

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** June 14, 2021

**ITEM:** Wendy's, 225 & 301 Grand Avenue – Approve Site Plan to allow construction of a 2,500 square foot fast food restaurant – King Enterprises – SP-005129-2021

**Resolution: Approval of Site Plan**

**Background:** Robin Ersfeldt with Watermark Engineering Resources, Ltd, on behalf of the applicant, King Enterprises, and property owners, the City of West Des Moines and Wendy's West Maple, LLC, request approval of the Site Plan for the approximately 1-acre property located at 225 & 301 Grand Avenue. The applicant proposes to demolish the existing Wendy's Restaurant on the site to construct a new 2,500 square foot restaurant with associated site improvements. The City is a co-applicant to this site plan as the City's Legal Department is still working on getting the property ownership transferred to Wendy's West Maple, LLC.

**Staff Review & Comment:**

- **Financial Impact:** The City has purchased the former Rassy's Bike Shop building and land at 301 Grand Avenue, have undertaken demolition of the building and proper disconnection of utilities, and are committed to conveying said property to Wendy's in exchange for the street right-of-way necessary to accommodate the widening of Grand Avenue and the construction of a public access road on the east side of the existing Wendy's site at 225 Grand Avenue. The City has also committed to purchasing a portion of the existing Wendy's site at 225 Grand Avenue in coordination with the planned Wendy's redevelopment.
- **Key Development Aspects:**
  - **Access:** The existing access driveways to the Wendy's site will be removed with the Grand Avenue reconstruction project. Access to the redeveloped site will be via a new north/south public roadway that will be constructed on the east side of the Wendy's property. A second access point will be located on the north side of the site and will be accessed by a newly constructed east/west public roadway north of the Wendy's property.
  - **Streetscape:** The Grand Avenue Redevelopment Plan identifies the streetscape intent for the Val-Gate district and includes vegetation, furniture, and ornamental stone wall screening elements as illustrated in the Grand Avenue Redevelopment Plan. This streetscape is intended to provide desired green to the City, reinforce a district identity, provide visual screening of parking and other negative site elements, bring human scale to adjoining buildings and provide traffic calming benefits. This landscaped edge with hardscape elements or 'streetscape' will be provided along Grand Avenue. A Streetscape and Utility Easement has been prepared for the Wendy's owner's signature. A condition of approval is recommended requiring the Streetscape and Utility Easement be executed prior to any occupancy, including temporary occupancy, being issued for the new Wendy's building.
  - **Lot Tie Agreement:** Since the Wendy's property (225 Grand Avenue) and the former Rassy's property (301 Grand Avenue) will both be utilized for the redevelopment of the Wendy's restaurant; the two properties will need to be tied together. A lot tie agreement has

been prepared for the Wendy's owner's signature once they are the owners of both properties. A condition of approval is recommended requiring the lot tie agreement be executed prior to any occupancy, including temporary occupancy, being issued for the new Wendy's building.

- Traffic Impact Study Findings: A traffic impact study was conducted in February 2021. Including this proposed Wendy's, this area of the Val-Gate development is expected to generate less traffic overall than previously planned and there is no additional loading onto the planned roadways. With the widening of Grand Avenue, several of the current driveways into businesses will be combined or eliminated to reduce the high number of conflict points and improve traffic flow/safety. To facilitate access to and movement between businesses, a backage road has been constructed connecting 1<sup>st</sup> Street to 4<sup>th</sup> Street. A north-south roadway will also be constructed by the City to connect Grand Avenue to this backage road. The Wendy's site is planned to have an eastern access onto this north/south internal street and a northern access onto the east/west internal street. Both accesses are expected to operate with acceptable levels of service. However, due to the short spacing on the north/south internal street between the east/west internal street and the eastern access, exiting drivers may have difficulty making a left-turn out of the driveway and immediately turning right onto the east/west internal street. Moving the driveway farther south on the north/south internal street may cause worse issues related to entering traffic spilling back onto Grand Avenue or issues related to the drive-thru queue spilling back onto the north/south internal street. Instead, moving this driveway to the east/west internal street should be considered. After discussing with the developer, the developer prefers to not change the proposed layout of the site.
- Developer Responsibilities: The developer is responsible for all the costs associated with the development of this site.
- Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

**Outstanding Issues**: There are no outstanding issues.

**Plan and Zoning Commission Action**:

Date:

Vote:

Recommendation:

**Recommendation**: Approve the Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. Applicant acknowledging and executing a lot tie agreement prior to any occupancy permits, including temporary occupancy permits, being issued for the Wendy's building.
2. Applicant acknowledging and executing a Streetscape and Utility Easement prior to any occupancy, including temporary occupancy, being issued for the Wendy's building.

**Lead Staff Member: Brian Portz**

**Approval Meeting Dates:**

Plan and Zoning Commission	June 14, 2021
City Council	

**Staff Report Reviews:**

Plan & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

**Publications (if applicable)**

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

**Council Subcommittee Review (if applicable)**

Subcommittee	Development & Planning
Date Reviewed	3/15/21
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map





# Wendy's - WEST DES MOINES, IA

## FINAL ENGINEERING PLANS

FOR

# WEST DES MOINES, IA

AT

225 GRAND AVENUE  
CITY OF WEST DES MOINES  
POLK COUNTY, IOWA

Plans included are for illustrative purposes only.

Approve plans on file with the City.

INDEX		REVISIONS						
CIVIL ENGINEERING PLANS		1	2	3	4	5	6	7
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C-3	GRADING PLAN							
C-4	ACCESSIBLE ROUTE GRADES AND DETAILS	X	X					
C-5	UTILITY PLAN	X	X					
C-6	SOIL EROSION CONTROL PLAN							
C-7	SOIL EROSION CONTROL DETAILS AND SPECS							
C-8	PROJECT DETAILS							
C-9	PROJECT DETAILS					X		
C-10	PROJECT DETAILS	X	X					
C-11	PROJECT SPECIFICATIONS							
SUPPORTING DOCUMENTS		REVISIONS						
1 of 1	TOPOGRAPHIC SURVEY	X						
L-1	LANDSCAPE PLAN	X	X					
1 of 1	PHOTOMETRIC PLAN							

NOTE: THE DESIGNS CONTAINED IN THE ABOVE PLANS AND SUPPORTING DOCUMENTS WERE PREPARED WITH THE UNDERSTANDING THAT THEY WOULD BE USED AS A WHOLE PLAN SET. EACH CONSTRUCTION DISCIPLINE IS TO USE ALL THE PLANS AND SUPPORTING DOCUMENTS TOGETHER AS A WHOLE AND NOT AS SEPARATE DOCUMENTS. EACH CONTRACTOR IS TO BECOME COMPLETELY FAMILIAR WITH THE WHOLE PLAN SET AND THE EXISTING SITE CONDITIONS. SHOULD ANYTHING WITH ALL THESE PLANS AND SUPPORTING DOCUMENTS BE INCONSISTENT WITH THE SITE CONDITIONS THEN THE CONTRACTOR IS TO CONTACT THE ENGINEER IMMEDIATELY BEFORE ANY CONSTRUCTION IS STARTED.



LEGEND		EXISTING	DESCRIPTION	PROPOSED
LEGEND				
STREET LIGHT		□	CATCH BASIN	●
STORM SEWER INTAKES		□	INLET	●
WATER VALVE		□	STORM MANHOLE	●
STORM SEWER FLARED END SECTION		△	SANITARY MANHOLE	●
SANITARY SEWER MANHOLE		○	VALVE VAULT	●
STORM SEWER MANHOLE		○	FIRE HYDRANT	●
FIRE HYDRANT		○	FLARED END SECTION	●
FOUND 5/8"X24" REROD W/ YELLOW PLASTIC CAP #17340 (UNLESS NOTED OTHERWISE)		●	ELECTRICAL POWER POLE	●
SET 5/8"X24" REROD W/ YELLOW PLASTIC CAP #17340 OR CUT "X"		○	OVERHEAD TRAFFIC SIGNAL	●
SECTION CORNER		△	TRAFFIC SIGNAL MANHOLE	●
M MEASURED		M	OVERHEAD ELECTRIC WIRES	—OHW—
R RECORDED		R	TRANSFORMER PAD	●
P PLATTED		P	TELEPHONE PEDESTAL	●
P.U.E. PUBLIC UTILITY EASEMENT		P.U.E.	TELEPHONE MANHOLE	●
PROPERTY BOUNDARY LINE		—	CABLE TELEVISION PEDESTAL	●
LOT LINE		—	COMMONWEALTH EDISON MANHOLE	●
EASEMENT LINE		—	B/BOX	●
STORM SEWER		—	LIGHT POLE	●
WATER LINE		—	SIGN	●
SANITARY SEWER		—	BOLLARD POLE	●
UNDERGROUND CABLE TELEVISION		—	GAS MARKER	●
UNDERGROUND TELEPHONE		—	ELECTRIC MARKER	●
UNDERGROUND POWER		—	TELEPHONE MARKER	●
UNDERGROUND GAS		—	WATER MAIN	—
UNDERGROUND FIBRE OPTIC LINE		—	GAS MAIN	—
PCC PAVING		■	ELECTRIC LINE	—
HMA PAVING		■	TELEPHONE LINE	—
			CABLE TV LINE	—
			SANITARY SEWER	—
			STORM SEWER	—
			GUY POLE	—
			CONIFEROUS TREE W/DIAMETER	—
			DECIDUOUS TREE W/DIAMETER	—
			WOOD FENCE	—
			CHAIN LINK FENCE	—
			METAL GUARDRAIL	—
			CONCRETE SURFACE	—
			CONTOUR LINE	—
			FINISHED FLOOR ELEVATION	FF
			PAVEMENT ELEVATION	P
			MATCH EXISTING ELEVATION	ME
			GROUND ELEVATION	G
			TOP OF WALK ELEVATION	TW
			TOP OF RETAINING WALL ELEVATION	TRW
			FLOW LINE ELEVATION	FL
			TOP OF CURB ELEVATION	TC
			RIM ELEVATION	R
			DOWNSPOUT LOCATION	D.S.
			PERVIOUS AREA SLOPE DIRECTION	—
			PAVEMENT SLOPE DIRECTION	—
			OVERLAND OVERFLOW DIRECTION	—
			INLET PROTECTION	—
			INLET BASKET FILTER	—

SITE DATA	
<b>LOT INFORMATION</b>	
LOT AREA	= 33,073 S.F. (0.76 AC.)
BUILDING AREA	= 2,584 S.F.
BUILDING AREA EXCLUDING WALK-IN COOLER	= 2,271 S.F.
EX. COMP. LAND USE DESIGNATION = VAL GATE DISTRICT	
EX. ZONING DESIGNATION = CMC - COMMUNITY COMMERCIAL	
EX. LAND USE = CMC - COMMUNITY COMMERCIAL	
PROP. COMP. LAND USE DESIGNATION = VAL GATE DISTRICT	
PROP. ZONING DESIGNATION = CMC - COMMUNITY COMMERCIAL	
PROP. LAND USE = CMC - COMMUNITY COMMERCIAL	
EXISTING IMPERVIOUS AREA	= 31,790 S.F. (0.73 AC.) (96%)
EXISTING PERVIOUS AREA	= 1,283 S.F. (0.03 AC.) (4%)
PROPOSED IMPERVIOUS AREA	= 25,493 S.F. (0.59 AC.) (77%)
PROPOSED PERVIOUS AREA	= 7,580 S.F. (0.17 AC.) (23%)
PERCENT OPEN SPACE REQUIRED PER PUD = 15%	
PERCENT OPEN SPACE PROVIDED = 23%	
<b>ON SITE PARKING DATA</b>	
REQUIRED PARKING	= 15 PER 1,000 S.F. OF GFA
	= (2,271/1000)*12 = 28 SPACES
<b>PROVIDED PARKING</b>	
REGULAR SPACES	32
ADA ACCESSIBLE SPACES	2
TOTAL SPACES	34

BENCHMARK	
CITY BENCHMARKS PUBLISHED AT - <a href="https://www.wdm.iowa.gov/home/showpublisheddocument?id=18724">https://www.wdm.iowa.gov/home/showpublisheddocument?id=18724</a> NAVD 88 DATUM	
1.	CITY OF WDM BM# 079 - INTERSECTION OF 8TH STREET AND ASWORTH ROAD. NORTHWEST CORNER OF INTERSECTION. 90.5 FEET WEST OF CENTERLINE OF 8TH STREET, 32.3 FEET NORTH OF CENTERLINE OF ASWORTH ROAD, BETWEEN THE SIDEWALK AND BACK OF CURB, 2.7 FEET NORTH OF NORTH BACK OF CURB. WDM STANDARD BENCHMARK WDM DATUM 108.07 FEET.
2.	CITY OF WDM BM# 049 - INTERSECTION OF 4TH STREET AND VINE STREET, NORTHEAST CORNER OF INTERSECTION, 50 FEET EAST OF THE CENTERLINE OF 4TH STREET, 50 FEET NORTH OF THE CENTERLINE OF VINE STREET, STANDARD BENCHMARK, WDM DATUM 38.38 FEET.
<b>LOCAL BENCHMARKS</b>	
1.	BM #1 1ST FIRE HYDRANT EAST OF THE SITE, SOUTH OF WEST DRIVEWAY FOR WEST BANK ON THE SOUTH SIDE OF GRAND AVENUE, TAIL OF ARROW, N=576657.35 E=1584307.39 ELEV=42.04
2.	BM #2 1ST FIRE HYDRANT SOUTH OF THE RASSY'S BIKE SHOP BUILDING, SOUTH SIDE OF GRAND AVENUE, TAIL OF ARROW. N=576657.00 E=1583967.42 ELEV=44.70



JEFFREY C. MILLER  
062-045858  
LICENSED PROFESSIONAL ENGINEER  
OF ILLINOIS

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: *Jeffrey C. Miller* DATE: 6/10/2021

JEFFREY C. MILLER  
IOWA LICENSED PROFESSIONAL ENGINEER NO. P25395.  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021.

PAGES OR SHEETS COVERED BY THIS SEAL: C-1 THROUGH C-11.

CASE NUMBER  
SP-005129-2021

COVER SHEET

C-1

DATE	REVISIONS	PERIOD
6/10/21	1	PER CITY OF WEST DES MOINES
6/10/21	2	PER CITY OF WEST DES MOINES
6/10/21	3	PER CITY OF WEST DES MOINES
6/10/21	4	PER CITY OF WEST DES MOINES
6/10/21	5	PER CITY OF WEST DES MOINES

Prepared For:  
King Enterprises  
50 W Douglas, Suite 1101  
Freeport, IL 61032  
WENDY'S - WEST DES MOINES, IA  
225 Grand Avenue  
West Des Moines, Iowa

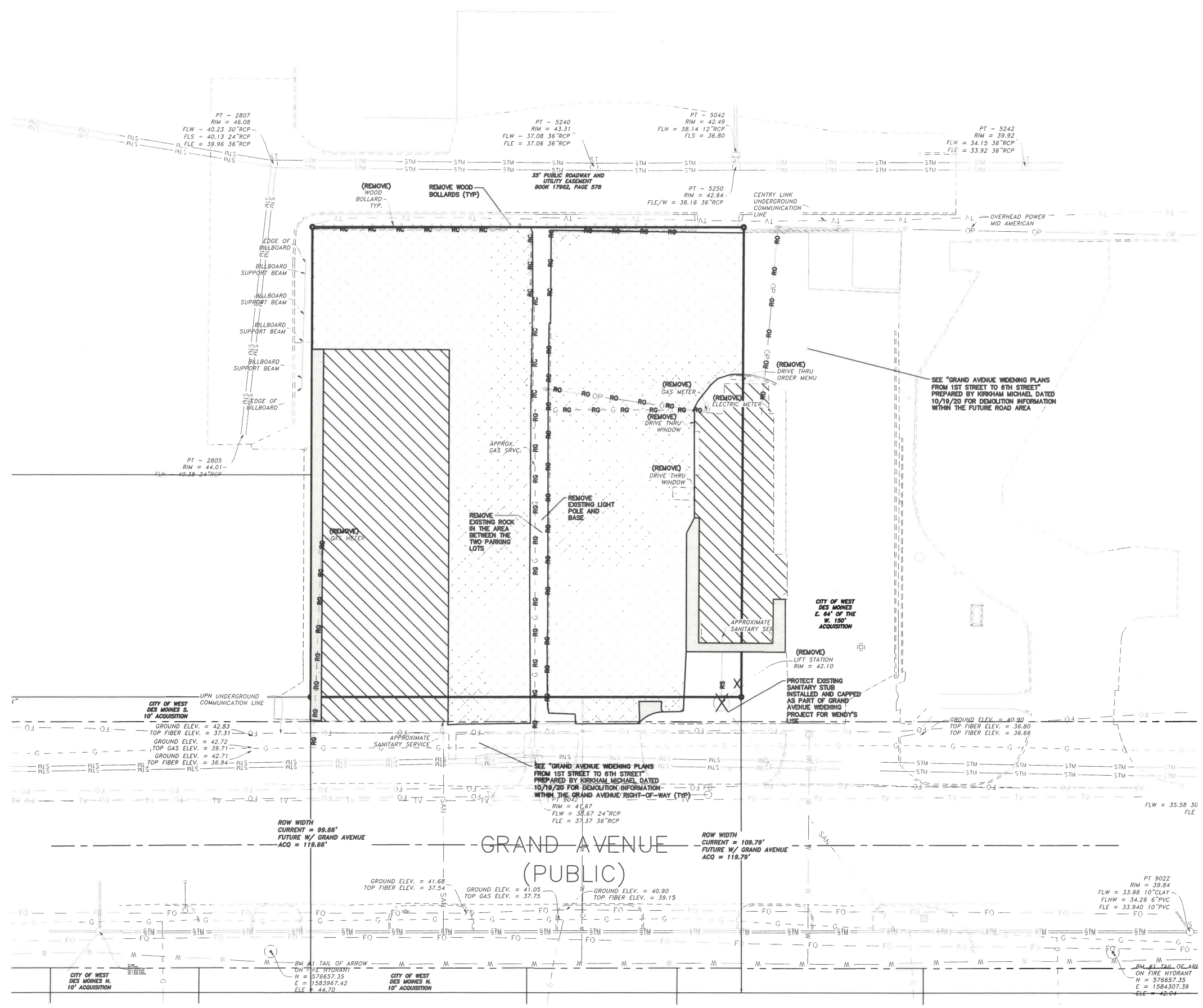
Prepared By:  
Jeffrey C. Miller  
JEFFREY C. MILLER  
ENGINEERING  
RESOURCES

watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1600

CHECKED BY: J. MILLER  
DESIGN BY: R. ERSFELDT  
DRAWN BY: R. ERSFELDT  
DATE: APRIL 13, 2021  
SCALE: NONE  
PROJECT NO.: 20-004

COVER SHEET





**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #2102615 DATED 02/23/2021) PREPARED BY: KIRKHAM MICHAEL, 4930 114TH STREET, URBANDALE, IA 50322, 515-270-0848.  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

**GENERAL NOTES:**  
 1. CONTRACTOR SHALL VERIFY IF STOCKPILES WILL BE ALLOWED ON SITE. COORDINATE WITH PROJECT MANAGER FOR THE PLACEMENT OF MATERIAL STOCKPILES IF PERMITTED. ALL MATERIALS ARE TO BE STOCKPILED SEPARATELY FOR USE IN PREPARING THE BUILDING PAD AND PAVEMENT SUB-BASE IF APPROVED BY TESTING COMPANY AS SUPPLIED BY THE OWNER.  
 2. ALL CONCRETE TO BE PULVERIZED TO 3" MAXIMUM PIECES. MATERIALS MAY BE STOCKPILED (SEPARATELY) AND USED FOR BACKFILL AT A LATER DATE IF APPROVED BY TESTING COMPANY AS SUPPLIED BY THE OWNER.  
 3. ASPHALT MILLINGS MAY BE USED IN UNDERCUT AREAS ONLY IF THEIR GRADATION EQUALS CA-6 AND IF APPROVED BY TESTING COMPANY AS SUPPLIED BY THE OWNER.  
 4. ALL EXISTING UTILITIES ARE TO BE REMOVED WHERE INDICATED.  
 5. CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES.  
 6. CONTRACTOR IS TO TAKE CARE IN LIMITING MATERIALS FROM ENTERING THE STORM EXISTING STORM AND SANITARY SEWERS.  
 7. MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION.  
 8. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION INCLUDING, BUT NOT LIMITED TO POLK COUNTY, NPDES, CITY OF WEST DES MOINES.  
 9. CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BIDDING AND SHALL INFORM OWNER/ENGINEER OF ANY DISCREPANCIES.  
 10. CONTRACTOR TO CONTACT OWNER/ENGINEER TO DISCUSS ANY QUESTIONS OR DISCREPANCIES FOUND ON SITE PRIOR TO ANY CONSTRUCTION. EXISTING UTILITIES ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER/OWNER IMMEDIATELY IN ORDER TO MAKE A DECISION. PROVIDE ITEMIZED FEE FOR UTILITY REMOVAL (LINEAL FOOT) IN BID.  
 11. CONTRACTOR SHALL REMOVE ALL ABOVE GROUND STRUCTURES TO GRADE.  
 12. CONTRACTOR SHALL REMOVE ALL FOOTINGS, FOUNDATIONS, AND BELOW GRADE CONCRETE OR OTHER OBSTRUCTIONS TO FULL DEPTH.  
 13. ALL SANITARY AND WATER SERVICES SHALL BE REMOVED AND CAPPED AT THE PROPERTY LINE UNLESS OTHERWISE NOTED.  
 14. CONTRACTOR SHALL REFERENCE LANDSCAPE PLAN AND/OR TREE PRESERVATION PLAN FOR ALL PLANT MATERIAL. NOTES SHOWN ON THIS PLAN REGARDING LANDSCAPING ARE FOR REFERENCE ONLY. DETAILED INFORMATION REGARDING THE EXISTING PLANT MATERIALS IS SHOWN ON THOSE PLANS AND SHALL BE FOLLOWED.  
 15. ALL ITEMS LABELED "PROTECT" SHALL BE PROTECTED AND SHALL NOT BE REMOVED OR ALTERED AS THEY ARE TO BE RE-USED IN THE PROPOSED DEVELOPMENT.  
 16. THE PLAN IS NOT INTENDED TO DICTATE MEANS AND METHODS, BUT RATHER CLARIFY WHICH EXISTING IMPROVEMENTS SHALL BE PROTECTED AND WHICH SHALL BE REMOVED OR ABANDONED AND THE EXTENT TO WHICH THEY SHALL BE REMOVED OR ABANDONED.

**DEMOLITION LEGEND**

	REMOVE EXISTING ASPHALT (FULL DEPTH)
	REMOVE EXISTING CONCRETE (FULL DEPTH)
	REMOVE EX. BUILDING AND FOUNDATION (COMPLETE)
	REMOVE EXISTING CURB AND GUTTER (TYP.)
	REMOVE EXISTING GAS LINE (TYP.)
	REMOVE EXISTING OVERHEAD WIRES (TYP.)
	REMOVE EXISTING SEWER LINE (TYP.)
	REMOVE EXISTING OBJECT (UTILITY POLES, GUY WIRES, LIGHTS, MANHOLES, SIGNS, ETC.) (TYP.)

DATE	REVISIONS
5/19/21	NO REVISIONS
8/17/21	NO REVISIONS
8/20/21	NO REVISIONS
8/20/21	NO REVISIONS
8/20/21	NO REVISIONS

Prepared For:

King Enterprises  
 50 W Douglas, Suite 1101  
 Freeport, IL 61032

Wendy's - WEST DES MOINES, IA  
 225 Grand Avenue  
 West Des Moines, Iowa

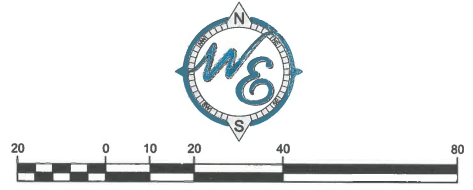
Wendy's

Prepared By:

**Watmark Engineering Resources**

watermark-engineering.com | 2651 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1600

CHECKED BY: J. MILLER  
 DESIGN BY: R. ERSFELDT  
 DRAWN BY: R. ERSFELDT  
 DATE: APRIL 13, 2021  
 SCALE: 1" = 20'  
 PROJECT NO.: 20-004



**DEMOLITION PLAN**

**C-1.1**

DEMOLITION PLAN



**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #2102615 DATED 02/23/2021) PREPARED BY: KIRKHAM MICHAEL, 4930 114TH STREET, URBANDALE, IA 50322, 515-270-0848  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

**SITE DATA**  
**LOT INFORMATION**  
 LOT AREA = 33,073 S.F. (0.76 AC.)  
 BUILDING AREA = 2,584 S.F.  
 EX. COMP. LAND USE DESIGNATION = VAL GATE DISTRICT  
 EX. ZONING DESIGNATION = CMC - COMMUNITY COMMERCIAL  
 EX. LAND USE = CMC - COMMUNITY COMMERCIAL  
 PROP. COMP. LAND USE DESIGNATION = VAL GATE DISTRICT  
 PROP. ZONING DESIGNATION = CMC - COMMUNITY COMMERCIAL  
 PROP. LAND USE = CMC - COMMUNITY COMMERCIAL  
**ON SITE PARKING DATA**  
 REGULAR SPACES = 32  
 ADA ACCESSIBLE SPACES = 2  
 TOTAL SPACES = 34

**GEOMETRIC PLAN NOTES:**  
 1. PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE SOUTHERN PROPERTY LINE.  
 2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.  
 3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.  
 4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.  
 5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

**DIMENSION LEGEND**

F = FACE	FNC = FENCE
FND = FOUNDATION	R = RADIUS
B = BACK	C = CENTER
E = EDGE	PL = PROPERTY LINE

**PAVEMENT LEGEND**

SIDEWALK	5" P.C.C. (SIX BAG MIX) 4" BASE COURSE, CRUSHED STONE OR LIMESTONE (IOWA DOT 4115) COMPACTED SUB-BASE
MEDIUM DUTY CONCRETE	6" REINFORCED P.C.C. PAVEMENT 4" BASE COURSE, CRUSHED STONE OR LIMESTONE (IOWA DOT 4115) COMPACTED SUB-BASE
HEAVY DUTY CONCRETE (TRASH APRON)	6" REINFORCED P.C.C. PAVEMENT 4" BASE COURSE, CRUSHED STONE OR LIMESTONE (IOWA DOT 4115) COMPACTED SUB-BASE

- NOTES:**
- REFERENCE IOWA DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) FOR BINDER & SURFACE COURSES AND AGGREGATE BASE COURSE.
  - SEE PROJECT SPECIFICATIONS FOR SUB-BASE AND BASE COURSE COMPACTION.
  - ALL CONCRETE FLATWORK TO INCLUDE A JOINTING PATTERN SUBMITTAL TO THE CONSTRUCTION MANAGER. CONTRACTOR TO STAY AS CLOSE TO 9'x9' SQUARE PANELS IN LARGE CONCRETE FLATWORK AREAS AS POSSIBLE.
  - FOR SIDEWALKS, PROVIDE TOOLED JOINTS AT 5' O.C., CONTRACTION JOINTS AT 15' O.C., EXPANSION JOINTS AT 45' O.C.
  - PROVIDE AN EXPANSION JOINT ADJACENT TO ALL STRUCTURES. THESE JOINTS SHOULD BE SEALED WITH A TOOL-FINISHED SILICONE SEALANT PER I.D.O.T. STANDARD.

NO.	REVISIONS
1	PER CITY OF WEST DES MOINES
2	PER CITY OF WEST DES MOINES
3	PER CITY OF WEST DES MOINES
4	PER CITY OF WEST DES MOINES
5	PER CITY OF WEST DES MOINES

Prepared For:

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 Freeport, IL 61032  
**WENDY'S - WEST DES MOINES, IA**  
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 West Des Moines, Iowa

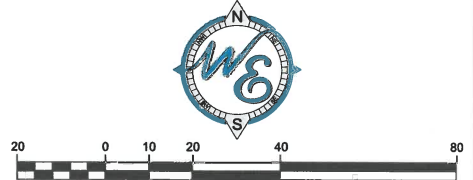
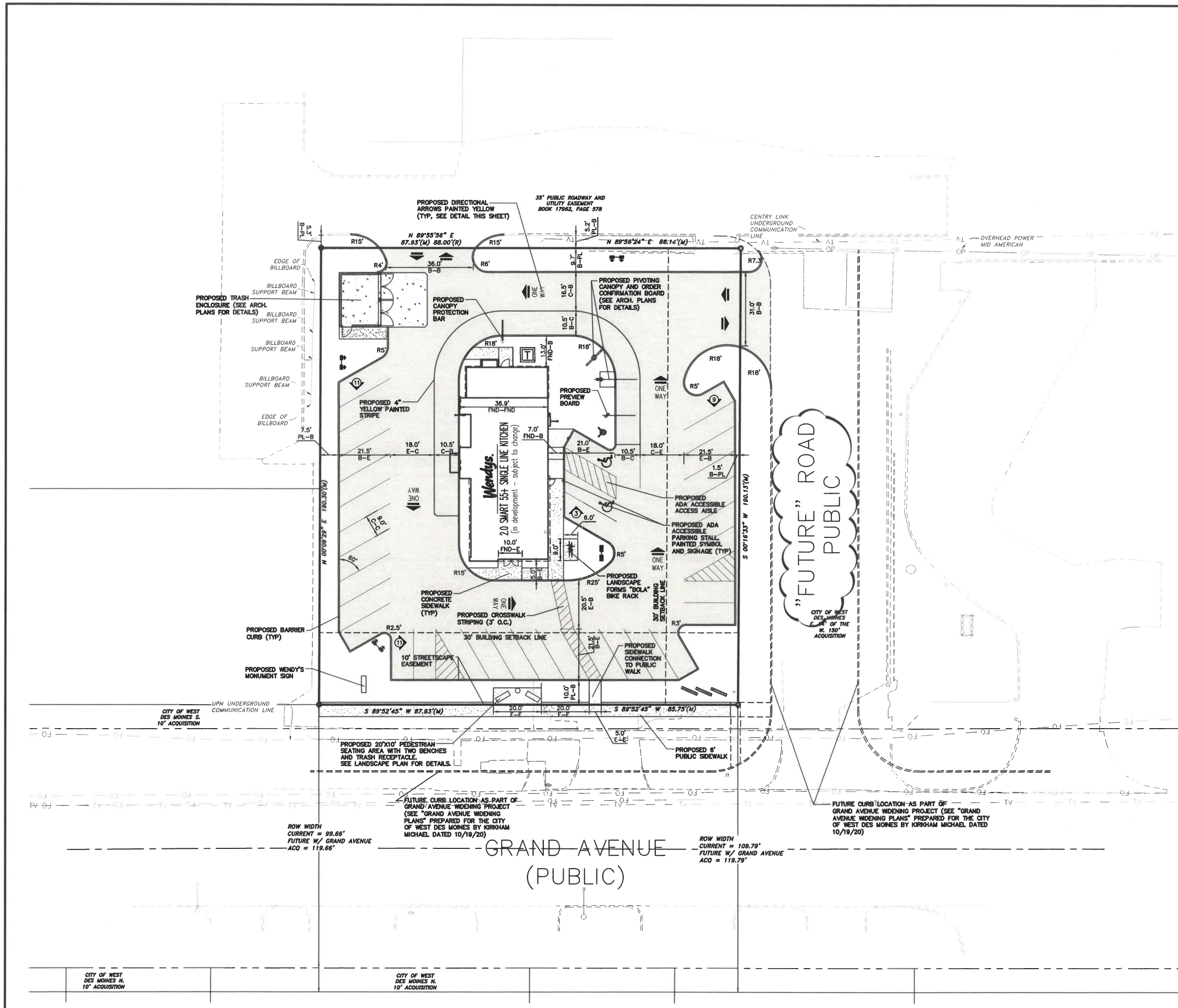


Prepared By:



CHECKED BY: J. MILLER  
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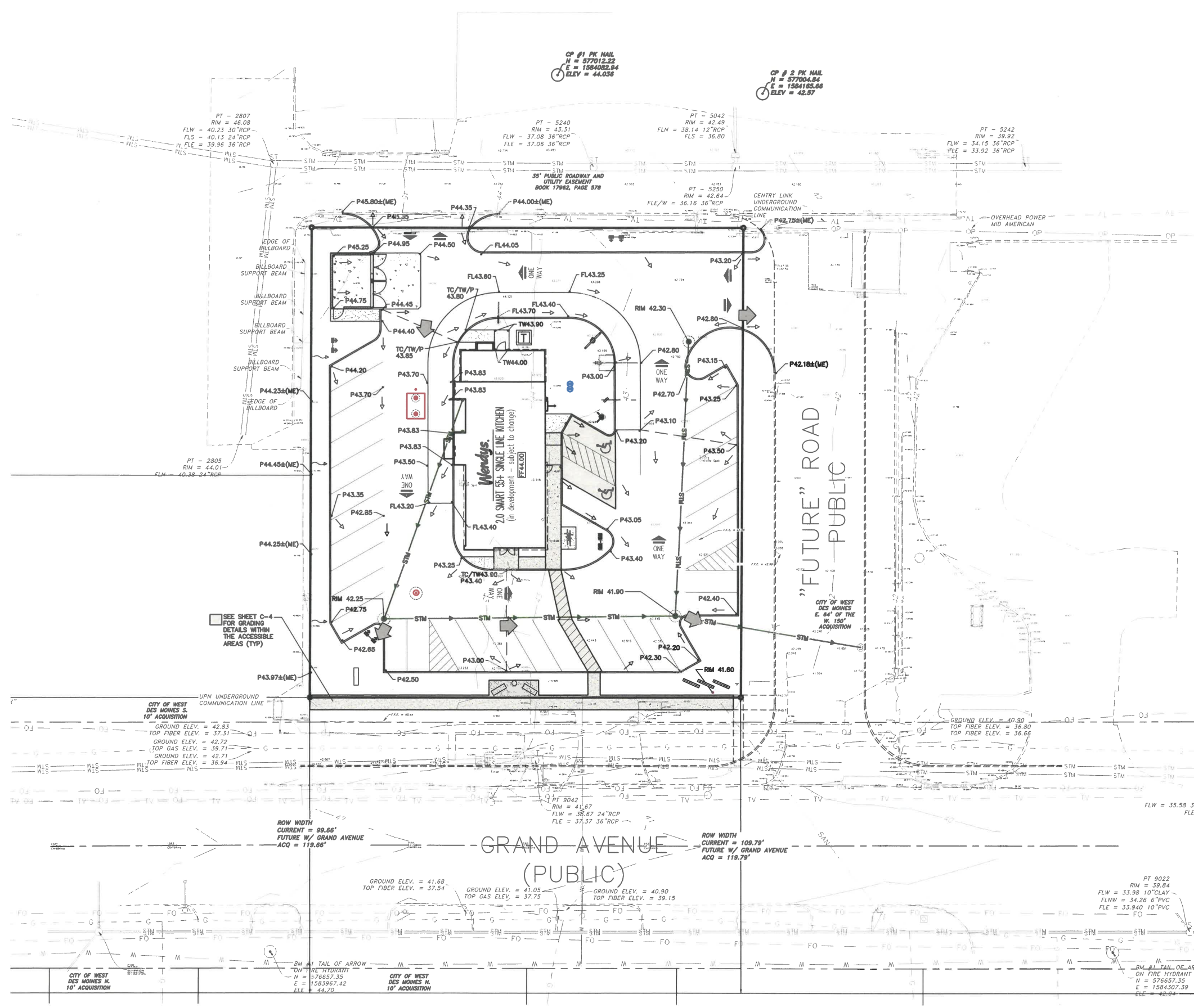
GEOMETRIC PLAN



**GEOMETRIC PLAN**

**C-2**





**GENERAL NOTES:**  
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 PREPARED BY:  
 KIRKHAM MICHAEL  
 4930 114TH STREET, URBANDALE, IA 50322  
 515-270-0848  
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CITY BENCHMARKS PUBLISHED AT -  
<https://www.wdm.iowa.gov/home/showpublisheddocument?id=18724>  
 NAVD 88 DATUM

- CITY OF WDM BM# 079 - INTERSECTION OF 8TH STREET AND ASWORTH ROAD, NORTHWEST CORNER OF INTERSECTION, 80.5 FEET WEST OF CENTERLINE OF 8TH STREET, 32.3 FEET NORTH OF CENTERLINE OF ASWORTH ROAD, BETWEEN THE SIDEWALK AND BACK OF CURB, 2.7 FEET NORTH OF NORTH BACK OF CURB, WDM STANDARD BENCHMARK WDM DATUM 108.07 FEET.
- CITY OF WDM BM# 049 - INTERSECTION OF 4TH STREET AND VINE STREET, NORTHEAST CORNER OF INTERSECTION, 50 FEET EAST OF THE CENTERLINE OF 4TH STREET, 50 FEET NORTH OF THE CENTERLINE OF VINE STREET, STANDARD BENCHMARK, WDM DATUM 38.38 FEET.

- LOCAL BENCHMARKS**
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**GRADING PLAN NOTES:**

- UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) AND/OR TOP OF WALK ELEVATIONS ARE 0.5' HIGHER THAN THE ADJACENT FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
- IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED BASED ON INTERPOLATED GRADES FROM THE SURVEY. CONTRACTOR IS TO VERIFY THESE GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES AND REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.
- PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WICKS, DRAINAGE SCUPPERS OR PIPES, AND LANDSCAPING.
- ALL RETAINING AND/OR DECORATIVE LANDSCAPE WALLS OR CURBS SHOWN ON THIS PLAN, INCLUDING DETAILS AND SECTIONS, ARE TO ILLUSTRATE GENERAL LOCATION, LENGTH, AND HEIGHT. STRUCTURAL DESIGN, INCLUDING PROPER DRAINAGE, TIE-BACKS, AND SHORING AS WELL AS CONSTRUCTION MEANS ARE NOT ADDRESSED AS PART OF THESE PLANS. A STRUCTURAL ENGINEER SHOULD BE ENGAGED BY THE GENERAL CONTRACTOR AS THEY DEEM NECESSARY. WATERMARK ENGINEERING RESOURCES ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURAL ELEMENT.

NO.	REVISIONS	DATE
1	NO REVISIONS	5/19/21
2	NO REVISIONS	6/01/21
3	NO REVISIONS	6/09/21
4	NO REVISIONS	6/09/21
5	NO REVISIONS	6/10/21

Prepared For:  
 King Enterprises  
 50 W Douglas, Suite 1101  
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**WENDY'S - WEST DES MOINES, IA**  
 225 Grand Avenue  
 West Des Moines, Iowa

Prepared By:  
  
 watermark-engineering.com | 2631 Ginger Woods Pkwy Aurora, IL 60502 | (630) 375-1800

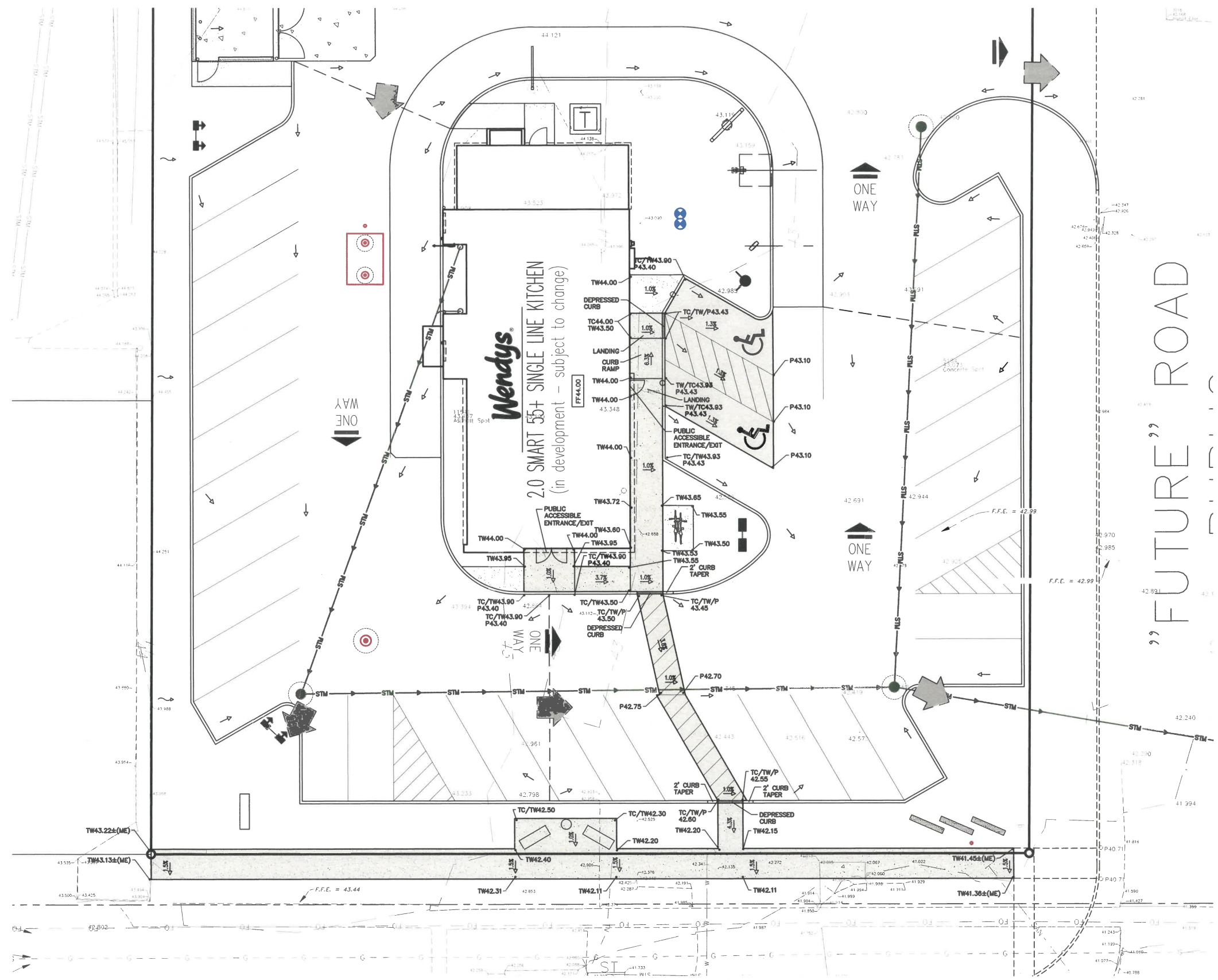
CHECKED BY: J. MILLER  
 DESIGN BY: R. ERSFELDT  
 DRAWN BY: R. ERSFELDT  
 DATE: APRIL 13, 2021  
 SCALE: 1" = 20'  
 PROJECT NO.: 20-004



**GRADING PLAN**  
 C-3

GRADING PLAN





ACCESSIBLE ROUTE GRADES - PLAN VIEW SCALE: 1" = 10' [Symbol] = A.D.A. ACCESSIBLE ROUTE

**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #2102615 DATED 02/23/2021) PREPARED BY: KIRKHAM MICHAEL, 4930 114TH STREET, URBANDALE, IA 50322, 515-270-0848  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

CITY BENCHMARKS PUBLISHED AT - <https://www.wdm.iowa.gov/home/showpublisheddocument?id=18724>  
 NAVD 88 DATUM

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**GRADING PLAN NOTES:**

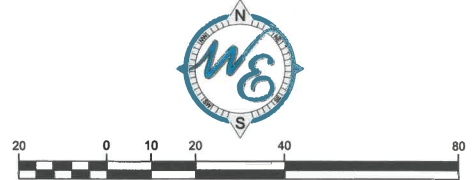
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CHECKED BY: J. MILLER  
 DESIGN BY: R. ERSFELDT  
 DRAWN BY: R. ERSFELDT  
 DATE: APRIL 13, 2021  
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ACCESSIBLE ROUTE GRADES AND DETAILS

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 PREPARED BY:  
 KIRKHAM MICHAEL  
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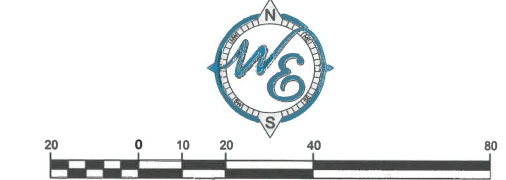
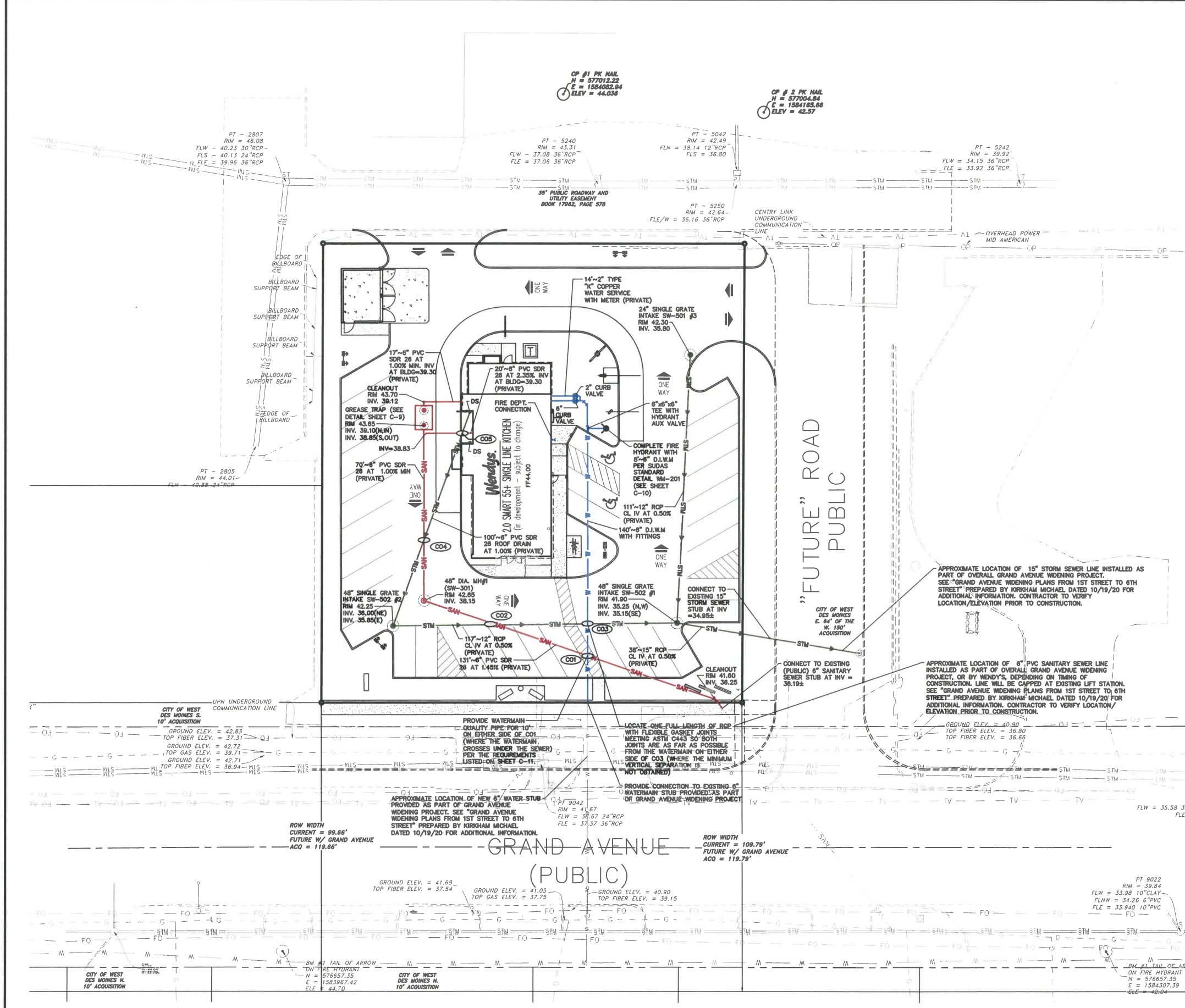
**UTILITY PLAN NOTES:**  
 1. PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR IS TO VERIFY THAT THE PROPOSED UTILITIES SHOWN ON THIS PLAN THAT ENTER THE PROPOSED BUILDING(S) CORRESPOND WITH THE UTILITIES ON THE PLUMBING PLANS AS THEY EXIT THE BUILDING(S). CONTRACTOR TO REPORT IN WRITING ANY DISCREPANCIES IN SIZE, LOCATION, OR INVERT ELEVATION TO THE DESIGN ENGINEER IMMEDIATELY FOR RESOLUTION OF THE CONFLICT IN WRITING.  
 2. GENERAL CONTRACTOR TO COORDINATE THE INSTALLATION AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE AND FIBER OPTICS, WITH THE PUBLIC UTILITY COMPANIES AND ARCHITECT PRIOR TO CONSTRUCTION. THE INSTALLATION OF THE PUBLIC UTILITIES AND NECESSARY SLEEVING TO BE INCLUDED AS PART OF GENERAL CONTRACTOR'S SCOPE OF WORK FOR THIS PROJECT.

**UTILITY CROSSINGS**

- ① 6" SANITARY B/P = 38.84
- ② 6" WATERMAIN T/P = 35.04
- ③ 6" SAN B/P = 37.49
- ④ 12" STM T/P = 36.80
- ⑤ 6" WATERMAIN B/P = 37.20
- ⑥ 12" STM T/P = 36.80
- ⑦ 6" SANITARY B/P = 37.85
- ⑧ 6" ROOF DRAIN T/P = 37.10
- ⑨ 6" SANITARY B/P = 38.97
- ⑩ 6" ROOF DRAIN T/P = 37.56

**PRIVATE WATERMAIN QUANTITY TABLE**

TYPE	SIZE	QUANTITY
TYPE "K" COPPER	2"	14 L.F.
D.I.W.M	6"	140 L.F.



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Prepared For:

King Enterprises  
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 Freeport, IL 61032  
**WENDY'S - WEST DES MOINES, IA**  
 225 Grand Avenue  
 West Des Moines, Iowa

**Wendy's**

Prepared By:

**Watermark Engineering Resources**

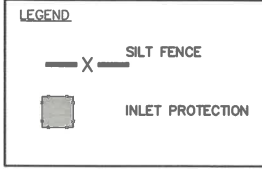
watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1900

CHECKED BY: J. MILLER	DESIGN BY: R. ERSFELDT
DRAWN BY: R. ERSFELDT	DATE: APRIL 13, 2021
SCALE: 1" = 20'	PROJECT NO.: 20-004

UTILITY PLAN

C-5





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Prepared For:

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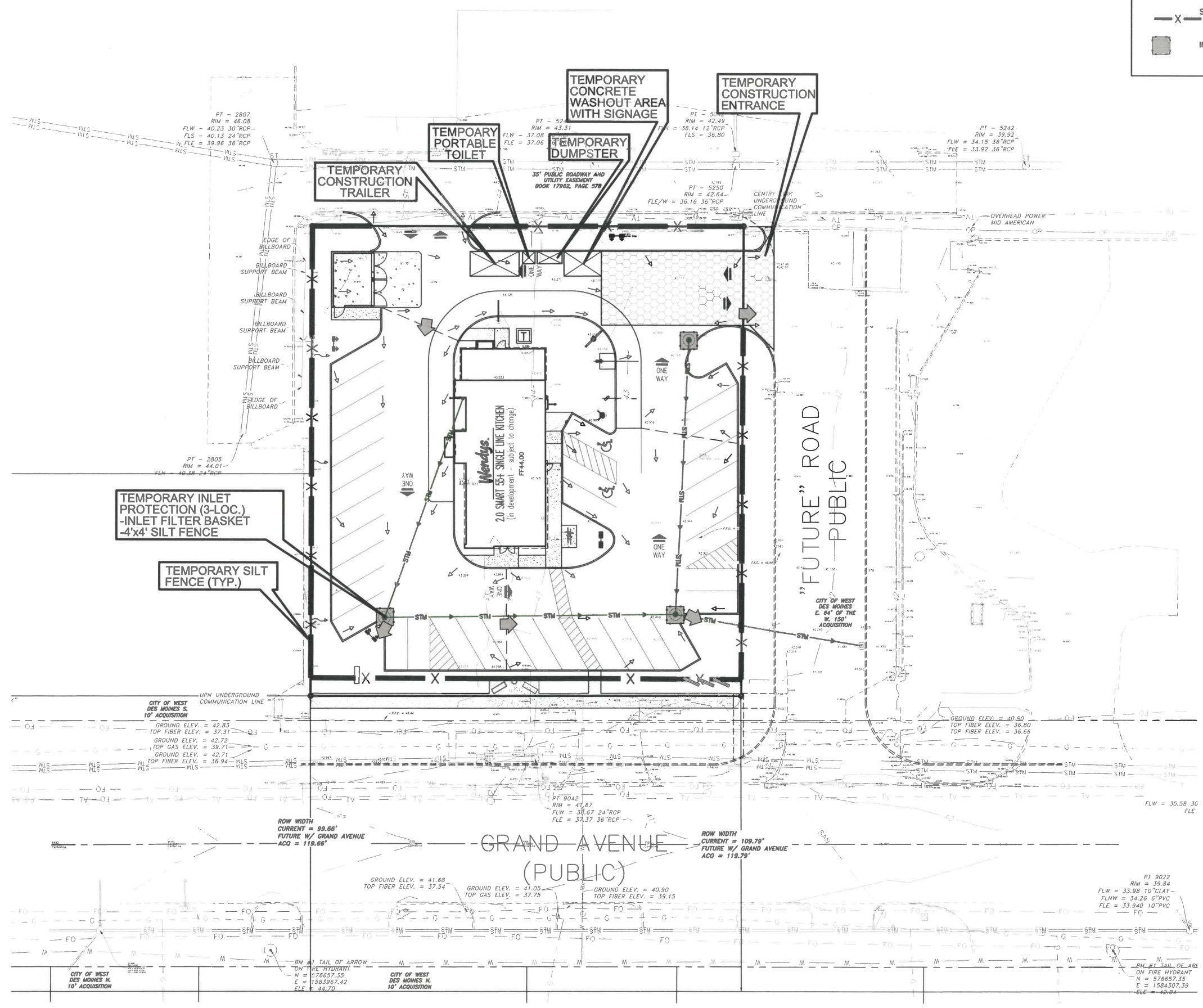
Wendy's

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 watermark-engineering.com

CHECKED BY: J. MILLER  
 DESIGN BY: R. ERSFELDT  
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C-6





PART 9 - SURFACE RESTORATION

INDEX

- |                            |                         |
|----------------------------|-------------------------|
| 1. GENERAL                 | 5. SEEDING              |
| 2. GRADING                 | 6. MULCHING             |
| 3. PREPARATION OF SEED BED | 7. SODDING              |
| 4. FERTILIZER              | 8. PAVEMENT REPLACEMENT |

1. GENERAL

- A. The work under these Specifications include incidental grading, preparation of seedbed, fertilization, planting of seed, mulching, sodding, and watering of sod.
- B. Seeding Dates: Spring seeding dates shall be between March 1st and May 30th. Fall seeding dates shall be between August 10th and September 30th. Legumes shall only be seeded during Spring planting season before April 15th.
- C. The Contractor and Subdivider are responsible for complying with all Local, State, and Federal regulations regarding erosion control and clean water regulations.
- D. Restore parking areas in existing right-of-way to similar or better condition than existed prior to construction.

- Sod all areas disturbed in manicured yards
- Seed all other areas

2. GRADING

- A. Erosion & Drainage: The Contractor shall be responsible for incidental grading on site to eliminate erosion gullies and ruts, and shall provide proper cross section for drainage as directed by City Engineer.
- B. Fill Material: If extra earthwork fill is needed, the Contractor shall provide fill to conform to lines and grades as shown on plans.

3. PREPARATION OF SEED-BED

- A. Areas Accessible to Machinery: Areas accessible to field machinery shall be thoroughly worked to a depth of not less than three inches (3"). The soil shall be brought to a loose, friable condition, and shall be picked free of rocks and concrete chunks in excess of one inch

9 - 1

PART 9 - SURFACE RESTORATION

1. Diameter where seed growth has developed extensively, the use of a disk will be allowed to disk the seeds into the ground if the seeds can be completely covered by the material.

- B. Areas Inaccessible to Machinery: Areas inaccessible to field machinery shall be prepared by hand to a depth of not less than one and one-half inches (1-1/2"). The soil shall be brought to a loose friable condition.
- C. The seedbed shall be inspected and approved by the City Engineer prior to seeding.

4. FERTILIZER

- A. Quality of Fertilizer: Fertilizer shall be granular type and shall be delivered to site in the original bag in good condition for proper distribution.
- B. Rate of Fertilizer: Fertilizer shall be spread uniformly at a rate of 650 pounds per acre of 15-15-15 commercial fertilizer or equivalent per acre. All areas seeded shall be fertilized.
- C. Fertilize all areas to be seeded or sodded.

5. SEEDING

- A. Lawn Seed Mixture: Unless otherwise specified the recommended lawn seed mixture shall be the following:

Creeping Red Fescue	22 lbs. per acre
Kentucky Blue Grass	44 lbs. per acre
Perennial Rye Grass	7 lbs. per acre

- B. Temporary Seed Mixture: Apply as soon as practical following grading operation. The following seed mixture shall be used:

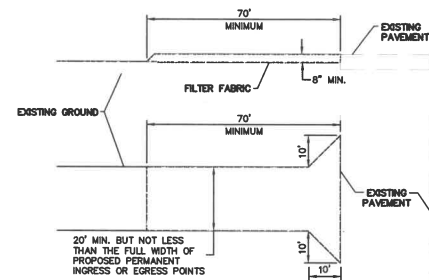
Oats	20 lbs. per acre
Rye Grass - Annual	15 lbs. per acre
Rye Grass - Perennial	15 lbs. per acre
Fescue - Kentucky - 31	10 lbs. per acre

C. Special Seed-Steep Slopes

1. Crowwetch: Where specified on steep slopes the following seed mixture shall be used:

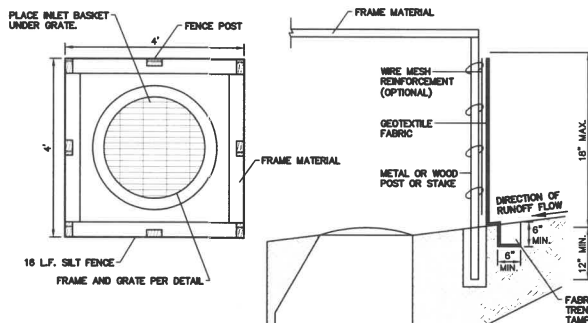
Crowwetch	10 lbs. per acre
Creeping Red Fescue	5 lbs. per acre

9 - 2



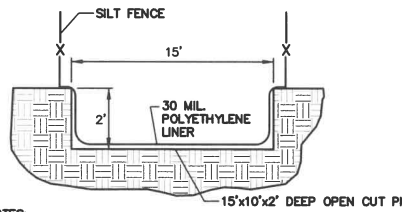
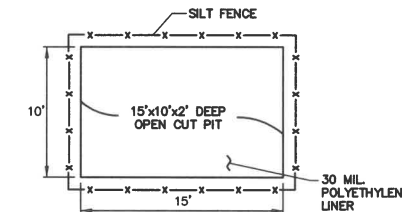
- NOTES:
- STONE SIZE - IDOT COARSE AGGREGATE GRADATIONS: CA-1, CA-2, CA-3 OR CA-4.
  - THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
  - FILTER FABRIC - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL CLASS I, II OR IV IN THE ILLINOIS URBAN MANUAL.
  - STONE PLACEMENT - THE STONES IN THE ENTRANCE SHALL BE PLACED ACCORDING TO ILLINOIS URBAN MANUAL CONSTRUCTION SPECIFICATION 25 (ROCKFILL). PLACEMENT WILL BE BY METHOD 1 AND COMPACTION WILL BE CLASS III.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, WATERCOURSES, OR SURFACE WATERS INCLUDING WETLANDS.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE



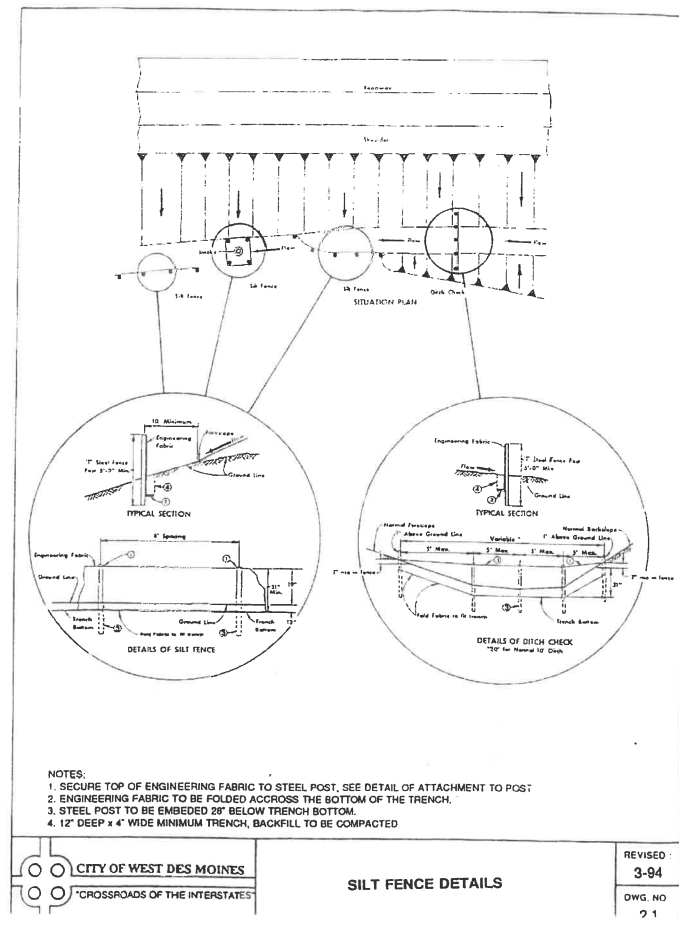
- NOTES:
- FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN.
  - STEEL POSTS SHALL BE STANDARD T AND U SECTIONS WEIGHING NOT LESS THAN 1.33 POUNDS PER LINEAR FOOT OR OTHER STEEL POSTS HAVING EQUIVALENT STRENGTH AND BENDING RESISTANCE.
  - GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 (GEOTEXTILE) TABLE 1 OR 2, CLASS I IN THE ILLINOIS URBAN MANUAL, CURRENT EDITION. THE FABRIC SHALL HAVE AN AOS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN MATERIAL.
  - STAKES ARE TO BE PLACED A MAXIMUM OF 3 FEET APART.
  - JOINTS IN GEOTEXTILE FABRIC ARE TO BE MADE AT STAKES.

INLET PROTECTION



- NOTES:
- OPTIONAL USE OF A PORTABLE CONCRETE WASHOUT CONTAINER IS ACCEPTABLE WITH 30 MIL POLYETHYLENE LINER.
  - CONCRETE WASHOUT SHOULD BE CONTAINED AT ALL TIMES. WASHOUT MATERIAL SHOULD NOT BE ALLOWED TO ENTER WATER BODIES, STORM SEWERS OR LEACH INTO THE SOIL UNDER ANY CIRCUMSTANCES. ANY WASTE SHOULD BE DISPOSED OF PROPERLY AND THE LOCATION OF THE WASHOUT SHOULD BE DESIGNATED WITH PROPER SIGNAGE. FAILURE TO COMPLY COULD RESULT IN AN INCIDENCE OF NONCOMPLIANCE (ION).

CONCRETE WASHOUT AREA DETAIL



EROSION CONTROL

- CONTRACTOR IS TO FOLLOW THE REQUIREMENTS OF THE "IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL" CURRENT EDITION AND THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES).
- SOIL EROSION CONTROL SYSTEMS SHALL BE CONSTRUCTED AS SHOWN ON THE SOIL EROSION CONTROL PLANS AND/OR AS SPECIFIED BY THE DESIGN ENGINEER, VILLAGE ENGINEER, APPOINTED SWPPP INSPECTOR, OR MUNICIPAL INSPECTOR.
- PERIMETER EROSION BARRIER SHALL BE PLACED IN A MANNER THAT WILL INTERCEPT WATER BORNE SILT AND PREVENT IT FROM LEAVING THE AREA OF CONSTRUCTION. ALL SILT FENCES SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE WITH THE ENDS EXTENDING UPSLOPE. THE MAXIMUM SPACING OF POSTS SHALL BE AS INDICATED ON THE CITY OF WEST DES MOINES SILT FENCE DETAIL. SPACING MAY NEED TO BE ADJUSTED SO THAT POSTS ARE LOCATED IN LOW AREAS WHERE WATER MAY POND. THE FILTER FABRIC AND WIRE SUPPORT, IF USED, MUST BE SECURELY FASTENED TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST ONE INCH LONG OR THE WIRES (10 GAGE MINIMUM). THE FABRIC SHALL NOT BE STAPLED OR WIRE TO THE WIRE SUPPORT OR TO EXISTING TREES.
- INLET FILTERS SHALL BE CONSTRUCTED OF A REPLACEABLE REINFORCED FILTER BAG SUSPENDED FROM A RETAINER RING OR FRAME. INLET FILTER SYSTEMS SHALL BE THE CATCH-ALL WITH OVERFLOW, AS FURNISHED BY MARATHON MATERIALS INC., OR PRE-APPROVED EQUAL. CARE SHOULD BE TAKEN WHEN MAINTAINING OR REMOVING THIS FILTER FABRIC BAG TO NOT ALLOW THE PREVIOUSLY TRAPPED DEBRIS TO ENTER THE STORM SEWER SYSTEM.
- THE BED FOR RIP RAP SHALL BE TRIMMED AND SHAPED TO ALLOW THE FINISHED SURFACE TO CONFORM TO THE LINES SPECIFIED. AT THE TOE OF THE SLOPE, THE RIP RAP SHALL COMMENCE ON A CONTINUATION OF THE SLOPE AFTER EXCAVATION TO ACCOMMODATE THE FULL DEPTH OF FABRIC, BEDDING LAYER, AND RIP RAP SPECIFIED.
- FILTER FABRIC IS REQUIRED UNDER STONE RIP RAP GRADATION 4, 5, 6 AND 7 FOR ALL USES, AND UNDER CONCRETE BLOCK, BROKEN CONCRETE, AND STONE OR BROKEN CONCRETE DUMPED RIP RAP WHEN USED FOR SOIL EROSION PROTECTION.
- STREETS ARE TO BE CLEARED OF DEBRIS, AND SWEEPED CLEAN OF SILT AND MUD DAILY.
- SOIL EROSION CONTROL MEASURES ARE TO BE CHECKED BY QUALIFIED PERSONNEL AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL AND REPAIRED IF NECESSARY.
- ALL EROSION CONTROL PROTECTION SHALL BE KEPT IN PLACE UNTIL THE GROUND HAS BEEN STABILIZED AND THE PAVEMENT HAS BEEN INSTALLED.
- ANY DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE STOPPED (PERMANENTLY OR TEMPORARILY) FOR 7 DAYS, MUST BE STABILIZED IN ACCORDANCE WITH NPDES REQUIREMENTS.
- BUILT UP SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- SILT FENCES SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, ETC., TO SEE IF FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND THAT THE FENCE POSTS ARE SECURELY IN THE GROUND.
- THE SEDIMENT BASIN, IF PRESENT, SHALL BE INSPECTED FOR DEPTH OF SEDIMENT AT LEAST ONCE A WEEK. BUILD UP SEDIMENT SHALL BE REMOVED WHEN IT REACHES 25 PERCENT OF THE DESIGN CAPACITY.
- CONTRACTOR TO COMPLY WITH FINAL STABILIZATION AND TERMINATION REQUIREMENTS OF THE SWPPP.
- AT A MINIMUM, SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PHASE I AND PHASE II SOIL EROSION CONTROL PLANS. THEY SHALL ALSO BE INSTALLED ANYWHERE THAT THEY ARE NEEDED DURING CONSTRUCTION IN ORDER TO PREVENT EROSION AND SEDIMENT FROM BEING CARRIED DOWN STREAM. THIS IS THE GENERAL CONTRACTOR'S RESPONSIBILITY AND SHALL BE INSTALLED, RELOCATED, MAINTAINED, ETC. AS DIRECTED BY THE APPOINTED SWPPP INSPECTOR. EROSION CONTROL INSTALLATION AND MAINTENANCE IS TO BE A PART OF THE CONTRACT AND IS NOT AN EXTRA TO THE OWNER.

PART 9 - SURFACE RESTORATION

Alfalfa (Northern Gosset)	5 lbs. per acre
Birdfoot Trefoil (Empire)	5 lbs. per acre
Annual Rye Grass	5 lbs. per acre

3. Inoculation: All Crowwetch seed shall be inoculated with the type specified for Crowwetch. Inoculated seed shall not be exposed to direct sunlight for a period of time exceeding one half (1/2) hour. Seed which is not sown within eight (8) hours after inoculation shall be re-inoculated prior to use. Crowwetch and Birdfoot Trefoil shall be inoculated at five (5) times the rate specified by the manufacturer of the inoculate. All other legumes shall be inoculated at two (2) times the rate specified by the manufacturer of the inoculate.

3. Special Handling: All Crowwetch seed shall be treated with a non-sterearic fungicide seventy-five percent (75%) concentration or equivalent at the rate of one (1) per one hundred (100) pounds of seed. All Crowwetch seed shall be treated with an approved sticking agent to be applied prior to application of the inoculate and fungicide.

4. Time of Application: Crowwetch seed shall be applied only in the Spring. The Crowwetch seeding shall be considered the final operation of seeding, fertilizing and mulching. Crowwetch shall be applied within twenty-four (24) hours after completion and mulching operation.

- D. Method of Seeding: on areas accessible to field machinery, all grasses and legume seed shall be sown with a broadcast seeder or hydraulic seeder on areas inaccessible to field machinery, use of hand-cyclone seeders will be permitted.

- E. Covering and Compaction of Grasses and Legumes: sowing of grasses and legumes shall be followed by not less than one (1) complete rolling with a cultipacker or approved equipment. Where the compaction equipment will not operate satisfactorily, the seeded area shall be lightly dragged or raked in by hand.

- F. Guarantee: if less than fifty percent (50%) of seed fails to become established and survive to the next season in any given area three (3) square feet or larger, the Contractor shall be responsible for preparing the seed bed as specified in Section 3 and overseeding at the rate specified in Section 5A.

6. MULCHING

- A. Mulch all seeded areas as soon as seed is applied.
- B. Material & Rate: Mulch material shall be oat straw or equivalent, applied at a rate of two (2) tons per acre.

9 - 3

PART 9 - SURFACE RESTORATION

- C. Application of Mulch: With exception to Crowwetch, the mulching shall be the final operation of seeding. The mulch shall be evenly and uniformly distributed and anchored into the soil. Anchor mulch into soil by means of dull blades or tines.

7. SODDING

- A. Material: Sod material shall be a good commercial grade of sod, predominantly containing Kentucky Blue Grass and Fescue. The sod shall be free of noxious and other weeds.

- B. Preparation of Sodbed: The sodbed shall be prepared in accordance with SECTION 2 of this Specification. In addition, the grade at sidewalks and driveways shall be lowered such that the final grade of the sod does not protrude above the concrete surfaces. The sod shall be blended to natural ground lines to promote drainage.

- C. Watering Sod: The sod shall be watered within one (1) hour after placement and shall receive enough water to thoroughly soak sod plus sodbed. Sod shall thereafter be watered every other day for at least a two (2) week period.

- D. Guarantee: If fifty percent (50%) of sod fails to survive until next seeding season, the Contractor shall be responsible for resodding or overseeding with the specified lawn seed mixture.

8. PAVEMENT REPLACEMENT

- A. This section describes work to replace existing pavement removed or damaged during construction, comply with applicable requirements of Concrete Pavement: equal or exceed the before construction condition and City Standards.

- B. Saw cut edges of removal with saw, concrete cutter, or other equipment which will produce vertical edge, cut pavement full depth.

- C. Break up and remove existing concrete or asphalt pavement through use of pneumatic hammer or other suitable equipment; do not damage remaining pavement; remove pavement to existing joint when required to maintain joint spacing greater than two feet (2') and when required by City Engineer.

- D. Provide temporary granular surfacing on streets and driveways immediately following completion of backfill.

- F. Should weather condition or traffic preclude the option of immediately installing the permanent repairs, temporary measures may be taken upon approval of the City Engineer.

9 - 4

CONSTRUCTION SEQUENCE:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CONSTRUCT THE SILT FENCES ON THE SITE.
- INSTALL INLET PROTECTION AROUND ALL EXISTING STORM SEWER STRUCTURES.
- HOLD PRE-CONSTRUCTION MEETING TO DISCUSS THE STORM WATER POLLUTION PLAN WITH ENGINEER, ALL CONTRACTORS AND JURISDICTIONAL INSPECTION AGENCIES.
- CLEAR AND GRUB THE SITE.
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- BEGIN GRADING OPERATIONS FOR THE SITE.
- TEMPORARILY SEED DENUDED AREAS.
- INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- INSTALL INLET PROTECTION DEVICES.
- COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

DATE	5/1/21	NO. REVISIONS	NO REVISIONS
	6/1/21		NO REVISIONS
	8/1/21		NO REVISIONS
	8/1/21		NO REVISIONS
	8/1/21		NO REVISIONS

Prepared For:

King Enterprises  
50 W Douglas, Suite 1101  
Freeport, IL 61032

WENDY'S - WEST DES MOINES, IA  
225 Grand Avenue  
West Des Moines, Iowa

Wendy's

Prepared By:

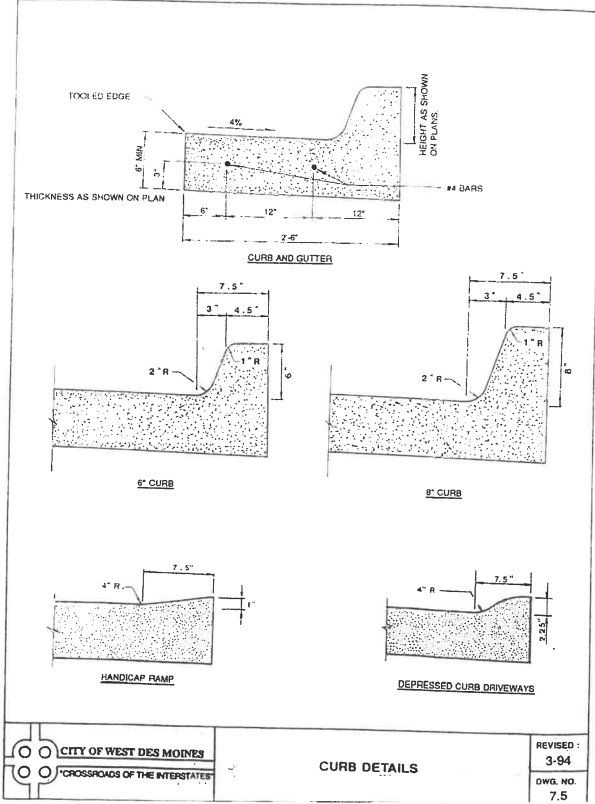
Watermark Engineering Resources

watermark-engineering.com | 2631 Ginger Woods Pkwy Aurora, IL 60502 | (630) 375-1800

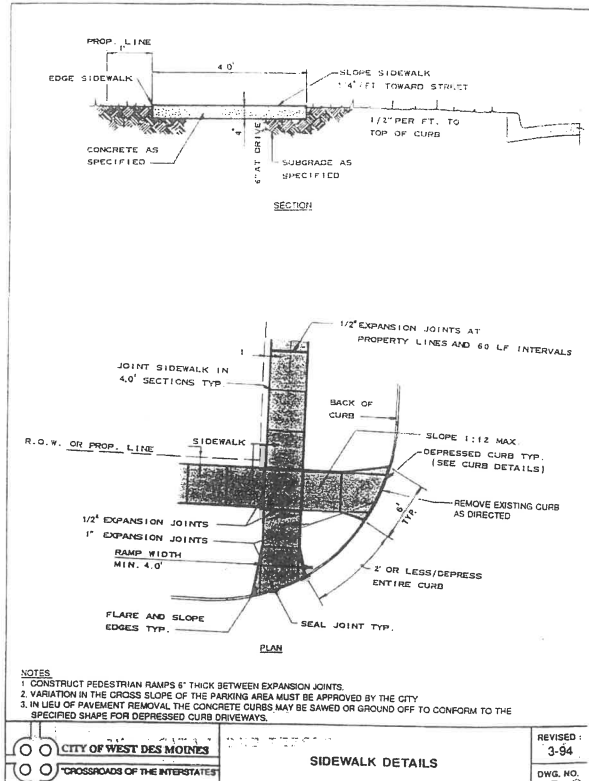
CHECKED BY: J. MILLER  
DESIGN BY: R. ERSFELDT  
DRAWN BY: R. ERSFELDT  
DATE: APRIL 13, 2021  
SCALE: NONE  
PROJECT NO.: 20-004

SOIL EROSION CONTROL DETAILS AND SPECS

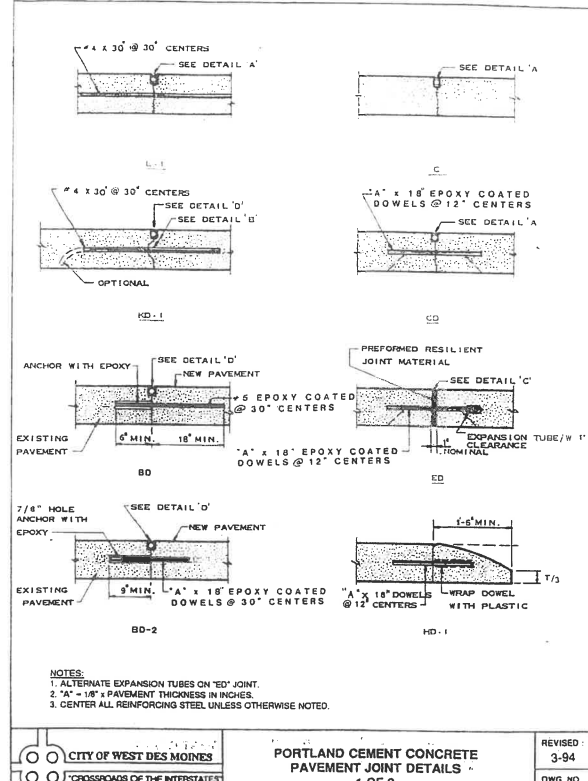
C-7



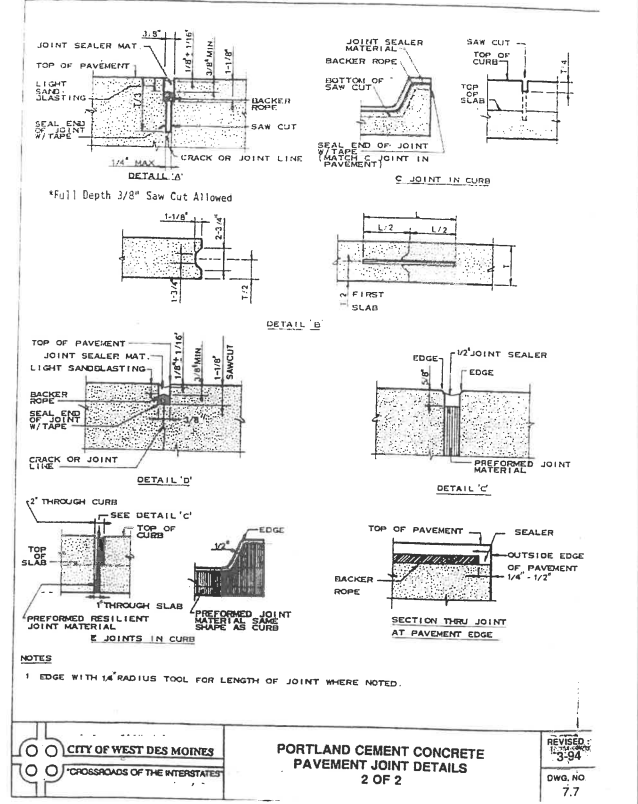
**CURB DETAILS**  
 REVISED: 3-94  
 DWG. NO. 7.5



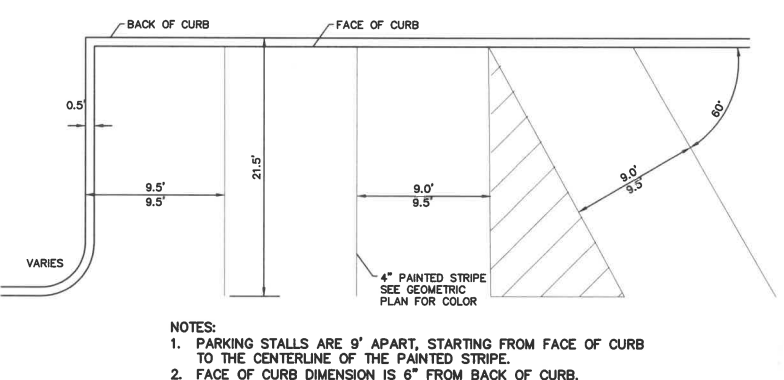
**SIDEWALK DETAILS**  
 REVISED: 3-94  
 DWG. NO. 7.6



**PORTLAND CEMENT CONCRETE PAVEMENT JOINT DETAILS - 1 OF 2**  
 REVISED: 3-94  
 DWG. NO. 7.7

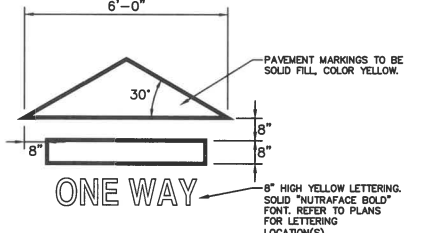


**PORTLAND CEMENT CONCRETE PAVEMENT JOINT DETAILS - 2 OF 2**  
 REVISED: 3-94  
 DWG. NO. 7.7

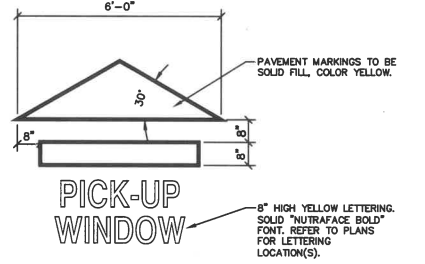


**PARKING STALLS WITH BARRIER CURB (TYP.)**

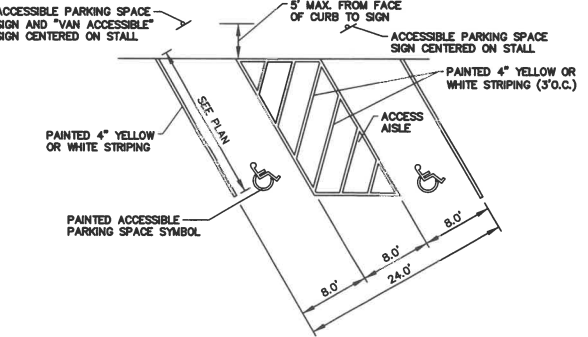
- NOTES:  
 1. PARKING STALLS ARE 9' APART, STARTING FROM FACE OF CURB TO THE CENTERLINE OF THE PAINTED STRIPE.  
 2. FACE OF CURB DIMENSION IS 6" FROM BACK OF CURB.



**PAVEMENT MARKING DETAIL**  
 NO SCALE

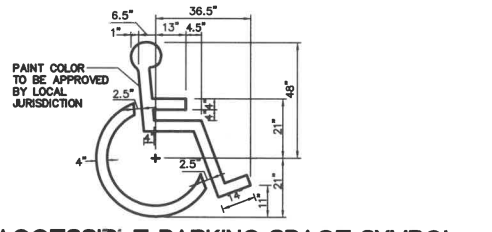


**PAVEMENT MARKING DETAIL**  
 NO SCALE

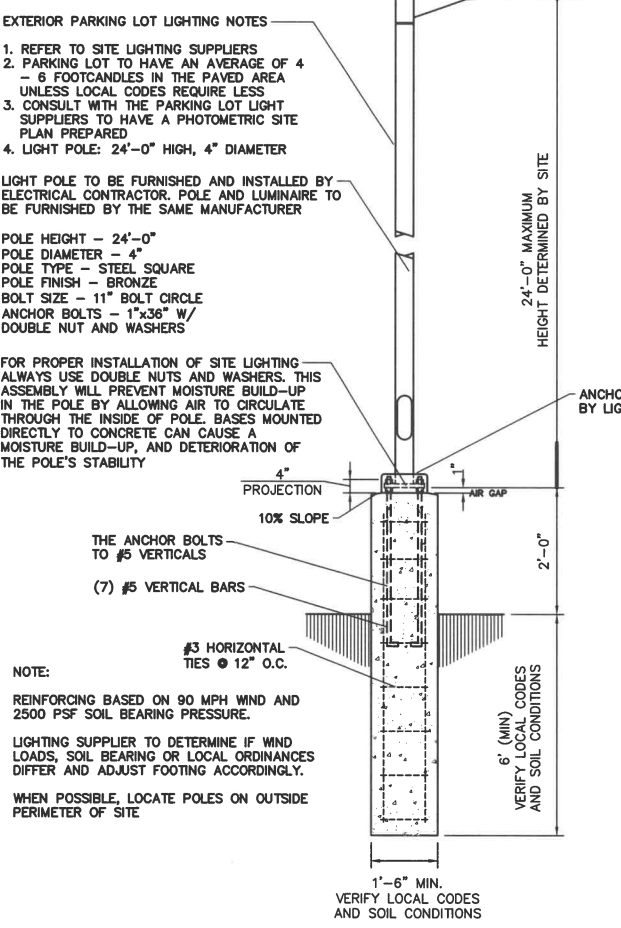


**ACCESSIBLE PARKING SPACE DETAIL FOR CAR AND VAN**

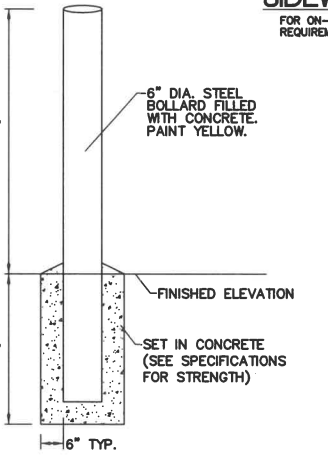
1. STRIPING COLOR TO BE APPROVED BY THE LOCAL JURISDICTION.  
 2. AN ACCESS AISLE MAY BE SHARED WITH A MAXIMUM OF TWO (2) ACCESSIBLE PARKING SPACES.  
 3. WHERE A SINGLE PARKING STALL IS USED, IT IS PREFERRED THAT THE ACCESS AISLE BE LOCATED ON THE PASSENGER SIDE OF THE VEHICLE.  
 4. PARKING STALL AND ACCESS AISLE WIDTHS ARE MEASURED FROM CENTER OF STRIPE TO CENTER OF STRIPE.



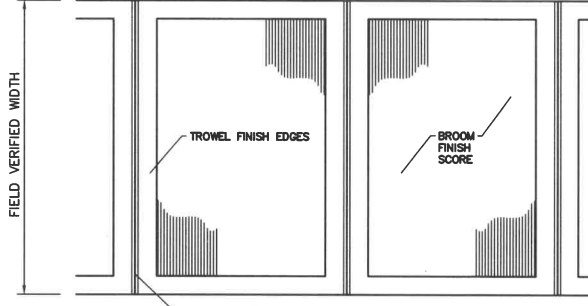
**ACCESSIBLE PARKING SPACE SYMBOL**  
 1. SYMBOL IS CENTERED ON WIDTH OF PARKING STALL AND EVEN WITH THE END OF THE STALL.



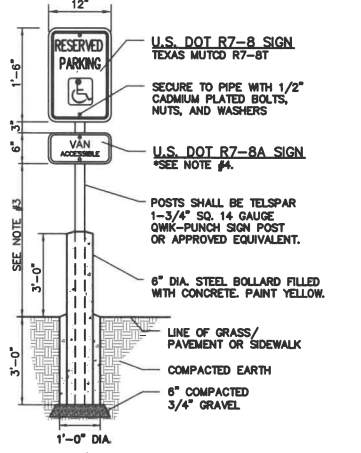
**EXTERIOR LIGHT POLE DETAIL**



**BOLLARD**



**SIDEWALK FINISH DETAIL**  
 FOR ON-SITE WALKS ONLY. SEE JURISDICTIONAL REQUIREMENTS FOR WALK IN PUBLIC RIGHT-OF-WAY.

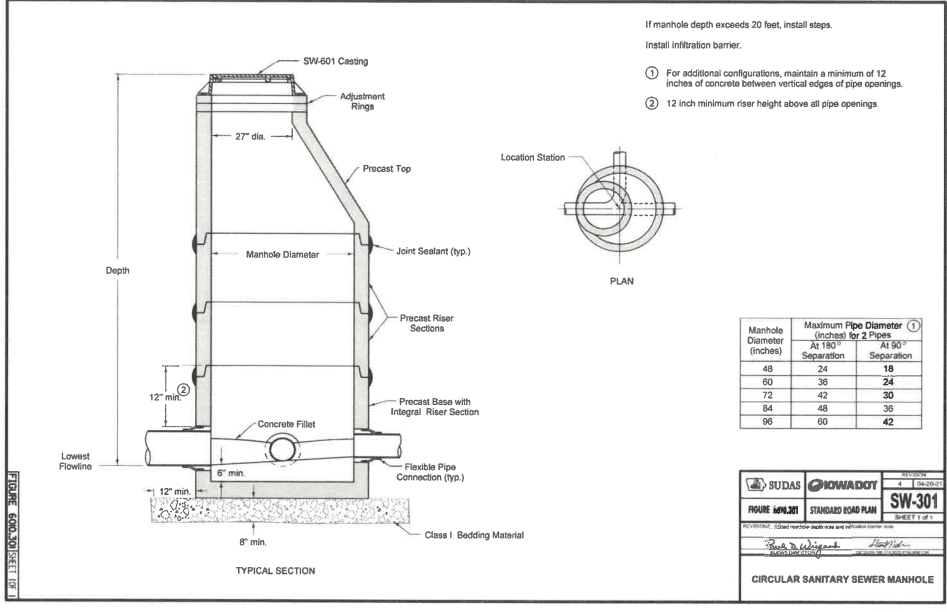


**ACCESSIBLE PARKING SPACE SIGN DETAIL**

1. WHERE A FINE IS ESTABLISHED BY A MUNICIPALITY BY ORDINANCE IN ACCORDANCE WITH THE STATUTES, THE ACTUAL AMOUNT OF THE FINE SHOULD BE SHOWN ON A SIGN MEASURING 12"x9". THIS PLATE MAY BE MOUNTED DIRECTLY BELOW THE R7-8 SIGN.  
 2. ONE IN EVERY SIX ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE DESIGNATED "VAN ACCESSIBLE".  
 3. THE LOWEST BOTTOM EDGE OF THE LOWEST REQUIRED SIGN SHALL BE MOUNTED AT 60" ABOVE FINISHED GRADE.

DATE	REVISIONS	NO.	PREPARED FOR:
5/18/21	NO REVISIONS	1	King Enterprises 50 W Douglas, Suite 1101 Freeport, IL 61032 <b>WENDY'S - WEST DES MOINES, IA</b> 225 Grand Avenue West Des Moines, Iowa
8/01/21	NO REVISIONS	2	
8/08/21	NO REVISIONS	3	
8/09/21	NO REVISIONS	4	
8/10/21	NO REVISIONS	5	
CHECKED BY: J. MILLER DESIGN BY: R. ERSFELDT DRAWN BY: R. ERSFELDT DATE: APRIL 13, 2021 SCALE: NONE PROJECT NO.: 20-004			Prepared By: <b>Mat &amp; Ginger Engineering Resources</b> watermark-engineering.com   2631 Ginger Woods Pkwy   Aurora, IL 60502   (630) 375-1800 <b>Wendy's</b>





- If manhole depth exceeds 20 feet, install steps. Install infiltration barrier.
- For additional configurations, maintain a minimum of 12 inches of concrete between vertical edges of pipe openings.
  - 12 inch minimum riser height above all pipe openings.

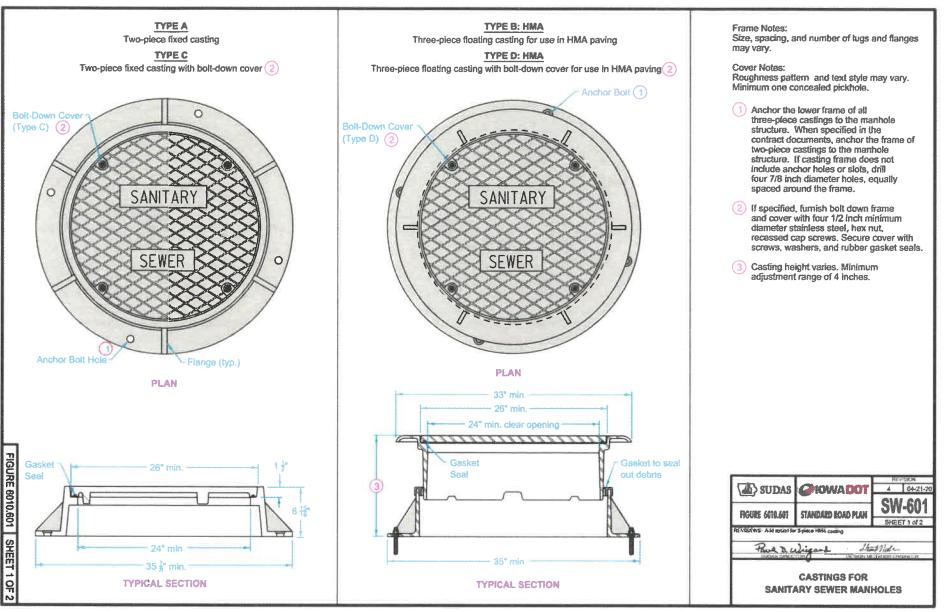
Manhole Diameter (inches)	Maximum Pipe Diameter (inches) At 180° Separation	At 90° Separation
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42

**SUDAS HOWADOT**

FIGURE 601.01 STANDARD ROAD PLAN SHEET 1 OF 2

**SW-301**

CASTINGS FOR SANITARY SEWER MANHOLES



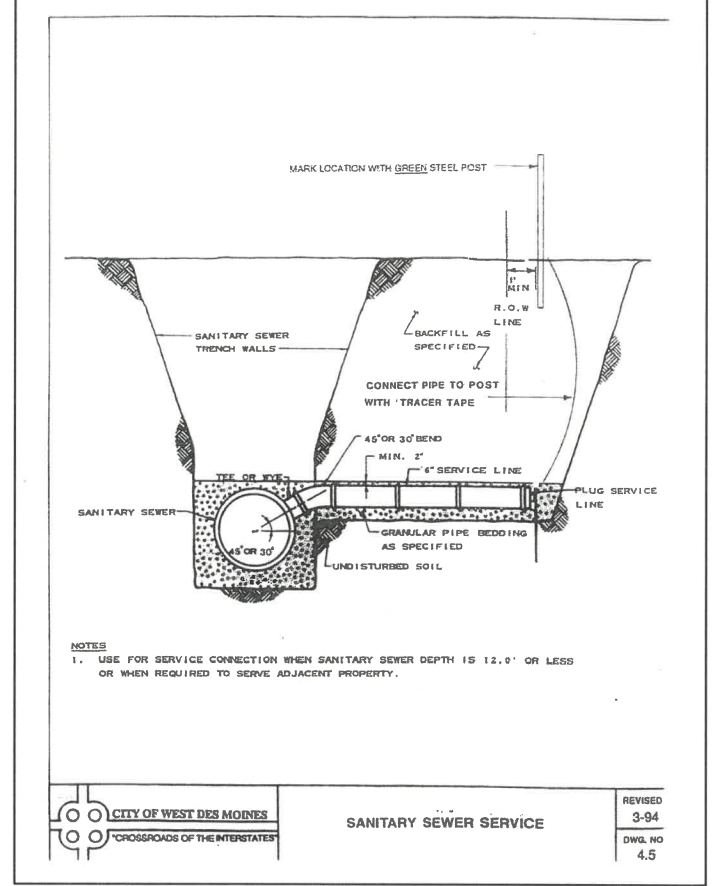
- Frame Notes:  
Size, spacing, and number of lugs and flanges may vary.
- Cover Notes:  
Roughness pattern and text style may vary. Minimum one concealed pickhole.
- Anchor the lower frame of all three-piece castings to the manhole structure. When specified in the contract documents, anchor the frame of two-piece castings to the manhole structure. If casting frame does not include anchor holes or slots, drill four 7/8 inch diameter holes, equally spaced around the frame.
  - If specified, furnish bolt down frame and cover with four 1/2 inch minimum diameter stainless steel, hex nut, recessed cap screws. Secure cover with screws, washers, and rubber gasket seals.
  - Casting height varies. Minimum adjustment range of 4 inches.

**SUDAS HOWADOT**

FIGURE 601.02 STANDARD ROAD PLAN SHEET 1 OF 2

**SW-601**

CASTINGS FOR SANITARY SEWER MANHOLES



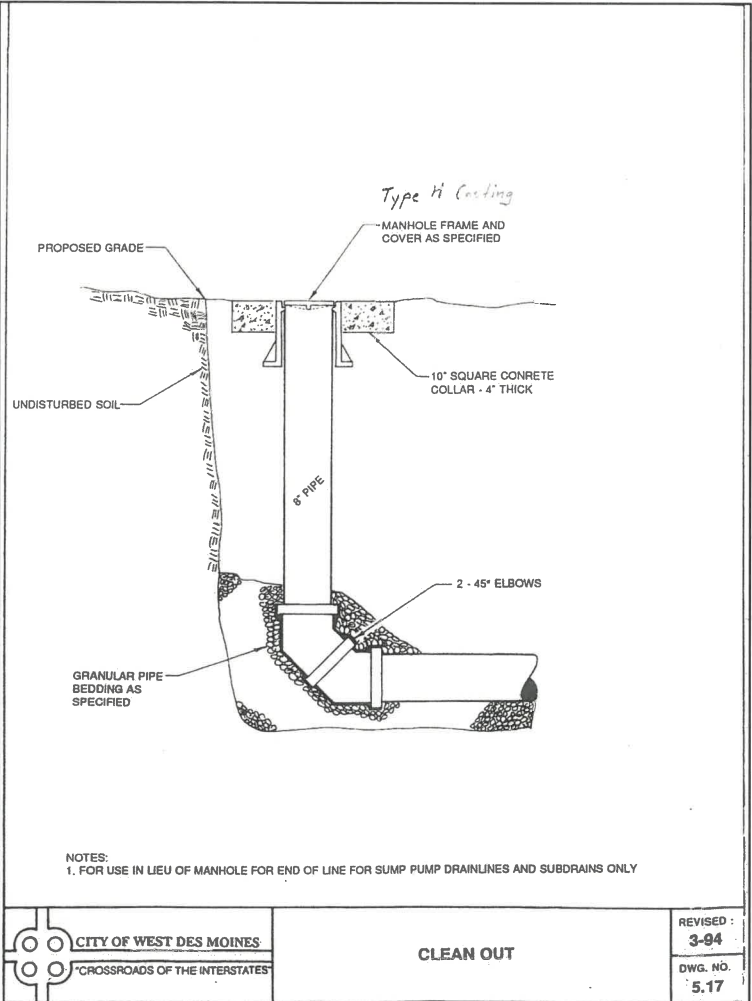
- NOTES
- USE FOR SERVICE CONNECTION WHEN SANITARY SEWER DEPTH IS 12.0' OR LESS OR WHEN REQUIRED TO SERVE ADJACENT PROPERTY.

**CITY OF WEST DES MOINES**

**SANITARY SEWER SERVICE**

REVISED 3-94

DWG. NO. 4.5



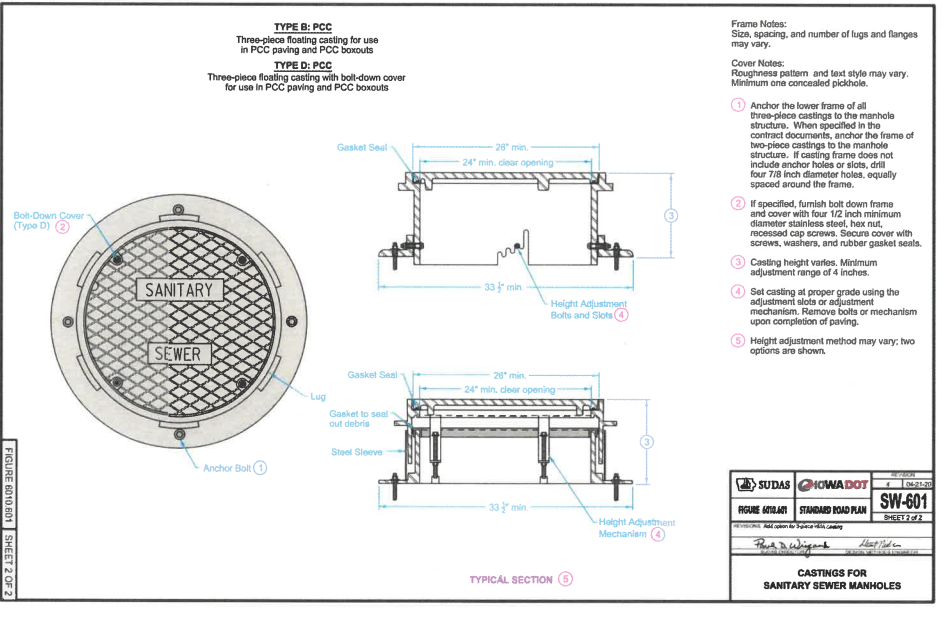
- NOTES:
- FOR USE IN LIEU OF MANHOLE FOR END OF LINE FOR SUMP PUMP DRAINLINES AND SUBDRAINS ONLY

**CITY OF WEST DES MOINES**

**CLEAN OUT**

REVISED 3-94

DWG. NO. 5.17



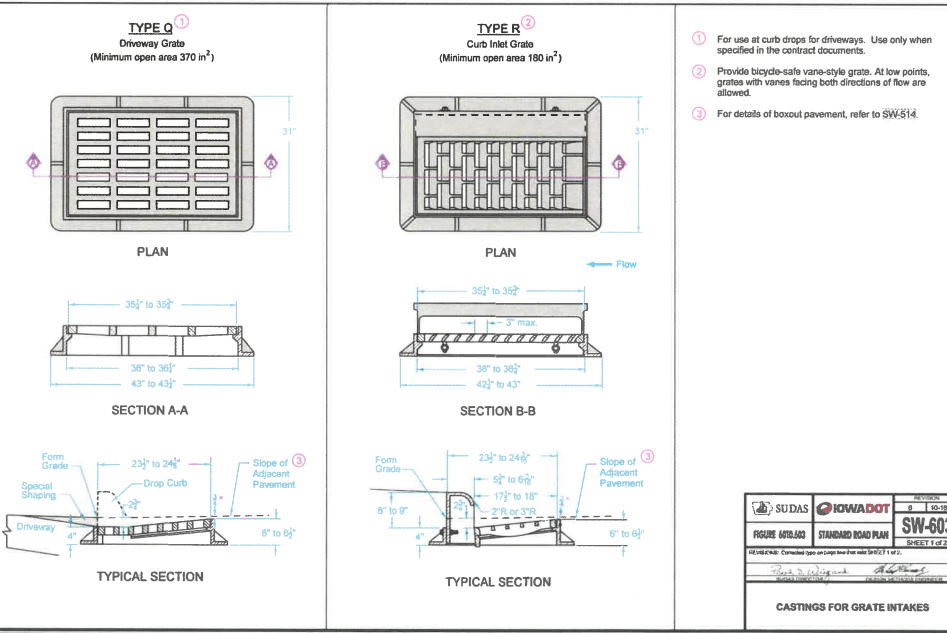
- Frame Notes:  
Size, spacing, and number of lugs and flanges may vary.
- Cover Notes:  
Roughness pattern and text style may vary. Minimum one concealed pickhole.
- Anchor the lower frame of all three-piece castings to the manhole structure. When specified in the contract documents, anchor the frame of two-piece castings to the manhole structure. If casting frame does not include anchor holes or slots, drill four 7/8 inch diameter holes, equally spaced around the frame.
  - If specified, furnish bolt down frame and cover with four 1/2 inch minimum diameter stainless steel, hex nut, recessed cap screws. Secure cover with screws, washers, and rubber gasket seals.
  - Casting height varies. Minimum adjustment range of 4 inches.
  - Set casting at proper grade using the adjustment slots or adjustment mechanism. Remove bolts or mechanism upon completion of paving.
  - Height adjustment method may vary; two options are shown.

**SUDAS HOWADOT**

FIGURE 601.03 STANDARD ROAD PLAN SHEET 1 OF 2

**SW-601**

CASTINGS FOR SANITARY SEWER MANHOLES



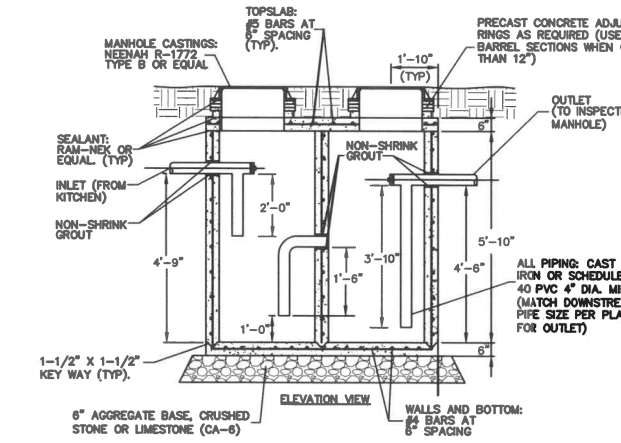
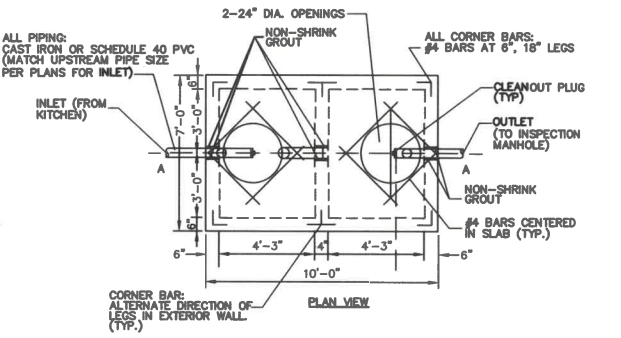
- For use at curb drops for driveways. Use only when specified in the contract documents.
- Provide bicycle-safe vane-style grates. At low points, grates with vanes facing both directions of flow are allowed.
- For details of boxout pavement, refer to SW-514.

**SUDAS HOWADOT**

FIGURE 601.04 STANDARD ROAD PLAN SHEET 1 OF 2

**SW-603**

CASTINGS FOR GRATE INTAKES



- GREASE TRAP DETAIL**
- N.T.S.
- ADDITIONAL REQUIREMENTS
- MINIMUM LIQUID HOLDING CAPACITY: 1,750 GALLONS.
  - MINIMUM 28-DAY CONCRETE STRENGTH: 4,000 PSI
  - MINIMUM RE-BAR COVER: 2 INCHES

**PROJECT DETAILS**

DATE	REVISIONS	NO.	NO. REVISIONS
8/1/21	NO REVISIONS	1	NO REVISIONS
8/17/21	NO REVISIONS	2	NO REVISIONS
8/24/21	NO REVISIONS	3	NO REVISIONS
8/31/21	NO REVISIONS	4	NO REVISIONS
9/7/21	NO REVISIONS	5	NO REVISIONS

PREPARED FOR:

King Enterprises  
50 W Douglas, Suite 1101  
Freeport, IL 61032

WENDY'S - WEST DES MOINES, IA  
225 Grand Avenue  
West Des Moines, Iowa

Prepared By:

**Watmark Engineering Resources**

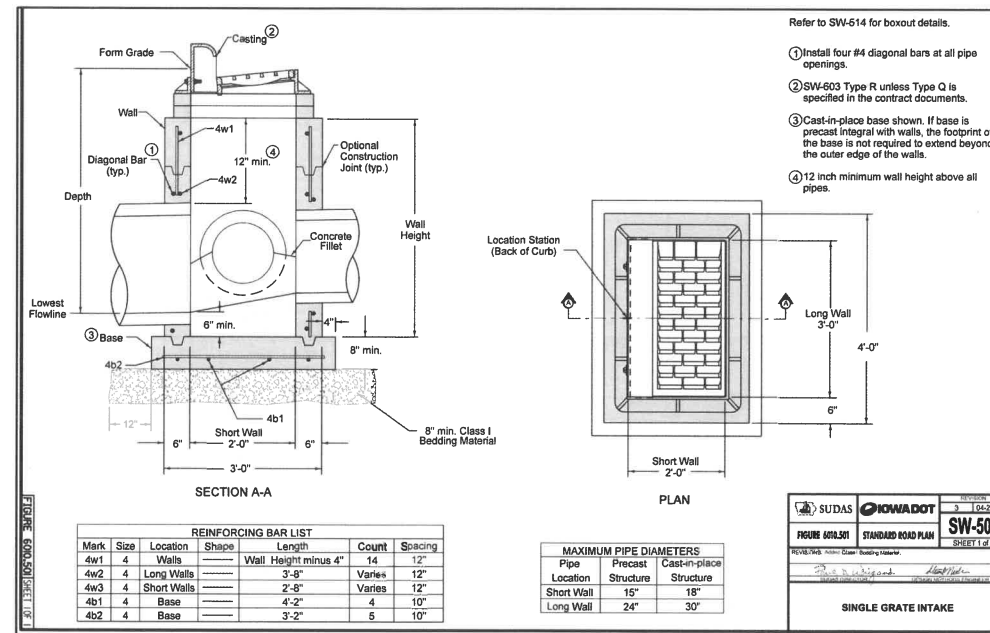
watermark-engineering.com | 2631 Ghinger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

CHECKED BY: J. MILLER  
DESIGN BY: R. ERSFELDT  
DRAWN BY: R. ERSFELDT  
DATE: APRIL 13, 2021  
SCALE: NONE  
PROJECT NO.: 20-004

**PROJECT DETAILS**

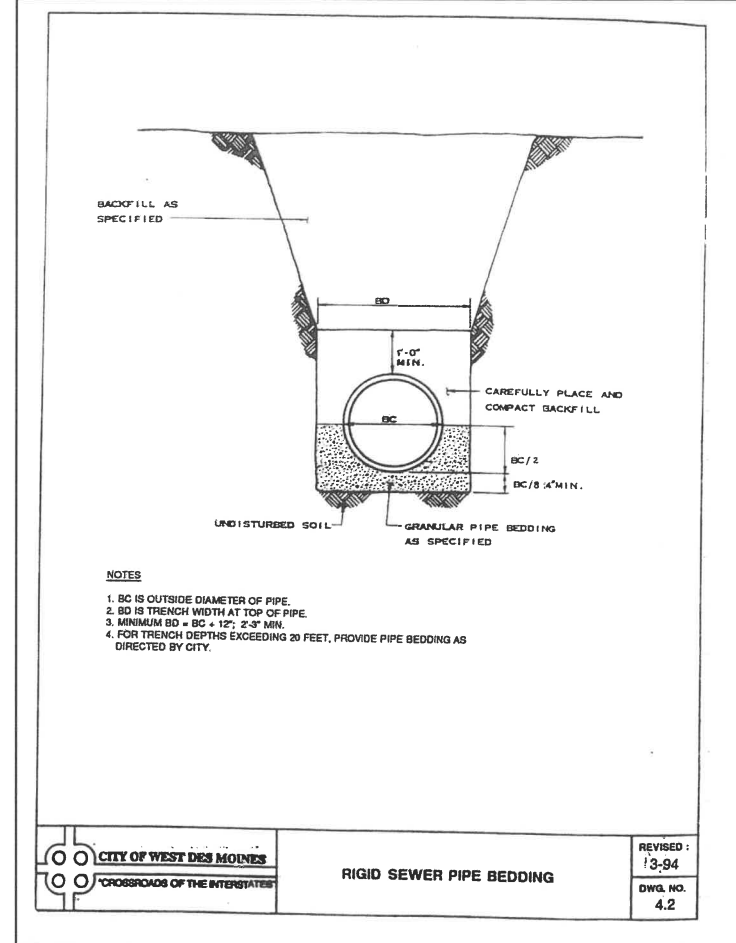
**C-9**





- Refer to SW-514 for boxout details.
- Install four #4 diagonal bars at all pipe openings.
  - SW-603 Type R unless Type Q is specified in the contract documents.
  - Cast-in-place base shown. If base is precast integral with walls, the footprint of the base is not required to extend beyond the outer edge of the walls.
  - 12 inch minimum wall height above all pipes.

Pipe Location	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"

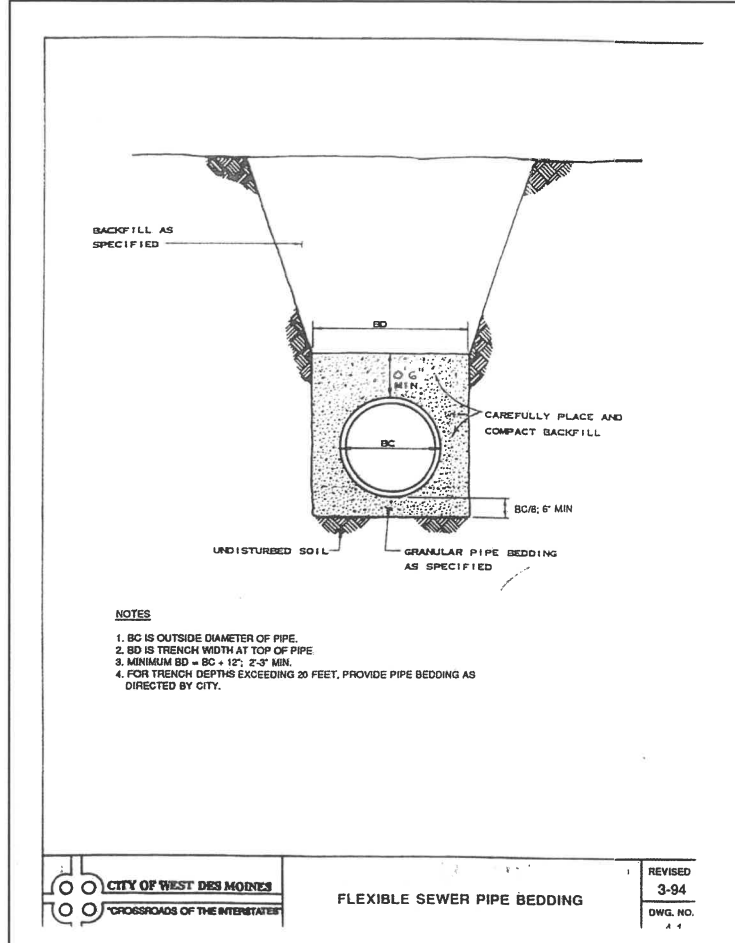


- NOTES
- BC IS OUTSIDE DIAMETER OF PIPE.
  - BD IS TRENCH WIDTH AT TOP OF PIPE.
  - MINIMUM BD = BC + 12"; 2'-3" MIN.
  - FOR TRENCH DEPTHS EXCEEDING 20 FEET, PROVIDE PIPE BEDDING AS DIRECTED BY CITY.

CITY OF WEST DES MOINES  
CROSSROADS OF THE INTERSTATES

**RIGID SEWER PIPE BEDDING**

REVISED: 13-94  
DWG. NO. 4.2

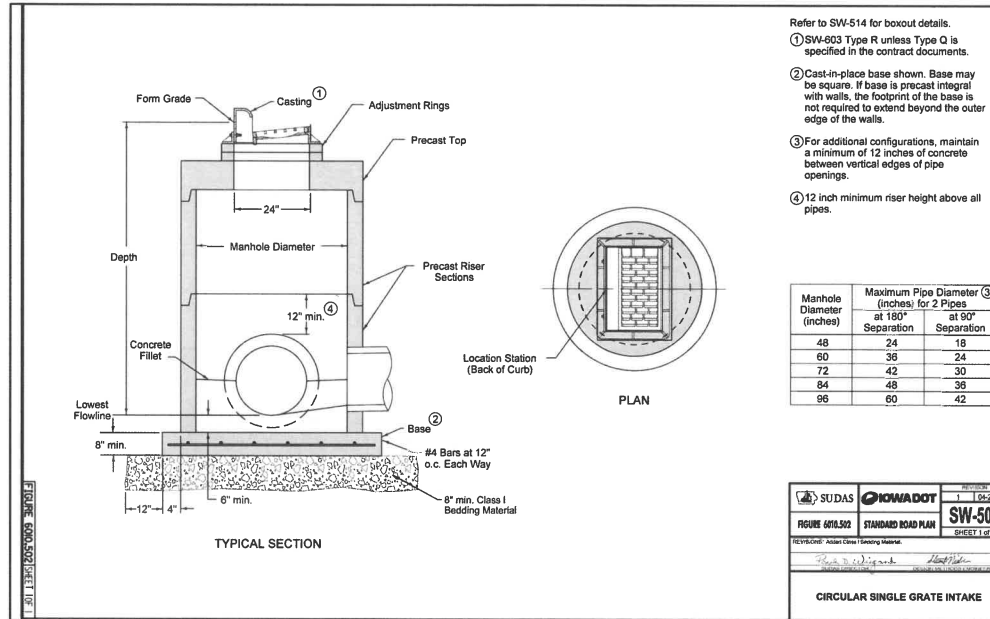


- NOTES
- BC IS OUTSIDE DIAMETER OF PIPE.
  - BD IS TRENCH WIDTH AT TOP OF PIPE.
  - MINIMUM BD = BC + 12"; 2'-3" MIN.
  - FOR TRENCH DEPTHS EXCEEDING 20 FEET, PROVIDE PIPE BEDDING AS DIRECTED BY CITY.

CITY OF WEST DES MOINES  
CROSSROADS OF THE INTERSTATES

**FLEXIBLE SEWER PIPE BEDDING**

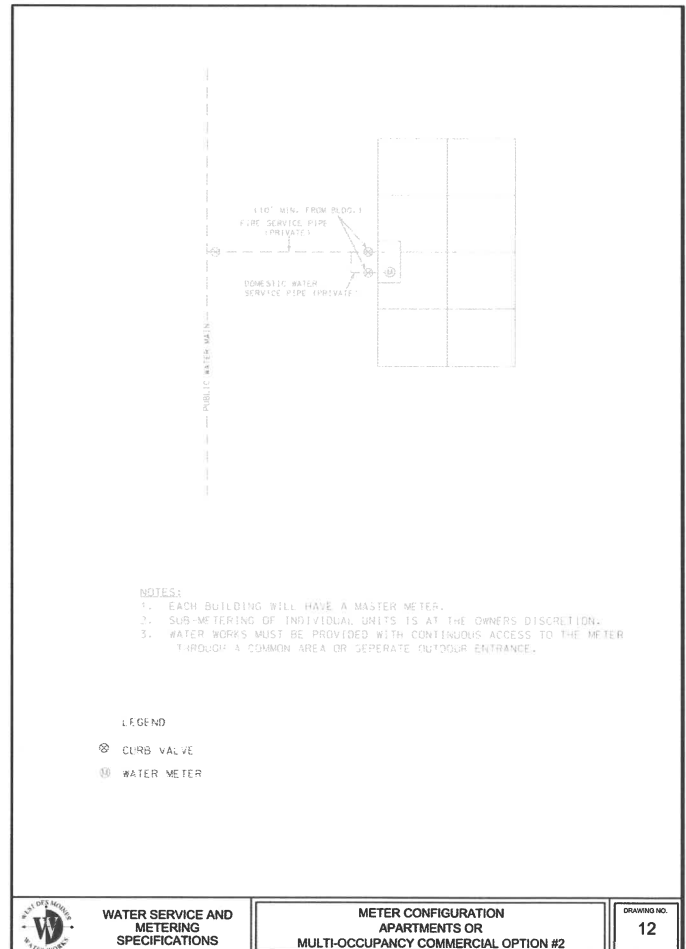
REVISED: 3-94  
DWG. NO. 4.4



- Refer to SW-514 for boxout details.
- SW-603 Type R unless Type Q is specified in the contract documents.
  - Cast-in-place base shown. Base may be square. If base is precast integral with walls, the footprint of the base is not required to extend beyond the outer edge of the walls.
  - For additional configurations, maintain a minimum of 12 inches of concrete between vertical edges of pipe openings.
  - 12 inch minimum riser height above all pipes.

Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	at 180° Separation	at 90° Separation
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42

Pipe Location	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"



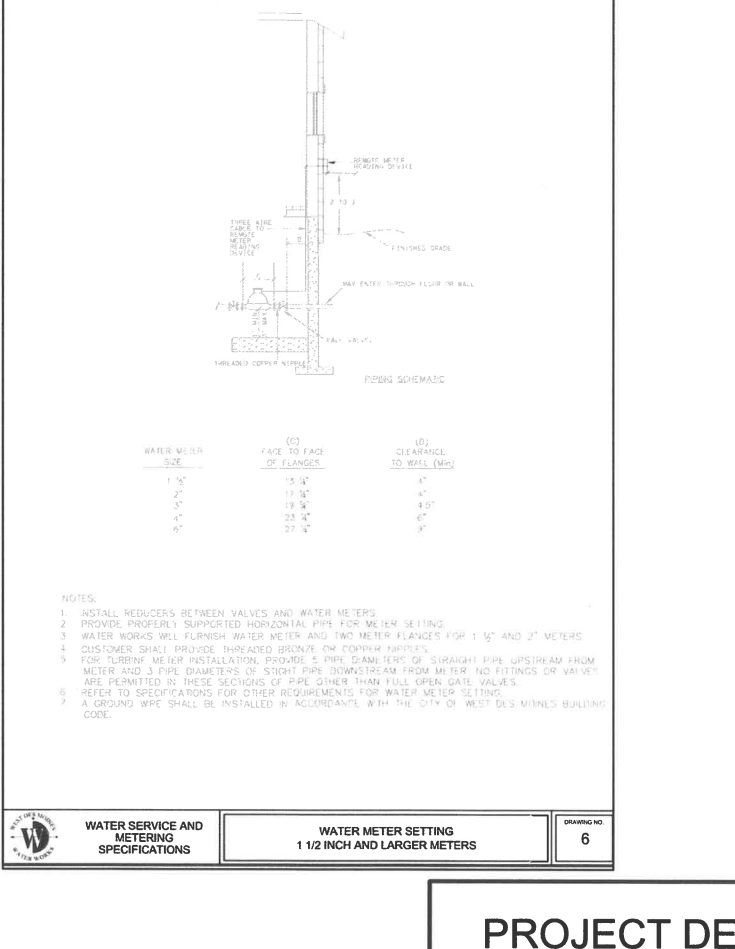
- NOTES:
- EACH BUILDING WILL HAVE A MASTER METER.
  - SUB-METERING OF INDIVIDUAL UNITS IS AT THE OWNERS DISCRETION.
  - WATER WORKS MUST BE PROVIDED WITH CONTINUOUS ACCESS TO THE METER THROUGH A COMMON AREA OR SEPARATE OUTDOOR ENTRANCE.

CITY OF WEST DES MOINES  
CROSSROADS OF THE INTERSTATES

**WATER SERVICE AND METERING SPECIFICATIONS**

**METER CONFIGURATION**  
APARTMENTS OR MULTI-OCCUPANCY COMMERCIAL OPTION #2

REVISED: 12-2004  
DWG. NO. 12



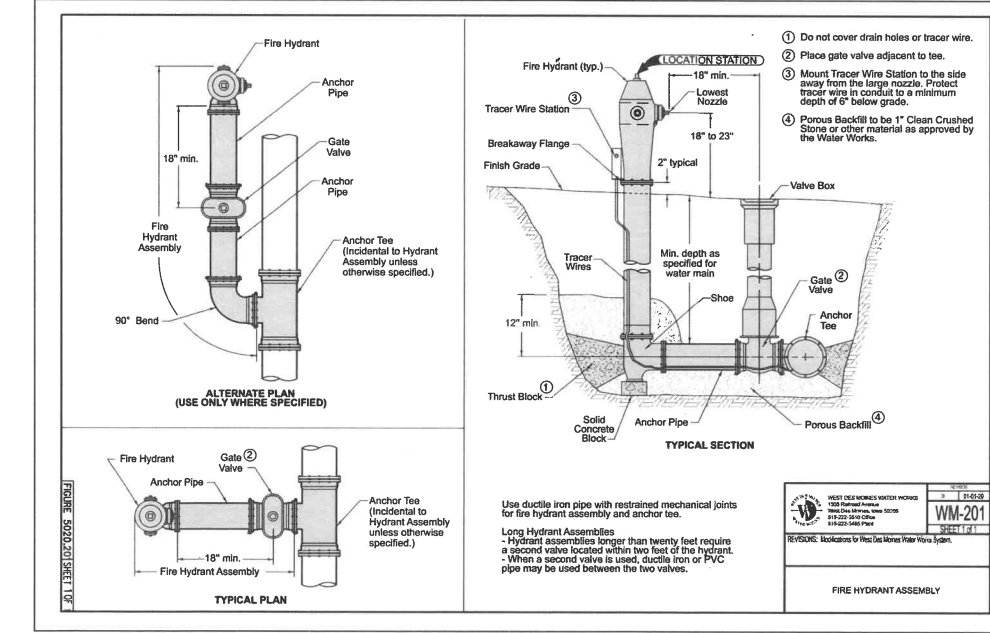
- NOTES:
- INSTALL REDUCERS BETWEEN VALVES AND WATER METERS.
  - PROVIDE PROPERLY SUPPORTED HORIZONTAL PIPES FOR WATER SETTING.
  - WATER WORKS WILL FURNISH WATER METER AND TWO METER FLANGES FOR 1 1/2" AND 2" METERS.
  - CUSTOMER SHALL PROVIDE THREADED BRONZE OR COPPER NIPPLES.
  - FOR TURBINE METER INSTALLATION, PROVIDE 5 PIPE DIAMETERS OF STRAIGHT PIPE UPSTREAM FROM METER AND 3 PIPE DIAMETERS OF SIGHT PIPE DOWNSTREAM FROM METER. NO FITTINGS OR VALVES ARE PERMITTED IN THESE SECTIONS OF PIPE OTHER THAN FULL OPEN GATE VALVES.
  - REFER TO SPECIFICATIONS FOR OTHER REQUIREMENTS FOR WATER METER SETTING.
  - A GROUND WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF WEST DES MOINES BUILDING CODE.

CITY OF WEST DES MOINES  
CROSSROADS OF THE INTERSTATES

**WATER SERVICE AND METERING SPECIFICATIONS**

**WATER METER SETTING**  
1 1/2 INCH AND LARGER METERS

REVISED: 12-2004  
DWG. NO. 6



- Do not cover drain holes or tracer wire.
- Place gate valve adjacent to tee.
- Mount Tracer Wire Station to the side away from the large nozzle. Protect tracer wire in conduit to a minimum depth of 6" below grade.
- Porous Backfill to be 1" Clean Crushed Stone or other material as approved by the Water Works.

Pipe Location	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"

CITY OF WEST DES MOINES  
CROSSROADS OF THE INTERSTATES

**FIRE HYDRANT ASSEMBLY**

REVISED: 12-2004  
DWG. NO. 20-004

NO.	DATE	REVISIONS
1	5/10/21	PER CITY OF WEST DES MOINES
2	8/01/21	PER CITY OF WEST DES MOINES
3	8/08/21	NO REVISIONS
4	8/09/21	NO REVISIONS
5	8/10/21	NO REVISIONS

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Wendy's - WEST DES MOINES, IA  
225 Grand Avenue  
West Des Moines, Iowa

Wendy's

Prepared By:

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CHECKED BY: J. MILLER  
DESIGN BY: R. ERSFELDT  
DRAWN BY: R. ERSFELDT  
DATE: APRIL 13, 2021  
SCALE: NONE  
PROJECT NO.: 20-004

PROJECT DETAILS

C-10

PROJECT SPECIFICATIONS

- 1. CONTRACTOR IS TO FOLLOW ALL ORDINANCES AND REQUIREMENTS OF THE STATE, COMMUNITY, LOCAL DISTRICTS AND THE U.S. ACCESS BOARD. ALL PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE "IOWA STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION" AS WELL AS THE "IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS" CURRENT EDITIONS.
2. THE CONTRACTOR SHALL INDEMNIFY WATERMARK ENGINEERING RESOURCES, LTD (THE DESIGN ENGINEER), ARCHITECT AND OWNER, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDUCTING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THIS DEVELOPMENT.
3. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AGENCIES.
4. PRIOR TO BID AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL CONDITIONS AT THE SITE. IF ANY DISCREPANCIES ARE FOUND, AT ANY TIME BEFORE OR DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY (BEFORE ANY ADDITIONAL IMPROVEMENTS ARE INSTALLED) IN ORDER TO OBTAIN WRITTEN CONFIRMATION BY THE DESIGN ENGINEER AS TO ANY REVISIONS THAT MAY NEED TO BE MADE TO THE PLANS.
5. PRIOR TO CONSTRUCTION, CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION 2 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE APPROPRIATE CONSTRUCTION INSPECTIONS.
7. THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS.
8. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR MUST CALL "IOWA ONE CALL" FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE) AT 1-800-292-8989, 48 HOURS PRIOR TO DIGGING.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS PER THE MUNICIPALITY AND/OR ANY OTHER AGENCY REQUIREMENTS. ANY CHANGES TO THE DRAWINGS MUST BE REPORTED TO THE DESIGN ENGINEER BEFORE WORK PROGRESSES.
10. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE MUNICIPALITY.
11. ALL QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. IF DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER IMMEDIATELY AND NO WORK IS TO BE DONE UNTIL APPROVED BY THE DESIGN ENGINEER.
12. ANY RESTORATION NEEDED BECAUSE OF CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST.
13. TRENCH BACKFILL MATERIAL, CRUSHED STONE OR LIMESTONE (CA-6) IS REQUIRED UNDER AND WITHIN TWO FEET (2') OF SIDEWALKS AND PAVED AREAS. THIS BACKFILL SHALL BE IN SIX INCH (6") LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.
14. CONTRACTOR IS TO PROVIDE ALL TEMPORARY SIGNAGE AS REQUIRED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
15. ALL EXISTING DRAIN TILES THAT ARE ENCOUNTERED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION OR REROUTED TO THE PROPOSED STORM SEWER SYSTEM.
16. RESTORATION OF EXISTING RIGHT-OF-WAYS IS TO BE COMPLETED WITH FOUR INCH (4") MINIMUM TOPSOIL AND SALT TOLERANT SOD UNLESS OTHERWISE NOTED.
17. THE WATER SYSTEM CANNOT BE SHUT DOWN WITHOUT CONSENT BY THE OWNER OF THE SYSTEM.
18. ALL FRAME ADJUSTMENTS SHALL BE MADE WITH PRE-CAST CONCRETE RINGS CONFORMING TO ASTM C-39 AND CANNOT EXCEED TWELVE INCHES (12").
19. FRAMES SHALL BE SET WITH EZ STIK8 (OR EQUAL) MATERIAL TO PREVENT LEAKAGE.
20. THE REINFORCED CONCRETE SECTIONS SHALL BE LAID IN MORTAR, SEALED WITH EXTERNAL SEALING BANDS, OR SEALED USING MASTIC JOINT SEALER. WHEN MASTIC JOINT SEALER IS USED, THE MATERIAL SHALL COMPLETELY FILL THE JOINT AFTER THE UNITS HAVE BEEN BROUGHT TOGETHER.
21. STEPS IN STRUCTURES SHALL BE MADE OF COPOLYMER POLYPROPYLENE PLASTIC WITH CONTINUOUS ONE HALF INCH (1/2") GRADE SIXTY (60) STEEL REINFORCEMENT, STEP PSI-PF, AS MANUFACTURED BY M.A. INDUSTRIES, INC., OR APPROVED EQUAL STEPS TO BE SPACED SIXTEEN INCHES (16") ON-CENTER.
22. ALL INSTRUMENTS ARE TO BE PROPERLY CALIBRATED PRIOR TO CONSTRUCTION USE.
23. ALL PARKING LOT LIGHT POLES ARE TO BE CONSTRUCTED AT THE INTERSECTION OF PARKING LOT STRIPING OR IN LANDSCAPE AREAS WITH A MINIMUM OF 2' CLEARANCE BETWEEN THE BACK OF CURB AND THE EDGE OF THE PARKING LOT LIGHT BASE UNLESS OTHERWISE SPECIFIED.
24. GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ARCHITECT/DESIGN ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION. THIS INCLUDES, BUT NOT LIMITED TO, TRANSITIONS TO EXISTING CONDITIONS.
25. CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.
26. PAVING, SIDEWALK, AND CURBING IS NOT TO BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WICKS, DRAINAGE CUPPERS OR PIPES, AND LANDSCAPE.

PAVEMENT

- 1. ALL PAVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REFERENCES AS THEY APPLY: IOWA STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION AND SUPPLEMENTAL DOCUMENTS, LATEST EDITION; IOWA DEPARTMENT OF TRANSPORTATION CONSTRUCTION MANUAL, LATEST EDITION; SUDAS STANDARD SPECIFICATIONS, LATEST EDITION.
2. ALL BASE COURSE AND SUB-BASE AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS LISTED ABOVE. BEFORE THE BASE COURSE MATERIALS ARE INSTALLED, THE SUB-BASE SHALL BE PROOF-ROLLED TO THE SATISFACTION OF THE ENGINEER, HIS AGENT, AND/OR THE SOILS ENGINEER. COMPACTION AND DENSITY TESTS SHALL BE TAKEN AT THE OWNER'S OPTION.
3. ALL CONCRETE TO BE MINIMUM 3000 PSI, SALT TOLERANT, CLASS C MIX WITH A SPRAY ON SEALER.
4. EXPANSION AND CONTRACTION JOINTS SHALL BE TOOL FINISHED.
5. BINDER COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 40F AND RISING. SURFACE COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 45F AND RISING.
6. ALL PROPOSED PAVEMENT, SIDEWALKS, AND CURBS ARE TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.05' OF THE PROPOSED ELEVATIONS EXCEPT IN THE ACCESSIBLE STALLS OR ACCESSIBLE ROUTES.
7. PRIOR TO SEAL COATING, ALL ASPHALT AREAS ARE TO BE CLEAN AND DRY. ALL LOOSE MATERIALS ARE TO BE REMOVED. ALL GREASE TO BE REMOVED. ALL CRACKS ARE TO BE FILLED PER IOWA DOT STANDARDS. ALL PAINTED STRIPING TO BE MODIFIED SHALL BE "BLACKED OUT" WITH BLACK PAINT (1 COAT MINIMUM, 2 COATS IF NECESSARY), ALLOWED TO THOROUGHLY DRY PER PAINT MANUFACTURER, PRIOR TO SEAL COATING. ALL AREAS THAT ARE ADJACENT TO THE SEAL COATED AREA ARE TO BE MASKED (I.E. SIDEWALKS, CONCRETE SURFACES, BRICK SURFACES, GUTTERS, CATCHBASINS/INLETS, ETC.) PRIOR TO SEAL COATING TO BE APPLIED. AIR TEMPERATURE TO BE 50F AND RISING. APPLICATION RATE TO BE SUCH THAT ALL SURFACES OF THE ASPHALT BEING COATED IS THOROUGHLY COVERED IN ONE COAT. SPRAYING IS NOT ALLOWED. ALL SEAL COATING SHOULD BE APPLIED BY SQUEEGEE OR BRUSHES. THE BITUMINOUS SEAL COATING MATERIAL SHOULD NOT BE ALLOWED TO ENTER STORM SEWERS AND SHOULD BE ALLOWED TO DRY AT LEAST 18 HOURS PRIOR TO VEHICULAR USE. CRACK FILLER AND SEAL COATING MATERIALS ARE TO BE FREE OF COAL TAR.

GRADING

- 1. GEOTECHNICAL REPORTS AS PREPARED BY OWNER (OR REPRESENTATIVE) SHALL BE REFERRED TO PRIOR TO EARTH MOVING AND/OR UTILITY CONSTRUCTION.
2. UNSTABLE SOIL SHALL BE REMOVED OR STABILIZED.
3. CONTRACTOR IS TO MAINTAIN A POSITIVE DRAINAGE PATTERN AT THE END OF EACH DAY. CARE SHOULD BE TAKEN TO INSURE THAT DRAINAGE IS NOT REROUTED OR BLOCKED IN A WAY THAT MAY BE INJURIOUS TO ADJACENT LAND.
4. THE SUB-BASE BELOW STRUCTURES, PAVEMENTS OR NEW STRUCTURAL FILL SHALL BE PROOF ROLLED. IF SOIL RUTS, PUMPS, DEFLECTS EXCESSIVELY OR EXHIBITS EXCESSIVE MOVEMENT OR MOISTURE, THEN THE UNSTABLE SOIL SHALL BE UNDERCUT AND REPLACED WITH STRUCTURAL FILL OR DISCING AND DRYING TO NEAR OPTIMUM MOISTURE SO SOIL CAN BE PROPERLY COMPACTED. THIS PROCESS IS TO BE OBSERVED BY A GEOTECHNICAL ENGINEER.
5. ALL FILLS SHALL BE PLACED IN 8" LIFTS COMPACTED TO A MINIMUM OF 98% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN INFLUENCE OF THE BUILDING, A MINIMUM OF 95% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN THE INFLUENCE OF ALL OTHER IMPERVIOUS AREAS, AND A MINIMUM OF 90% STANDARD LABORATORY DENSITY PER ASTM D698 IN ALL LANDSCAPE AREAS.
6. EROSION CONTROL SHALL BE PROVIDED PRIOR TO ANY DISTURBANCES. SEE EROSION CONTROL PLANS FOR ADDITIONAL SPECIFICATIONS AND DETAILS.
7. PROVIDE TOPSOIL RESPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:
A. 4" MINIMUM IN GRASS OR SOD AREAS.
B. 6" MINIMUM IN PLANTING AREAS.
C. 12" MINIMUM IN LANDSCAPE ISLANDS.
8. ALL TOPSOIL TO BE FRIABLE (NOT COHESIVE), WEED FREE, AND FREE OF ROCKS, LARGE ROOTS AND UNNATURAL DEBRIS.
9. ALL GRADING IS TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.10' OF THE PROPOSED ELEVATIONS. SEE PAVEMENT SPECIFICATIONS FOR PAVEMENT TOLERANCES.

'AMERICANS WITH DISABILITIES ACT' (ADA) MINIMAL REQUIREMENTS:

- 1. GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO ARCHITECT/ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION.
2. ACCESSIBLE ROUTES ON AN ACCESSIBLE SITE AND FOR ANY NEW SITE IMPROVEMENTS SHALL BE PROVIDED TO SERVE ALL ACCESSIBLE SPACES OR ELEMENTS.
3. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE PER CODE IS 36".
4. EACH ACCESSIBLE PARKING SPACE IS TO BE:
4.1. CAR:
A. A MINIMUM OF 192" WIDE, CONSISTING OF A 96" WIDE ACCESS AISLE AND A 96" WIDE PARKING SPACE, UNLESS OTHERWISE NOTED. (SEE DETAIL). THE ACCESS AISLE SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE. SEE DETAIL FOR REQUIRED DEPTH.
4.2. VAN:
A. A MINIMUM OF 192" WIDE, CONSISTING OF A 96" WIDE ACCESS AISLE AND A 96" WIDE PARKING SPACE, UNLESS OTHERWISE NOTED. (SEE DETAIL). WHEN VAN ACCESSIBLE PARKING SPACES ARE ANGLED, THE ACCESS AISLE SHALL BE LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACE. SEE DETAIL FOR REQUIRED DEPTH.
5. ACCESSIBLE PARKING SPACES ARE TO BE LOCATED AS CLOSE TO THE ACCESSIBLE BUILDING ENTRANCE AS POSSIBLE AND SHALL BE IDENTIFIED WITH A SIGN.
6. RAMPS MUST NOT EXTEND OUT FROM THE CURB INTO THE ACCESS AISLE OF ANY ACCESSIBLE PARKING SPACE.
7. TWO 90 DEGREE ACCESSIBLE PARKING SPACES MAY SHARE AN ACCESS AISLE.
8. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM. (SEE DETAIL).
9. ALL ADA PARKING STALLS, ACCESS AISLES AND CROSSWALKS SHALL BE STRIPED USING 4" WIDE DOUBLE LAYER OF HIGH QUALITY YELLOW PAINT, UNLESS OTHERWISE NOTED.
10. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1:50 (2.00%) IN ANY DIRECTION.
11. EACH ACCESSIBLE PARKING SPACE SHALL HAVE AN IDENTIFICATION SIGN (SEE DETAILS).
12. AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 (5.00%) IS A RAMP AND SHALL COMPLY WITH THE RAMP REQUIREMENTS.
13. AN ACCESSIBLE ROUTE MAY CROSS OPEN PAVEMENT OR FOLLOW A RAMP AS REQUIRED BY SITE-SPECIFIC CONDITIONS. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE ACROSS OPEN PAVEMENT MUST NOT EXCEED 1:20 (5.00%), WITH A CROSS SLOPE NOT EXCEEDING 1:50 (2.00%). SLOPES EXCEEDING 1:20 (5.00%), BUT LESS THAN 1:12 (8.33%), CONSTITUTE RAMPS AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS, RISE AND RUN LIMITS, ETC.) AS DETAILED ON THE CIVIL AND ARCHITECTURAL PLANS. NO RAMP SHALL HAVE A RUNNING SLOPE EXCEEDING 1:12 (8.33%), NOR HAVE A CROSS SLOPE EXCEEDING 1:50 (2.00%).
14. THE GENERAL CONTRACTOR/CONTRACTOR SHALL MEASURE THE SUBGRADE AND ACROSS FORMS PRIOR TO INSTALLATION OF ASPHALT OR CONCRETE IMPROVEMENTS TO ASSURE THE FINAL IMPROVEMENTS WILL MEET THESE MINIMAL ADA REQUIREMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE CIVIL ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.
CURB RAMPS
15. A CURB RAMP SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB.
16. CURB RAMPS HAVE A MAXIMUM SLOPE OF 1:12 (8.33%) AND DO NOT REQUIRE HANDRAILS.
17. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS, OR GUARDRAILS, IT SHALL HAVE FLARED SIDES; THE MAXIMUM SLOPE OF THE FLARE SHALL BE 1:12 (8.33%).

STORM SEWER SPECIFICATIONS

- 1. ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C-76 SPECIFICATIONS, MINIMUM CLASS III, WALL B, TONGUE AND GROOVE JOINTS, MACHINED ENDS. USE ASTM C-443 "O-RING" JOINTS WHEN WATER MAIN QUALITY JOINTS ARE REQUIRED.
2. ALL PLASTIC PIPE SHALL BE P.V.C. WITH SDR26 WALL THICKNESS AND CONFORM TO ASTM D-3034 OR ASTM F 679 SPECIFICATIONS WITH ASTM D-3212 GASKET TYPE JOINTS.
3. ALL WATERMAIN QUALITY PLASTIC PIPE SHALL BE SPECIFICATIONS OF WATERMAIN MATERIALS MEETING BOTH A MINIMUM PRESSURE RATING OF 150 PSI AND THE REQUIREMENTS OF SECTION 8.2 AND 8.4 OF THE "IOWA STANDARDS FOR WATER SUPPLY DISTRIBUTION SYSTEMS" (SUDAS SPECIFICATIONS SECTION 5010, 2.01), P.V.C. CONFORMING AWWA STANDARD C900. JOINTING SHALL BE PUSH-ON JOINT TYPE. ELASTOMERIC SEALS (GASKETS) USED FOR PUSH-ON JOINTS SHALL COMPLY WITH AWWA C900. ALL STRUCTURE LIDS SHALL BE IMPRINTED "STORM".
4. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
5. ALL SEWERS ARE TO BE INSTALLED FROM THE DOWNSTREAM END UPSTREAM. IF ANY CONFLICTS OR INFORMATION INCONSISTENT WITH SITE CONDITIONS ARE ENCOUNTERED, THE DESIGN ENGINEER IS TO BE CONTACTED PRIOR TO THE INSTALLATION OF ANYTHING.
6. IN PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2050 OR R-2502 WITH TYPE D GRATE AT LOW POINTS; OR NEENAH R-3281-A IN CURB AND GUTTER; OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWISE SPECIFIED.
7. IN NON-PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2090 OR R-2080 WITH TYPE B GRATE AT LOW POINTS; OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWISE SPECIFIED.
8. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER.
9. ALL FLARED END SECTIONS (FES) ARE TO BE INSTALLED WITH TRASH GRATES.

SANITARY SEWER SPECIFICATIONS

- 1. ALL SANITARY SEWER PIPE SHALL BE EXTRA STRENGTH V.C.P. CONFORMING TO ASTM C-700 SPECIFICATIONS WITH ASTM C-425 JOINTS; OR D.I.P. MIN. CLASS 52 CONFORMING TO AWWA C151 WITH AWWA C111 JOINTS; OR P.V.C. PIPE CONFORMING TO ASTM D-3034 SPECIFICATIONS, SDR26 WALL THICKNESS AND ASTM D-3212 AND F 477 GASKET TYPE JOINTS OR ASTM D-2855 SOLVENT WELDED JOINTS.
2. ALL WATERMAIN QUALITY PLASTIC PIPE SHALL BE CONSTRUCTED OF WATERMAIN MATERIALS MEETING BOTH A MINIMUM PRESSURE RATING OF 150 PSI AND THE REQUIREMENTS OF SECTION 8.2 AND 8.4 OF THE "IOWA STANDARDS FOR WATER SUPPLY DISTRIBUTION SYSTEMS" (SUDAS SPECIFICATIONS SECTION 5010, 2.01), P.V.C. CONFORMING AWWA STANDARD C900. JOINTING SHALL BE PUSH-ON JOINT TYPE. ELASTOMERIC SEALS (GASKETS) USED FOR PUSH-ON JOINTS SHALL COMPLY WITH AWWA C900. DEFLECTION OF POLYVINYL CHLORIDE (PVC) PIPE SHALL NOT EXCEED 5.0% OF THE "BASE I.D." (INTERNAL DIAMETER) OF THE PIPE. "BASE I.D." SHALL BE CALCULATED IN ACCORDANCE WITH THE FOLLOWING:
AVG ID = AVG OD - 2(1.06T)
TOLERANCE PACKAGE = (A^2 + B^2 + C^2)^(1/2)
WHERE:
A = OD TOLERANCE (ASTM D-3034)
B = EXCESS WALL THICKNESS TOLERANCE = 0.06T
C = OUT-OF-ROUNDNESS TOLERANCE = 0.015 (AVG OD)
T = MINIMUM WALL THICKNESS (ASTM D-3034)
BASE ID = AVG ID - TOLERANCE PACKAGE
DEFLECTION OF COMPOSITE PIPE ("TRUSS" PIPE) SHALL NOT EXCEED 3.0% OF THE AVERAGE INSIDE DIAMETER (ID) OF THE PIPE IN ACCORDANCE WITH ASTM D-2680. THE PIPE LINE SHALL BE TESTED FOR EXCESS DEFLECTING BY PULLING A "GO - NO GO" MANDREL THROUGH THE PIPE FROM MANHOLE TO MANHOLE. THE MANDREL SHALL BE SIZED IN ACCORDANCE WITH SECTION 31-1.11C (4), AND AS SPECIFIED IN THE SPECIAL PROVISIONS. A "DEFLECTOMETER" MAY ALSO BE USED TO CHECK AND RECORD DEFLECTION. WHENEVER POSSIBLE AND PRACTICAL, THE TESTING SHALL INITIATE AT THE DOWNSTREAM LINES AND PROCEED TOWARDS THE UPSTREAM LINES. WHERE THE DEFLECTION IS FOUND TO BE IN EXCESS OF ALLOWABLE TESTING LIMITS, THE CONTRACTOR SHALL EXCAVATE TO THE POINT OF EXCESS DEFLECTION AND CAREFULLY COMPACT AROUND THE POINT WHERE EXCESS DEFLECTION WAS FOUND. THE LINE SHALL THEN BE RETESTED FOR DEFLECTION. HOWEVER, SHOULD AFTER THE INITIAL TESTING THE DEFLECTED PIPE FAIL TO RETURN TO THE ORIGINAL SIZE (INSIDE DIAMETER) THE LINE SHALL BE REPLACED.
4. INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER TWENTY-FOUR (24) HOURS PER MILE PER INCH-DIAMETER OF THE SEWER PIPE, FOR ANY SECTION OF THE SYSTEM AND AT ANY TIME DURING ITS SERVICE LIFE. TESTING IS REQUIRED PER THE "IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS" CURRENT EDITION.
5. LEAKAGE TESTING FOR MANHOLES FOR WATER TIGHTNESS SHALL BE DONE IN ACCORDANCE WITH ASTM C969-94—"STANDARD PRACTICE FOR INFILTRATION AND EXFILTRATION ACCEPTANCE TESTING OF INSTALLED PRECAST CONCRETE PIPE SEWER LINES", VOL. 04.05, CHEMICAL RESISTANT MATERIALS, VITRIFIED CLAY, CONCRETE, FIBER-CEMENT PRODUCTS; MORTARS; MASONRY (1996)(NO LATER EDITIONS OR AMENDMENTS) OR ASTM C1244-93 "STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY THE NEGATIVE PRESSURE (VACUUM) TEST", VOL. 04.05, CHEMICAL RESISTANT MATERIALS, VITRIFIED CLAY, CONCRETE, FIBER-CEMENT PRODUCTS; MORTARS; MASONRY (1996)(NO LATER EDITIONS OR AMENDMENTS) PRIOR TO PLACING INTO SERVICE.
6. ALL STRUCTURE LIDS SHALL BE IMPRINTED "SANITARY".
7. ALL WATERTIGHT FRAMES AND LIDS SHALL BE NEENAH R-1916-C. ALL OTHER FRAMES AND LIDS SHALL BE NEENAH R-1550-A WITH A CONCEALED PICK HOLE.
8. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
9. ALL SEWERS ARE TO BE INSTALLED FROM THE DOWNSTREAM END UPSTREAM. IF ANY CONFLICTS ARE ENCOUNTERED, THE DESIGN ENGINEER IS TO BE CONTACTED PRIOR TO THE INSTALLATION OF ANY PIPE.
10. FOR A DROP CONNECTION, THE DIAMETER OF THE DROP PIPE SHALL PREFERABLY BE LARGER THAN, OR OF THE SAME DIAMETER AS, THE ENTERING SEWER. THE MINIMUM DIAMETER OF THE DROP PIPE SHALL NOT BE SMALLER THAN THE DIAMETER OF THE ENTERING SEWER BY MORE THAN TWO NOMINAL DIAMETERS, PROVIDED THAT THE MINIMUM DIAMETER OF THE DROP PIPE SHALL NOT BE LESS THAN EIGHT INCHES (8").
11. ALL FLAVOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER.
12. ALL SANITARY SEWER BEDDING SHALL BE IN ACCORDANCE WITH THE TRENCH DETAIL AS INCLUDED IN THE PLANS.

NOTE: THE WEST DES MOINES WATER WORKS SPECIFICATIONS SHOULD BE REFERENCED FOR ALL UTILITY SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THOSE SPECIFICATIONS AND THE SPECS LISTED ON THIS SHEET, THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS SHALL GOVERN.

WATER MAIN SPECIFICATIONS

- 1. HORIZONTAL SEPARATION
A. WATER MAINS AND SEWERS: WATER MAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.
B. WATER MAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE OR SEWER SERVICE CONNECTION WHEN:
i) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;
ii) THE WATER MAIN INVERT IS AT LEAST EIGHTEEN INCHES (18") ABOVE THE CROWN OF THE SEWER; AND
iii) THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
C. BOTH THE WATER MAIN AND SEWER PIPE SHALL BE CONSTRUCTED OF PUSH JOINT OR MECHANICAL JOINT DUCTILE IRON PIPE, PRESSURE PIPE, PRESTRESSED CONCRETE PIPE, OR PVC DR18 PIPE WITH AWWA C-900 JOINTS, MEETING THE REQUIREMENTS OF DIVISION 5 OF THE SUDAS STANDARD SPECIFICATIONS, WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
2. VERTICAL SEPARATION
A. A WATER MAIN SHALL BE LAID SO THAT ITS INVERT IS EIGHTEEN INCHES (18") ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUITIDISTANT FROM THE SEWER OR DRAIN.
B. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF PUSH JOINT OR MECHANICAL JOINT DUCTILE PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF DIVISION 5 OF THE SUDAS STANDARD SPECIFICATIONS, AND CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER DRAIN LINE IS AT LEAST TEN FEET (10') WHEN:
i) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
ii) THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.
C. A VERTICAL SEPARATION OF EIGHTEEN INCHES (18") BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTling AND BREAKING THE WATER MAIN.
3. WATER MAINS AND SERVICES SHALL BE CONSTRUCTED SO THAT THE MINIMUM DEPTH IS FIVE AND ONE HALF FEET (5 1/2') MEASURED FROM FINISHED GRADE TO THE TOP OF THE PIPE, UNLESS OTHERWISE SPECIFIED AND/OR APPROVED BY THE REVIEW ENGINEER.
4. ALL WATER MAIN FITTINGS MAY OR MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE INCLUDED IN THE COST OF THE WATER MAIN ITSELF FOR BIDDING PURPOSES. ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 52 CEMENT LINED CONFORMING TO AWWA C151 AND AWWA C104 WITH AWWA C111 JOINTS, OR TYPE "K" COPPER PIPE WITH SWEATED JOINTS COMPLYING WITH ASTM B 88.
5. FIRE HYDRANTS SHALL MEET AWWA C-502 AND BE TRAVERSE CITY IRON WORKS, EAST JORDAN 5 BR, OR APPROVED EQUAL, WITH FIVE AND ONE QUARTER INCH (5 1/4") VALVE OPENING, TWO TWO AND ONE HALF INCH (2 1/2") HOSE NOZZLES AND ONE FIVE INCH (5") PUMPER NOZZLE. FIRE HYDRANT SHALL BE EQUIPPED WITH AN AUXILIARY RESILIENT SEAL GATE VALVE COMPLETE WITH ROADWAY BOX, TYLER, 6850 SERIES, ITEM 688-S. FIRE HYDRANTS MUST HAVE THEIR DISCHARGE AT LEAST 18 INCHES BUT NOT MORE THAN TWENTY-THREE INCHES (23") FROM THE SURFACE OF THE ADJACENT GROUND.
6. HYDRANTS SHALL BE INSTALLED NO CLOSER THAN THREE FEET (3') NOR FURTHER THAN EIGHT FEET (8') FROM THE BACK OF CURB OR EDGE OF PAVEMENT TO THE FIVE INCH (5") STEAMER NUT, NO BARRIERS, TREES, SHRUBS, WALLS OR OTHER OBSTACLES WHICH MAY HIDE OR IMPEDE THE USE OF A FIRE HYDRANT SHALL BE INSTALLED, MAINTAINED, CONSTRUCTED, OR ENLARGED, WITHIN FORTY-EIGHT INCHES (48") OF A HYDRANT.
7. ALL STRUCTURE LIDS SHALL BE IMPRINTED "WATER".
8. ALL WATERTIGHT FRAMES AND LIDS SHALL BE NEENAH R-1916-C. ALL OTHER FRAMES AND LIDS SHALL BE NEENAH R-1550-A WITH A CONCEALED PICK HOLE.
9. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
10. BEFORE BEING PLACED INTO SERVICE, ALL NEW MAINS AND REPAIRED PORTIONS OF, OR EXTENSIONS TO EXISTING MAINS SHALL BE CHLORINATED SO THAT THE INITIAL CHLORINE RESIDUAL IS NOT LESS THAN FIFTY (50) mg/L AND THAT A CHLORINE RESIDUAL OF NOT LESS THAN TWENTY-FIVE (25) mg/L REMAINS IN THE WATER AFTER STANDING TWENTY-FOUR (24) HOURS IN THE PIPE.

Table with columns: NO., DATE, REVISIONS, NO. REVISIONS, PER CITY OF WEST DES MOINES, NO. REVISIONS, NO. REVISIONS, NO. REVISIONS. Includes project name: King Enterprises, 50 W Douglas, Suite 1101, Freeport, IL 61032, WENDY'S - WEST DES MOINES, IA, 225 Grand Avenue, West Des Moines, Iowa.

PROJECT SPECIFICATIONS C-11

CHECKED BY: J. MILLER, DESIGN BY: R. ERSFELDT, DRAWN BY: R. ERSFELDT, DATE: APRIL 13, 2021, SCALE: NONE, PROJECT NO.: 20-004

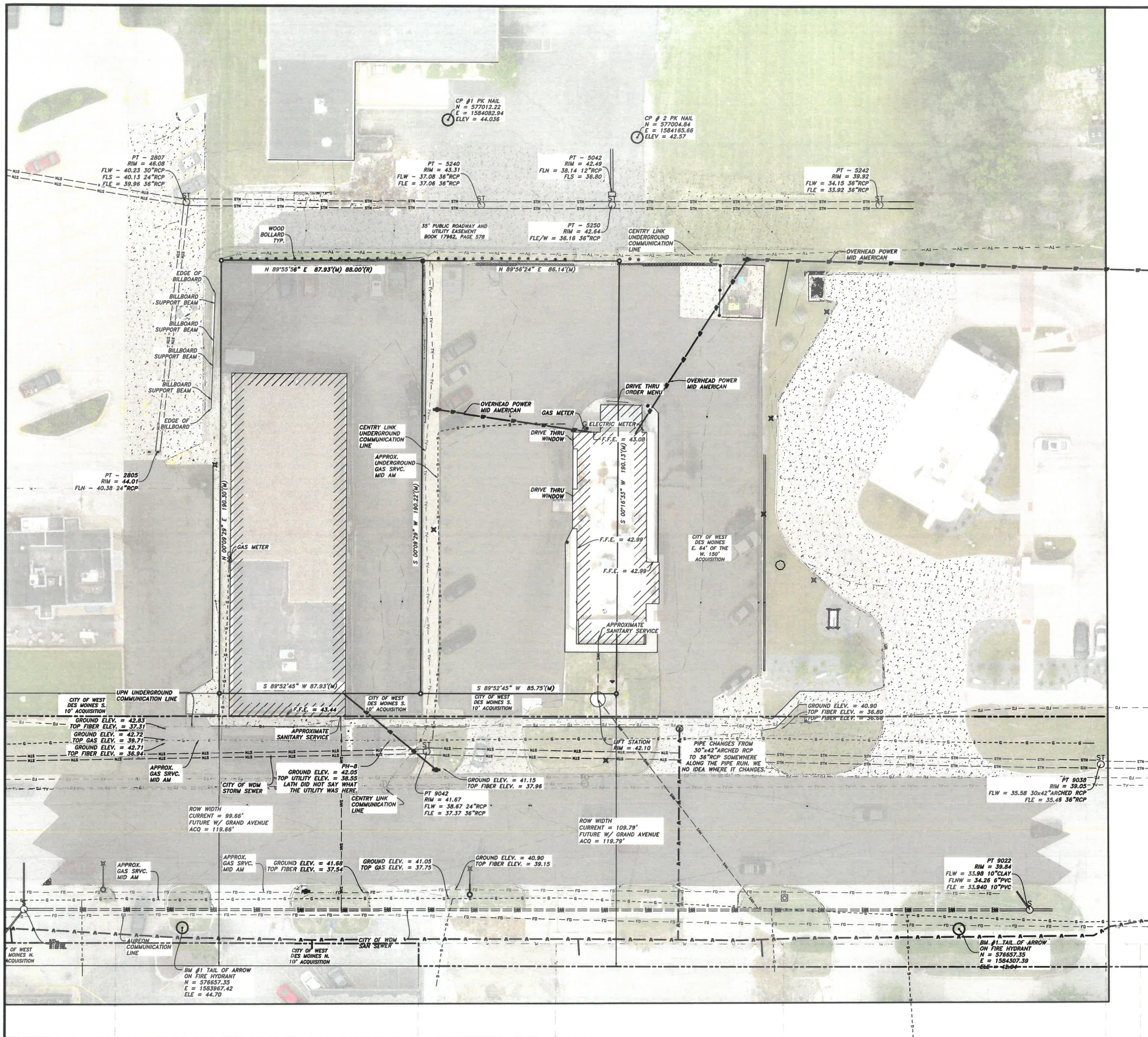
watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1600



Prepared By: Wendy's

Prepared For:





**LEGEND**

STREET LIGHT

STORM SEWER INTAKES

WATER VALVE

STORM SEWER FLARED END SECTION

SANITARY SEWER MANHOLE

STORM SEWER MANHOLE

FIRE HYDRANT

FOUND 5/8"x24" REROD W/ YELLOW PLASTIC CAP #17340 (UNLESS NOTED OTHERWISE)

SET 5/8"x24" REROD W/ YELLOW PLASTIC CAP #17340 OR CUT "X"

SECTION CORNER

M MEASURED

R RECORDED

P PLATTED

P.U.E. PUBLIC UTILITY EASEMENT

PROPERTY BOUNDARY LINE

LOT LINE

EASEMENT LINE

STORM SEWER

WATER LINE

SANITARY SEWER

UNDERGROUND CABLE TELEVISION

UNDERGROUND TELEPHONE

UNDERGROUND POWER

UNDERGROUND GAS

UNDERGROUND FIBRE OPTIC LINE

PCC PAVING

HMA PAVING

**NOTES**

- UTILITIES SHOWN ARE A COMBINATION OF MAPPING AND FIELD LOCATES, KM CANNOT VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES OR THAT ALL UTILITIES ARE SHOWN.
- 1.1. WATER SERVICE, THE MAPS SUPPLIED NOTE THAT A NEW SERVICE LINE WILL BE REQUIRED FROM THE MAIN TO THE NEW BUILDING AND THE 2 EXISTING SERVICES WILL NEED TO BE PROPERLY ABANDONED, IT ALSO NOTES THE LOCATIONS OF THE SERVICES ARE UNKNOWN.
- 1.2. SANITARY SEWER SERVICES ARE NOT SHOWN ON THE WDM GIS SITE AND HAVE NOT BEEN FIELD LOCATED, THE WENDY'S SITE IS CONNECTED TO THE MAIN ON THE SOUTH SIDE OF GROUND VIA A SINGLE USER SUPPLEMENTED BY ADDITIONAL SURVEY.
- 1.3. GAS LINES ARE APPROXIMATE, GAS METERS WERE FIELD LOCATED.
2. LARGE SNOW PILES ARE PRESENT ON SITE, THIS TOPO IS A COMBINATION OF PREVIOUSLY OBTAINED DATA, SUPPLEMENTED BY ADDITIONAL SURVEY.
3. CITY BENCHMARKS PUBLISHED AT - <https://www.wdm.iowa.gov/home/showpublisheddocument?tid=18724>
- 3.1. CITY OF WDM BM# 079 - INTERSECTION OF 8TH STREET AND ASWORTH ROAD, NORTHWEST CORNER OF INTERSECTION, 90.5 FEET WEST OF CENTERLINE OF 8TH STREET, 32.3 FEET NORTH OF CENTERLINE OF ASWORTH ROAD, BETWEEN THE SIDEWALK AND BACK OF CURB, 2.7 FEET NORTH OF NORTH BACK OF CURB, WDM STANDARD BENCHMARK WDM DATUM 108.07 FEET.
- 3.2. CITY OF WDM BM# 049 - INTERSECTION OF 4TH STREET AND VINE STREET, NORTHEAST CORNER OF INTERSECTION, 50 FEET EAST OF THE CENTERLINE OF 4TH STREET, 50 FEET NORTH OF THE CENTERLINE OF VINE STREET, STANDARD BENCHMARK, WDM DATUM 38.38 FEET.
4. LOCAL BENCHMARKS
- 4.1. BM #1 1ST FIRE HYDRANT EAST OF THE SITE, SOUTH OF WEST DRIVEWAY FOR WEST BANK ON THE SOUTH SIDE OF GRAND AVENUE, TAIL OF ARROW, N=576657.35 E=1584307.39 ELEV=42.04
- 4.2. BM #2 1ST FIRE HYDRANT SOUTH OF THE RASSY'S BIKE SHOP BUILDING, SOUTH SIDE OF GRAND AVENUE, TAIL OF ARROW, N=576657.00 E=1583967.42 ELEV=44.70
5. HORIZONTAL CONTROL
- 5.1. CP #1 PK NAIL N = 577012.22 E = 1584082.94 ELEV = 44.04 LOCATED NORTH OF THE EAST/WEST ACCESS ROAD, IN PARKING LOT, NORTH OF SITE.
- 5.2. CP #2 PK NAIL N = 577004.84 E = 1584165.66 ELEV = 42.57 LOCATED NORTH OF THE EAST/WEST ACCESS ROAD, IN PARKING LOT, NORTH OF SITE.
- 5.3. CP #3 CHISELED "X" N = 576749.66 E = 158333.38 ELEV = 45.22 LOCATED IN ENTRANCE ISLAND, 150'+/- WEST OF RASSY'S BIKE SHOP BUILDING.
- 5.4. CP #4 3/4" OTP W/YPC #3169 N = 576651.07 E = 1584436.59 ELEV = 40.31 LOCATED SOUTH OF THE EAST DRIVEWAY FOR THE WESTBANK DRIVEWAY ON THE SOUTH SIDE OF GRAND AVENUE.
6. THE 3 NOTATIONS FOR WEST DES MOINES ACQUISITION ARE CURRENTLY NOT RECORDED.
7. THERE ARE UTILITIES RUNNING BETWEEN LOTS 6 AND 7, THERE ARE NO EASEMENTS SHOWN ON THE POLK COUNTY RECORDERS SITE COVERING THESE UTILITIES, WE CANNOT DETERMINE IF THEY ARE PRIVATE OR PUBLIC UTILITIES.

**UTILITY CONTACTS**

( M52G ) MIDAMER-GAS  
 Contact Name : Craig Ranfeld  
 Contact Phone: 5152526632  
 Contact Email: john.bachelder@verizon.com  
 MECDSMDesignLocates@midamerican.com

( MC1 ) VERIZON  
 Contact Name : John Bachelder  
 Contact Phone: 9727297000  
 Contact Email: john.bachelder@verizon.com

( ADB ) ADB COMPANIES  
 Contact Name : ANGIE BACH  
 Contact Phone: 6365849702  
 Contact Email: abach@adb-us.com

( T15 ) MEDIACOM COMMUNICATIONS CORP  
 Contact Name : Paul May  
 Contact Phone: 5152462252  
 Contact Email: pmay@mediacomcc.com

( CLJAO1 ) CENTURYLINK  
 Contact Name : Tom Sturmer  
 Contact Phone: 8164253556  
 Contact Email: upngis@pnfiber.com

( DMW ) DES MOINES WATER WORKS  
 Contact Name : Chris Myhrarik or Jana Hodges  
 Contact Phone: 5152838729 Contact Email: onecallmaps@dmww.com

( WDM ) WEST DES MOINES WATER WORKS  
 Contact Name : William Mabuca  
 Contact Phone: 5152235110  
 Contact Email: design\_locates@wdmww.com

( INS ) AUREON NETWORK SERVICES  
 Contact Name : Jeff Klacko  
 Contact Phone: 5158300445  
 Contact Email: jeff.klacko@ureon.com

( M52E ) MIDAMER-ELEC  
 Contact Name : Craig Ranfeld  
 Contact Phone: 5152526632  
 Contact Email: john.bachelder@verizon.com

( WDT ) WEST DES MOINES TRAFFIC  
 Contact Name : Jim Dickinson  
 Contact Phone: 515223482  
 Contact Email: Jim.Dickinson@wdm.iowa.gov

**LEGEND**

● FND. MONUMENT (AS NOTED)

○ SET 5/8"x24" REROD W/ YELLOW PLASTIC CAP #17340 OR CUT "X"

M MEASURED

R RECORDED

P PLATTED

SCALE 1" = 20'

KM PROJECT NO. 2102615 DATE: 6/2/2021

CHD W. MARSH  
 License Number 17340  
 My license renewal date is DECEMBER 31, 2022.  
 Pages or sheets covered by this list:  
 This sheet only

DATE: \_\_\_\_\_

1 of 1



Austin

Product Data Sheet



Product description for Austin bench, including dimensions and materials.

Seat description and options.

Table with columns: Quantity, Style, Depth, Length, Height, Weight.

Arm Options description.

Table with columns: Quantity, Style, Depth, Length, Height, Weight.

Mounting Options description.

Table with columns: Quantity, Style, Depth, Length, Height, Weight.

Austin

Product Data Sheet



Product description for Austin trash receptacle, including dimensions and materials.

Litter Receptacles description.

Table with columns: Quantity, Style, Depth, Length, Height, Weight.

Finishes description.

Table with columns: Quantity, Style, Depth, Length, Height, Weight.

To Specify description.

Designed by Robert Coleman, ASLA.

Architect: [Faint text]

City of West Des Moines, IA.

Project No. [Faint text]

Date: [Faint text]

Scale: [Faint text]

Author: [Faint text]

Checker: [Faint text]

Reviewer: [Faint text]

Approver: [Faint text]

City of West Des Moines, IA.

Project No. [Faint text]

Date: [Faint text]

Scale: [Faint text]

Author: [Faint text]

Checker: [Faint text]

Reviewer: [Faint text]

Approver: [Faint text]

City of West Des Moines, IA.

Project No. [Faint text]

Date: [Faint text]

Scale: [Faint text]

Author: [Faint text]

Checker: [Faint text]

Reviewer: [Faint text]

Approver: [Faint text]

City of West Des Moines, IA.

Additional product information for Austin bench.

Table with columns: Quantity, Style, Depth, Length, Height, Weight.

Table with columns: Quantity, Style, Depth, Length, Height, Weight.

Table with columns: Quantity, Style, Depth, Length, Height, Weight.

Additional product information for Austin trash receptacle.

Table with columns: Quantity, Style, Depth, Length, Height, Weight.

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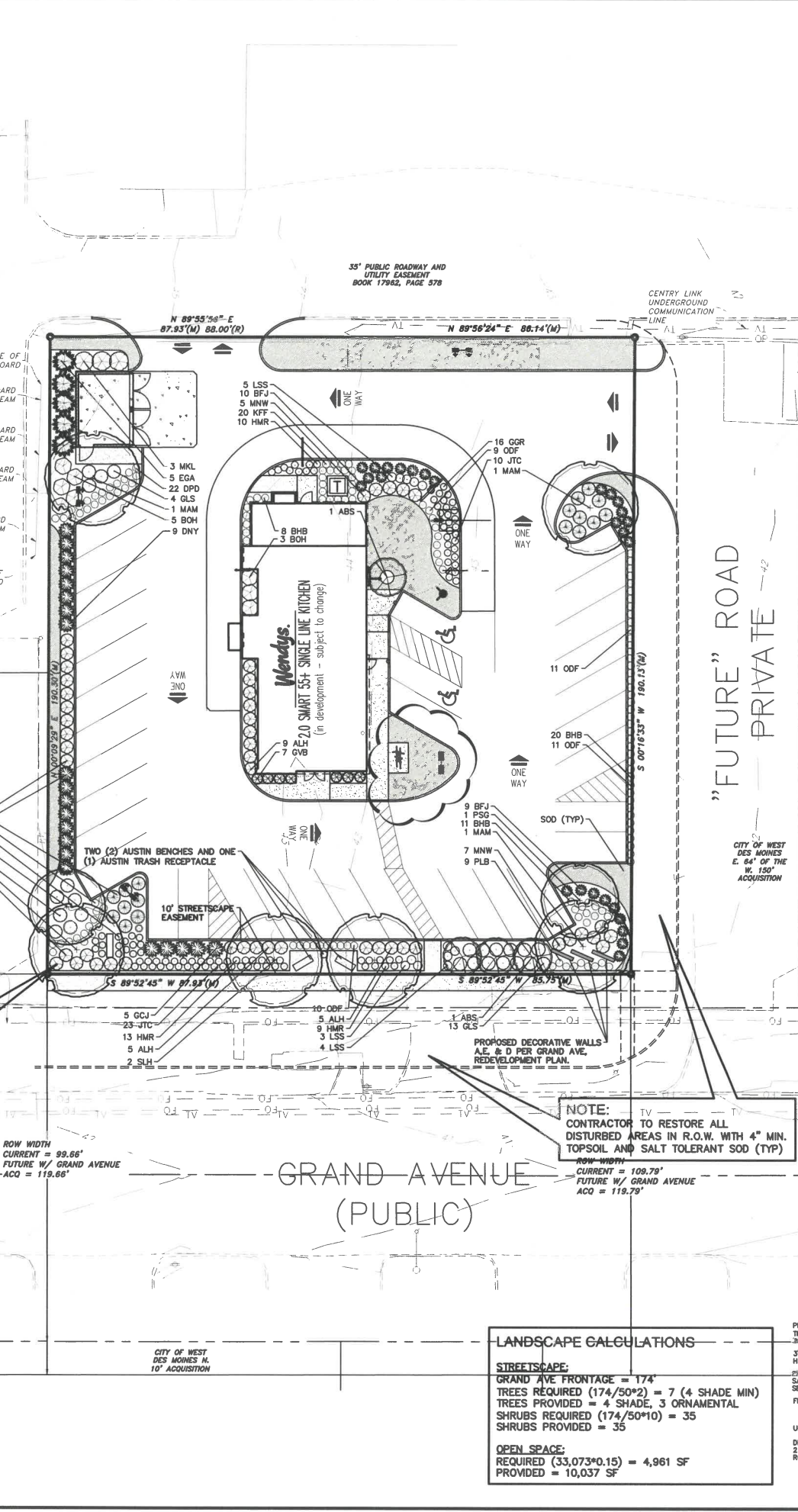
Table with columns: Quantity, Style, Depth, Length, Height, Weight.

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Table with columns: Quantity, Style, Depth, Length, Height, Weight.

Table with columns: Quantity, Style, Depth, Length, Height, Weight.



LANDSCAPE NOTES

- List of 25 landscape notes detailing planting requirements, irrigation, and construction standards.

GENERAL NOTES

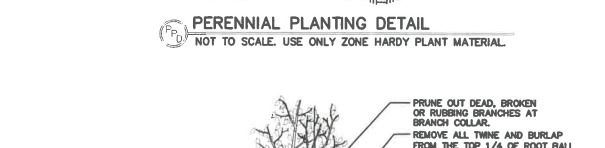
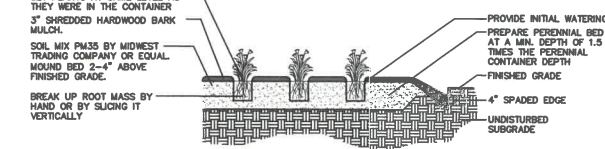
1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY (SURVEY PROJECT #2102615 DATED 02/23/2021) PREPARED BY: KIRKHAM MICHAEL, 4930 114TH STREET, URBANDALE, IA 50322 515-270-0848

SITE DATA

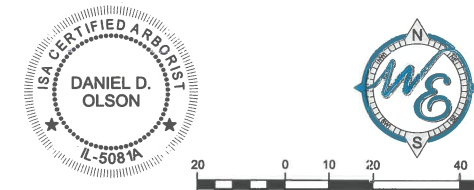
LOT AREA = 33,073 S.F. (0.76 AC.) BUILDING AREA = 2,584 S.F. EX. COMP. LAND USE DESIGNATION = VAL GATE DISTRICT EX. ZONING DESIGNATION = CMC - COMMUNITY COMMERCIAL EX. LAND USE = CMC - COMMUNITY COMMERCIAL

PLANT LIST

Table with columns: QTY., ABBV., BOTANICAL NAME, COMMON NAME, SIZE. Lists shade, ornamental, and perennial plants.



LANDSCAPE CALCULATIONS table showing trees and shrubs required vs provided.



LANDSCAPE PLAN

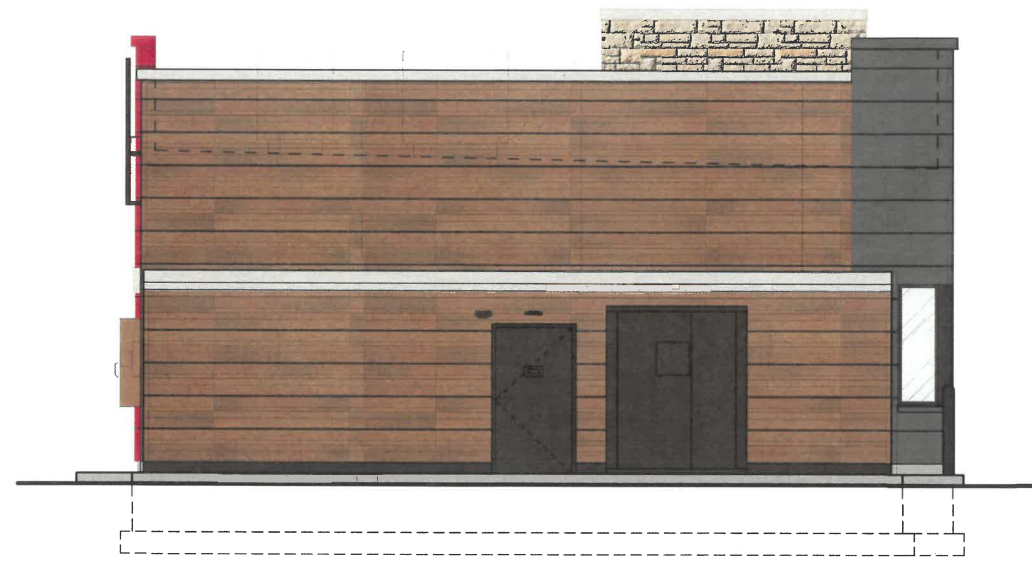
Vertical sidebar containing project information, company logo (Wendy's, Mat & Mark Engineering Resources), and contact details.







225 Grand Ave  
West Des Moines, IA



**NORTH ELEVATION** ④  
1/4" = 1'-0"



**SOUTH ELEVATION** ③  
1/4" = 1'-0"

T.O. BLADE FRAMING  
21'-0"

T.O. DINING PARAPET  
14'-10"

T.O. GLAZING  
11'-6"

T.O. CONC. SLAB  
0'-0"

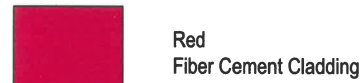
T.O. BLADE FRAMING  
21'-0"

T.O. PARAPET FRAMING  
18'-3"

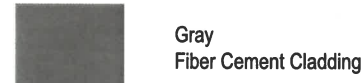
T.O. DINING PARAPET  
14'-10"

T.O. GLAZING  
11'-6"

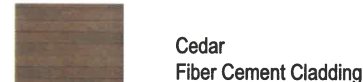
T.O. CONC. SLAB  
0'-0"



Red  
Fiber Cement Cladding



Gray  
Fiber Cement Cladding



Cedar  
Fiber Cement Cladding



Silver  
Metal Trim



Dark Bronze  
Storefront



Limestone  
Stone Veneer

T.O. CONC. SLAB  
0'-0"

T.O. PARAPET FRAMING  
18'-3"

B.O. AWNING  
9'-4"

T.O. PARAPET FRAMING  
18'-3"

**EAST ELEVATION** ②  
1/4" = 1'-0"

T.O. CONC. SLAB  
0'-0"

T.O. PARAPET FRAMING  
18'-3"

B.O. AWNING  
9'-4"

T.O. BLADE FRAMING  
21'-0"

T.O. DINING PARAPET  
14'-10"

T.O. GLAZING  
11'-6"

T.O. CONC. SLAB  
0'-0"

**WEST ELEVATION** ①  
1/4" = 1'-0"



**A RESOLUTION OF THE PLAN AND ZONING COMMISSION  
NO. PZC-21-47**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant, King Enterprises, and property owners, the City of West Des Moines and Wendy's West Maple, LLC, request approval of a Site Plan for property generally located at 225 & 301 Grand Avenue as depicted on the location map included in the staff report. The applicant requests approval to construct a 2,500 square foot Wendy's restaurant and associated site improvements; and

**WHEREAS**, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

**NOW THEREFORE**, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-005129-2021), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on June 14, 2021.

\_\_\_\_\_  
Erica Andersen, Chair  
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on June 14, 2021, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

\_\_\_\_\_  
Recording Secretary