

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: May 24, 2021

ITEM: Chase Bank Site Plan, 7160 University Avenue – Approve Site Plan to allow construction of a commercial bank – Fore Right L.C. and West Lakes Commercial LLC – SP-005050-2021

Resolution: Approval of Site Plan

Background: Ed Arp with Civil Engineering Consultants, on behalf of the property owners, Fore Right, L.C. and West Lakes Commercial, LLC, request approval of a Site Plan for the approximately 0.99-acre property generally located at SW corner of intersection of University Avenue and 71st Street. The applicant proposes to construct a one-story approximately 3,300-square foot commercial bank.

Staff Review & Comment:

- **Financial Impact:** No City funding of the project. Staff time for processing of development application and inspections during construction.
- **History:** The property is currently undeveloped. In 2014, the subject property was platted as part of the Hy-Vee West Lakes development plan (PP-002593-2015) and was reserved for future development. Later, in 2017, City Council approved a site plan for commercial development, but the project was never constructed (SP-00003689-2017). A new Preliminary Plat is under review and is being considered at this same meeting to subdivide the property into two lots. One of the lots is for this proposed bank; the other is intended for additional commercial development.
- **Conditions of Approval:** A revised site plan was submitted; however, while staff has not yet had opportunity to fully evaluate it to determine if it addressed previous review comments. Staff requests a condition of approval requiring the applicant address all review comments, including new comments resulting from the latest modifications prior to the City Council's consideration of this site plan.
- **Traffic Impact Study Findings:** A traffic study for this development was completed on April 5, 2021. Key findings are summarized below.
 1. The proposed development is expected to generate about the same amount of traffic as what was analyzed in previous traffic studies for the area. Recommendations for full-build street geometry and traffic control are detailed within the study.
 2. The study gave recommendations that will maintain and enhance circulation within the internal private streets and internal parking lot. Those recommendations have been given to the applicant.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Plan and Zoning Commission Action:

Date: May 24, 2021

Vote:

Recommendation:

Recommendation: Approve the Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The applicant addressing all site plan review comments to staff's satisfaction prior to City Council consideration of this site plan.
2. No occupancy permits, including temporary occupancy shall be issued for this bank building until the associated final plat has been approved by the City Council and recorded with Dallas County.

Lead Staff Member: Bryce C. Johnson

Approval Meeting Dates:

Plan and Zoning Commission	May 24, 2021
City Council: First Reading	

Staff Report Reviews:

Plan & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	N/A
Date(s) Published	N/A
Date(s) of Mailed Notices	N/A

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	4/5/21
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map











PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY – APPROVED PLANS ON FILE WITH THE CITY

- T.O. PARAPET +21'-6"
- T.O. PARAPET +19'-4"
- T.O. PARAPET +17'-0"
- T.O. PARAPET +12'-4"
- T.O. TRIM +10'-10"
- T.O. WINDOW OPENING +10'-3"
- B.O. CANOPY +10'-0"
- T.O. WATER TABLE +3'-6"
- T.O. SLAB / FND 0'-0"



WEST ELEVATION

		
STORE FRONT & CANOPY COLOR: BLACK ANODIZED ALUM.	ACM COLOR: CLEAR ANODIZED ALUM.	CLEAR GLASS
		
CAST STONE CHISELED LIMESTONE - CREAM CORONADO	BRICK COLOR: PLATINUM INTERSTATE BRICKS	BRICK COLOR: MIDNIGHT INTERSTATE BRICKS
		
COLUMN - PAINT COLOR: "CLOUD WHITE" SHERWIN WILLIAMS	BRICK COLOR: IRONSTONE INTERSTATE BRICKS	

- T.O. PARAPET +19'-4"
- T.O. PARAPET +17'-10"
- T.O. PARAPET +17'-2"
- T.O. PARAPET +12'-4"
- T.O. TRIM +10'-10"
- T.O. WINDOW OPENING +10'-3"
- B.O. CANOPY +10'-0"
- T.O. COPING +8'-6"
- B.O. WINDOW OPENING +7'-5"
- T.O. WATER TABLE +3'-6"
- T.O. SLAB / FND 0'-0"



SOUTH ELEVATION



UNIVERSITY AVE. & JORDAN CREEK PKWY
1840 71st Street
West Des Moines, IA 50325

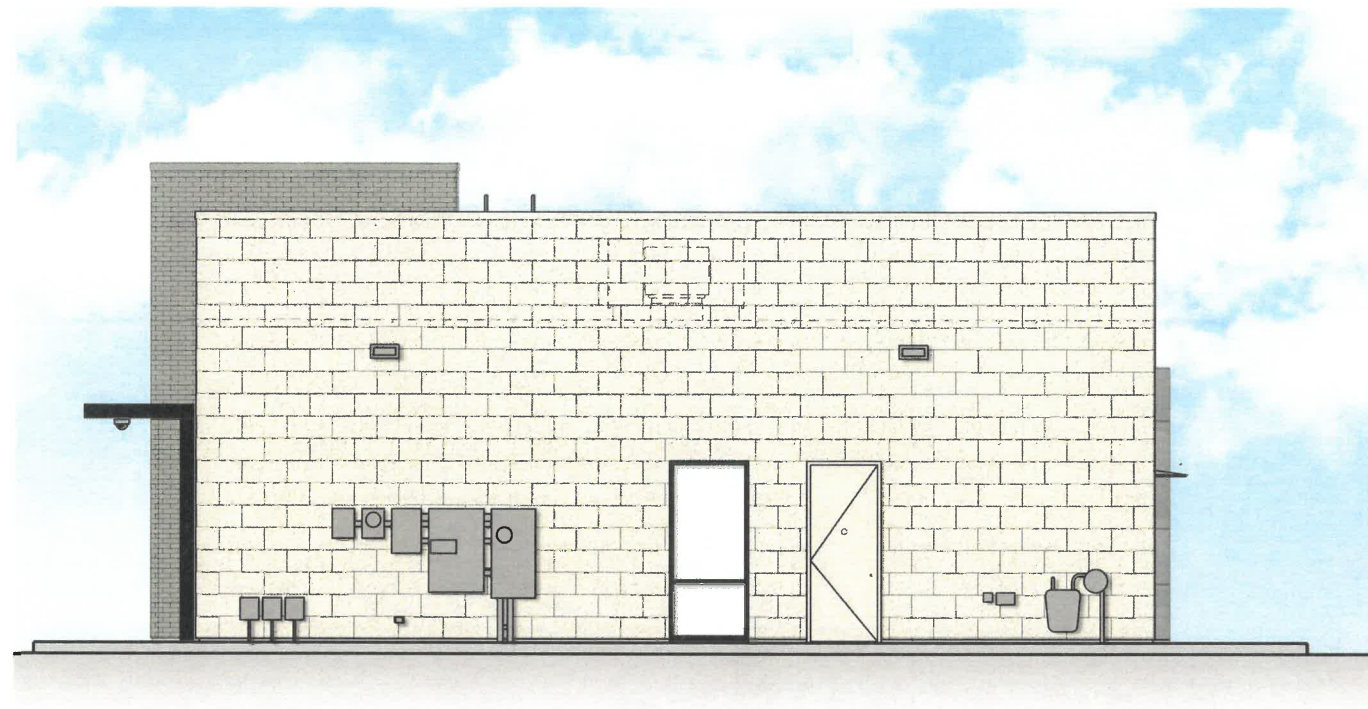
ARCHITECTURAL ELEVATIONS

03.17.2021

Architect/Designer

The Architects Partnership
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 20068





- T.O. PARAPET +21'-6"
- T.O. PARAPET +19'-4"
- T.O. PARAPET +17'-0"
- T.O. ROOF DECKING +14'-6"
- B.O. ROOF DECKING +12'-4 3/4"
- T.O. WINDOW OPENING +10'-0"
- B.O. CANOPY +10'-0"
- T.O. COPING +8'-6"
- B.O. WINDOW OPENING +7'-6"
- T.O. SLAB / FND 0'-0"

		
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EAST ELEVATION



- T.O. PARAPET +21'-6"
- T.O. PARAPET +19'-4"
- T.O. PARAPET +17'-0"
- T.O. PARAPET +12'-4"
- T.O. TRIM +10'-10"
- T.O. WINDOW OPENING +10'-3"
- T.O. WATER TABLE 3'-6"
- T.O. SLAB / FND 0'-0"

NORTH ELEVATION



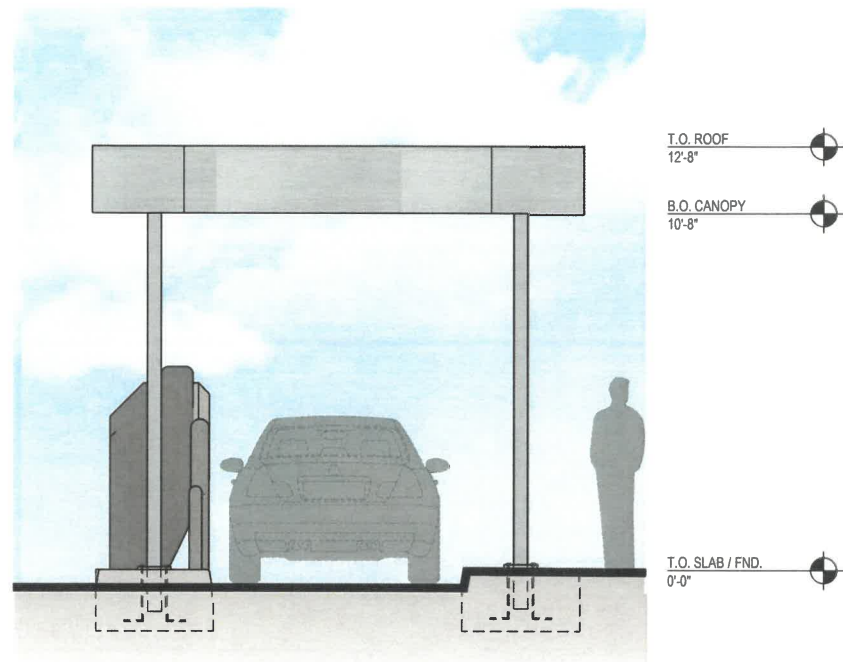
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ARCHITECTURAL ELEVATIONS

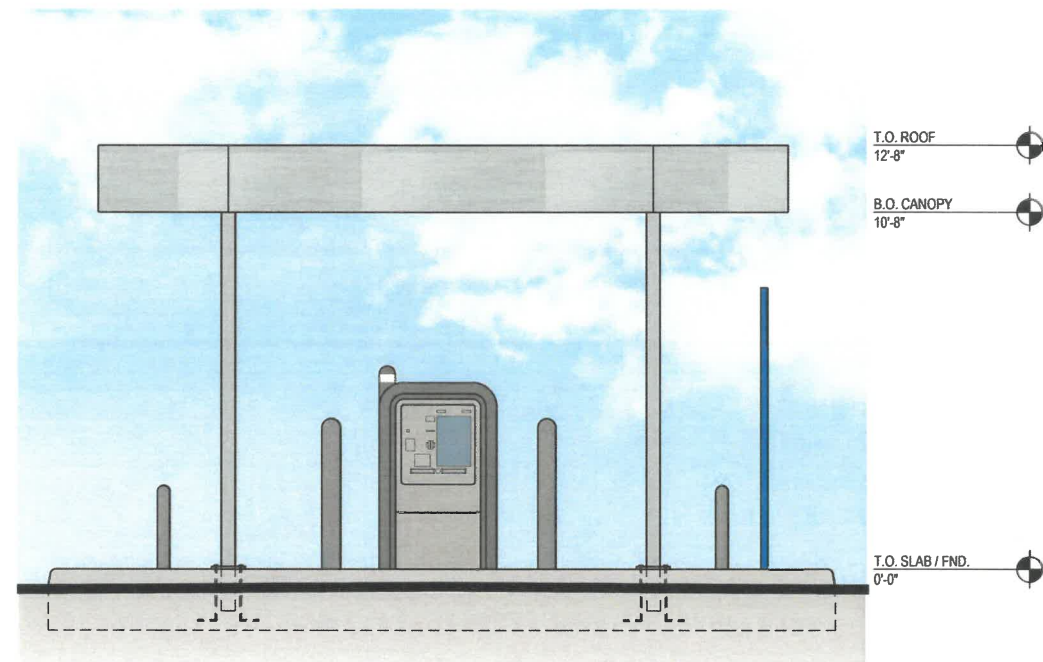
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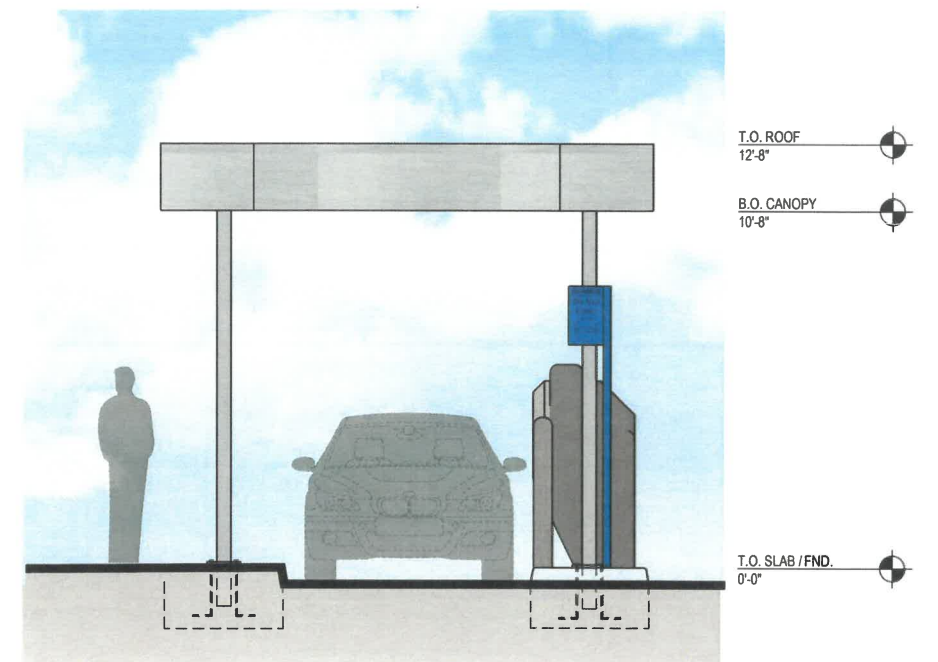




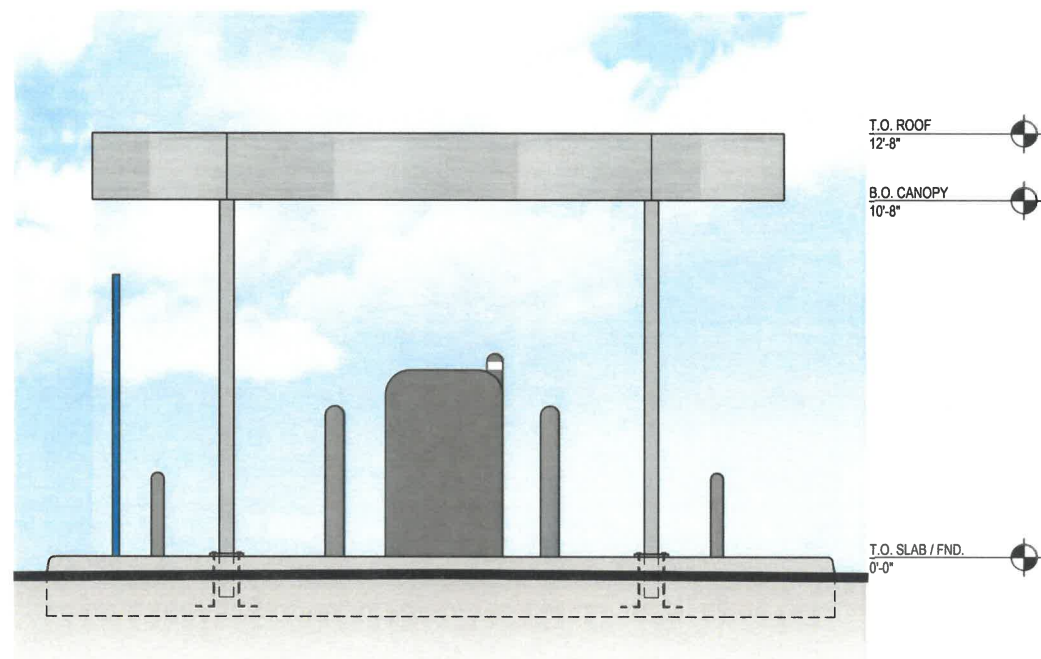
WEST ELEVATION



SOUTH ELEVATION

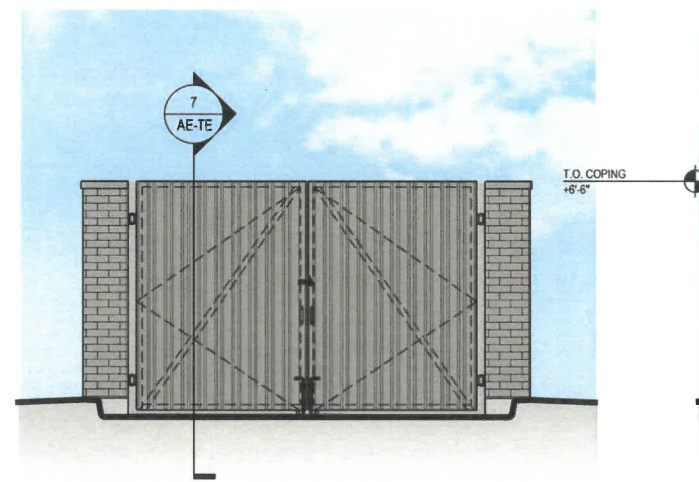


EAST ELEVATION

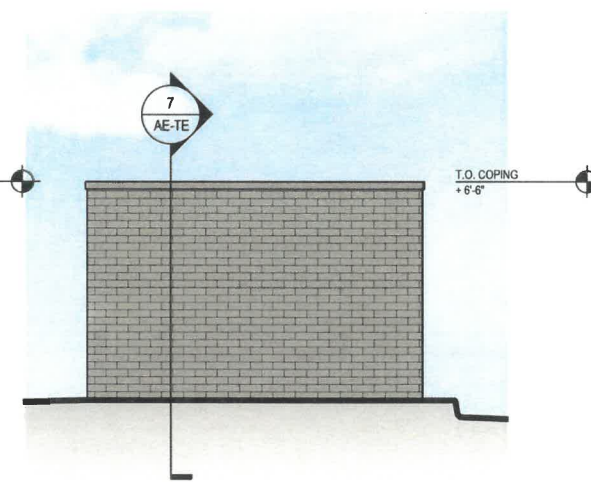


NORTH ELEVATION

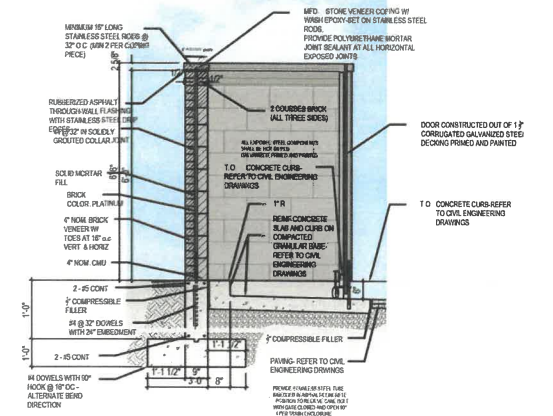
TRASH ENCLOSURE
NORTH ELEVATION



TRASH ENCLOSURE
SOUTH ELEVATION



TRASH ENCLOSURE
SECTION



SCALE: 1/4" = 1'-0"
0 5' 10' 15'



UNIVERSITY AVE. & JORDAN CREEK PKWY
1840 71st Street
West Des Moines, IA 50325

ARCHITECTURAL ELEVATIONS - DRIVE-THU & TRASH ENCLOSURE

03.17.2021

Architect/Designer

The Architects Partnership
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 20068



C H A S E B A N K

UNIVERSITY AVENUE, WEST DES MOINES, IOWA 50266



VICINITY SKETCH



APPLICANT:

THE ARCHITECTS PARTNERSHIP, LTD.
200 SOUTH MICHIGAN AVENUE, SUITE 1020
CHICAGO, ILLINOIS 60604
ATTN: TERRON WRIGHT
312.583.9800 X 150
EMAIL: WRIGHT@TAPCHICAGO.COM

PROPERTY ADDRESS:

UNIVERSITY AVENUE
WEST DES MOINES, IOWA 50266

SITE PLAN PREPARED BY:

CIVIL ENGINEERING CONSULTANTS, INC.
2400 86th STREET #12
DES MOINES, IA 50322
515.276.4884

COMPREHENSIVE PLAN LAND USE

SUPPORT COMMERCIAL

ZONING

FUD #21, WEST LAKES (PARCEL A), WITH UNDERLYING
ZONING OF SUPPORT COMMERCIAL (SC).

CASE NUMBER:

SP-005050-2021

SITE AREAS (UNDER THIS DEVELOPMENT)

BUILDING	3,291 SF	7.66%
IMPERVIOUS (PAVED AREA)	15,907 SF	37.03%
PERVIOUS	23,764 SF	55.31%
TOTAL SITE AREA	42,962 SF	100.00%

IMPERVIOUS AREA

TOTAL IMPERVIOUS SURFACE = 14,148 SF

OPEN SPACE REQUIREMENT

TOTAL SITE 42,962 SF. OPEN SPACE REQUIRED: 25%
OPEN SPACE REQUIRED: 10,740 SF
OPEN SPACE PROVIDED: 23,764 SF

BENCHMARK

CITY OF WEST DES MOINES BENCHMARKS:
#15: INTERSECTION 54th PL. AND UNIVERSITY AVE, SW CORNER OF INTERSECTION, 3 FEET NORTH OF SOUTH R.O.M. LINE, 141 FEET EAST OF CENTERLINE OF 54th PL. - ELEVATION = 149.36 (MDM DATUM)
#17: INTERSECTION OF UNIVERSITY AVE. AND JORDAN CREEK PKWY, SE CORNER OF INTERSECTION, 54.5 FEET EAST OF CENTERLINE OF JORDAN CREEK PKWY, 200 FEET SOUTH OF CENTERLINE OF UNIVERSITY AVE. - ELEVATION = 149.69 (MDM DATUM)

LEGAL DESCRIPTION

LOT 1, WEST LAKES OFFICE PARK PLAT 15, AN OFFICIAL PLAT IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA AND CONTAINING 0.91 ACRES MORE OR LESS.

APPROX LOT 1 AREA = 42,941 SF.

PARKING

REQUIRED: 3 SPACES/1000 GSF FOR BANK 3,291/1000=10
3 QUEUING SPACES /DRIVE-UP TELLER
TOTAL REQUIRED = 13

PROVIDED: 22 SPACES (INCLUDING 1 HANDICAP)
STACKING AT DRIVE-UP WINDOW: 3 AT DRIVE-UP AUTOMATIC DRIVE-UP TELLER.

BUILDING

3291 G.S.F.
PARAPET HT. = 22'-8"

BUFFERS:

CITY CODE DOES NOT REQUIRE BUFFERS.
FUD STATES: SPACE BETWEEN PARKING AND PRIVATE DRIVES TO BE UTILIZED AS BUFFER SPACE TO SCREEN PARKING AND DRIVES FROM PUBLIC VIEW.

BUILDING SETBACKS

FRONT YARD SETBACK: 50 FEET
SIDEYARD SETBACK: 50 FEET
REAR YARD SETBACK: 25 FEET

PROPERTY OWNER:

FORE RIGHT LC
1840 NW 118th ST., SITE 100
CLIVE, IA 50325
ATTN: DARIN FERGUSON
515.440.0600

SIGNATURE COMMERCIAL
4701 NW 121st ST.
URBANDALE, IA 50322
ATTN: DAVE HANSEN
515.221.9990

Sheet List Table	
Sheet Number	Sheet Title
1	COVER
2	GENERAL NOTES & INFORMATION
3	BANK DEMOLITION AND DIMENSION PLAN
4	GRADING PLAN & GRADING DETAILS
5	UTILITY
6	LANDSCAPING PLAN
1	EROSION CONTROL PLAN - NOTES
2	EROSION CONTROL PLAN
3	EROSION CONTROL PLAN - DETAILS

GENERAL LEGEND	
PROPOSED	EXISTING
--- PLAT BOUNDARY	--- LOT LINE
--- SECTION LINE	○ SANITARY/STORM MANHOLE
--- LOT LINE	⊕ WATER VALVE
--- CENTERLINE	⊕ FIRE HYDRANT
--- EASEMENT LINE	□ STORM SEWER SINGLE INTAKE
▽ FLARED END SECTION	□ STORM SEWER DOUBLE INTAKE
○ DRAIN BASIN OR SEDIMENT RISER	⊙ STORM SEWER ROUND INTAKE
⊙ DRAIN BASIN WITH SOLID GRATE	--- FLARED END SECTION
⊕ WATER VALVE	--- DECIDUOUS TREE
⊕ FIRE HYDRANT ASSEMBLY	--- CONIFEROUS TREE
⊕ BLOW-OFF HYDRANT	--- SHRUB
--- SCOUR STOP MAT	⊕ POWER POLE
--- TURF REINFORCEMENT MAT	⊕ STREET LIGHT
--- STORM SEWER WITH SIZE	--- GUY ANCHOR
--- WATER SEWER WITH SIZE	--- ELECTRIC TRANSFORMER
--- WATER SERVICE	--- GAS METER
--- PROPOSED CONTOUR	⊕ TELEPHONE RISER
--- SILT FENCE	--- SIGN
⊕ ADDRESS	--- CATV --- UNDERGROUND TELEVISION
--- RIPRAP	--- UGE --- UNDERGROUND ELECTRIC
	--- G --- UNDERGROUND GAS
	--- UFG --- UNDERGROUND FIBER OPTIC
	--- UGT --- UNDERGROUND TELEPHONE
	--- OHN --- OVERHEAD ELECTRIC
	--- SAN --- SANITARY SEWER WITH SIZE
	--- ST --- STORM SEWER WITH SIZE
	--- WM --- WATER MAIN WITH SIZE
	926 EXISTING CONTOUR
	UNO UNLESS NOTED OTHERWISE

CERTIFICATION

	I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA. BY: EDWARD H. ARP, IOWA REG. NO. 250 PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS 1-6
	I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. May 19, 2021 JEFFREY A. GADDIS, IOWA LICENSE NO. 18301 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022 SHEETS 1 - ???
	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. PRELIMINARY CODY T. WEAVER, IOWA LIC. NO. 25085 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022 PAGES OR SHEETS COVERED BY THIS SEAL: this sheet only



PRELIMINARY
 CHASE BANK
 WEST DES MOINES, IOWA
 COVER

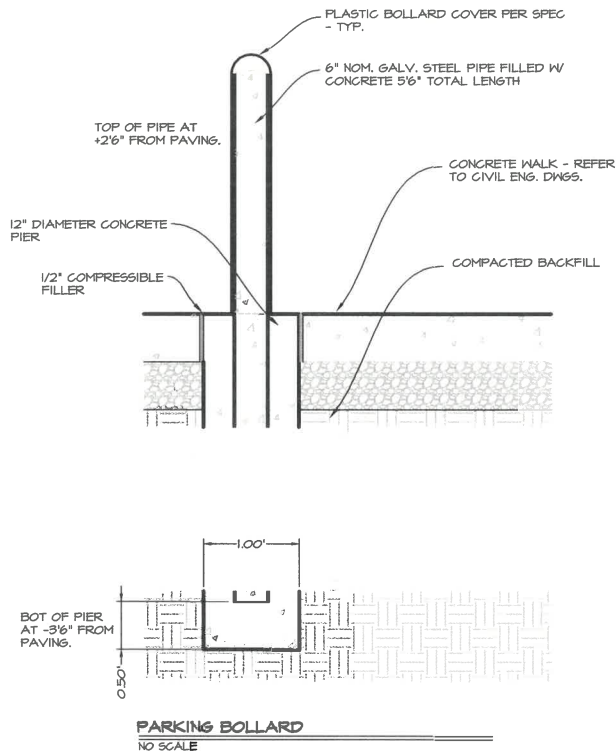
Civil Engineering Consultants, Inc.
 2400 86th Street, Unit 12 - Des Moines, Iowa 50322
 515.276.4884 - mail@cecinc.com



DATE:	May 19, 2021
MAY 4, 2021 - 3RD SUBMITTAL	
APRIL 7, 2021 - 2ND SUBMITTAL	
FEB 22, 2021 - 1ST SUBMITTAL	
DATE OF SURVEY:	NOV. 30, 2020
DESIGNED BY:	EHA
DRAWN BY:	KRZ

SHEET	1
OF	6
A-2104	

ALL INFRASTRUCTURE PERTAINING TO UTILITY SERVICES AND/OR GRADING TO BE BY OTHERS. SEE PRELIMINARY PLAT DOCUMENTS.



GENERAL NOTES

- ONE WEEK PRIOR TO CONSTRUCTION CONTRACTOR SHALL NOTIFY:
 - APPLICANT
 - CIVIL ENGINEERING CONSULTANTS, INC. (515) 276-4884.
 - CITY OF WEST DES MOINES ENGINEERS OFFICE
- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES. ALL RADII NOT LABELED; 5.0' TYPICAL.
- LOCATIONS AND DIMENSIONS SHOWN ON PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. ENGINEER DOES NOT GUARANTEE ACCURACY OF INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS RESPONSIBILITY OF CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING AREA TO DETERMINE PRESENT EXTENT AND EXACT LOCATION OF FACILITIES BEFORE BEGINNING WORK.
- AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL IOWA ONE-CALL TO FIELD LOCATE EXISTING UNDERGROUND UTILITIES. LOCATION OF UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MUST BE VERIFIED. (1-800-292-8484)
- CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT UTILITIES OR STRUCTURES AT SITE. CONTRACTOR'S RESPONSIBILITY TO NOTIFY OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. CONTRACTOR SHALL NOTIFY PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR INTERRUPTION OF SERVICE. CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGED UTILITY TO SATISFACTION OF UTILITY OWNER AT NO ADDED COST TO OWNER/APPLICANT. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER TO RESOLVE CONFLICT.
- CONTRACTOR SHALL REMOVE ALL DEBRIS SPILLED ON CITY OF WEST DES MOINES AND/OR CLIVE RIGHT-OF-WAY AND ADJOINING PROPERTY IMMEDIATELY.
- AT NO TIME SHALL EQUIPMENT, CONSTRUCTION MATERIAL AND/OR STOCKPILED FILL BE STORED IN CITY OF WEST DES MOINES RIGHT-OF-WAY.
- DEVELOPER IS RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROL DEVICES THROUGHOUT CONSTRUCTION.
- OFF-STREET PARKING AND ACCESS DRIVES SHALL BE PROVIDED PRIOR CONSTRUCTION FOR GREENS AND EQUIPMENT.
- ADDITIONAL EROSION AND SEDIMENTATION CONTROL DEVICES MAY BE REQUIRED BASED UPON ACTUAL FIELD CONDITION.
- ALL TREASURERS SHALL BE SCREENED FROM VIEW WITH APPROVED STRUCTURE.
- NO CHANGES TO APPROVED PLAN MAY BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF CITY OF WEST DES MOINES AND CEC.
- ALL WORK WITHIN CITY RIGHT-OF-WAY (R.O.W.) SHALL BE DONE IN ACCORDANCE WITH S.U.D.A.S. AND CITY OF WEST DES MOINES GENERAL SUPPLEMENTAL SPECIFICATIONS TO 2020 S.U.D.A.S. AND REQUIRES R.O.W. PERMIT.
- TRANSFORMERS, JUNCTION BOXES AIR CONDITIONERS OVER 3 FEET IN HEIGHT OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN REQUIRED SETBACK AREAS.
- REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR LIFE OF CERTIFICATE OF OCCUPANCY.
- SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON DATE OF SITE PLAN APPROVAL.
- ANY ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.
- ANY AMENDMENTS OR CHANGES TO PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON SITE PLAN NEED TO BE APPROVED WITH CITY AND CEC PRIOR TO INSTALLATION/CONSTRUCTION.
- LIGHTING MUST BE LOW GLARE CUT-OFF TYPE FIXTURES TO REDUCE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
- ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.
- BUILDING HEIGHT AS FOLLOWS:
 - BUILDING: 21'-6"
- ALL EXTERIOR SIGNAGE TO BE REVIEWED AND APPROVED SEPARATELY BY CITY. ALL REQUIRED SIGN PERMITS, ACQUIRED, AND PAID BY CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR SUBMITTAL OF ALL DOCUMENTS REQUIRED FOR ALL CONSTRUCTION AND DEMOLITION PERMITS. CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS.
- BUILDING SIGNAGE IS NOT REVIEWED OR APPROVED AS A PART OF THIS SITE PLAN. SEPARATE PERMIT APPLICATION AND REVIEW IS REQUIRED FOR SIGN PERMIT FOR SITE.
- CONTRACTOR IS TO RECONNECT ANY FIELD TILE INTERCEPTED DURING CONSTRUCTION.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, CONTRACTOR SHALL CONTACT WEST DES MOINES ENGINEERING SERVICES (BEN McALISTER 515.222.3475) TO OBTAIN APPLICABLE CITY PERMITS AS NECESSARY.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONSTRUCTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL WITH WEST DES MOINES ADDENDA.

SEEDING NOTES

- FERTILIZER (13-13-13) SHALL BE APPLIED TO AREA TO BE SEEDDED OR SODDED AT RATE OF 650 LBS/ACRE.
- AREA TO BE SEEDDED OR SODDED SHALL BE SMOOTH, AND ALL WASHED AND GULLIES FILLED TO MEET DESIRED CROSS SECTION. AREAS ACCESSIBLE TO MACHINERY SHALL BE CULTIVATED TO DEPTH OF 3". AREAS INACCESSIBLE TO MACHINE SHALL BE CULTIVATED TO DEPTH OF 1 1/2 INCHES.
- FERTILIZER SHALL BE INCORPORATED INTO SOIL TO DEPTH OF 3" WITH MECHANICAL ROCK PICKER OR SPRING TOOTH CULTIVATOR.
- ON ALL AREAS ACCESSIBLE TO MACHINERY, DROP-TYPE SEEDER ATTACHED TO LANDSCAPE ROLLER SHALL BE USED TO SOW GRASS SEED. ON AREAS INACCESSIBLE TO MACHINERY CYCLO-SEEDER WILL BE PERMITTED. NO OTHER HAND SEEDING METHOD IS ACCEPTABLE.
- ALL SEEDDED AREAS SHALL BE MULCHED IMMEDIATELY AFTER SEEDING BY APPLYING 2 TONS OF DRY MULCH PER ACRE.
- MULCH MAY CONSIST OF STRAW (OAT, WHEAT, BARLEY OR RYE), HAY, BROMEGRASS, TIMOTHY, ORCHARD GRASS, ALFALFA OR CLOVER SHALL NOT BE USED. ALL MATERIAL MUST BE FREE FROM ALL NOXIOUS WEEDS.
- ALL SEEDDED AREAS SHALL BE WATERED BY HAND OR TEMPORARY AUTOMATIC IRRIGATION SYSTEM. MINIMUM OF THICE PER DAY FOR FIRST WEEK AFTER INSTALLATION, AND ONCE PER DAY DURING SECOND AND THIRD WEEK AFTER INSTALLATION.

SODDING NOTES

- SOD SHALL BE FOUR WAY BLEND WHICH SHALL CONTAIN 25% OF EACH OF FOLLOWING: KENTUCKY BLUE GRASS AND ONE OTHER BLUE GRASS, CREEPING RED FESCUE, AND TALL FESCUE. ABOVE CONTENT MAY VARY UP TO 5%.
- SOD SHALL BE CUT AT UNIFORM THICKNESS OF APPROXIMATELY 1" +/- 1/4".
- BEFORE STRIPPINGS, SOD SHALL BE MOVED TO UNIFORM HEIGHT OF 2-1/2-INCHES.
- SOD SHALL BE REASONABLY FREE OF DISEASE AND SOIL-BORNE INSECTS.
- SOD SHALL BE FREE OF OBJECTIONABLE GRASSY AND BROADLEAF WEEDS.
- SOD SHALL BE HARVESTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY NOT ADVERSELY AFFECT SURVIVAL OF SOD.
- SOD SHALL BE CUT, DELIVERED AND INSTALLED IN TIME PERIOD OF 36 HOURS.
- SOD BED SHALL BE IN FIRM BUT UNCOMPACTED CONDITION WITH RELATIVELY FINE TEXTURE AND FREE OF FOOTPRINTS DEEPER THAN 1/2 INCH AT TIME OF SODDING.
- SOD SHALL BE LAID WITH STAGGERED JOINTS AT RIGHT ANGLES TO DIRECTION OF SLOPE. IN DITCH BOTTOMS, SOD SHALL BE LAID AT RIGHT ANGLES TO DIRECTION OF FLOW OF WATER.
- SOD SHALL BE STAKED ON ALL SLOPES THAT ARE 4:1 OR STEEPER.
- IN ABSENCE OF ADEQUATE RAINFALL, SOD SHALL BE WATERED BY CONTRACTOR AFTER INSTALLATION TO DEPTH OF AT LEAST 4-INCHES. SUBSEQUENT WATERINGS SHALL MAINTAIN MOISTURE TO DEPTH OF 4-INCHES.
- SOD SHALL NOT BE MOVED UNTIL IT IS FIRMLY ROOTED. NO MORE THAN 1/3 OF GRASS LEAF SHALL BE REMOVED AT ANY ONE TIME.
- SEEDING NOTES 1 & 2 APPLY TO THESE NOTES FOR SODDING.

PLANTING NOTES

- ALL SITE WORK, SODDING AND LANDSCAPING SHALL MEET THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (S.U.D.A.S.).
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z66.1)
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
- CONTRACTOR SHALL REMOVE TREE STAKES ONE YEAR AFTER INSTALLATION.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF LANDSCAPE ARCHITECT AND WEST DES MOINES COMMUNITY DEVELOPMENT DEPARTMENT.
- ALL TREES, SHRUBS, BEDS SHALL BE MULCHED WITH AT LEAST 3-INCHES SHREDDED HARDWOOD MULCH U.N.O.
- CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY CONTRACTOR AT CONTRACTOR'S EXPENSE TO SATISFACTION OF OWNER OF UTILITY.
- ONE WEEK PRIOR TO INSTALLATION, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL STAKE LOCATION OF PLANTS FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE DIGGING HOLES.
- REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, MUST BE MAINTAINED FOR LIFE OF CERTIFICATE OF OCCUPANCY.
- TOPSOIL SHALL BE LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY DPS. REGARDLESS, TOPSOIL SHALL NOT BE MIXTURE OF CONTRASTING TEXTURED SUBSOILS, AND SHALL CONTAIN LESS THAN 5 % BY VOLUME OF CLINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
- ALL DISTURBED AREAS SHALL BE SEEDDED OR SODDED. SEE PLAN.
- FINAL OCCUPANCY PERMIT WILL NOT BE ISSUED IF LANDSCAPING IS NOT INSTALLED PER APPROVED SITE PLAN DOCUMENTS.
- TREES SHALL NOT BE PLANTED WITHIN 6 FEET OF BACK OF CURB ALONG TRAVELED WAY, OR 4 FEET FROM ANY PARKING STALL OR OTHER PAVED SURFACE.

GRADING NOTES

- FINISHED GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FOOT OF PLAN GRADE. PAVED AREAS SHALL BE WITHIN 0.10 FOOT, WITH POSITIVE DRAINAGE OF ALL AREAS.
- CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY CONTRACTOR AT CONTRACTOR'S EXPENSE, TO SATISFACTION OF UTILITY OWNER.
- TOPSOIL SHALL BE SPREAD TO MINIMUM THICKNESS OF 8-INCHES ON ALL LANDSCAPED AREAS.
- BACKFILL TO TOP OF ALL CURBS.
- ALL ELEVATIONS ARE TO GUTTER GRADE UNLESS NOTED OTHERWISE.
- COVER AND/OR FILTER SOCK AROUND ALL INTAKES PRIOR TO PAVING TO PREVENT SEDIMENT FROM ENTERING STORM SEWER.
- ALL DEBRIS SPILLED ON CITY R.O.W. AND ADJOINING PROPERTY SHALL BE REMOVED BY CONTRACTOR IN TIMELY FASHION.
- CONTRACTOR TO UTILIZE EASTERN PORTION OF LOT FOR STAGING AND SOIL STOCKPILES. CONFIRM WITH APPLICANT. ALL DISTURBED AREA TO BE SUBJECT TO REQUIREMENTS OF SWPPP.

PAVING NOTES

- JUST PRIOR TO PAVING, COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY FOR DEPTH OF ONE FOOT.
- REMOVE & REPLACE SOIL AS REQUIRED IN AREAS OF CUT OR TRANSITIONS.
- PROOF ROLL ALL PAVING SUBGRADES IN PRESENCE OF GEOTECHNICAL ENGINEER TO LOCATE SOFT SPOTS. ALL SOFT SPOTS TO BE REPAIRED PRIOR TO TESTING FOR DENSITY.
- PROVIDE IN PLACE DENSITY TESTS. RECOMPACT & RETEST AREAS THAT FAIL DENSITY SPECS AT NO COST TO OWNER.
- ALL EXPOSED CONCRETE SHALL HAVE 5-7% ENTRAINED AIR, $f_c = 4,000$ PSI MIN. AND ALL AGGREGATE SHALL MEET ASTM C-33.
- ALL ON SITE PAVING SHALL CONFORM TO REQUIREMENTS OF LATEST IOWA STATEWIDE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS INCLUDING ALL WEST DES MOINES SUPPLEMENTAL SPECIFICATIONS.
- CONTRACTOR SHALL PREPARE AND SUBMIT FOR ALL REQUIRED CITY OF WEST DES MOINES PERMITS AND PAY NECESSARY FEES.
- PARKING STRIPPINGS SHALL BE DONE WITH TWO COATS 4" WIDE WHITE PAVEMENT PAINT.
- NEW PAVING SHALL BE 6-INCH P.C.C. EXCEPT NOTED OTHERWISE. ALL SIDEWALKS TO BE MINIMUM 4" THICK P.C.C. OVER 6" PREPARED SUBGRADE.
- PROVIDE 2" CONCRETE BOXOUT AROUND ALL INTAKES AND MANHOLES WITHIN PAVED AREAS.
- ALL PAVING WITHIN R.O.W. TO BE MINIMUM 1" THICK P.C.C.
- ALL PEDESTRIAN RAMPS TO HAVE APPROPRIATE ADA DETECTABLE WARNINGS (TRUNCATED DOMES). USE RED CLAY COLORED FIBERGLASS PANELS.
- USE APPROPRIATE MEASURES TO PREVENT SLURRY FROM SAW-CUTTING OPERATIONS FROM ENTERING STORM SEWERS AND DRAINAGEWAYS.

UTILITY NOTES

- ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SUDAS 2020 URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND CITY OF WEST DES MOINES SUPPLEMENTAL SPECIFICATIONS.
- CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT UTILITIES OR STRUCTURES AT SITE. CONTRACTOR'S RESPONSIBILITY TO NOTIFY OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. CONTRACTOR SHALL NOTIFY PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR INTERRUPTION OF SERVICE. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER TO RESOLVE CONFLICT.
- ALL SERVICES SHALL BE CONSTRUCTED TO WITHIN 5 FEET OF THE OUTSIDE OF BUILDING WALLS.
- SIZE AND MATERIALS OF SANITARY SEWER SERVICE SHALL COMPLY WITH PLUMBING CODE.
- ALL EXISTING TILE LINES ENCOUNTERED SHALL BE RESTORED OR ROUTED TO STORM SEWER WHETHER ACTIVE OR NOT.
- ALL STORM & SANITARY SEWER SHALL BE CONSTRUCTED WITH APPROPRIATE PERMITS.
- ALL UTILITIES SHALL BE UNDERGROUND.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY APPURTENANCES TO PROPOSED GRADE ELEVATIONS.
- ALL CONNECTIONS TO EXISTING PUBLIC SANITARY SEWERS TO BE CORE-DRIILLED.
- RIGID FACTORY CONNECTIONS ARE REQUIRED WHERE NEW PIPE IS SCHEDULED TO CONNECT TO EXISTING SANITARY SEWER.
- ALL SANITARY MANHOLES TO BE WEST DES MOINES STANDARD.
- PRIVATE WATER MAIN TO BE AWAY FROM DRAIN WITH TRACER WIRE. NO. 12 AWG SOLID STEEL CORE HARD DRAIN EXTRA HIGH STRENGTH TRACER WIRE TO BE PLACED UNDER PIPE. BRING TRACER WIRE TO SURFACE AT FIRE HYDRANTS, VALVES, AND DEAD ENDS. CONNECT NEW TRACER WIRE TO EXISTING TRACER WIRE WITH WATERPROOF SPLICE.
- FIRE HYDRANTS ARE TO BE PLACED 3-1/2 FEET FROM WATER MAIN EXCEPT WHERE CONFLICTS WITH PAVING.
- WATER MAIN TO HAVE 5.5 FEET BURY MINIMUM TYPICAL.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH WEST DES MOINES WATER WORKS AND CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
- ONE WEEK PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT WEST DES MOINES WATER WORKS AT (515)222-3465.
- PER IDNR GUIDELINES: WATER MAIN SHALL BE SEPARATED FROM GRAVITY SANITARY SEWER AND STORM SEWER MAINS BY HORIZONTAL DISTANCE OF 10 FEET MINIMUM. WATER MAINS CROSSING SANITARY OR STORM SEWERS SHALL BE LAID TO PROVIDE MINIMUM VERTICAL DISTANCE OF 18-INCHES MINIMUM BETWEEN OUTSIDE OF PIPES, WHERE STORM SEWER CROSSES OVER, OR LESS THAN 18-INCHES BELOW WATER MAIN. LOCATE ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL, OR REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM WATER MAIN.
- WEST DES MOINES WATER WORKS RECOMMENDS AGAINST PLANTING LANDSCAPING OVER PRIVATE WATER INFRASTRUCTURE.

WEST DES MOINES WATER WORKS STANDARD NOTES

- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WEST DES MOINES ENGINEERING SERVICES DEPARTMENT (BEN McALISTER 222-3475) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL WITH WEST DES MOINES ADDENDA.
- COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED ON PROJECT.
- CONTACT BUILDING INSPECTION (515-222-3630) MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH WEST DES MOINES WATER WORKS AND CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-194B. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3465) MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- DESIGNATED BUFFERS SHALL BE LABELED AS "NO BUILD AREA".
- WEST DES MOINES WATER WORKS DOES ALL TAPPING OF WATER MAINS. CONTRACTOR TO PROVIDE FOR TAPPING EXPENSES, IF ANY.

STANDARD CITY OF WEST DES MOINES NOTES

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED IN PROJECT.
- CONTACT BUILDING INSPECTION (515) 222-3630, A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. HALL PACKS ARE PROHIBITED. MAXIMUM ILLUMINATION ALLOWED AT PROPERTY LINE IS ONE FOOT-CANDLE. ALL LIGHTING FIXTURES ARE TO BE MOUNTED AT 25' OR LESS ABOVE FINISHED GRADE.
- ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM STREET LEVEL WITH ARCHITECTURAL QUALITY MATERIALS AS SHOWN ON THE CITY APPROVED EXTERIOR ELEVATIONS AS A PART OF THE SITE PLAN REVIEW.
- ALL SIDEWALKS SHOWN ARE LESS THAN 5.0% . THERE ARE NO RAMPS REQUIRING RAILINGS.
- NO CONSTRUCTION PARKING WITHIN R.O.W.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDA.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC STREETS, THE CONTRACTOR SHALL CONTACT THE NEW ENGINEERING SERVICES (222-3475) TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- SIGNING, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON ALL PUBLIC AND PRIVATE STREETS, AND ALL APPROACHES TO TO ALL PUBLIC STREETS SHALL BE IN CONFORMANCE WITH MUTCD.

DATE: May 14, 2021

May 4, 2021 - 3RD SUBMITTAL

April 7, 2021 - 2ND SUBMITTAL

Feb 22, 2021 - 1ST SUBMITTAL

NOV. 30, 2020

EHA

DESIGNED BY: KRZ

DRAWN BY:

PRELIMINARY

CHASE BANK
WEST DES MOINES, IOWA

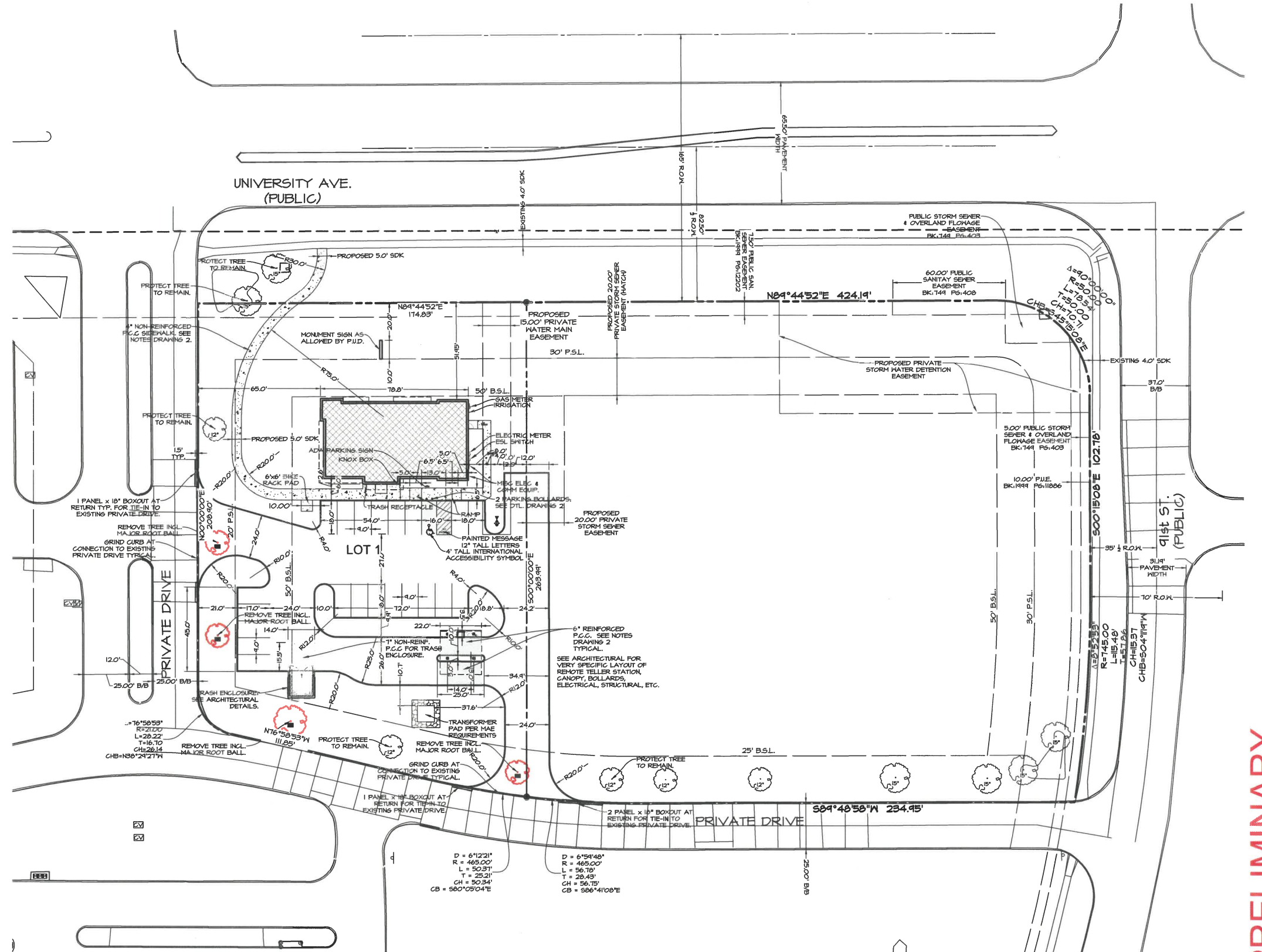
GENERAL NOTES & INFORMATION

9 N 6

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2400 84th Street, Unit 12, Des Moines, Iowa 50322
515.276.4884 . mail@cecinc.com



ALL PAVEMENT TO BE BOUNDED BY S.U.D.A.S. STANDARD 6" CURB PER S.U.D.A.S. FIGURE 1010.102. WHEN SIDEWALK ABUTS CURB, USE STANDARD S.U.D.A.S. DROP-FACE CURB S.U.D.A.S. FIGURE 1030.202 DETAIL 3. PAVEMENT THICKNESSES; SEE DRAWING 2 - PAVING NOTES.



PRELIMINARY

CHASE BANK
WEST DES MOINES, IOWA

BANK DEMOLITION AND DIMENSION PLAN

SHEET
OF 6

A-2104

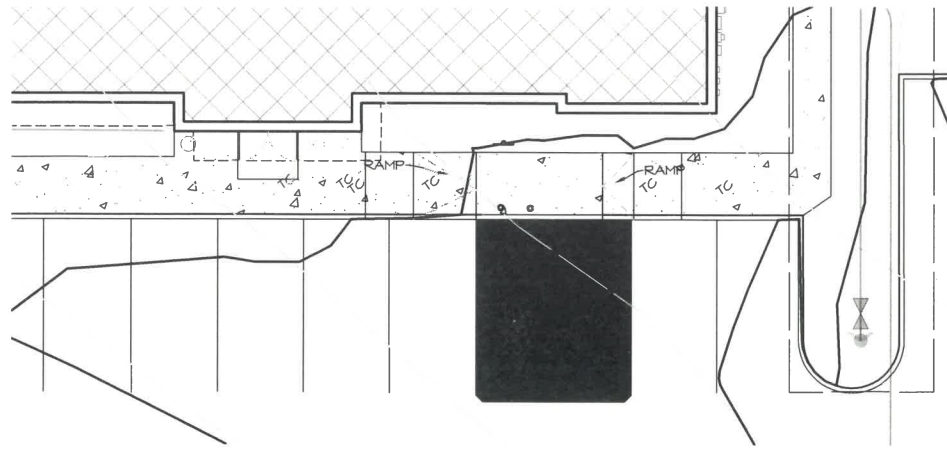
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SCALE: 1"=30' (22"x34")



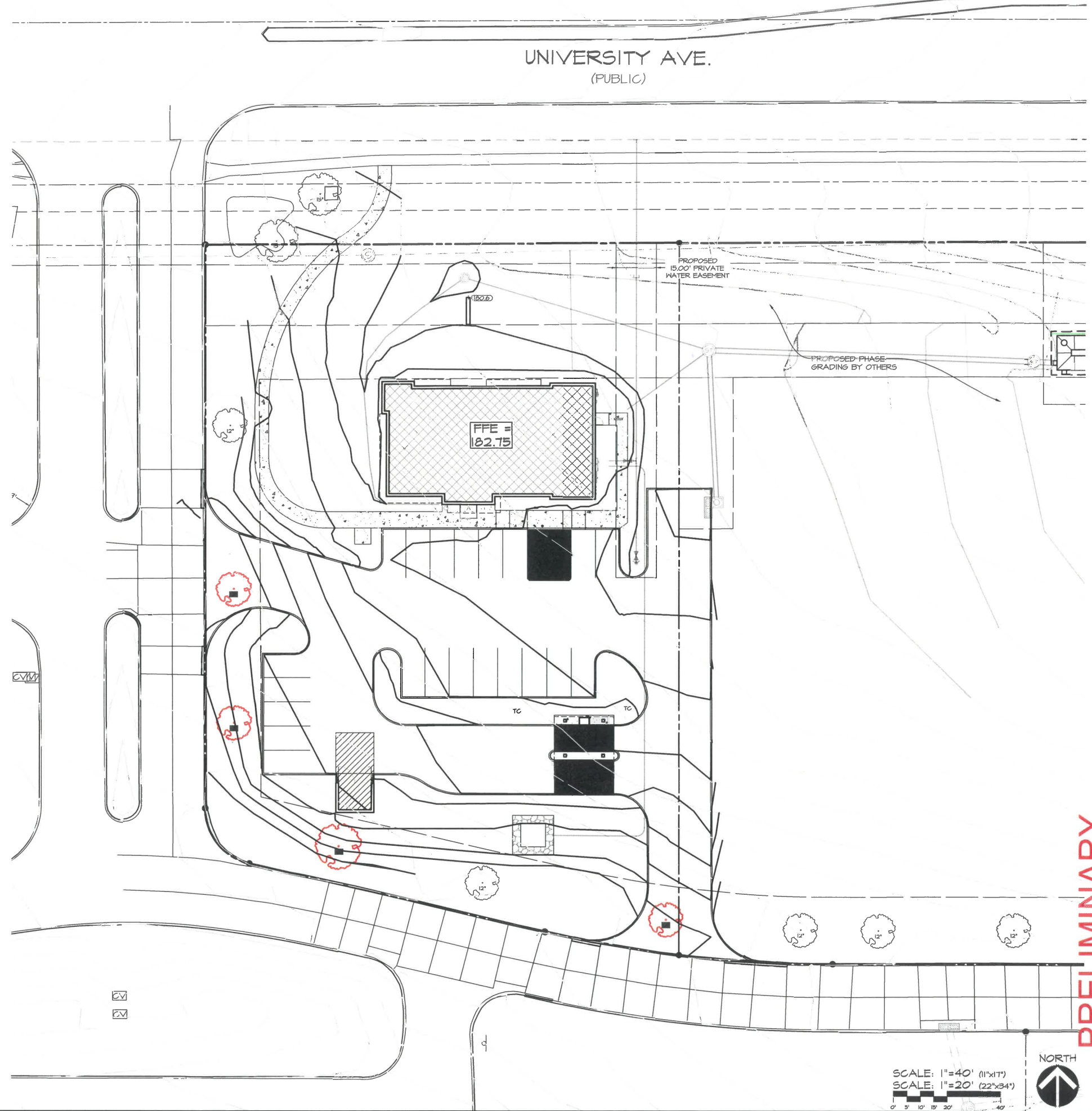
DATE:	MAY 14, 2021	DESIGNED BY:	EHA
	MAY 4, 2021 - 3RD SUBMITTAL	DRAWN BY:	KRZ
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	NOV. 30, 2020		

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RAMP DETAIL - BUILDING ENTRY
SCALE: 1"=10'



SCALE: 1"=40' (11"x17")
SCALE: 1"=20' (22"x34")



PRELIMINARY

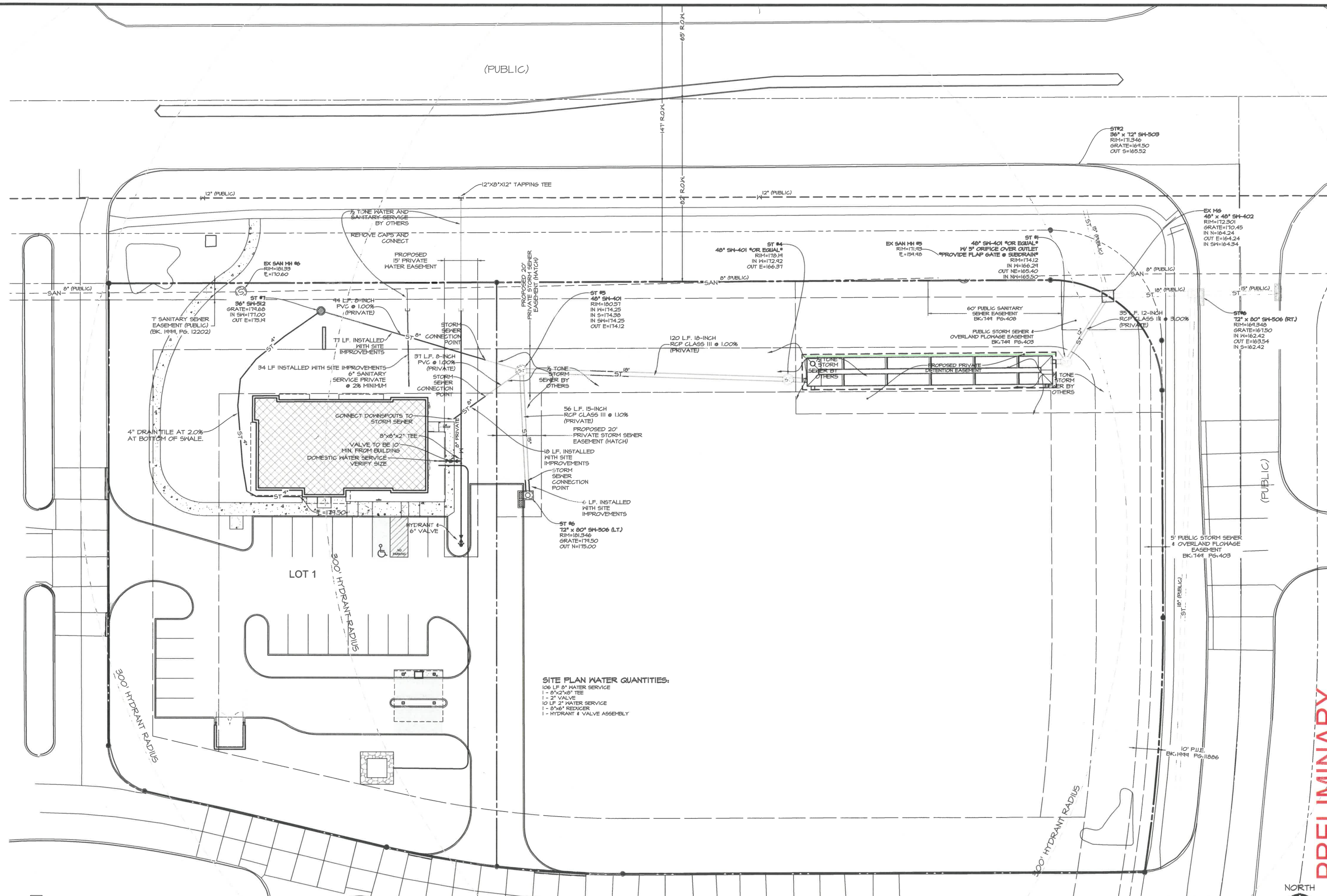
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DESIGNED BY:	EHA
DRAWN BY:	ISRZ

CHASE BANK
WEST DES MOINES, IOWA
GRADING PLAN & GRADING DETAILS

SHEET
4
OF
6
A-2104



(PUBLIC)

SITE PLAN WATER QUANTITIES:
 106 LF 8" WATER SERVICE
 1 - 8"x2"x6" TEE
 1 - 2" VALVE
 10 LF 2" WATER SERVICE
 1 - 8"x6" REDUCER
 1 - HYDRANT & VALVE ASSEMBLY

SCALE: 1"=40' (11"x17")
 SCALE: 1"=20' (22"x34")



PRELIMINARY

CHASE BANK
 WEST DES MOINES, IOWA

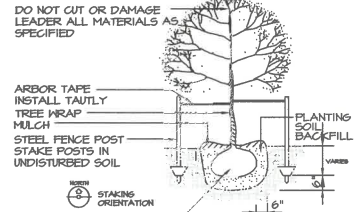
SHEET
 OF 6

UTILITY PLAN

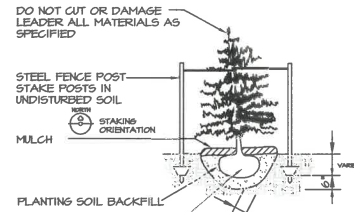
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DECIDUOUS TREE PLANTING AND STAKING DETAIL
NO SCALE

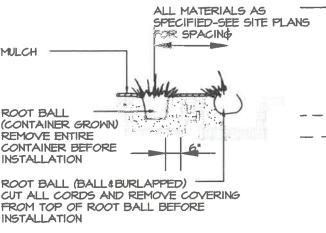


EVERGREEN TREE PLANTING AND STAKING DETAIL
NO SCALE

SIZES NOTED IN PLANT SCHEDULE ARE STRICT MINIMUM SIZES AND WILL BE VERIFIED DURING INITIAL ACCEPTANCE INSPECTION.

MINIMUM OF 10% OF EACH SPECIES SPECIFIED ARE TO HAVE PLANT IDENTIFICATION TAGS ATTACHED DURING INITIAL ACCEPTANCE. TAGS SHALL BE REMOVED AFTER PLANT MATERIAL HAS BEEN ACCEPTED.

ALL DECIDUOUS TREES ARE TO BE WRAPPED WITH TREE WRAP AND SHALL BE ATTACHED WITH COTTON STRINGS, TAPES AND PLASTIC FASTENERS ARE NOT ACCEPTABLE.



SHRUB & HERBACEOUS PLANTING DETAIL
NO SCALE

OPEN SPACE PLANTING
DEVELOPED SITE: 42,462 SF
REQUIRED OPEN SPACE: 25% = 10,740 SF
1 PLANT UNIT / 3000 SF = 3.58 PLANTING UNITS OF 2 TREES AND 3 SHRUBS PER UNIT.
REQUIRED OPEN SPACE PLANTING = 8 TREES (4 EVERGREEN AND 4 SHRUBS).

TOTAL PLANT MATERIAL PROVIDED: DEC. TREES: 25, + EVERGREEN TREES: 6 + SHRUBS: 35.

STAKING OF TREES TO BE AS STATED IN PLANTING DETAILS.

ALL LIKE SPECIES PLANT MATERIAL TO BE MATCHED AND SPECIMEN.

PARKING AREA PLANTING
REQUIRED: 1 TREE PER 9'x17' ISLAND, 5 ISLANDS SHOWN, 4 TREES SHOWN IN THOSE ISLANDS, ONE ISLAND WITHOUT A TREE BECAUSE OF A FIRE HYDRANT, ADDED A TREE IN LINEAR ISLAND IN LIEU OF HYDRANT ISLAND.

PARKING AREA PLANT MATERIAL PROVIDED: DEC. TREES: 5.

TOTAL REQUIRED PLANT MATERIAL:
13 TREES (9% OF WHICH TO BE EVERGREEN), 11 SHRUBS.
TOTAL PROVIDED PLANT MATERIAL:
21 TREES (6 OF WHICH ARE EVERGREEN), 32 SHRUBS.

GENERAL LANDSCAPING NOTES:
AGGREGATE MULCH: 2" CLEAN TRAP ROCK OVER SEPARATION FABRIC, 3" THICK UNO.

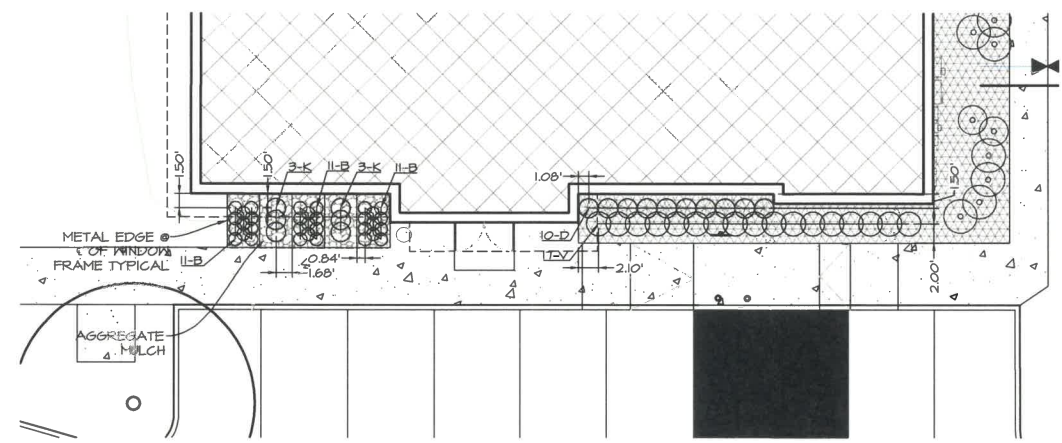
METAL EDGE: PERMASTRIP - 1/8"x4", MILL FINISHED, 6063 ALUMINUM ALLOY, BY PERMALOC.

ALL SHRUB BEDS TO HAVE SPADE CUT EDGE UNO.

SOD NOTES: SOD ALL DISTURBED AREAS ON LOT 1, ALL OTHER DISTURBED AREAS, AS A RESULT OF THIS WORK, TO BE SEEDED WITH S.U.D.A.S. TYPE 1 SEED MIX.

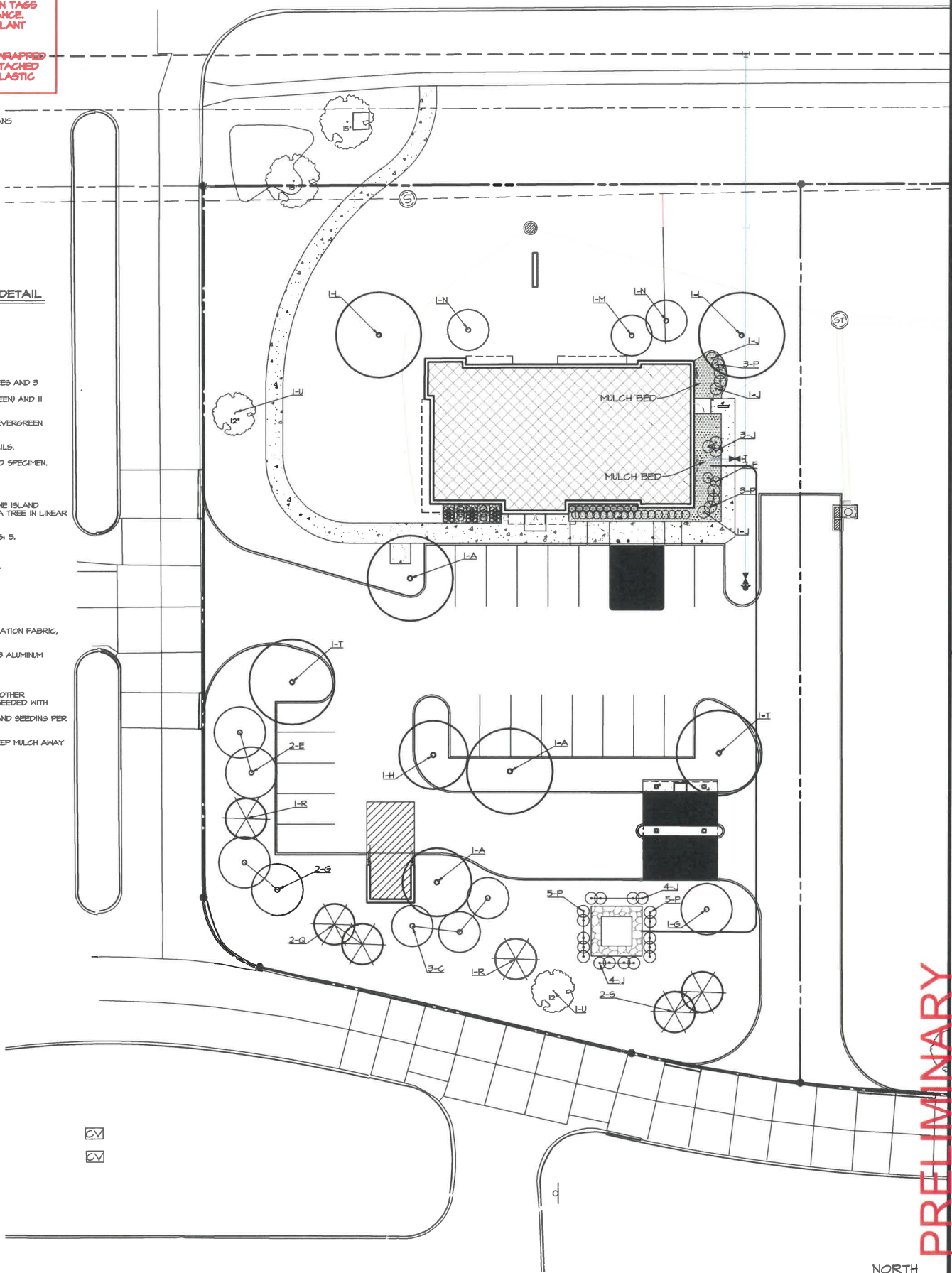
SEEDING AND SOD BED PREPARATION, FERTILIZATION, AND SEEDING PER S.U.D.A.S. SECTIONS 9010 & 9020.

MULCH TO BE 3" SHREDDED HARDWOOD MULCH UNO. KEEP MULCH AWAY FROM TRUNK / STEMS.



PLANT SCHEDULE

MARK	Botanical name COMMON NAME	QUAN.	SIZE	ROOT TYPE	REMARKS
A	<i>Acer truncatum</i> SHANTUNG MAPLE	3	1.5" CAL.	CONT.	MATCHED, SPECIMEN
B	<i>Allium 'Millenium'</i> MILLENNIUM ORNAMENTAL ONION	33	1 GAL.	BR	MATCHED, SPECIMEN, 12" OC, AGGREGATE MULCH BED
C	<i>Amelanchier canadensis</i> SERVICEBERRY	3	6' HT.	CONT.	MATCHED, SPECIMEN, SHRUB FORM
D	<i>Calamagrostis acutiflora 'Karl Foerster'</i> KARL FOERSTER FEATHER REED GRASS	10	3 GAL.	CONT.	MATCHED, SPECIMEN, 1.5' FROM BUILDING, 2' OC, MULCH BED
E	<i>Cercis canadensis</i> EASTERN REDBUD	2	1.5" CAL.	B&B	MATCHED, SPECIMEN, TREE FORM, 12" OC
F	<i>Chamaecyparis obtusa 'Nana Gracilis'</i> HINOKI CYPRESS	2	5 GAL.	CONT.	MATCHED, SPECIMEN, 2.7' OC, MULCH BED
G	<i>Crataegus cuspidata 'Cuzum'</i> CRUSADER HAWTHORN	3	1.5" CAL.	B&B	MATCHED, SPECIMEN, 15" OC
H	<i>Ginkgo biloba 'Princeton Sentry'</i> PRINCETON SENTRY MAIDENHAIR TREE	1	2.5" CAL.	B&B	SPECIMEN
J	<i>Hydrangea paniculata 'Strawberry Sundae'</i> STRAWBERRY SUNDAE HYDRANGEA	15	5 GAL.	CONT.	MATCHED, SPECIMEN, 2.7' OC, MULCH BED
K	<i>Iberis sempervirens 'Snowflake'</i> SNOWFLAKE CANDYTUFF	6	1 GAL.	CONT.	MATCHED, SPECIMEN, 15" OC, AGGREGATE MULCH BED
L	<i>Liriodendron tulipifera '75-01'</i> EMERALD CITY TULIP TREE	2	1.5" CAL.	B&B	MATCHED, SPECIMEN
M	<i>Malus 'Hozom'</i> HOLIDAY GOLD CRABAPPLE	1	1.5" CAL.	CONT.	SPECIMEN
N	<i>Malus 'Sutsum'</i> SUGAR TYME CRABAPPLE	2	1.5" CAL.	CONT.	MATCHED, SPECIMEN
P	<i>Philadelphus 'Belle Etoile'</i> BELLE ETOILE MOCK ORANGE	15	5 GAL.	CONT.	MATCHED, SPECIMEN, 2.7' OC, MULCH BED
Q	<i>Picea glauca 'Densata'</i> BLACK HILLS SPRUCE	2	7' HT.	B&B	MATCHED, SPECIMEN, 10" OC
R	<i>Pinus cembra</i> STONE MOUNTAIN PINE	2	7' HT.	B&B	MATCHED, SPECIMEN
S	<i>Pinus flexilis 'Vanderwolf's Pyramid'</i> VANDERWOLF LUMBER PINE	2	7' HT.	B&B	MATCHED, SPECIMEN, 10" OC
T	<i>Ulmus parvifolia 'Dynasty'</i> DYNASTY LACEBARK ELM	2	1.5" CAL.	B&B	MATCHED, SPECIMEN
U	Existing trees to remain	2			EXISTING HONEYLOCUST, MATCHED, SPECIMEN
V	<i>Geranium 'Gerwat'</i> ROZANNE GERANIUM	17	1 GAL.	CONT.	2' OC, MULCH BED, 2' FROM WALK



DATE: May 14, 2021

MAY 4, 2021 - 3RD SUBMITTAL

APRIL 7, 2021 - 2ND SUBMITTAL

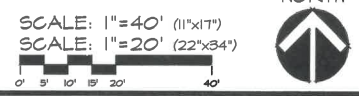
FEB 22, 2021 - 1ST SUBMITTAL

DATE OF SURVEY: NOV. 30, 2020

DESIGNED BY: EHA

DRAWN BY: KRZ

PRELIMINARY



**A RESOLUTION OF THE PLAN AND ZONING COMMISSION
NO. PZC-21-42**

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the property owners, Fore Right LC and West Lakes Commercial LLC, request approval of a Site Plan for the approximately 0.99-acre property generally located at the SW intersection of University Avenue and 71st Street as depicted on the location map included in the staff report. The applicant requests approval to construct a one-story approximately 3,300-square foot commercial bank and associated site improvements; and

WHEREAS, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-005050-2021), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on May 24, 2021.

Erica Andersen, Chair
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on May 24, 2021, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary