

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** May 24, 2021

**ITEM:** Oaks on Grand, 5725, 5745 & 5785 Raccoon River Drive – Approve Preliminary Plat to create 2 lots for Office development and 2 street lots and approve a Phased Site Plan to allow implementation of footings, foundations and private utilities for the construction of an office building – JCG Equity, L.L.C. – PP-005027-2021/SP-005028-2021

**RESOLUTION: Approval of Preliminary Plat and Phased Site Plan**

**Background:** Michael Wahlert with Bishop Engineering, on behalf of the applicant and property owner, JCG Equity, L.L.C., requests approval of a Preliminary Plat for the approximately 12-acre property located at 5725, 5745 & 5785 Raccoon River Drive (northwest corner of Grand Ave and Raccoon River Dr). The applicant proposes to subdivide the property into 2 lots for development of offices, and 2 street lots for dedication to the City.

Additionally, the applicant requests approval of a phased Site Plan to allow footings, foundations and private utility installation only for the construction of one two-story, approximately 48,000 square foot, office building and associated site improvements. Two other buildings are possible in the future.

**Staff Review & Comment:**

- **Financial Impact:** Pursuant to a development agreement with the owner and as part of an Urban Renewal area, the City will be installing a traffic signal at the new Raccoon River Drive and Grand Avenue intersection, extending paving from the east end of Booneville Road to the property's west property line, and extending Raccoon River Drive north to Booneville Road with the construction of a new north/south roadway connection between Booneville Road and Grand Avenue. In addition, while not connected with the development of the site, as part of the improvements in the area, the City will reconstruct the south access road of the Glen Oaks development.
- **Key Aspects:**
  - **Plat of Survey Condition of Approval:** The plat of survey previously approved by the City Council on May 18, 2020 for the transfer of ownership of this property to the applicant had a condition of approval that no development may occur on the site until the property is platted through the City's subdivision process. At the May 17, 2021 City Council meeting, the City Council modified this condition of approval to allow phased site plan approval to facilitate construction of footings and foundations and implementation of private utilities prior to completion of the subdivision process. As a means to ensure the subdivision process is completed, full site plan approval and allowance of above ground construction of the building will not be allowed until the associated final plat for the site has been approved by the City Council.
  - **Site Design:** The site will include two lots for office development. At this time, one office building is proposed on Lot 1 with two additional office buildings to be built in the future (a second building on Lot 1 and a third building to be built on Lot 2).
  - **Building Design:** This first office building will be a two-story building with the exterior primarily clad in glass and metal rainscreen panel system. The building exterior will be accented with vertical wood cladding and steel columns. The building is oriented north to south on the site which allows for a two-story wall of glazing overlooking the existing pond to the west with an incorporated outdoor patio and amphitheater space. Roof mounted mechanical units will be screened with an integrated metal screen structure consistent with the metal cladding of the building.

- **Traffic Analysis Findings:** The site is expected to generate significantly less traffic than what was assumed for the original commercial land use. The public street system, with the planned geometry and traffic control, is able to support the proposed development. Full-build recommendations are subject to change as traffic patterns return to pre-pandemic levels, as the area develops (including the future MidAmerican RecPlex), as land uses are modified in the next comprehensive plan update, and as more information is known regarding the future uses in the proposed development. The intersection of Raccoon River Drive & Grand Avenue is currently stop-controlled, with Grand Avenue as the designated thru street. With the projected traffic volumes from the proposed development, the intersection is expected to meet signalization warrants of the Federal Highway Administration's *Manual on Uniform Traffic Control Devices (MUTCD)*.
- **Plat Validity:** Per City Code, the associated Final Plat must be presented to the City Council for approval within twelve (12) months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within eighteen (18) months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the site plan approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

**Outstanding Issues:** There are no outstanding issues.

**Plan and Zoning Commission Action:**

Date:

Vote:

Recommendation:

**Recommendation:** Approve the Preliminary Plat and Phased Site Plan request, subject to the applicant meeting all City Code requirements, and the following condition of approval:

1. This approval only allows for issuance of a building permit for footings, foundations, and private utilities. Full site plan approval and allowance of above ground construction of the building shall not be allowed until the associated final plat for the site has been approved by the City Council.

**Lead Staff Member: Brian Portz**

**Approval Meeting Dates:**

|                            |              |
|----------------------------|--------------|
| Plan and Zoning Commission | May 24, 2021 |
| City Council               |              |

**Staff Report Reviews:**

|                          |   |   |
|--------------------------|---|---|
| Plan & Zoning Commission | <input checked="" type="checkbox"/> Development Coordinator (or)<br><input type="checkbox"/> Director | <input type="checkbox"/> Legal Department   |
| City Council             | <input type="checkbox"/> Director<br><input type="checkbox"/> Appropriations/Finance                  | <input type="checkbox"/> Legal Department<br><input type="checkbox"/> Agenda Acceptance |

**Publications (if applicable)**

|                           |  |
|---------------------------|--|
| Published In:             | Des Moines Register<br>Community Section |
| Date(s) Published         | n/a                                      |
| Date(s) of Mailed Notices | n/a                                      |

**Council Subcommittee Review (if applicable)**

|                |  |
|----------------|--|
| Subcommittee   | Development & Planning   |
| Date Reviewed  | 3/15/21  |
| Recommendation | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split |

**Location Map**



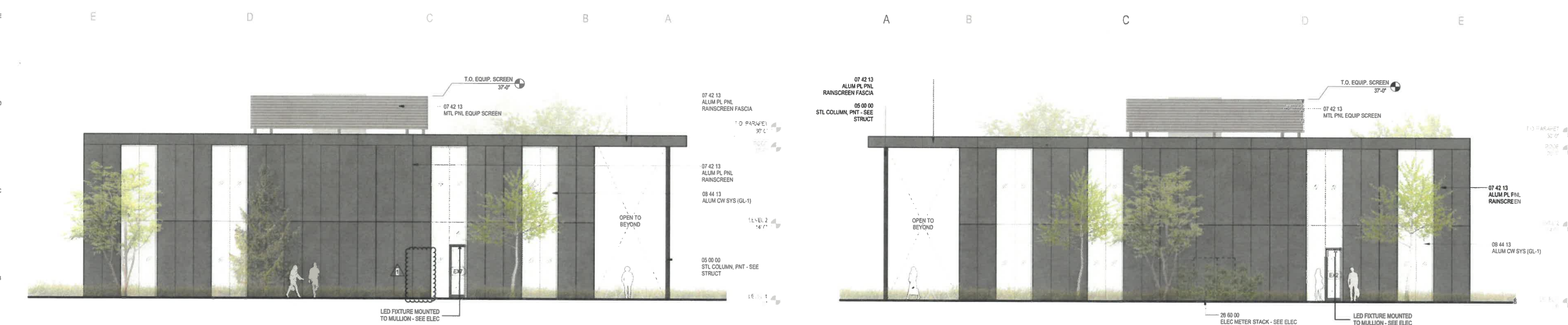




01 EXTERIOR ELEVATION - EAST  
SCALE: 1/8" = 1'-0", REF: 01 / A1.01



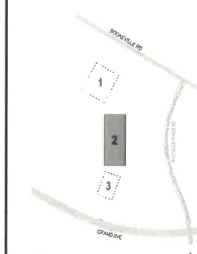
02 EXTERIOR ELEVATION - WEST  
SCALE: 1/8" = 1'-0", REF: 01 / A1.01



03 EXTERIOR ELEVATION - NORTH  
SCALE: 1/8" = 1'-0", REF: 01 / A1.01



04 EXTERIOR ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0", REF: 01 / A1.01



KEY PLAN

**BUILDING 2**  
**THE OAKS ON GRAND**  
 5745 RACCOON RIVER DR  
 WEST DES MOINES, IA 50266

Preliminary - Not for Construction  
 SITE PLAN APPLICATION

Substance No.: 0589

Date: 26 MARCH 2021

Revisions: WORK DESCRIPTION DATE

EXTERIOR ELEVATIONS



# THE OAKS ON GRAND

## CIVIL SITE PLAN/ PRELIMINARY PLAT

### SHEET INDEX:

- C0.1 COVER SHEET
- C0.2 SITE SURVEY
- C1.1 DEMO PLAN
- C2.1 LAYOUT PLAN
- C2.2 LOT LAYOUT
- C3.1 GRADING PLAN
- C3.2 GRADING PLAN
- C4.1 UTILITY PLAN
- C6.1 DETAILS SHEET
- C6.2 ADS DETAILS
- C7.1 EROSION CONTROL PLAN
- L1.00 TREE PROTECTION PLAN
- L5.00 OVERALL PLANTING PLAN
- L7.00 SITE DETAILS
- L7.01 SITE DETAILS

### PROPERTY DESCRIPTION:

(WARRANTY DEED BOOK 17878, PAGE 600)  
A TRACT OF LAND LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M., AND THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M., AND OUTLOT "Y" IN WEST GRAND BUSINESS PARK PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY IOWA IS DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID OUTLOT "Y" THENCE SOUTH 89°09'21" EAST, A DISTANCE OF 191.49 FEET ALONG THE NORTH LINE OF SAID OUTLOT "Y"; THENCE NORTH 24°00'04" EAST, A DISTANCE OF 30.21 FEET; THENCE SOUTH 50°09'59" EAST, A DISTANCE OF 545.83 FEET; THENCE SOUTH 31°18'29" WEST, A DISTANCE OF 47.18 FEET; THENCE SOUTH 74°17'19" WEST, A DISTANCE OF 38.51 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 475.00 FEET, A DELTA OF 49°58'34", AN ARC LENGTH OF 414.27 FEET, A CHORD WHICH BEARS SOUTH 01°17'29" WEST HAVING A CHORD LENGTH OF 401.27 FEET; THENCE SOUTH 33°45'42" EAST A DISTANCE OF 35.39 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 550.00 FEET, A DELTA OF 16°17'49", AN ARC LENGTH OF 185.25 FEET, A CHORD WHICH BEARS SOUTH 18°00'19" EAST HAVING A CHORD LENGTH OF 184.35 FEET; THENCE SOUTH 55°11'23" EAST, A DISTANCE OF 55.17 FEET, TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF GRAND AVENUE AS PRESENTLY ESTABLISHED; THENCE ALONG SAID NORTH RIGHT OF WAY ALONG A CURVE TO THE RIGHT ALONG SAID RIGHT AWAY HAVING A RADIUS OF 940.00 FEET, A DELTA OF 38°54'13" AN ARC LENGTH OF 806.45 FEET, A CHORD WHICH BEARS NORTH 64°27'02" WEST HAVING A CHORD LENGTH OF 595.03 FEET; THENCE, CONTINUING ALONG SAID NORTH RIGHT OF WAY, RIGHT NORTH 88°02'30" WEST, A DISTANCE OF 119.80 FEET TO THE SOUTHEAST CORNER OF OUTLOT "Z" IN SAID WEST GRAND BUSINESS PARK PLAT 1; THENCE NORTH 0°21'29" EAST, A DISTANCE OF 52.17 FEET, TO THE POINT OF BEGINNING, CONTAINING 11.80 ACRES, MORE OR LESS.

ADDRESS:  
5745 RACCOON RIVER DRIVE  
WEST DES MOINES, IA

OWNER:  
JOG EQUITY LLC  
ATTN: JON GALLOWAY (515) 287-6200  
POB 7502  
URBANDALE, IOWA 50323

PREPARED FOR:  
JOG EQUITY LLC  
ATTN: JON GALLOWAY (515) 287-6200  
POB 7502  
URBANDALE, IOWA 50323

ZONING:  
OF - OFFICE DISTRICT

BULK REGULATIONS  
SETBACKS  
FRONT = 30'  
REAR = 30'  
SIDE = 10'

PARKING REQUIREMENTS:  
WEST DES MOINES CODE 9-15-17  
BUILDING 2 = 48,000/1,000 = 48.4 \* 3.5 = 169.4 OR =170 STALLS  
TOTAL STALLS PROVIDED = 198 (INCL. 6 ADA STALLS)

OPEN SPACE REQUIREMENTS:  
REQUIRED OPEN SPACE (25%) = 78,533 SF  
OPEN SPACE PROVIDED = 189,441 SF OR 69%

IMPERVIOUS SURFACE:  
EXISTING IMPERVIOUS = 0 SF  
PROPOSED IMPERVIOUS = 124,690 SF  
PAVEMENT = 100,427 SF  
BUILDING = 24,263 SF (BLDG 2)  
FUTURE IMPERVIOUS  
PAVEMENT = 68,634 SF  
BUILDING = 15,741 SF (BLDG 1) + 10,719 SF (BLDG 3)

### UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAMERICAN / 515-252-6632)
- WATER (WEST DES MOINES WATER WORKS / 515-222-3516)
- FIBER OPTIC (MIDAMERICAN / 515-311-2313)
- FIBER OPTIC (CENTURY LINK / 913-312-2744)
- GAS (MIDAMERICAN / 515-252-6632)



### UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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### GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF WEST DES MOINES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL, REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WEST DES MOINES.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

### PAVING NOTES:

- THE PAVING GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDDED IN ACCORDANCE WITH CITY OF WEST DES MOINES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBGRADE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

### PAVEMENT SAWCUT NOTES:

- CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN TO MICHAEL WAHLERT, BISHOP ENGINEERING (515-278-0487 OR MWAHLERT@BISHOPENGR.COM) PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
- PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
- LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE L-1 OR L-2 JOINTS AND HAVE STEEL. INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE B JOINTS.
- TYPICAL LONGITUDINAL JOINTS SHALL BE PLACED IN THE CENTER OF ALL DRIVE AISLES AND AT THE END OF ALL PARKING STALLS.
- ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

### UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENITZ AT 515-278-0487) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE B CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANHOLE AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF WEST DES MOINES.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF WEST DES MOINES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

### UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION.

### WETLAND NOTES:

- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

### SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 7-4-2020. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

### SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = CITY DATUM, ZONE 14RCS-8

POINT #900  
NORTHING = 7470464.49  
EASTING = 1848069.82  
ELEVATION = 62.24  
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

POINT #901  
NORTHING = 7470807.41  
EASTING = 1848042.38  
ELEVATION = 74.74  
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

POINT #902  
NORTHING = 7470551.97  
EASTING = 1848122.35  
ELEVATION = 73.90  
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

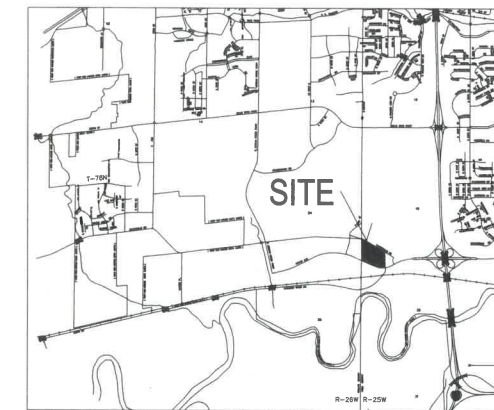
POINT #903  
NORTHING = 7470221.45  
EASTING = 1841036.50  
ELEVATION = 60.75  
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

POINT #904  
NORTHING = 7470091.82  
EASTING = 1848032.91  
ELEVATION = 60.58  
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

ON-SITE TBM:  
BURY BOLT ON HYDRANT LOCATED NEAR THE NW CORNER OF PROJECT SITE  
ELEVATION=63.09

### CITY OF WEST DES MOINES NOTES:

- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.



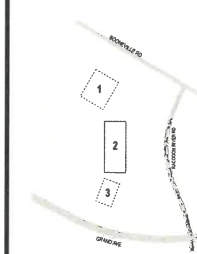
VICINITY MAP  
SCALE: NONE

### LEGEND:

- SW— SANITARY SEWER
- ST— STORM SEWER
- W— WATER LINE
- G— GAS LINE
- UE— UNDERGROUND ELECTRIC
- OE— OVERHEAD ELECTRIC
- TELE— TELEPHONE LINE
- FIO— FIBER OPTIC
- CATV— CABLE TV
- ⊕ STORM MANHOLE
- ⊕ CURB INTAKE
- ⊕ SURFACE INTAKE
- ⊕ FLARED END SECTION
- ⊕ SANITARY MANHOLE
- ⊕ CLEANOUT
- ⊕ FIRE HYDRANT
- ⊕ SPRINKLER
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ WATER MANHOLE
- ⊕ WELL
- ⊕ WATER VALVE
- ⊕ WATER SHUT OFF
- ⊕ YARD HYDRANT
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC RISER
- ⊕ ELECTRIC VAULT
- ⊕ POWER POLE
- ⊕ TRANSFORMER POLE
- ⊕ LIGHT POLE
- ⊕ ELECTRIC JUNCTION BOX
- ⊕ ELECTRIC PANEL
- ⊕ TRANSFORMER
- ⊕ GROUND LIGHT
- ⊕ GUY WIRE
- ⊕ ELECTRIC HANDHOLE
- ⊕ GAS METER
- ⊕ GAS VALVE
- ⊕ AIR CONDITIONING UNIT
- ⊕ TELEPHONE RISER
- ⊕ TELEPHONE VAULT
- ⊕ TELEPHONE MANHOLE
- ⊕ TRAFFIC SIGNAL MANHOLE
- ⊕ FIBER OPTIC MANHOLE
- ⊕ FIBER OPTIC RISER
- ⊕ FIBER OPTIC FAULT
- ⊕ CABLE TV RISER
- SIGN
- BOLLARD
- ⊕ DENOTES NUMBER OF PARKING STALLS
- ⊕ PROPERTY CORNER - FOUND AS NOTED
- ⊕ PROPERTY CORNER - PLACED AS NOTED
- ⊕ SECTION CORNER - FOUND AS NOTED

### ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- W MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- RDIW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SW SANITARY
- TP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST



KEY PLAN

SITE IMPROVEMENTS  
THE OAKS ON GRAND  
15745 RACCOON RIVER DR  
WEST DES MOINES, IA 50266  
CONSTRUCTION SET

Substance No.: 0589

Date: 29 APRIL 2021  
Revisions:

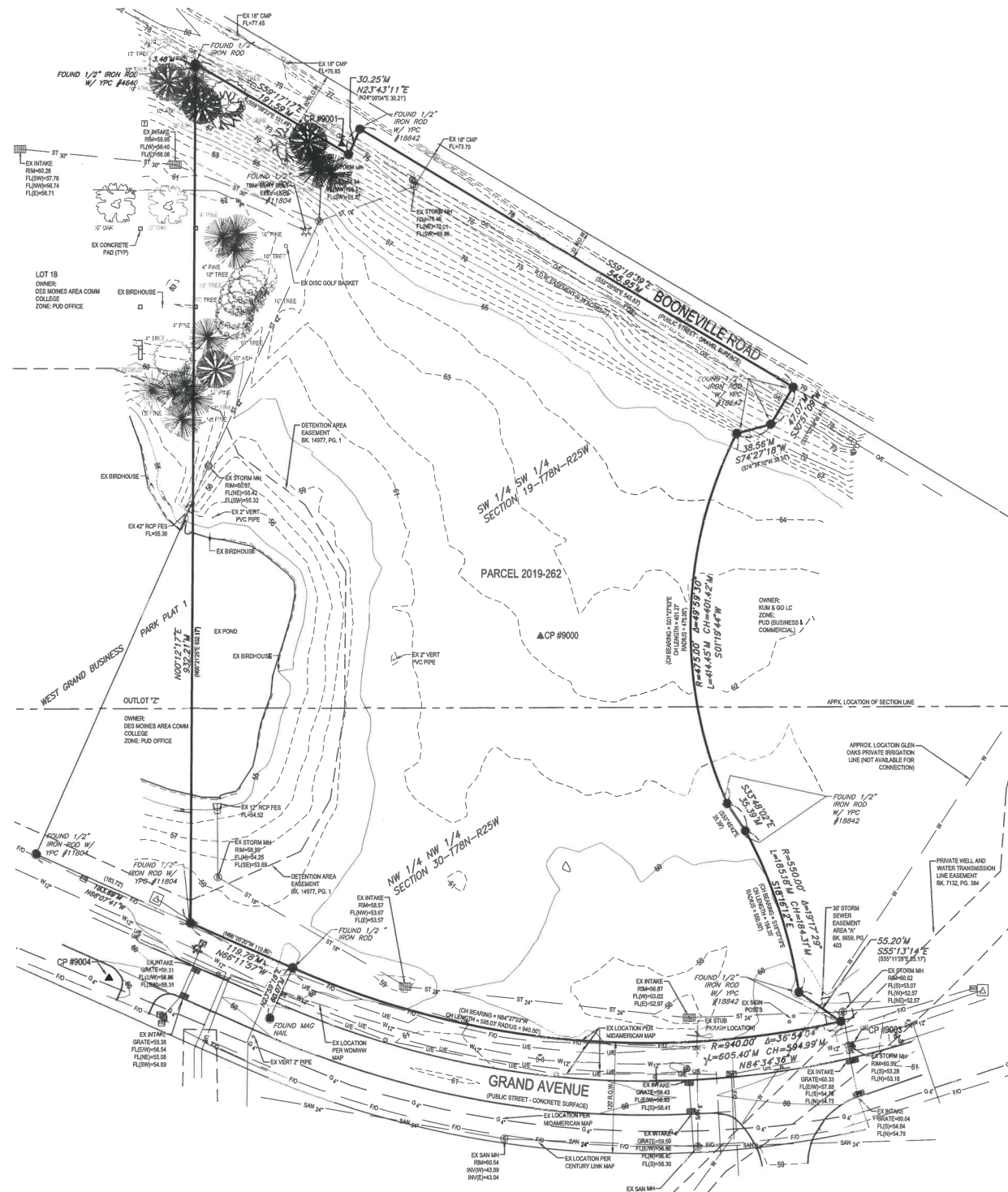
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: *Michael J. Wahlert* DATE: 3-30-2021  
MICHAEL J. WAHLERT, P.E. 25342

LICENSE RENEWAL DATE: DEC. 31, 2020  
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1, C1-106.1, C7.1



# THE OAKS ON GRAND SITE SURVEY



**SITE CONTROL AND BENCHMARKS:**  
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = CITY DATUM, ZONE IARCS-8

**POINT #9000**  
NORTHING = 747064.49  
EASTING = 1849099.82  
ELEVATION = 82.24  
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

**POINT #9001**  
NORTHING = 747099.41  
EASTING = 1849042.38  
ELEVATION = 71.74  
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

**POINT #9002**  
NORTHING = 747055.87  
EASTING = 1849122.35  
ELEVATION = 73.98  
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

**POINT #9003**  
NORTHING = 747021.45  
EASTING = 1849108.50  
ELEVATION = 62.75  
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

**POINT #9004**  
NORTHING = 747091.82  
EASTING = 1848822.91  
ELEVATION = 60.59  
DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

**ON-SITE TBM:**  
BURY BOLT ON HYDRANT LOCATED NEAR THE NW CORNER OF PROJECT SITE  
ELEVATION=63.09

**ABBREVIATIONS:**

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MA MAINICLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PS PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FOOT
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

**UTILITY MAPS PROVIDED BY:**

- ELECTRIC (MIDAMERICAN) / 515-252-6823
- WATER (WEST DES MOINES WATER WORKS) / 515-222-3510
- FIBER OPTIC (MIDAMERICAN) / 515-281-2313
- FIBER OPTIC (CENTURY LINK) / 515-312-2744
- GAS (MIDAMERICAN) / 515-252-6823



**UTILITY NOTE:**  
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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**PROPERTY DESCRIPTION:**  
(WARRANTY DEED BOOK 1787B, PAGE 900)  
A TRACT OF LAND LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M., AND THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M., AND OUTLOT "Y" IN WEST GRAND BUSINESS PARK PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY IOWA IS DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID OUTLOT "Y" THENCE SOUTH 99°09'23" EAST, A DISTANCE OF 191.49 FEET ALONG THE NORTH LINE OF SAID OUTLOT "Y"; THENCE NORTH 24°09'04" EAST, A DISTANCE OF 30.21 FEET; THENCE SOUTH 99°09'58" EAST, A DISTANCE OF 546.83 FEET; THENCE SOUTH 31°02'50" WEST, A DISTANCE OF 47.19 FEET; THENCE SOUTH 74°37'10" WEST, A DISTANCE OF 38.51 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 475.00 FEET, A DELTA OF 49°58'14", AN ARC LENGTH OF 414.27 FEET, A CHORD WHICH BEARS SOUTH 07°27'53" WEST HAVING A CHORD LENGTH OF 491.27 FEET; THENCE SOUTH 33°45'42" EAST A DISTANCE OF 35.39 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 560.00 FEET, A DELTA OF 18°17'45", AN ARC LENGTH OF 182.23 FEET, A CHORD WHICH BEARS SOUTH 18°07'18" EAST HAVING A CHORD LENGTH OF 184.35 FEET; THENCE SOUTH 55°11'29" EAST, A DISTANCE OF 55.17 FEET, TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF GRAND AVENUE AS PRESENTLY ESTABLISHED; THENCE ALONG SAID NORTH RIGHT OF WAY ALONG A CURVE TO THE RIGHT ALONG SAID RIGHT AWAY HAVING A RADIUS OF 840.00 FEET, A DELTA OF 38°27'13" AN ARC LENGTH OF 605.45 FEET, A CHORD WHICH BEARS NORTH 84°17'07" WEST HAVING A CHORD LENGTH OF 595.03 FEET; THENCE, CONTINUING ALONG SAID NORTH RIGHT OF WAY, RIGHT NORTH 68°09'20" WEST, A DISTANCE OF 119.80 FEET TO THE SOUTHEAST CORNER OF OUTLOT "Z" IN SAID WEST GRAND BUSINESS PARK PLAT 1; THENCE NORTH 0°21'25" EAST, A DISTANCE OF 932.17 FEET, TO THE POINT OF BEGINNING, CONTAINING 11.83 ACRES, MORE OR LESS.

**ADDRESS:**  
NO ADDRESS AT TIME OF SURVEY

**OWNER:**  
WEST LAKES INVESTORS LLC  
670 WESTTOWN Pkwy SITE 220  
WEST DES MOINES, IA 50268

**PREPARED FOR:**  
GALLOWAY HOLDINGS

**ZONING:**  
INFORMATION OBTAINED FROM CITY OF WEST DES MOINES ZONING MAP

**PUD (BUSINESS AND COMMERCIAL)**  
FOR AN OFFICIAL ZONING PERMIT PLEASE CALL CITY OF WEST DES MOINES AT 515-222-3478

**NOTES:**

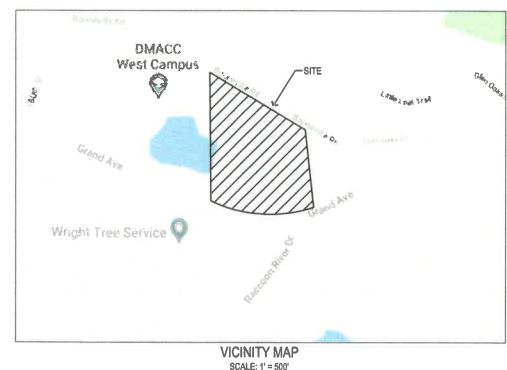
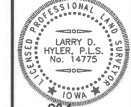
- ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM POLK COUNTY ASSESSORS WEB PAGE
- PARENTHESES ( ) DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

**PRELIMINARY**

SIGNED: LARRY D. HYLAR, P.L.S. 14775 DATE: \_\_\_\_\_  
LICENSE RENEWAL DATE: DEC. 31, 2020  
PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_



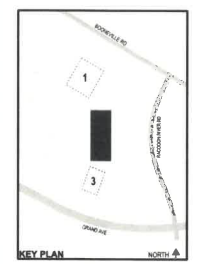
**substancearchitecture**  
1300 Walnut Street, Suite 201  
Des Moines, Iowa 50309  
Ph. 515.283.4407  
www.substancearchitecture.com

**CIVIL ENGINEER**  
BISHOP ENGINEERING COMPANY, INC.  
3055 138th Street  
Des Moines, Iowa 50332  
Ph. 515.278.4407  
www.bishopeng.com

**LANDSCAPE ARCHITECT**  
HOERR SCHAUDT LANDSCAPE ARCHITECTS  
1001 Salthorn Avenue, Suite 203  
Kansas City, Missouri 64108  
Ph. 314.482.6201  
www.hoerrschau.com

**STRUCTURAL ENGINEER**  
RAKER RHODES ENGINEERING  
4717 Grand Avenue  
Des Moines, Iowa 50312  
Ph. 515.277.0275  
www.rakerrhodes.com

**MECHANICAL, ELECTRICAL, PLUMBING ENGINEER**  
BAKER GROUP  
1000 SE Corporate Woods Drive  
Ankeny, IA 50021-7001  
Ph. 515.952.4000  
www.bakergrp.com



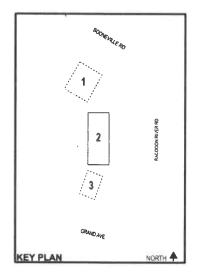
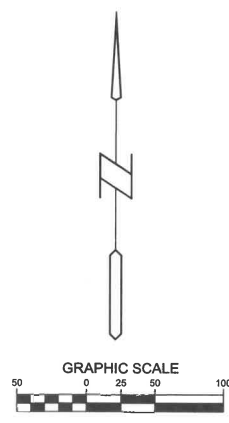
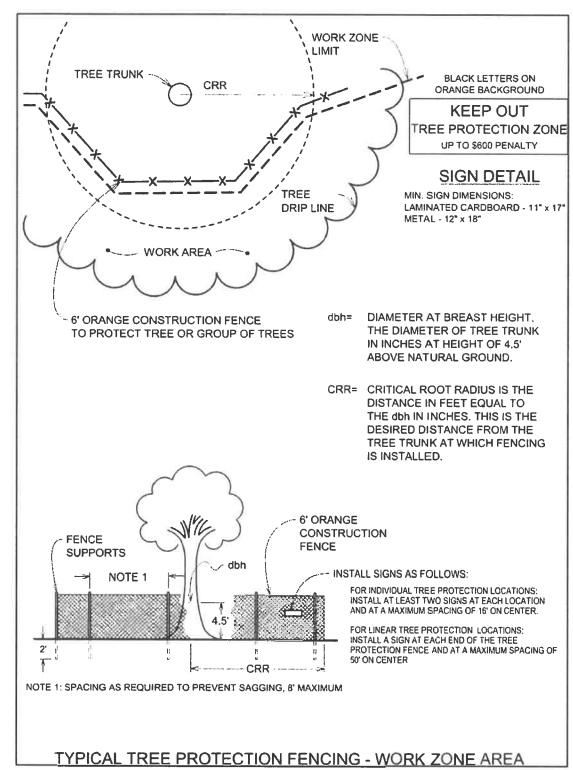
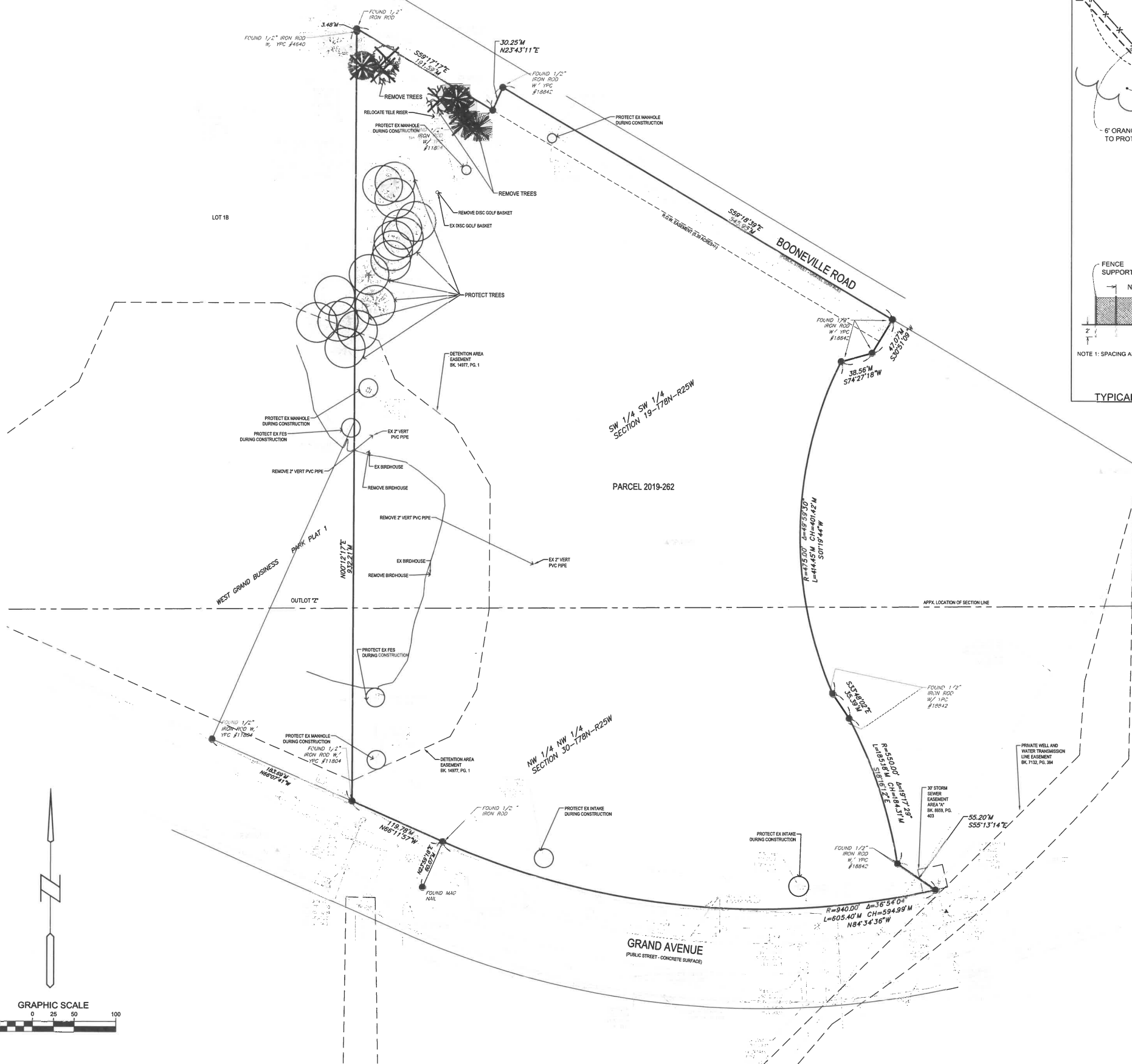
**BUILDING 2**  
**THE OAKS ON GRAND**  
5745 RACCOON RIVER DR  
WEST DES MOINES, IA 50266

Substance No.: 0589

Date: 05 MARCH 2021  
Revisions: 1009 / 05/07/2021 0416

SITE SURVEY  
C0.2

**DEMO NOTES:**  
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.  
2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.  
3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.



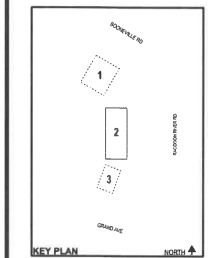
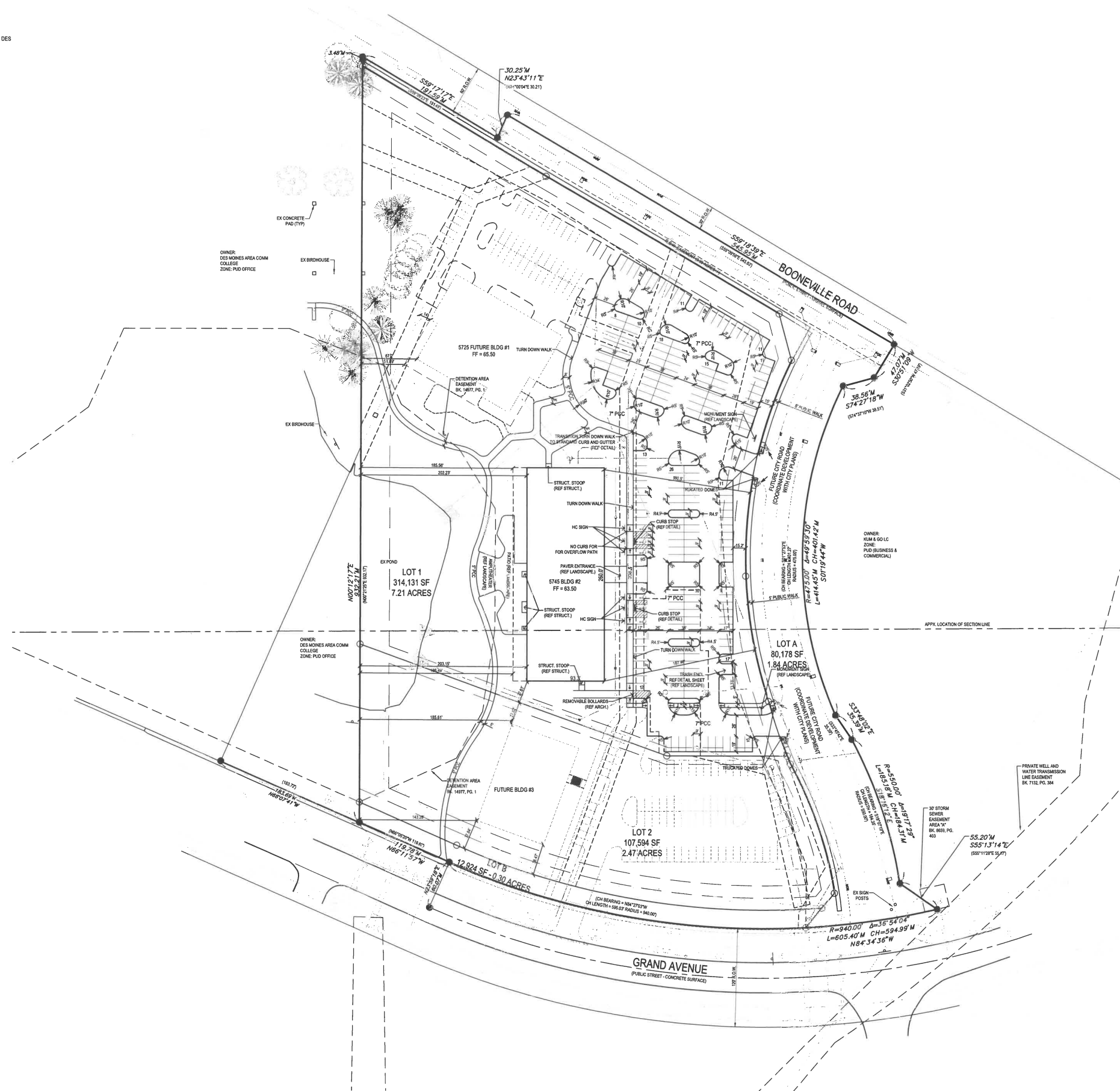
**SITE IMPROVEMENTS  
THE OAKS ON GRAND**  
5745 RACCOON RIVER DR  
WEST DES MOINES, IA 50266

CONSTRUCTION SET

Substance No.: 0589  
Date: 29 APRIL 2021  
Revisions: 1

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5/6/2021 10:16:56 AM - M:\LAND PROJECTS\2018\18075- OAKS ON GRAND\DWG\DEMO.DWG  
4/2/2021 3:48:03 PM - 181 3603569 The Oaks on Grand.dwg Date of Issue: 3/11/2021

**GENERAL NOTES:**  
1. NEW CITY ROADWAY PER PLAN, COORDINATE CONSTRUCTION OF SITES ACCESS POINTS.  
2. ALL PUBLIC SIDEWALKS TO BE 2" PCC UNLESS OTHERWISE NOTED. TO BE INSTALLED PER WEST DES MOINES CITY STANDARDS.



**SITE IMPROVEMENTS  
THE OAKS ON GRAND**  
5745 RACCOON RIVER DR  
WEST DES MOINES, IA 50266

CONSTRUCTION SET

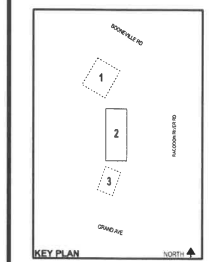
Substance No.: 0569  
Date: 29 APRIL 2021  
Revisions: 1/2/21, 3/2/21, 4/2/21

LAYOUT PLAN

C2.1

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M-LAND PROJECTS 2018/18/2019 - OAKS ON GRAND/NO. 1 LAYOUT.DWG  
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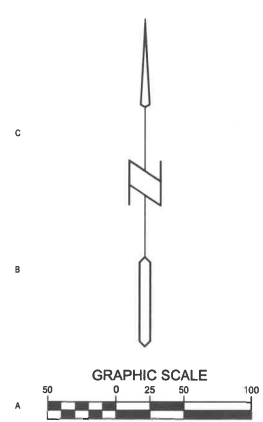
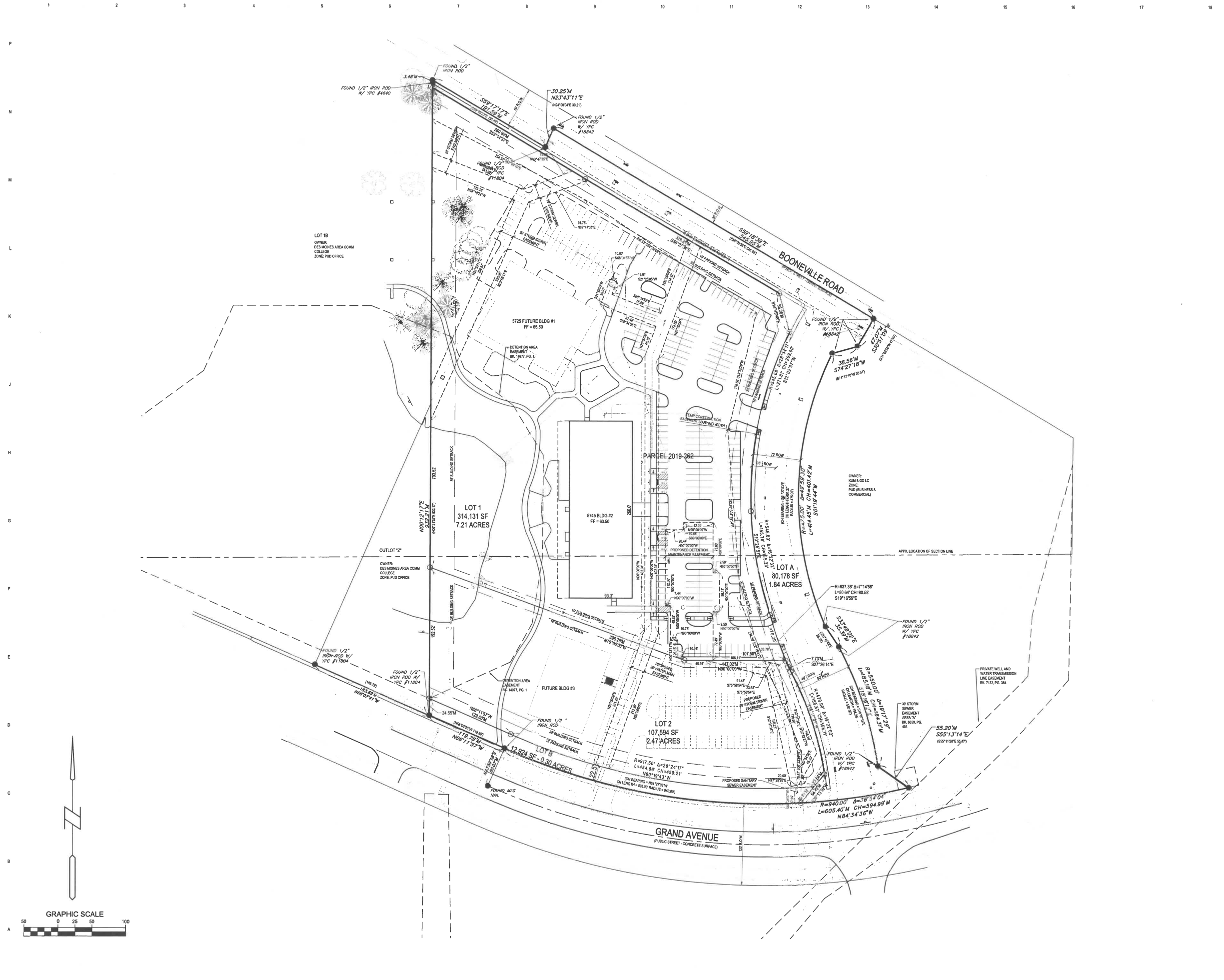
**SITE IMPROVEMENTS  
THE OAKS ON GRAND**  
5745 RACCOON RIVER DR  
WEST DES MOINES, IA 50266

CONSTRUCTION SET  
Substance No.: 0569  
Date: 29 APRIL 2021  
Revisions:

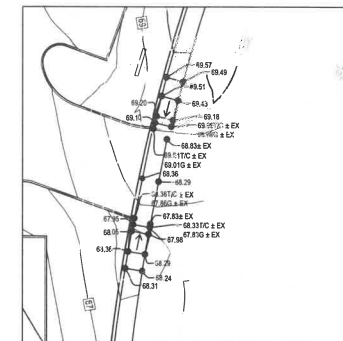
LOT LAYOUT PLAN

C2.2

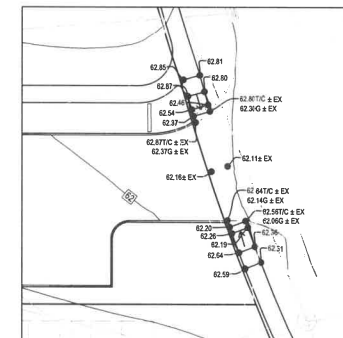
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M-LAND PROJECTS 2018/18/25 - OAKS ON GRAND/NO.2 LAYOUT/DWG  
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BIM 2020/05/08 The Oaks on Grand Site Plan.rvt



NORTH SITE ACCESS ADA DETAIL  
SCALE: 1" = 20'



SOUTH SITE ACCESS ADA DETAIL  
SCALE: 1" = 20'

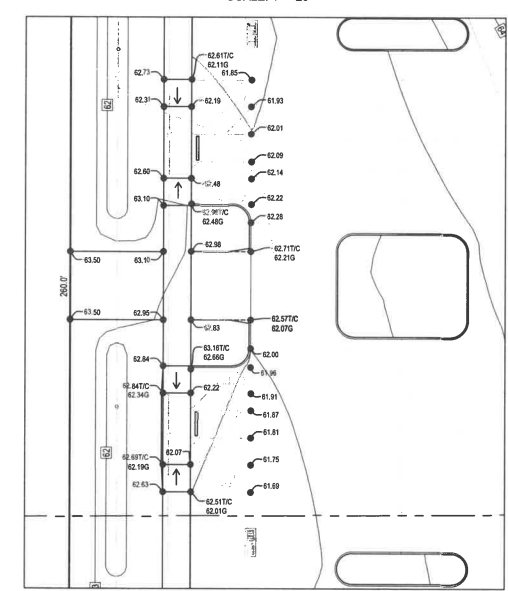


- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 6" OF SOIL ON ALL DISTURBED AREAS.
  2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 6" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
  3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
  4. TOPSOIL IS DEFINED AS: FERTILE, FRABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS, REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER, ACIDITY RANGE (PH) OF 5.5 TO 7.5, CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

- EARTHWORK NOTES:**
1. THE TOTAL AMOUNT IMPORT NEEDED: 34,896 CY (USING 1.25 FILL FACTOR)
  2. THE ABOVE QUANTITY IS USED FOR ESTIMATE PURPOSES ONLY. SITE CONDITIONS WILL DICTATE ACTUAL IMPORT NEEDED. VOLUME CALCULATIONS DO NOT TAKE INTO CONSIDERATION SPOOLS GENERATED FROM PROPOSED STRUCTURES.

- GRADING PLAN NOTES:**
1. THE GRADING SEEN WITHIN THE ROW ON THE GRADING PLAN IS DERIVED FROM KIRKHAM MICHAEL ENGINEERING CITY ROW DESIGN ENGINEERS.
  2. THE GRADING WITHIN THE ROW IS FOR COORDINATION PURPOSES ONLY. ACTUAL FINISHED GRADE IS TO BE COORDINATED WITH CONSTRUCTION OF THE NEW RACCOON RIVER DRIVE.

BUILDING 2 ADA ROUTE DETAIL  
SCALE: 1" = 20'

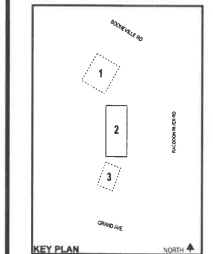


**GRADING LEGEND:**

- EXISTING CONTOUR ——— 150 ———
- PROPOSED CONTOUR ——— 150 ———
- FINISHED GROUND ELEVATION ● 150.50
- TOP OF CURB ELEVATION ● 150.50TC
- GUTTER ELEVATION ● 150.50G
- TOP OF WALL ELEVATION ● 150.50TW
- BOTTOM OF WALL ELEVATION ● 150.50BW
- EDGE OF WALK ELEVATION ● 150.50EW
- TOP OF STAIR ELEVATION ● 150.50TS
- BOTTOM OF STAIR ELEVATION ● 150.50BS

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

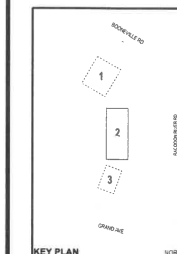
**GRAPHIC SCALE**  
50 0 25 50 100



**SITE IMPROVEMENTS  
THE OAKS ON GRAND**  
5745 RACCOON RIVER DR  
WEST DES MOINES, IA 50266

CONSTRUCTION SET  
Substance No.: 0569  
Date: 29 APRIL 2021  
Revisions: 1

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M-LAND PROJECTS 2018/11/27-21 - OAKS ON GRAND/2021/03/23 GRADING.DWG  
15:02:01 10/19/2021 10:19:03 AM M-LAND PROJECTS 2018/11/27-21 - OAKS ON GRAND/2021/03/23 GRADING.DWG  
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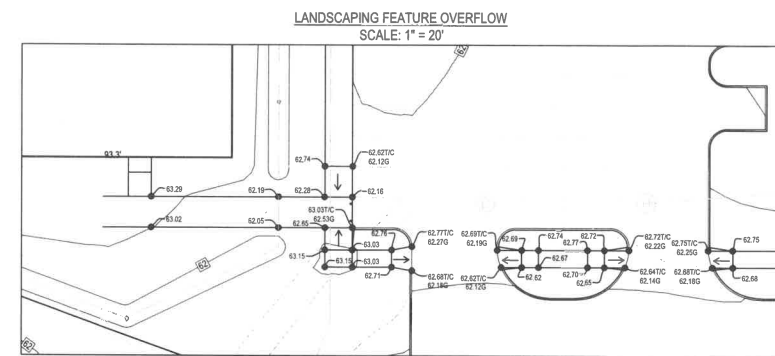
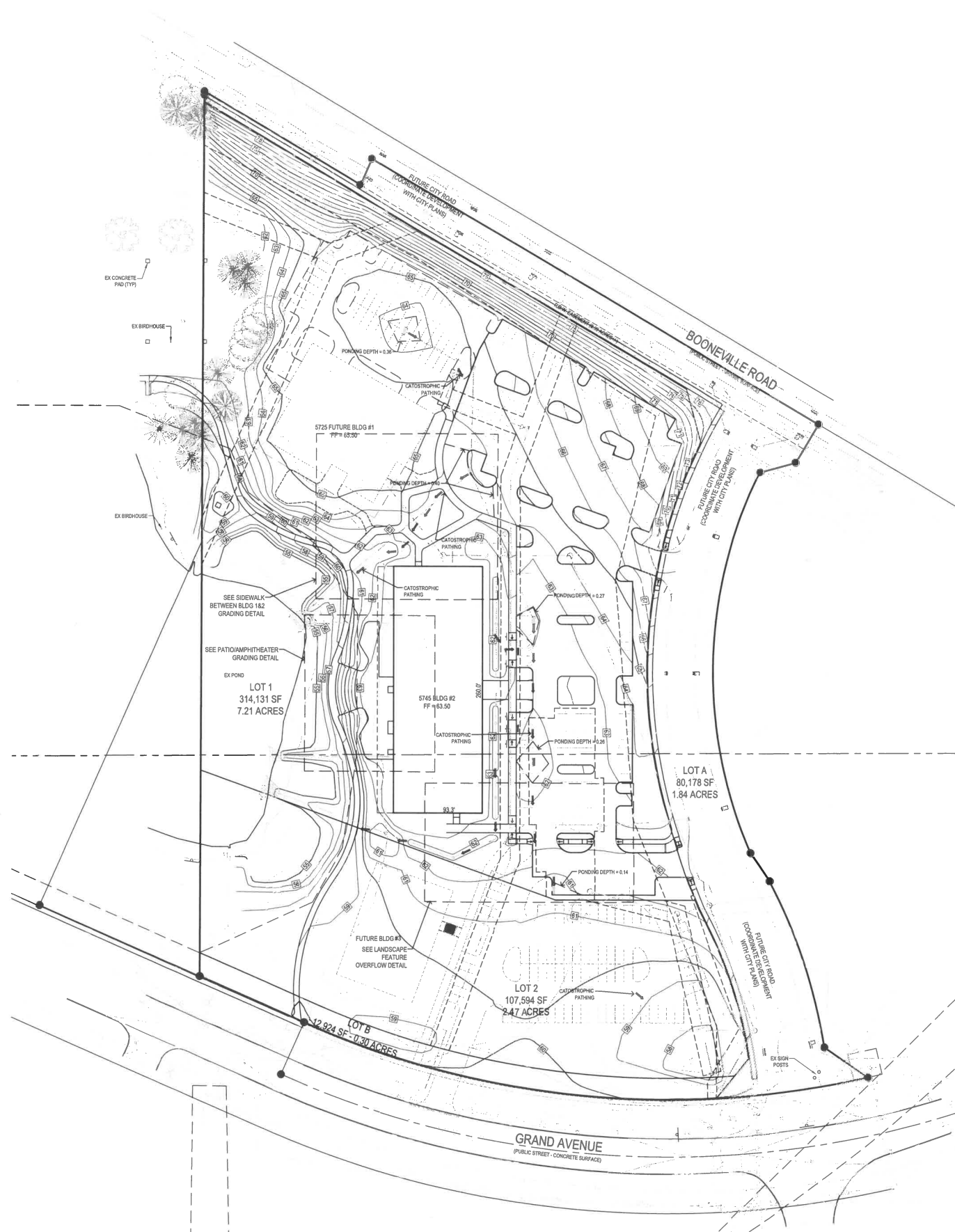
**SITE IMPROVEMENTS  
THE OAKS ON GRAND**  
5745 RACCOON RIVER DR  
WEST DES MOINES, IA 50266

Substance No. 0589

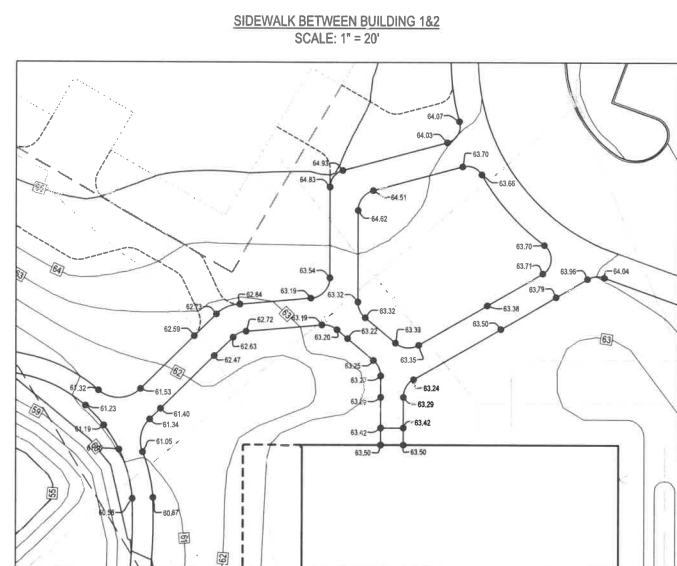
Date: 29 APRIL 2021  
Revisions: 1

GRADING PLAN

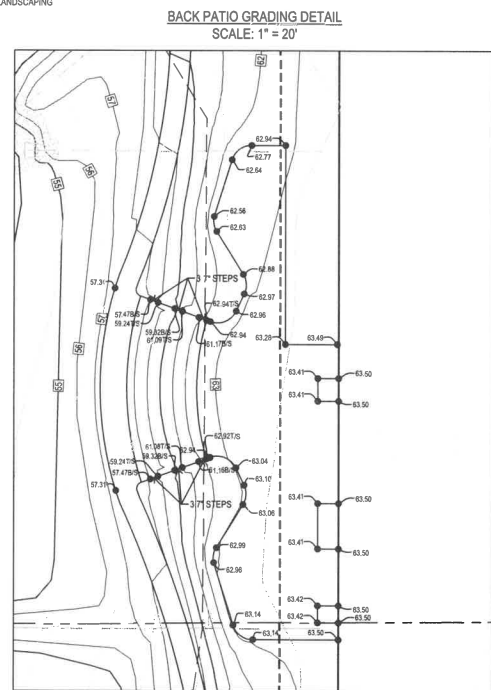
C3.2



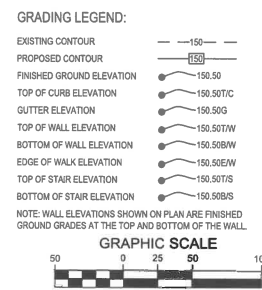
**SIDEWALK DESIGN NOTES:**  
1. INTERIOR SITE SIDEWALKS TO BE 5" PCC UNLESS OTHERWISE DEFINED IN ARCHITECTURAL AND/OR LANDSCAPING PLANS.



**SIDEWALK DESIGN NOTES:**  
1. INTERIOR SITE SIDEWALKS TO BE 5" PCC UNLESS OTHERWISE DEFINED IN ARCHITECTURAL AND/OR LANDSCAPING PLANS.



**PATIO/AMPHITHEATER AND SIDEWALK DESIGN NOTES:**  
1. REFERENCE ARCHITECTURAL AND/OR LANDSCAPE PLANS FOR ACTUAL DESIGN LAYOUT, GRADING, AND MATERIALS OF PATIO/AMPHITHEATER AREA. GRADES AND LAYOUT PRESENTED ON CIVIL PLANS ARE INTENDED TO BE GENERAL FOR MASS GRADING PURPOSES FOR THIS PATIO/AMPHITHEATER AREA.  
2. INTERIOR SITE SIDEWALKS TO BE 5" PCC UNLESS OTHERWISE DEFINED IN ARCHITECTURAL AND/OR LANDSCAPING PLANS.



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 5/6/2021 10:18:31 AM MALAND PROJECTS 201810162675 - OAKS ON GRAND\DWG\GRADING.DWG  
 B101 362105997 The Oaks on Grand\The Oaks on Grand\_SITE\_1818.rvt



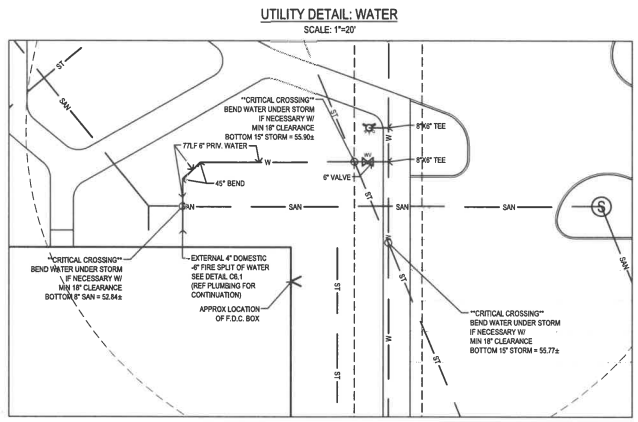
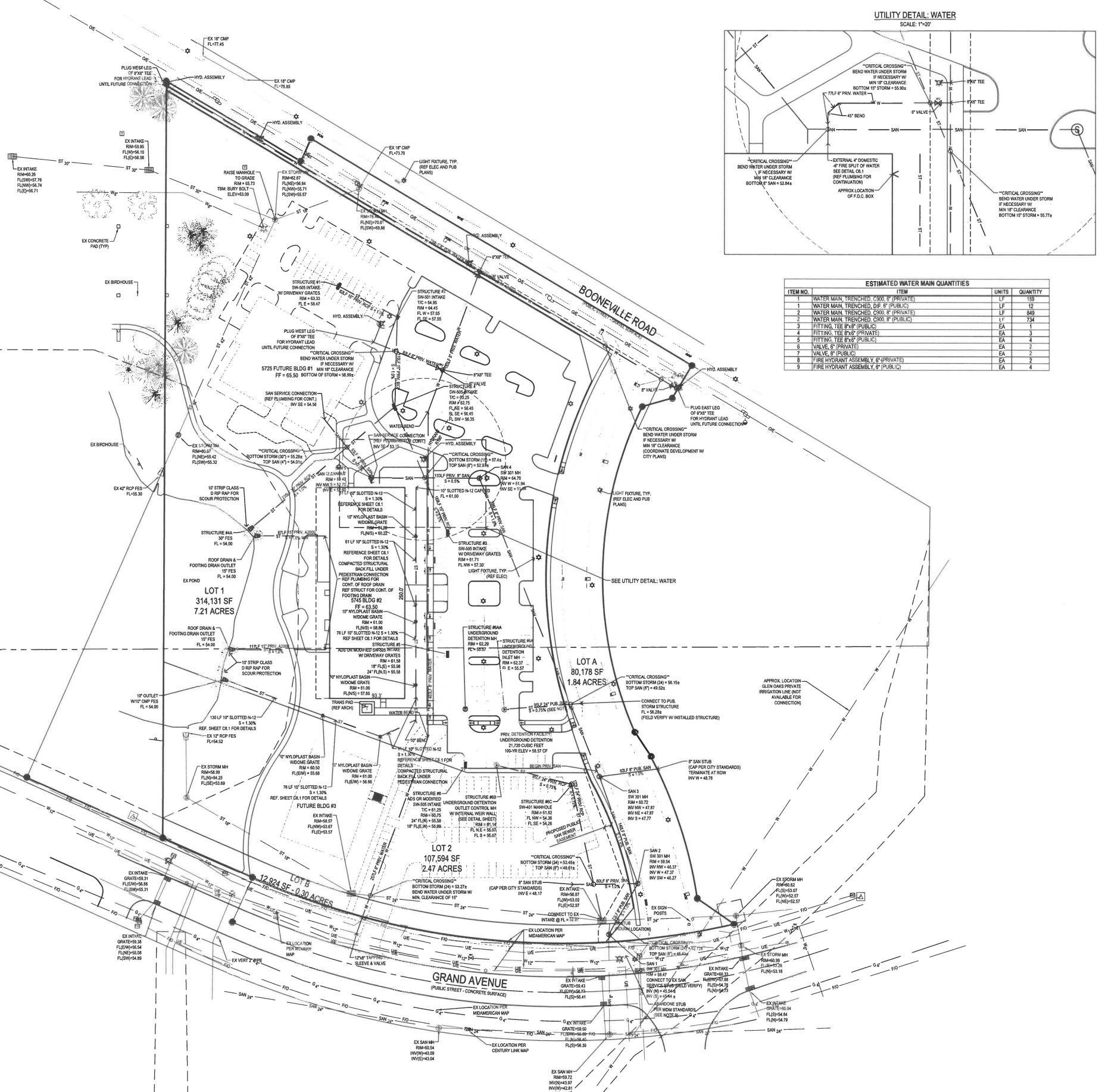
**UTILITY NOTES:**

1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
2. ALL WATER LINES SHALL HAVE A MINIMUM OF 3' OF COVER UNLESS NOTED OTHERWISE.
3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
9. STUB LOCATION COORDINATED W/ CITY STAFF & WDMW. CUT OUT AND REPLACE W/ STRAIGHT PIPE PER CITY OF WDM STANDARDS.
10. ALL PROPOSED FES TO HAVE TRASH GUARDS INSTALLED.
11. COORDINATE PUBLIC STORM SEWER INLET PIPE W/ ROADWAY PLANS.
12. ALL STRUCTURES CALLED OUT AS "MODIFIED" OR "SPECIAL" SHALL BE ENGINEERED BY THE PRECASTER TO ENSURE STRUCTURAL STABILITY. MODIFICATIONS INCLUDE ADDITIONAL WALL LENGTH TO ACCOUNT FOR LARGE PIPE DIAMETERS AND ADDITIONAL WALL WIDTH & BASE DEPTH TO ACCOUNT FOR DEEPER STRUCTURES. ANY AND ALL MODIFICATIONS TO STANDARD STRUCTURES SHALL BE CONSIDERED INCIDENTAL TO BID.
13. ALL HYDRANT LEADS IN THE RIGHT-OF-WAY TO BE DUCTILE IRON PIPE.

**UNDERGROUND DETENTION AS BUILT NOTES:**

UNDERGROUND DETENTION AS-BUILT/SURVEY WILL BE REQUIRED DURING THE COURSE OF CONSTRUCTION OF THE UNDERGROUND SYSTEM. DETENTION AS-BUILT/SURVEY WILL BE COMPLETED BY BISHOP AND SCHEDULED/COORDINATED BY THE CONTRACTOR.

1. CONTRACTOR TO NOTIFY BISHOP ENGINEERING TO SURVEY UNDERGROUND DETENTION AFTER THE EXCAVATION AND INSTALLATION OF THE PERIMETER LINER/FABRIC AND PRIOR TO THE STORMTECH CHAMBERS/ROCK INSTALLATION. NOTIFICATION OF SURVEY MUST BE REQUESTED A MINIMUM 10 BUSINESS DAYS PRIOR TO SURVEY DATE.
2. DURING CONSTRUCTION, CONTRACTOR TO TAKE PICTURES OF STORMTECH CHAMBER INSTALLATION TO VERIFY NUMBER AND LOCATION OF STORMTECH CHAMBERS AND PROVIDE SAID PICTURES TO BISHOP ENGINEERING.
3. CONTRACTOR TO NOTIFY BISHOP ENGINEERING TO SURVEY THE TOP OF ROCK AFTER INSTALLATION. BISHOP WILL ALSO SURVEY OUTLET STRUCTURE TO VERIFY ORIFICE SIZE & LOCATION ALONG WITH OUTFALL STRUCTURE WEIR ELEVATION. NOTIFICATION OF SURVEY MUST BE REQUESTED A MINIMUM 10 BUSINESS DAYS PRIOR TO SURVEY DATE.
4. ONCE SYSTEM CAPACITY & OUTLET INSTALLATION HAS BEEN REVIEWED AND APPROVED BY BISHOP ENGINEERING PE, CONSTRUCTION OF STORMTECH DETENTION CAN BE COMPLETED.



**ESTIMATED WATER MAIN QUANTITIES**

| ITEM NO. | ITEM                                     | UNITS | QUANTITY |
|----------|--|-------|----------|
| 1        | WATER MAIN, TRENCHED, C500, 8" (PRIVATE) | LF    | 159      |
| 2        | WATER MAIN, TRENCHED, DIF, 6" (PUBLIC)   | LF    | 12       |
| 3        | WATER MAIN, TRENCHED, C500, 8" (PUBLIC)  | LF    | 869      |
| 4        | FITTING, TEE, 8" (PUBLIC)                | EA    | 1        |
| 5        | FITTING, TEE, 6" (PRIVATE)               | EA    | 3        |
| 6        | VALVE, 8" (PRIVATE)                      | EA    | 2        |
| 7        | VALVE, 6" (PUBLIC)                       | EA    | 2        |
| 8        | FIRE HYDRANT ASSEMBLY, 8" (PRIVATE)      | EA    | 2        |
| 9        | FIRE HYDRANT ASSEMBLY, 6" (PUBLIC)       | EA    | 4        |

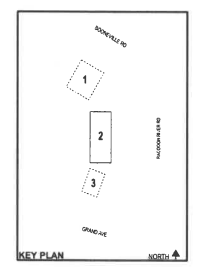
**Substance Architecture**  
 1300 Walnut Street, Suite 201  
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**RAKER RHODES ENGINEERING**  
 4717 Grand Avenue  
 Des Moines, Iowa 50312  
 Ph. 515 277 0275  
 www.rakerrhodes.com

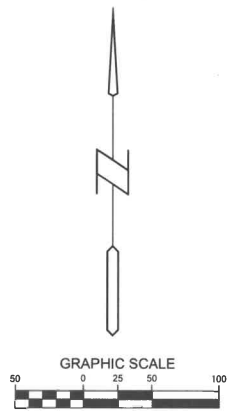
**Mechanical, Electrical, Plumbing Engineers**  
**BAKER GROUP**  
 3800 SE Corporate Woods Drive  
 Ankeny, IA 50015-1501  
 Ph. 515 382 4000  
 www.thebakergroup.com



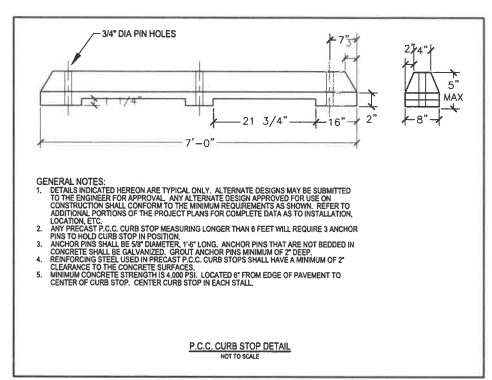
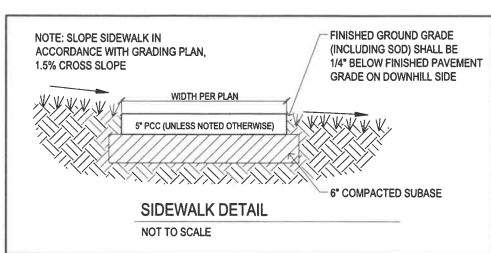
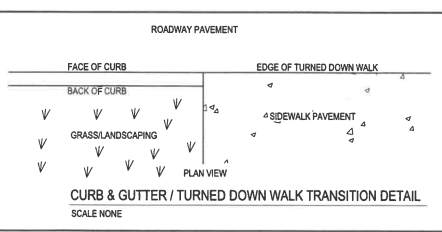
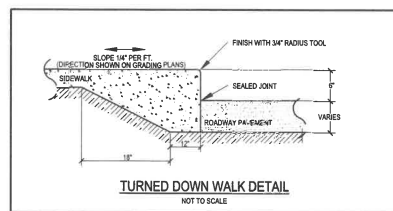
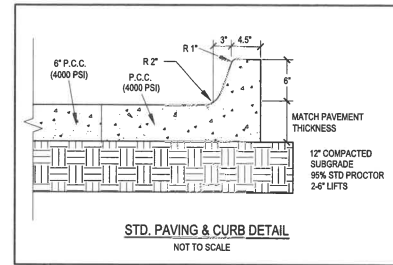
**SITE IMPROVEMENTS**  
**THE OAKS ON GRAND**  
 5745 RACCOON RIVER DR  
 WEST DES MOINES, IA 50266

CONSTRUCTION SET

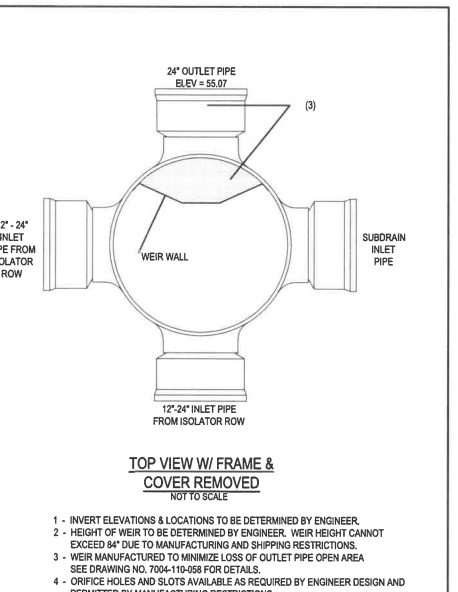
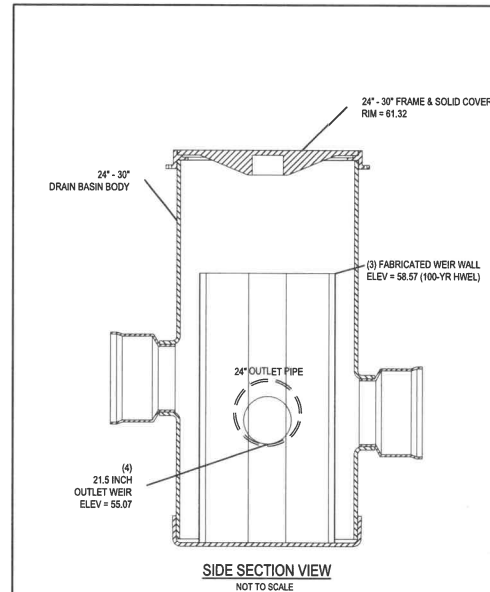
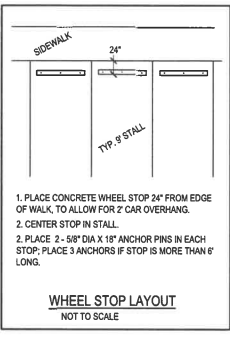
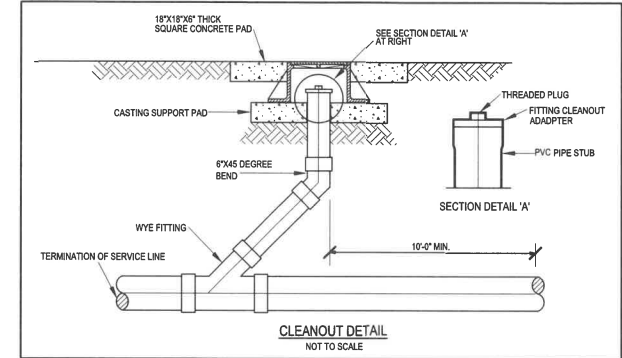
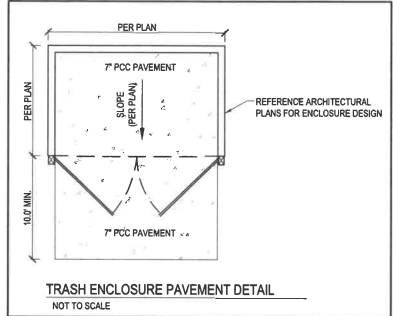
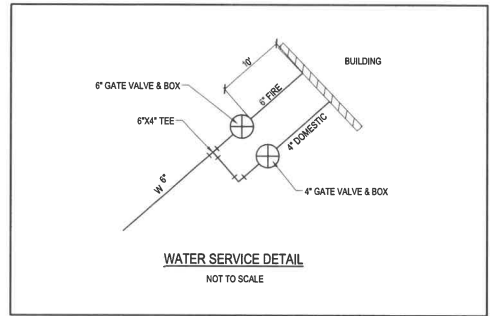
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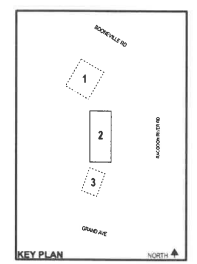
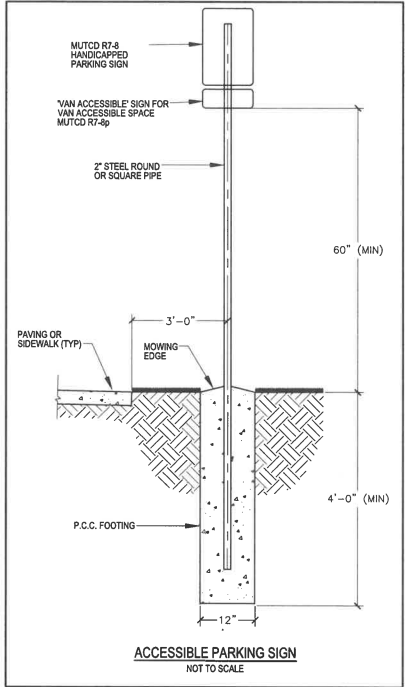
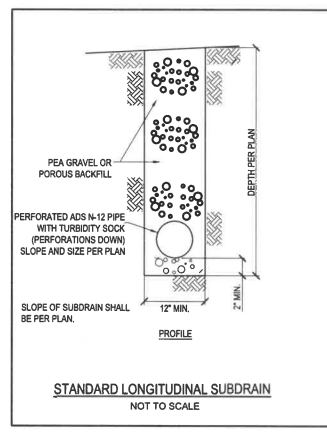
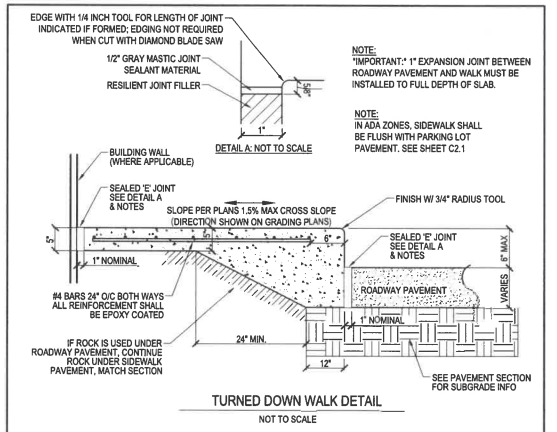
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 5/6/2021 10:32:21 AM M:\LAND PROJECTS\2018\180575 - OAKS ON GRAND\DWG\UTILITY.DWG  
 4/29/2021 3:40:03 PM BIM 360://6899 The Oaks on Grand\The Oaks on Grand\_RIT.rvt



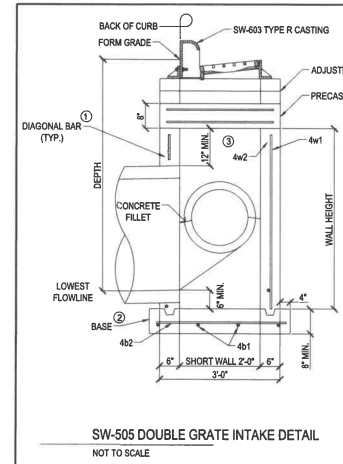
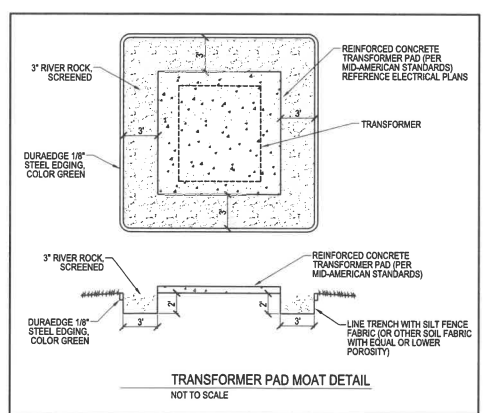
- GENERAL NOTES:
1. DETAILS INDICATED HEREON ARE TYPICAL ONLY. ALTERNATE DESIGNS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL. ANY ALTERNATE DESIGN APPROVED FOR USE BY CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS AS SHOWN. REFER TO ADDITIONAL PORTIONS OF THE PROJECT PLANS FOR COMPLETE DATA AS TO INSTALLATION, LOCATION, ETC.
  2. ANY PRECAST P.C.C. CURB STOP MEASURING LONGER THAN 6 FEET WILL REQUIRE 3 ANCHOR PINS TO HOLD CURB STOP IN POSITION.
  3. ANCHOR PINS SHALL BE 3/4" DIAMETER, 18" LONG, ANCHOR PINS THAT ARE NOT REBIDDED IN CONCRETE SHALL BE GALVANIZED. GROUT ANCHOR PINS MINIMUM OF 2" DEEP.
  4. CLEARANCE TO THE CONCRETE SURFACE OF P.C.C. CURB STOPS SHALL HAVE A MINIMUM OF 2" CLEARANCE TO THE CONCRETE SURFACE.
  5. MINIMUM CONCRETE STRENGTH IS 4,000 PSI. LOCATED 6" FROM EDGE OF PAVEMENT TO CENTER OF CURB STOP. CENTER CURB STOP IN EACH STALL.



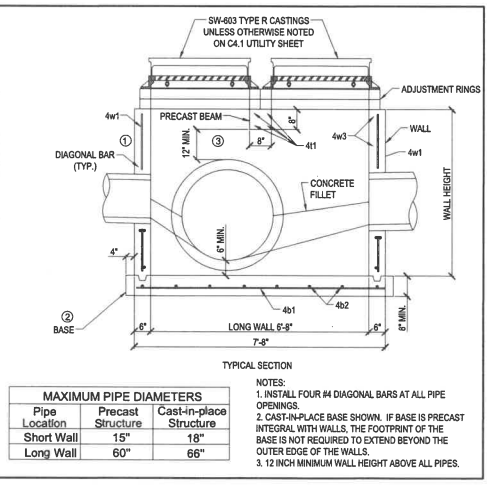
- 1 - INVERT ELEVATIONS & LOCATIONS TO BE DETERMINED BY ENGINEER.
- 2 - HEIGHT OF WEIR TO BE DETERMINED BY ENGINEER. WEIR HEIGHT CANNOT EXCEED 84" DUE TO MANUFACTURING AND SHIPPING RESTRICTIONS.
- 3 - WEIR MANUFACTURED TO MINIMIZE LOSS OF OUTLET PIPE OPEN AREA. SEE DRAWING NO. 7004-110-558 FOR DETAILS.
- 4 - ORIFICE HOLES AND SLOTS AVAILABLE AS REQUIRED BY ENGINEER DESIGN AND PERMITTED BY MANUFACTURING RESTRICTIONS.



|  |   |   |  |
|--|---|---|--|
| <p>THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.</p> <p>62022 01/01/PLAST</p> | <p>DRAWN BY: EBC<br/>DATE: 10-28-03<br/>REVISOR: CCA<br/>DATE: 01-17-12</p> | <p>MATERIAL:<br/>PROJECT NO./NAME:<br/>TITLE:<br/>DWG. NO.: 7004-110-507<br/>REV. F</p> | <p>3130 VERONA AVE<br/>SUPO, IA 50218<br/>PH: (770) 933-2442<br/>FAX: (770) 933-2490<br/>www.nyloplast-usa.com</p> |
|--|---|---|--|



| Mark | Size | Location    | Shape | Count  | Length               | Spacing |
|------|------|-------------|-------|--------|----------------------|---------|
| 4t1  | 4    | Beam        | —     | 4      | 2'-9"                | 4"      |
| 4b1  | 4    | Base        | —     | 4      | 7'-10"               | 10"     |
| 4b2  | 4    | Base        | —     | 8      | 3'-2"                | 12"     |
| 4w1  | 4    | Walls       | —     | 20     | Wall Height minus 4" | 12"     |
| 4w2  | 4    | Long Walls  | —     | Varies | 7'-4"                | 12"     |
| 4w3  | 4    | Short Walls | —     | Varies | 2'-8"                | 12"     |

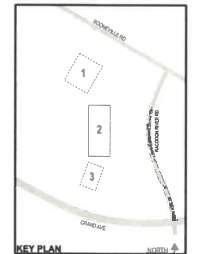


| Pipe Location | Precast Structure | Cast-in-place Structure |
|---------------|-------------------|-------------------------|
| Short Wall    | 15"               | 18"                     |
| Long Wall     | 60"               | 66"                     |

- NOTES:
1. INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS.
  2. CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
  3. 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.

**SITE IMPROVEMENTS  
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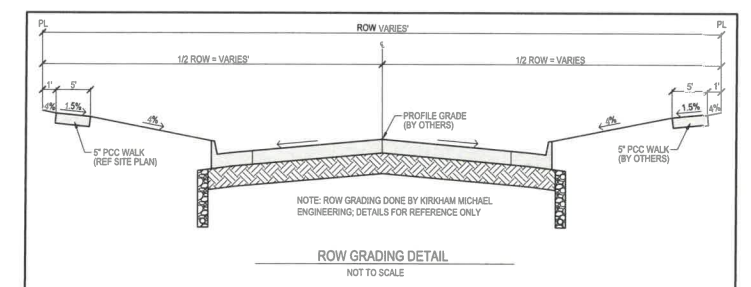
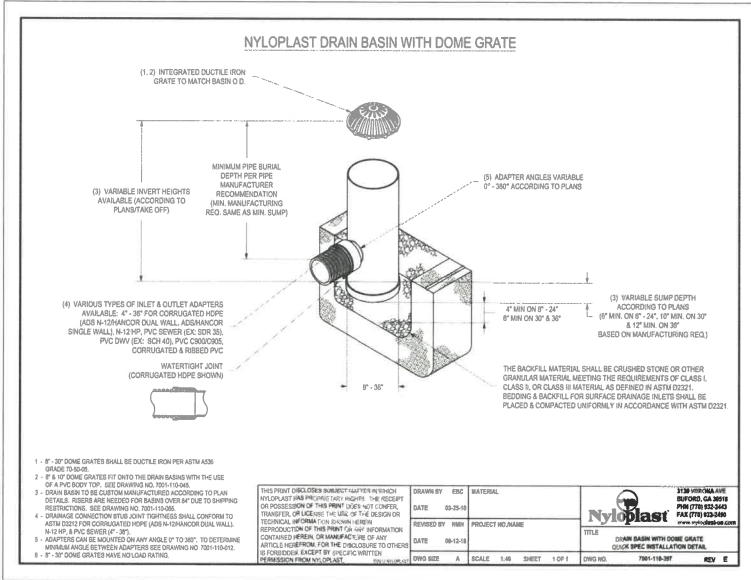
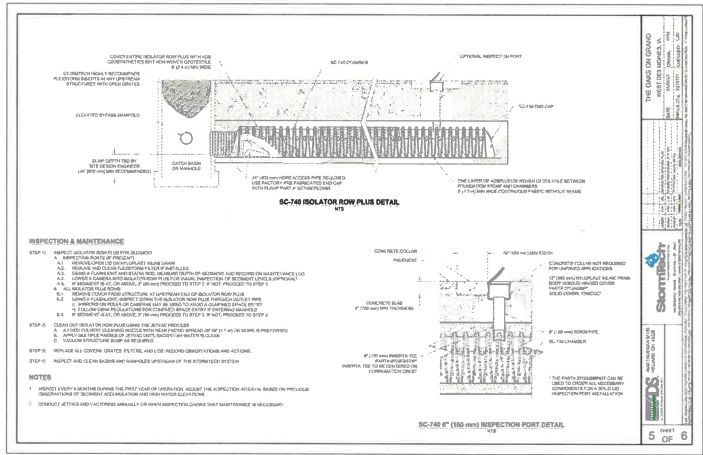
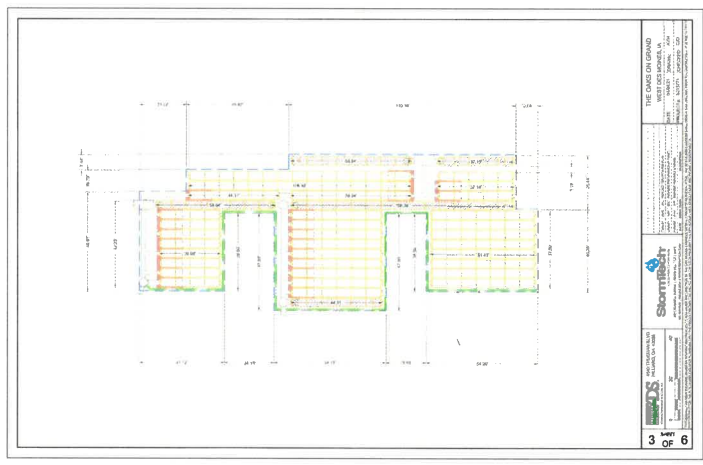
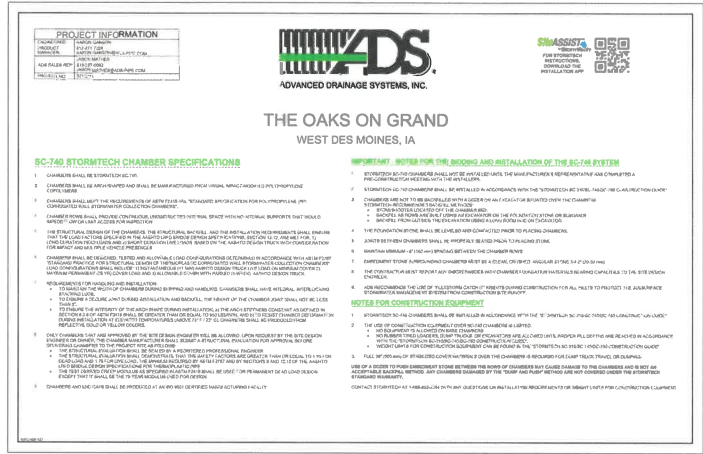
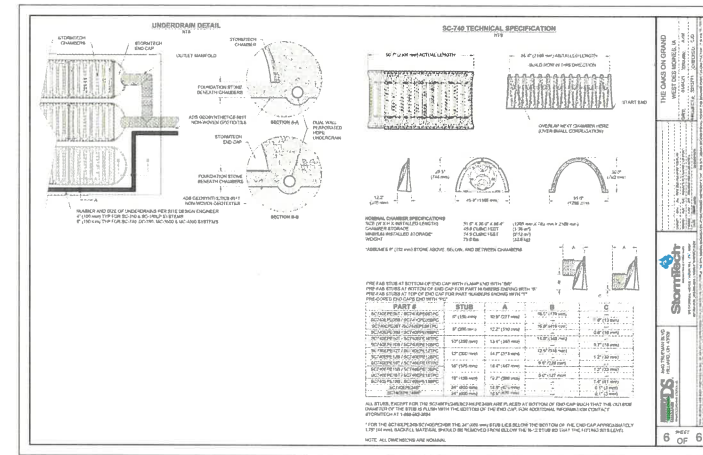
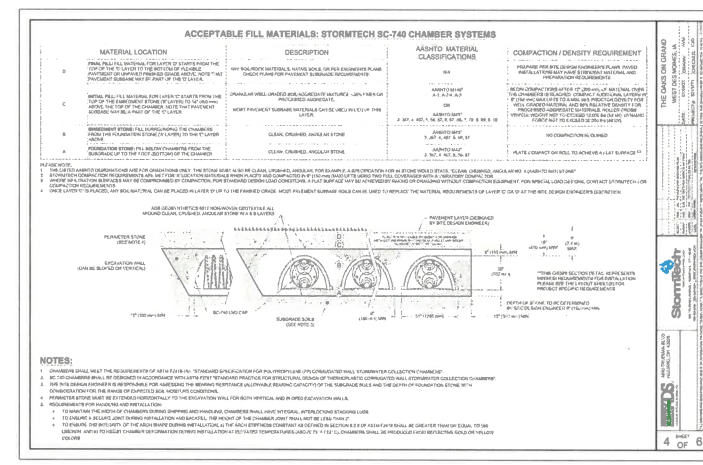
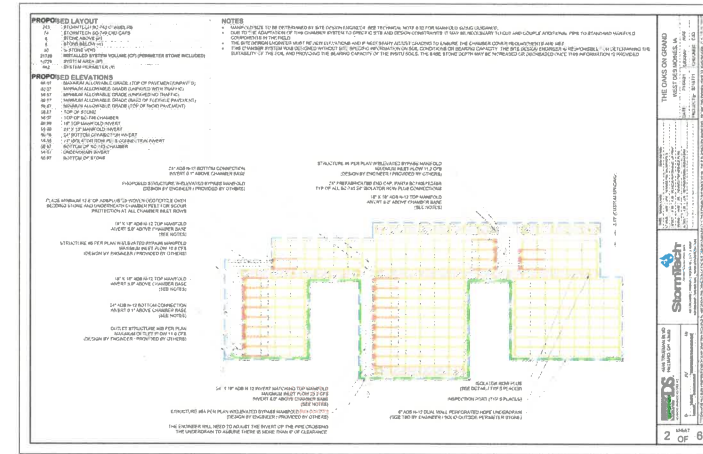
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**SITE IMPROVEMENTS**  
**THE OAKS ON GRAND**  
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Substance No. 0589

Date: 29 APRIL 2021  
Revisions: DATE



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MOUND PROJECTS 2018/180575 - OAKS ON GRAND/NOV03.DWG/REV 1.25 AM 4/21/2021 1:48:52 PM BIM 360://58988 The Oaks on Grand/Title Data on Grand\_SITE\_0181.rvt



# EROSION CONTROL PLAN

## PROPERTY DESCRIPTION:

(WARRANTY DEED BOOK 17876, PAGE 800)  
 A TRACT OF LAND LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M. AND THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M., AND OUTLOT "Y" IN WEST GRAND BUSINESS PARK PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA IS DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID OUTLOT "Y" THENCE SOUTH 59°02'22" EAST, A DISTANCE OF 191.49 FEET ALONG THE NORTH LINE OF SAID OUTLOT "Y"; THENCE NORTH 54°00'04" EAST, A DISTANCE OF 30.21 FEET; THENCE SOUTH 59°09'59" EAST, A DISTANCE OF 545.83 FEET; THENCE SOUTH 31°02'09" WEST, A DISTANCE OF 47.19 FEET; THENCE SOUTH 74°37'10" WEST, A DISTANCE OF 35.51 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 475.00 FEET, A DELTA OF 68°58'41", AN ARC LENGTH OF 414.27 FEET, A CHORD WHICH BEARS SOUTH 01°27'53" WEST HAVING A CHORD LENGTH OF 401.27 FEET; THENCE SOUTH 33°45'42" EAST A DISTANCE OF 35.39 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 550.00 FEET, A DELTA OF 18°17'45", AN ARC LENGTH OF 185.23 FEET, A CHORD WHICH BEARS SOUTH 18°07'19" EAST HAVING A CHORD LENGTH OF 184.35 FEET; THENCE SOUTH 55°11'28" EAST, A DISTANCE OF 58.17 FEET; TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF GRAND AVENUE AS PRESENTLY ESTABLISHED; THENCE ALONG SAID NORTH RIGHT OF WAY ALONG A CURVE TO THE RIGHT ALONG SAID RIGHT AWAY HAVING A RADIUS OF 940.00 FEET, A DELTA OF 33°58'19" AN ARC LENGTH OF 505.45 FEET, A CHORD WHICH BEARS NORTH 04°27'03" WEST HAVING A CHORD LENGTH OF 595.83 FEET; THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY, RIGHT NORTH 66°09'29" WEST, A DISTANCE OF 119.80 FEET TO THE SOUTHEAST CORNER OF OUTLOT "Z" IN SAID WEST GRAND BUSINESS PARK PLAT 1; THENCE NORTH 0°21'25" EAST, A DISTANCE OF 832.17 FEET, TO THE POINT OF BEGINNING, CONTAINING 11.83 ACRES, MORE OR LESS.

**ADDRESS:**  
 5725 5745 RACCOON RIVER DRIVE  
 WEST DES MOINES, IA

**OWNER:**  
 JOE SQUITY LLC  
 ATTN: JON GALLOWAY (515) 297-6200  
 POB 7502  
 URBANDALE, IOWA 50223

## SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
 DATUM = NAD 83, IOWA SOUTH  
 BENCHMARK DATUM = CITY DATUM, ZONE 14RCS-8

**POINT #9000**  
 NORTHING = 7470164.49  
 EASTING = 1848022.82  
 ELEVATION = 62.24  
 DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

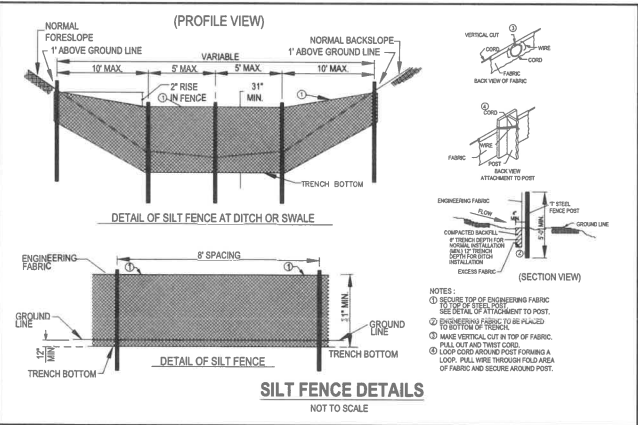
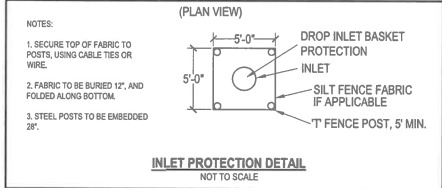
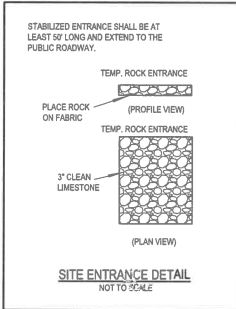
**POINT #9001**  
 NORTHING = 7470397.41  
 EASTING = 1848042.36  
 ELEVATION = 74.74  
 DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

**POINT #9002**  
 NORTHING = 7470551.37  
 EASTING = 1848122.35  
 ELEVATION = 73.38  
 DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

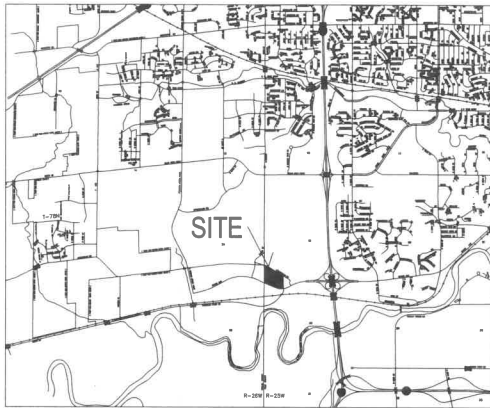
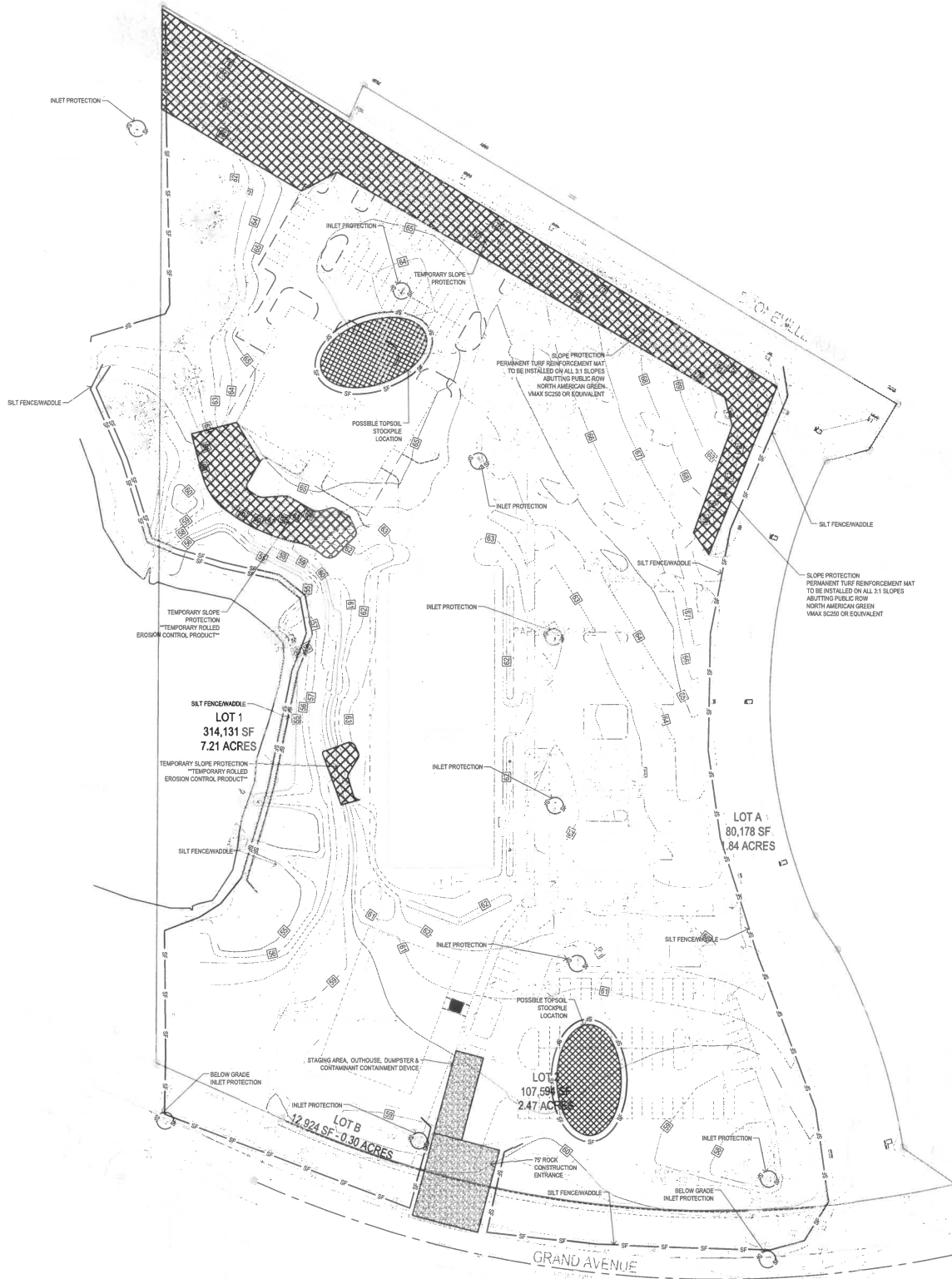
**POINT #9003**  
 NORTHING = 7470221.45  
 EASTING = 1841036.50  
 ELEVATION = 60.78  
 DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

**POINT #9004**  
 NORTHING = 7470091.82  
 EASTING = 1848032.91  
 ELEVATION = 60.58  
 DESCRIPTION: SET 3/4" IRON PIPE W/ RPC

**ON-SITE TBM:**  
 BURY IRON ON HYDRANT LOCATED NEAR THE NW CORNER  
 OF PROJECT SITE  
 ELEVATION=63.09



**UTILITY NOTE:**  
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



## EROSION CONTROL NOTES:

- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES. ADDITIONAL DETAILS AND NOTE INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A BIDDING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

## EROSION CONTROL REMOVAL NOTES:

- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STAKEPPES.

## LEGEND:

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- - - - - SILT FENCE
- SAN - SANITARY SEWER
- ST - STORM SEWER
- W - WATER LINE
- G - GAS LINE
- UE - UNDERGROUND ELECTRIC
- OE - OVERHEAD ELECTRIC
- TELE - TELEPHONE LINE
- FIO - FIBER OPTIC
- CATV - CABLE TV
- ⊙ - STORM MANHOLE
- ⊙ - CURB INTAKE
- ⊙ - SURFACE INTAKE
- ⊙ - FLARED END SECTION
- ⊙ - SANITARY MANHOLE
- ⊙ - CLEANOUT
- ⊙ - FIRE HYDRANT
- ⊙ - SPRINKLER
- ⊙ - IRRIGATION CONTROL VALVE
- ⊙ - WATER MANHOLE
- ⊙ - WELL
- ⊙ - WATER VALVE
- ⊙ - WATER SHUT OFF
- ⊙ - YARD HYDRANT
- ⊙ - ELECTRIC MANHOLE
- ⊙ - ELECTRIC METER
- ⊙ - ELECTRIC RISER
- ⊙ - ELECTRIC VAULT
- ⊙ - POWER POLE
- ⊙ - TRANSFORMER POLE
- ⊙ - LIGHT POLE
- ⊙ - ELECTRIC JUNCTION BOX
- ⊙ - ELECTRIC PANEL
- ⊙ - TRANSFORMER
- ⊙ - GROUND LIGHT
- ⊙ - GUY WIRE
- ⊙ - ELECTRIC HANDHOLE
- ⊙ - GAS METER
- ⊙ - GAS VALVE
- ⊙ - AIR CONDITIONING UNIT
- ⊙ - TELEPHONE RISER
- ⊙ - TELEPHONE VAULT
- ⊙ - TELEPHONE MANHOLE
- ⊙ - TRAFFIC SIGNAL MANHOLE
- ⊙ - FIBER OPTIC RISER
- ⊙ - FIBER OPTIC FAULT
- ⊙ - CABLE TV RISER
- ⊙ - SIGN



Substance Architecture

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 www.substancearchitecture.com

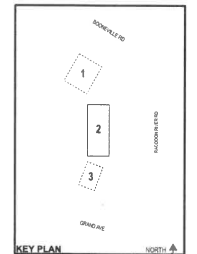
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**SITE IMPROVEMENTS**  
**THE OAKS ON GRAND**  
 5745 RACCOON RIVER DR  
 WEST DES MOINES, IA 50266

Substance No.: 0589

Date: 29 APRIL 2021

Revision:

EROSION CONTROL PLAN

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION**

**NO. PZC-21-030**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations, of the West Des Moines Municipal Code, the applicant and property owner, JCG Equity, L.L.C., request approval of the Oaks on Grand Preliminary Plat for that property located at 5725, 5745 & 5785 Raccoon River Drive and legally described in attached Exhibit 'B' for the purpose of subdividing the approximately 12-acre property into 2 lots for office development and 2 street lots for dedication to the City; and

**WHEREAS**, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, applicant and property owner, JCG Equity, L.L.C., requests phased approval of Oaks on Grand Site Plan for that property located at 5725, 5745 & 5785 Raccoon River Drive for the purpose of allowing implementation of footings and foundations and private utilities only related to the construction of a 2 story, 48,000 square foot office building; and

**WHEREAS**, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the comprehensive plan and city code.

**WHEREAS**, the Site Plan complies with findings stated in the applicable provisions of Title 9, Chapter 1, Subsection 8, the comprehensive plan and city code.

**NOW, THEREFORE**, the Plan and Zoning Commission of the City of West Des Moines recommends that City Council approve the Preliminary Plat (PP-005027-2021) and phased Site Plan, (SP-005028-2021), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on May 24, 2021.

\_\_\_\_\_  
Erica Andersen, Chair  
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on May 24, 2021, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

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