

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: August 9, 2021

ITEM: Platinum Pointe Townhomes, Southwest corner of Bridgewood Boulevard and S. 88th Street – Approve a Preliminary Plat to create 66 lots for townhome development, one public street lot and one outlot for common area, detention, and private streets – Hale Development Co., LLC – PPSP-005198-2021

Resolution: Approval of Preliminary Plat

Background: Brad Kuehl with Bishop Engineering, on behalf of the applicant and property owner, Hale Development Co., LLC request approval of a Preliminary Plat for the approximately 13.32-acre property located at the southwest corner of Bridgewood Boulevard and S. 88th Street. The applicant proposes to subdivide the property into 66 lots for townhome development, one public street lot, and one outlot for common area, detention, and private streets.

Staff Review & Comment:

- **Financial Impact:** There is no City funding of this project; however, there is staff time for processing of development application and inspections during construction.
- **History:** Platinum Pointe Townhomes (FNA Whisper Ridge Townhomes) was previously approved in 2015 (PP-002567-2014). No work was done to vest the entitlement and the Preliminary Plat expired in 2016. The Preliminary Plat presented has been reviewed and revised to conform to current codes and standards.
- **Staff Note:** Only the Preliminary Plat of the combined Preliminary Plat/Site Plan application is subject to approval. No grading will be allowed until the storm water pollution prevention plat and storm water management plan are accepted by the City. This approval does not allow construction of the dwellings as the site plan is not being approved. The Site Plan will be presented at a future meeting.
- **Conditions of Approval:** There is one condition of approval to address outstanding comments, final drawings, and reports. The comments are general in nature and do not materially affect the lots.
- **Plat Validity:** Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.

Outstanding Issues: There are no outstanding issues.

Plan and Zoning Commission Action:

Date:

Vote:

Recommendation:

Recommendation: Approve the Preliminary Plat subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. Address remaining staff comments to the satisfaction of the Director of the Department of Development Services or her designee, and submit final drawings or reports approved by the Director of the Department of Development Services or her designee prior to any construction activity for the site.

Lead Staff Member: Kara Tragesser, AICP

Approval Meeting Dates:

Plan and Zoning Commission	August 9, 2021
City Council	

Staff Report Reviews:

Plan & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	6/21/21
Recommendation	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



**A RESOLUTION OF THE PLAN AND ZONING COMMISSION
NO. PZC-021-71**

WHEREAS, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, the applicant and property owner, Hale Development Co., LLC, request approval of the Preliminary Plat for the purpose of subdividing that approximately 13.32-acre property located at the southwest corner of Bridgewood Boulevard and S. 88th Street as depicted on the location map included in the staff report. The applicant proposes to create 66 lots for townhome development, one public street lot, and one outlot for common area, storm water detention, and private streets; and

WHEREAS, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code.

NOW THEREFORE, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Preliminary Plat (PP-005198 -2021) subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on August 9, 2021.

Jennifer Drake, Vice-Chair
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on August 9, 2021, by the following vote:

AYES:

NAYS:

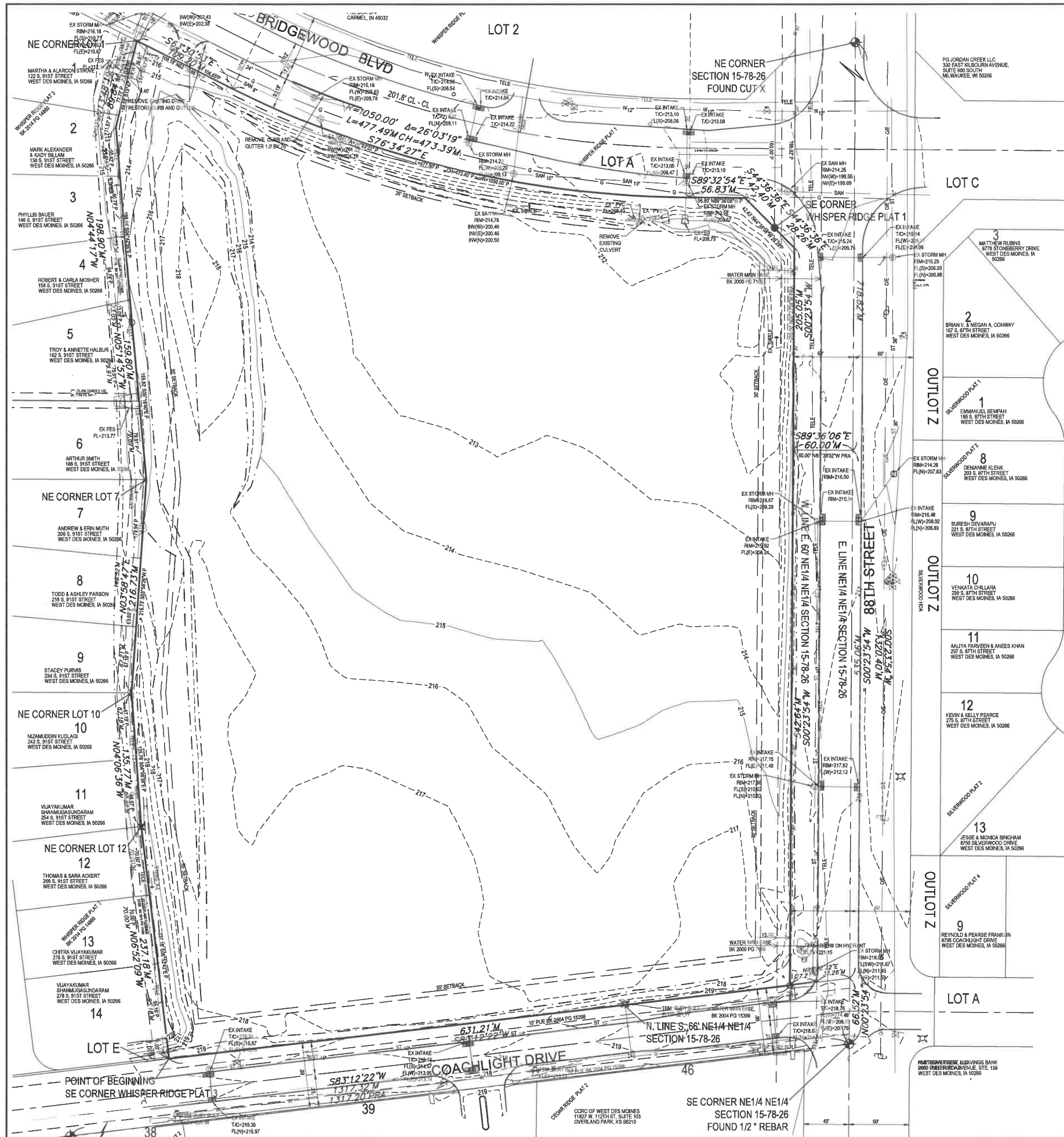
ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary

PRELIMINARY - NOT FOR CONSTRUCTION



GENERAL NOTES:

1. SEE COVER SHEET FOR LEGAL DESCRIPTION AND VICINITY SKETCH.
2. THIS SITE IS NOT LOCATED IN A SPECIAL FEMA FLOOD HAZARD ZONE.

DEMO NOTES:

1. CONTRACTOR SHALL OBTAIN ANY AND ALL REQUIRED PERMITS.
2. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF WEST DES MOINES, COUNTY OF DALLAS, AND STATE OF IOWA
3. CONTRACTOR SHALL BE REQUIRED TO HAVE ANY AND ALL BURIED UTILITIES MARKED OR EXPOSED IN ADVANCE OF THE WORK.
4. DISPOSE OF ALL DEMOLITION MATERIALS OFF SITE IN A LAWFUL MANNER. INCLUDE DISPOSAL IN THE BASE BID. NO EXTRA PAYMENT WILL BE PAID FOR DISPOSAL.

BENCHMARK:

BURY BOLT ON HYDRANT 188 FEET SOUTH OF BRIDGEWOOD CENTERLINE AND 37 FEET EAST OF 88TH STREET CURB, ELEV. 217.49 (WDM DATUM)
 BURY BOLT ON HYDRANT 33 FEET NORTH AND 117 FEET EAST OF THE NORTHWEST CORNER OF SUBJECT PROPERTY, ELEV. 217.35 (WDM DATUM)
 BURY BOLT ON HYDRANT 33 FEET NORTH OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY, ELEV. 218.75 (WDM DATUM)

CITY OF WEST DES MOINES BM# 35
 STANDARD BENCHMARK MONUMENT, 206 FEET EAST OF THE CENTERLINE OF SOUTH 88TH STREET AND 49 FEET NORTH OF THE CENTERLINE OF MILLS CIVIC PARKWAY.
 ELEV. 219.04 WDM DATUM

CITY OF WEST DES MOINES BM# 124
 STANDARD BENCHMARK MONUMENT IN THE CENTER OF A 6 FOOT WIDE CONCRETE MEDIAN IN MILLS CIVIC PARKWAY, 169 FEET EAST OF THE WEST END OF THE MEDIAN.
 ELEV. 203.65 WDM DATUM

UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

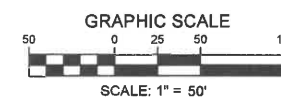


UTILITY LEGEND:

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- SAN — SANITARY SEWER
- ST — STORM SEWER
- G — GAS LINE
- W — WATER LINE
- UE — UNDERGROUND ELECTRIC
- OE — OVERHEAD ELECTRIC
- T — TELEPHONE LINE
- TELEPHONE RISER
- TELEPHONE MANHOLE
- ▲ GROUND LIGHT
- ☆ LIGHT POLE
- ⊕ POWER POLE
- ⊕ TRANSFORMER POLE
- ⊕ ELECTRIC TRANSFORMER
- ⊕ ELECTRIC METER
- ⊕ CLEAN-OUT
- INTAKE
- SURFACE INTAKE
- TRAFFIC SIGNAL MANHOLE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- GAS METER
- DENOTES NUMBER OF PARKING STALLS

SURVEY LEGEND:

- ⊕ SECTION CORNER- FOUND AS NOTED
- PROPERTY CORNER- FOUND IR WI YPC ID #16747
- PROPERTY CORNER- PLACED 3/4" IRON PIPE W/ YELLOW PLASTIC CAP ID #9632
- M MEASURED DISTANCE
- P PLATTED DISTANCE
- D DEEDED DISTANCE
- P.F.A. PREVIOUSLY RECORDED AS
- R.O.W. RIGHT-OF-WAY
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING



Bishop Engineering
 "Planning Your Successful Development"



3501 104th Street
 Des Moines, Iowa 50322-3825
 Phone: (515) 276-0467 Fax: (515) 276-0717
 Civil Engineering & Land Surveying
 Established 1959

PLATINUM POINTE TOWNHOMES
 SITE PLAN / PRELIMINARY PLAT

EXISTING CONDITIONS / DEMO PLAN

REFERENCE NUMBER:

DRAWN BY:
SV, BA

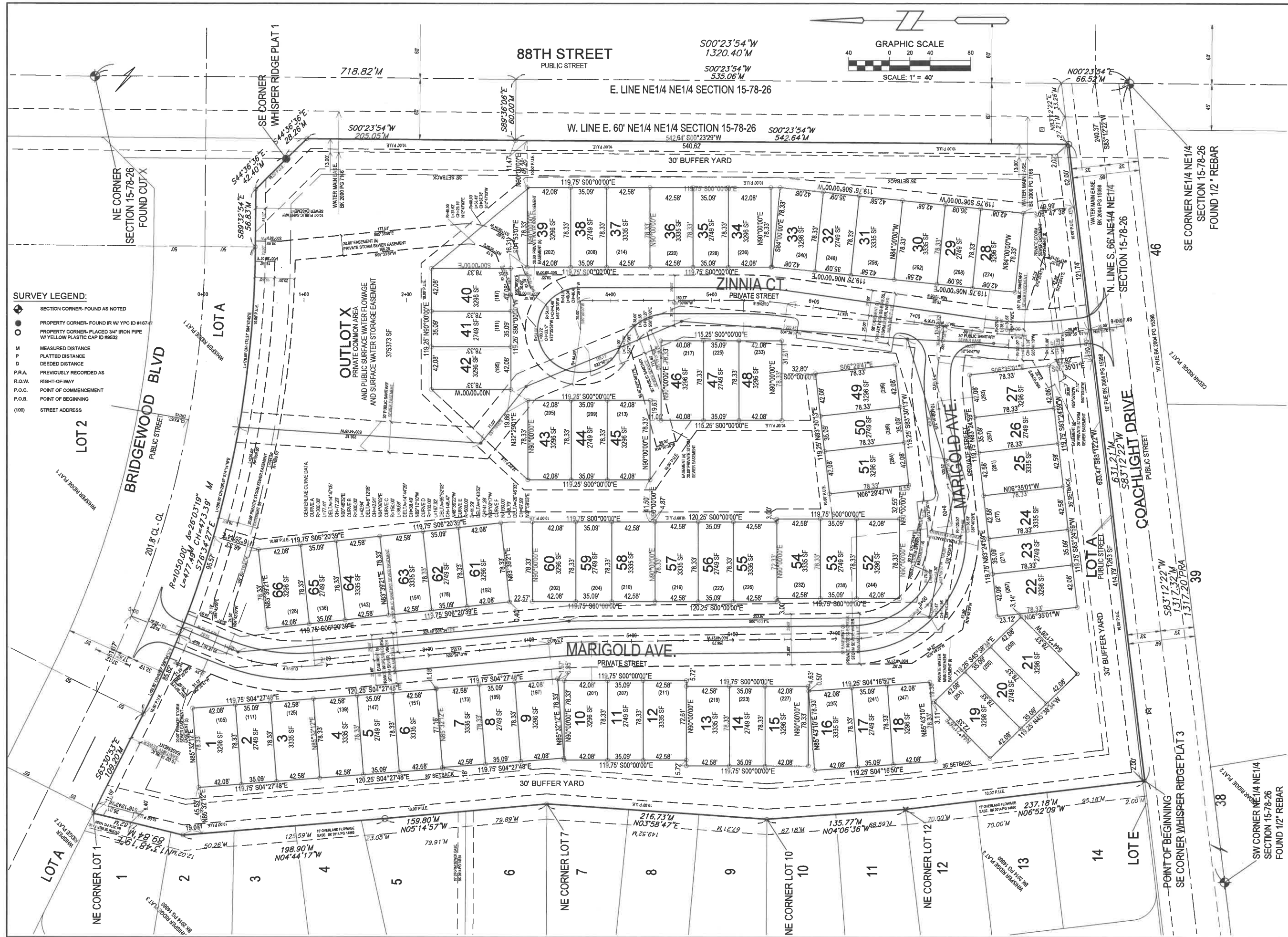
CHECKED BY:

REVISION DATE:
 1. LAST REVIEW 2015
 2. RESUBMIT 05/30/21
 3. RESUBMIT 07/07/21
 4. RESUBMIT 07/30/21

PROJECT NUMBER:
210136

SHEET NUMBER:
C1.1

PRELIMINARY - NOT FOR CONSTRUCTION



SURVEY LEGEND:

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- P.O.B. POINT OF BEGINNING
- (100) STREET ADDRESS

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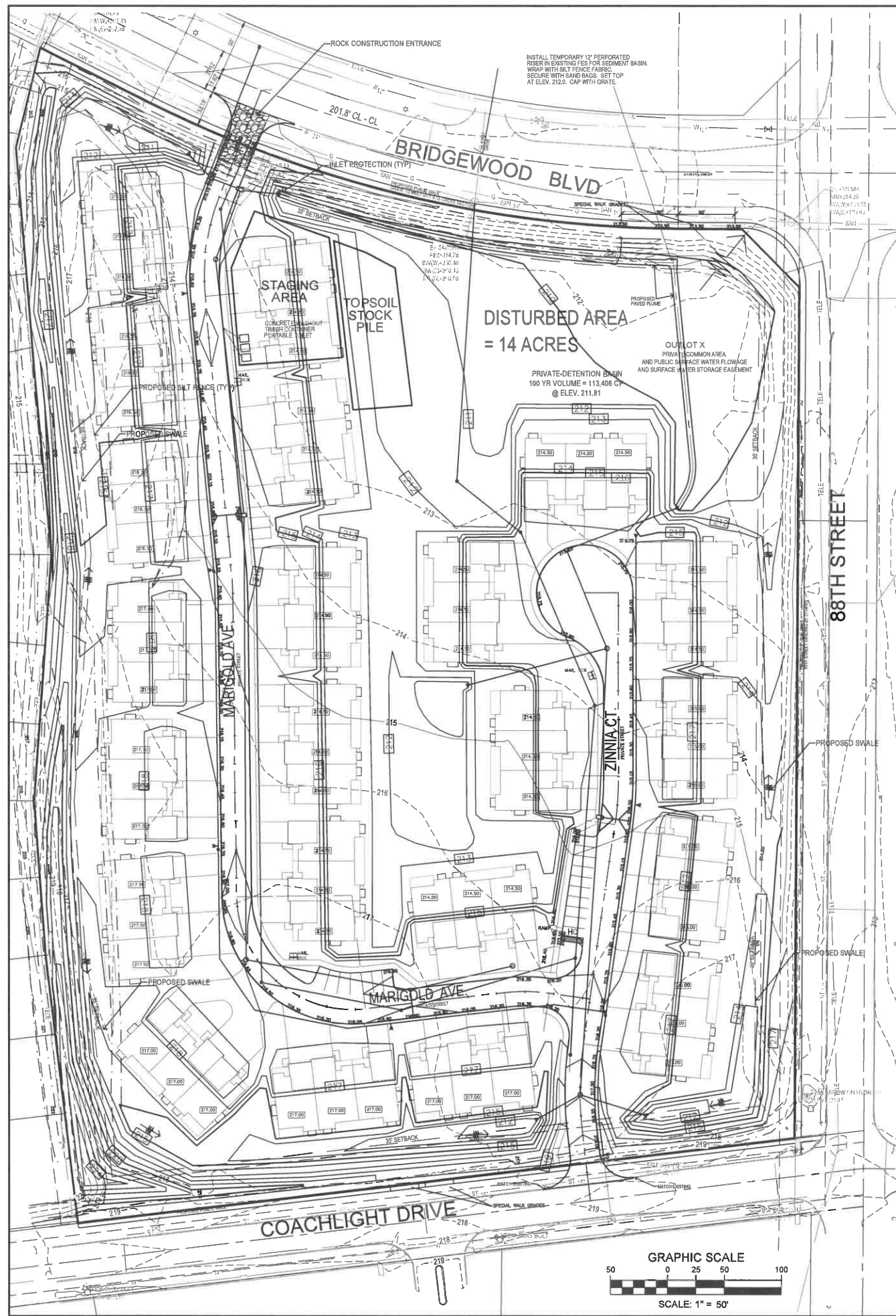
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PLATINUM POINTE TOWNHOMES
SITE PLAN / PRELIMINARY PLAT

PLAT

REFERENCE NUMBER:	
DRAWN BY:	SV, BA
CHECKED BY:	
REVISION DATE:	1. LAST REVIEW 2015 2. RESUBMIT 05/30/21 3. RESUBMIT 07/07/21 4. RESUBMIT 07/30/21
PROJECT NUMBER:	210136
SHEET NUMBER:	C2.2

PRELIMINARY - NOT FOR CONSTRUCTION



EROSION CONTROL NOTES:

1. INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
2. INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
3. INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
4. SEE SWPPP NARRATIVE FOR COMPLETE EROSION CONTROL MEASURES.

TOPSOIL NOTES:

1. STRIP AND STOCKPILE 6" OF TOPSOIL ON ALL DISTURBED AREAS.
2. RESPREAD TOPSOIL TO 6" DEPTH ON ALL GREEN (NON PAVED AREAS). IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM OF 6" DEPTH IN ALL GREEN AREAS.
3. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLY FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN ONE INCH (25 MM) DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET AND SHALL PROVIDE THE CITY OF WEST DES MOINES ENGINEERING DEPARTMENT WITH A WRITTEN VERIFICATION OF MEETING THE MINIMUM TOPSOIL REQUIREMENTS.

SEEDING / SODDING REQUIREMENTS:

1. AS INFRASTRUCTURE IMPROVEMENTS AND FINAL FINISH GRADING ARE COMPLETE, SEED ALL DISTURBED AREAS NOT LIKELY TO BE DISTURBED DURING BUILDING CONSTRUCTION WITH SUDAS PERMANENT LAWN MIXTURE. SEED THE BALANCE OF THE SITE WITH TEMPORARY EROSION CONTROL MIXTURE.
2. AS BUILDINGS, DRIVES, AND WALKS ARE COMPLETE, SOD ALL AREAS DISTURBED BY THE BUILDER ACTIVITIES.
3. MULCH ALL SEEDING AREAS WITH SLOPES EXCEEDING 5:1.
4. STAKE ALL SOD ON AREAS WITH SLOPES EXCEEDING 4:1.

IOWA DNR REQUIREMENTS:

1. OWNER AND CONTRACTOR SHALL COMPLY WITH ALL STIPULATIONS OF THE NPDES GENERAL PERMIT NO. 2.
2. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AN AS-BUILT SURVEY AND RECORD DRAWINGS OF ALL STORM WATER MANAGEMENT FACILITIES ON SITE. THE RECORDS SHALL INCLUDE CERTIFICATION OF SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLANS AND SPOT ELEVATIONS OF ALL LOCATIONS WHERE OVERLAND FLOWAGE IN EASEMENT CROSSES A PROPERTY LINE OR RIGHT-OF-WAY.

GENERAL NOTES:

1. SEE SUPPLEMENTAL DETAILED STORM WATER POLLUTION PREVENTION PLAN PROVIDED IN THE PROJECT SPECIFICATIONS FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS, AND ADDITIONAL NOTES. ADDITIONAL NOTES AND MEASURES CALLED OUT ON SWPPP SHALL BE CONSIDERED INCIDENTAL AND INCLUDED IN ORIGINAL BID.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STATEWIDE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE LOCAL JURISDICTIONAL GOVERNMENT REQUIREMENTS, CODES, REGULATIONS, ORDINANCES, STANDARDS, POLICIES, AND SPECIAL PROVISIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT O.S.U.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY AND ALL APPROPRIATE SAFETY REGULATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
5. CONTRACTOR SHALL CONTACT THE CITY OF WEST DES MOINES ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL GIVE THE PUBLIC WORKS 48 HOURS ADVANCE NOTICE. ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTIONAL GOVERNMENT. ALL NECESSARY CONSTRUCTION SIGNS AND BARRICADES DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS AND BARRICADES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - STREETS AND HIGHWAYS" AND IN ACCORDANCE WITH THE LOCAL GOVERNMENT REQUIREMENTS.
6. CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS FROM THE CITY, COUNTY, OR STATE PRIOR TO ANY CONSTRUCTION. A SWPPP AND NPDES PERMIT SHALL BE AVAILABLE ON SITE AT ALL TIMES. THIS SWPPP DRAWING IS ONLY ONE PART OF THE SWPPP WHICH INCLUDES THE NPDES PERMIT, NARRATIVE, GRADING AND UTILITY PLANS, DETAILED CONSTRUCTION PLANS, SITE PLANS, SOILS REPORTS, CONTRACTOR CERTIFICATIONS, INSPECTION REPORTS, AND OTHER SUPPORTING INFORMATION AND DOCUMENTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING AN ANNOTATED COPY OF THE SWPPP ON SITE DOCUMENTING ANY AND ALL CHANGES, ADDITIONS, AND DELETIONS TO THE SWPPP.
7. EROSION CONTROL MEASURES SHOWN AND QUANTITIES LISTED ON THIS PLAN ARE AN ESTIMATION FOR BIDDING PURPOSES ONLY IN ORDER TO ESTABLISH UNIT PRICES. ADDITIONAL MEASURES TO MEET THE REQUIREMENTS OF THE SWPPP AND CHANGING SITE CONDITIONS MAY BE NEEDED IN ORDER TO PREVENT POLLUTION OF THE STORM WATER DISCHARGE FROM THIS SITE. CONTRACTOR SHALL SUBMIT CHANGE ORDERS TO THE OWNER FOR HIS APPROVAL IN ADVANCE OF EXTRA WORK.
8. ALL POLLUTION PREVENTION MEASURES REQUIRED, AS A RESULT OF CONSTRUCTION ACTIVITIES, ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL ACTIONS NECESSARY FOR INSTALLATION OF CONTROL MEASURES FOR COMPLIANCE WITH PERMIT REQUIREMENTS.
9. INSPECTOR SHALL MEET IDNR AND EPA REQUIREMENTS FOR ALL INSPECTION INCLUDING BUT NOT LIMITED TO DISTURBED AREAS, TRACK OUT, ENTRANCE, DISCHARGE POINTS AND STORAGE AREAS.
10. MODIFICATIONS TO THE SWPPP SHALL BE IMPLEMENTED WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
11. THE INSPECTION REPORTS SHALL INCLUDE THE INSPECTOR'S QUALIFICATIONS.
12. ALL CONTRACTORS SHALL SUBMIT A CERTIFICATION STATEMENT PRIOR TO BEGINNING WORK AT THE SITE. ALL CERTIFICATIONS SHALL BE INCLUDED IN THE SWPPP.
13. CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT-OF-WAY OR ABUTTING PROPERTIES AS THE RESULT OF THIS CONSTRUCTION PROJECT. PERFORM CLEAN UP IMMEDIATELY. DISPOSE OF ALL DEBRIS OFF SITE IN A LAWFUL MANNER. CONTRACTOR SHALL LIMIT ACCESS TO THE SITE ACROSS STABILIZED ACCESS IN ORDER TO LIMIT THE TRACKING OF SITE SOIL ONTO ADJACENT RIGHT-OF-WAY AND PROPERTY. STREETS SHALL BE CLEANED DAILY AT THE CLOSE OF WORK AND PRIOR TO ANY RAIN EVENT.
14. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE EXISTING LANDSCAPING AND INSURE THE SURVIVAL OF EXISTING TREES AND SHRUBS. REPLACE ALL DAMAGED LANDSCAPING MATERIAL AT NO COST TO THE OWNER.
15. ALL DISTURBED AREAS SHALL BE SEED, FERTILIZED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION IS COMPLETE.
16. AS FINAL STABILIZATION IS ACHIEVED, THE CONTRACTOR SHALL REMOVE CONTROL DEVICES AND REPAIR AND STABILIZE AREAS DISTURBED DURING THE REMOVAL PROCESS. REMOVAL IS INCLUDED IN THE UNIT PRICE FOR THE CONTROL DEVICE.
17. PROPOSED PUBLIC SIDEWALK FINAL GRADES SHALL MEET CITY OF WEST DES MOINES REQUIREMENTS FOR PARKING AREA ADJACENT TO STREET. GRADING IN THE PUBLIC RIGHT OF WAY OF 88TH STREET AND ROCKWOOD LANE IS BY OTHERS. FINAL GRADING AS REQUIRED FOR THOSE STREETS AND FOR BRIDGEWOOD BLVD IS INCLUDED IN THIS PLATINUM POINTE TOWNHOMES PROJECT. ALL PUBLIC WALK IMPROVEMENTS SHALL COMPLY WITH PROWAG AND CH.12 OF SUDAS 2013 ED.

UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



PROPERTY DESCRIPTION:
THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE 5TH P.M., CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA; EXCEPT THE SOUTH 66.00 FEET, THEREOF; AND EXCEPT, WHISPER RIDGE PLAT 1, 2, AND 3, OFFICIAL PLATS NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA. SAID TRACT OF LAND CONTAINS 13.32 ACRES, MORE OR LESS.

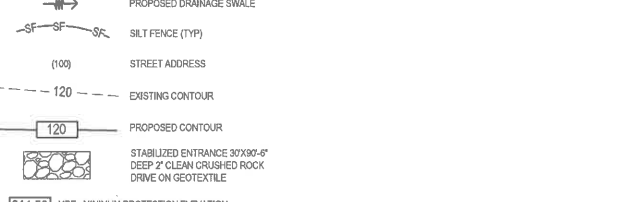
ADDRESS:
88TH AND BRIDGEWOOD
WEST DES MOINES, IOWA 50265

OWNER/APPLICANT:
HALE DEVELOPMENT COMPANY LLC
6620 TONI DRIVE
DES MOINES, IA 50313
515-288-1271

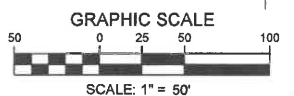
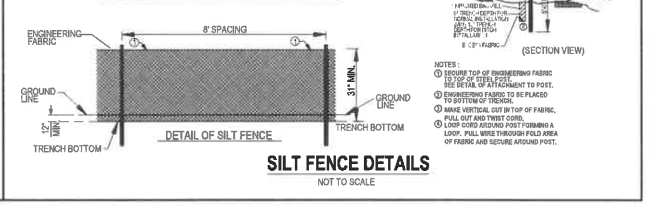
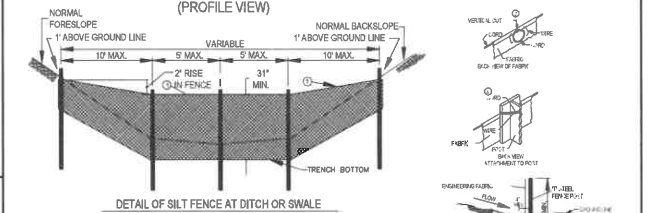
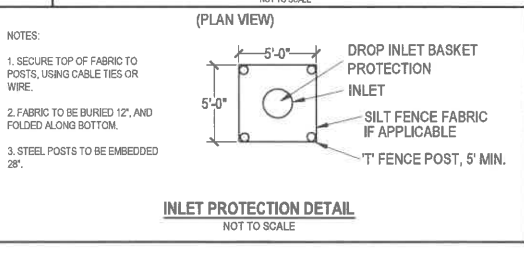
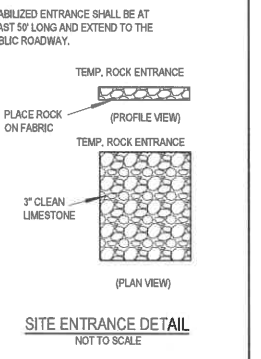
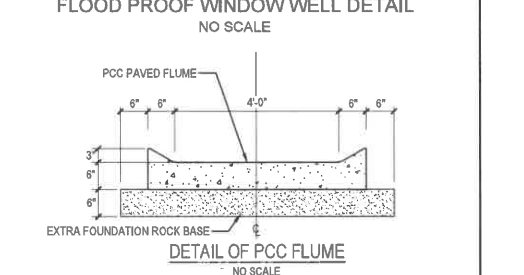
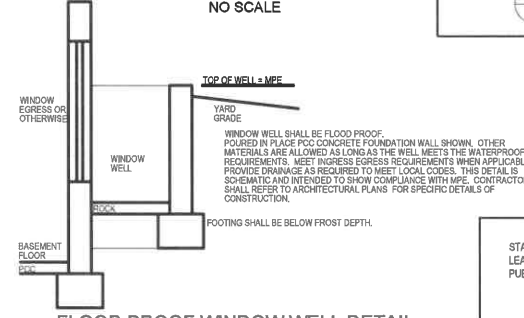
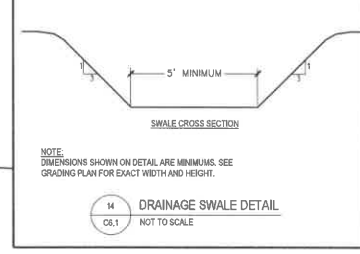
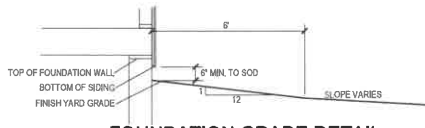
STREET CLEANING:
HALE DEVELOPMENT COMPANY LLC

EROSION CONTROL:
TBD
PHONE: TBD

LEGEND:



[214.50] MPE - MINIMUM PROTECTION ELEVATION
ALL WINDOW AND DOOR SILLS SHALL BE PLACED AT OR ABOVE THESE ELEVATIONS UNLESS THEY ARE PROTECTED BY FLOOD PROOFED WINDOW WELLS.



COMPLY WITH ALL NOTATIONS AND RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL REPORT, ABE PN 141481 DATED 12-3-2014

Bishop Engineering
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PLATINUM POINTE TOWNHOMES
SITE PLAN / PRELIMINARY PLAT

GRADING PLAN / SWPPP

REFERENCE NUMBER:

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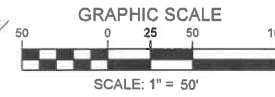
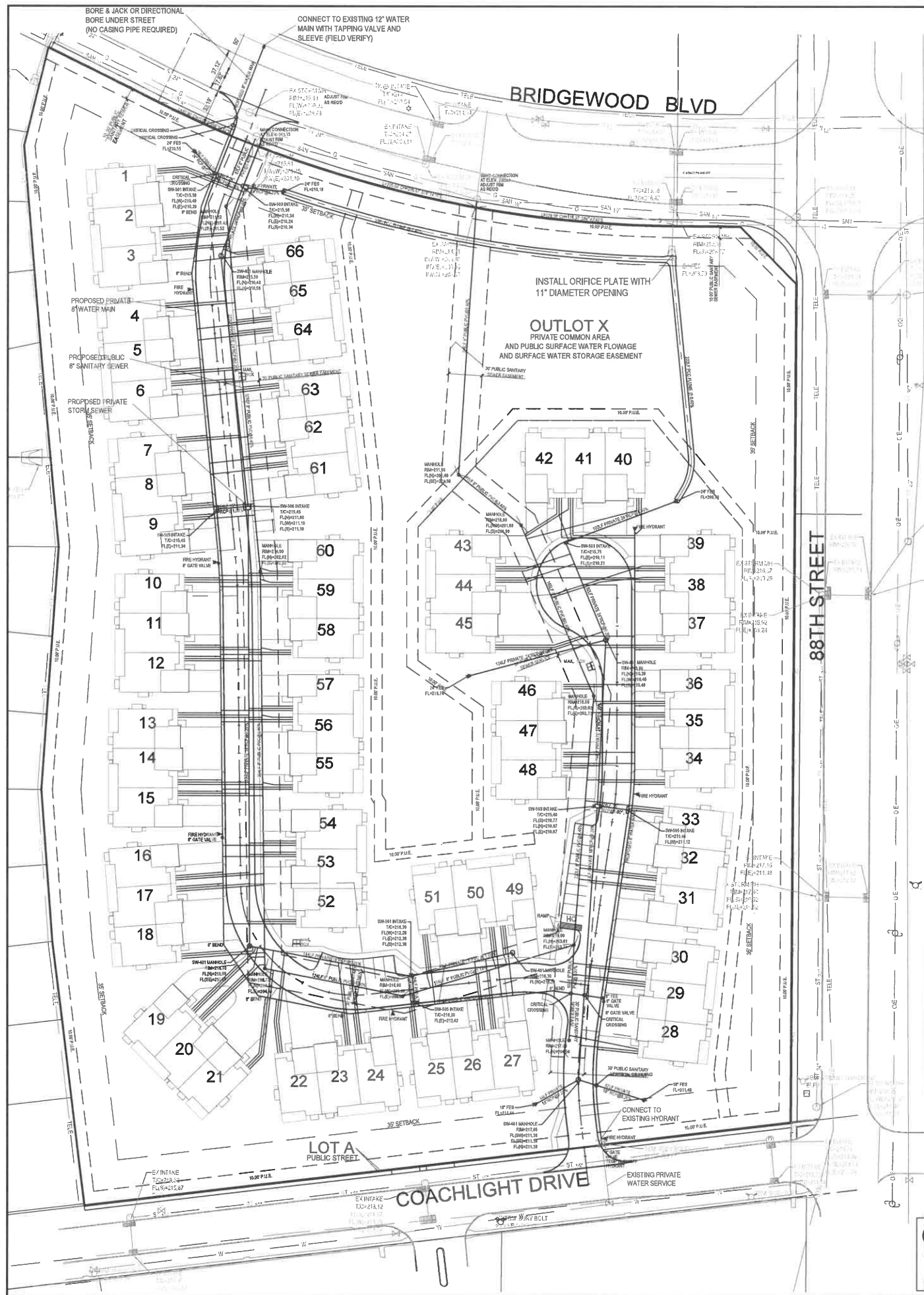
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PROJECT NUMBER:
210136

SHEET NUMBER:
C3.1

PRELIMINARY - NOT FOR CONSTRUCTION



PRIVATE WATER MAIN

12" X 8" TAPPING SLEEVE & VALVE	1	REQ'D
BORE & JACK EXISTING STREET CROSSING	60	LF
8" WATER MAIN	1765	LF
8" GATE VALVE	4	REQ'D
8" BEND	6	REQ'D
8"X8" TEE	1	REQ'D
STD HYDRANT ASSEMBLY	7	REQ'D
1" WATER SERVICE	66	REQ'D

EXISTING UTILITIES:

EXISTING UTILITIES SHOW WERE GATHERED BY MARKINGS FROM ONE CALL OR REFERENCED OFF UTILITIES COMPANIES PROVIDED MAPS. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS.

UTILITY NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY OF WEST DES MOINES STANDARD SPECIFICATIONS, CODES, ORDINANCES, REQUIREMENTS, AND REGULATIONS.
- PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
- PRIVATE SANITARY SEWER, PRIVATE STORM SEWER, AND PUBLIC WATER MAIN ARE SHOWN IN MORE DETAIL ON THE PUBLIC IMPROVEMENT PLANS. REFER TO SEPARATE SET OF PUBLIC IMPROVEMENT PLANS FOR DETAILED CONSTRUCTION REQUIREMENTS. IN THE EVENT OF A DISCREPANCY, THE PUBLIC IMPROVEMENT PLANS SHALL GOVERN.
- ALL STORM SEWER CALLED OUT AS RCP SHALL BE CLASS III RCP.
- OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DETENTION FACILITIES.
- ALL 8" WATER MAIN SHALL HAVE A MINIMUM OF 6' COVER.
- ALL STORM SEWER AND SANITARY SEWER CASTINGS SHALL BE BOLTED DOWN TO STRUCTURE TOP PER SUDAS STANDARDS. COVERS (JDS/GRATES) SHALL NOT BE BOLTED DOWN TO CASTINGS.
- COORDINATE CITY UTILITY TIE INS AND ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY WITH THE CITY OF WEST DES MOINES ENGINEERING DEPARTMENT.
- ALL HYDRANTS, INCLUDING RELOCATED HYDRANTS, SHALL HAVE STORZ FITTINGS. ADJUST ALL EXISTING UTILITIES TO FINAL GRADE AS REQUIRED INCLUDING BUT NOT LIMITED TO HYDRANTS, VALVES, MANHOLES, INTAKES, SIGNS, HAND HOLES, LIDS, AND CASTINGS.
- ALL FLARED END SECTIONS SHALL INCLUDE FOOTING, JOINT TIES, AND APRON GUARD.
- ALL NEW CONNECTIONS TO EXISTING MANHOLE AND INTAKE STRUCTURES SHALL BE CORE DRILLED. USE LINK SEAL FOR SANITARY CONNECTIONS AND NON-SHRINK MORTAR FOR STORM CONNECTIONS. ANY MANHOLES NEEDING GRADE ADJUSTMENT AND NOT MEETING THE STANDARDS FOR HEIGHT OF ADJUSTING RINGS SHALL BE REBUILT WITH NEW BARREL SECTIONS AS REQUIRED.

SITE LIGHTING:

SITE LIGHTING SHALL BE ACCOMPLISHED WITH COACH LIGHTS. EACH UNIT WILL HAVE TWO EXTERIOR COACH LIGHTS MOUNTED ON EITHER SIDE OF THE GARAGE DOOR.

WEST DES MOINES GENERAL NOTES:

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND CITY CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALL PACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOT-CANDLE.

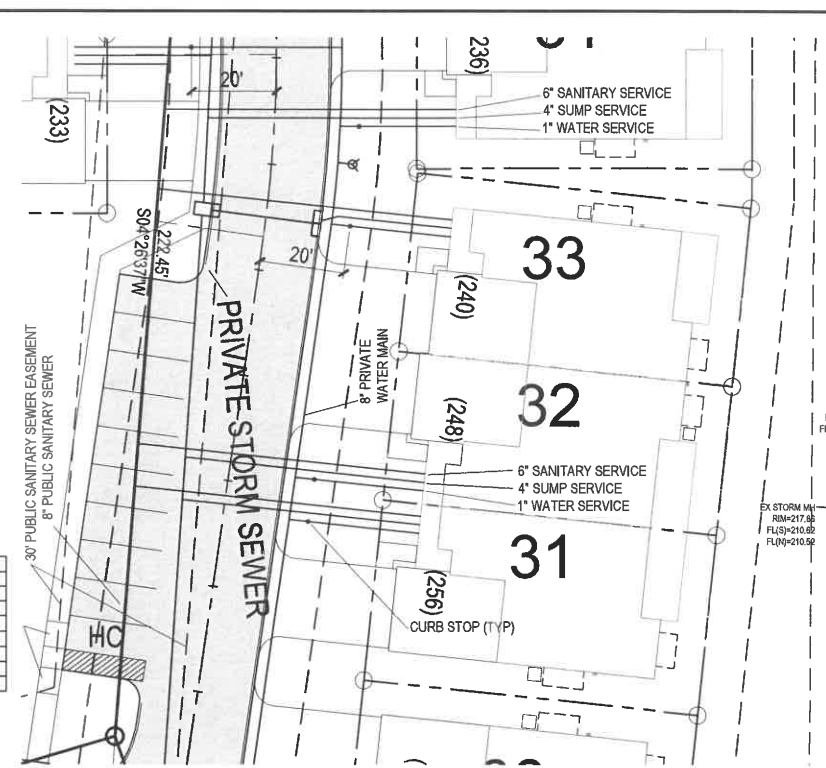
SOILS:

COMPLY WITH ALL NOTATIONS AND RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL REPORT, ABE PN 141461 DATED 12-3-2014.

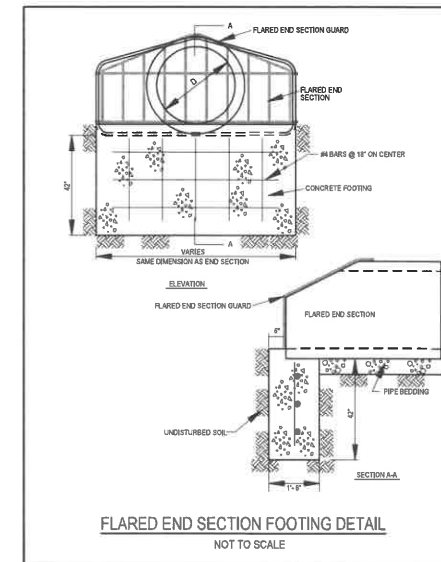


UTILITY NOTE:

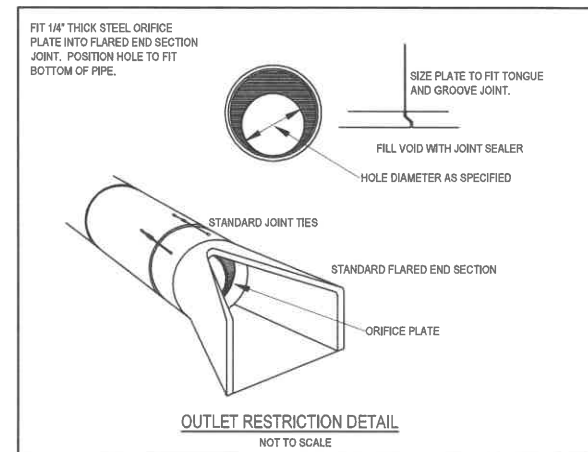
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



ENLARGEMENT 1"=20'



FLARED END SECTION FOOTING DETAIL
NOT TO SCALE



OUTLET RESTRICTION DETAIL
NOT TO SCALE

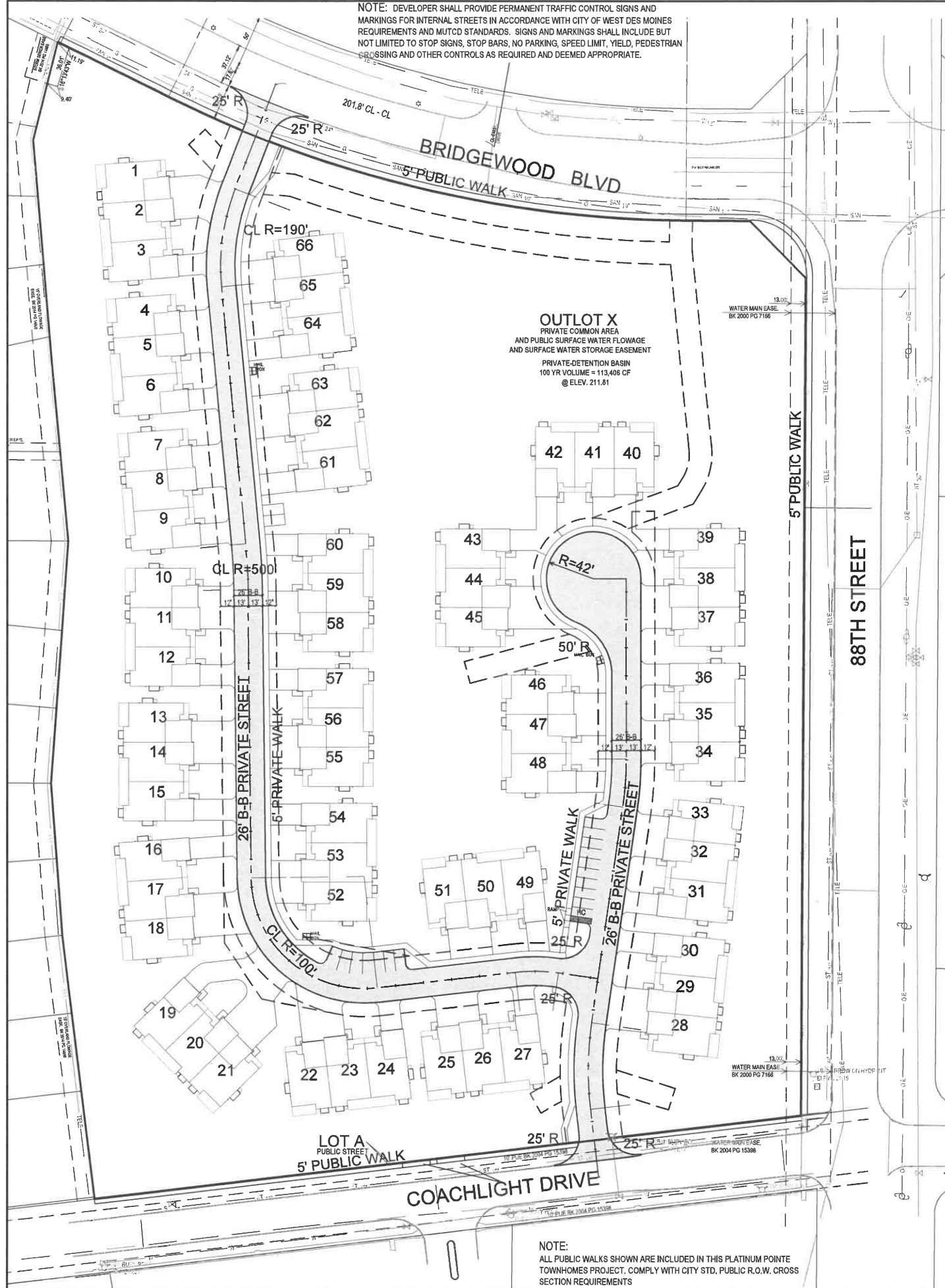
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**PLATINUM POINTE TOWNHOMES
SITE PLAN / PRELIMINARY PLAT
UTILITY PLAN**

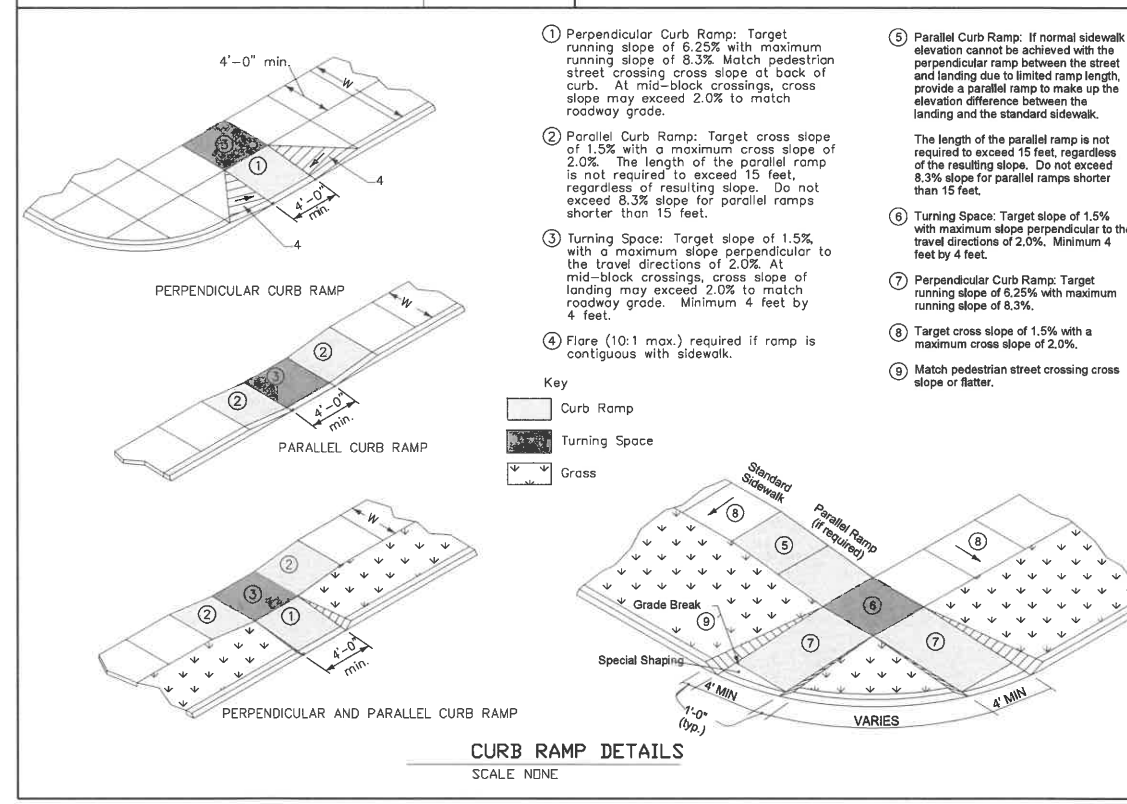
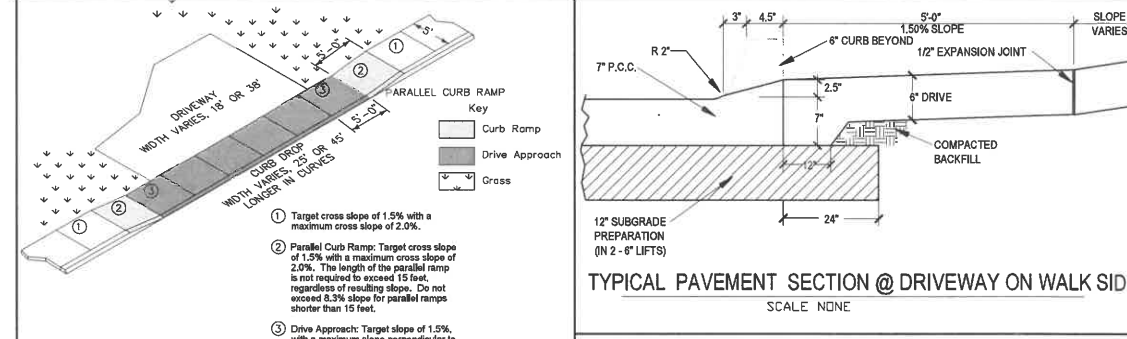
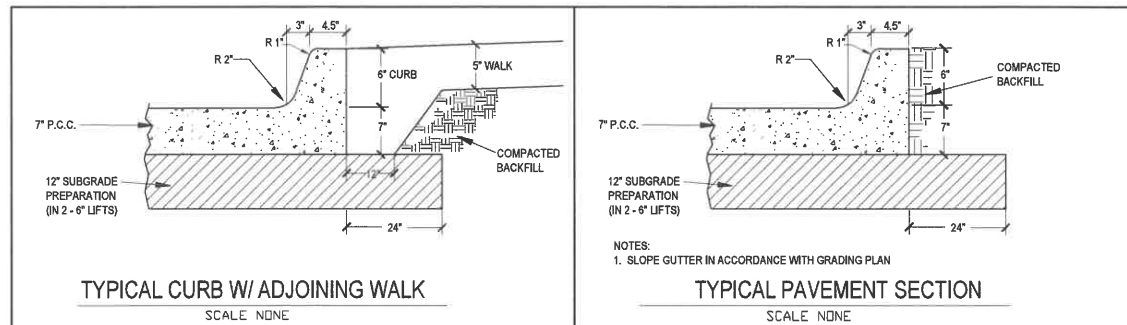
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DRAWN BY: SV, BA
CHECKED BY:
REVISION DATE: 1.LAST REVIEW 2015 2.RESUBMIT 05/30/21 3.RESUBMIT 07/07/21 4.RESUBMIT 07/30/21
PROJECT NUMBER: 210136
SHEET NUMBER: C4.1

PRELIMINARY- NOT FOR CONSTRUCTION

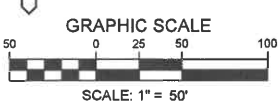
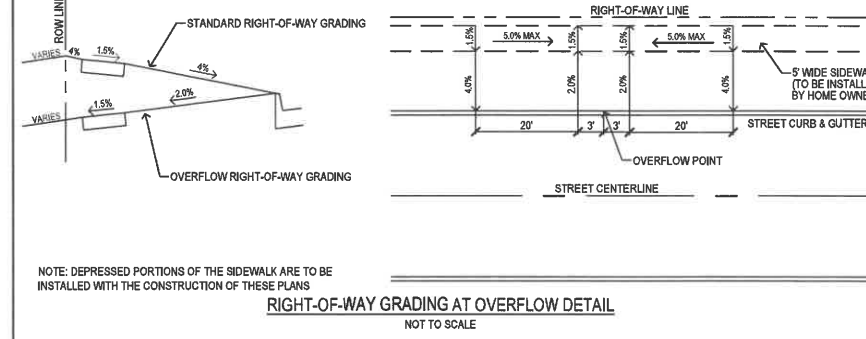
NOTE: DEVELOPER SHALL PROVIDE PERMANENT TRAFFIC CONTROL SIGNS AND MARKINGS FOR INTERNAL STREETS IN ACCORDANCE WITH CITY OF WEST DES MOINES REQUIREMENTS AND MUTCD STANDARDS. SIGNS AND MARKINGS SHALL INCLUDE BUT NOT LIMITED TO STOP SIGNS, STOP BARS, NO PARKING, SPEED LIMIT, YIELD, PEDESTRIAN CROSSING AND OTHER CONTROLS AS REQUIRED AND DEEMED APPROPRIATE.



NOTE:
ALL PUBLIC WALKS SHOWN ARE INCLUDED IN THIS PLATINUM POINTE TOWNHOMES PROJECT. COMPLY WITH CITY STD. PUBLIC R.O.W. CROSS SECTION REQUIREMENTS



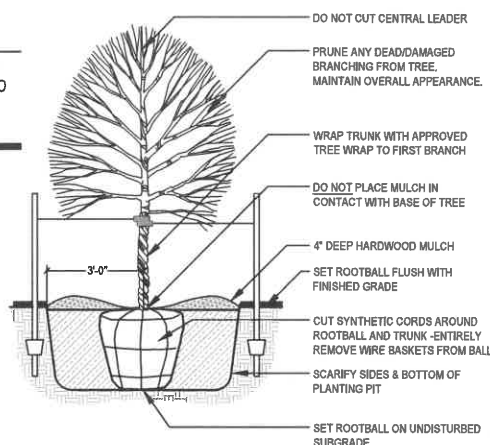
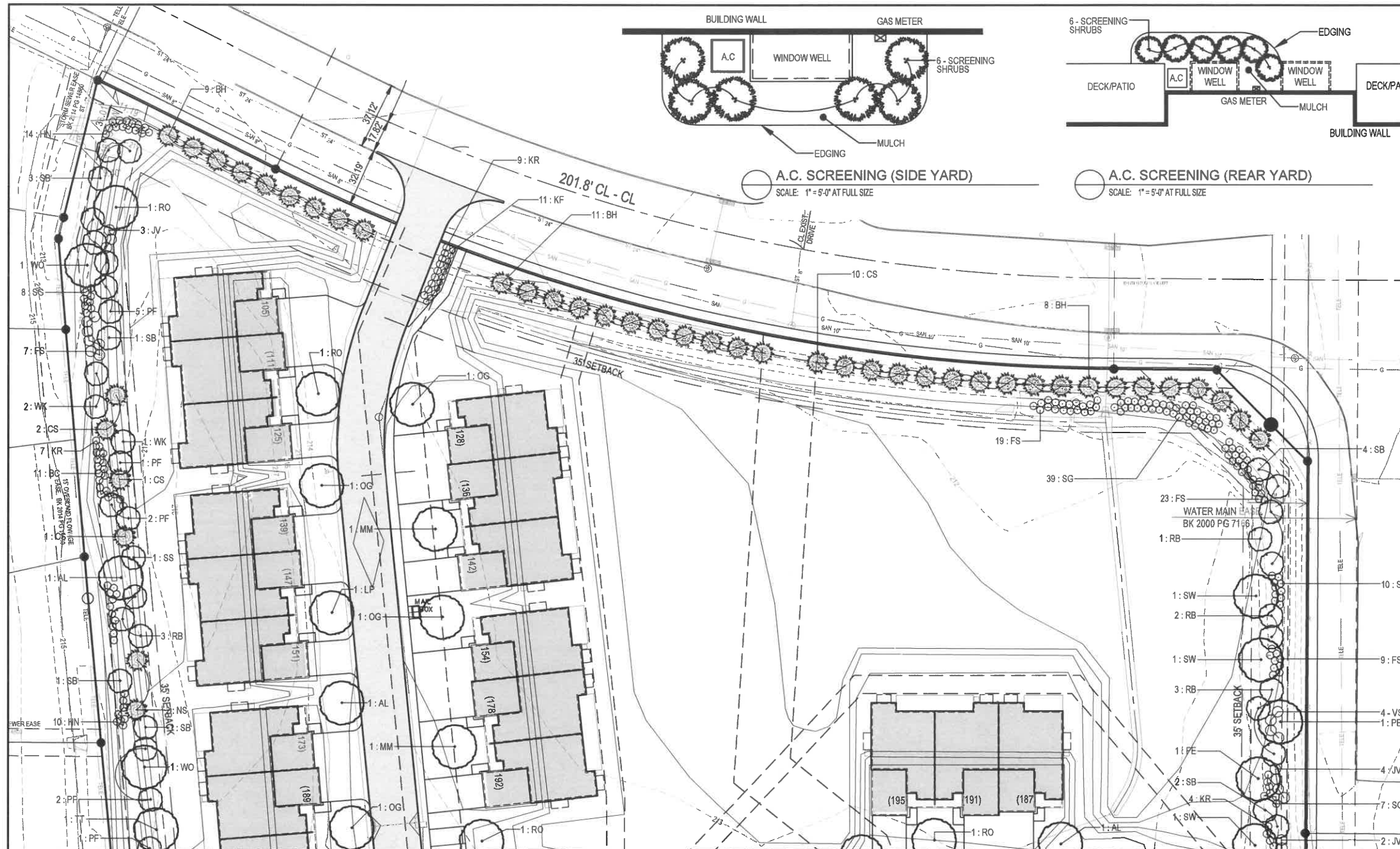
- Perpendicular Curb Ramp: Target running slope of 6.25% with maximum running slope of 8.3%. Match pedestrian street crossing cross slope at back of curb. At mid-block crossings, cross slope may exceed 2.0% to match roadway grade.
- Parallel Curb Ramp: Target cross slope of 1.5% with a maximum cross slope of 2.0%. The length of the parallel ramp is not required to exceed 15 feet, regardless of resulting slope. Do not exceed 8.3% slope for parallel ramps shorter than 15 feet.
- Turning Space: Target slope of 1.5% with a maximum slope perpendicular to the travel directions of 2.0%. At mid-block crossings, cross slope of landing may exceed 2.0% to match roadway grade. Minimum 4 feet by 4 feet.
- Flare (10:1 max.) required if ramp is contiguous with sidewalk.
- Parallel Curb Ramp: If normal sidewalk elevation cannot be achieved with the perpendicular ramp between the street and landing due to limited ramp length, provide a parallel ramp to make up the elevation difference between the landing and the standard sidewalk. The length of the parallel ramp is not required to exceed 15 feet, regardless of the resulting slope. Do not exceed 8.3% slope for parallel ramps shorter than 15 feet.
- Turning Space: Target slope of 1.5% with maximum slope perpendicular to the travel directions of 2.0%. Minimum 4 feet by 4 feet.
- Perpendicular Curb Ramp: Target running slope of 6.25% with maximum running slope of 8.3%.
- Target cross slope of 1.5% with a maximum cross slope of 2.0%.
- Match pedestrian street crossing cross slope or flatter.



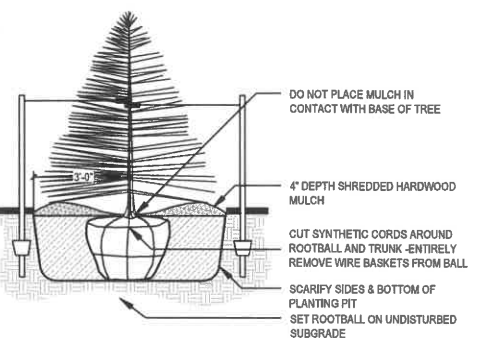
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PLATINUM POINTE TOWNHOMES
SITE PLAN / PRELIMINARY PLAT
PAVING PLAN

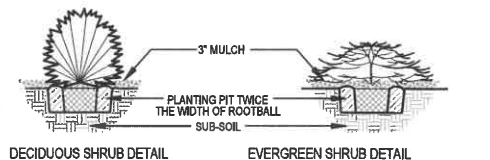
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C5.1



DECIDUOUS TREE PLANTING (TYP.)
SCALE: NOT TO SCALE



EVERGREEN TREE PLANTING (B&B)
SCALE: NOT TO SCALE



DECIDUOUS SHRUB DETAIL **EVERGREEN SHRUB DETAIL**
SHRUB PLANTING (TYP.)
SCALE: NOT TO SCALE

- LANDSCAPE NOTES:**
- ALL SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
 - SEED ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SO/SEED LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
 - PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
 - CONTRACTOR SHALL WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
 - FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
 - CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
 - IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
 - STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
 - THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
 - NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
 - ALL EDGING SHALL BE DURAEDEGE 3/16\"/>

PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
AL	7	AMERICAN LINDEN	TILIA AMERICANA	2.5\"/>		

LANDSCAPE REQUIREMENTS:

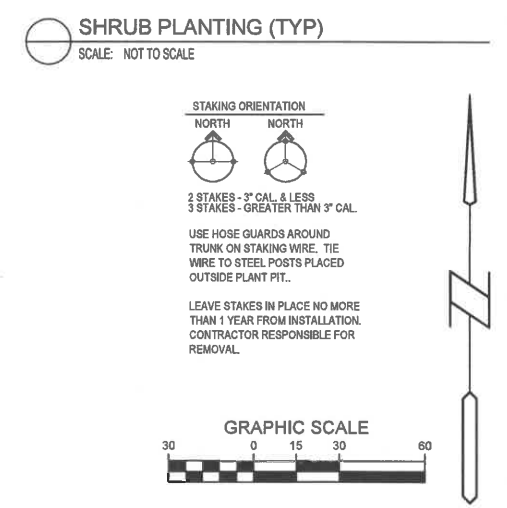
OPEN SPACE REQUIREMENTS	
TOTAL SIZE OF LOT	581,616 SF
TOTAL REQUIRED OPEN SPACE (20%)	116,323 SF
TOTAL LANDSCAPE UNITS (1 / 3000 OF OPEN SPACE)	38.8

TOTAL TREES REQUIRED (2 PER LANDSCAPE UNIT)	78
TOTAL TREES PROVIDED	78
TOTAL SHRUBS REQUIRED (8 PER LANDSCAPE UNIT)	233
TOTAL SHRUBS PROVIDED	233

WEST BUFFERYARD	
TOTAL LENGTH	958.4'
TOTAL LANDSCAPE UNITS (1 / 35 LINEAR FEET)	27.4
TOTAL TREES REQUIRED PER UNIT (1 X 27.4)	28
TOTAL PROVIDED	28
TOTAL ORNAMENTAL TREES REQUIRED PER UNIT (2 X 27.4)	55
TOTAL PROVIDED	55
TOTAL SHRUBS REQUIRED PER UNIT (8 X 27.4)	185
TOTAL PROVIDED	185

SOUTH BUFFERYARD	
TOTAL LENGTH	590.9'
TOTAL LANDSCAPE UNITS (1 / 35 LINEAR FEET)	16.9
TOTAL TREES REQUIRED PER UNIT (1 X 16.9)	17
TOTAL PROVIDED	17
TOTAL ORNAMENTAL TREES REQUIRED PER UNIT (2 X 16.9)	34
TOTAL PROVIDED	34
TOTAL SHRUBS REQUIRED PER UNIT (8 X 16.9)	142
TOTAL PROVIDED	142

EAST BUFFERYARD	
TOTAL LENGTH	707.3'
TOTAL LANDSCAPE UNITS (1 / 35 LINEAR FEET)	20.2
TOTAL TREES REQUIRED PER UNIT (1 X 20.2)	21
TOTAL PROVIDED	21
TOTAL ORNAMENTAL TREES REQUIRED PER UNIT (2 X 20.2)	41
TOTAL PROVIDED	41
TOTAL SHRUBS REQUIRED PER UNIT (8 X 20.2)	122
TOTAL PROVIDED	122



NOTE: ANY GROUND MOUNTED MECHANICAL EQUIPMENT (A/C) IS REQUIRED TO BE SCREENED FROM VIEW TO PUBLIC ROADWAYS.

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PLATINUM POINTE TOWNHOMES
SITE PLAN / PRELIMINARY PLAT
LANDSCAPE PLAN

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4. RESUBMIT 07/30/21

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210136
SHEET NUMBER:
C6.1

L:\LAND PROJECTS 2021\210138 - WHISPERING RIDGE - AKA PEARL RIVER POINTE PKWY\DWG\210138.LANDSCAPING.DWG



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PLATINUM POINTE TOWNHOMES
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LANDSCAPE PLAN

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3. RESUBMIT	07/07/21
4. RESUBMIT	07/30/21
PROJECT NUMBER:	210138
SHEET NUMBER:	C6.2