

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: May 24, 2021

ITEM: The Preserve Estates Plat 2, West side of SW Grand Prairie Parkway, south of the Raccoon River – Approve a Preliminary Plat to create 26 lots for Single Family Residential development, 3 outlots and 1 street lot – Raccoon River Land Development Co., L.L.C. – PP-005025 -2021

Resolution: Approval of Preliminary Plat

Background: Paul Clausen with Civil Engineering Consultants, on behalf of the applicant and property owner, Raccoon River Land Development Co., L.L.C., requests approval of a Preliminary Plat for the approximately 33-acre property generally located on the west side of SW Grand Prairie Parkway, south of the Raccoon River. The applicant proposes to subdivide the property into 26 lots for single-family detached residential development, two (2) outlots for storm water detention, one (1) outlot for cultural resources, and one (1) street lot to be dedicated to the city.

Staff Review & Comment:

- **Financial Impact:** There is no City funding of this subdivision plat; however, there is staff time for processing of development application and inspections during construction.
- **Key Development Aspects:**
 - **Outlot Y:** Outlot Y is located directly adjacent to Lots 9 and 10 within this plat. This outlot is being reserved for the protection and preservation, in perpetuity, of a culturally significant area on the site. The Homeowners Association documents will outline the maintenance requirements and associated responsibilities of this outlot.
 - **60' Landscape Buffer:** A 60' landscape buffer is proposed to be located along SW Grand Prairie Parkway adjacent to this plat. This buffer will be implemented along the entire length of SW Grand Prairie Parkway adjacent to The Preserve development. The buffer area will consist of deciduous trees and native grasses. Per the Preserve Planned Unit Development Ordinance, that governs this site, no evergreen trees or shrubs of any type are required to be planted in the 60' buffer. The PUD provides that installation of the buffer amenities shall occur prior to acceptance of public improvements associated with the adjacent final plat. If surety is posted for public improvements to allow for approval and recordation of the associated final plat before improvements are constructed and accepted (which allows for the sale of lots and construction of dwellings to commence), the buffer vegetation and amenities shall be installed prior to issuance of any occupancy permit, including temporary occupancy permit for any dwelling within the adjacent final plat. Artwork and signage are permitted within the 60' buffer.
- **Traffic Impact Study Findings:** The proposed development is expected to generate about the same amount of traffic as what was analyzed in previous traffic studies for the area. Modifications to the streets within this plat as indicated in the traffic study have been addressed by the applicant.

- Plat Validity: Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.

Outstanding Issues: There are no outstanding issues.

Plan and Zoning Commission Action:

Date:

Vote:

Recommendation:

Recommendation: Approve the Preliminary Plat subject to the applicant meeting all City Code requirements, and the following condition of approval:

1. No building permits, including footing and foundation permits, for any dwelling within the subdivision shall be issued for this plat until the associated final plat has been approved by the City Council and recorded with Dallas County.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Plan and Zoning Commission	May 24, 2021
City Council	

Staff Report Reviews:

Plan & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	Not reviewed
Recommendation	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



CITY OF WEST DES MOINES STANDARD NOTES

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
 - CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED ON PROJECT.
 - CONTACT BUILDING INSPECTION (515-222-3630) MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH WEST DES MOINES WATER WORKS AND CITY'S CROSS CONNECTION CONTROL CONTAINMENT PROVISIONS.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1247, 54-149B. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH BENTERIA, ENGINEERING TECHNICIAN (515-222-3465) MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- GENERAL NOTES:**
- ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
 - CITY OF WEST DES MOINES, BEN MCALISTER 515-222-3475
 - RACCOON RIVER LAND CO, LLC, C/O KNAPP PROPERTIES - AIMEE STAUDT, 515-222-5225
 - CIVIL ENGINEERING CONSULTANTS, INC 515-276-4004
 - WEST DES MOINES WATER WORKS 515-222-3465
 - LOCATION OF EXISTING FACILITIES AND APPURTENANCES SHOWN ON PLAN ARE BASED ON AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING TO DETERMINE EXACT FACILITIES LOCATIONS. CIVIL ENGINEERING CONSULTANTS, INC. DOES NOT GUARANTEE LOCATION OF EXISTING FACILITIES AS SHOWN, OR THAT ALL EXISTING FACILITIES ARE SHOWN. IT IS CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL PUBLIC AND PRIVATE UTILITY PROVIDERS SERVING AREA, AND IOWA ONE CALL, TO DETERMINE EXTENT AND PRECISE LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION BEGINS.
 - GEOTECHNICAL REPORT IS AVAILABLE BY CONTACTING ENGINEER, CONTRACTOR AND BIDDERS SHALL REFER TO AND FOLLOW RECOMMENDATIONS OF GEOTECHNICAL REPORT PREPARED BY ALLENDER BUTZKE P/N 21021.
 - IF THERE IS DISCREPANCY BETWEEN DETAILED PLANS AND QUANTITIES SUMMARY DETAILED PLANS SHALL GOVERN.
 - CONTRACTOR SHALL VERIFY LOCATION AND PROTECT UTILITIES AND STRUCTURES, DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY CONTRACTOR TO SATISFACTION OF OWNER OR UTILITIES.
 - CONTRACTOR SHALL BACKFILL AROUND UNDERGROUND UTILITIES IN 6-INCH LAYERS TO 95% STANDARD PROCTOR DENSITY.
 - NOTE: PROVISIONS FOR SHORINGS AND BRACING OF DEEP EXCAVATIONS ARE REQUIRED BY O.S.H.A.
 - CONTRACTOR SHALL RECONNECT ALL FIELD TILE INTERCEPTED DURING CONSTRUCTION.
 - AT LEAST ONE WITHIN PUBLIC ROW ADJUSTMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, CONTRACTOR SHALL CONTACT WDM ENGINEERING SERVICES (BEN MCALISTER 515-222-3475) TO OBTAIN APPLICABLE CITY PERMITS AS NECESSARY.
 - ALL CONSTRUCTION WITHIN PUBLIC ROW/ADJUSTMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL WITH WEST DES MOINES ADDENDA.
 - ALL PUBLIC SEWERS CONSTRUCTED AS PART OF PLAT ARE TO BE TELEVIEWED BY CITY OF WEST DES MOINES AS PART OF FINAL INSPECTION. CONTACT PUBLIC SERVICES DEPARTMENT (MIKE COUGHLON 222-3480) TO SCHEDULE TELEVIEWING. PROVIDE MINIMUM OF 48 HOURS NOTICE.
 - TRAFFIC CONTROL SHALL BE PER MUT.C.D. SPECS.
 - COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
 - LANE CLOSURE NOTICES MUST BE SUBMITTED TO CITY OF WEST DES MOINES PUBLIC SERVICES FOR APPROVAL MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
 - CONTRACTOR SHALL COORDINATE WITH OTHER PROJECTS IN AREA.
 - LOTS 'A' SHALL BE DEEMED TO BE WEST DES MOINES FOR STREET PURPOSES.
 - NO RESIDENTIAL DRIVEWAY ACCESS WILL BE PERMITTED DIRECTLY TO SW GRAND PRAIRIE PARKWAY.
 - HOMES 8,000 SQUARE FEET AND LARGER REQUIRE FIRE SPRINKLER SYSTEM TO BE INSTALLED.
 - ALL OUTLOT 'Y' TO A PRIVATE STORM WATER FACILITIES BASEMENT.
 - ALL HANDICAP ACCESS RAMP AND LANDINGS SHALL BE CONSTRUCTED AS PART OF THE PUBLIC IMPROVEMENTS (SHADED).
 - THE SIDEWALK ADJACENT TO OUTLOT 'Y' SHALL BE CONSTRUCTED AS PART OF THE PUBLIC IMPROVEMENTS (SHADED).
 - AN ACCESSIBLE ROUTE TO THE CBU'S SHALL BE CONSTRUCTED AS PART OF THE PUBLIC IMPROVEMENTS (SHADED).
 - THE OVERFLOW SIDEWALK SHALL BE CONSTRUCTED AS PART OF THE PUBLIC IMPROVEMENTS (SHADED).
 - THE TRAIL ADJACENT SW GRAND PRAIRIE PARKWAY SHALL BE CONSTRUCTED AS PART OF THE PUBLIC IMPROVEMENTS (SHADED).
 - THE CONSTRUCTION ENTRANCE SHALL BE REMOVED AND SW GRAND PRAIRIE PARKWAY R.O.W. RESTORED PRIOR TO ACCEPTANCE OF PUBLIC IMPROVEMENTS.
 - FOR MAINLINE PAVING, THE CONTRACTOR SHALL SUBMIT THE PCC MIX SOURCE(S) TO THE WEST DES MOINES ENGINEERING SERVICES DEPARTMENT (BEN MCALISTER 222-3475) A MINIMUM OF 24 HOURS PRIOR TO PLACEMENT. THE CONTRACTOR SHALL USE THE SAME PCC MIX SOURCE FOR A MINIMUM OF 500 SQUARE YARDS OF CONTINUOUS PAVING. COMPLY WITH ALL REQUIREMENTS OF THE WASTEWATER RECLAMATION AUTHORITY (WRA) FOR ANY CONNECTION TO WRA FACILITIES.
 - OUTLOT 'Y' SHALL BACKFILL AROUND UNDERGROUND UTILITIES, THE FOLLOWING RESTRICTIONS APPLY TO OUTLOT 'Y':
 - ONLY SOD SHALL BE PLACED WITH NO TILING AND NO IRRIGATION.
 - TOPSOIL MAY BE PLACED IF NEEDED.
 - NO PLANTING TREES, SHRUBS, OR ANY DISTURBANCE OF ANY KIND. THE AREA MAY BE MOWED.
 - LOTS 4-13 MAY BE SUBJECT TO STEEP SLOPE EROSION AS PER ALLENDER BUTZKE ENGINEERS, INC. REPORT P/N 21021 PREPARED ON MAY 6, 2021. BUILDING CONSTRUCTION OR GRADING MODIFICATION IN THE STEEP SLOPE AREAS WILL REQUIRE INDIVIDUAL GEOTECHNICAL ENGINEER SOIL ANALYSIS AND GEOTECHNICAL ENGINEER REVIEW AS PER THE GEOTECHNICAL REPORT.

SANITARY NOTES:

- ALL CONNECTIONS TO EXISTING PUBLIC STRUCTURES NEED TO BE CORE DRILLED.
- ALL PUBLIC SEWER CONSTRUCTED AS PART OF PLAT SHALL BE TELEVIEWED BY CITY OF WEST DES MOINES AS PART OF FINAL INSPECTION. NOTIFY MIKE COUGHLON IN PUBLIC SERVICES AT 222-3480. PROVIDE MINIMUM 48 HOUR NOTICE.
- EXISTING PIPES WITH NEW SERVICES INSTALLED NEED TO BE TELEVIEWED AS PART OF FINAL INSPECTION.
- SANITARY MANHOLE CONE SECTIONS SHALL BE ROTATED TO AVOID PLACING CASTING ON LOT CORNERS OR IN SIDEWALK OR TRAILS.
- RIGID OR FACTORY CONNECTIONS ARE REQUIRED WHERE NEW PIPE IS SCHEDULED TO CONNECT TO EXISTING SANITARY SEWER.
- ALL SANITARY MANHOLES SHALL BE WDM STANDARD.
- FOR DEEP SEWER TRENCHES (GREATER THAN 20') BACKFILL LOWER 10 FEET OF SEWER TRENCH WITH CLEAN CRUSHED ROCK AND VIBRATORY HOEPACK WHILE BEING CONTINUOUSLY MONITORED BY THIELE GEOTECH REPRESENTATIVE. REMAINING UPPER 10' ABOVE TRENCHBOX SHOULD CONSIST OF ENGINEER FILL AND COMPACTED IN CONTROLLED AND TESTED LIFTS. ALLOW FOR WAITING PERIOD BETWEEN SANITARY SEWER INSTALLATION AND PAVING.
- ADDITIONAL SOIL SURCHARGE SHALL BE PLACED OVER DEEP SEWER TRENCHES UPON COMPLETION TO ALLOW SETTLEMENT TO OCCUR WITHIN SEWER BACKFILL AT LEAST 1 TO 2 MONTHS PRIOR TO PAVEMENT CONSTRUCTION.
- STEPS ARE NOT ALLOWED IN SANITARY MANHOLES.

STORM NOTES:

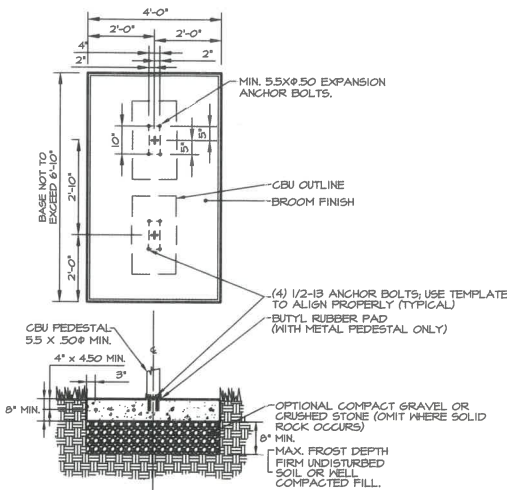
- ALL STORM SEWER CONSTRUCTION SHALL BE BUILT IN ACCORDANCE WITH WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
- ALL FEES TO BE BUILT IN ACCORDANCE WITH WEST DES MOINES STANDARD SPECIFICATIONS FOR SUBDIVISIONS INCLUDING FOOTINGS, TIE LAST THREE SECTIONS AND APRON GUARDS. REFER TO WDM STANDARD DWS 5.13.
- ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO PROPOSED STORM SEWER SYSTEM.
- REFER TO WEST DES MOINES STANDARD SPECS. DRAWING 151T FOR SUMP PUMP DRAIN AND SUBDRAIN CLEANOUT DETAIL.
- SUMP SERVICE LINES WILL BE CONNECTED TO STORM SEWER, NOT SUBDRAIN LINES.
- ALL PUBLIC SEWER CONSTRUCTED AS PART OF PLAT SHALL BE TELEVIEWED BY CITY OF WEST DES MOINES AS PART OF FINAL INSPECTION. NOTIFY MIKE COUGHLON IN PUBLIC SERVICES AT 222-3480. PROVIDE MINIMUM 48 HOUR NOTICE.
- EXISTING PIPES WITH NEW SERVICES INSTALLED NEED TO BE TELEVIEWED AS PART OF FINAL INSPECTION.
- ALL PRIVATE INFRASTRUCTURE SHALL BE OWNED & MAINTAINED BY HOMEOWNERS ASSOCIATION.
- STEPS ARE NOT ALLOWED IN SANITARY MANHOLES.

WATER NOTES:

- ALL WATER MAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH 2021 EDITION OF S.D.P.A.S. AND WEST DES MOINES WATER WORKS GENERAL SUPPLEMENTAL SPECIFICATIONS.
- PIPE MATERIAL: ANKA C400 DRIP W/ TRACER WIRE. NO. 12 AWG SOLID STEEL CORE HARD DRAWN EXTRA HIGH STRENGTH DIRECTIONAL DRILL TRACER WIRE UNDER PIPE. BRING TRACER WIRE TO SURFACE AT FIRE HYDRANTS, VALVES, AND NEW DEAD-ENDS. CONNECT NEW TRACER WIRE TO EXISTING TRACER WIRE WITH WATER-PROOF SPLICER.
- HYDRANTS SHALL BE SET 3 1/2 FEET FROM WATER MAIN EXCEPT WHERE CONFLICTS WITH SIDEWALKS.
- WATER MAIN TO HAVE 5.5 FEET BURY TYPICAL.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH WEST DES MOINES WATER WORKS AND CITY'S CROSS CONNECTION CONTROL CONTAINMENT PROVISIONS.
- ONE WEEK PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT WEST DES MOINES WATER WORKS AT 515-222-3465.
- FOR CROSS CONNECTIONS, WATER MAIN SHALL BE SEPARATED FROM GRAVITY SANITARY SEWER AND STORM SEWER MAINS BY HORIZONTAL DISTANCE OF AT LEAST 10 FEET. WATER MAINS CROSSING SANITARY OR STORM SEWERS SHALL BE LAID TO PROVIDE MINIMUM VERTICAL DISTANCE OF AT LEAST 18 INCHES BETWEEN OUTSIDE OF WATER MAIN AND OUTSIDE OF SEWER MAIN. WHERE STORM SEWER CROSSES OVER OR LESS THAN 18 INCHES TO WATER MAIN, LOCATE ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL OR REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM WATER MAIN.
- WATER SERVICES SHALL BE 2-INCH.
- WEST DES MOINES WATER WORKS RECOMMENDS AGAINST PLANTING STREET TREES AND OTHER LANDSCAPING OVER PRIVATE WATER INFRASTRUCTURE.

PAVING NOTES:

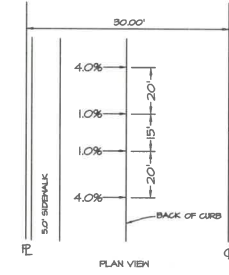
- PROVIDE CURB DROPS FOR SIDEWALKS AT INTERSECTIONS. CURB DROPS FOR SIDEWALKS SHALL MEET ADA REQUIREMENTS.
- IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
- ALL PEDESTRIAN RAMPS TO BE INSTALLED AS PART OF PROJECT SHALL HAVE APPROPRIATE DETECTABLE WARNINGS (FRAGMENTED DOMES). USE RED/CLAY COLORED FIBERGLASS DOMES.
- USE APPROPRIATE MEASURES TO PREVENT SLURRY FROM SANGOUT OPERATIONS FROM ENTERING STORM SEWERS & OPEN DRAINAGEWAYS.
- PAVEMENTS STEEPER THAN 6 PERCENT SHALL BE INSTALLED WITH CUTOFF WALLS AND CROSS DRAINS (MDDI DWS NO. 5.14) OR SHALL BE CHEMICAL STABILIZED HWFLY ASH TO PREVENT EROSION.
- RAMPS UP TO AND INCLUDING COMMON SQUARE ARE TO BE CONSTRUCTED WITH PUBLIC IMPROVEMENTS.
- ALL LONGITUDINAL JOINTS SHALL BE TYPE '1' OR '8D' UNLESS LABELED OTHERWISE. SPOT ELEVATIONS ON DETAILS ARE UNLESS LABELED OTHERWISE.
- CONTRACTOR SHALL FOLLOW PAVEMENT RECOMMENDATIONS OF GEOTECHNICAL REPORT.



- NOTES:**
- EXPANSION BOLTS SHALL BE EQUIVALENT TO THE FOLLOWING PROVIDERS:
 - HILTI HILTI BOLT (www.hilti.com) 1/2-1/2" DIAMETER x 5-1/2" OVERALL LENGTH GALVANIZED, CATALOG #: 000-4353-646 KB II 1/2-5/2, STAINLESS STEEL, CATALOG #: 000-454-744. ENSURE THAT THE MIN. EMBEDMENT IN CONCRETE IS AT LEAST 3-1/2".
 - ITW RAMSET REDHEAD TRUBOLT (www.ramset-redhead.com) GALVANIZED, 1/2" DIAMETER x 7" OVERALL LENGTH, CATALOG NUMBER: H5-12706. ENSURE THAT THE MIN. EMBEDMENT IN CONCRETE IS AT LEAST 4-1/8".
 - RAVIL STUD (www.ravil.com) GALVANIZED, 1/2" DIAMETER x 5-1/2" OVERALL LENGTH, CATALOG NUMBER: T724. ENSURE THAT THE MIN. EMBEDMENT IN CONCRETE IS AT LEAST 4".
 - TOP OF PAD SHALL MATCH FUTURE SIDEWALK ELEVATION W/ MAXIMUM CROSS SLOPE OF 2% TOWARDS STREET.
 - ALL C.B.U.'S SHALL FACE EITHER SOUTH OR EAST TO MINIMIZE FREEZING.

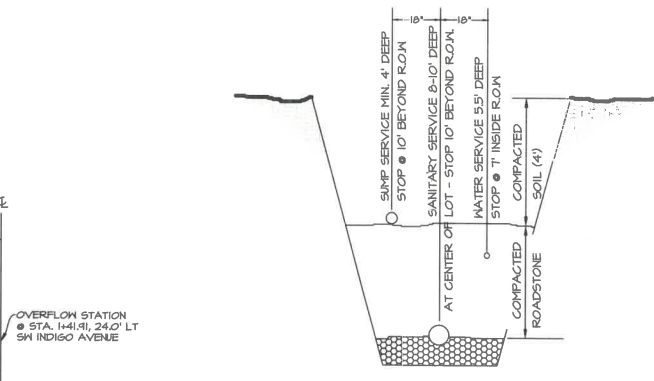
CONCRETE MAILBOX PAD - MULTI-UNIT DETAIL

NOT TO SCALE



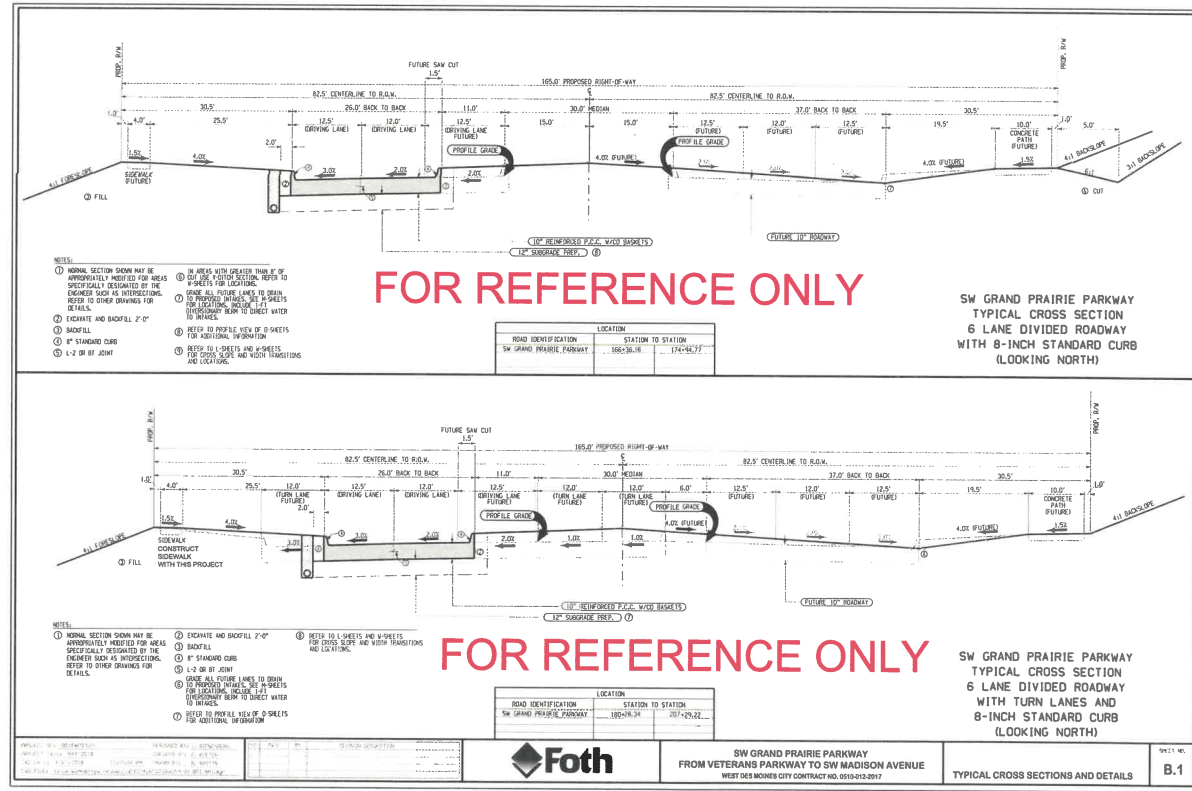
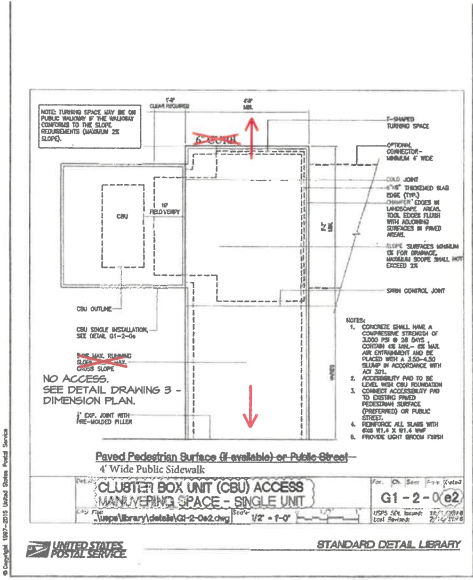
TYPICAL OVERFLOW ROUTE FOR PUBLIC STREET

NO SCALE



TYPICAL 26' B/B CROSS SECTION

NO SCALE



STANDARD DETAIL LIBRARY
G1-2-0 (62)
CLUSTER BOX UNIT (CBU) ACCESS MANHOLES - SINGLE ACCESS

Civil Engineering Consultants, Inc.
2400 86th Street, Unit 12 • Des Moines, Iowa 50322
515.276.4884 • Fax: 515.276.7084 • mail@cecinc.com



PUBLISH DATE: May 12, 2021	DATE OF SURVEY: DEC. XX 2018
DESIGNED BY: PC	DRAWN BY: MEI

PRELIMINARY

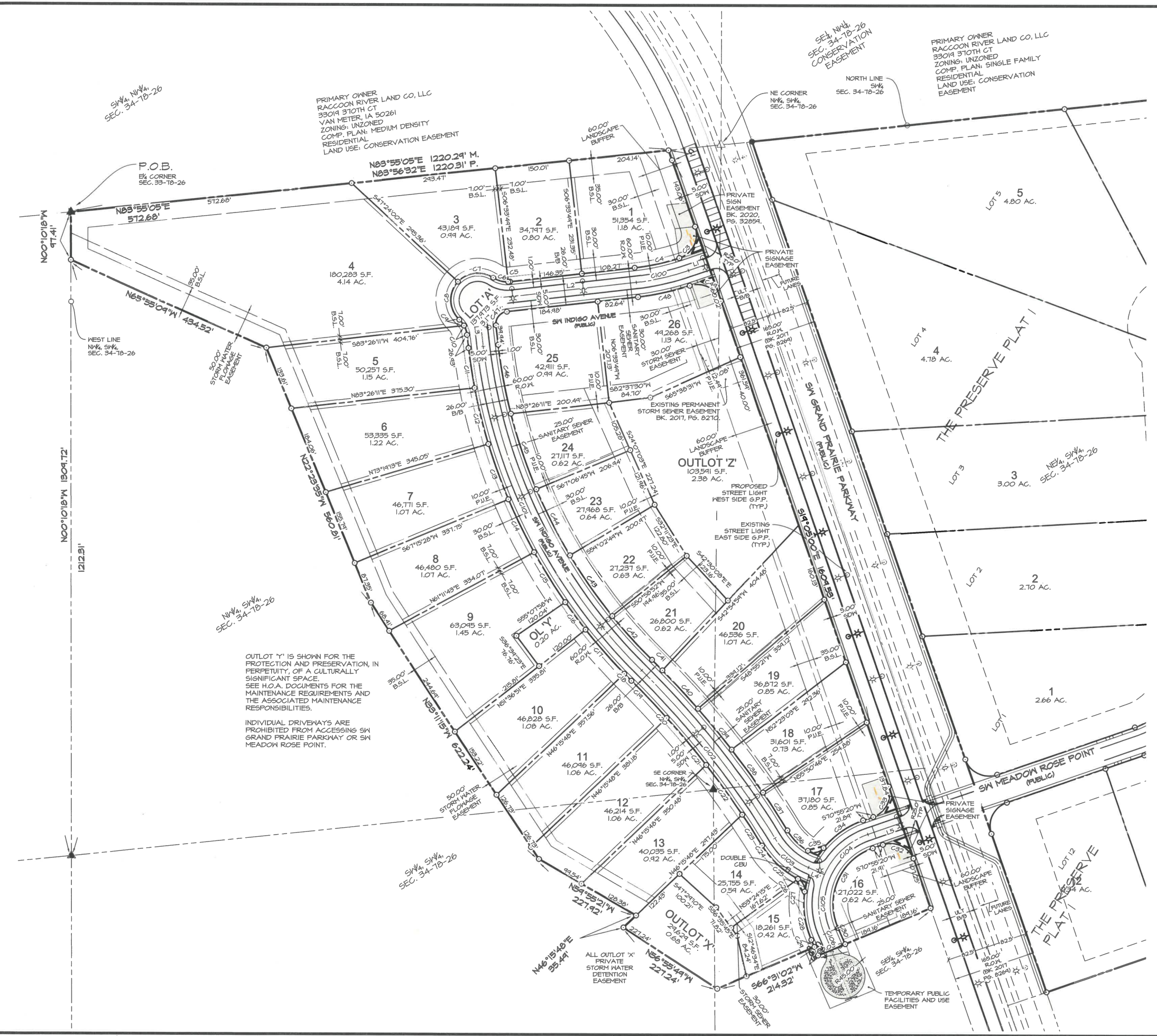
THE PRESERVE ESTATES PLAT 2
SW GRAND PRAIRIE PARKWAY, WEST DES MOINES, IA 50366

NOTES AND INFORMATION

SHEET
02
of
08

Scale: B.1
F0266

PLANT BY: ANSTIN ROEBER - 2021/05/02 - G:\E-FILES\6-000182641_C281 Drawings\Drawings\Pre\Pre\182641_Prelim\182641_Prelim.dwg - ANBI DRAWING D (8400 X 22.00 INCHES) - AUTOCAD PDF (GENERAL DOCUMENTATION) PLOT - CEC-XBS TEST/CTB - PLOT SCALE = 1:1



PROPERTY BOUNDARY

CURVE DATA						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C1	1°12'24"	1017.50'	21.43'	10.71'	21.43'	S19°41'12"E

LOT FRONTAGE

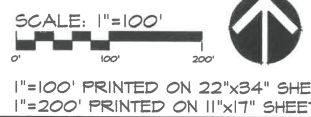
CURVE DATA						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C33	87°52'10"	50.00'	76.68'	48.17'	64.38'	S27°01'43"W
C34	31°41'47"	180.00'	49.58'	51.10'	98.31'	S55°04'26"W
C35	81°14'52"	25.00'	35.45'	21.45'	32.55'	S74°50'58"W
C36	28°18'52"	120.00'	54.30'	30.21'	58.70'	N45°22'10"W
C37	2°56'30"	1780.00'	41.34'	45.70'	41.33'	N32°40'54"W
C38	3°27'43"	1780.00'	107.58'	53.74'	107.53'	N88°53'05"W
C39	3°27'43"	1780.00'	107.55'	53.74'	107.53'	N84°20'48"W
C40	3°25'03"	1780.00'	106.21'	53.12'	106.20'	N42°47'13"W
C41	0°58'18"	1780.00'	30.14'	15.04'	30.14'	N44°58'56"W
C42	6°26'58"	1070.00'	120.44'	60.28'	120.38'	N42°14'36"W
C43	8°03'56"	1070.00'	150.63'	75.44'	150.50'	N34°54'04"W
C44	8°03'56"	1070.00'	150.63'	75.44'	150.50'	N26°55'13"W
C45	8°41'13"	1070.00'	162.23'	81.21'	162.07'	N18°32'38"W
C46	7°58'13"	1070.00'	142.62'	71.42'	142.51'	N10°22'55"W
C47	90°00'00"	25.00'	34.21'	25.00'	35.36'	N88°26'11"E
C48	11°42'01"	530.00'	108.23'	54.30'	108.04'	N71°35'11"E
C49	84°10'44"	50.00'	77.82'	44.24'	70.20'	S63°40'23"E

STREET CENTERLINE

CURVE DATA						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C104	47°21'51"	150.00'	124.27'	65.95'	120.74'	S47°11'21"W

STREET CENTERLINE

LINE TABLE		
LINE #	DIRECTION	LENGTH
L5	S70°55'20"W	71.96'



PRELIMINARY
THE PRESERVE ESTATES PLAT 2
 SW GRAND PRAIRIE PARKWAY, WEST DES MOINES, IA 50266
GEOMETRIC PLAN

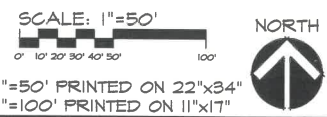
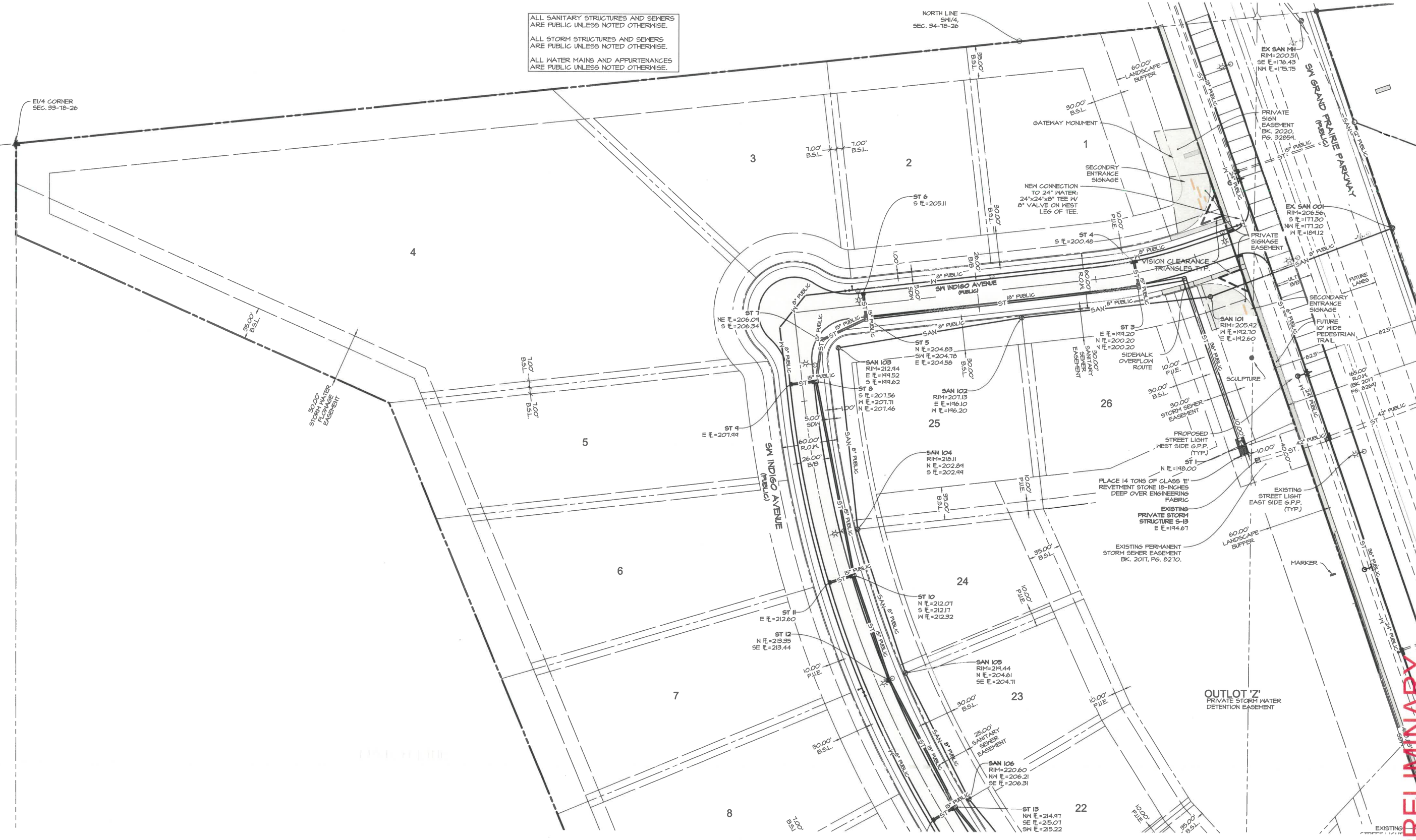
CEC Civil Engineering Consultants, Inc.
 2400 86th Street, Unit 12, Des Moines, Iowa 50322
 515.276.4884 · Fax: 515.276.7084 · mail@cecinc.com

DATE OF SURVEY: _____
 DESIGNED BY: _____
 DRAWN BY: _____

SHEET
03
 OF 23
 E8266

PLAT BY: ANSTH ROEBER - 2021/05/12 - C:\1-FILES\1800018394\1800018394.dwg - ANSI DXPAND 2 (34.00 X 22.00 INCHES) - AUTOCAD PLOT (GENERAL DOCUMENTATION) PLOT - CEC-RES TEST.CTB - PLOT SCALE = 1:1

ALL SANITARY STRUCTURES AND SEWERS ARE PUBLIC UNLESS NOTED OTHERWISE.
ALL STORM STRUCTURES AND SEWERS ARE PUBLIC UNLESS NOTED OTHERWISE.
ALL WATER MAINS AND APPURTENANCES ARE PUBLIC UNLESS NOTED OTHERWISE.



PRELIMINARY

THE PRESERVE ESTATES PLAT 2
SW GRAND PRAIRIE PARKWAY, WEST DES MOINES, IA 50266

UTILITY PLAN - NORTH

SHEET
04
OF
08

ED266

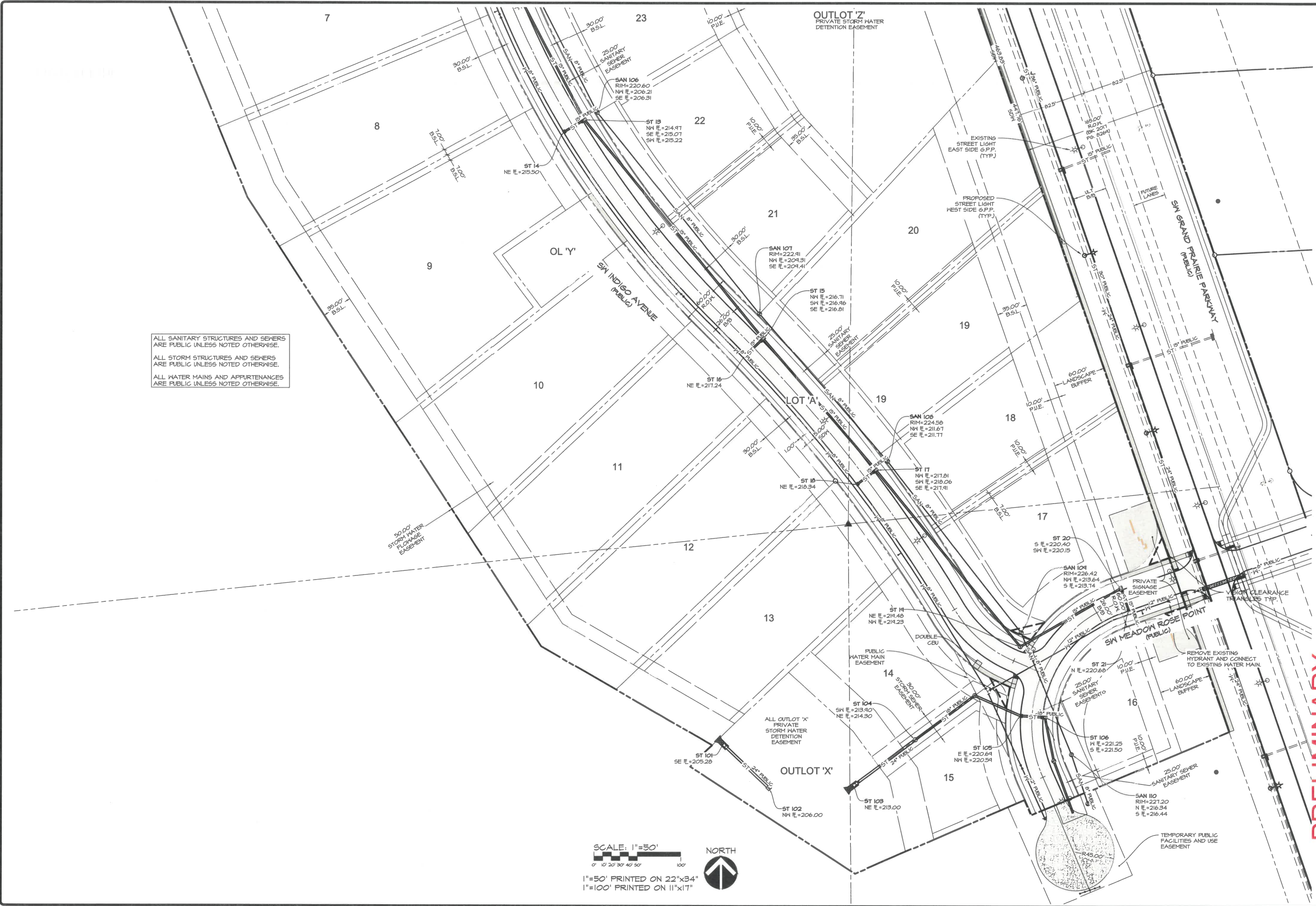
PUBLISH DATE: May 12, 2021

DATE OF SURVEY: DEC. XX 2019
DESIGNED BY: PC
DRAWN BY: MEH

Civil Engineering Consultants, Inc.
2400 86th Street, Unit 12, Des Moines, Iowa 50322
515.276.4884 Fax: 515.276.7084 mail@cecinc.com



PLOT BY: AUSTIN ROEBER - 2021/05/12 - G:\E-FILES\6-000162560_L028 Drawings\Utility\Preserve Estates Plat 2 - SW Grand Prairie Parkway - UTILITY PLAN - SOUTH - 11



ALL SANITARY STRUCTURES AND SEWERS
ARE PUBLIC UNLESS NOTED OTHERWISE.

ALL STORM STRUCTURES AND SEWERS
ARE PUBLIC UNLESS NOTED OTHERWISE.

ALL WATER MAINS AND AFFURTANCES
ARE PUBLIC UNLESS NOTED OTHERWISE.

SCALE: 1"=50'

0' 10' 20' 30' 40' 50'

NORTH

1"=50' PRINTED ON 22"x34"
1"=100' PRINTED ON 11"x17"

PRELIMINARY

THE PRESERVE ESTATES PLAT 2
SW GRAND PRAIRIE PARKWAY, WEST DES MOINES, IA 50266

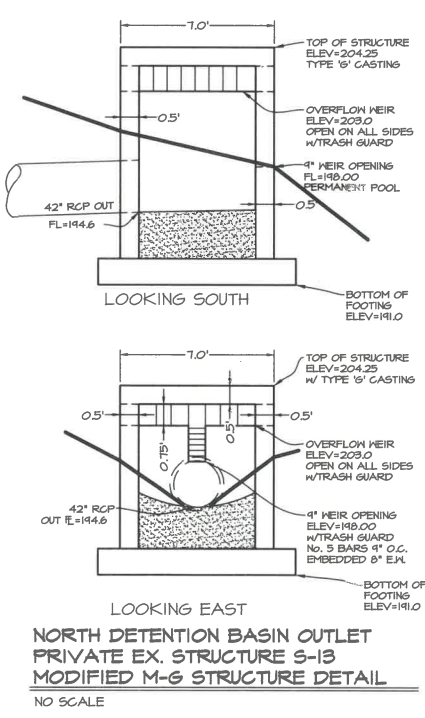
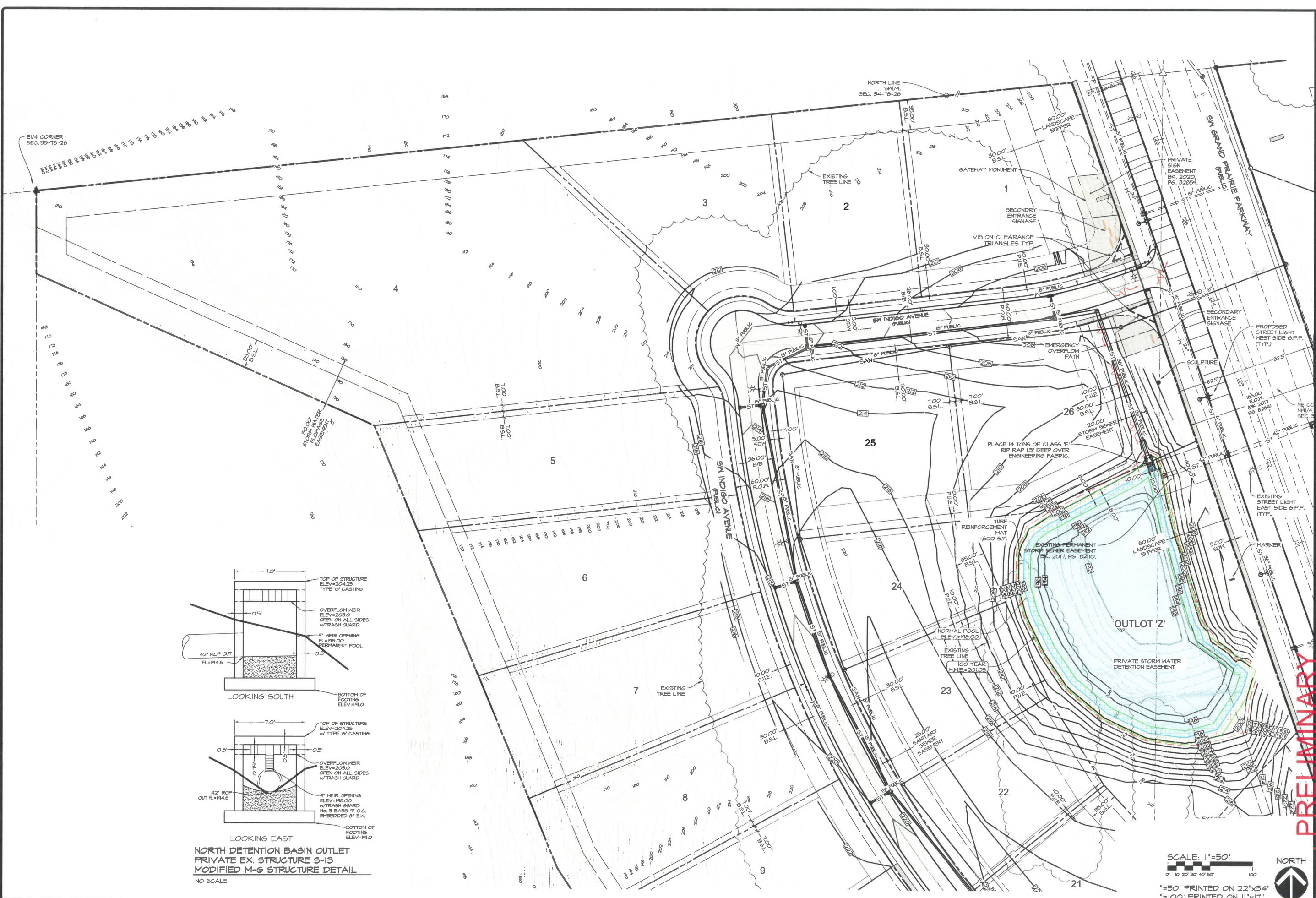
UTILITY PLAN - SOUTH

Civil Engineering Consultants, Inc. **CEC**
2400 86th Street · Unit 12 · Des Moines, Iowa 50322
515.276.4884 · Fax: 515.276.7084 · mail@cecinc.com

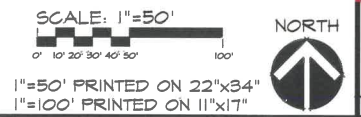
PUBLISH DATE: May 12, 2021	MEH
DATE OF SURVEY: DEC. XX 2014	PC
DESIGNED BY:	MEH
DRAWN BY:	

03
E0266

PLANT BY: AUSTIN ROEBER - 2021/05/12 - G:\E-FILES\4000\50266\2021\50266\50266.dwg Drawing Title: Preliminary File: 50266 - PRELIMINARY - AUTOCAD PLOT (GENERAL DOCUMENTATION) PLOT - CEC-MSB TEST 12/18 - PLOT SCALE = 1/1



NORTH DETENTION BASIN OUTLET
PRIVATE EX. STRUCTURE S-13
MODIFIED M-6 STRUCTURE DETAIL
NO SCALE



PRELIMINARY

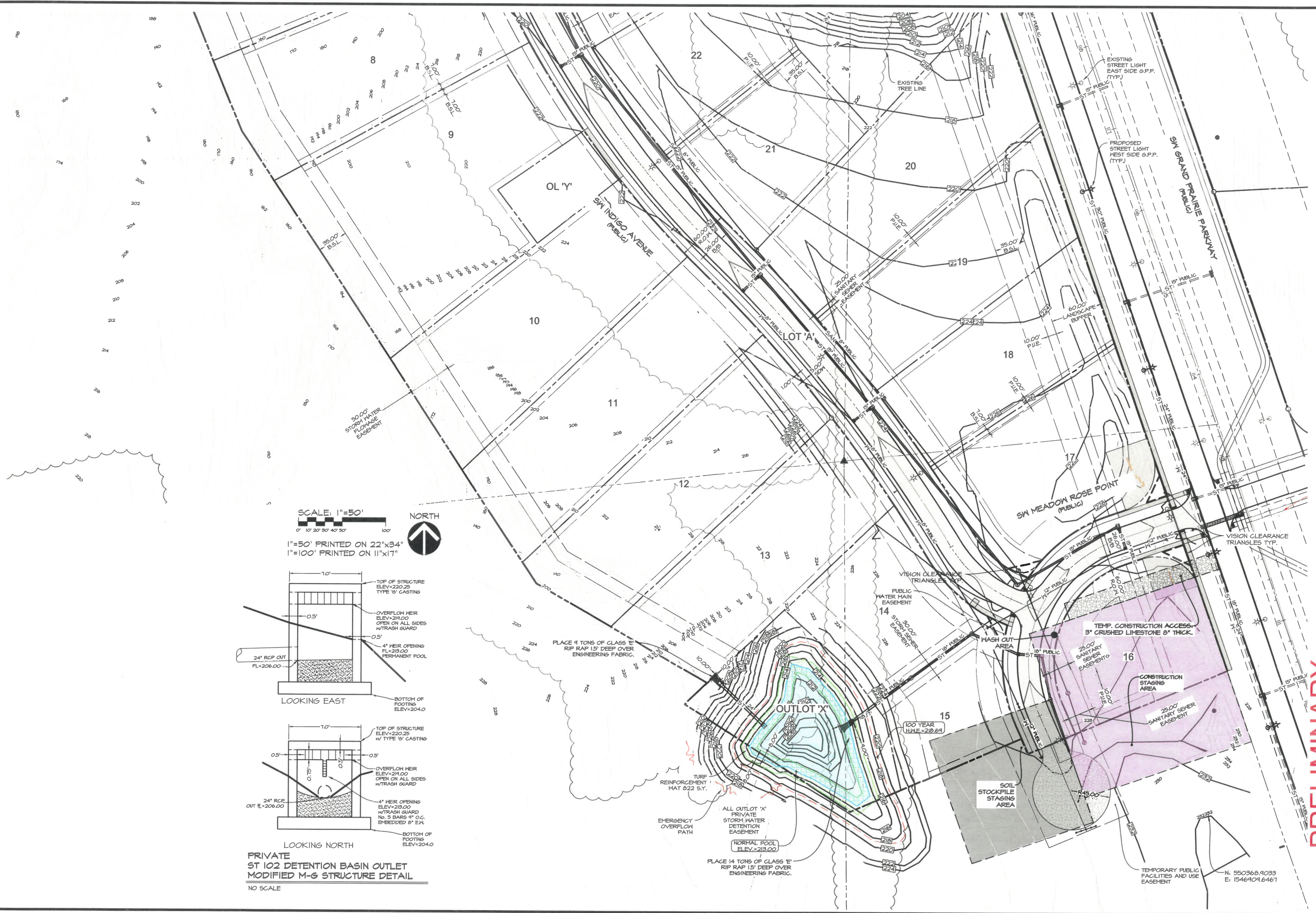
THE PRESERVE ESTATES PLAT 2
SW GRAND PRAIRIE PARKWAY, WEST DES MOINES, IA 50266
GRADING PLAN - NORTH

SHEET
06
OF 08
E0266

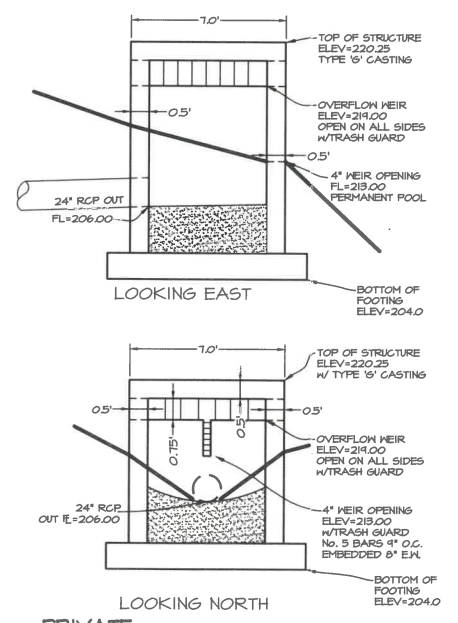
PUBLISH DATE: May 12, 2021
DATE OF SURVEY: DEC. XX 2014
DESIGNED BY: PC
DRAWN BY: MEH

CEC
Civil Engineering Consultants, Inc.
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PLAT BY: AUSTIN ROEBER - 2021/05/12 - G:\E-FILES\5000\50266\50266.dwg - ANS EXPAND D (2400 X 22.00 INCHES) - AUTOCAD PLOT (GENERAL DOCUMENTATION) PLOT - CEC-XB5 TEST/278 - PLOT SCALE = 1/1



SCALE: 1"=50'
0' 10' 20' 30' 40' 50' 100'
NORTH
1"=50' PRINTED ON 22"x34"
1"=100' PRINTED ON 11"x17"



PRIVATE
ST 102 DETENTION BASIN OUTLET
MODIFIED M-6 STRUCTURE DETAIL
NO SCALE

PRELIMINARY

THE PRESERVE ESTATES PLAT 2
SW GRAND PRAIRIE PARKWAY, WEST DES MOINES, IA 50266

GRADING PLAN - SOUTH

SHEET
01
of 08
E8266

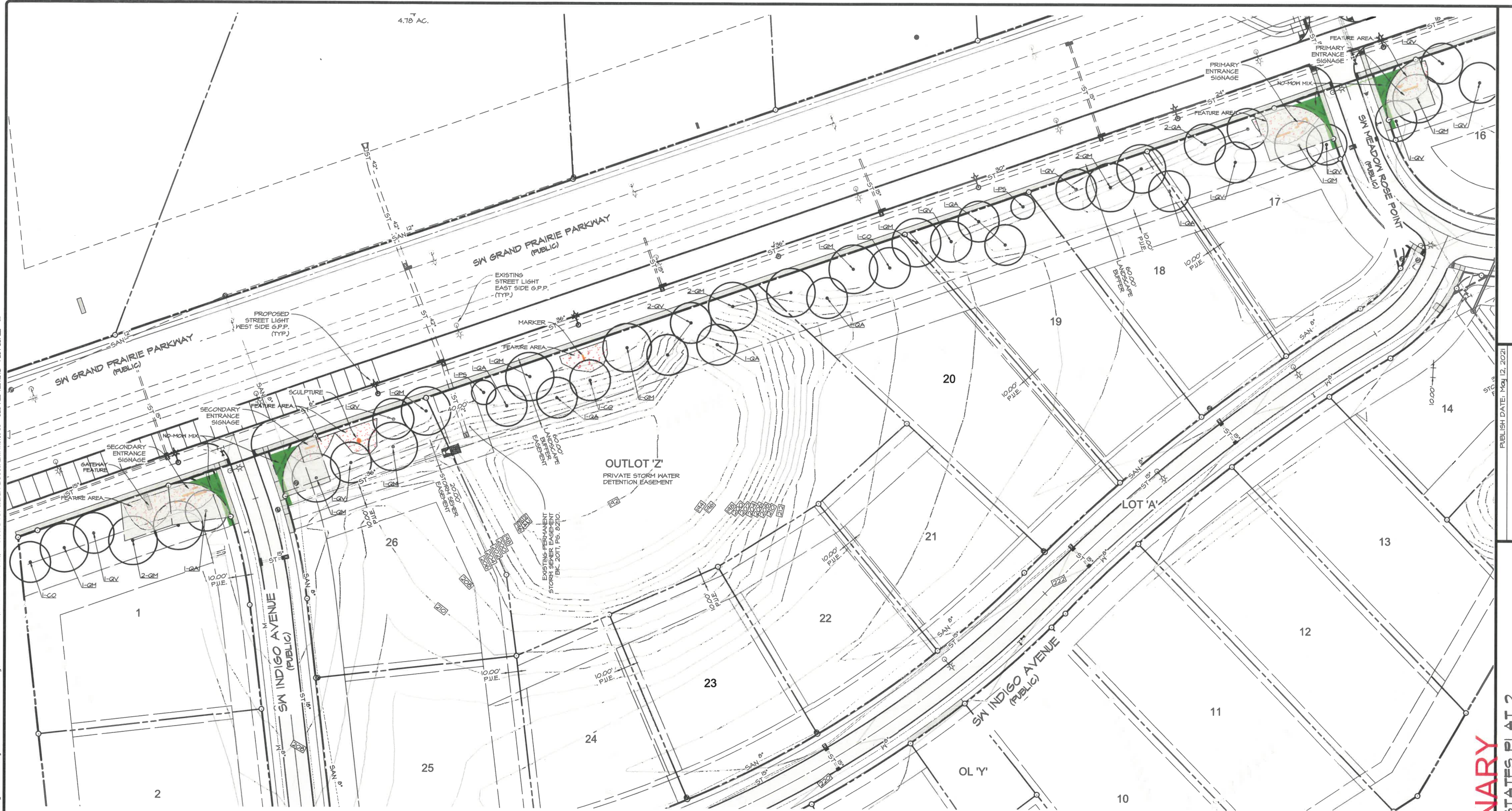
PUBLISH DATE: May 12, 2021

DATE OF SURVEY: DEC. XX 2018
DESIGNED BY: PC
DRAWN BY: MEI

Civil Engineering Consultants, Inc.
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PLOT BY: ANTHONY ROBBERS - 2022/02/12 - G:\E\FILES\40002484\40002484_Landscaping\Plan\Preserve Estates\Preserve Estates.dwg - C:\Users\arobbers\OneDrive\Documents\Preserve Estates.dwg - CEC-NBS TEST SITE - PLOT SCALE = 1/8"



PLANT SCHEDULE

MARK	BOTANICAL NAME	QUAN	SIZE	ROOT TYPE	REMARKS
CO	Carya ovata SHAGBARK HICKORY	4	2"	B&B	MATCHED, SPECIMEN
PS	Prunus serotina BLACK CHERRY	2	2"	B&B	MATCHED, SPECIMEN
QA	Quercus alba WHITE OAK	10	2"	B&B	MATCHED, SPECIMEN
QM	Quercus macrocarpa BUR OAK	16	2"	B&B	MATCHED, SPECIMEN
QV	Quercus velutina BLACK OAK	10	2"	B&B	MATCHED, SPECIMEN

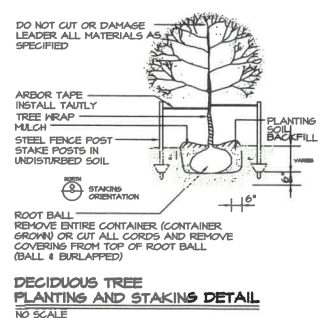
BUFFER REQUIREMENTS

EAST BUFFER
60' LANDSCAPE BUFFER REQUIRES 1 TREE PER 35 FEET EXCLUSIVE OF INTERSECTING R.O.M. AND PUBLIC UTILITY EASEMENTS. BUFFER: 194'-60" ROW=194 FEET / 35' = 30 TREES. PLANTINGS REQUIRED: 30 TREES. PLANTINGS PROVIDED: 30 TREES.

SEED MIXES ARE BY ION EXCHANGE: <https://ionexchange.com> (563)-595-1231 EXCEPT FOR S.W.D.A.S. TYPE I WHICH IS FOR ALL AREA DISTURBED BY THIS CONSTRUCTION OUTSIDE OF 60' LANDSCAPE BUFFER.

RESTORATION FOR DISTURBED 60' BUFFER ZONE:
DRY SITE / SHORT PRAIRIE SEED (GRASS ONLY) MIX PLUS 1 OZ. *Bouteloua curtipendula* PER ACRE. SEEDED AT 19 POUNDS PER ACRE. AREA TO BE VERIFIED. THIS IS FOR THE AREA FROM 60 FEET WEST OF THE PUBLIC SIDEWALK TO 5' WEST OF PUBLIC SIDEWALK.
FEATURE AREAS AT SCULPTURES, MARKERS, GATEWAY FEATURES, ENTRY SIGNAGE (RED DOTS WITHIN A BLACK BOUNDARY) TO BE: DRY SITE / SHORT PRAIRIE SEED MIX PLUS 1 OZ. *Bouteloua curtipendula* PER ACRE. SEEDED AT 19#/AC. VERIFY AREA REQUIRED.

NO-MOW - GROW-LOW LAWN SEED MIX SEEDED AT FIVE (5) POUNDS PER 1000 S.F. AREA TO BE VERIFIED. FIRST 5' WEST OF PUBLIC SIDEWALK/TRAIL EXTENDING TO WEST EDGE OF 60' LANDSCAPE EASEMENT. IT IS ANTICIPATED THAT THE NO-MOW MIX WILL GROW UP TO 12" TALL. IF THE CITY DISTURBS SEEDING AREAS IN THE R.O.M. THE HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR THE RESTORATION OF THE DISTURBED AREAS WITHIN THE R.O.M. THE CITY WILL REPLACE NO-MOW MIX.



SCALE: 1"=50'
0' 10' 20' 30' 40' 50' 100'
1"=50' PRINTED ON 22"x34" SHEET
1"=100' PRINTED ON 11"x17" SHEET



PRELIMINARY

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW HAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

BY: KENT R. ZARLEY, DATE: _____
IOWA REG. NO. 251
MY LICENSE RENEWAL DATE IS: JUNE 30, 2021
PAGES OR SHEETS COVERED BY THIS SEAL:
THIS SHEET ONLY.

PRELIMINARY

THE PRESERVE ESTATES FLAT 2
SW GRAND PRAIRIE PARKWAY, WEST DES MOINES, IA 50266

LANDSCAPE PLAN

SHEET
08
OF
08
ED266

PUBLISH DATE: May 12, 2021

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DRAWN BY:	MEH

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**A RESOLUTION OF THE PLAN AND ZONING COMMISSION
NO. PZC-21-40**

WHEREAS, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, the applicant and property owner, Raccoon River Land Development Co., L.L.C., requests approval of the Preliminary Plat for the purpose of subdividing that approximately 33-acre property generally located on the west side of SW Grand Prairie Parkway, south of the Raccoon River. The applicant proposes to subdivide the property into 26 lots for residential development, 2 outlots for storm water detention, 1 outlot for cultural resources, and 1 street lot to be dedicated to the city; and

WHEREAS, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code.

NOW THEREFORE, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Preliminary Plat (PP-005025 -2021) subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on May 24, 2021.

Erica Andersen, Chair
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on May 24, 2021, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary