

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: May 10, 2021

ITEM: First National Bank, 301 5th Street – Approve Site Plan to allow construction of a new bank building – First National Bank, Ames Iowa – SP-004650-2020

Resolution: Approval of Site Plan

Background: Eric Iverson with RDG Planning & Design, on behalf of the applicant, Dean Whitaker, and property owner, First National Bank, Ames Iowa, request approval of the Site Plan for the approximately 0.33-acre property located at 301 5th Street in Valley Junction. The applicant proposes to demolish the existing bank building and replace it with a new 2,700sf building.

Staff Review & Comment:

- **Financial Impact:** The applicant has submitted an application for the City's Property Tax Rebate program which has tentatively been set for the June 7, 2021 City Council meeting for consideration. There will be Staff time for processing of the development application and inspections during construction.
- **Key Development Aspects:**
 - **Construction Staging:** The General Contractor for the project has been reminded to be considerate of disruptions within the Valley Junction area during construction and that any closure of the public sidewalk, 5th Street or alley requires the approval of a permit via the Public Services Department prior to closure. The General Contractor indicated that since this is not lot line to lot line construction, that all construction material and equipment will be kept within the property boundaries overnight. Staff recommended that the General Contractor encourage employees to not take up all immediate parking adjacent to the site.
 - **Site Layout & Building Architecture:** The proposed building is equivalent to a two-story building in height, providing a good transition to the one-story building to the south and the three-story building to the north that is currently under construction. Placement is close to the street corner with the interior spaces organized to engage pedestrians and activate the street, placing the drive-through on the east side away from the pedestrian traffic and limited view from 5th Street. Eight (8) parking stalls are incorporated within the site. The building design and details reflect the mid-century design found throughout the 200 and 300 block of 5th Street. Material selection is considerate of the historic buildings in the area with the use of stone veneer similar in color to the cladding on the Valley Junction Activity Center and the original First National Bank (both in the 200 block of 5th Street), with darker composite panel siding, cast stone accent materials and glazing and trim that ties to the materials and colors of the new building being constructed to the north. The majority of the west and north elevations are storefront glazing, with the south and east elevation utilizing windows in moderation. The building's exterior materials continue across all elevations (360-degree design) and the drive-through canopy is well integrated into the building.
- **Traffic Impact Study Findings:** A study was completed for this project on January 16, 2020. The study indicated that no significant traffic impacts to the public street system are expected as a result of this development. The study provided recommendations that will maintain and enhance circulation within the internal parking lot: those recommendations have been accommodated in the layout of the site.

- Conditions of Approval: There are minor details regarding water infrastructure and screening material for RTUs (roof-top mechanical units) that have yet to be finalized. Staff requests a condition of approval requiring the finalization of the remaining details prior to above ground construction and, in the case of the water infrastructure, prior to the water tap being allowed.
- Development & Planning Subcommittee: Given the conversations regarding development intent and recent new buildings within Valley Junction, staff elected to not present this item to the Subcommittee so that all discussion on the site plan approval would occur at the Plan and Zoning and City Council meetings.
- Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Plan and Zoning Commission Action:

Date:

Vote:

Recommendation:

Recommendation: Approve the Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The applicant providing remaining site development and architectural material details prior to issuance of a building permit for above ground construction. Additionally, the applicant acknowledging that all remaining West Des Moines Water Works review comments must be addressed prior to the water tap for the project.
2. All permits for the closure of public streets, alleys and sidewalks be obtained prior to closure.

Lead Staff Member: Lynne Twedt

Approval Meeting Dates:

Plan and Zoning Commission	May 10, 2021
City Council: First Reading	

Staff Report Reviews:

Plan & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	n/a
Recommendation	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



FIRST NATIONAL BANK - VALLEY JUNCTION

301 5th Street West Des Moines, Iowa

SITE PLAN SUBMITTAL #2

NOT FOR CONSTRUCTION

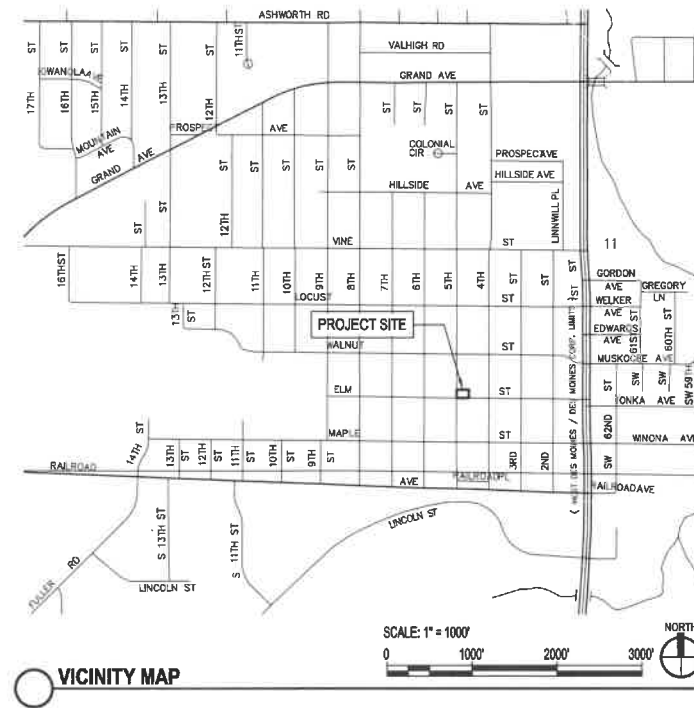
© 2020 RDG Planning & Design

PROJECT NUMBER: **CASE # SP-004650-2020 / RDG# 3003.681.00**

DATE: **04-21-2021**

DRAWING INDEX:

GENERAL	
G1.01	COVER SITE SURVEY
LANDSCAPE	
L2.01	SITE LAYOUT PLAN
L2.02	20 SCALE FIRE LAYOUT PLAN
L3.01	SITE GRADING PLAN
L4.01	SITE PLANTING PLAN
L5.01	SITE DETAILS
CIVIL	
C1.0	SITE UTILITY PLAN
ARCHITECTURE	
EXTERIOR ELEVATIONS	
ELECTRICAL	
ES1.01	SITE PHOTOMETRIC PLAN - NOT INCLUDED (PROVIDED IN 2-19-2020 SUBMITTAL)



GENERAL CITY OF WEST DES MOINES NOTES

- The General Contractor shall be responsible for the coordination of work of all subcontractor(s) involved in the project.
- An on-site inspection shall be requested with the Building Division at (515) 222-3630, prior to placement of any concrete ramps.
- All water work, public or private, shall be done in accordance with West Des Moines Water Works Standard Specifications.
- Contractor shall notify West Des Moines Water Works at least one week prior to building construction.
- The General Contractor shall be responsible for compliance with the West Des Moines Water Works and the City's Cross Connection Control/Containment Provision.
- Any water use from a hydrant, public or private, requires the use of a West Des Moines Water Works hydrant meter. Call 515-222-3463 to reserve a meter.
- Contact Building Inspection (515-222-3630) a minimum of 24 hours in advance for private utility installation inspections.
- The General Contractor shall be responsible for the proper installation of an approved Backflow Prevention Assembly(ies) for containment to all new construction. Backflow prevention to be installed per City Ordinance 1297, 54-1988. Contractor shall notify West Des Moines Water Works (515-222-3463) a minimum of 24 hours after installation and testing of all backflow devices to schedule final inspection.
- All lights are to be domestic cutoff variety. Wall packs are prohibited. The maximum illumination allowed at the property line is 1 foot-candle or less.
- All construction within public R.O.W./assessments, and/or any connection to public sewers and streets, shall comply with the West Des Moines Standard Construction Specifications for Subdivisions, DSM Metro Design Standards and WDM Addendums.
- At least one week prior to any construction within public R.O.W./assessments and/or any connection to public sewers and streets, the Contractor shall contact the WDM Engineering Services 222-3475 to schedule any required inspections. It is important to note City approval of this plan is subject to the Applicant obtaining all necessary assessments/agreements and applicable permits.
- If additional pavement removal is required other than a standard box out, full panel removal will be required. No half panel removal will be allowed.
- Coordinate staging and traffic control with WDM emergency services.
- Lane closure notices must be submitted to West Des Moines Public Services for approval a minimum of 48 hours in advance of closure.
- All connections to public sewers shall be core drilled.

GENERAL SITE INFORMATION

SITE ADDRESS:	301 5TH STREET WEST DES MOINES, IOWA 50266
OWNER CONTACT:	DEAN WHITAKER FIRST NATIONAL BANK 5825 MILLS CIVIC PARKWAY WEST DES MOINES, IOWA 50266 515-273-6993 DEAN.WHITAKER@FNB247.COM
PLAN PREPARER CONTACT:	ERIC IVERSON RDG PLANNING & DESIGN 301 GRAND AVENUE DES MOINES, IA 50309 515-288-3141 EVERSON@RDGUSA.COM
SITE LEGAL DESCRIPTION:	LOTS 10 AND 11 IN BLOCK 18 IN THE FIRST ADDITION TO VALLEY JUNCTION, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA.
ZONING & LAND USE:	EXISTING ZONING: VALLEY JUNCTION HISTORIC BUSINESS DIST. PROPOSED ZONING: VALLEY JUNCTION HISTORIC BUSINESS DIST. EXISTING LAND USE: HISTORIC BUSINESS PROPOSED LAND USE: HISTORIC BUSINESS SURROUNDING LAND USE: NORTH: HISTORIC BUSINESS SOUTH: HISTORIC BUSINESS EAST: HISTORIC BUSINESS WEST: HISTORIC BUSINESS

GENERAL SITE PLAN NOTES

- The topographic and boundary survey used as the basis for these drawings was prepared by:
CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400
FAX: (515) 368-4410
FIRST NATIONAL BANK - VALLEY JUNCTION TOPOGRAPHIC SURVEY, DATED 11-21-2019
- One week prior to construction, the Contractor shall notify:
a. CITY OF WEST DES MOINES
b. OWNER'S REPRESENTATIVE
c. LANDSCAPE ARCHITECT
- All work shall be in accordance with OSHA Codes and Standards. Nothing indicated in these drawings shall relieve the Contractor from complying with any applicable City, County, State, and Federal Codes, Ordinances, Regulations, and Rules.
- The Contractor is responsible for obtaining and paying for all permits to complete the work unless otherwise indicated.
- Prior to any excavation at the site, the Contractor shall examine any applicable drawings available from the Owner, Architect, Landscape Architect, and/or Civil Engineer and, consult with all utility company representatives to determine possible utility locations.
- For underground utility locations call Iowa One-Call at 1-800-262-6969, 48 hour notice. The Contractor shall be responsible for all underground utilities not covered by the Iowa One-Call system. No compensation for damages to existing utilities will be allowed resulting from failure to comply with this requirement.
- Field verify elevations and locations of existing utilities, conduits, poles, trees, paving to remain, buildings to remain, and other site features to remain prior to grading or other construction activities. Immediately inform the Landscape Architect for resolution of any discrepancies before commencing with the intended work.
- All construction fencing and any erosion control required by the Storm Water Pollution Prevention Plan (SWPPP) shall be installed prior to any activity on the site.
- All Contractors shall be responsible for compliance with the NPDES Permit issued for this project.
- All soil and other debris spilled or tracked onto the Public R.O.W., adjacent properties, or areas outside the Construction Limits shall be cleaned-up by the Contractor at the end of each work day.
- No work shall be permitted outside of the Contract Limits, unless prior approval is granted in writing by the Owner's Representative. No compensation shall be allowed for restoration of disturbed or damaged areas outside of the Construction Limits for failure to comply with this requirement.

BENCHMARKS & CONTROL POINTS

- West Des Moines City BM 440, STD Benchmark located at the NE corner of the 4th Street and Vine Street intersection, 50 feet east of the centerline of 4th Street, 50 feet north of the centerline of Vine Street. Elevation = 38.35
- West Des Moines City BM 458, STD Benchmark located at the NW corner of the 4th Street and Railroad Avenue intersection, 41 feet west of the centerline of 4th Street & 55 feet north of the centerline of Railroad Avenue. Elevation = 38.23
- BM 2 - Bury Bolt on Hydrant SW corner of Elm Street & 5th Street. Elevation = 37.96
- BM 3 - 2" Rebar W/ Cap #22232 NE Corner of Lot 18, Block 11 Valley Junction First Addition. Elevation = 36.85
- CP#1 - 2" Pipe NE Corner of Lot 13, Block 18 Valley Junction First Addition. N=756843.87, E=761319.42
- CP#2 - 2" Rebar W/ Cap #14775 NE Corner of Lot 7, Block 19 First Addition to Valley Junction. N=756795.96, E=761094.50
- CP#3 - 2" Rebar W/ Cap #22232 NE Corner of Lot 18, Block 11 Valley Junction First Addition. N=756577.86, E=761319.14

LANDSCAPE ARCHITECTURE

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed professional landscape architect under the laws of the State of Iowa.

License Expires _____

IA License # _____ Date _____

Pages or Sheets covered by this seal: _____

As filed under: ARCHITECTURE

ARCHITECTURAL

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed architect under the laws of the State of Iowa.

IA License # _____

Signature _____

License Expires _____ Date used _____

Pages or Sheets covered by this seal: _____

As filed under: ARCHITECTURE

ENGINEER/SURVEYOR:

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DR, SUITE G
GRIMES, IOWA 50111

PROPERTY DESCRIPTION

LOTS 10 AND 11 IN BLOCK 18 IN THE FIRST ADDITION TO VALLEY JUNCTION, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA

DATE OF SURVEY:

NOVEMBER 19, 2019

NOTES

NO RECORDED EASEMENTS WERE FOUND FOR THIS PROPERTY WHEN SEARCHING THE POLK COUNTY RECORDER'S WEBSITE.

UTILITY WARNING:

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

LEGEND:

	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW CAP #15980 (UNLESS OTHERWISE NOTED)	●	○
PLATTED BEARING & DISTANCE	P	
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
MINIMUM PROTECTION ELEVATION	MPE	
PUBLIC UTILITY EASEMENT	P.U.E.	
CENTERLINE	---	---
SECTION LINE	---	---
EASEMENT LINE	---	---
TELEPHONE LINE	T	
CABLE TELEVISION LINE	TV	
FIBER OPTICS LINE	FO	
WATERMAIN	W	
STORM SEWER	ST	
SANITARY SEWER	S	
WOOD FENCE	W-F	
FIELD FENCE	FF	
GAS LINE	G	
ELECTRIC LINE	E	
OVERHEAD ELECTRIC LINE	OE	
GAS MANHOLE	GM	
MONITORING WELLS	MW	
FLARED END SECTION	FE	
TRAFFIC SIGNAL CONTROL	TR	
CLEANOUT	CO	
GAS APPARATUS	GA	
AIR CONDITIONER	AC	
TELEPHONE PEDESTAL	TP	
WATER VALVE	WV	
FIRE HYDRANT	FH	
ELECTRIC TRANSFORMER	ET	
ELECTRIC METER BOARD	EM	
MAIL BOX	MB	
SIGN	SI	
POWER POLE	PP	
TELEVISION PEDESTAL	TV	
SANITARY SEWER MANHOLE	SSM	
STORM SEWER MANHOLE	SS	
ROUND STORM SEWER INTAKE	RSI	
STORM SEWER INTAKE	SSI	
FLAG POLE	FP	
SPRINKLER BOX	SB	
BUSH	B	
CONIFEROUS TREE	CT	
DECIDUOUS TREE	DT	
STREET LIGHT	SL	
OVERHEAD LIGHT	OL	
HANDICAPPED PARKING	HP	
ROOF DRAIN	RD	
TRAFFIC LIGHT	TL	
SEPTIC TANK	STK	
YARD LIGHT	YL	

BENCH MARK

WEST DES MOINES CITY BM#58, STD BENCHMARK LOCATED AT THE NW CORNER OF THE 4TH STREET AND RAILROAD AVENUE INTERSECTION, 41 FEET WEST OF CENTERLINE OF 4TH STREET & 55 FEET NORTH OF CENTERLINE OF RAILROAD AVENUE. ELEVATION=38.23

BM 2 - BURY BOLT ON HYDRANT SW CORNER OF ELM STREET & 5TH STREET. ELEVATION=37.96

BM 3 - 1/2" REBAR W/ CAP #22232 NE COR LOT 18, BLOCK 11 VALLEY JUNCTION FIRST ADDITION. ELEVATION=36.86

CONTROL POINTS

ASSUMED CDA-DALLAS COUNTY DATUM

CP #1
3/4" PIPE NE COR LOT 13 BLOCK 18 VALLEY JUNCTION FIRST ADDITION
N=756843.87 E=761319.42

CP #2
FND 1/2" REBAR W/CAP #14775 NE COR LOT 7 BLOCK 19 FIRST ADDITION TO VALLEY JUNCTION
N=756795.98 E=761094.50

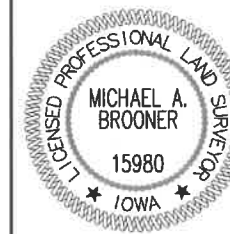
CP #3
1/2" REBAR W/ CAP #22232 NE COR LOT 18 BLOCK 11 VALLEY JUNCTION FIRST ADDITION
N=756577.66 E=761319.14

ZONING

VJHB-VALLEY JUNCTION HISTORIC BUSINESS DISTRICT

BULK REGULATIONS AND SETBACKS FOR STRUCTURES IN COMMERCIAL DISTRICTS

FRONT YARD 35'
REAR YARD 35', EXCEPT 0' ALLOWED WHEN ABUTS A SIMILAR DISTRICT
SIDE YARD 35', EXCEPT 0' ALLOWED WHEN ABUTS A SIMILAR DISTRICT



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

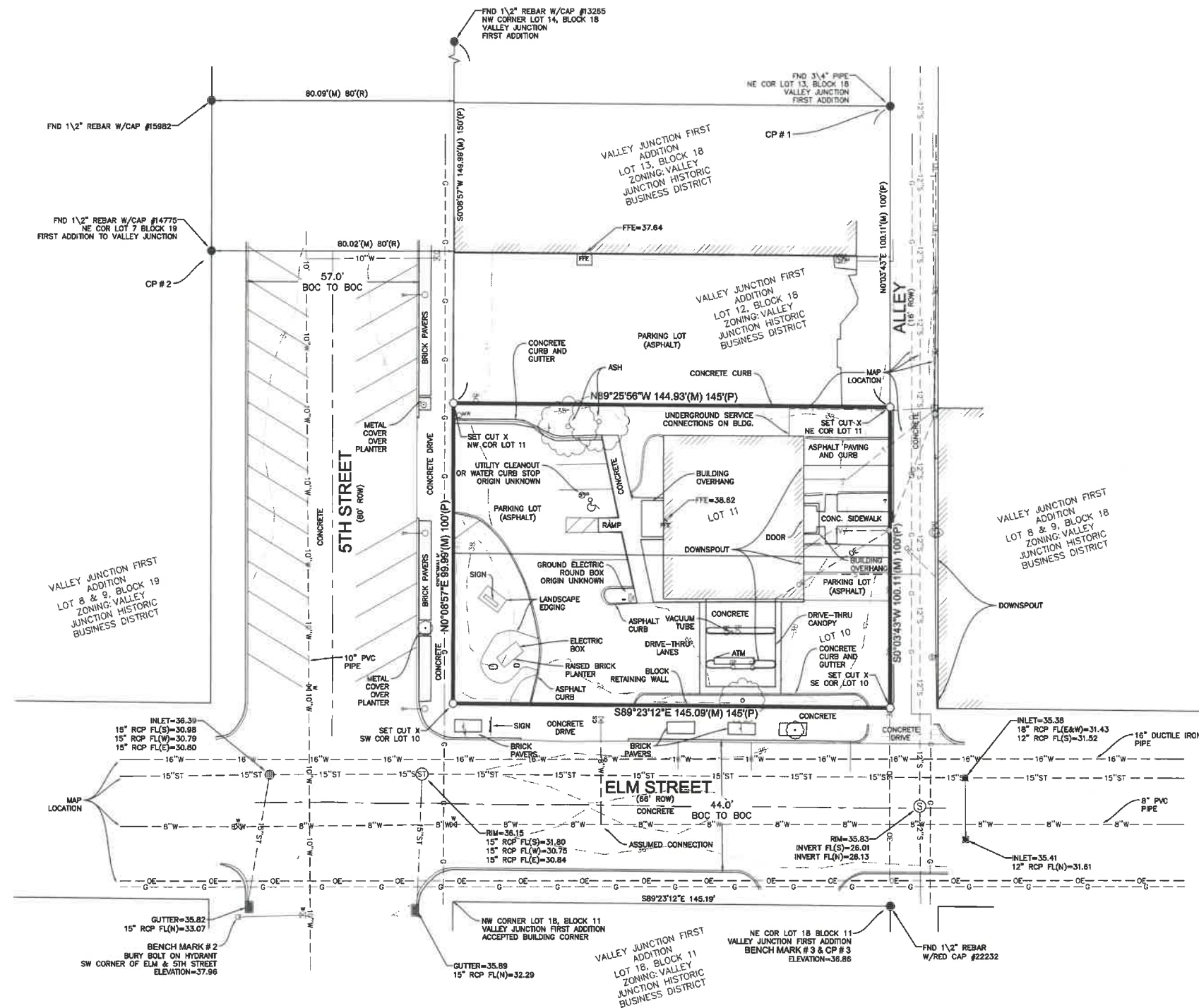
Michael A. Brooner
MICHAEL A. BROONER, P.L.S.

11-21-2019
DATE

LICENSE NUMBER 15980
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020
PAGES OR SHEETS COVERED BY THIS SEAL:

THIS SHEET

TOPOGRAPHIC SURVEY



DATE: _____
REVISIONS: _____
FIRST SUBMITTAL: _____

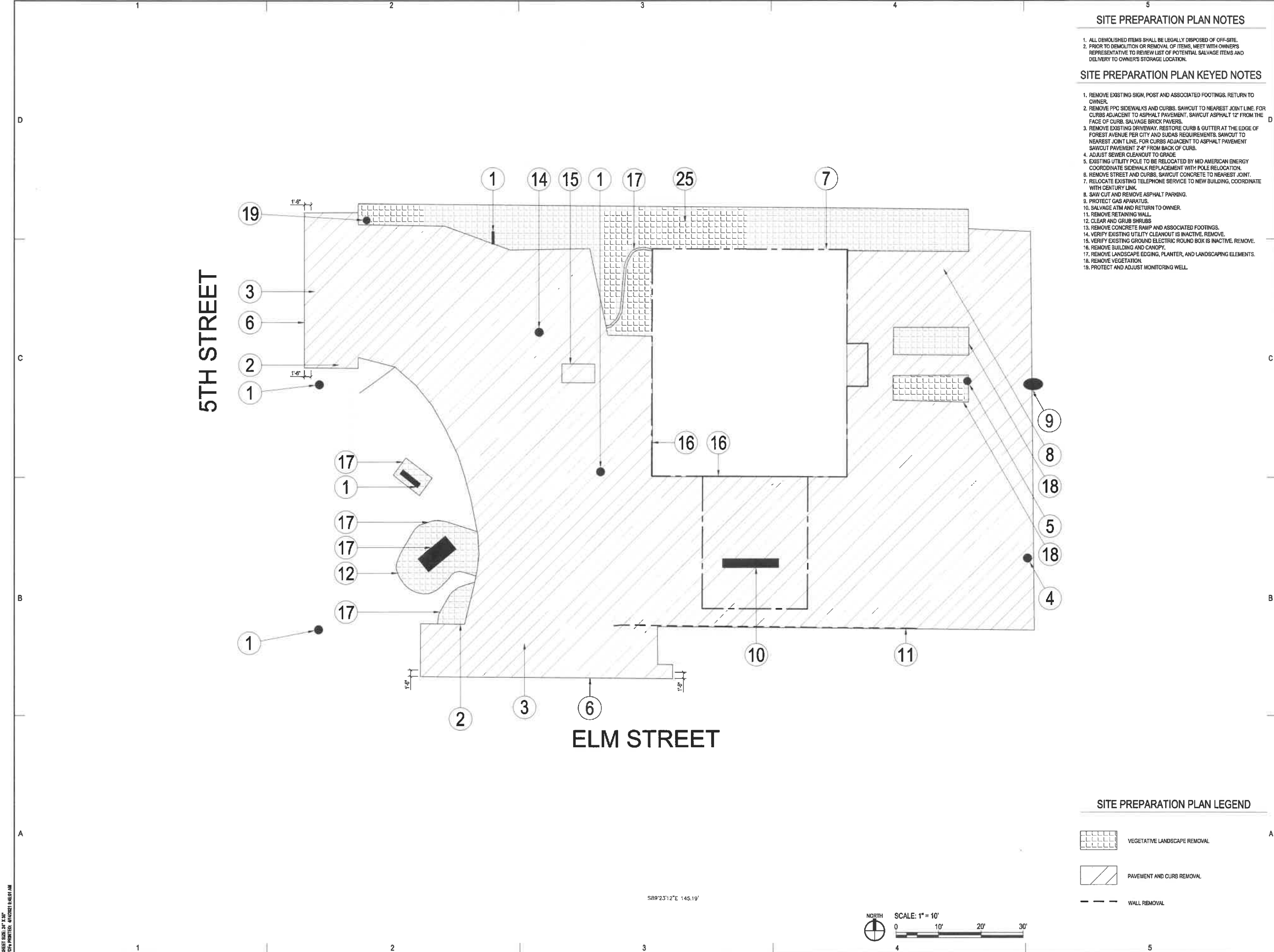
3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: _____
ENGINEER: _____

FIRST NATIONAL BANK - VALLEY JUNCTION
301 5TH STREET
TOPOGRAPHIC SURVEY

WEST DES MOINES, IOWA

15980
1911568



SITE PREPARATION PLAN NOTES

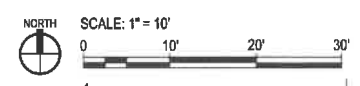
1. ALL DEMOLISHED ITEMS SHALL BE LEGALLY DISPOSED OF OFF-SITE.
2. PRIOR TO DEMOLITION OR REMOVAL OF ITEMS, MEET WITH OWNERS REPRESENTATIVE TO REVIEW LIST OF POTENTIAL SALVAGE ITEMS AND DELIVERY TO OWNERS STORAGE LOCATION.

SITE PREPARATION PLAN KEYED NOTES

1. REMOVE EXISTING SIGN, POST AND ASSOCIATED FOOTINGS. RETURN TO OWNER.
2. REMOVE PPC SIDEWALKS AND CURBS. SAWCUT TO NEAREST JOINT LINE. FOR CURBS ADJACENT TO ASPHALT PAVEMENT, SAWCUT ASPHALT 12" FROM THE FACE OF CURB. SALVAGE BRICK PAVERS.
3. REMOVE EXISTING DRIVEWAY. RESTORE CURB & GUTTER AT THE EDGE OF FOREST AVENUE PER CITY AND SUDAS REQUIREMENTS. SAWCUT TO NEAREST JOINT LINE. FOR CURBS ADJACENT TO ASPHALT PAVEMENT SAWCUT PAVEMENT 2'-6" FROM BACK OF CURB.
4. ADJUST SEWER CLEANOUT TO GRADE.
5. EXISTING UTILITY POLE TO BE RELOCATED BY MID AMERICAN ENERGY COORDINATE SIDEWALK REPLACEMENT WITH POLE RELOCATION.
6. REMOVE STREET AND CURBS. SAWCUT CONCRETE TO NEAREST JOINT.
7. RELOCATE EXISTING TELEPHONE SERVICE TO NEW BUILDING, COORDINATE WITH CENTURY LINK.
8. SAW CUT AND REMOVE ASPHALT PARKING.
9. PROTECT GAS APPARATUS.
10. SALVAGE ATM AND RETURN TO OWNER.
11. REMOVE RETAINING WALL.
12. CLEAR AND GRUB SHRUBS.
13. REMOVE CONCRETE RAMP AND ASSOCIATED FOOTINGS.
14. VERIFY EXISTING UTILITY CLEANOUT IS INACTIVE. REMOVE.
15. VERIFY EXISTING GROUND ELECTRIC ROUND BOX IS INACTIVE. REMOVE.
16. REMOVE BUILDING AND CANOPY.
17. REMOVE LANDSCAPE EDGING, PLANTER, AND LANDSCAPING ELEMENTS.
18. REMOVE VEGETATION.
19. PROTECT AND ADJUST MONITORING WELL.

SITE PREPARATION PLAN LEGEND

- VEGETATIVE LANDSCAPE REMOVAL
- PAVEMENT AND CURB REMOVAL
- WALL REMOVAL



FIRST NATIONAL BANK - VALLEY JUNCTION

RDG
PLANNING • DESIGN

CONSTRUCTION DOCUMENTS

<p>MECH/ELECTRICAL ARCHITECT RDG Planning & Design 301 Grand Avenue Des Moines, Iowa 50309 Phone: (515) 281-1411</p>	<p>ARCHITECT RDG Planning & Design 301 Grand Avenue Des Moines, Iowa 50309 Phone: (515) 281-1411</p>
<p>CIVIL CIV Design Advantage LLC 2405 Chestnut Dr., Suite G Des Moines, IA 50319 Phone: (515) 281-1400</p>	<p>STRUCTURAL Korak Engineering 1237 7th Street, Suite C Des Moines, IA 50319 Phone: (515) 271-8333</p>

**301 5th Street
West Des Moines, IA 50265**

FIRST NATIONAL BANK

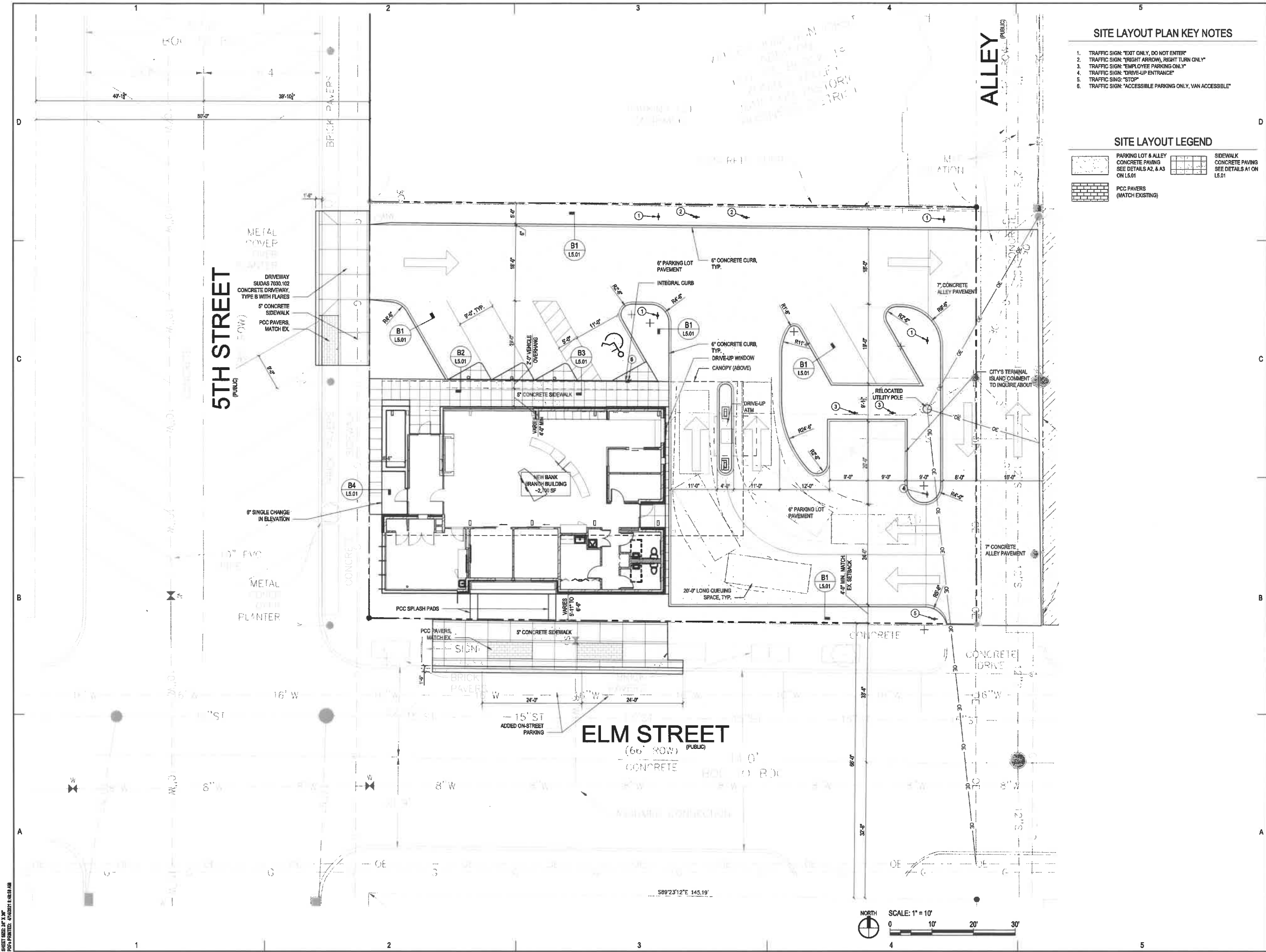
KEY PLAN

SITE PLAN(SUBMITTAL)	4/24/2011
FOR CONSTRUCTION DOCUMENTS	02/26/2010
DATE	02/26/2010
PROJECT NO.	3003.981.00

SITE PREPARATION PLAN

L01.01

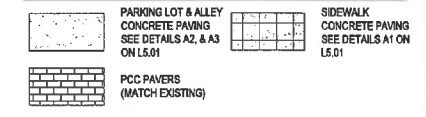
SHEET SIZE: 24" x 36"
DATE PLOTTED: 4/20/2011 10:45:41 AM



SITE LAYOUT PLAN KEY NOTES

1. TRAFFIC SIGN: "TEXT ONLY, DO NOT ENTER"
2. TRAFFIC SIGN: "RIGHT ARROW, RIGHT TURN ONLY"
3. TRAFFIC SIGN: "EMPLOYEE PARKING ONLY"
4. TRAFFIC SIGN: "DRIVE-UP ENTRANCE"
5. TRAFFIC SIGN: "STOP"
6. TRAFFIC SIGN: "ACCESSIBLE PARKING ONLY, VAN ACCESSIBLE"

SITE LAYOUT LEGEND



FIRST NATIONAL BANK - VALLEY JUNCTION CONSTRUCTION DOCUMENTS

MECHEL ECKLUND ARCHITECT
 800 Franklin & Center
 301 Grand Avenue
 Des Moines, Iowa 50309
 Phone: (515) 281-9111

LANDSCAPE ARCH.
 800 Franklin & Center
 301 Grand Avenue
 Des Moines, Iowa 50309
 Phone: (515) 281-9111

STRUCTURAL
 Acropolis Engineering
 1238 East 15th Street, Suite C
 Des Moines, IA 50319
 Phone: (515) 271-2800

CIVIL
 CH2M Hill
 348 Commodore Dr., Suite G
 Des Moines, IA 50319
 Phone: (515) 281-4400

301 5th Street
 West Des Moines, IA 50265

FIRST NATIONAL BANK

KEY PLAN

DATE	DESCRIPTION
08/20/2020	ISSUANCE
08/20/2020	DESIGN DEVELOPMENT
08/20/2020	PRELIMINARY CONSTRUCTION DOCUMENTS
08/20/2020	PRELIMINARY PLANS

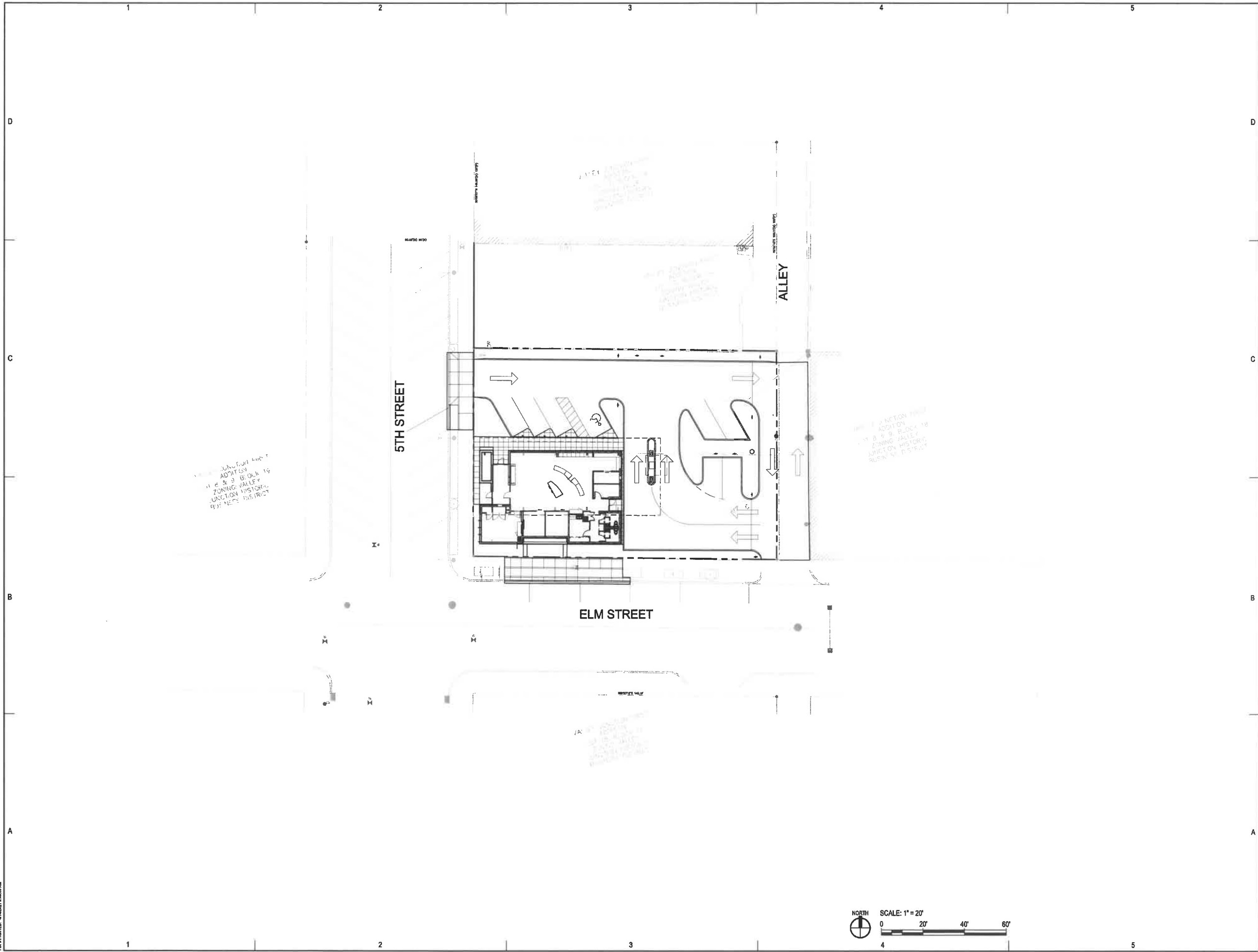
PROJECT NO: 3003.681.00
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 RDG Planning & Design
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 THESE DRAWINGS MAY NOT REPRESENT ALL CHANGES THAT HAVE OCCURRED DURING THE CONSTRUCTION OF THIS PROJECT. CONSTRUCTION DOCUMENTS, ADDENDA AND CHANGE DOCUMENTS RESIDE IN THE ORIGINAL CONSTRUCTION DOCUMENTS.

SITE LAYOUT PLAN

L2.01

SHEET SIZE: 24" x 36"
 PLOT PRINTED: 8/20/2020 8:03 AM

SHEET SIZE: 14" x 22" DATE PRINTED: 04/05/10 09:00 AM



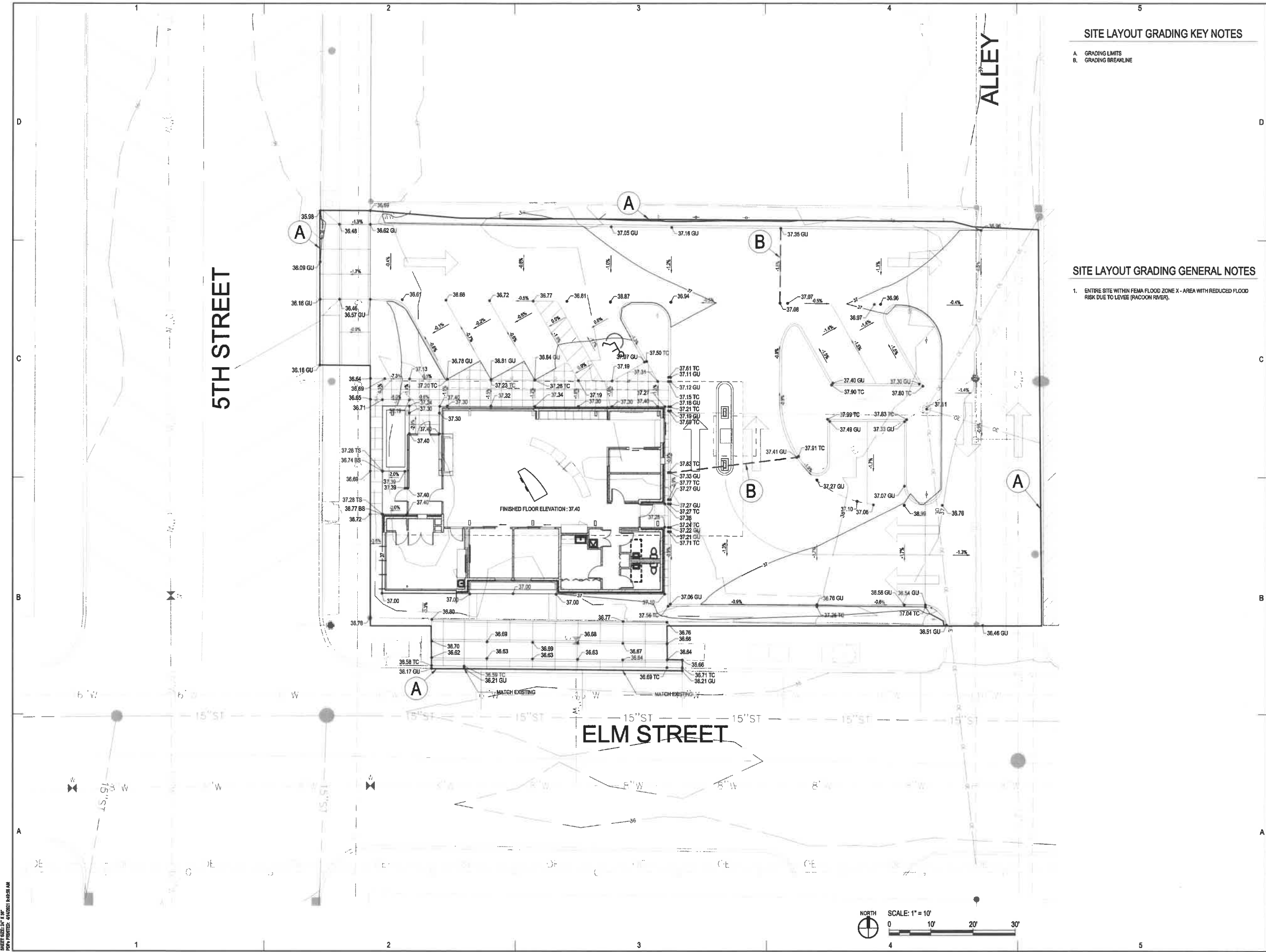
ADDITIONAL ADJUSTMENT
 TO ZONING DISTRICT
 VALLEY JUNCTION HISTORIC
 DISTRICT

ADDITIONAL ADJUSTMENT
 TO ZONING DISTRICT
 VALLEY JUNCTION HISTORIC
 DISTRICT

FIRST NATIONAL BANK - VALLEY JUNCTION

CONSTRUCTION DOCUMENTS

<p>301 5th Street West Des Moines, IA 50265</p> <p style="font-size: small;">KEY PLAN</p>	<p>FIRST NATIONAL BANK</p>	
<p>MECH/ELECTR/LUMB 800 Franklin & Dodge 301 Grand Avenue Des Moines, Iowa 50309 Phone: (515) 281-9111</p>	<p>LANDSCAPE ARCH. 800 Franklin & Dodge 301 Grand Avenue Des Moines, Iowa 50309 Phone: (515) 281-9111</p>	<p>ARCHITECT 800 Franklin & Dodge 301 Grand Avenue Des Moines, Iowa 50309 Phone: (515) 281-9111</p>
<p>CIVIL 2405 Cornwell Dr., Suite G 50415 Des Moines, IA 50319 Phone: (515) 281-4100</p>	<p>STRUCTURAL 1237 13th Street, Suite C 50315 Des Moines, IA 50315 Phone: (515) 271-4263</p>	<p>STRUCTURAL 1237 13th Street, Suite C 50315 Des Moines, IA 50315 Phone: (515) 271-4263</p>
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<p>20 SCALE FIRE LAYOUT PLAN</p>		
<p>L2.02</p>		



SITE LAYOUT GRADING KEY NOTES

- A. GRADING LIMITS
- B. GRADING BREAKLINE

SITE LAYOUT GRADING GENERAL NOTES

1. ENTIRE SITE WITHIN FEMA FLOOD ZONE X - AREA WITH REDUCED FLOOD RISK DUE TO LEVEE (RACCOON RIVER).

CONSTRUCTION DOCUMENTS



ARCHITECT
 RDG Planning & Design
 301 Grand Avenue
 Des Moines, Iowa 50326
 Phone: (515) 281-9111

LANDSCAPE ARCH.
 RDG Planning & Design
 301 Grand Avenue
 Des Moines, Iowa 50326
 Phone: (515) 281-9111

MECHANICAL/PLUMB
 RDG Planning & Design
 301 Grand Avenue
 Des Moines, Iowa 50326
 Phone: (515) 281-9111

CIVIL
 RDG Planning & Design
 301 Grand Avenue
 Des Moines, Iowa 50326
 Phone: (515) 281-9111

STRUCTURAL
 RDG Planning & Design
 301 Grand Avenue
 Des Moines, Iowa 50326
 Phone: (515) 281-9111

301 5th Street
West Des Moines, IA 50265

FIRST NATIONAL BANK

KEY PLAN

DATE	DESCRIPTION
04/18/21	ISSUE FOR PERMIT
05/05/20	DESIGN DEVELOPMENT
05/05/20	PRELIMINARY SUBMITTAL
05/05/20	ISSUANCE

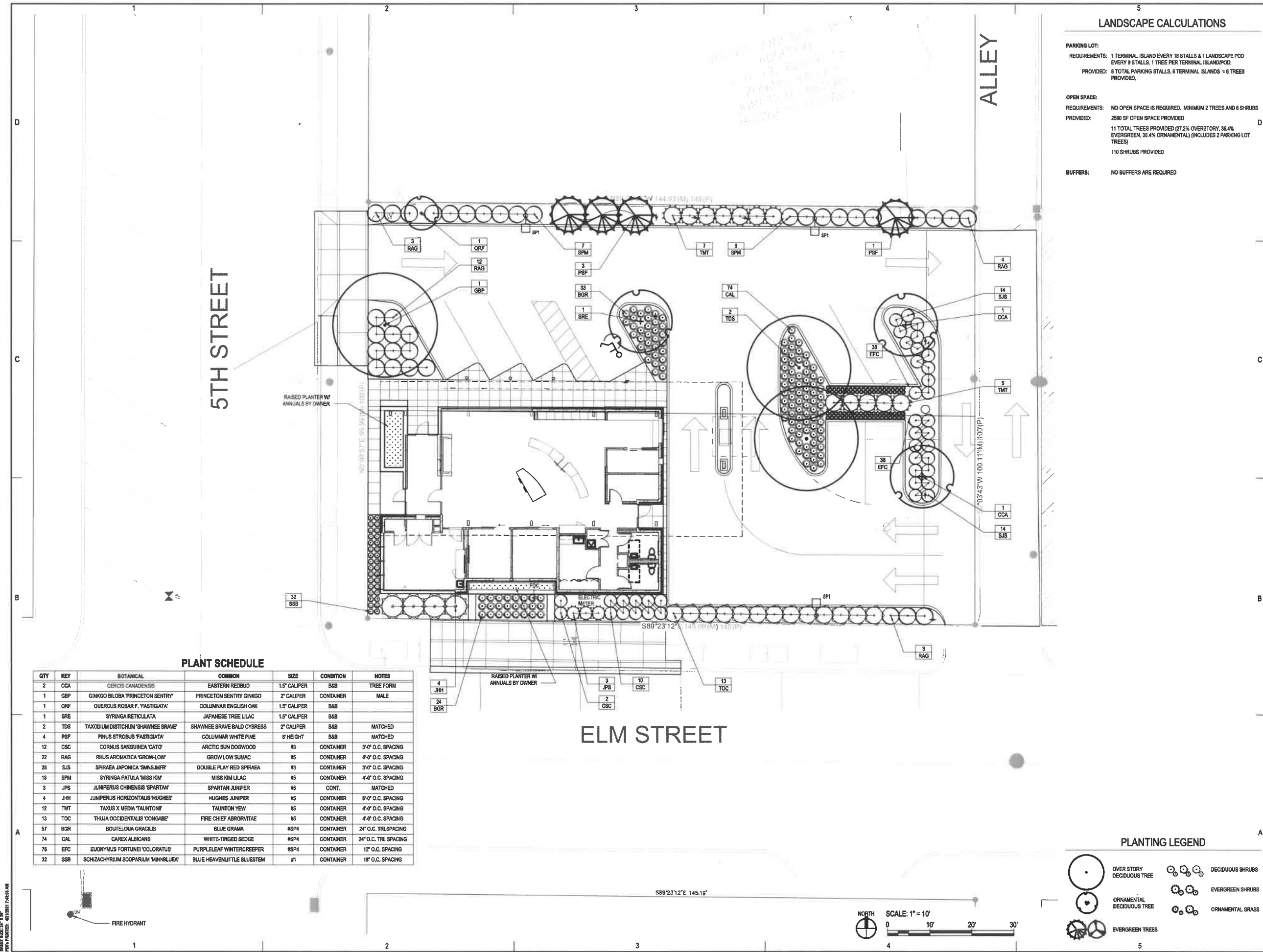
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SITE GRADING PLAN

L3.01

FIRST NATIONAL BANK - VALLEY JUNCTION

SHEET SIZE: 14" x 22" FOR PRINTING - 04/18/21 10:08 AM



LANDSCAPE CALCULATIONS

PARKING LOT:
 REQUIREMENTS: 1 TERMINAL ISLAND EVERY 18 STALLS & 1 LANDSCAPE POOD EVERY 9 STALLS. 1 TREE PER TERMINAL ISLAND/POOD.
 PROVIDED: 6 TOTAL PARKING STALLS, 6 TERMINAL ISLANDS = 6 TREES PROVIDED.

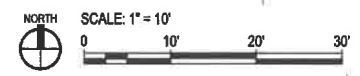
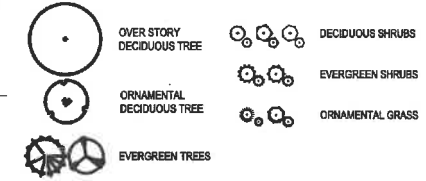
OPEN SPACE:
 REQUIREMENTS: NO OPEN SPACE IS REQUIRED. MINIMUM 2 TREES AND 6 SH-RUBS
 PROVIDED: 2580 SF OPEN SPACE PROVIDED
 11 TOTAL TREES PROVIDED (27.2% OVERSTORY, 36.4% EVERGREEN, 36.4% ORNAMENTAL) (INCLUDES 2 PARKING LOT TREES)
 110 SHRUBS PROVIDED

BUFFERS: NO BUFFERS ARE REQUIRED

PLANT SCHEDULE

QTY	KEY	BOTANICAL	COMMON	SIZE	CONDITION	NOTES
2	CCA	CERCIS CANADENSIS	EASTERN REDBUD	1.5" CALIPER	B&B	TREE FORM
1	GBP	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2" CALIPER	CONTAINER	MALE
1	ORF	QUERCUS ROBAR F. 'FASTIGIATA'	COLUMNAR ENGLISH OAK	1.5" CALIPER	B&B	
1	SRE	SYRINGA RETICULATA	JAPANESE TREE LILAC	1.5" CALIPER	B&B	
2	TDS	TAXODIUM DISTICHUM 'SHAWNEE BRAVE'	SHAWNEE BRAVE BALD CYBRESS	2" CALIPER	B&B	MATCHED
4	PSF	PINUS STROBUS 'FASTIGIATA'	COLUMNAR WHITE PINE	8' HEIGHT	B&B	MATCHED
12	CSC	CORNUS SANGUINEA 'CATO'	ARCTIC SUN DOGWOOD	#3	CONTAINER	3'-0" O.C. SPACING
22	RAG	RHUS ARCMATICA 'GROW-LOW'	GROW LOW SUMAC	#5	CONTAINER	4'-0" O.C. SPACING
28	SJS	SPIRAEA JAPONICA 'SMISLMFR'	DOUBLE PLAY RED SPIRAEA	#3	CONTAINER	3'-0" O.C. SPACING
13	SPM	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	#5	CONTAINER	4'-0" O.C. SPACING
3	JPS	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	#5	CONT.	MATCHED
4	JHM	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	#5	CONTAINER	6'-0" O.C. SPACING
12	TMT	TAXUS X MEDIA 'TAUNTONI'	TAUNTON YEW	#5	CONTAINER	4'-0" O.C. SPACING
13	TOC	THUJA OCCIDENTALIS 'CONGABE'	FIRE CHIEF ABROVITAE	#5	CONTAINER	4'-0" O.C. SPACING
57	BGR	BOUTELOUA GRACILIS	BLUE GRAMA	#SP4	CONTAINER	24" O.C. TR.SPACING
74	CAL	CAREX ALBICANS	WHITE-TINGED SEDGE	#SP4	CONTAINER	24" O.C. TR.SPACING
76	EFC	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	#SP4	CONTAINER	12" O.C. SPACING
32	SSB	SCHIZACHYRIUM SCOPARIUM 'MINIBLUE'	BLUE HEAVEN LITTLE BLUESTEM	#1	CONTAINER	18" O.C. SPACING

PLANTING LEGEND



FIRST NATIONAL BANK - VALLEY JUNCTION

CONSTRUCTION DOCUMENTS

MECHELECPUMB ARCHITECT
 301 Grand Avenue
 Des Moines, Iowa 50309
 Phone: (515) 283-3111

LANDSCAPE ARCH.
 301 Grand Avenue
 Des Moines, Iowa 50309
 Phone: (515) 283-3111

STRUCTURAL
 1230 7th Street, Suite C
 Des Moines, Iowa 50319
 Phone: (515) 283-3141

CIVIL
 3465 Grandview Dr., Suite G
 Des Moines, Iowa 50311
 Phone: (515) 283-4900

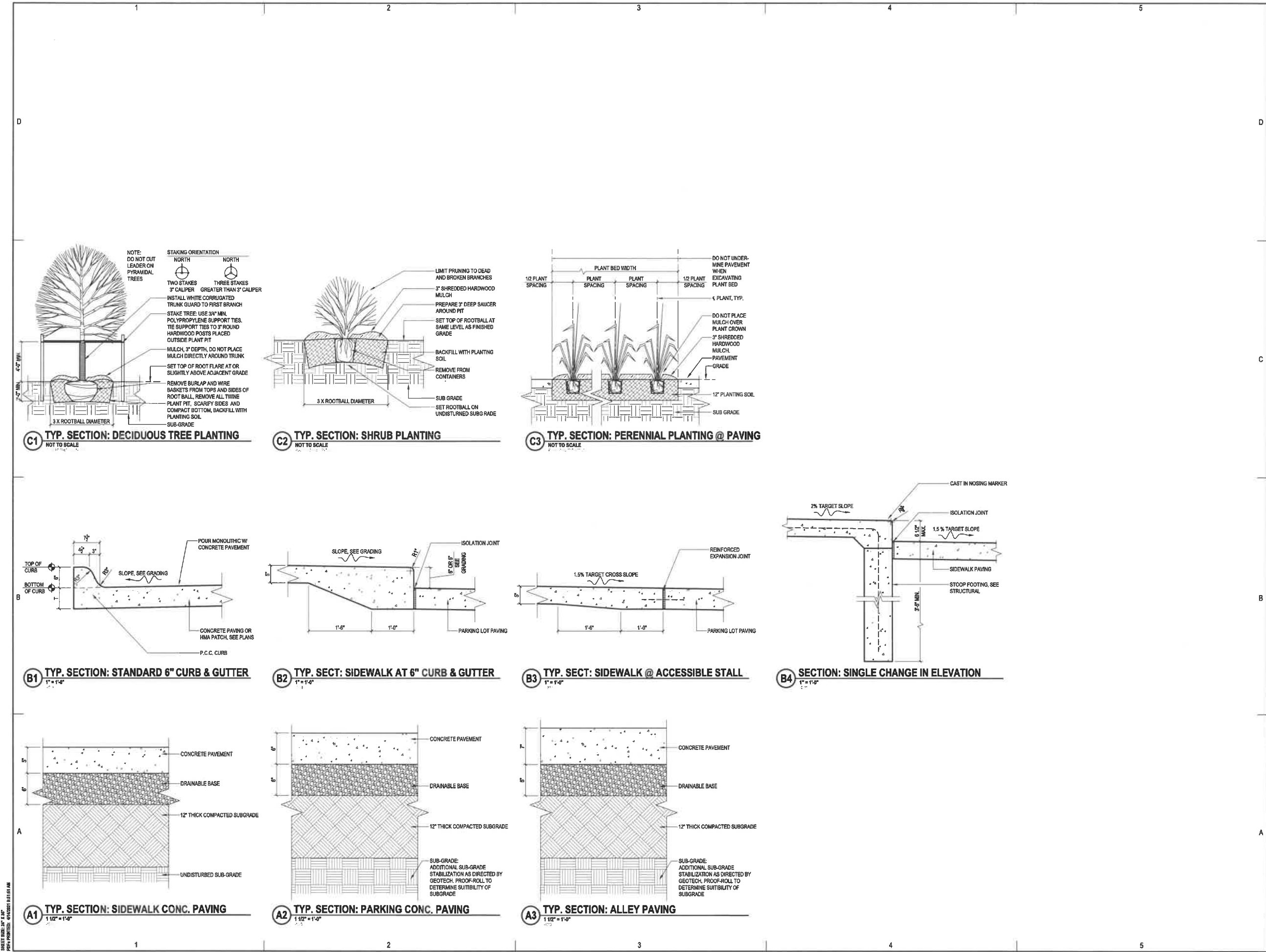
301 5th Street
West Des Moines, IA 50265

FIRST NATIONAL BANK

SITE PLANNING PLAN

L4.01

SHEET SIZE: 24" x 36" PLOT PRINTED: 4/21/2010 12:48 PM



SHEET SIZE: 24" x 36" PLOT: 1/8" = 1'-0" DATE: 01/15/14

FIRST NATIONAL BANK - VALLEY JUNCTION

CONSTRUCTION DOCUMENTS

**301 5th Street
West Des Moines, IA 50265**

FIRST NATIONAL BANK

KEY PLAN

DATE	DESCRIPTION
01/15/14	ISSUANCE
01/15/14	REVISION
01/15/14	REVISION
01/15/14	REVISION
01/15/14	REVISION

PROJECT NO. 3003.001.00

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SITE DETAILS

L5.01

MECHIEL/PLUMB
ARCHITECT
RDG Design
301 Grand Avenue
Des Moines, Iowa 50309
Phone: (515) 281-4111

LANDSCAPE ARCH.
RDG Design
301 Grand Avenue
Des Moines, Iowa 50309
Phone: (515) 281-4111

STRUCTURAL
Architectural
1297 7th Street, Suite C
Des Moines, Iowa 50319
Phone: (515) 281-4400

CIVIL
RDG Planning & Design
301 Grand Avenue
Des Moines, Iowa 50309
Phone: (515) 281-4111

RDG...
PLANNING • DESIGN

5TH STREET

ELM STREET

SITE UTILITY PLAN NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 7' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WEST DES MOINES PLUMBING CODE.
- 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 18" HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS KNOWN THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-282-8889 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2015 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE UTILITIES. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
- ALL SANITARY SEWER SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE WDM STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
- ALL SANITARY SEWER MHS WITHIN PAVING SHALL HAVE A 3 PIECE CASTING. IF AN EXISTING PUBLIC SANITARY SEWER MH IS REPLACED WITH A 3 PIECE CASTING PUBLIC WORKS WILL NEED TO BE CONTACTED TO PICK UP THE OLD CASTING. CONTACT JASON SCHLICKERBERG ENGINEERING SERVICES 222-3820.
- CONTRACTOR SHALL COORDINATE ALL TRANSFORMER PAD LOCATIONS, INCLUDING BUILDING SEPARATION, WITH MID AMERICAN ENERGY PRIOR TO TRANSFORMER PAD CONSTRUCTION.

W. DSM WATER WORKS NOTES

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WEST DES MOINES WATER WORKS GENERAL SUPPLEMENTAL SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION (515-222-3653) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND CITY'S CROSS-CONNECTION CONTROL/CONTAMINATION PROVISION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(S) FOR CONTAMINATION IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH HENTNER, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- BUILDING FIRE SPRINKLER AND FIRE ALARM SYSTEM SHALL BE DESIGNED PER WEST DES MOINES FIRE CODE. SCHEDULE A PRESSURE AND FLOW TEST PRIOR TO DESIGNING FIRE SUPPRESSION SYSTEMS.
- WATER SHALL BE PROVIDED TO PROPERTY VIA PRIVATE WATER MAIN. OWNER SHALL ALLOW WEST DES MOINES WATER WORKS ACCESS TO THE METERS AND VALVES AS NEEDED FOR EMERGENCY MAINTENANCE AND SHUT OFF IN THE EVENT OF NON-PAYMENT.

LIGHTING NOTES

REFER TO SEE LIGHTING PLAN (PHOTOMETRIC PLAN) FOR MORE INFORMATION.
 ALL LIGHTING MUST BE DOWN-CAST, CUT-OFF TYPE FIXTURES. WALL PACK LIGHTS WITHOUT SHIELDS TO DIRECT LIGHT DOWN TO ITS INTENDED TARGET ARE PROHIBITED.

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

PRIVATE WATER MAIN QUANTITIES

1.5" VALVE	1 EA
1.5" WATER SERVICE	42 LF

CONSTRUCTION DOCUMENTS



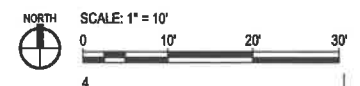
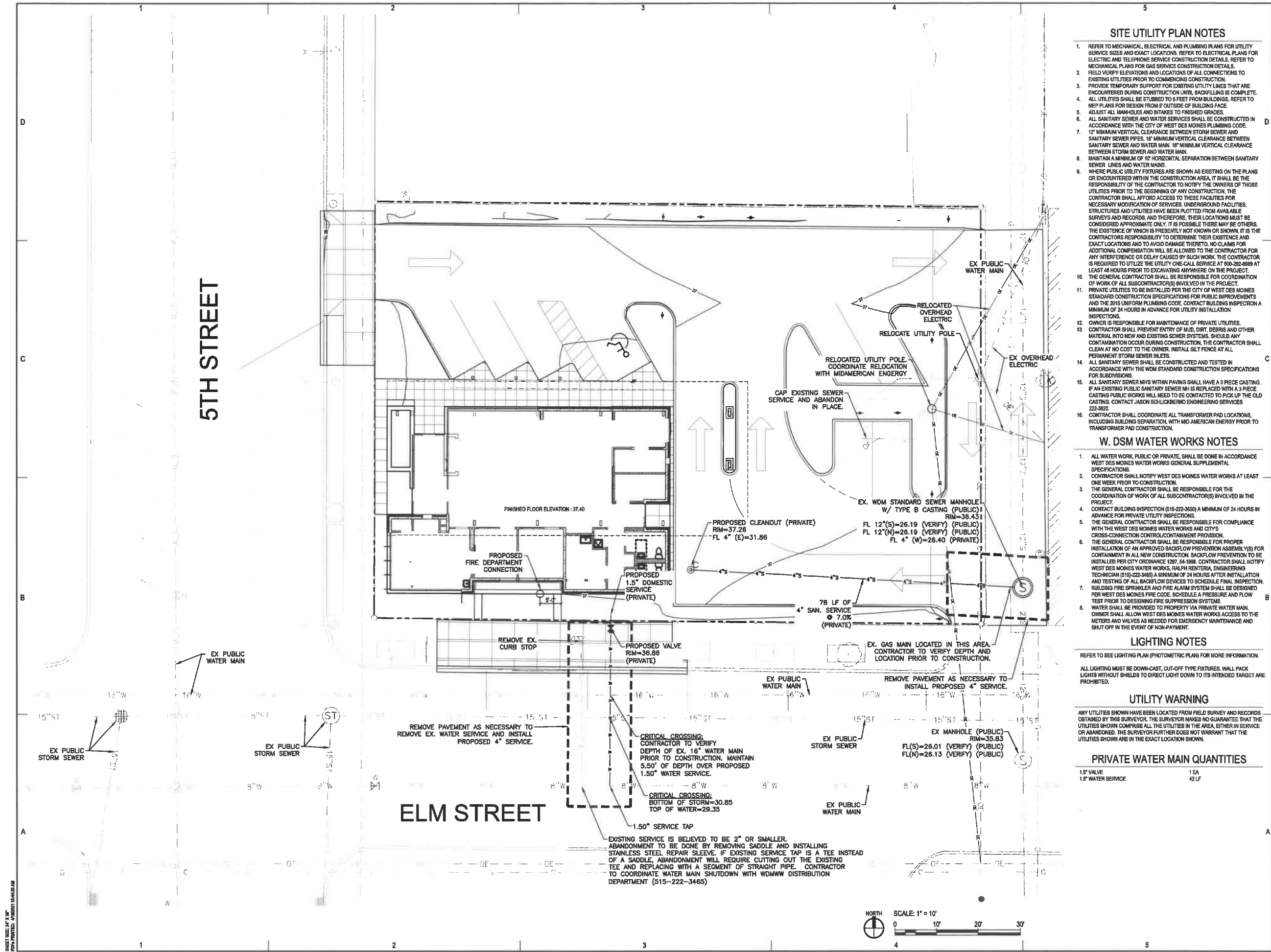
MECHELECIPLUMB
 ARCHITECT
 LANDSCAPE ARCH.
 CIVIL
 STRUCTURAL
 PLANNING & DESIGN

301 5th Street
 West Des Moines, IA 50265
 FIRST NATIONAL BANK

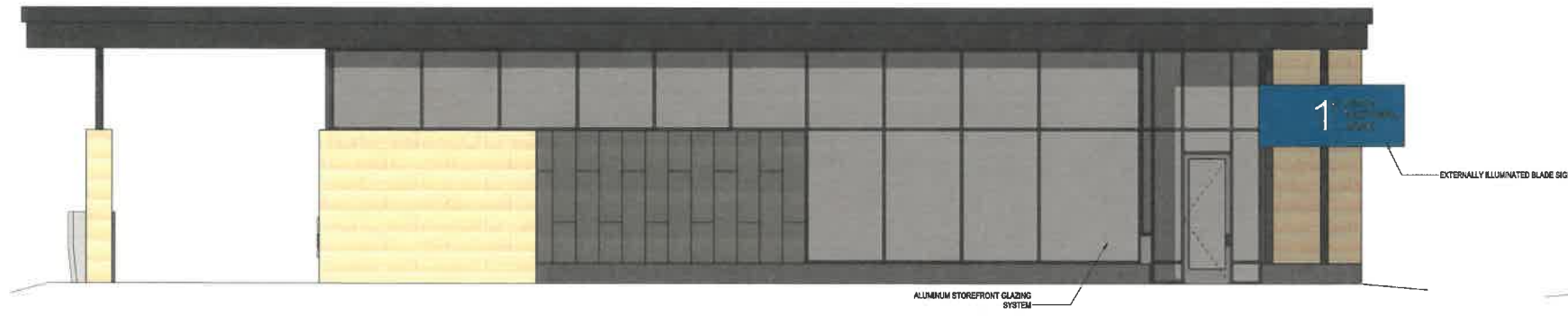
FIRST NATIONAL BANK - VALLEY JUNCTION

SITE UTILITY PLAN

C1.0



SHEET SIZE: 34" x 46" PLOT: 1/8" = 1'-0" PRINTED: 11/10/2015 10:45:34 AM



- CAST STONE
- FIBER CEMENT PANEL WITH CONCEALED FASTENERS
- MASONRY STONE VENEER

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION
NO. PZC-21-032**

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant, Dean Whitaker, and property owner, First National Bank, Ames, Iowa, request approval of the Site Plan for the approximately 0.33-acre property located at 301 5th Street as depicted on the location map included in the staff report. The applicant requests approval to construct a 2,800sf bank and associated site improvements; and

WHEREAS, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-004650-2020), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on May 10, 2021.

Erica Andersen, Chair
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on May 10, 2021, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary

Prepared by: Lynne Twedt, City of West Des Moines Development Services Dept., PO Box 65320, West Des Moines, Iowa
50265-0320 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING A SITE PLAN TO ALLOW CONSTRUCTION OF BANK AND ASSOCIATED SITE IMPROVEMENTS

WHEREAS, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, the applicant, Dean Whitaker, and property owner, First National Bank, Ames, Iowa, requests approval of First National Bank Site Plan for that property located at 301 5th Street and legally described in attached Exhibit 'B' for the purpose of constructing a 2,800sf bank and associated site improvements; and

WHEREAS, studies and investigations were made, and staff reports, and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, the Site Plan complies with findings stated in the applicable provisions of Title 9, Chapter 1, Subsection 8, the Comprehensive Plan and City Code.

WHEREAS, on **TBD**, the Plan and Zoning Commission recommended to the City Council, by a **X-X** vote, **approval** of the Site Plan; and

WHEREAS, on this day the City Council held a duly noticed meeting to consider the application for the Site Plan.

NOW, THEREFORE, The City Council does approve the First National Bank Site Plan (SP-004650-2020), subject to compliance with all of the conditions of approval, including any conditions added at the meeting, attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on **TBD**.

Steven K. Gaer, Mayor

ATTEST:

Ryan Jacobson, City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on **TBD**, by the following vote.

Exhibit A: Conditions of Approval

1. The applicant providing remaining site development and architectural material details prior to issuance of a building permit for above ground construction. Additionally, the applicant acknowledging that all remaining West Des Moines Water Works review comments must be addressed prior to the water tap for the project.
2. All permits for the closure of public streets, alleys and sidewalks be obtained prior to closure.

Exhibit B: Legal Description

Lots 10 and 11 in Block 18 in the First Addition to Valley Junction, an Official Plat, now included in and forming a part of the City of West Des Moines, Polk County, Iowa