NET ALLOWABLE SOIL BEARING PRESSURES: SPREAD FOOTINGS - 1500 PSF
- MINIMUM FROST PROTECTION DEPTH MEASURED FROM GRADE EXTERIOR FOOTING - (-3'-4")
- VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY PRIOR TO CONSTRUCTION.
- TEST CONCRETE SLUMP (ASTM C143), TEMPERATURE (ASTM C1064), AND CONCRETE COMPRESSIVE STRENGTH (ASTM C31 & C39): 4 CYLINDERS PER BATCH OF CONCRETE, 1 BREAK AT 7 DAYS, 2 BREAKS AT 28 DAYS, AND 1 EXTRA.



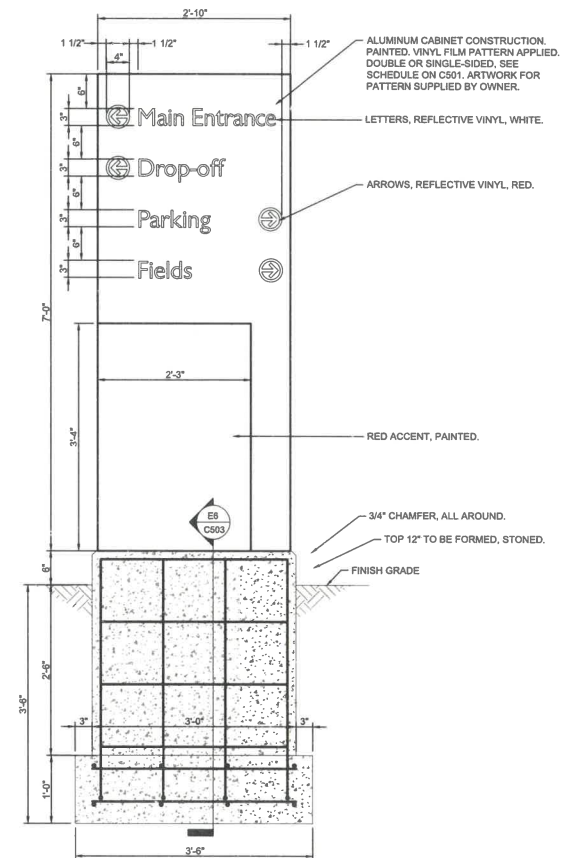
**B6** VEHICULAR WAYFINDING SIGN - RENDERING - (FOR DESIGN INTENT ONLY)  
NOT TO SCALE



**G3** VEHICULAR WAYFINDING SIGN - PLAN  
SCALE: 1" = 1'-0"



**E6** VEHICULAR WAYFINDING SIGN - SECTION  
SCALE: 1" = 1'-0"

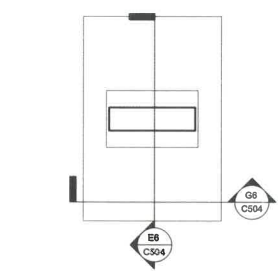


**G6** VEHICULAR WAYFINDING SIGN - ELEVATION  
SCALE: 1" = 1'-0"

DRAWN: EDR
APPROVED: ECH
ISSUED FOR: EXTERIOR SIGNAGE
DATE: 11/15/2019
PROJECT NO: 1021719
FIELD BOOK: ---
CLIENT NO: 0784 001 05105 051019

**FOUNDATION NOTES AND SPECIFICATIONS**

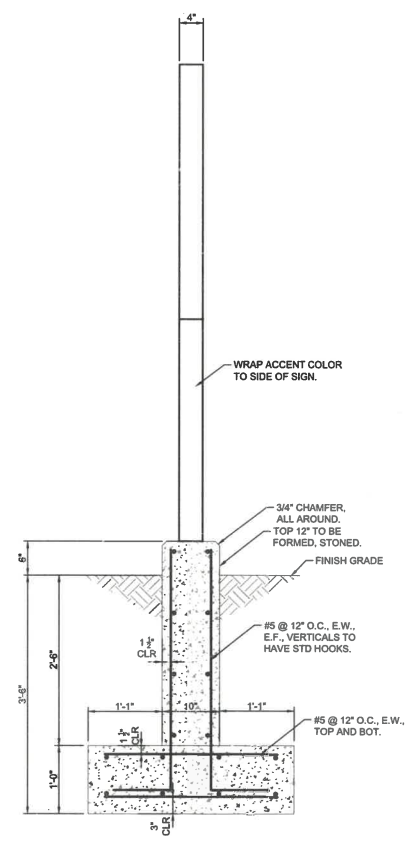
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3. CONCRETE REINFORCEMENT STANDARDS: DEFORMED BARS - ASTM A615 - F<sub>y</sub> = 60 KSI
4. ALL CONCRETE SHALL BE STONE AGGREGATE UNLESS NOTED OTHERWISE. SUBMIT MIX DESIGN AND DOCUMENTATION FOR APPROVAL PER ACI 318.
5. REINFORCEMENT PROTECTION
  - A. CONCRETE PLACED AGAINST EARTH - 3"
  - B. CONCRETE PLACED IN FORMS BUT EXPOSED TO WEATHER OR EARTH:
    - a. BARS #5 AND SMALLER - 1 1/2"
    - b. BARS LARGER THAN #5 - 2"
6. WHERE REQUIRED, DOWELS SHALL MATCH THE SIZE, NUMBER AND SPACING OF THE MAIN REINFORCING UNLESS NOTED OTHERWISE.
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9. THERE SHALL BE NO ADDITIONAL OPENINGS LARGER THAN 10" IN CONCRETE WALLS.
10. REINFORCING STEEL AND SIGN ANCHORAGE SHALL BE SECURELY FASTENED INTO FORMS PRIOR TO POURING CONCRETE. WET SETTING OF REINFORCING STEEL OR ANCHORS WILL NOT BE ACCEPTED PER ACI.
11. CONCRETE MIX - FOUNDATIONS
  - COARSE AGGREGATE - 100% PASSING 1" SIEVE
  - FINE AGGREGATE - 100% PASSING 3/8" SIEVE
  - WATER/CEMENT RATIO - 0.45
  - SUMP (NO WATER REDUCER) - 4" ± 1"
  - SUMP (WITH WATER REDUCER) - 4" TO 8"
  - AIR CONTENT - 5% ± 1.5%
12. EXPOSED SURFACE CONCRETE FINISH SHALL COMPLY WITH SMOOTH RUB ARCHITECTURAL FINISH AS DEFINED IN THE AMERICAN CONCRETE INSTITUTE SPECIFICATION SECTION 301.
13. ANCHORS SHALL BE GALVANIZED AND BREAK-AWAY. SUBMITTAL REQUIRED FOR APPROVAL OF DELEGATED DESIGN BY FABRICATOR.
14. SOILS INFORMATION BASED ON ASSUMED CONDITIONS. NET ALLOWABLE SOIL BEARING PRESSURES: SPREAD FOOTINGS - 1500 PSF
15. MINIMUM FROST PROTECTION DEPTH MEASURED FROM GRADE EXTERIOR FOOTING - (-3'-6")
16. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY PRIOR TO CONSTRUCTION.
17. TEST CONCRETE SLUMP (ASTM C143), TEMPERATURE (ASTM C1064), AND CONCRETE COMPRESSIVE STRENGTH (ASTM C31 & C39); 4 CYLINDERS PER BATCH OF CONCRETE, 1 BREAK AT 7 DAYS, 2 BREAKS AT 28 DAYS, AND 1 EXTRA.



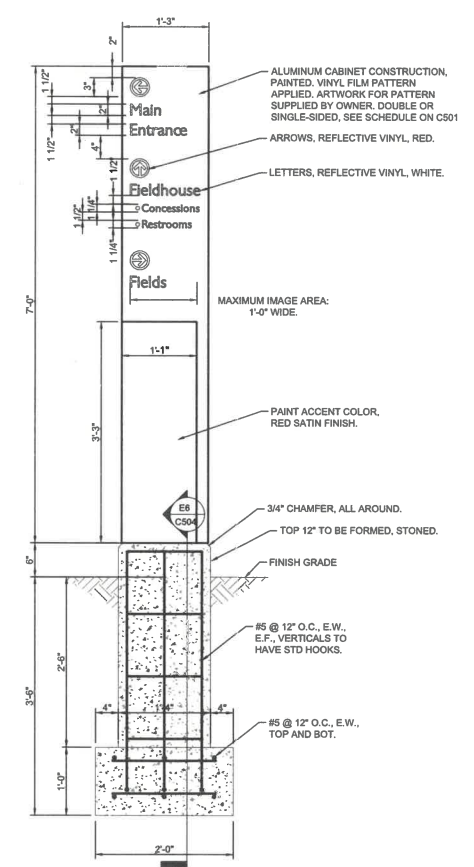
**G3 PEDESTRIAN WAYFINDING SIGN - PLAN**  
 SCALE: 1" = 1'-0"



**B6 PEDESTRIAN WAYFINDING SIGN - RENDERING - (FOR DESIGN INTENT ONLY)**  
 NOT TO SCALE



**E6 PEDESTRIAN WAYFINDING SIGN - SECTION**  
 SCALE: 1" = 1'-0"



**G6 PEDESTRIAN WAYFINDING SIGN - ELEVATION**  
 SCALE: 1" = 1'-0"

**MidAmerican Energy RecPlex**

CITY OF WEST DES MOINES  
 6500 GRAND AVENUE | WEST DES MOINES, IOWA 50266

DRAWN: EDR
APPROVED: EDH
ISSUED FOR: EXTERIOR SIGNAGE
DATE: 1/11/2020
PROJECT NO: 020719
FIELD BOOK: ---
CLIENT NO: 0194.001.0101.002.0118

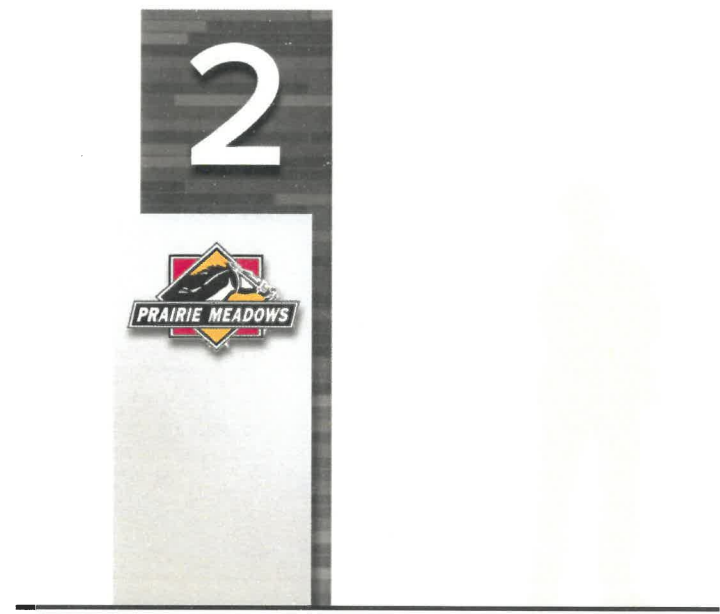
**PEDESTRIAN WAYFINDING SIGN**

**C504**

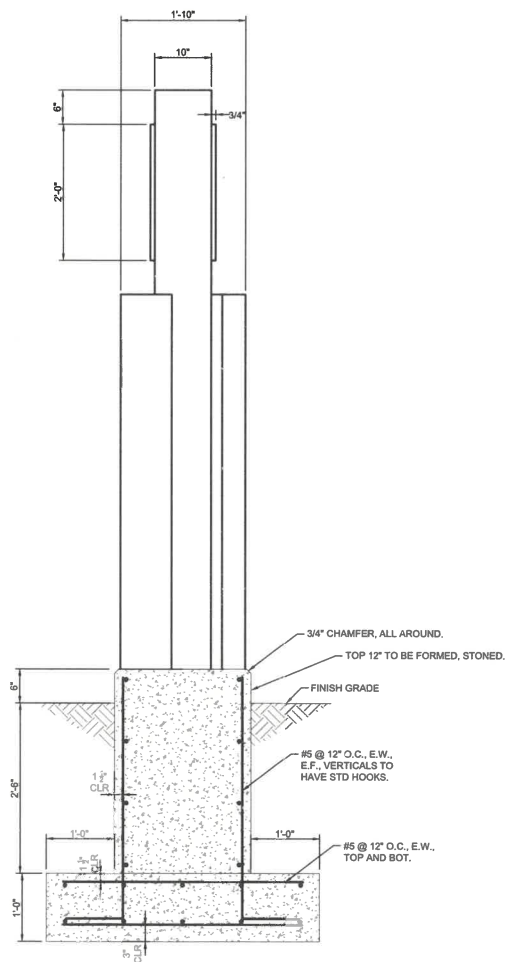


**FOUNDATION NOTES AND SPECIFICATIONS**

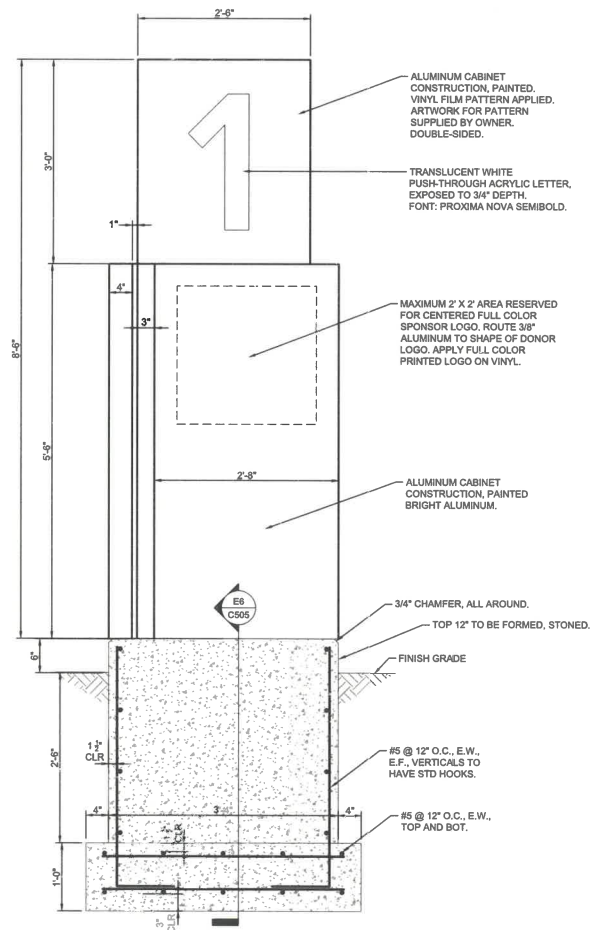
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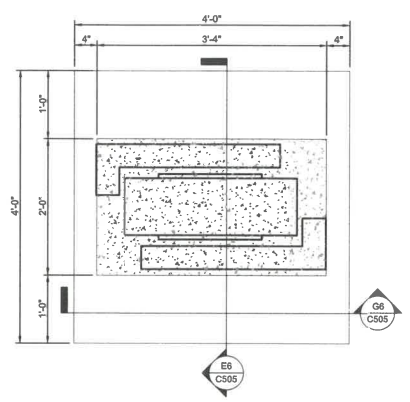
**A6** FIELD IDENTIFIER SIGN - RENDERING - (FOR DESIGN INTENT ONLY)  
NOT TO SCALE



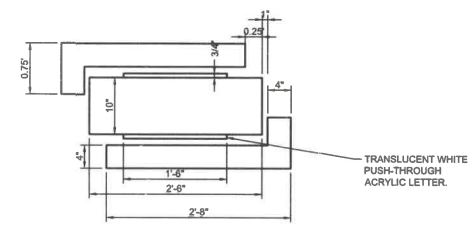
**E6** FIELD IDENTIFIER SIGN - SECTION  
SCALE: 1" = 1'-0"



**G6** FIELD IDENTIFIER SIGN - ELEVATION  
SCALE: 1" = 1'-0"



**G3** FIELD IDENTIFIER SIGN - PLAN  
SCALE: 1" = 1'-0"



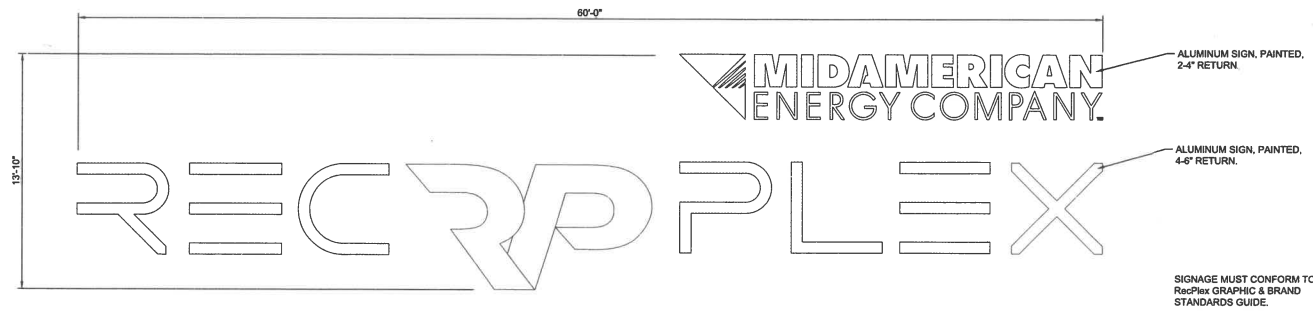
**SHIVE-HATTERY**  
ARCHITECTURE ENGINEERING  
4125 Westown Pkwy, Suite 100 | West Des Moines, Iowa 50266  
515.233.8104 | www.shive-hattery.com  
Iowa | Illinois | Indiana

**MidAmerican Energy RecPlex**  
CITY OF WEST DES MOINES  
6500 GRAND AVENUE | WEST DES MOINES, IOWA 50266

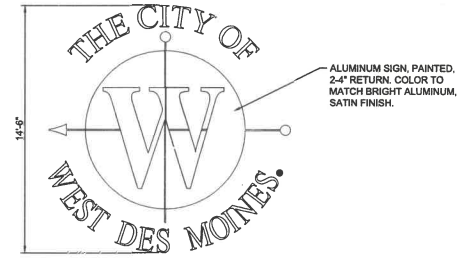
DRAWN: EDR  
APPROVED: EDR  
ISSUED FOR: EXTERIOR SIGNAGE  
DATE: 1/11/2023  
PROJECT NO.: 020719  
FIELD BOOK: --  
CLIENT NO.: 0104.001.0010.002.010

**FIELD IDENTIFICATION SIGN**

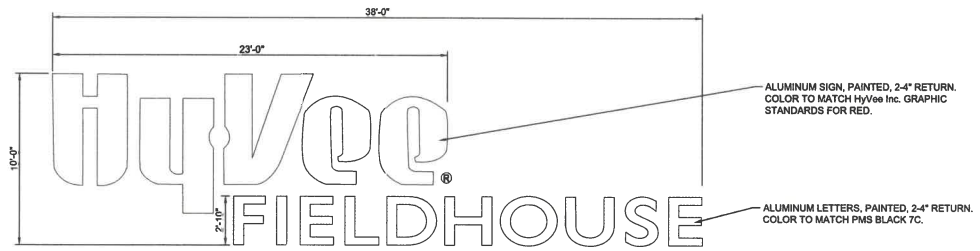
**C505**



**A2** RECRP PLEX SIGN  
SCALE: 1" = 4'-0"



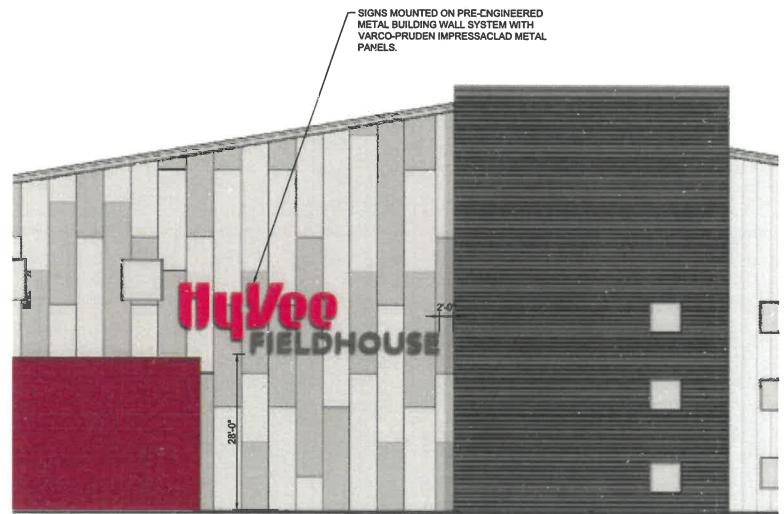
**F2** WEST DES MOINES SIGN  
SCALE: 1" = 4'-0"



**A3** HYVEE FIELDHOUSE SIGN  
SCALE: 1" = 4'-0"



**A6** FACADE SIGN LOCATIONS  
SCALE: 1" = 8'-0"



**SHIVE-HATTERY**  
ARCHITECTURAL SIGNING  
4125 Westover Pkwy, Suite 100 | West Des Moines, Iowa 50266  
515.221.8104 | www.shive-hattery.com  
Iowa | Illinois | Indiana

MidAmerican Energy RecPlex

CITY OF WEST DES MOINES  
###

DRAWN: EBR  
APPROVED: ECR  
ISSUED FOR: EXTERIOR SIGNAGE  
DATE: 11/13/2020  
PROJECT NO: 020170  
FIELD BOOK: -  
CLIENT NO: 0764-001-0010-002-2016

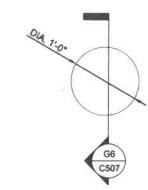
FACADE SIGNS

C506



**FOUNDATION NOTES AND SPECIFICATIONS**

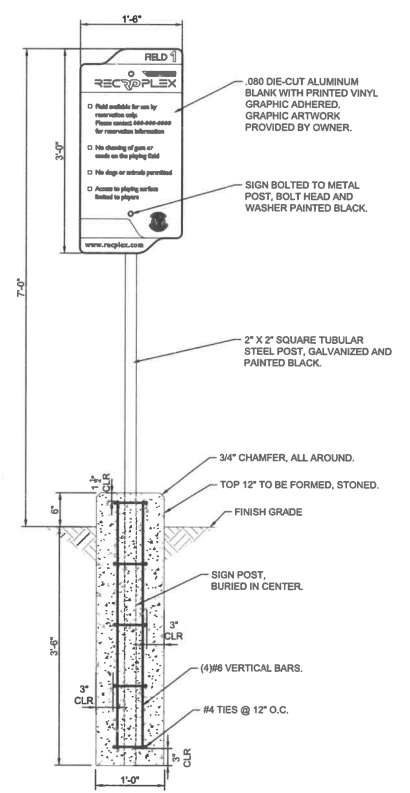
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FOUNDATION - 4000 PSI
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- ALL CONCRETE SHALL BE STONE AGGREGATE UNLESS NOTED OTHERWISE. SUBMIT MIX DESIGN AND DOCUMENTATION FOR APPROVAL PER ACI 318.
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a. BARS #6 AND SMALLER - 1 1/2"  
b. BARS LARGER THAN #6 - 2"  
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- SOILS INFORMATION BASED ON ASSUMED CONDITIONS. NET ALLOWABLE SOIL BEARING PRESSURES: SPREAD FOOTINGS - 1500 PSF
- MINIMUM FROST PROTECTION DEPTH MEASURED FROM GRADE EXTERIOR FOOTING - (-3'-6")
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**G2** RULES & REGULATIONS SIGN - PLAN  
SCALE: 1" = 1'-0"



**E6** RULES & REGULATIONS SIGN - RENDERING - (FOR DESIGN INTENT ONLY)  
SCALE: 1" = 1'-0"



**G6** RULES & REGULATIONS SIGN - ELEVATION  
SCALE: 1" = 1'-0"

**MidAmerican Energy RecPlex**  
CITY OF WEST DES MOINES  
6500 GRAND AVENUE 1 WEST DES MOINES, IOWA 50268

DRAWN	EBR
APPROVED	ECH
ISSUED FOR	EXTERIOR SIGNAGE
DATE	11/13/2020
PROJECT NO.	452170
FIELD BOOK	-
CLIENT NO.	0194 001 0511 055 2018

**RULES AND REGULATIONS SIGN**

**C507**

Prepared by: B. Portz, Development Services, PO Box 65320, West Des Moines, IA 50265-0320, 515-222-3620  
When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

**ORDINANCE NO.**

**AN ORDINANCE AMENDING THE CITY CODE OF THE CITY OF WEST DES MOINES, IOWA, 2019, AND ORDINANCES #1373, #1812, #2299, #2360 AND #2446 PERTAINING TO PLANNED UNIT DEVELOPMENT (PUD) DISTRICT REGULATIONS AND GUIDELINES, SPECIFICALLY PUD #54 WEST GRAND BUSINESS PARK**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, IOWA:**

**SECTION 1. AMENDMENT.** Ordinance #1373, #1812, #2299, #2360 and #2446, pertaining to the West Grand Business Park Planned Unit Development (PUD), Section 054-05: *Land Use Design Criteria*; Subsection G, *Parcel 10*; is hereby amended by deleting the highlighted strikethrough text and adding the bolded italicized text as follows. Any numbered section currently within the adopted ordinance not shown below shall remain as is.

2. Bulk Regulations: All development regulations pertaining to the Business Park zoning district contained in Title 9, Zoning, of the West Des Moines City Code shall be adhered to unless otherwise modified by this ordinance:

Minimum lot area	20,000 square feet
Minimum front yard setback	50 feet
Minimum rear yard setback	50 feet; <b><i>0' if abuts a similar district</i></b>
Minimum side yard setback	50 feet; <b><i>0' if abuts a similar district</i></b>
Minimum lot width	75 feet
Maximum height	60 feet: an additional 12 feet of building height is allowed with every additional 10 feet of building setback
Minimum parking setback	<del>25</del> <b><i>20 feet from perimeter of property; 0' if abuts a similar district and part of a shared parking arrangement</i></b>

5. Parking: With the exception of that indicated below, off-street parking areas shall adhere to the minimum requirements as provided in Title 9, Chapter 15 of the West Des Moines City Code.

**Curbs: Due to the anticipation of patron's use of large rolling equipment bags, no curb shall be required along the patron drop off/pick-up lane lane(s) within the Parcel 10 site. Traditional concrete filled bollard posts shall be placed along the vehicle use area in front of the primary building entrance and at the head of ADA defined parking stalls and access areas. Decorative bollards, planter boxes, benches, etc. of a design to resist movement from vehicle impact may be placed along the remaining no curbed area to further delineate between vehicle use areas and pedestrian pathways, if desired. The area of the patron drop off intended for vehicles shall be required to be visually treated the full length of the drop off area to identify pedestrian intended areas from vehicle intended areas.**

Parking within the site shall be provided at the following ratios:

- a. Arena: one parking space per four fixed seats
- b. Fieldhouse: one parking space per 1,000 square feet of court or turf area
- c. Meeting Rooms: one parking space per 50 square feet
- d. Outdoor Fields: 85 parking spaces per field
- e. Offices: one parking space per 275 square feet of office area, including reception and common areas
- f. No parking shall be required of ancillary uses located within the building (i.e.: restaurant, pro-shop, sports related medical and physical therapy offices and clinics, and sports training) which typically would not provide services to patrons not otherwise at the complex for another reason. Ancillary uses that may operate independently of the complex which would draw their own patrons in addition to activities or uses already occurring in the complex shall be parked for each use according to title 9, chapter 15.

It is recognized that operationally individual areas of the complex may be configured and/or used in a variety of ways and with multiple uses occurring within the site at a given time which may affect the amount of parking needed. Use of the complex shall be limited by available parking within the site unless alternate parking accommodations, such as shuttle service from off-site parking fields and/or off-peak parking agreements with nearby establishments are secured. Additional parking will be required to be constructed within the site or operations restricted when on-site events result in the parking of vehicles on grass or in other non-designated parking areas or parking is occurring on nearby properties without the consent of those property owners. At such time when it is demonstrated on multiple occurrences that there is not enough parking to accommodate events held on-site, the City reserves the right to require modifications in operations or an increase in the number of parking stalls either through construction on-site, execution of shared-parking agreements with businesses within 1,000' of the RecPlex property or securing of off-site parking areas with shuttle services. Prior to implementation of additional parking within the site, submittal and approval of a Minor Modification Site Plan application will be required which details the location of additional parking and engineering details.

6. Signage: ***Due to the size and layout of the recreational complex and anticipated high percentage of patrons that may not be regular attendees to the facility, the need to provide clear guidance to visitors of where to go for the various activities possible within the site is critical. A Signage Plan (on file with the City) has been developed identifying the regulations, design and placement locations for specific signs for the following purposes: Main Entrance***

**Identification, Vehicle Wayfinding or Direction, Pedestrian Wayfinding or Direction, Outdoor Recreational Field Identification, including sponsorship identification, video and non-video scoreboards and Rules and Regulations. Wherever conflict occurs between the written text in this document and the details on the Signage Plan, the details on the Signage Plan shall prevail.** With the exception of that indicated below, signage shall comply with regulations for the Business Park District stated within Title 9, Chapter 18 of the West Des Moines City Code.

- a. **Wayfinding Monument Signage Signs:** Signage intended to **identify the name of the development/complex which may also include wayfinding information** to direct patrons to specific locations within the complex shall be allowed consistent with regulations for a Monument Sign as provided in Title 9, Chapter 18 of the West Des Moines City Code, with the following exceptions:
- (1) ~~Signage shall be located only at key vehicular decision points interior to the site.~~
  - (2) **(1) A maximum of two (2) signs shall be allowed within the site at a minimum 20' setback from a public street right-of-way.**
  - (3) **(2) A minimum 300' of separation one hundred fifty feet (150')** shall be maintained between signs.
  - (4) **(3) These signs shall not exceed seven feet six inches (7' 6") in height and sixty-seven (67) square feet of structure size.** ~~Total area of the sign structure shall not exceed sixty four (64) square feet seven feet (7') in height.~~
  - (5) **(4) The sign structure shall be designed to create visual interest and be unified with the architecture, colors and materials that are relevant to the overall site. Said signs must be more than just a box placed on a slab in the ground; they shall be an attractive feature, incorporating architectural elements on the sides, bottom and top to frame the sign area.**  
**(5) Sign copy shall not be required to comply with the minimum ¼" dimensional lettering requirements of the code.**
- b. **Wayfinding Signage: These signs are intended to provide instruction and/or information to the public to direct them into and around a site. Two types of wayfinding signs are defined based upon the method of movement within the site.**
- (1) **Vehicular Wayfinding Signage intended to aid motoring visitors:**
    - a) **The height of these signs shall not exceed seven feet six inches (7'6") in height and twenty-five (25) square feet in structure size.**
    - b) **Sign copy shall not be required to comply with the minimum ¼" dimensional lettering requirements of the code.**
  - (2) **Pedestrian Wayfinding Signage intended to aid walking visitors:**
    - a) **The height of these signs shall not exceed seven feet six inches (7'6") in height and ten (10) square feet in structure size.**
    - b) **Sign copy shall not be required to comply with the minimum ¼" dimensional lettering requirements of the code.**
- b. **c. Field Identification: While per code these signs would not be allowed to display any corporate identification, due to the community benefit of this facility that was made possible in part through donations and funding by various corporate sponsors, business identification of financial contributors will be allowed on these signs.** Signage identifying individual recreation fields may be located adjacent to each recreation field consistent with the following:



- (1) ~~Size of the signs shall not exceed thirty (30) square feet in size and a maximum of six feet (6') in height.~~ **The size of these signs shall not exceed nine feet (9') in height and thirty (30) square feet in structure size.**
  - (2) ~~Copy on the sign is not intended to be easily legible from Grand Avenue and therefore shall not exceed six inches (6") in height.~~ **The copy identifying the field number may be a maximum of two (2) feet in height and may be illuminated but must be shut off between 11:00 pm and 5:00 am unless the field is in use. In that case, the illumination must be shut off within one hour of the end of the use of the field for that day. The field number identification shall not be required to comply with the minimum ¼" dimensional letter requirement.**
  - (3) **Sponsor names or logos:** Logos may be displayed on the signs but shall not exceed ~~eight inches (8")~~ **four square feet in total copy area and shall not be internally illuminated. The top edge of the copy shall be no higher than five feet (5') from the ground.**
  - (4) ~~Dimensional copy shall be required.~~ **Sign copy shall not be required to comply with the minimum ¼" dimensional lettering requirements of the code.**
  - (5) A maximum of one sign shall be allowed per field.
- e. **d. Scoreboards with video display capabilities shall comply with regulations for Scoreboards as provided in Title 9, Chapter 10 of West Des Moines City Code. Non-video display scoreboards associated with a recreational field shall be *allowed in addition to field identification signage*. ~~Scoreboards require City approval of a site plan application.~~**
- e. **Rules and Regulations signs: These signs are informational signs to communicate rules and regulations to patrons and visitors to the site. These signs shall be allowed on poles with the top of the sign at a maximum of seven (7) feet high with a sign area not to exceed six (6) square feet in size. These signs may include the RecPlex logo or identification; however, no additional square footage of sign area will be granted to accommodate their identification.**
- f. **Building Signage: Due to the scale of the building and the setback from the public street, the total amount of building signage (wall signs) shall be calculated based upon the length of the building facing north (Grand Avenue) at one point seven five (1.75) square foot per linear foot of building frontage. The City of West Des Moines logo may exceed the maximum six (6) foot height allowed by code but shall not exceed eight feet (8') in height. The logo in combination with the city's name text shall not exceed a maximum of fourteen feet six inches (14'6") in height. All other wall signage including size of logos and collective total square footage of all wall signs allowed at the 1.75sf/lf rate shall comply with city code requirements for wall signage.**

**SECTION 2. REPEALER.** All ordinances or parts of ordinances in conflict with the provision of this ordinance are hereby repealed.

**SECTION 3. SAVINGS CLAUSE.** If any section, provision, sentence, clause, phrase or part of the Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

**SECTION 4. VIOLATIONS AND PENALTIES.** Any person who violates the provisions of this



Ordinance upon conviction shall be punished as set forth in Title 1, Chapter 4, Section 1 of the City Code of the City of West Des Moines, Iowa.

**SECTION 5. OTHER REMEDIES.** In addition to the provisions set out in the Violations and Penalties Section herein, the City may proceed in law or equity against any person, firm or corporation for violation of any section or subsection of this Ordinance.

**SECTION 6. EFFECTIVE DATE.** This Ordinance shall be in full force and effect after its passage, approval and publication as provided by law

Passed and approved by the City Council on the \_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Steven K. Gaer, Mayor

**ATTEST:**

\_\_\_\_\_  
Ryan T. Jacobson  
City Clerk