

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** March 22, 2021

**ITEM:** Des Moines University, 8025 Grand Avenue – Approve Site Plan to allow construction of four educational buildings and the associated site improvements – Des Moines University Osteopathic Medical Center – SP-004968-2020

**Resolution: Approval of Site Plan**

**Background:** Jonathan Martin with RDG Planning & Design, on behalf of the applicant and property owner, Des Moines University Osteopathic Medical Center, request approval of the Site Plan for the approximately 88-acre property located at 8025 Grand Avenue. The applicant proposes with this phase one to construct four educational buildings and the associated site improvements on the site for the proposed Des Moines University campus.

**Staff Review & Comment:**

- Financial Impact: Undetermined
- Key Development Aspects:
  - Full Site Plan Review: On October 19, 2020, the City Council approved a phased site plan for this site allowing for the installation of private utilities only. This current request is for full site plan approval allowing for building construction, parking, landscaping and signage improvements to begin on the site.
  - PUD Amendment: On March 15, 2021, the City Council approved the first reading of the amendment to the West Grand Business Park Planned Unit Development (PUD) for the PUD parcel upon which the campus is located. The PUD amendment details site development regulations and developer responsibilities for public improvements. The second reading, waiver of the third reading and adoption of the PUD is anticipated to be at the same meeting as Council's consideration of this full site plan request. The site plan aligns with the provisions stated within the PUD.
  - Access: Initially, there will be two access points to the site from Grand Avenue and one access from S. 88<sup>th</sup> Street. Eventually, as more buildings are constructed on the campus in the future, there may be additional access locations on Grand Avenue and possibly one access to the site from Booneville Road.
  - Buffers: The northeast corner of the area is Parcel 7 is currently a single-family home. Existing trees will be maintained along the common property lines with Parcel 7, except that invasive species may be removed as needed. If the adjacent residential property owner provides a written waiver, additional buffer plantings will not be required: if no waiver is provided, the applicant will need to accommodate typical 30' buffer planting requirements however, no earthen berming is required per language in the PUD.
  - Landscaping: The developers of the site desire to create a campus with a naturalized landscape, reminiscent of native prairie landscape and oak savanna. This landscape will be characterized by native grasses and forbs with minimal intrusion of woody plants. To reach this goal of open prairie expanses, the West Grand Business Park PUD has been amended to reduce the amount of open space required on the site from thirty-five percent (35%) of the Professional Commerce Park (PCP) zoning district to twenty-five percent (25%). The open space on the site will actually far exceed twenty-five percent (25%), but the number of trees and shrubs required will be based on the twenty-five percent (25%) which reduces the number of trees and shrubs to better accommodate the naturalized, native prairie landscape that is desired. Also, the site plan shows a reduction in the number of evergreen

trees required on the site from thirty-five percent (35%) to twenty percent (20%) since evergreen trees are not a dominant plant within natural prairie landscapes.

Parking lot landscaping will be installed according to Title 9 (Zoning), Chapter 19 (Landscaping) of the West Des Moines City Code, except that landscape pods may be omitted where adjacent linear islands run the length of a parking row. One tree will be planted in the linear island for every six (6) parking stalls. These trees shall be equally distributed along the length of the linear landscape islands. In addition, bio-retention swales will be installed within the linear landscape islands to assist with drainage of the parking area and serve as natural storm water management means. This removal of the landscape pods has been approved through the amendment to the PUD for this site.

- **Traffic Impact Study Findings:** The current plan for development of the site as an education campus is anticipated to generate less traffic than previously estimated. With implementation of activities operating within the site, as well as addition of future buildings, subsequent traffic impact analysis will be required.
- **Developer Responsibilities:** The following developer responsibilities associated with development of this site are included in the West Grand Business Park PUD for the subject parcel:
  - **Road Improvements:**
    - **Booneville Road:** The developer is responsible for reconstructing 1½ lanes of Booneville Road adjacent to the site. Since half of a lane cannot be constructed, if the property owner on the opposite side of the roadway is unwilling to participate at the time of construction, the applicant will need to construct two (2) full lanes. That portion of Booneville Road from S 88<sup>th</sup> Street east to the proposed future access drive to the site as indicated on the campus master plan (on file with the City) shall be installed at such time that a drive connection to Booneville Road is made, unless otherwise determined necessary sooner by an associated traffic study for improvements within the site. The balance of Booneville Road from the aforementioned access drive east along the frontage of the site shall be installed at such time that the developer makes a secondary access connection to Booneville Road, or unless otherwise determined necessary sooner by an associated traffic study for improvements within the site.
    - **S Jordan Creek Parkway & S 88<sup>th</sup> Street:** The original West Grand Business Park PUD sketch plan intended for two north-south streets through this site to allow traffic from areas to the north to access Grand Ave. The layout of the campus did not accommodate these roadways which will force traffic to route to S 88<sup>th</sup> Street or S Jordan Creek Parkway in order to reach Grand Ave. Therefore, the developer shall be responsible for the addition of a traffic lane to both S 88<sup>th</sup> Street and S Jordan Creek Parkway at such time that it is determined warranted.
    - **Grand Ave:** The traffic impact study did not indicate the traffic to be generated from the phase 1 development plan warranted improvements to Grand Ave. However, due to potential event activities secondary to the University that may occur within the site, as well as possible future building additions to the campus, the developer shall be responsible for their pro-rata share of additional lanes on Grand Avenue at such time that a traffic impact study indicates activities occurring within the campus or additional buildings impact traffic on existing Grand Avenue and therefore warrant expansion of the roadway.
  - **Water Main Installation:** Water main along Booneville Road shall be constructed from the existing stub at S. 88<sup>th</sup> Street east to the proposed future access to the site from Booneville Road. This portion of the waterline shall be initiated with phase one building construction occurring within the site and be completed and operational prior to issuance of a final occupancy permit for any building within phase one. Unless otherwise provided or agreed upon by West Des Moines Water Works, the remainder of the water main along Booneville

Road east of the Booneville access drive and adjacent to the site shall be required to be constructed by the developer at such time that Booneville Road is reconstructed.

- Future Traffic Signals: The PUD specifies cost of future traffic signals, when warranted, at twenty five percent (25%) of a fully operational traffic signal at the intersections of S. 88th Street and Booneville Road, S. 88th Street and Grand Avenue and S. Jordan Creek Parkway and Grand Avenue. Additionally, the Traffic Impact Study indicates that all three access points on Grand Avenue have the potential to meet signal warrants in the future. The developer will be responsible for fifty percent (50%) of a fully operational traffic signal at the full access intersections to the site from Grand Avenue at such time that traffic warrants.
- Condition of Approval:
  - Development of the site must align with the allowances and regulations stated within the Planned Unit Development (PUD). For the regulations to be effective, formal City Council adoption of the PUD must occur. At tonight's meeting, the City Council is considering the second reading, waiving the third reading and adoption of the PUD. Staff recommends a condition of approval requiring the formal adoption of the PUD prior to issuance of a building permit, including footing and foundations for any building included on this site plan.
  - While discussing the provision of various documents and improvements associated with the development of the site, it was realized that with the initial phased site plan approval allowing for installation of site utilities, conditions of approval were placed requiring provision of the items listed below. These documents are typically required to be provided in conjunction with the Council's consideration of a final plat; however, at the time of the site utilities site plan, it was not known whether Des Moines University would be platting the property. The condition placed with the site utilities approval therefore required fulfillment of the condition prior to Council consideration of this full site plan or adoption of an amendment to the PUD, both of which are on tonight's agenda for consideration:
    1. Payment to MidAmerican for streetlights along S 88<sup>th</sup> Street, Grand Avenue and S. Jordan Creek Parkway.
      - *DMU has provided documentation of provision of a check paying MidAmerican for the streetlights.*
    2. Provision of the Storm Water Management Facility Maintenance Agreement (SWMFMA).
      - *The PUD includes language requiring provision of the SWMFMA, detention facility as-built drawings and certifications prior to issuance of the first final occupancy permit.*
    3. Agreement & Waiver for future widening of S 88<sup>th</sup> Street, S Jordan Creek Parkway and Grand Avenue.
      - *PUD includes language requiring DMU construct one lane to widen both S 88<sup>th</sup> Street and S Jordan Creek Parkway. The PUD also includes language requiring the widening of Grand Avenue at such time that a Traffic Impact Study for activities or buildings within DMU site indicates a need for additional capacity on Grand Avenue.*
    4. Traffic Signal Agreement for future lights at Grand and S 88<sup>th</sup> Street, Grand and S Jordan Creek Parkway and potential signals at DMU's accesses off of Grand Avenue.
      - *The PUD includes language requiring the execution of this agreement.*
    5. Warranty deed for Booneville Road right-of-way.
      - *The PUD includes language requiring dedication of the right-of-way at such time it is requested. Dedication with the final plat is not being requested as there is some question whether the ultimate location of Booneville will*

*remain where it is currently located or shift north to better serve the area to the north.*

Des Moines University does have a Preliminary Plat in the City review process and has indicated that they intend to submit the Final Plat upon approval of the Preliminary Plat. Staff requests the conditions of approval placed with approval of the utilities site plan be amended to allow for provision of required documents with the Final Plat or issuance of a building permit for above ground construction, whichever occurs first, if an alternate timeline is not otherwise specified in the PUD.

- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

**Outstanding Issues:** There are no outstanding issues.

**Recommendation:** Approve the Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. Unless alternate provision of surety is otherwise agreed upon by West Des Moines Water Works, prior to issuance of a water meter for any building within the site, the developer providing a bond to West Des Moines Water Works for water main improvements along Booneville Road from the eastern boundary of the site, west to the future drive access.
2. The developer providing all easements and agreements required of site development prior to City Council consideration of the associated Final Plat or issuance of a building permit for above ground construction, whichever occurs first.
3. Prior to issuance of a footing and foundation permit for any building within this site plan, the City Council adopting the amendment to the West Grand Business Park PUD establishing allowances and regulations for development of PUD Parcel 8.

**Lead Staff Member: Brian Portz**

**Approval Meeting Dates:**

Plan and Zoning Commission	March 22, 2021
City Council	

**Staff Report Reviews:**

Plan & Zoning Commission	<input type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

**Publications (if applicable)**

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

**Council Subcommittee Review (if applicable)**

Subcommittee	Development & Planning
Date Reviewed	1/4/21
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

**Location Map**



**A RESOLUTION OF THE PLAN AND ZONING COMMISSION  
NO. PZC-21-017**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Des Moines University Osteopathic Medical Center, requests approval of a Site Plan for property located at 8025 Grand Avenue as depicted on the location map included in the staff report. The applicant requests approval to construct four educational buildings and associated site improvements; and

**WHEREAS**, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

**NOW THEREFORE**, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-004968-2020), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on March 22, 2021.

\_\_\_\_\_  
Erica Andersen, Chair  
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on March 22, 2021, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

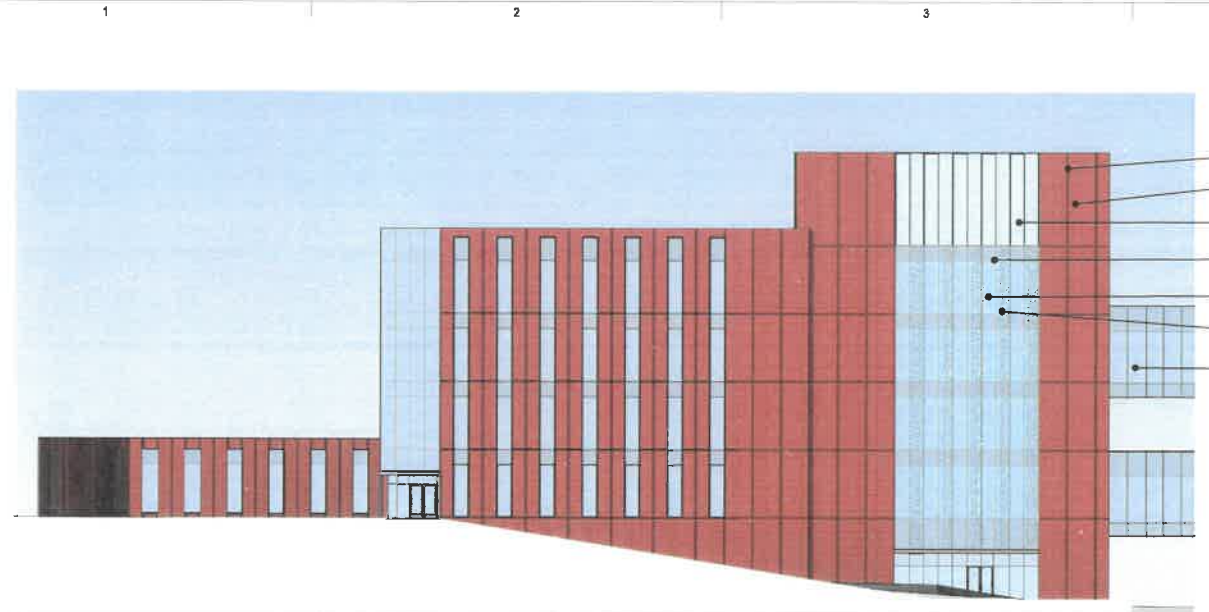
ATTEST:

\_\_\_\_\_  
Recording Secretary



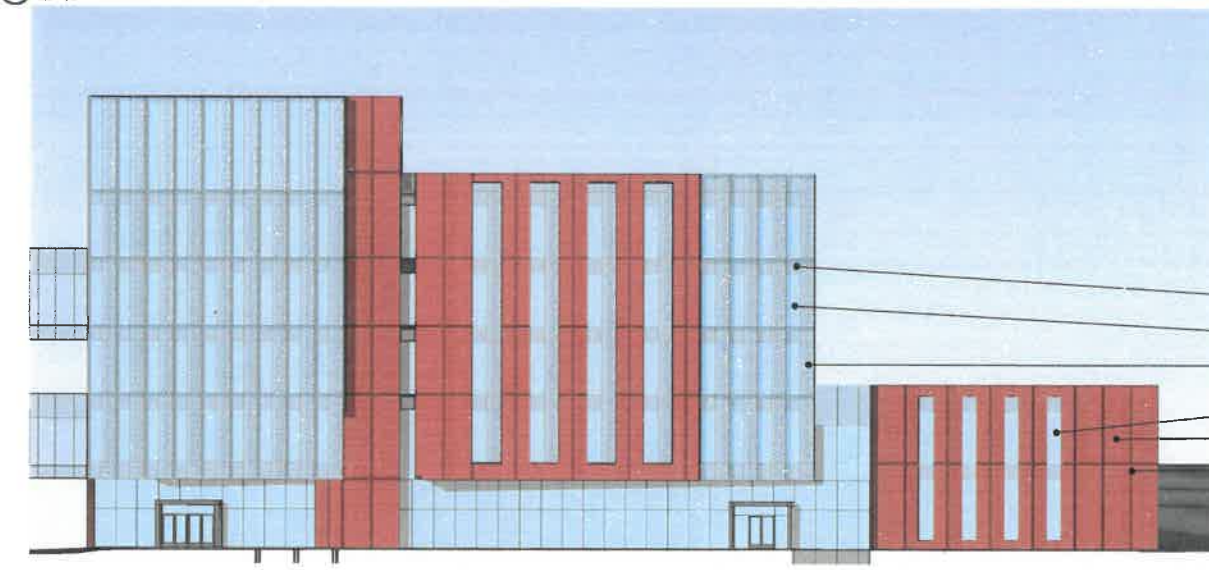






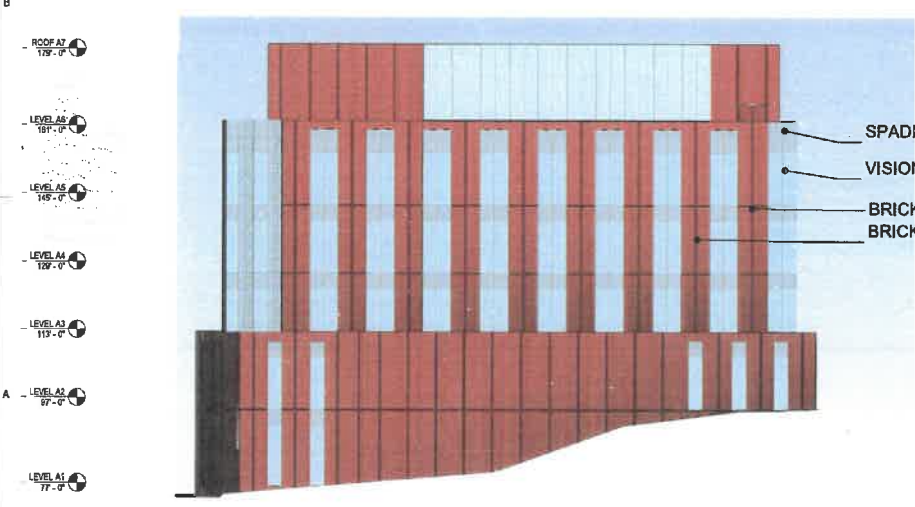
**(D1) ELEVATION - NORTH**  
1/8" = 1'-0"

- BRICK REVEAL
- BRICK
- PERFORATED METAL PAN
- SPADNREL GLASS
- VISION GLASS
- VISION GLASS WITH FRIT
- VISION GLASS



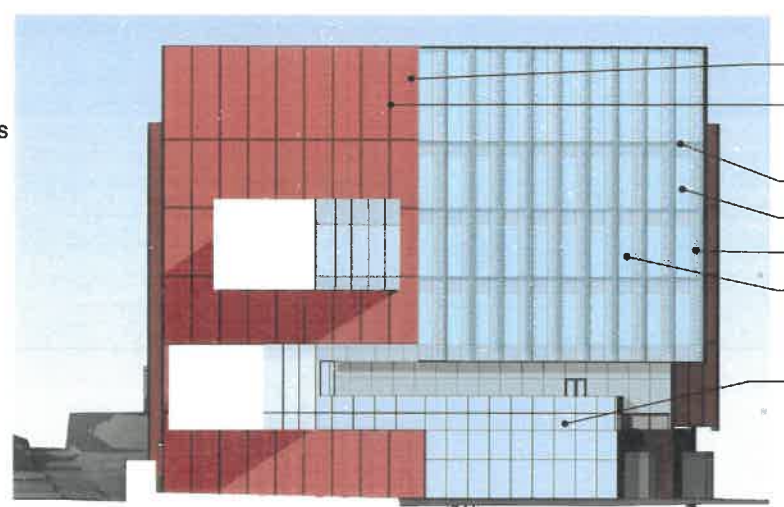
**(B1) ELEVATION - SOUTH**  
1/8" = 1'-0"

- SPADNREL GLASS
- VISION GLASS
- VISION GLASS WITH FRIT
- VISION GLASS
- BRICK
- BRICK REVEAL



**(A1) ELEVATION - EAST**  
1/8" = 1'-0"

- SPADNREL GLASS
- VISION GLASS
- BRICK
- BRICK REVEAL



**(A3) ELEVATION - WEST**  
1/8" = 1'-0"

- BRICK
- BRICK REVEAL
- SPADNREL GLASS
- VISION GLASS
- VISION GLASS WITH FRIT
- VISION GLASS
- VISION GLASS

- BRICK
- GLAZING - VISION
- GLAZING - VISION WITH FRIT
- GLAZING - VISION, SHADOW BOX
- GLAZING - VISION, SHADOW BOX & FRIT

**ELEVATION PANEL TYPE LEGEND**  
1/8" = 1'-0"

**Material: Brick Masonry**  
Manufacture: Glen Gery  
Product: Niaga Valley Smooth  
Other: Colored mortar

**Material: Glazing**  
Manufacture: Viracon  
Product: VE-1-2M Viracon  
1" (25mm) Insulating 1/4" (6mm) clear with VE-2M #2 1/2" (13.2mm) space - air filled 1/4" (6mm) clear.

**Material: Glazing**  
Manufacture: Viracon  
Product: 1" (25mm) Insulating 1/4" (6mm) clear with VE-2M #2 Ceramic Frit Pattern 1/2" (13.2mm) space - air filled 1/4" (6mm) clear.

**Material: Glazing @ spandrel condition**  
Manufacture: Viracon  
Product: 1" (25mm) Insulating 1/4" (6mm) clear with VE-2M #2 1/2" (13.2mm) space - air filled Ceramic Frit Pattern 1/4" (6mm) clear.  
Back-painted  
Insulation  
Galvanized backpan

**Material: Aluminum Panel**  
Manufacture: TBD  
Product: Aluminum Panel  
Finish: Brushed anodized  
Other: Concealed Fasteners

**Material: Aluminum Panel**  
Manufacture: TBD  
Product: Aluminum Panel  
Finish: Brushed anodized  
Other: Perforated & Concealed Fasteners

**NOT FOR CONSTRUCTION DESIGN DEVELOPMENT - PROGRESS SET**

**WEST DES MOINES CAMPUS - EDGE OF ADVANCEMENT**

**DES MOINES UNIVERSITY**

**8025 Grand Avenue**  
**West Des Moines, IA 50266**

**RDG... PLANNING & DESIGN**

**ARCHITECT**  
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**AV/IT/SECURITY**  
AV/IT/SECURITY  
1000 Valley Center Dr., Suite 100  
West Des Moines, IA 50266  
Phone: (515) 281-2222

**PROJECT INFORMATION**

**DATE**

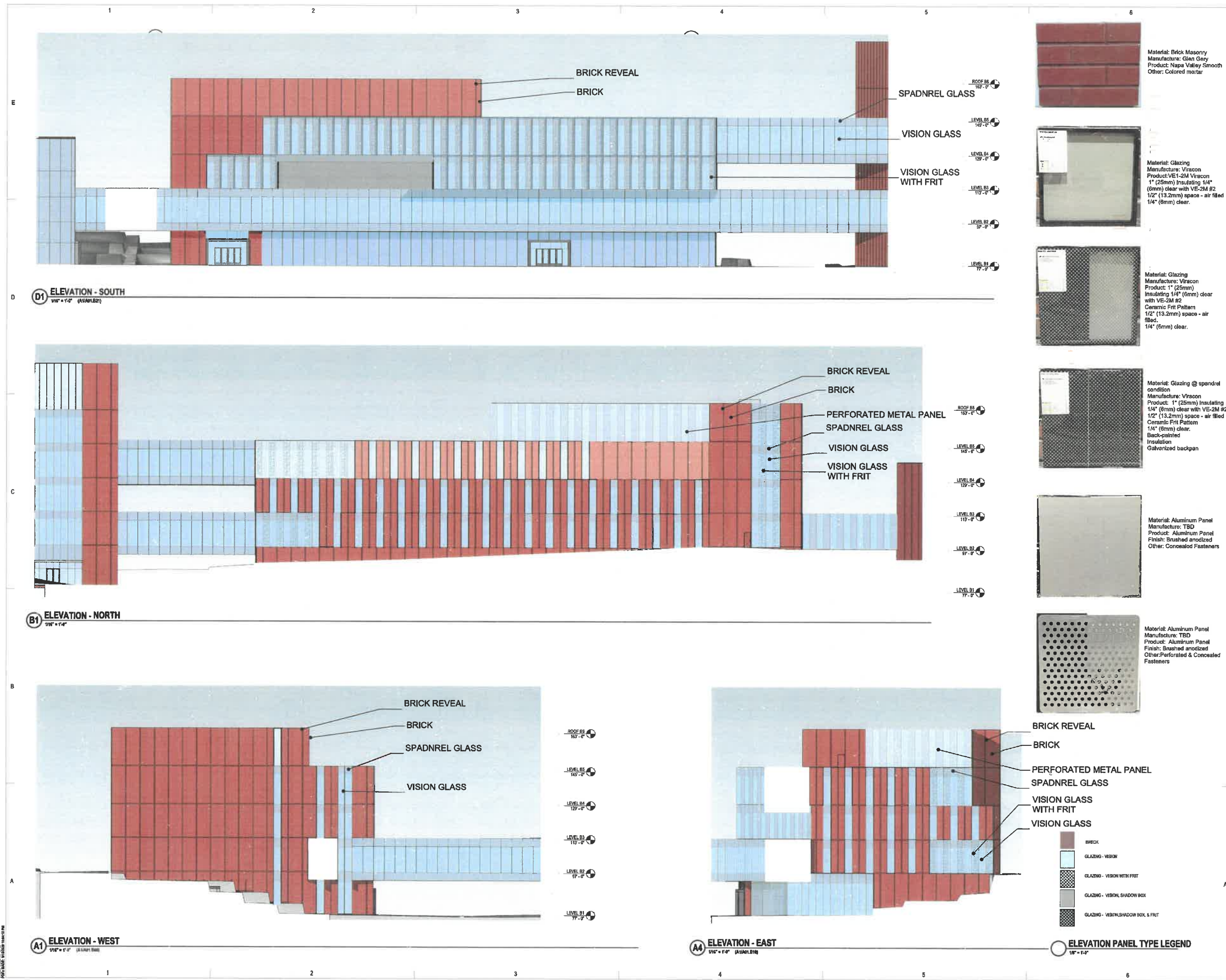
**PROJECT NO.**

**RDG Planning & Design**  
DESIGN DEVELOPMENT - PROGRESS SET  
FOR THE WEST DES MOINES CAMPUS - EDGE OF ADVANCEMENT  
PROJECT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

**EXTERIOR ELEVATIONS BUILDING A**

**A05.A01**





DESIGN DEVELOPMENT

NOT FOR CONSTRUCTION

WEST DES MOINES CAMPUS - INNOVATION

**RDG**  
PLANNING • DESIGN

**ARCHITECT**  
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Fax: (515) 281-1112

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**AJ/IT SECURITY**  
AJ/IT Security  
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**MECH/ELEC/PLUMB**  
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Des Moines, IA 50319  
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Fax: (515) 281-1112

**CIVIL/LANDSCAPE**  
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Des Moines, IA 50319  
Phone: (515) 281-1111  
Fax: (515) 281-1112

8025 Grand Avenue  
West Des Moines, IA 50266

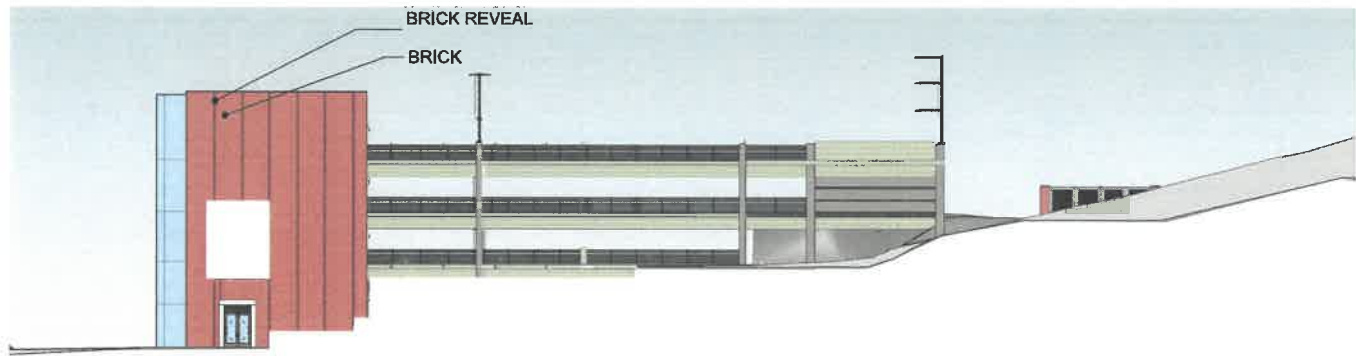
DES MOINES UNIVERSITY

REV PLAN

SEE PLAN SHEETS 1A, 1B, 1C, 1D, 1E, 1F, 1G, 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z, 2A, 2B, 2C, 2D, 2E, 2F, 2G, 2H, 2I, 2J, 2K, 2L, 2M, 2N, 2O, 2P, 2Q, 2R, 2S, 2T, 2U, 2V, 2W, 2X, 2Y, 2Z, 3A, 3B, 3C, 3D, 3E, 3F, 3G, 3H, 3I, 3J, 3K, 3L, 3M, 3N, 3O, 3P, 3Q, 3R, 3S, 3T, 3U, 3V, 3W, 3X, 3Y, 3Z, 4A, 4B, 4C, 4D, 4E, 4F, 4G, 4H, 4I, 4J, 4K, 4L, 4M, 4N, 4O, 4P, 4Q, 4R, 4S, 4T, 4U, 4V, 4W, 4X, 4Y, 4Z, 5A, 5B, 5C, 5D, 5E, 5F, 5G, 5H, 5I, 5J, 5K, 5L, 5M, 5N, 5O, 5P, 5Q, 5R, 5S, 5T, 5U, 5V, 5W, 5X, 5Y, 5Z, 6A, 6B, 6C, 6D, 6E, 6F, 6G, 6H, 6I, 6J, 6K, 6L, 6M, 6N, 6O, 6P, 6Q, 6R, 6S, 6T, 6U, 6V, 6W, 6X, 6Y, 6Z, 7A, 7B, 7C, 7D, 7E, 7F, 7G, 7H, 7I, 7J, 7K, 7L, 7M, 7N, 7O, 7P, 7Q, 7R, 7S, 7T, 7U, 7V, 7W, 7X, 7Y, 7Z, 8A, 8B, 8C, 8D, 8E, 8F, 8G, 8H, 8I, 8J, 8K, 8L, 8M, 8N, 8O, 8P, 8Q, 8R, 8S, 8T, 8U, 8V, 8W, 8X, 8Y, 8Z, 9A, 9B, 9C, 9D, 9E, 9F, 9G, 9H, 9I, 9J, 9K, 9L, 9M, 9N, 9O, 9P, 9Q, 9R, 9S, 9T, 9U, 9V, 9W, 9X, 9Y, 9Z, 10A, 10B, 10C, 10D, 10E, 10F, 10G, 10H, 10I, 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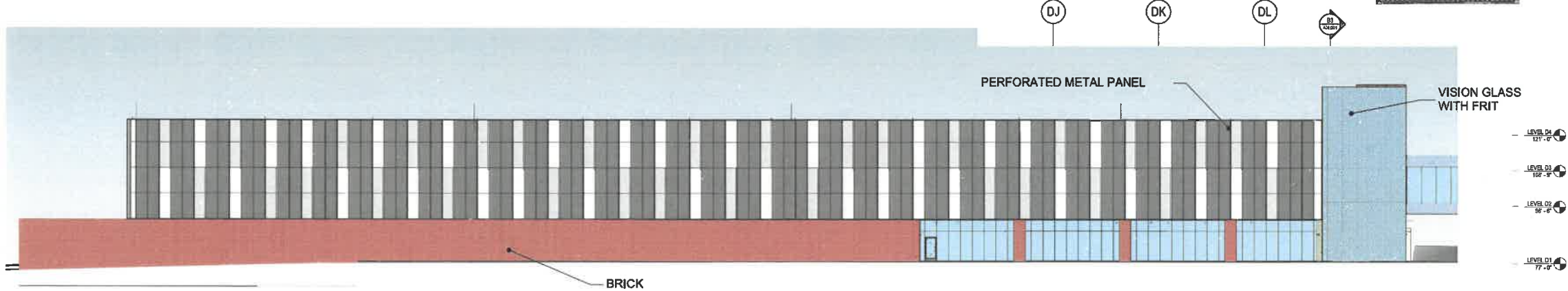




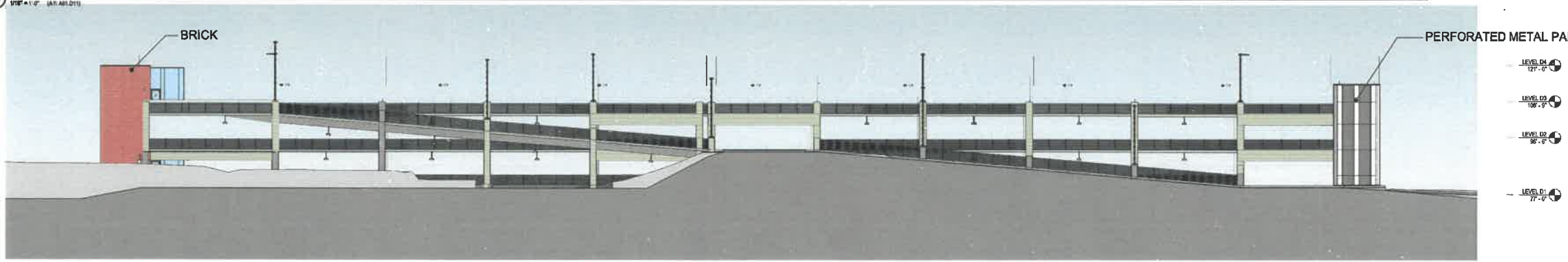
**D1** EXTERIOR ELEVATION BLDG D EAST  
1/8" = 1'-0" (A1/A1.D1)



**C1** EXTERIOR ELEVATION BLDG D WEST  
1/8" = 1'-0" (A1/A1.D1)



**B1** EXTERIOR ELEVATION BLDG D SOUTH OVERALL  
1/8" = 1'-0" (A1/A1.D1)



**A1** EXTERIOR ELEVATION BLDG D NORTH OVERALL  
**A1** EXTERIOR ELEVATION BLDG D NORTH OVERALL  
1/8" = 1'-0"

<p>LEVEL D4 127'-0"</p> <p>LEVEL D3 108'-0"</p> <p>LEVEL D2 90'-0"</p> <p>LEVEL D1 77'-0"</p>	<p>Material: Aluminum Panel Manufacture: TBD Product: Aluminum Panel Finish: Brushed anodized Other: Concealed Fasteners</p> <p>Material: Aluminum Panel Manufacture: TBD Product: Aluminum Panel Finish: Brushed anodized Other: Perforated &amp; Concealed Fasteners</p>	<p>Material: Brick Masonry Manufacture: Glen Gery Product: Napa Valley Smooth Other: Colored mortar</p> <p>Material: Glazing Manufacture: Viracon Product: VE1-2M Viracon 1" (25mm) Insulating 1/4" (6mm) clear with VE-2M #2 1/2" (13.2mm) space - air filled 1/4" (6mm) clear.</p> <p>Material: Glazing Manufacture: Viracon Product: 1" (25mm) Insulating 1/4" (6mm) clear with VE-2M #2 Ceramic Frit Pattern 1/2" (13.2mm) space - air filled 1/4" (6mm) clear.</p> <p>Material: Glazing @ spandrel condition Manufacture: Viracon Product: 1" (25mm) Insulating 1/4" (6mm) clear with VE-2M #2 1/2" (13.2mm) space - air filled Ceramic Frit Pattern 1/4" (6mm) clear. Back-painted insulation Galvanized backpan</p>
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**DESIGN DEVELOPMENT**

**NOT FOR CONSTRUCTION**

**WEST DES MOINES CAMPUS - CAMPUS SUPPORT**

**EXTERIOR ELEVATIONS BUILDING D-OVERALL**

**A05.D10**

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DES MOINES UNIVERSITY

KEY PLAN

DATE: 02/28/2017  
PROJECT NO: 2017-001  
PROJECT NAME: WEST DES MOINES CAMPUS - CAMPUS SUPPORT  
DRAWN BY: RASHLEIGH  
CHECKED BY: RASHLEIGH  
RDG Planning & Design  
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Campus Rendering



Building B - Innovation



Building B - Innovation



Building A - Edge of Advancement, and Building B - Innovation



Building A - Edge of Advancement, and Building B - Innovation



Building C - Health and Wellbeing



Building D - Campus Support



Building C - Health and Wellbeing

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DES MOINES UNIVERSITY

NO.	DESCRIPTION	DATE

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EXTERIOR  
BUILDING

WEST DES MOINES CAMPUS - CAMPUS SUPPORT



# DES MOINES UNIVERSITY WEST DES MOINES CAMPUS - SITE 8025 GRAND AVENUE WEST DES MOINES, IA 50266

## SITE PLAN SUBMITTAL 2D

NOT FOR CONSTRUCTION

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PROJECT NUMBER: 3003.283.01 WEST DES MOINES CASE NUMBER: SP-004801-2020

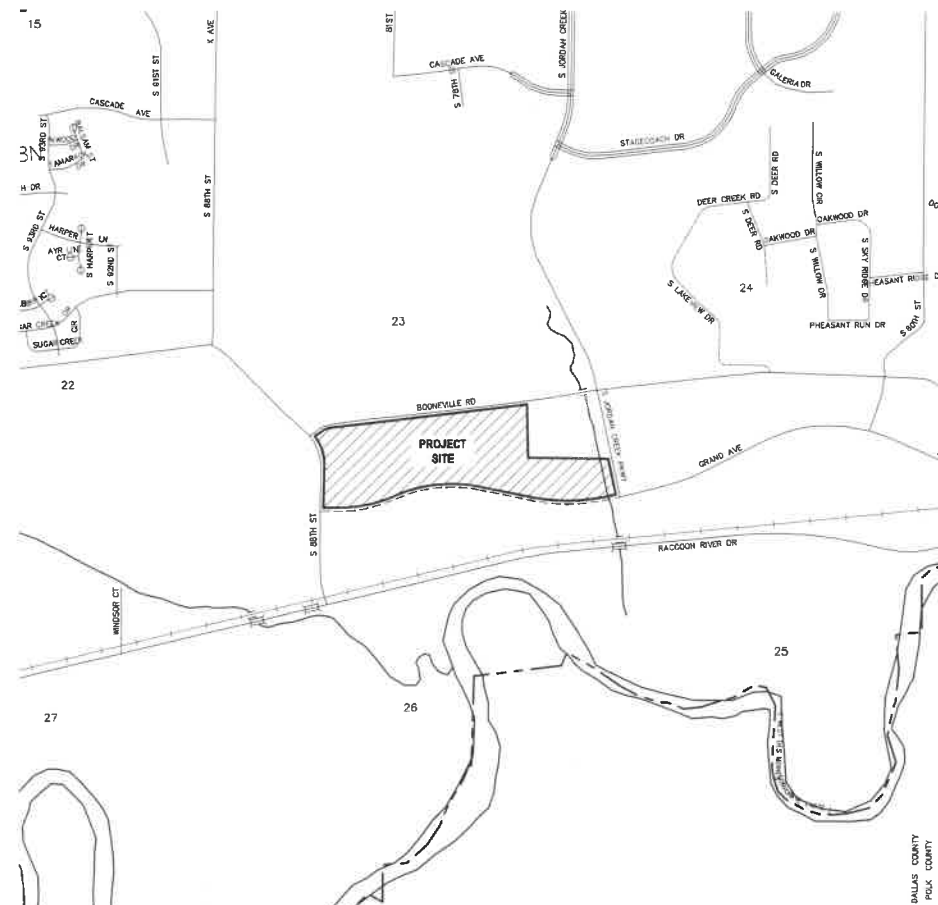
DATE: 03/19/2021

DRAWING INDEX:

ISSUANCE				GENERAL	
REV	DATE	BY	NO	NUMBER	NAME
C		R	R	G01.01	COVER
C		R	R	G02.01	SITE SURVEY
C		R	R	G02.02	SITE SURVEY
C		R	R	G02.03	SITE SURVEY
C		R	R	G02.04	SITE SURVEY
C		R	R	G02.05	SITE SURVEY
C		R	R	G02.06	SITE SURVEY
C		R	R	G02.07	SITE SURVEY

ISSUANCE				CIVIL	
REV	DATE	BY	NO	NUMBER	NAME
N				C31.00	SITE UTILITIES NOTES
N				C31.01	SITE UTILITIES OVERVIEW
N				C31.02	UTILITY PLAN WATER WEST
N				C31.03	UTILITY PLAN WATER NORTH
N				C31.04	UTILITY PLAN WATER CAMPUS CORE
N				C31.05	UTILITY PLAN WATER EAST
N				C31.06	UTILITY PLAN SANITARY WEST
N				C31.07	UTILITY PLAN SANITARY NORTH
N				C31.08	UTILITY PLAN SANITARY CAMPUS CORE
N				C31.09	UTILITY PLAN SANITARY EAST
N				C31.10	SITE UTILITY STORM SEWER WEST
N				C31.11	SITE UTILITY STORM SEWER NORTH
N				C31.12	SITE UTILITY STORM SEWER CAMPUS CORE
N				C31.13	SITE UTILITY STORM SEWER EAST
N				C31.14	SITE UTILITY STORM SEWER EAST POND
N				C35.01	UTILITY DETAILS
N				C35.02	UTILITY DETAILS
N				C35.03	UTILITY DETAILS
N				C35.04	UTILITY DETAILS
N				C35.05	UTILITY DETAILS
N				C35.06	UTILITY DETAILS
N				C35.07	UTILITY DETAILS
N				C35.08	UTILITY DETAILS

ISSUANCE				LANDSCAPE	
REV	DATE	BY	NO	NUMBER	NAME
N				L30.01	GENERAL SITE NOTES
N				L31.01	SITE PREPARATION PLAN
N				L31.02	EROSION AND SEDIMENT CONTROL PLAN
N				L31.03	EROSION AND SEDIMENT CONTROL PLAN
N				L31.04	EROSION AND SEDIMENT CONTROL PLAN
N				L32.01	SITE LAYOUT PLAN - OVERALL
N				L32.02	SITE LAYOUT PLAN - WEST
N				L32.03	SITE LAYOUT PLAN - CENTRAL
N				L32.04	SITE LAYOUT PLAN - EAST
N				L32.05	SITE LAYOUT PLAN - ENLARGEMENT
N				L32.06	SITE LAYOUT PLAN - ENLARGEMENT
N				L32.07	SITE LAYOUT PLAN - ENLARGEMENT
N				L32.08	SITE LAYOUT PLAN - ENLARGEMENT
N				L32.09	SITE LAYOUT PLAN - ENLARGEMENT
N				L32.10	SITE LAYOUT PLAN - ENLARGEMENT
N				L32.11	SITE LAYOUT PLAN - ENLARGEMENT
N				L32.12	SITE LAYOUT PLAN - CORE WEST
N				L32.13	SITE LAYOUT PLAN - CORE EAST
N				L33.00	SITE GRADING NOTES
N				L33.01	SITE GRADING PLAN - OVERALL
N				L33.02	SITE GRADING PLAN - WEST
N				L33.03	SITE GRADING PLAN - CENTRAL
N				L33.04	SITE GRADING PLAN - EAST
N				L33.05	SITE GRADING PLAN - ENLARGEMENT
N				L33.06	SITE GRADING PLAN - ENLARGEMENT
N				L33.07	SITE GRADING PLAN - ENLARGEMENT
N				L33.08	SITE GRADING PLAN - ENLARGEMENT
N				L33.09	SITE GRADING PLAN - ENLARGEMENT
N				L33.10	SITE GRADING PLAN - ENLARGEMENT
N				L33.11	SITE GRADING PLAN - ENLARGEMENT
N				L33.12	SITE GRADING PLAN - CORE WEST
N				L33.13	SITE GRADING PLAN - CORE EAST
N				L33.14	SITE GRADING PLAN
N				L33.15	SITE GRADING PLAN
N				L34.00	SITE EXISTING TREES
N				L34.01	SITE PLANTING PLAN
N				L34.02	SITE PLANTING PLAN
N				L34.03	SITE PLANTING PLAN
N				L34.04	SITE PLANTING PLAN
N				L34.05	SITE PLANTING PLAN
N				L34.06	SITE PLANTING PLAN
N				L34.07	SITE PLANTING PLAN
N				L34.08	SITE PLANTING PLAN
N				L34.09	SITE PLANTING PLAN
N				L34.10	SITE PLANTING PLAN
N				L34.11	SITE PLANTING PLAN
N				L35.01	SITE DETAILS
N				L35.02	SITE DETAILS
N				L35.03	SITE DETAILS
N				L35.04	NOT USED
N				L35.05	SITE DETAILS
N				L35.06	SITE DETAILS
N				L35.07	SITE DETAILS
N				L35.08	SITE DETAILS
N				L35.09	SITE DETAILS
N				L35.10	SITE DETAILS
N				L35.11	NOT USED
N				L35.12	NOT USED
N				L35.09	SITE DETAILS



### GENERAL CITY OF WEST DES MOINES NOTES

- The General Contractor shall be responsible for the coordination of work of all subcontractors involved in the project.
- Any utility work shall be coordinated with the Building Division at (515) 222-3630, prior to placement of any concrete forms.
- All water work, public or private, shall be done in accordance with West Des Moines Water Works Standard Specifications.
- Contractor shall notify West Des Moines Water Works at least one week prior to building construction.
- The General Contractor shall be responsible for compliance with the West Des Moines Water Works and the City's Cross Connection Control/Containment Provision.
- Any water use from a public, public or private, requires the use of a West Des Moines Water Works hydrant meter. Call 515-222-3465 to request a meter.
- Contact Building Inspection (515-222-3630) a minimum of 24 hours in advance for private utility installation inspections.
- The General Contractor shall be responsible for the proper installation of an approved Backflow Prevention Assembly for containment in all new construction. Backflow prevention to be installed per City Ordinance 1227, 54.505. Contractor shall notify West Des Moines Water Works (515-222-3465) a minimum of 24 hours after installation and testing of all backflow devices to schedule final inspection.
- All signs are to be downcast staff work. Staff signs are prohibited. The maximum sign size allowed at the property line is 1 foot wide by 4 feet high.
- All construction work shall be done in accordance with the City's Public Works Department and WDM Advertisements.
- At least one week prior to any construction work public R.O.W. Assessments and/or any connection to public sewers and streets, the Contractor shall contact the WDM Engineering Services 222-3470 to schedule any required inspections. It is important to note City approval of this plan is subject to the Applicant obtaining all necessary permits and approvals.
- If additional government approval is required other than a standard box out, full panel removal will be required. No half panel removal will be allowed.
- Coordinate signage and traffic control with WDM emergency services.
- Law enforcement vehicles must be submitted to West Des Moines Public Services for approval a minimum of 48 hours in advance of closure.
- All connections to public sewers shall be one-ditch.

### GENERAL SITE INFORMATION

**SITE ADDRESS:** 8025 GRAND AVENUE (E140 BOONVILLE ROAD)  
WEST DES MOINES, IA 50266

**OWNER CONTACT:** MATT BROWN  
FORMATION GROUP, ON BEHALF OF  
DES MOINES UNIVERSITY OSTEOPATHIC MEDICAL CENTER  
PO BOX 200  
GRAMES, IOWA 50111  
515-313-7925  
MATT@FORMATIONGROUP.COM

**PLAN PREPARER CONTACT:** JONATHAN MARTIN  
RDG PLANNING & DESIGN  
301 GRAND AVENUE  
DES MOINES, IA 50309  
515-288-3141  
JMARTIN@RDGUSA.COM

**CONSTRUCTION MANAGER CONTACT:** NICOLE SCHMIDT  
TURNER CONSTRUCTION COMPANY  
506 LOCUST ST, SUITE 103  
DES MOINES, IOWA 50309  
515-401-7394  
NSCHMIDT@TCCO.COM

**SITE LEGAL DESCRIPTION:**  
PROPERTY ALSO KNOWN AS PARCEL 19-37 OF SECTIONS 23, 24 AND 25 OF TOWNSHIP 78 NORTH, RANGE 28 WEST OF THE 5TH P.M., CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA AS SHOWN ON PLAT OF SURVEY RECORDED IN BOOK 2016, PAGE 1613 (SEE SITE SURVEY FOR FULL PROPERTY DESCRIPTION)

**ZONING & LAND USE:**

**EXISTING ZONING:** PROFESSIONAL COMMERCE PARK / COMMERCIAL COMMERCIAL (PUD 54 WEST GRAND BUSINESS PARK)

**PROPOSED ZONING:** PROFESSIONAL COMMERCE PARK

**EXISTING LAND USE:** OFFICE

**PROPOSED LAND USE:** OFFICE

**SURROUNDING LAND USE:**  
NORTH: BUSINESS PARK / LOW DENSITY RESIDENTIAL  
SOUTH: BUSINESS PARK  
EAST: SUPPORT COMMERCIAL / OFFICE  
WEST: LIGHT INDUSTRIAL

**TOTAL SITE AREA:** 88.28 ACRES 3,842,477 SF

**IMPERVIOUS AREA:**  
EXISTING: 0 ACRES 0 SF  
PROPOSED: 15.75 ACRES 688,082 SF

**OPEN SPACE:**  
REQUIRED + 25% 88.28 X .25 = 22.07 ACRES 961,389 SF  
IMPERV.-SIDEWALKS: 11.47 ACRES 498,533 SF  
PROPOSED + 87% 88.28 X .87 = 76.81 ACRES 3,344,844 SF

**BUILDING INFORMATION:** SEE BUILDING NOTES, LEFT

**PARKING INFORMATION:**  
REQUIRED: 343 EMP. X 1.5 = 514.5  
1.5 / EMPLOYEE  
1 / 3 CRISKS / SEATS  
TOTAL = 88.5 SPACES  
1130 TOTAL PARKING SPACES

PROVIDED:  
COLLEGES, UNIVERSITIES, VOCATIONAL, AND TRADE SCHOOLS  
8078 STANDARD PARKING SPACES  
1125 SEATS / 3 = 375  
5 VAW ACCESSIBLE SPACES

### SITE SURVEY INFORMATION

- The topographic and boundary survey used as the basis for these drawings was prepared by:  
CBL DESIGN ADVANTAGE  
3405 SE CROSSROADS DRIVE, SUITE G  
GRAMES, IOWA 50111  
PHONE: (515) 364-4400  
FAX: (515) 364-4410  
DES MOINES UNIVERSITY SITE SURVEY, DATED 04-28-2020

### BENCHMARKS & CONTROL POINTS

- Des Moines City Benchmark#002 is the City of West Des Moines, Public Works, Intersection of Booneville Road and Xaver Place, north side of the intersection, 39 feet north of the centerline of Booneville Road on the centerline of Xaver Place extended, 3 feet south of the northeast force line, standard benchmark.
- Des Moines City Benchmark#004 Intersection of Raccoon River Drive and Xaver Place, northeast corner of intersection 34 feet east of the centerline of Xaver Place, 34 feet north of the centerline of Iowa Interstate Railroad tracks, 4 feet north of the east-south force line, 1 foot west of the northeast force line, standard benchmark.
- Des Moines City Benchmark#003 NE corner of Booneville Road and South 88th Street Elevation=61.28
- Des Moines City Benchmark#001 NE corner of Grand Avenue and South 88th Street Elevation=74.02

To convert from NAVD83 datum to West Des Moines datum subtract 774.01 feet.

### BUILDING INFORMATION

**BUILDING A:**  
HEIGHT: 105'-0"  
LEVEL 1 AREA: 28,823.0 SF  
LEVEL 2 AREA: 29,767.0 SF  
LEVEL 3 AREA: 21,130 SF  
LEVEL 4 AREA: 21,130 SF  
LEVEL 5 AREA: 21,130 SF  
LEVEL 6 AREA: 8,818 SF  
BUILDING TOTAL: 130,777.0 SF

**BUILDING B:**  
HEIGHT: 65'-0"  
LEVEL 1 AREA: 37,096.0 SF  
LEVEL 2 AREA: 22,800.0 SF  
LEVEL 3 AREA: 29,233.0 SF  
LEVEL 4 AREA: 27,797.0 SF  
LEVEL 5 AREA: 11,581 SF  
BUILDING TOTAL: 128,507 SF

**BUILDING C:**  
HEIGHT: 41'-0"  
LEVEL 1 AREA: 34,052.4 SF  
LEVEL 2 AREA: 30,547.3 SF  
LEVEL 3 AREA: 21,130 SF  
BUILDING TOTAL: 72,967.7 SF

**BUILDING D:**  
HEIGHT: 85'-0"  
LEVEL 1 AREA: 48,812.9 SF  
LEVEL 2 PARKING: 62,382.4 SF  
LEVEL 3 PARKING: 52,382.4 SF  
LEVEL 4 PARKING: 52,382.4 SF  
BUILDING TOTAL: 203,581.1 SF

### VICINITY MAP

DALLAS COUNTY  
POLK COUNTY

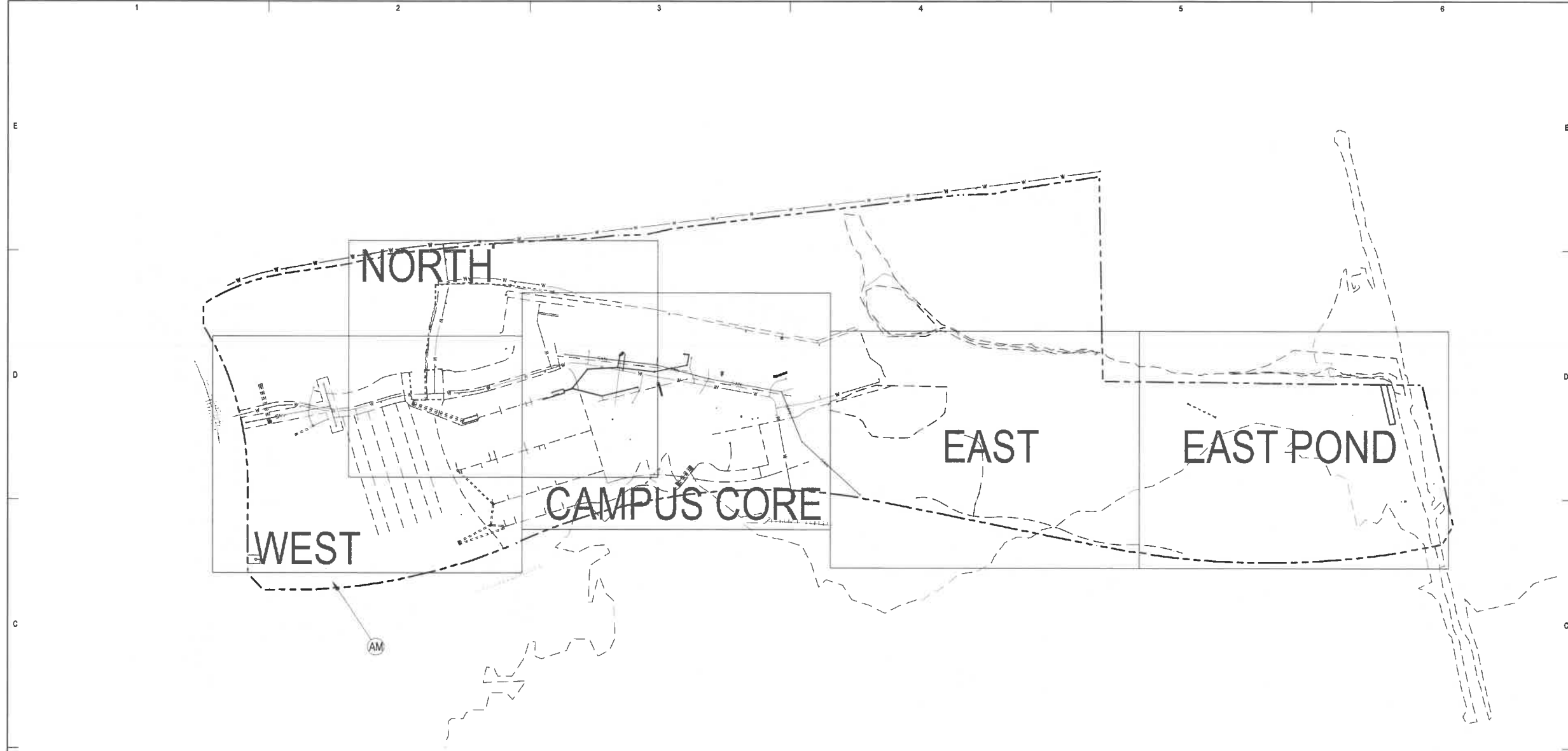
ISSUANCE				STRUCTURAL	
REV	DATE	BY	NO	NUMBER	NAME
N				S00.001	STRUCTURAL NOTES & DETAILS
N				S00.001	SITE RETAINING WALL PLAN

SHEET ISSUANCE LEGEND	
NOT ISSUED	
R	ISSUED FOR REFERENCE ONLY
N	NOT FOR CONSTRUCTION
C	ISSUED FOR CONSTRUCTION
U	ISSUED FOR CONSTRUCTION - UPDATED

ISSUANCE				LIGHTING	
REV	DATE	BY	NO	NUMBER	NAME
N				E81.01	LIGHTING COVER SHEET
N				E81.01	SITE LIGHTING PLAN OVERALL
N				E81.06	ENLARGED SITE LIGHTING PLAN
N				E81.06	ENLARGED SITE LIGHTING PLAN
N				E81.07	ENLARGED SITE LIGHTING PLAN
N				E81.08	ENLARGED SITE LIGHTING PLAN
N				E81.08	ENLARGED SITE LIGHTING PLAN
N				E81.09	ENLARGED SITE LIGHTING PLAN
N				E81.10	ENLARGED SITE LIGHTING PLAN
N				E81.11	ENLARGED SITE LIGHTING PLAN
N				E81.12	ENLARGED BUILDING A SITE LIGHTING PLAN
N				E81.13	ENLARGED BUILDING B SITE LIGHTING PLAN
N				E81.14	ENLARGED BUILDING C SITE LIGHTING PLAN
N				E81.15	ENLARGED BUILDING D SITE LIGHTING PLAN
N				E81.16	ENLARGED PARKING DECK SITE LIGHTING PLAN



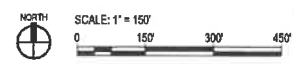




CRITICAL CROSSING TABLE												
UPPER PIPE					LOWER PIPE							
CONFLICT ID	PIPE ID	SIZE IN	TYPE	DESCRIPTION	BOTTOM ELEV.	PIPE ID	SIZE IN	TYPE	DESCRIPTION	TOP ELEV.	CLEARANCE FT.	NOTES
X-1	8	8		WATER MAIN	69.4	SS-2	12		SANITARY SEWER	59.7	9.8	
X-2	8	8	PVC	SUBDRAIN	71.7	12	12		WATER MAIN	68.7	2.9	
X-3	ST-127	30	PVC	STORM SEWER	70.7	12	12		WATER MAIN	68.7	2.0	
X-4	ST-132	15	PVC	STORM SEWER	71.3	12	12		WATER MAIN	68.3	2.9	
X-5	12	12		WATER MAIN	70.7	SVC-C	8		SANITARY SERV.	54.4	16.3	
X-6	8	8		SANITARY SERV.	71.3	12	12		WATER MAIN	68.3	2.9	
X-7	ST-156	18	PVC	STORM SEWER	71.3	8	8		WATER MAIN	68.3	2.9	
X-8	ST-149	15	PVC	STORM SEWER	71.2	12	12		WATER MAIN	68.2	2.9	
X-9	8	8		SUBDRAIN	68.2	12	12		WATER MAIN	68.2	0.0	
X-10	8	8	PVC	SUBDRAIN	65.5	12	12		WATER MAIN	63.9	2.0	
X-11	ST-186	36	RCP	STORM SEWER	63.5	12	12		WATER MAIN	63.7	4.8	
X-12	8	8	PVC	SUBDRAIN	65.5	12	12		WATER MAIN	63.6	2.0	
X-13	ST-182	24	RCP	STORM SEWER	66.1	12	12		WATER MAIN	63.6	4.5	
X-14	8	8	PVC	SUBDRAIN	64.9	12	12		WATER MAIN	62.9	2.0	
X-15	12	12		WATER MAIN	64.3	SS-3	8		SANITARY SEWER	59.0	5.5	
X-16	12	12		WATER MAIN	63.9	SS-6	8		SANITARY SEWER	58.1	5.8	
X-17	ST-182.1	42	RCP	STORM SEWER	63.9	12	12		WATER MAIN	61.9	2.0	
X-18	12	12		WATER MAIN	68.5	EX BAN	12		SANITARY SEWER	55.3	12.7	
X-19	ST-167	30	RCP	STORM SEWER	68.4	12	12		WATER MAIN	67.4	2.0	
X-20	12	12		WATER MAIN	64.6	ST-172	18	RCP	STORM SEWER	62.6	2.0	
X-21	8	8	PVC	SUBDRAIN	72.1	SS-2	12		SANITARY SEWER	59.7	12.4	
X-22	ST-127	30	PVC	STORM SEWER	70.8	SS-3	12		SANITARY SEWER	61.1	8.7	
X-23	ST-132	15	PVC	STORM SEWER	71.5	SS-3	12		SANITARY SEWER	62.6	8.9	
X-24	8	8		SANITARY SERV.	68.5	SS-4	12		SANITARY SEWER	64.1	4.8	
X-25	ST-151	15	PVC	STORM SEWER	72.8	SS-4	12		SANITARY SEWER	64.6	8.1	
X-26	ST-151	15	PVC	STORM SEWER	72.8	8	8		SANITARY SERV.	70.8	2.0	Sanitary service line may be adjusted lower.
X-27	ST-156	18	PVC	STORM SEWER	71.1	SS-5	12		SANITARY SEWER	68.5	4.5	
X-28	ST-182.1	42	RCP	STORM SEWER	63.7	SS-6	8		SANITARY SEWER	56.3	7.4	
X-29	8	8		SUBDRAIN	67.1	SS-6	8		SANITARY SEWER	57.8	8.2	
X-30	8	8		SUBDRAIN	64.7	SS-6	8		SANITARY SEWER	59.3	5.4	
X-31	8	8		SUBDRAIN	67.4	SS-7	8		SANITARY SEWER	59.3	8.1	
X-32	ST-184	36	RCP	STORM SEWER	68.6	8	8	PVC	SUBDRAIN	66.3	1.7	
X-33	ST-185	18	RCP	STORM SEWER	68.8	8	8	PVC	SUBDRAIN	66.7	1.9	
X-34	ST-173	15	RCP	STORM SEWER	82.8	8	8		WATER MAIN	77.2	5.5	
X-35	8	8		WATER MAIN	70.6	SS-4	12		SANITARY SEWER	63.8	6.8	
X-36	8	8		WATER MAIN	70.5	SS-3	12		SANITARY SEWER	60.8	9.7	
X-37	8	8		WATER MAIN	70.1	SS-6	12		SANITARY SEWER	67.4	2.7	

**SPECIAL NOTES RELATED TO ITEM "AM":**

- EXISTING RCP APRON IS TO BE REMOVED.
- NO PIPE OR CONCRETE SHALL BE LEFT EXPOSED TO THE SURFACE.
- REFER TO SHEET C31.00 FOR OTHER RELATED NOTES ABOUT ABANDONMENT OF THIS CULVERT.



**SITE PLAN SUBMITTAL 2D**

**NOT FOR CONSTRUCTION**

**WEST DES MOINES CAMPUS - SITE**

8025 GRAND AVENUE  
WEST DES MOINES, IOWA 50266  
DES MOINES UNIVERSITY

KEY PLAN

REV	DATE	DESCRIPTION
01	08/14/2018	ISSUE FOR PERMITTING
02	08/14/2018	ISSUE FOR PERMITTING
03	08/14/2018	ISSUE FOR PERMITTING
04	08/14/2018	ISSUE FOR PERMITTING
05	08/14/2018	ISSUE FOR PERMITTING
06	08/14/2018	ISSUE FOR PERMITTING
07	08/14/2018	ISSUE FOR PERMITTING
08	08/14/2018	ISSUE FOR PERMITTING
09	08/14/2018	ISSUE FOR PERMITTING
10	08/14/2018	ISSUE FOR PERMITTING
11	08/14/2018	ISSUE FOR PERMITTING
12	08/14/2018	ISSUE FOR PERMITTING
13	08/14/2018	ISSUE FOR PERMITTING
14	08/14/2018	ISSUE FOR PERMITTING
15	08/14/2018	ISSUE FOR PERMITTING
16	08/14/2018	ISSUE FOR PERMITTING
17	08/14/2018	ISSUE FOR PERMITTING
18	08/14/2018	ISSUE FOR PERMITTING
19	08/14/2018	ISSUE FOR PERMITTING
20	08/14/2018	ISSUE FOR PERMITTING
21	08/14/2018	ISSUE FOR PERMITTING
22	08/14/2018	ISSUE FOR PERMITTING
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42	08/14/2018	ISSUE FOR PERMITTING
43	08/14/2018	ISSUE FOR PERMITTING
44	08/14/2018	ISSUE FOR PERMITTING
45	08/14/2018	ISSUE FOR PERMITTING
46	08/14/2018	ISSUE FOR PERMITTING
47	08/14/2018	ISSUE FOR PERMITTING
48	08/14/2018	ISSUE FOR PERMITTING
49	08/14/2018	ISSUE FOR PERMITTING
50	08/14/2018	ISSUE FOR PERMITTING

**SITE UTILITIES OVERVIEW**

**C31.01**



**ARCHITECT**  
RDG Planning & Design  
201 Grand Ave., Suite 100  
West Des Moines, IA 50266  
Phone: (515) 281-3411

**IRRIGATION**  
RDG Planning & Design  
201 Grand Ave., Suite 100  
West Des Moines, IA 50266  
Phone: (515) 281-3411

**AV / IT / SECURITY**  
RDG Planning & Design  
201 Grand Ave., Suite 100  
West Des Moines, IA 50266  
Phone: (515) 281-3411

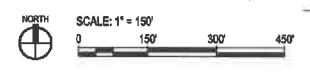
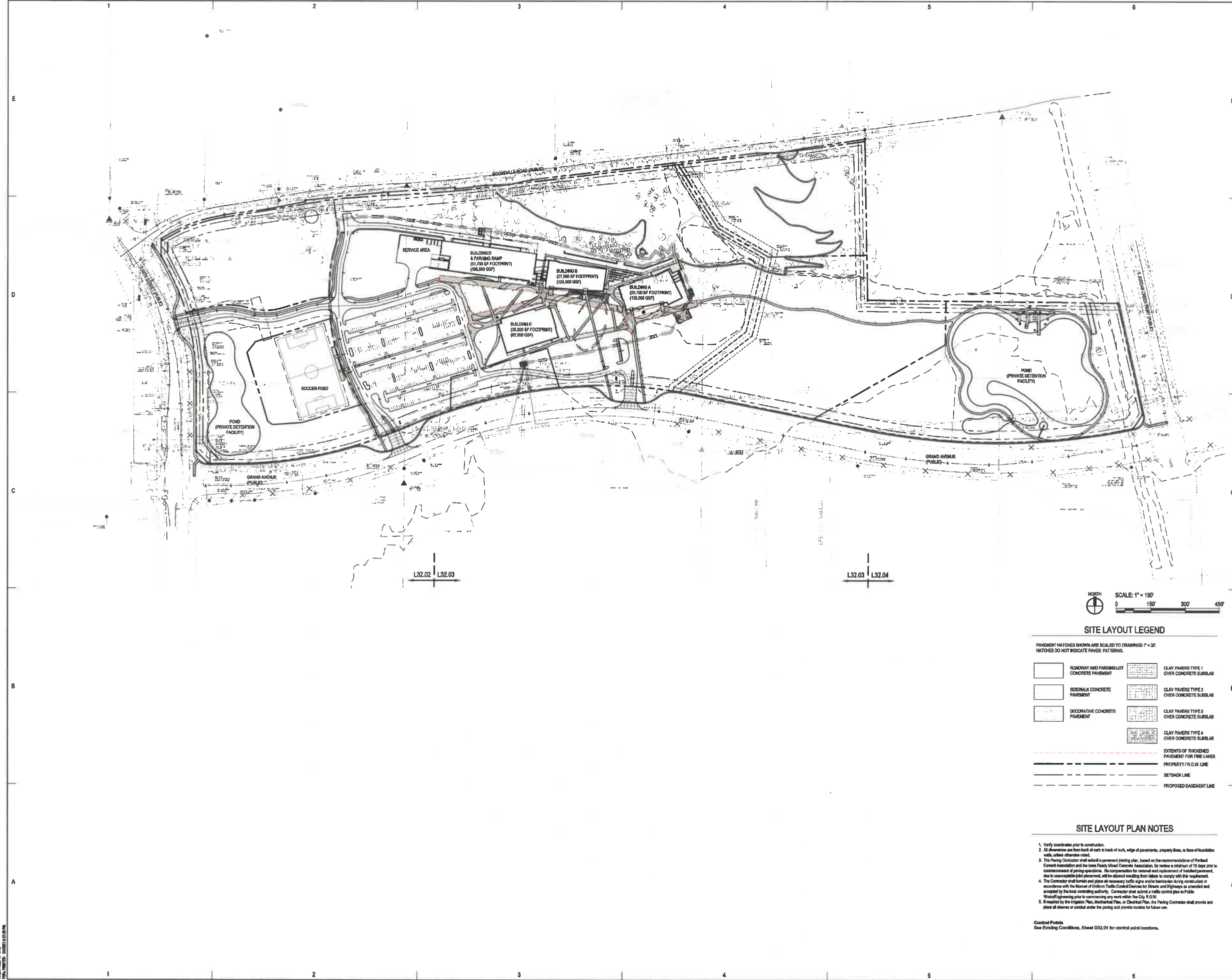
**STRUCTURAL**  
RDG Planning & Design  
201 Grand Ave., Suite 100  
West Des Moines, IA 50266  
Phone: (515) 281-3411

**MECH / ELEC / PLUMB**  
RDG Planning & Design  
201 Grand Ave., Suite 100  
West Des Moines, IA 50266  
Phone: (515) 281-3411

**LANDSCAPE**  
RDG Planning & Design  
201 Grand Ave., Suite 100  
West Des Moines, IA 50266  
Phone: (515) 281-3411

**LIGHTING**  
RDG Planning & Design  
201 Grand Ave., Suite 100  
West Des Moines, IA 50266  
Phone: (515) 281-3411

SHEET C31.01 OF 30  
DATE: 08/14/2018 10:00 AM



**SITE LAYOUT LEGEND**

PAVEMENT HATCHES SHOWN ARE SCALED TO DRAWINGS 1" = 30'. HATCHES DO NOT INDICATE PAVEMENT PATTERNS.

	ROADWAY AND PARKING LOT CONCRETE PAVEMENT		CLAY PAVERS TYPE 1 OVER CONCRETE SUBSLAB
	SIDEWALK CONCRETE PAVEMENT		CLAY PAVERS TYPE 2 OVER CONCRETE SUBSLAB
	DECORATIVE CONCRETE PAVEMENT		CLAY PAVERS TYPE 3 OVER CONCRETE SUBSLAB
			CLAY PAVERS TYPE 4 OVER CONCRETE SUBSLAB
	EXTENTS OF THICKENED PAVEMENT FOR TRUCK LANES		
	PROPERTY R.O.W. LINE		
	SETBACK LINE		
	PROPOSED EASEMENT LINE		

**SITE LAYOUT PLAN NOTES**

1. Verify coordinates prior to construction.
2. All dimensions are from back of curb to back of curb, edge of pavement, property line, or face of foundation wall, unless otherwise noted.
3. The Parking Contractor shall submit a pavement paving plan, based on the recommendations of Portland Cement Association and the Iowa Ready Mixed Concrete Association, for review a minimum of 15 days prior to commencement of paving operations. No compensation for removal and replacement of installed pavement, due to unacceptable joint placement, will be allowed resulting from failure to comply with this requirement.
4. The Contractor shall furnish and place all necessary traffic signs and/or barricades during construction in accordance with the Manual of Uniform Traffic Control Devices for Streets and Highways as amended and accepted by the local controlling authority. Contractor shall submit a traffic control plan to Public Works/Engineering prior to commencing any work within the City R.O.W.
5. If required by the Irrigation Plan, Mechanical Plan, or Electrical Plan, the Parking Contractor shall provide and place all valves or control under the parking and provide location for future use.

Control Points  
See Existing Conditions, Sheet 002.01 for control point locations.

SITE PLAN SUBMITTAL 2D

NOT FOR CONSTRUCTION

WEST DES MOINES CAMPUS - SITE



**ARCHITECT**  
RDG Planning & Design  
301 Grand Ave.  
West Des Moines, IA 50266  
Phone: (515) 281-3141

**FOOD SERVICE**  
United States Food Service, Inc.  
1000 Valley Road, Suite 100  
West Des Moines, IA 50266  
Phone: (515) 281-3141

**AV / IT / SECURITY**  
AV / IT / Security  
1000 Valley Road, Suite 100  
West Des Moines, IA 50266  
Phone: (515) 281-3141

**IRRIGATION**  
Irrigation  
1000 Valley Road, Suite 100  
West Des Moines, IA 50266  
Phone: (515) 281-3141

**STRUCTURAL**  
Structural  
301 Grand Ave.  
West Des Moines, IA 50266  
Phone: (515) 281-3141

**MECH / ELEC / PLUMB**  
Mechanical, Electrical, Plumbing  
301 Grand Ave.  
West Des Moines, IA 50266  
Phone: (515) 281-3141

**LANDSCAPE**  
Landscape  
301 Grand Ave.  
West Des Moines, IA 50266  
Phone: (515) 281-3141

8025 GRAND AVENUE  
WEST DES MOINES, IOWA 50266

DES MOINES UNIVERSITY

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/15/2011
2	ISSUED FOR CONSTRUCTION	08/15/2011
3	ISSUED FOR CONSTRUCTION	08/15/2011
4	ISSUED FOR CONSTRUCTION	08/15/2011
5	ISSUED FOR CONSTRUCTION	08/15/2011

**SITE LAYOUT PLAN - OVERALL**

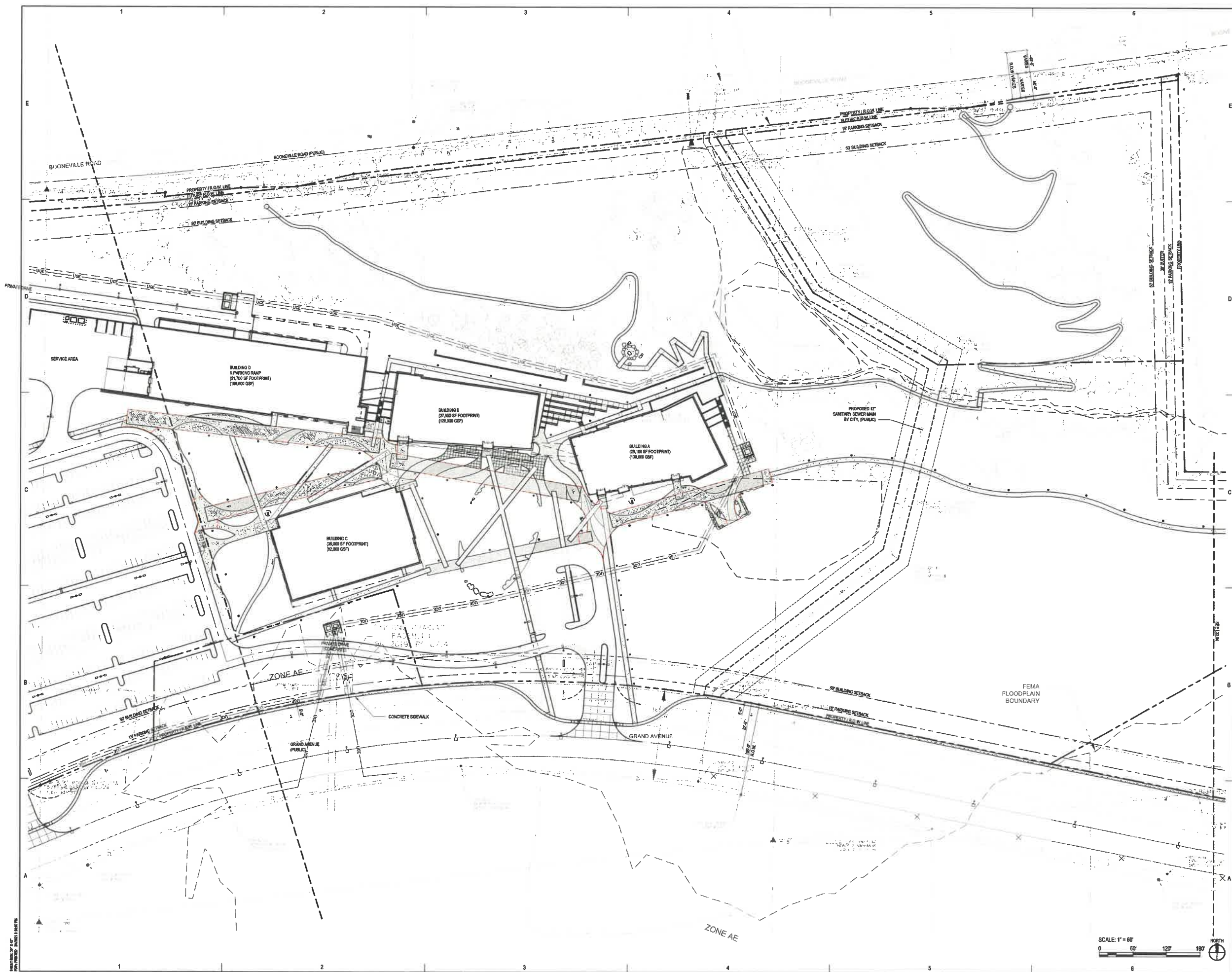
L32.01

DATE PLOTTED: 08/15/2011 10:23:29 AM









WEST DES MOINES CAMPUS - SITE

NOT FOR CONSTRUCTION

SITE PLAN

WEST DES MOINES CAMPUS - SITE

**RDG**  
PLANNING • DESIGN

**ARCHITECT**  
RDG Planning & Design  
200 Grand Avenue, Suite 100  
West Des Moines, IA 50399  
Phone: (515) 281-5141

**FOOD SERVICE**  
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Des Moines, IA 50319  
Phone: (515) 281-5141

**STRUCTURAL**  
1000 West 10th Street, Suite 100  
Des Moines, IA 50319  
Phone: (515) 281-5141

**MECH / ELEC / PLUMB**  
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Des Moines, IA 50319  
Phone: (515) 281-5141

**LANDSCAPE**  
1000 West 10th Street, Suite 100  
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**AV / IT / SECURITY**  
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**IRRIGATION**  
1000 West 10th Street, Suite 100  
Des Moines, IA 50319  
Phone: (515) 281-5141

**8025 GRAND AVENUE  
WEST DES MOINES, IOWA 50266**

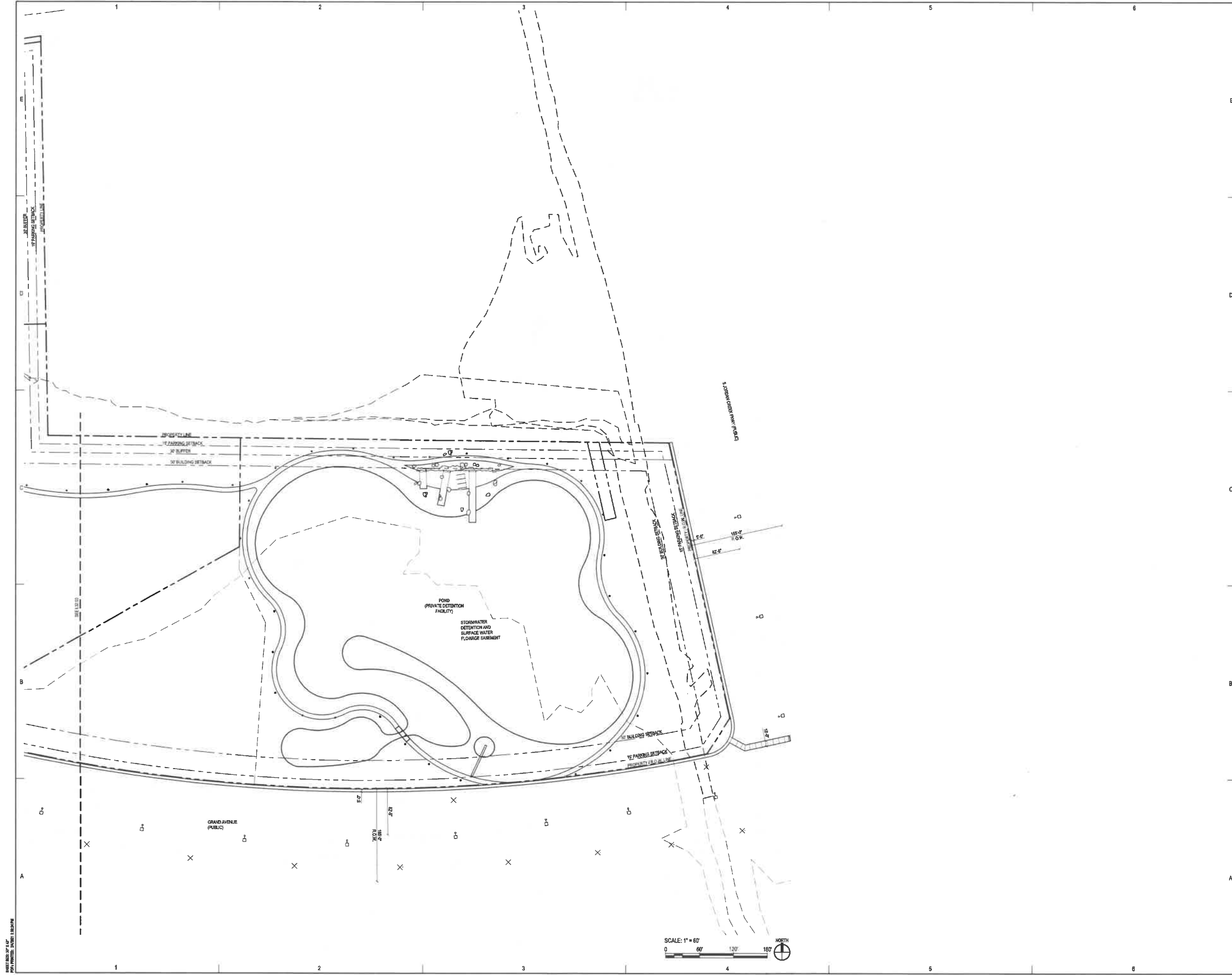
**DES MOINES UNIVERSITY**

NO.	DATE	DESCRIPTION
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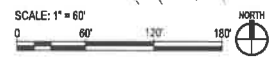
**SITE LAYOUT  
PLAN -  
CENTRAL**

**L32.03**

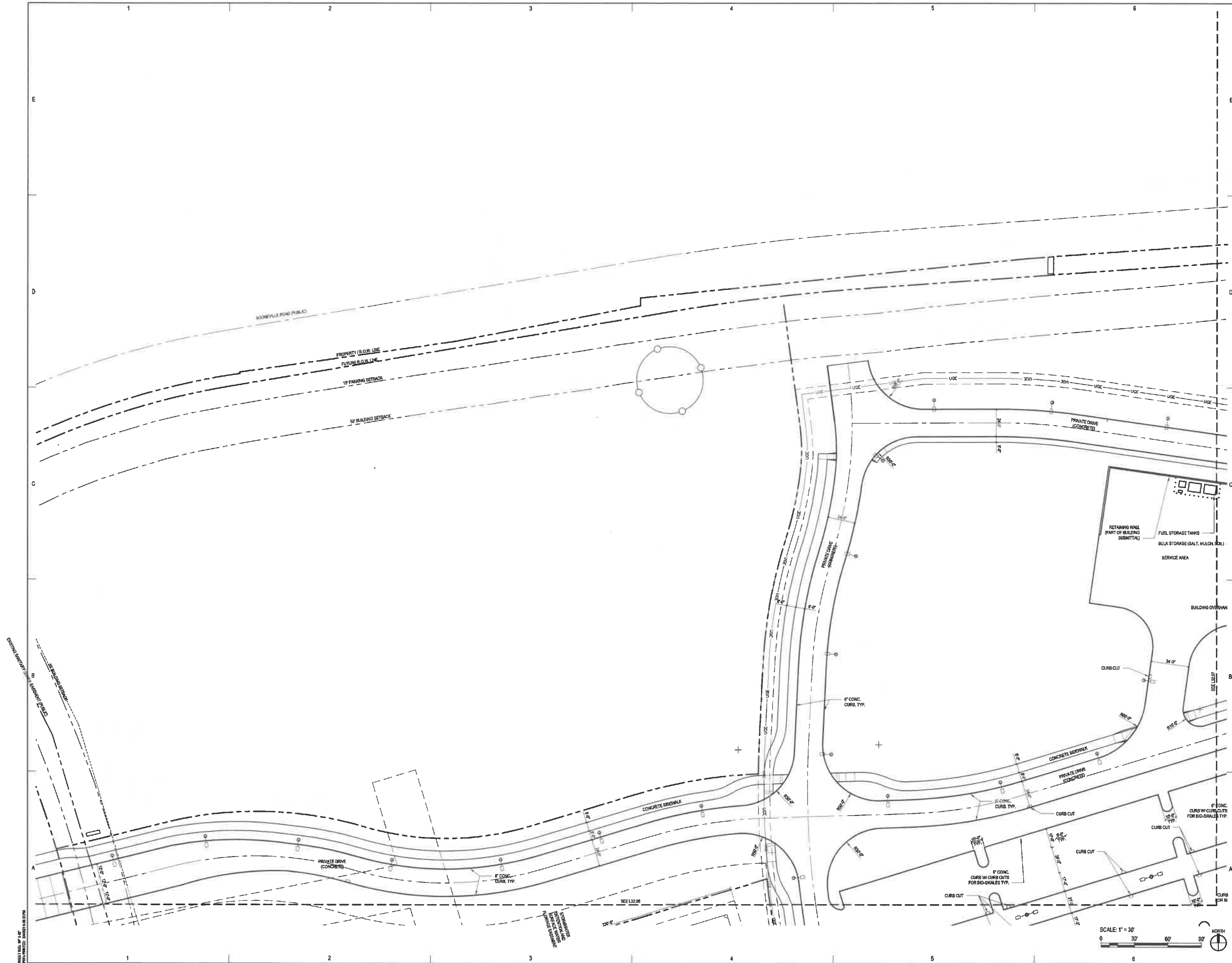




DRAWN BY: JAC  
 CHECKED BY: JAC  
 DATE: 08/11/2011



<b>WEST DES MOINES CAMPUS - SITE</b>	<b>NOT FOR CONSTRUCTION</b>	<b>SITE PLAN SUBMITTAL 2D</b>
<b>8025 GRAND AVENUE</b> <b>WEST DES MOINES, IOWA 50266</b> <small>KEY PLAN</small> <b>DES MOINES UNIVERSITY</b>	<b>MECH/ELEC/PLUMB</b> <small>3045 10th St        Des Moines, IA 50319        Phone: (515) 281-2222</small> <b>CIVIL/LANDSCAPE</b> <small>8507 Perry St        Des Moines, IA 50325        Phone: (515) 281-3141</small>	<b>STRUCTURAL</b> <small>845 Grand St        Des Moines, IA 50319        Phone: (515) 272-3388</small> <b>LIGHTING</b> <small>1507 Perry St        Des Moines, IA 50319        Phone: (515) 272-3141</small>
	<b>FOOD SERVICE</b> <small>1500 14th St        Des Moines, IA 50319        Phone: (515) 281-2222</small>	<b>AV/IT/SECURITY</b> <small>1500 14th St        Des Moines, IA 50319        Phone: (515) 281-2222</small>
	<b>ARCHITECT</b> <small>1500 14th St        Des Moines, IA 50319        Phone: (515) 281-2222</small>	<b>IRRIGATION</b> <small>1500 14th St        Des Moines, IA 50319        Phone: (515) 281-2222</small>
<b>SITE LAYOUT</b> <b>PLAN - EAST</b>		
<b>L32.04</b>		



**SITE PLAN SUBMITTAL 2D**

**NOT FOR CONSTRUCTION**

**WEST DES MOINES CAMPUS - SITE**



**ARCHITECT**  
RDG Planning & Design  
201 Grand Ave.  
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**CIVIL / LANDSCAPE**  
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Phone: (515) 281-3411

**8025 GRAND AVENUE  
WEST DES MOINES, IOWA 50266**

**DES MOINES UNIVERSITY**

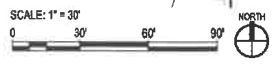
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**RDG Planning & Design**  
10/15/2014  
WEST DES MOINES CAMPUS - SITE

**SITE LAYOUT  
PLAN -  
ENLARGEMENT**

**L32.05**





SITE PLAN SUBMITTAL 2D

NOT FOR CONSTRUCTION

WEST DES MOINES CAMPUS - SITE

**RDG**  
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**IRRIGATION**  
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West Des Moines, IA 50266  
Phone: (515) 281-3411

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West Des Moines, IA 50266  
Phone: (515) 281-3411

8025 GRAND AVENUE  
WEST DES MOINES, IOWA 50266

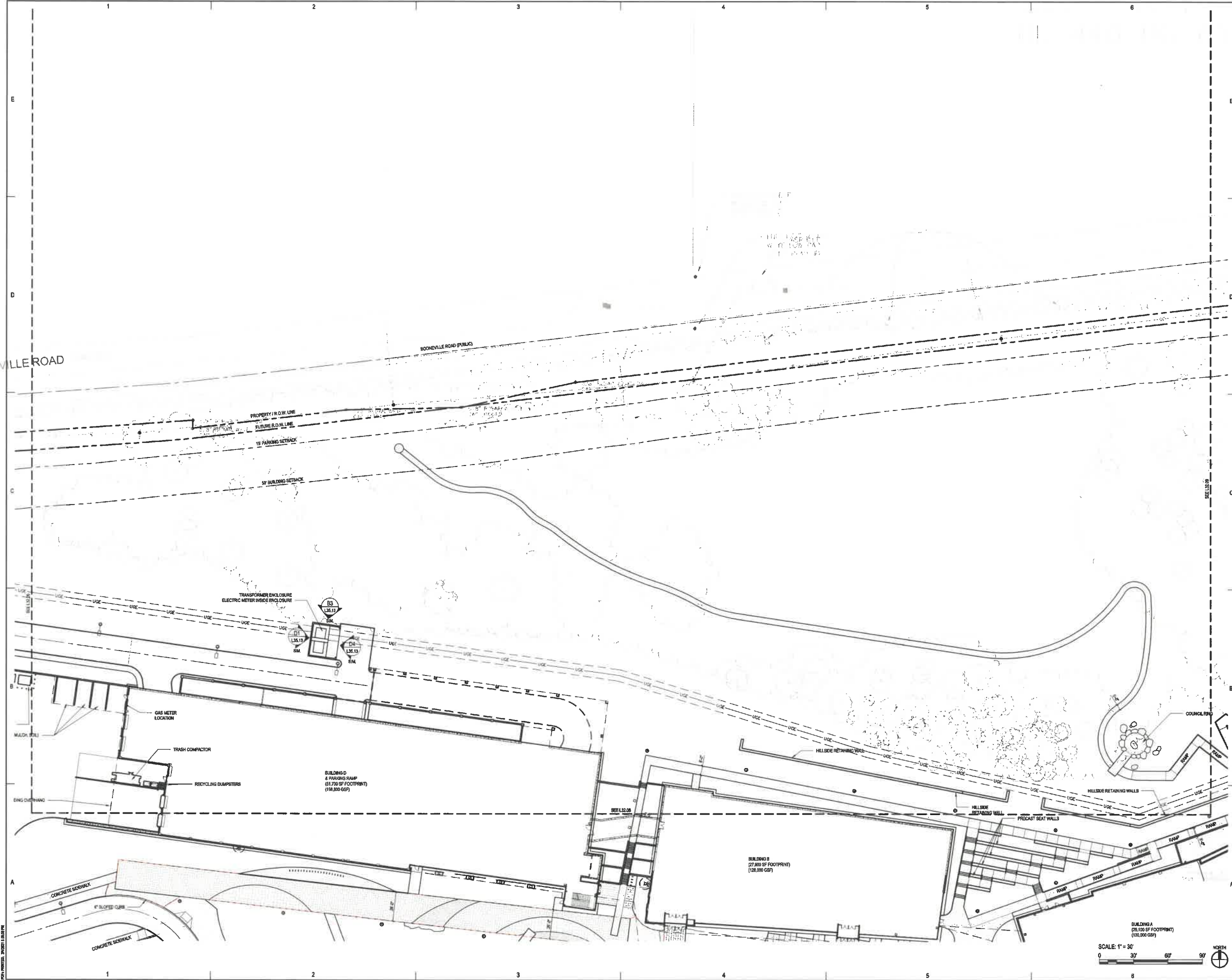
DES MOINES UNIVERSITY

NO.	DESCRIPTION	DATE
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SITE LAYOUT  
PLAN -  
ENLARGEMENT

L32.06



BOONEVILLE ROAD

BOONEVILLE ROAD PKWY

TRANSFORMER ENCLOSURE  
ELECTRIC METER INSIDE ENCLOSURE

GAS METER LOCATION

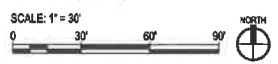
TRASH COMPACTOR

RECYCLING DUMPSTERS

BUILDING D  
& PARKING RAMP  
(51,700 SF FOOTPRINT)  
(114,800 GSF)

BUILDING B  
(27,800 SF FOOTPRINT)  
(128,000 GSF)

BUILDING A  
(98,100 SF FOOTPRINT)  
(150,000 GSF)



**NOT FOR CONSTRUCTION**

**WEST DES MOINES CAMPUS - SITE**

**8025 GRAND AVENUE  
WEST DES MOINES, IOWA 50266  
DES MOINES UNIVERSITY**

**SITE LAYOUT PLAN - ENLARGEMENT**

**L32.07**

**ARCHITECT**  
RDG  
1010 East 10th Street  
Des Moines, IA 50319  
Phone: (515) 281-2141

**FOOD SERVICE**  
AUSTIN FOOD SERVICE, INC.  
1400 Valley Road, Suite 10  
Des Moines, IA 50319  
Phone: (515) 281-2141

**STRUCTURAL**  
DESIGN GROUP, LLC  
200 East 10th Street, Suite 200  
Des Moines, IA 50319  
Phone: (515) 281-2141

**MECH / ELEC / PLUMB**  
DESIGN GROUP, LLC  
200 East 10th Street, Suite 200  
Des Moines, IA 50319  
Phone: (515) 281-2141

**LANDSCAPE**  
DESIGN GROUP, LLC  
200 East 10th Street, Suite 200  
Des Moines, IA 50319  
Phone: (515) 281-2141

**IRRIGATION**  
DESIGN GROUP, LLC  
200 East 10th Street, Suite 200  
Des Moines, IA 50319  
Phone: (515) 281-2141

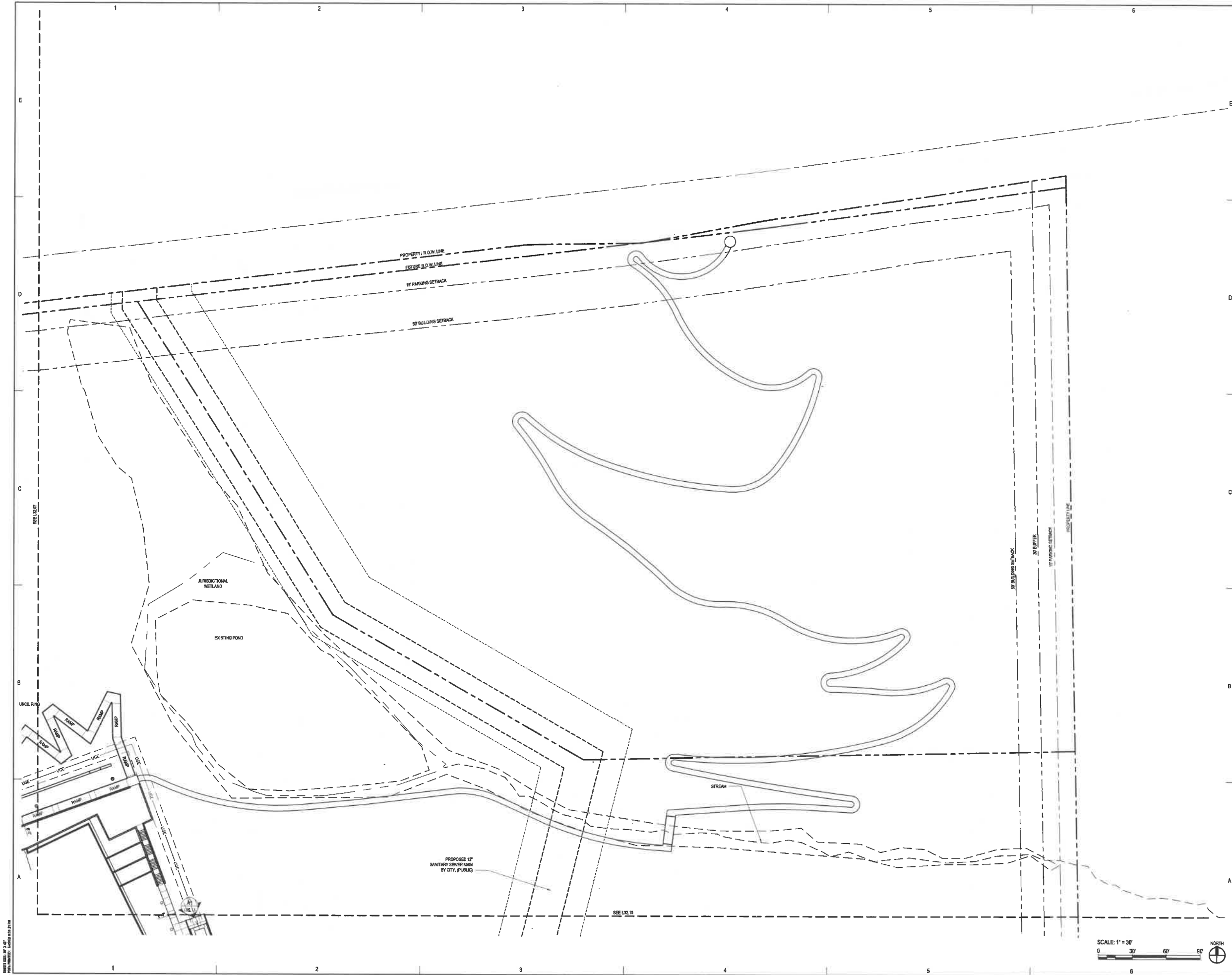
**AV / IT / SECURITY**  
DESIGN GROUP, LLC  
200 East 10th Street, Suite 200  
Des Moines, IA 50319  
Phone: (515) 281-2141

**LIGHTING**  
DESIGN GROUP, LLC  
200 East 10th Street, Suite 200  
Des Moines, IA 50319  
Phone: (515) 281-2141

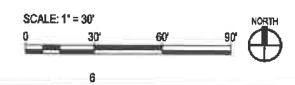
**CONSTRUCTION**  
DESIGN GROUP, LLC  
200 East 10th Street, Suite 200  
Des Moines, IA 50319  
Phone: (515) 281-2141







MEET SIZE: 36" X 42"  
 PLOT NUMBER: 100001 04/12/19



**WEST DES MOINES CAMPUS - SITE**

**NOT FOR CONSTRUCTION**

**SITE PLAN SUBMITTAL 2D**

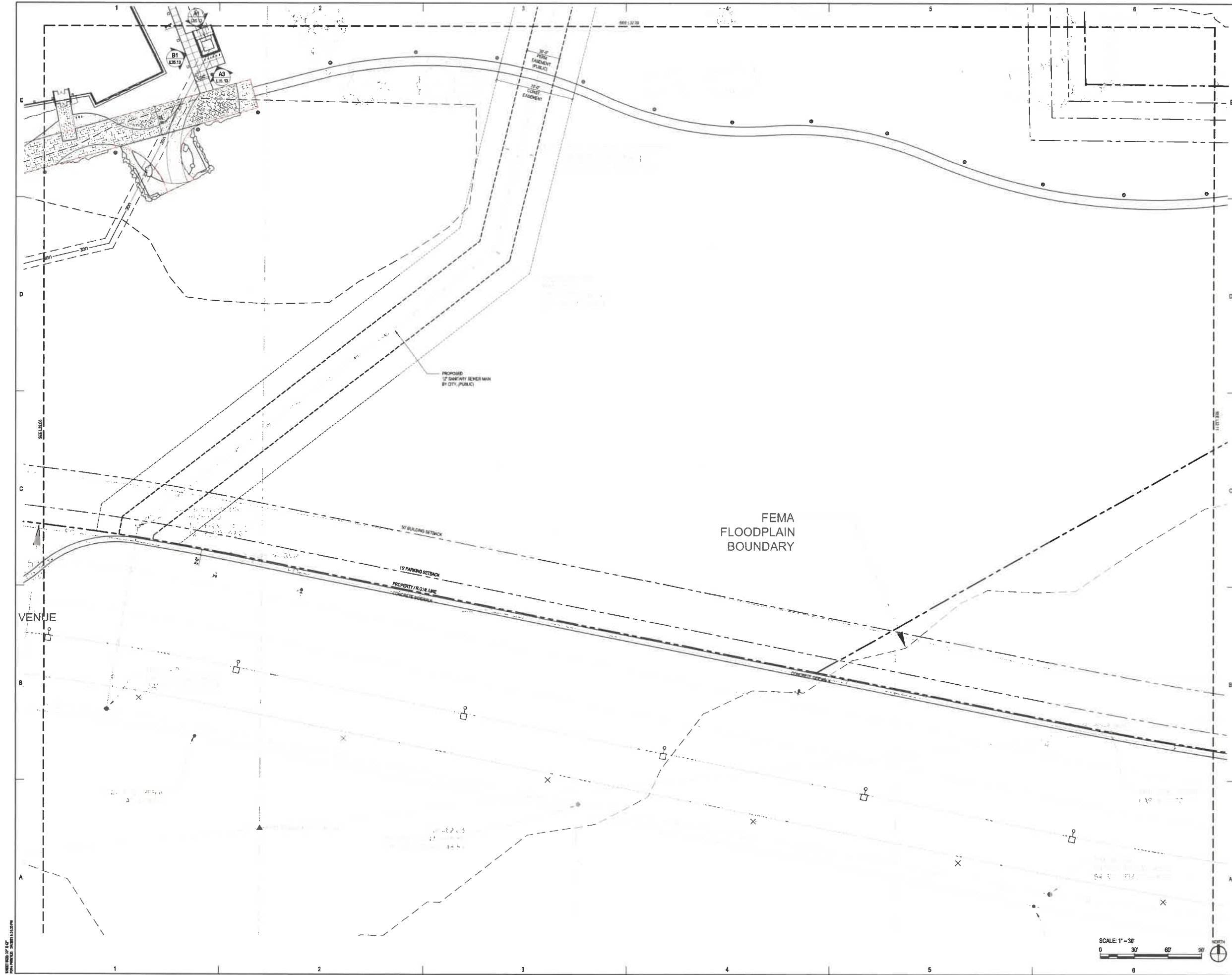
8025 GRAND AVENUE  
 WEST DES MOINES, IOWA 50266  
 DES MOINES UNIVERSITY

**SITE LAYOUT PLAN - ENLARGEMENT**

**L32.09**

<b>ARCHITECT</b> RDG 200 North 11th Street Des Moines, IA 50319 Phone: (515) 281-5141	<b>ARCHITECT</b> RDG 200 North 11th Street Des Moines, IA 50319 Phone: (515) 281-5141
<b>MECH / ELEC / PLUMB</b> RDG 200 North 11th Street Des Moines, IA 50319 Phone: (515) 281-5141	<b>STRUCTURAL</b> RDG 200 North 11th Street Des Moines, IA 50319 Phone: (515) 281-5141
<b>LANDSCAPE</b> RDG 200 North 11th Street Des Moines, IA 50319 Phone: (515) 281-5141	<b>LANDSCAPE</b> RDG 200 North 11th Street Des Moines, IA 50319 Phone: (515) 281-5141
<b>AV / IT / SECURITY</b> RDG 200 North 11th Street Des Moines, IA 50319 Phone: (515) 281-5141	<b>AV / IT / SECURITY</b> RDG 200 North 11th Street Des Moines, IA 50319 Phone: (515) 281-5141





WEST DES MOINES CAMPUS - SITE  
 8025 GRAND AVENUE  
 WEST DES MOINES, IOWA 50266  
 DES MOINES UNIVERSITY

WEST DES MOINES CAMPUS - SITE

NOT FOR CONSTRUCTION

SITE PLAN SUBMITTAL 2D

RDG  
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STRUCTURAL  
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LANDSCAPE ARCHITECTURE  
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 Fax: (515) 281-3912

AV/IT SECURITY  
 201 Grand Ave  
 West Des Moines, IA 50266  
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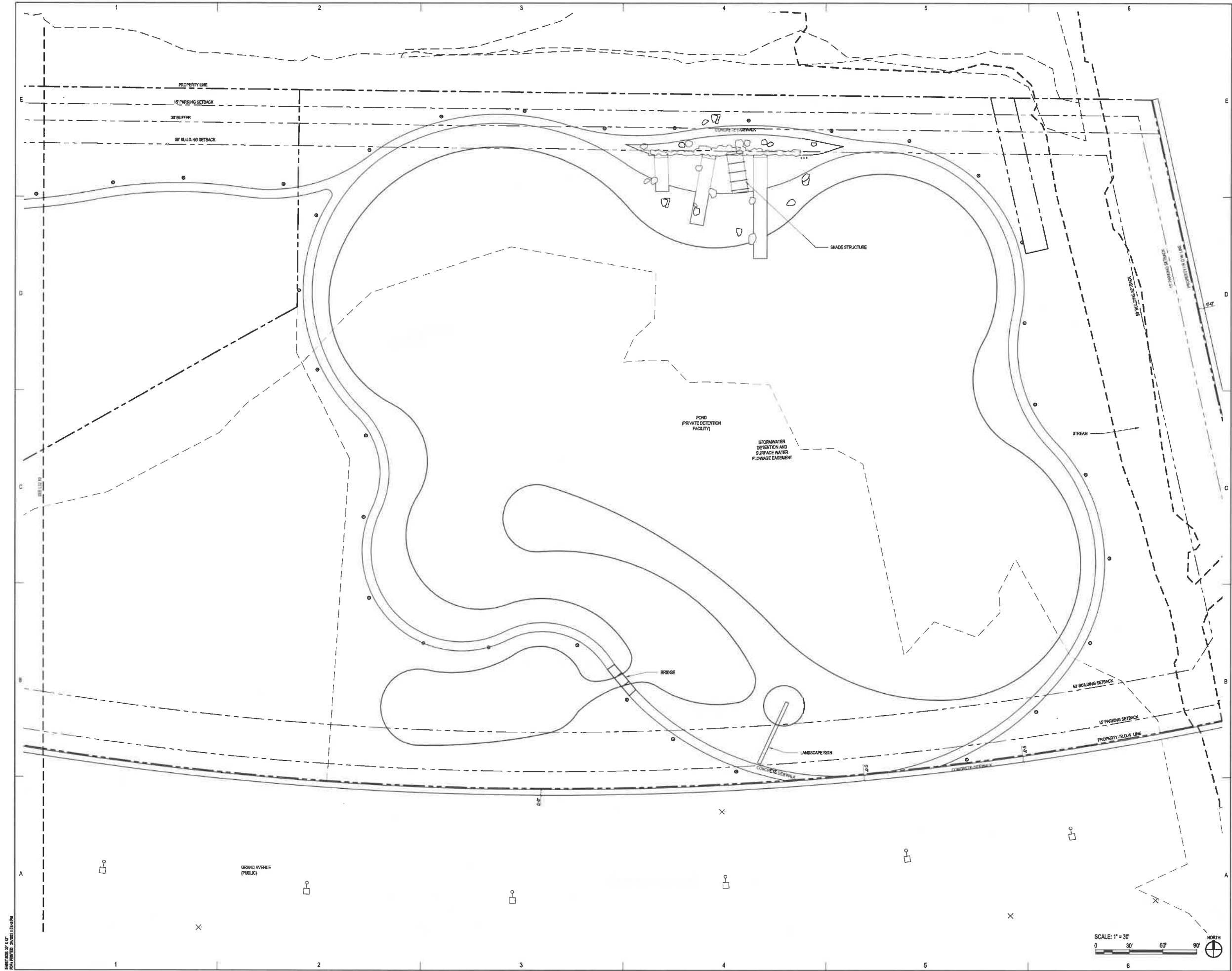
DES MOINES UNIVERSITY  
 8025 GRAND AVENUE  
 WEST DES MOINES, IOWA 50266

RDG Planning & Design  
 201 Grand Ave  
 West Des Moines, IA 50266  
 Phone: (515) 281-3911  
 Fax: (515) 281-3912

PROJECT: WEST DES MOINES CAMPUS - SITE  
 SHEET: SITE PLAN SUBMITTAL 2D  
 DATE: 11/11/11  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

SCALE: 1" = 30'  
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SITE LAYOUT  
 PLAN -  
 ENLARGEMENT  
 L32.10



SHEET NO. 32 OF 32  
 DATE: 08/14/2013  
 DRAWN BY: JENNIFER L. BURTON

WEST DES MOINES CAMPUS - SITE  
 NOT FOR CONSTRUCTION

WEST DES MOINES CAMPUS - SITE  
 NOT FOR CONSTRUCTION

WEST DES MOINES CAMPUS - SITE  
 NOT FOR CONSTRUCTION

**RDG**  
 PLANNING • DESIGN

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**MECH/ELEC/PLUMB**  
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**STRUCTURAL**  
 201 Grand Ave.  
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**LANDSCAPE**  
 201 Grand Ave.  
 Des Moines, IA 50325  
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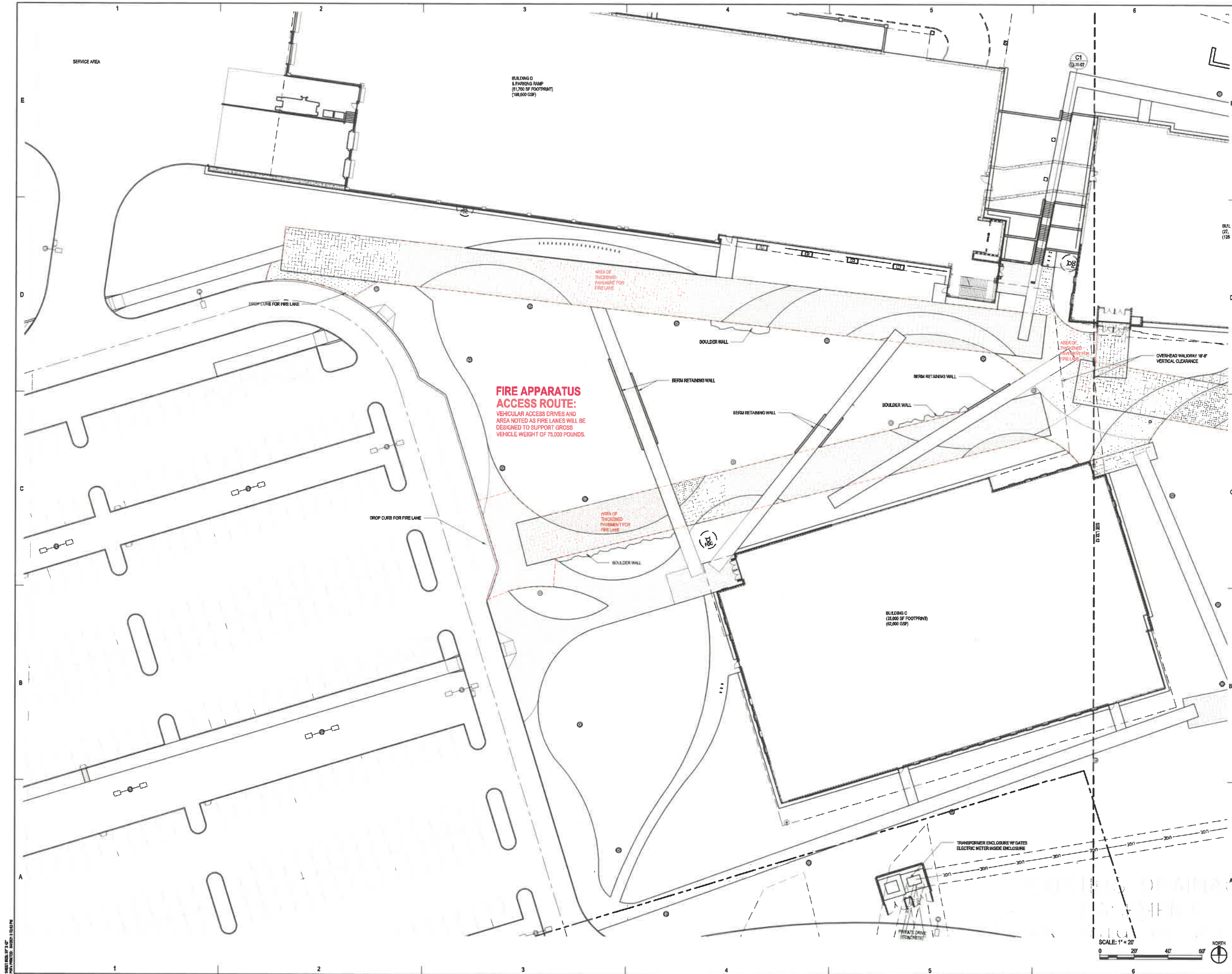
**AV/IT/SECURITY**  
 201 Grand Ave.  
 Des Moines, IA 50325  
 Phone: (515) 281-2414

**FOOD SERVICE**  
 201 Grand Ave.  
 Des Moines, IA 50325  
 Phone: (515) 281-2414

**KEY PLAN**  
 8025 GRAND AVENUE  
 WEST DES MOINES, IOWA 50266  
 DES MOINES UNIVERSITY

SITE LAYOUT PLAN - ENLARGEMENT  
 L32.11





WEST DES MOINES CAMPUS - CORE WEST  
 PREPARED BY: RDG PLANNING & DESIGN

WEST DES MOINES CAMPUS - SITE

NOT FOR CONSTRUCTION

SITE PLAN SUBMITTAL 2D

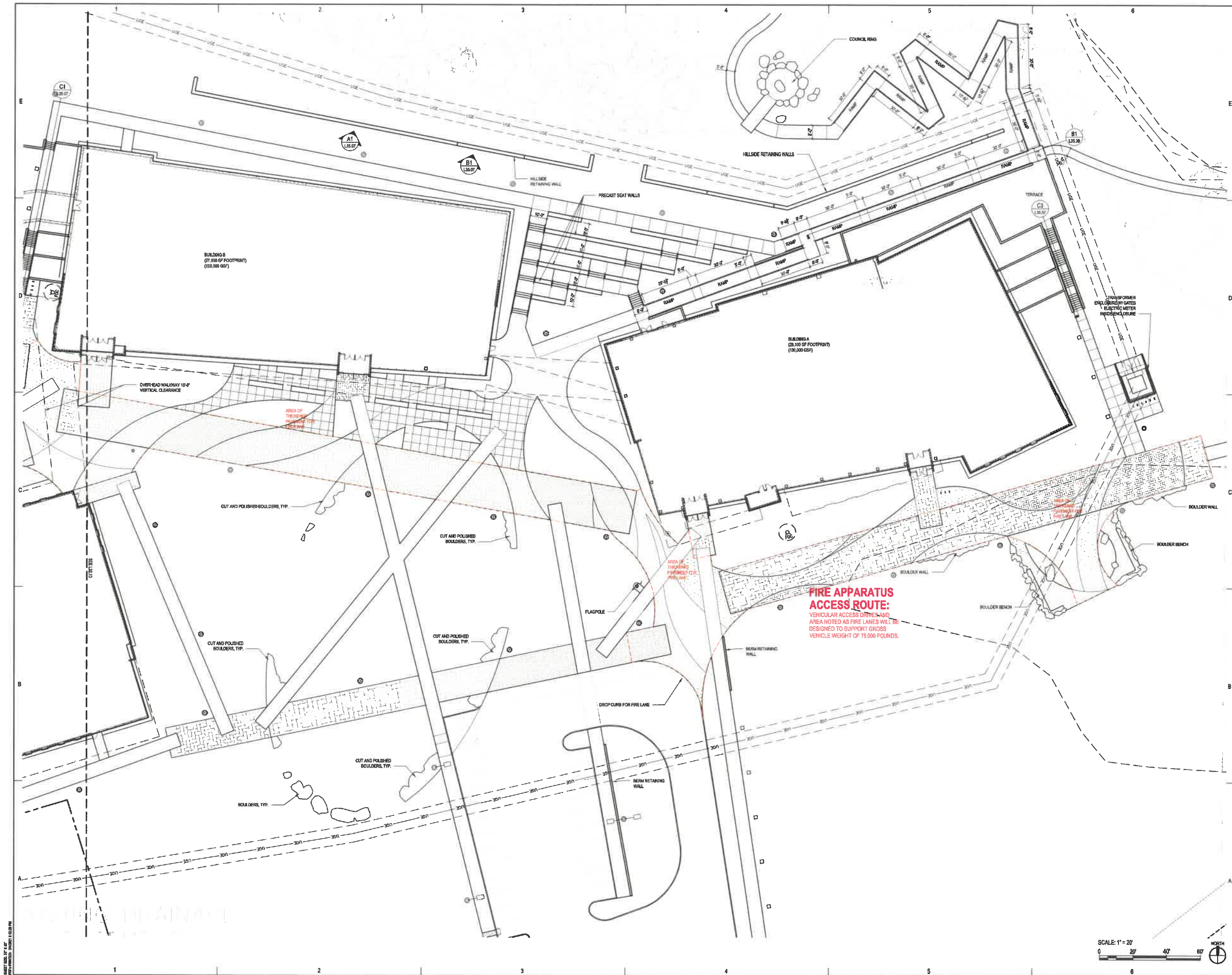
<b>RDG</b> PLANNING • DESIGN	
<b>ARCHITECT</b> RDG Planning & Design 201 Grand Ave. West Des Moines, IA 50399 Phone: (515) 281-2141	<b>REGISTRATION</b> I.A.A.C. No. 10000 State of Iowa Phone: (515) 281-2141
<b>FOOD SERVICE</b> RDG Planning & Design 201 Grand Ave. West Des Moines, IA 50399 Phone: (515) 281-2141	<b>AV / IT SECURITY</b> RDG Planning & Design 201 Grand Ave. West Des Moines, IA 50399 Phone: (515) 281-2141
<b>MECH / ELEC / PLUMB</b> RDG Planning & Design 201 Grand Ave. West Des Moines, IA 50399 Phone: (515) 281-2141	<b>LANDSCAPE</b> RDG Planning & Design 201 Grand Ave. West Des Moines, IA 50399 Phone: (515) 281-2141
<b>STRUCTURAL</b> RDG Planning & Design 201 Grand Ave. West Des Moines, IA 50399 Phone: (515) 281-2141	<b>LOGISTICS</b> RDG Planning & Design 201 Grand Ave. West Des Moines, IA 50399 Phone: (515) 281-2141

8025 GRAND AVENUE  
 WEST DES MOINES, IOWA 50266  
 DES MOINES UNIVERSITY

RDG Planning & Design  
 PREPARED BY: RDG PLANNING & DESIGN  
 FOR THE ARCHITECT: RDG PLANNING & DESIGN  
 WEST DES MOINES CAMPUS - CORE WEST  
 PROJECT: WEST DES MOINES CAMPUS - CORE WEST  
 DATE: 11/15/2011  
 SHEET: L32.12

**SITE LAYOUT PLAN - CORE WEST**  
**L32.12**





WEST DES MOINES CAMPUS - EAST  
 8/20/13  
 10:00 AM

DESIGNER: RDG  
 PROJECT: WEST DES MOINES CAMPUS - EAST  
 SHEET: L32.13



WEST DES MOINES CAMPUS - SITE  
 NOT FOR CONSTRUCTION  
 SITE PLAN SUBMITTAL 2D

**RDG**  
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STRUCTURAL  
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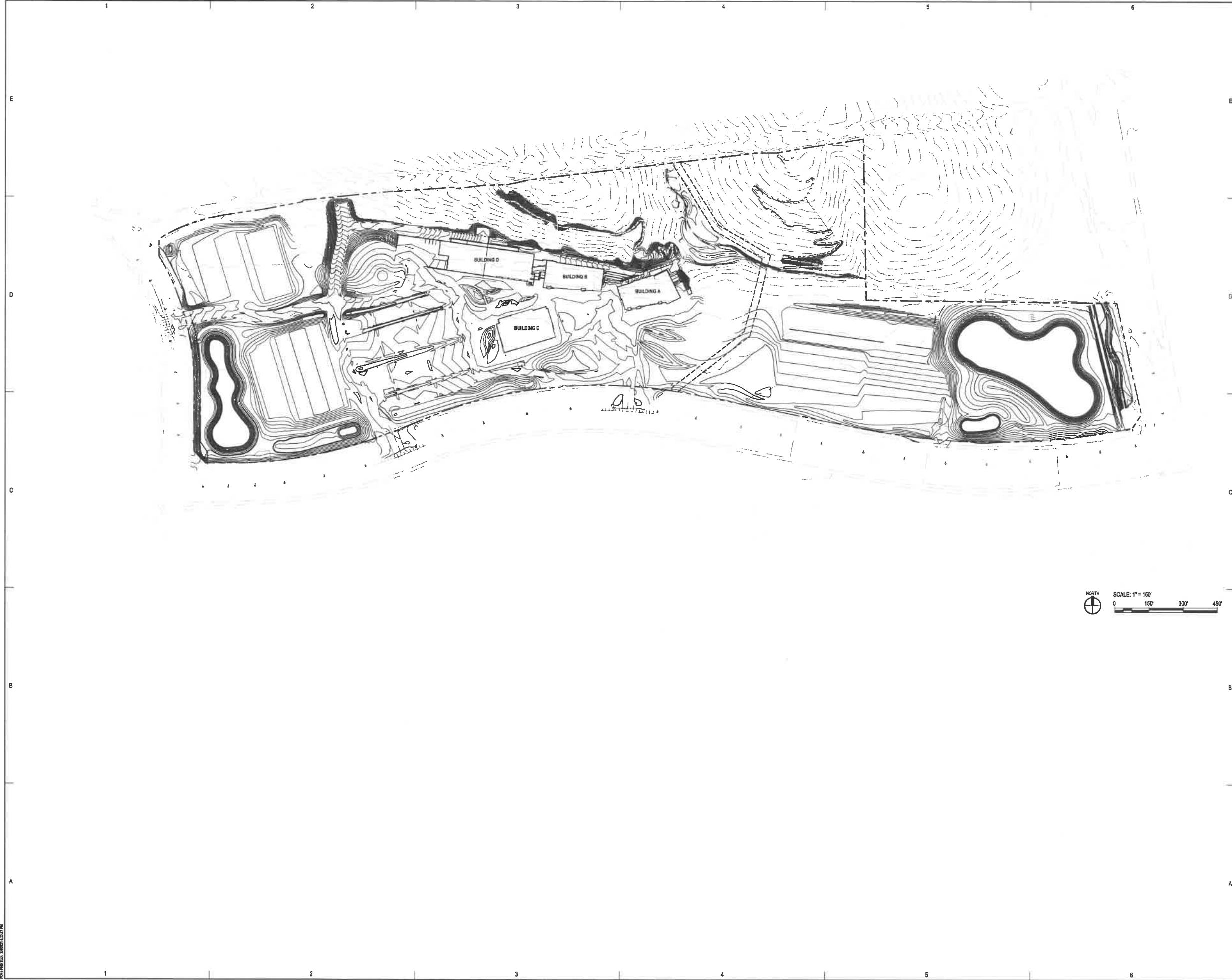
PROJECT: WEST DES MOINES CAMPUS - EAST  
 SHEET: L32.13

SITE LAYOUT  
 PLAN - CORE  
 EAST

L32.13



WEST DES MOINES CAMPUS - SITE  
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WEST DES MOINES CAMPUS - SITE

NOT FOR CONSTRUCTION

SITE PLAN SUBMITTAL 2D

L33.01

SITE GRADING PLAN

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PROJECT: WEST DES MOINES CAMPUS - SITE  
DATE: 04/23/24  
DRAWN BY: J. HARRIS  
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DATE: 04/23/24

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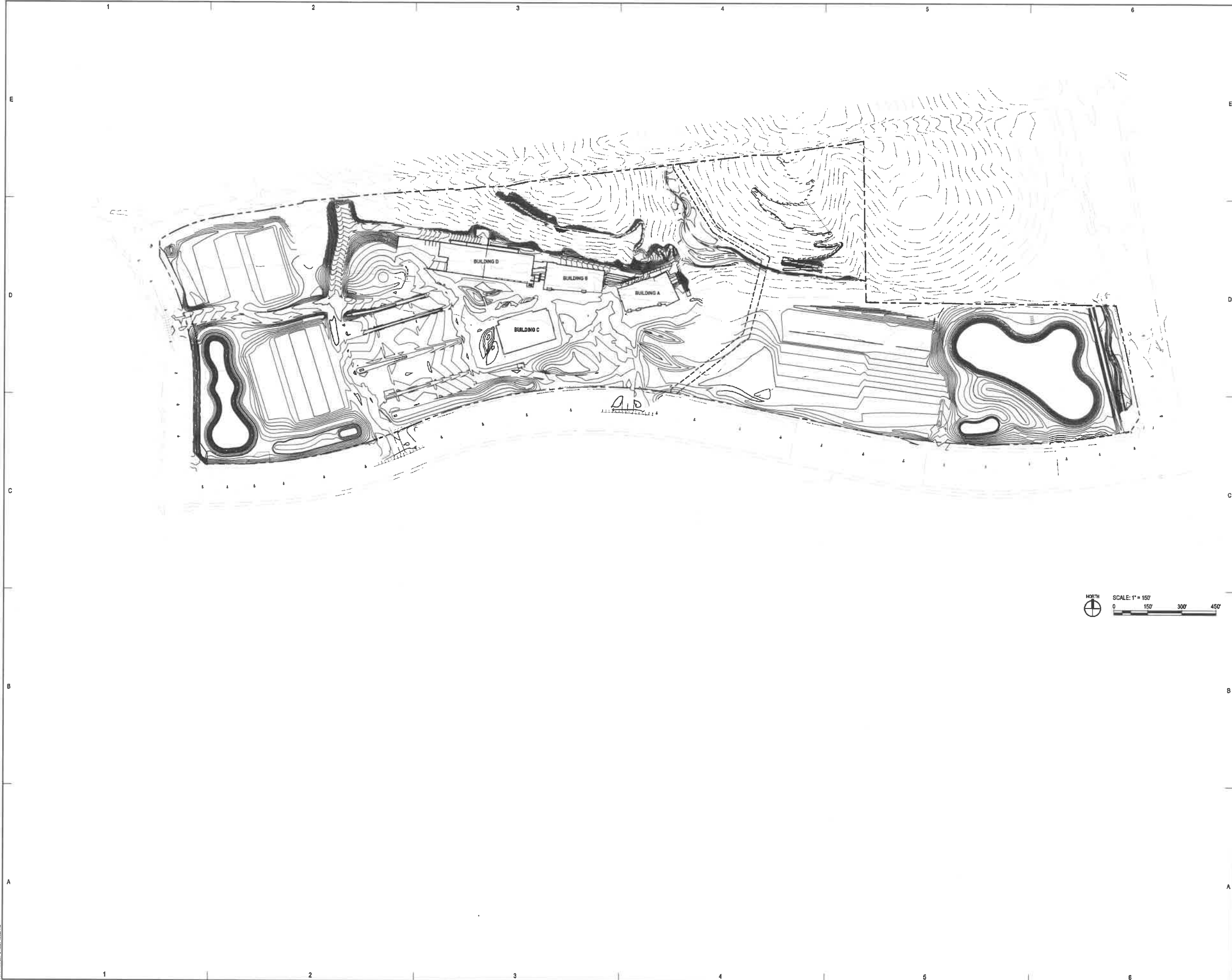
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WEST DES MOINES CAMPUS - SITE  
PLAN NUMBER: 2463.383.01



WEST DES MOINES CAMPUS - SITE

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SITE PLAN SUBMITTAL 2D

L33.01

SITE GRADING PLAN

PROJECT NO. 2463.383.01  
 SHEET NO. L33.01  
 DATE 08/11/2010  
 DRAWN BY J. B. BARNETT, PE  
 CHECKED BY J. B. BARNETT, PE  
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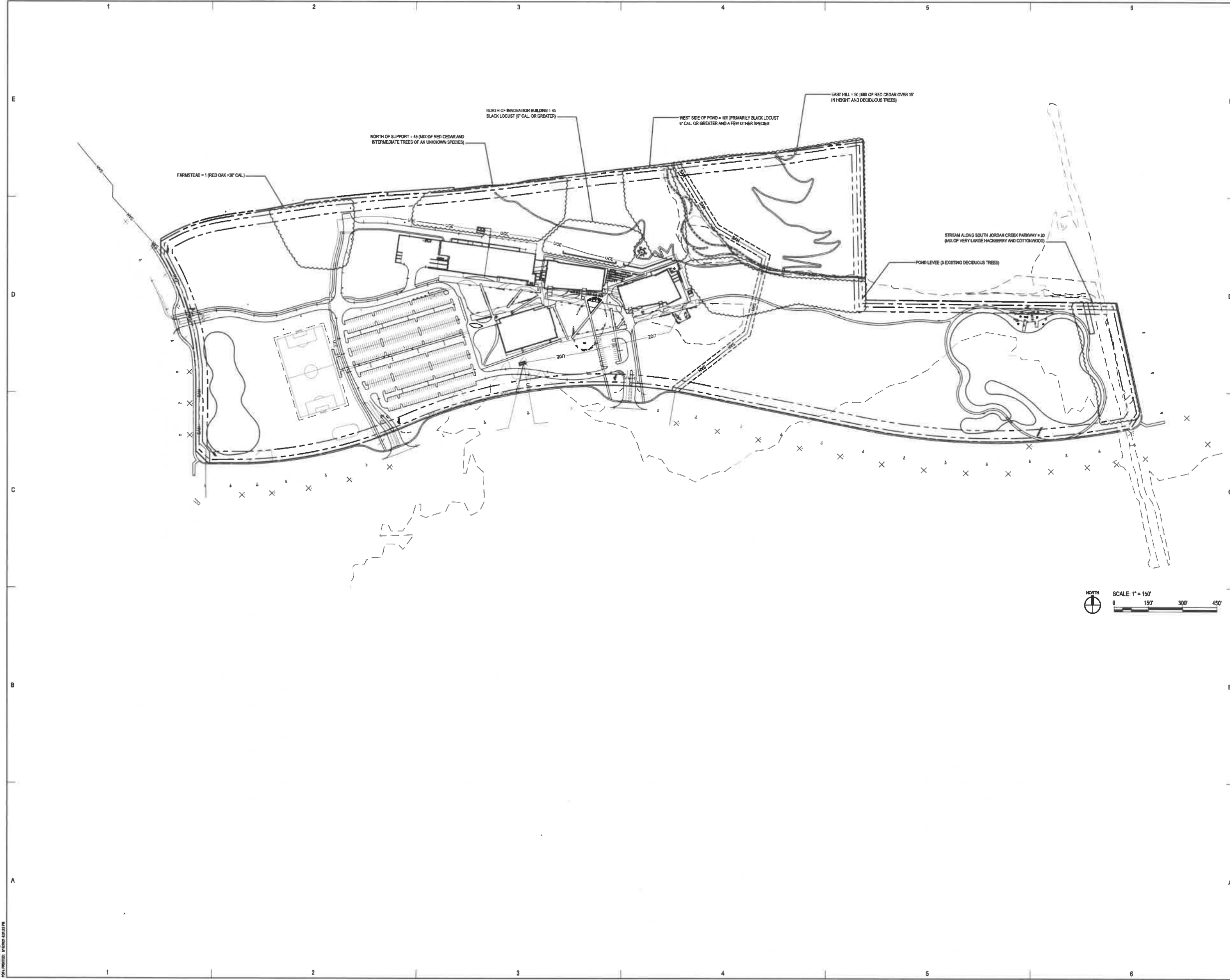
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WEST DES MOINES CAMPUS - SITE  
NOT FOR CONSTRUCTION



**WEST DES MOINES CAMPUS - SITE**

**SITE PLAN SUBMITTAL 2D**

L34.00

**SITE EXISTING TREES**

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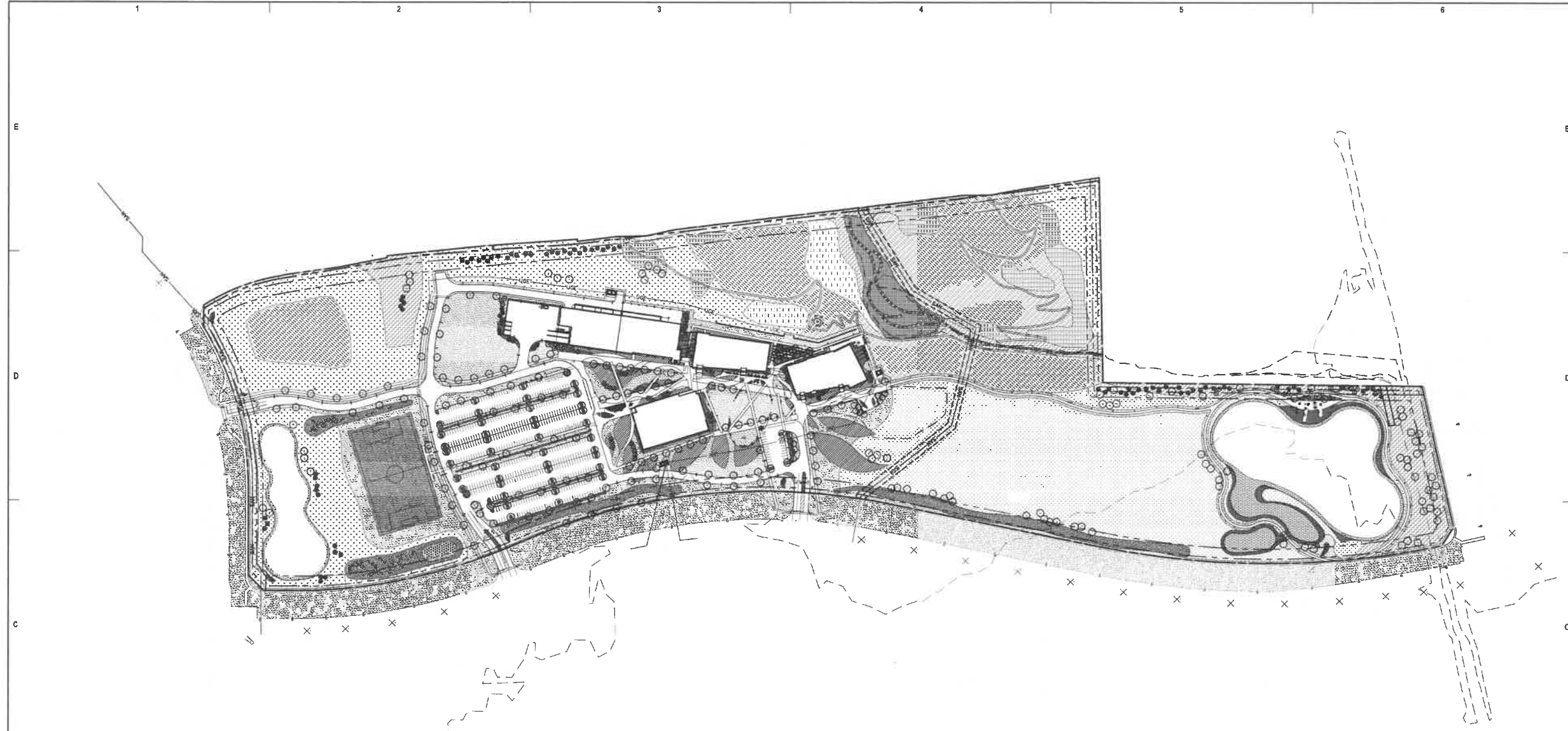
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QTY	KEY	BOTANICAL	COMMON	SIZE	CONDITION	NOTES
26	ARF	ACER RUBRUM FRANKSRED	RED SUNSET MAPLE	2" CAL		
9	BN	BETULA NIGRA	BRYDER BIRCH	1 1/2" HEIGHT		MULTI-STEM
1	CCV	CARYA OVATA	SHAGBARK HICKORY	2" CAL		
12	CCC	CELTIS OCCIDENTALIS	HICKBERRY	2" CAL		
26	GBP	GINKGO BILOBA PM 2727	PRINCETON BENTLEY GINKGO	2" CAL		
26	GTI	GLEDITSIA TRACANTHOS VAR. INERMIS	THORNLESS HONEYLOCUST	2" CAL		
8	GTS	GLEDITSIA TRACANTHOS VAR. INERMIS SUNCOLE	SUNBURST HONEYLOCUST	2" CAL		
23	GDJ	GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	2" CAL		
13	NSI	NYSSA BIVLATA WILDFIRE	WALDFIRE TULPELO	2" CAL		
8	OVI	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	2" CAL		
19	PCC	PLATANUS OCCIDENTALIS	SYCAMORE	2" CAL		
15	PFR	POPULUS TREMULOIDES	QUAKING ASPEN	2" CAL		
9	QBI	QUERCUS BICOLORE	SWAMP WHITE OAK	2" CAL		
9	QMA	QUERCUS MACROCARPA	BUR OAK	2" CAL		
8	QRJ	QUERCUS RUBRA	RED OAK	2" CAL		
16	TDI	TAXODIUM DISTICHUM	BALDOYPRESS	2" CAL		
6	TAR	TILIA AMERICANA REDMOND	REDMOND LINDEN	2" CAL		
8	TDI	TILIA CORDATA	LITTLE LEAF LINDEN	2" CAL		
24	UJM	ULMUS JAPONICA X WILSONIANA MORTON	ACCOLADE HYBRID ELM	2" CAL		
15	ABA	ABIES BALSAMEA	BALSAM FIR	6"	B&B	
13	ADO	ABIES CONCOLOR	CONCOLOR FIR	6"	B&B	
23	PGL	PICEA GLAUCA	WHITE SPRUCE	6"	B&B	
30	PST	PINUS STROBUS	WHITE PINE	6"	B&B	
18	ACA	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	1 1/2" HEIGHT		MULTI-STEM
13	AGA	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	1 1/2" HEIGHT		MULTI-STEM
15	CCA	CERCIS CANADENSIS	EASTERN REDBUD	1 1/2" HEIGHT		MULTI-STEM
4	CMA	CORNUS MAS	CORNELIAN-CHERRY DOGWOOD	1 1/2" HEIGHT		MULTI-STEM
27	MAD	MALUS 'DOCKRACK'	ADIRONDACK CRABAPPLE	1 1/2" HEIGHT		SINGLE-STEM
2	MPT	MALUS 'PRAIRIERISE'	PRAIRIE FIRE CRABAPPLE	1 1/2" HEIGHT		SINGLE-STEM

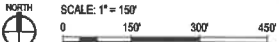
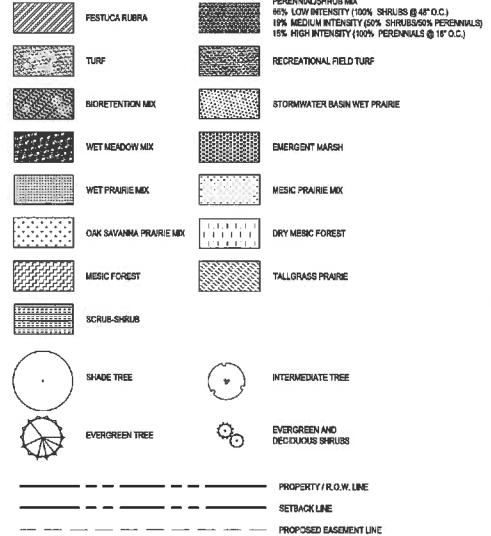
30	ABN	ABIES BALSAMEA 'NANA'	DWARF BALSAM FIR	#3	CONTAINER
49	ARL	ARONIA MELANOCARPA	LOW SHADE MOUND CHERRYBERRY	#3	CONTAINER
8	AME	ARONIA MELANOCARPA VIKI ELATA	BLACK CHERRYBERRY	#3	CONTAINER
104	CAM	CEANOTHUS AMERICANUS	NEW JERSEY TEA SHRUB	#3	CONTAINER
38	CSK	CORNUS SERICEA 'KELSEY'	KELSEY DWARF DOGWOOD	#3	CONTAINER
31	FAD	FORSYTHIA 'ARNDOLD DWARF'	ARNDOLD DWARF FORSYTHIA	#3	CONTAINER
46	FNI	FORSYTHIA 'NIMBUS'	SHOW OFF DWARF BABY FORSYTHIA	#3	CONTAINER
115	FDR	FOTHERGILLIA GARDNERI 'BLUE MIST'	BLUE MIST DWARF FOTHERGILLIA	#3	CONTAINER
6	HVE	HAMAMELIS VERNALIS	OSAKA WITCH HAZEL	#3	CONTAINER
175	HPR	HYPERICUM KALMBANUM 'AMES'	KALAM'S ST. JOHN'S WORT	#3	CONTAINER
45	ILE	ILEX VERTICILLATA (FEMALE TO 1 MALE)	DECIDUOUS HOLLY	#3	CONTAINER
67	IVI	ILEX VIRGINICA	SCIENTLANDIA SWEETSPYRE	#3	CONTAINER
25	PPS	PHILADELPHUS X VIRGINIANUS 'DWARF SNOWFLAKE'	MINIATURE SNOWFLAKE MOCK ORANGE	#3	CONTAINER
36	PPD	POTENTILLA FRUTICOSA 'FARGO DAZZLE SUNSPOT'	SHRUBBY CINQUEFOIL	#3	CONTAINER
62	RAM	RIBES ALPINA 'GREEN MOUNTAIN'	GREEN MOUNTAIN ALPINE CURRANT	#3	CONTAINER
352	RAG	RIBES ALPINA 'CROWN LOW'	GRD-LW ALPINE	#3	CONTAINER
32	SCJ	SYMPHORICARPOS CHENAUULTI 'HAWCOCK'	HAWCOCK CORALBERRY	#3	CONTAINER
11	VOR	VIBURNUM BENTHAMII 'RALPH SENIOR'	AUTUMN JAZZ ARROWWOOD VIBURNUM	#3	CONTAINER
45	VTB	VIBURNUM TRELOBUM 'SAILEY COMPACT'	SAILEY COMPACT CHAMBERBERRY VIBURNUM	#3	CONTAINER
40	ABN	ABIES BALSAMEA 'NANA'	DWARF BALSAM FIR	#3	CONTAINER
44	JCS	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	#3	CONTAINER
51	JHJ	JUNIPERUS HORIZONTALIS 'HESSEBUS'	GOOD VIBRATIONS GOLD JUNIPER	#3	CONTAINER
46	JSB	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	#3	CONTAINER
8	TYL	TSUGA CANADENSIS 'LEWIS'	DWARF CANADIAN HEMLOCK	#3	CONTAINER

ANTICIPATED PLANT COUNTS	
Plant Type	Qty.
Trees	254
Deciduous	82
Evergreen	79
Understory	
Shrubs	1587
Perennials	4103
Grasses	523
Groundcovers	3693
Annuals	1846
Bulbs	2789

### SITE PLANTING PLAN NOTES

1. Finish grades in all landscape areas are to be reviewed by the Landscape Architect prior to any seeding, sodding, or planting. The Contractor shall submit a written request for review (in 2) days prior to the start date of review. No compensation for re-seeding, re-sodding, or re-planting of an area requiring reseed/grade shall be allowed resulting from failure to comply with this requirement.
2. The Contractor shall preserve areas of existing vegetation, including grass, that occur within the Contract Limits but are not needed for construction. Repair all of these existing areas to their original condition which are disturbed during construction at no cost to the Owner.
3. All areas disturbed during construction, outside of the Contract Limits, shall be repaired to their original condition at no expense to the Owner.
4. Prior to planting, verify that soil adjacent to pavements and curbs are at the correct elevation to ensure a level transition from the pavement to the excluded beds. No compensation for removal and replacement of installed plants and mulch, due to unacceptable transition from one surface to the other (e.g. a 1/2" level low) will be allowed resulting from failure to comply with this requirement.
5. Quantities shown in the Plant Schedule are for information only. The Drawing shall prevail in a conflict scenario.
6. Notify the Landscape Architect in writing (in 15) days prior to the anticipated start for review of the plant location labeling. Review to be completed prior to excavation of the planting pits.
7. Plant labels and tags shall be left on the plant material until after the final inspection by the Landscape Architect.
8. Trees existing or going to be a requirement of this contract. The Landscape Contractor shall be responsible for all trees to be straight and vertical at the time of the final inspection scheduled at the end of the one-year warranty period. Should the Contractor choose to stake or guy the trees, staking and guying shall be placed per the Contract Documents and the Contractor is responsible for removing and off-site disposal of all stakes, wires, cables, and anchors immediately within the one-year warranty period.

### SITE PLANTING LEGEND



**WEST DES MOINES CAMPUS - SITE**

**NOT FOR CONSTRUCTION**

**SITE PLAN SUBMITTAL 2D**

0025 GRAND AVENUE  
WEST DES MOINES, IOWA 50266

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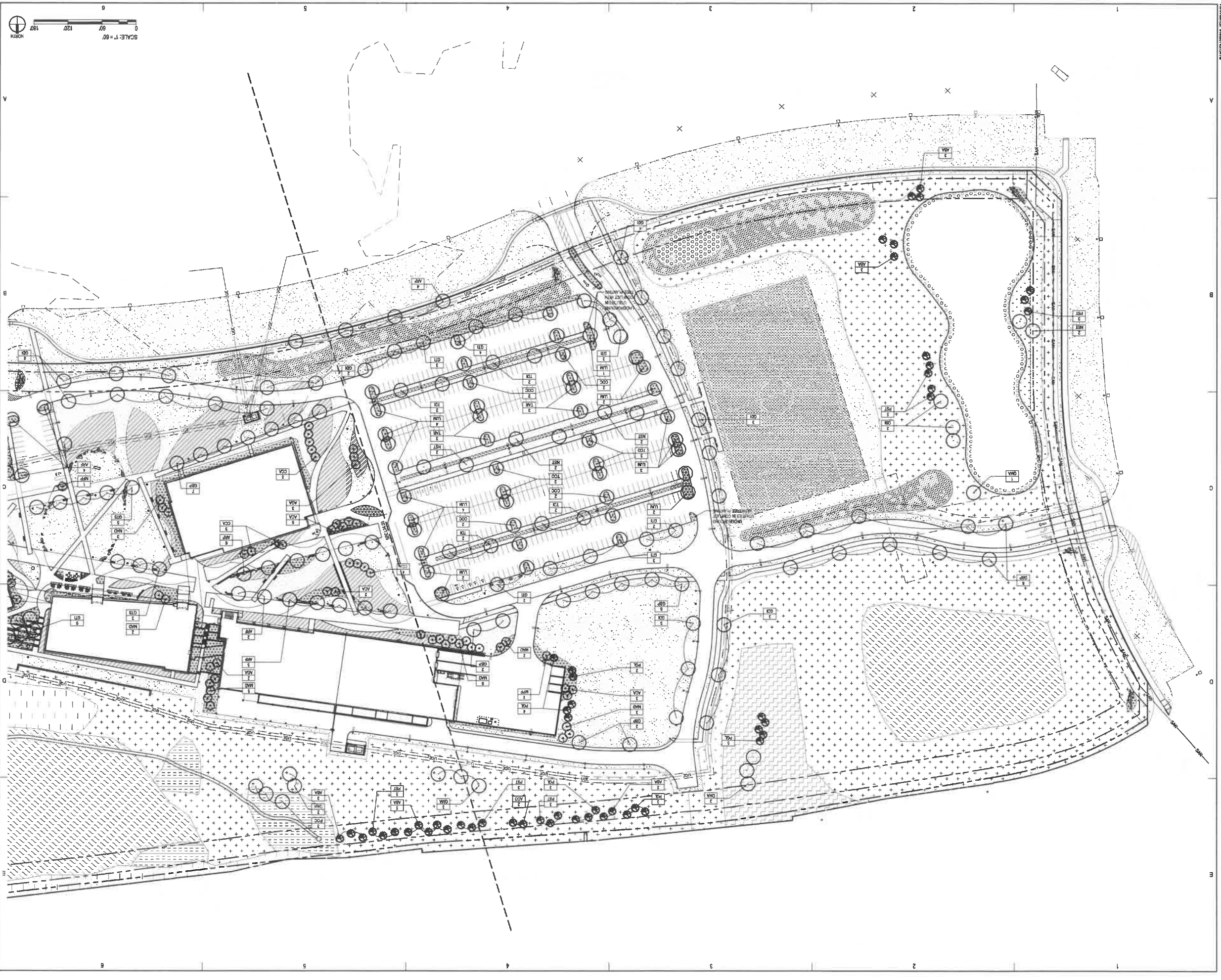
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**SITE PLANTING PLAN**

**L34.01**





SCALE: 1" = 60'  
 0 60 120 180  
 NORTH

**WEST DES MOINES CAMPUS - SITE**

**NOT FOR CONSTRUCTION**

**SITE PLAN SUBMITTAL 2D**

L34.02

**SITE PLANTING PLAN**

**CONSTRUCTION DOCUMENTS**  
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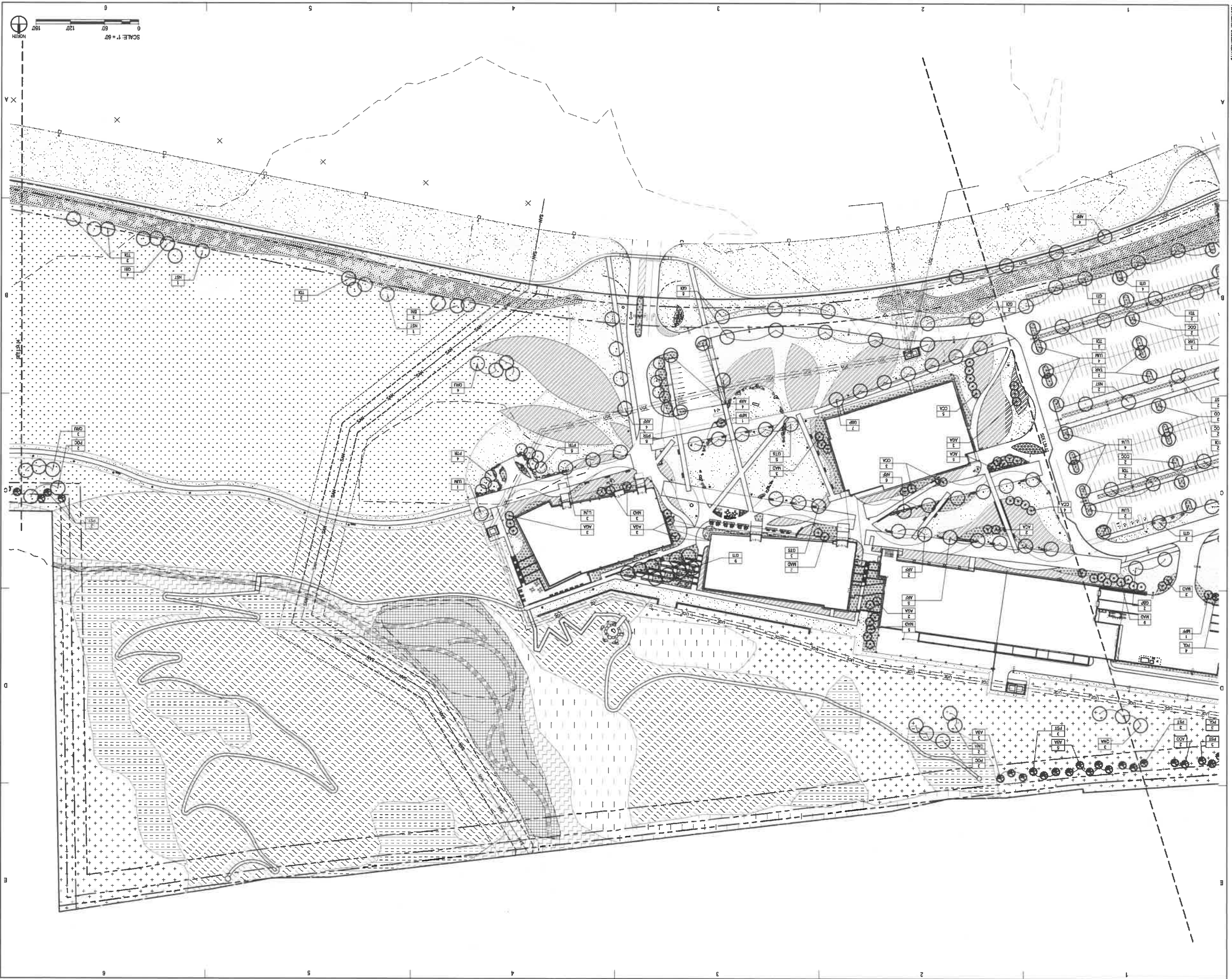
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WEST DES MOINES CAMPUS - SITE  
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WEST DES MOINES CAMPUS - SITE

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SITE PLAN SUBMITTAL 2D

L34.03  
 SITE  
 PLANTING  
 PLAN

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