

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** October 11, 2021

**ITEM:** Hy-Vee Fast & Fresh, 300 Grand Avenue – Approve a Preliminary Plat to create 1 lot for commercial development and Approve a Phased Site Plan to allow paving and private utilities related to the construction of a convenience store with gas pumps – Hy-Vee, Inc. – PPSP-005299-2021

**Resolution: Approval of Preliminary Plat and Phased Site Plan**

**Background:** Kelsey Scallon with Shive-Hattery, Inc, on behalf of the applicant and property owner, Hy-Vee, Inc., requests approval of a Preliminary Plat for the approximately 1.8-acre property located at 300 Grand Avenue. The applicant proposes to subdivide the property into one (1) lot for commercial development and one (1) street lot to be dedicated to the City. Additionally, the applicant requests approval of a phased Site Plan to allow paving of drives on the north and east to facilitate vehicle movements between businesses and the paving of a snow storage lot and sidewalk connection on the property to the south and implementation of private utilities related to the construction of a convenience store with gas pumps and associated site improvements.

**Staff Review & Comment:**

- **Financial Impact:** The City is in the process of improving Grand Avenue adjacent to the subject property but otherwise there is no City funding of Hy-Vee's project.
- **Key Development Aspects:**
  - **Site Access & Cross Access:** The City is currently reconstructing Grand Avenue into a 5-lane road with a center median. A break in the median is located at the mid-point between 1<sup>st</sup> and 4<sup>th</sup> streets which will allow for a full-turn movement intersection. This mid-point leads into the Hy-Vee site. To facilitate the flow of traffic along Grand Avenue, several existing individual business access points on Grand Avenue have been removed. With the removal of multiple drive accesses along Grand, internal drive connections between properties becomes critical for providing access to all businesses, while still maintaining safe and efficient traffic flow on Grand Avenue. These internal connections between properties give left-turning traffic options to use different routes during peak times thus better distributing trips to the arterial streets and alleviating delays. To allow adjacent businesses to the east and west access to the full-turn intersection within the Hy-Vee property frontage, an internal drive along the front edge of the Hy-Vee property is proposed. This phased site plan approval is being requested to facilitate the implementation of private utilities and paving of the intended access drive as soon as possible. A cross-access easement will be established to assure patrons of businesses within the area can legally cross through the property. The executed cross access easement will be required prior to physical construction of any driveways on the Hy-Vee site.
  - **Building Design:** Staff is currently working with the applicant on the Hy-Vee building design in order to capture the Val-Gate design theme. This design will be finalized prior to consideration of the full site plan for the Hy-Vee site.
- **Traffic Impact Study Findings:** A traffic study for this development was completed on May 19, 2020. Key findings are summarized below.
  1. The proposed development is expected to generate more traffic than what was analyzed in previous traffic studies for the area. Recommendations for full-build street geometry and traffic control, as well as triggers for possible future improvements, are detailed within the study.

2. Comments regarding emergency vehicle maneuverability, driveway locations, and internal connections to neighboring properties have been given to the applicant, with modifications incorporated into the plan after the traffic study was completed.
- Dedication of Right of Way: Unless provided separately via an acquisition plat, as a part of the final plat for the property, the developer will dedicate the additional right of way for Grand Avenue related to the widening of the street.
  - Conditions of Approval:
    - Cross Access Agreement: As discussed above, a fully executed cross access agreement with the True Value property to the east shall be submitted to the City prior to construction beginning on the driveways on the north and east sides of the Hy-Vee site.
    - Site Plan Review: Staff is still working with the applicant on a few site plan comments and on the building design details. Staff recommends a condition of approval requiring resolution of these items prior to City Council consideration of the full site plan for the site.
  - Plat Validity: Per City Code, the associated Final Plat must be presented to the City Council for approval within twelve (12) months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within eighteen (18) months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date. The applicant received approval of a Preliminary Plat on June 15, 2020; however, they did not provide the associated Final Plat within the required 12-month time frame required by code (no public improvements to install) and therefore have resubmitted this Preliminary Plat in conjunction with the Site Plan.
  - Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

**Outstanding Issues**: The aforementioned cross access agreement and remaining site plan items will need to be addressed prior to full site plan approval.

**Plan and Zoning Commission Action**:

Date:

Vote:

Recommendation:

**City Council First Reading**:

Date:

Vote:

**Recommendation**: Approve the Preliminary Plat and Phased Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The applicant acknowledging and agreeing that this approval only allows for issuance of a building permit for private utilities and the construction of drive aisle along the north and east sides of the Hy-Vee site and a snow storage and connecting sidewalk on the property to the south. Full site plan approval and allowance of above ground construction of the building and other paving within the site shall not be allowed until the associated final plat for the site has been approved and the full site plan approved by the City Council. The applicant further acknowledging that proceeding

with site improvements prior to full site plan approval is at the applicant's own risk and the site must comply with the approved full site plan. Any changes necessary to improvements installed ahead of full site plan approval will be the financial responsibility of the applicant with no City reimbursement of expenses due to required site changes.

2. Prior to any driveway construction beginning on the Hy-Vee site, a fully executed cross access agreement agreeable to both parties must be provided to the City.
3. The applicant continuing to work with City staff on the remaining outstanding site plan comments.

**Lead Staff Member: Brian Portz**

**Approval Meeting Dates:**

Plan and Zoning Commission	October 11, 2021
City Council	

**Staff Report Reviews:**

Plan & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

**Publications (if applicable)**

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

**Council Subcommittee Review (if applicable)**

Subcommittee	Development & Planning
Date Reviewed	September 7, 2021
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

## Location Map



# HY-VEE INC.

5820 Westown Parkway West Des Moines, Iowa 50266



## PRELIMINARY PLAT/SITE PLAN

PROJECT LOCATION:

# WEST DES MOINES HY-VEE FAST & FRESH

300 GRAND AVE, WEST DES MOINES, IA 50265

### PLANS ISSUED

REV	DATE	DESCRIPTION
	09/17/21	PRELIMINARY PLAT/SITE PLAN

#### OWNER/DEVELOPER

HY-VEE, INC.  
5820 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50266  
515-267-2800  
ATTN: JOHN BREHM

#### CIVIL ENGINEER

SHIVE-HATTERY, INC.  
4125 WESTOWN PARKWAY  
SUITE 100  
WEST DES MOINES, IOWA 50266  
515-223-8104

#### LANDSCAPE ARCHITECT

SHIVE-HATTERY, INC.  
4125 WESTOWN PARKWAY  
SUITE 100  
WEST DES MOINES, IOWA 50266  
515-223-8104

#### SITE SURVEY

SHIVE-HATTERY, INC.  
4125 WESTOWN PARKWAY  
SUITE 100  
WEST DES MOINES, IOWA 50266  
515-223-8104

#### CITY CASE NUMBER

PPSP-005299-2021

#### REGULATORY AGENCIES

CITY MANAGER  
TOM HADDEN  
515-222-3612

CITY ENGINEER  
BRIAN HEMESATH  
515-273-0642

PUBLIC SERVICES DIRECTOR  
BRET HODNE  
515-222-33536

FIRE CHIEF  
CRAIG LEU  
515-222-3430

POLICE CHIEF  
CHRIS SCOTT  
515-222-3300

#### UTILITY CONTACTS

STATE ONE CALL  
800-292-8989

GAS  
MIDAMERICAN ENERGY  
515-252-6632

ELECTRIC  
MIDAMERICAN ENERGY  
515-252-6632

TELEPHONE  
CENTURYLINK  
720-578-8090

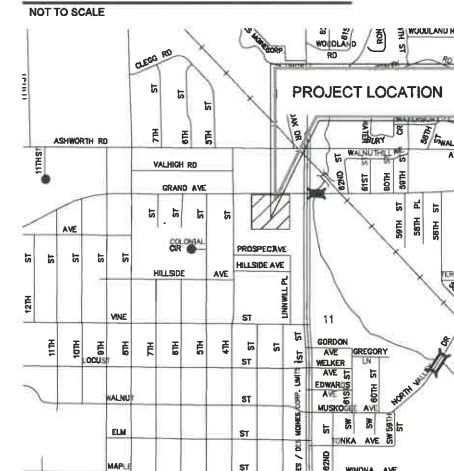
CABLE  
MEDIACOM  
515-246-2252

WATER  
WEST DES MOINES  
WATER WORKS  
515-222-3510

#### SHEET INDEX

- COVER SHEET
- C1.0 EXISTING CONDITIONS
- C2.0 SITE PLAN
- C2.1 DIMENSION PLAN
- C3.0 GRADING PLAN
- C3.1 EROSION CONTROL PLAN
- C4.0 UTILITY PLAN
- C5.0 PLANTING AND IRRIGATION NOTES
- C5.1 PLANTING PLAN
- C6.0 - C6.5 SITE DETAILS

#### SITE LOCATION MAP



#### SHOP DRAWINGS REQUIRED PRIOR TO INSTALLATION

##### DIVISION 31 - EARTHWORK

- (312323) FILL:  
PRODUCT DATA  
MATERIAL SOURCE

##### DIVISION 32 - EXTERIOR IMPROVEMENTS

- (321216) ASPHALT PAVING:  
LIGHT DUTY MIX DESIGN  
HEAVY DUTY MIX DESIGN

- (321313) CONCRETE PAVING:  
LIGHT DUTY MIX DESIGN  
HEAVY DUTY MIX DESIGN  
PAVING PHASING PLAN LAYOUT  
PAVING JOINT PLAN LAYOUT  
CURE COMPOUND PRODUCT DATA

- (321316) DECORATIVE CONCRETE PAVING:  
CONCRETE STAIN PRODUCT DATA

- (321373) CONCRETE PAVING JOINT SEALANTS:  
TAR JOINT SEALANT PRODUCT DATA

- (321613) CURBS AND GUTTERS:  
CURB AND GUTTER DESIGN MIX

- (321623) SIDEWALKS:  
SIDEWALK MIX DESIGN

- (321723) PAVEMENT MARKINGS:  
PAVEMENT MARKING PRODUCT DATA

- (323100) FENCES AND GATES:  
FENCE AND GATE PRODUCT DATA

- (323200) RETAINING WALLS:  
RETAINING WALL PRODUCT DATA  
RETAINING WALL SHOPS

#### SHOP DRAWINGS REQUIRED PRIOR TO INSTALLATION

- (323913) BOLLARDS:  
PRODUCT DATA

- (328000) IRRIGATION:  
IRRIGATION CONTROLS PRODUCT DATA  
IRRIGATION LAYOUT

- (329000) PLANTINGS:  
PLANT SUBSTITUTION SCHEDULE  
MULCH PRODUCT DATA

- (329113) SOIL PREPARATION:  
AMEND SOIL MIX

- (329219) SEEDING:  
SEEDING PRODUCT DATA

- (329223) SOD:  
SOD PRODUCT DATA

##### DIVISION 33 - UTILITIES

- (331400) WATER MAIN APPURTENANCES:  
WATER MAIN AND APPURTENANCES


- (333100) SANITARY SEWER:  
SANITARY SEWER AND MANHOLES

- (333400) GREASE INTERCEPTOR:  
GREASE INTERCEPTOR SHOPS

- (334100) STORM DRAINAGE PIPING:  
STORM SEWER MANHOLES  
TRENCH DRAINS  
DRAIN TILE

- (334400) STORMWATER TREATMENT STRUCTURES:  
STORMWATER TREATMENT SHOPS  
IRRIGATION LAYOUT

#### LANDSCAPE ARCHITECT



I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.


ERIC B. HOLT  
Professional Name

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL:  
C5.0, C5.1

License Expires: 06/30/2023

#### CIVIL ENGINEER



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

KELSEY A. SCALLON  
Professional Name

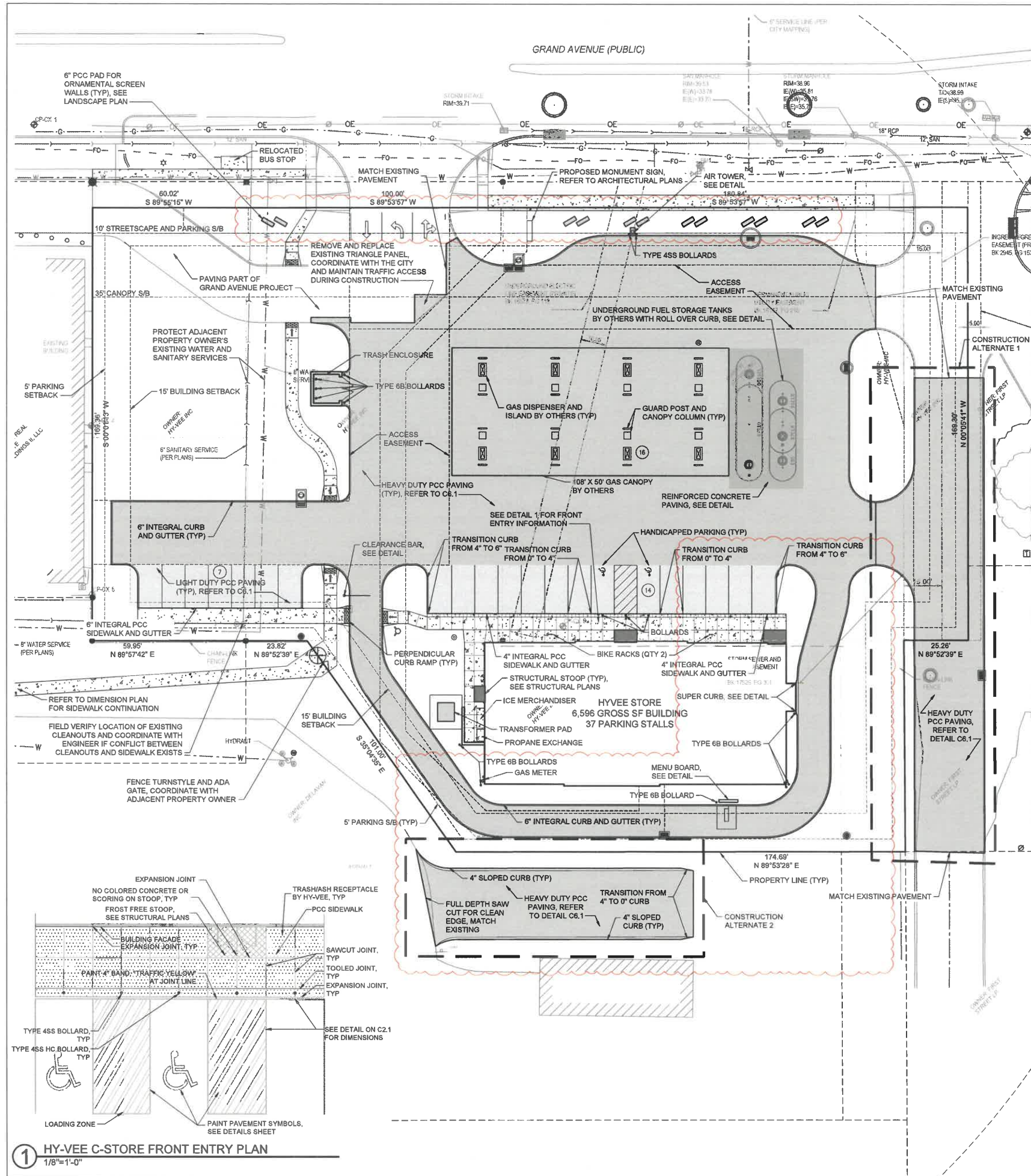
Printed or typed name: KELSEY A. SCALLON  
License Number: 25081  
My License Renewal Date is: DECEMBER 31, 2021

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL:  
C0.0-C6.5



THE UTILITIES AS SHOWN ON THIS DRAWING WERE DEVELOPED FROM THE COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT IS THE CLIENTS/CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE.

NOT FOR CONSTRUCTION



**SIGNAGE AND STRIPING SPECIFICATIONS:**

1. PAINT TRAFFIC DIRECTION ARROWS, PARKING STRIPES, AND HANDICAP SYMBOLS "TRAFFIC YELLOW".
2. PAINT SHALL BE LEAD FREE WATERBORNE TRAFFIC AND HIGHWAY MARKING PAINT UC-3586 YELLOW AS MANUFACTURED BY DIAMOND VOGEL PAINTS OR EQUIVALENT.
3. PROVIDE FOUNDRY GRADE SILICA SAND THAT MEETS A 50/50 GRADED SAND WHEN TESTED ACCORDING TO ASTM C-136 OR GLASS BEADS THAT MEET FEDERAL SPECIFICATION TT-B-1325, TYPE I, GRADATION A.
4. BEFORE APPLICATION OF PAINT, PAINTING SURFACE MUST BE DRY AND FREE FROM DIRT, GREASE, OIL, OR OTHER MATERIAL THAT WOULD REDUCE THE BOND BETWEEN THE PAVEMENT AND PAINT. CLEAN THE AREA TO BE PAINTED BY SWEEPING OR COMPRESSED AIR.
5. APPLY PAINT AT LOCATIONS, DIMENSIONS, AND SPACING SHOWN ON THE PLANS.
6. MIX PAINT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPLY AT THE RATE OF 115 SF/GALLON. THE ADDITION OF THINNER WILL NOT BE PERMITTED.
7. APPLY SILICA SAND AT 4LBS/GALLON OF PAINT IMMEDIATELY AFTER THE APPLICATION OF PAINT. SILICA SAND SHALL ADHERE TO THE CURED PAINT PRIOR TO FINAL ACCEPTANCE AND PAYMENT.
8. TREAT GLASS BEADS WITH ADHESION PROMOTING COATINGS AS SPECIFIED BY THE PAINT MANUFACTURER. APPLY GLASS BEADS AT 7LBS/GALLON OF PAINT IMMEDIATELY AFTER THE APPLICATION OF PAINT. GLASS BEADS SHALL ADHERE TO THE CURED PAINT PRIOR TO FINAL ACCEPTANCE OF PAYMENT.
9. PROTECT ALL MARKINGS FROM DAMAGE UNTIL PAINT IS DRY. OW AS MANUFACTURED BY DIAMOND VOGEL PAINTS OR EQUIVALENT.
3. PROVIDE FOUNDRY GRADE SILICA SAND THAT MEETS A 50/50 GRADED SAND WHEN TESTED ACCORDING TO ASTM C-136.
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8. PROTECT ALL MARKINGS FROM DAMAGE UNTIL PAINT IS DRY.

**PARKING REQUIREMENTS**

- 1 STALL PER 250 SF OF GROSS FLOOR AREA
  - GROSS FLOOR AREA: 6,596 SF
  - TOTAL REQUIRED STALLS: 27
  - PROVIDED PARKING STALLS: 21
  - PROVIDED PARKING UNDER CANOPY: 16
  - TOTAL PROVIDED STALLS ON PROPERTY: 37
  - TOTAL REQUIRED HANDICAP STALLS: 2
  - TOTAL PROVIDED HANDICAP STALLS: 2
- ALL ACCESSIBLE PARKING SPACES ARE LOCATED TO PROVIDE THE SHORTEST ROUTE TO THE BUILDING ENTRANCES.

**ZONING AND LAND USE**

ZONING: LINN/MLL HYVEE PUD - COMMUNITY COMMERCIAL  
 COMPREHENSIVE LAND USE: PUD - COMMUNITY COMMERCIAL

**BUILDING SETBACKS**

EXTERIOR - 10' MIN FROM ADJACENT PUBLIC STREET  
 INTERIOR - NONE  
 MAXIMUM BUILDING HEIGHT - 25' 0"

**LEGAL DESCRIPTION**

THAT PART OF LOTS TWO (2) AND THREE (3) IN LINN/MLL PLAT 2, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, AS SHOWN IN PLAT OF SURVEY #2018-18 RECORDED OCTOBER 15, 2019 IN BOOK 17544 AT PAGE 254.

AND

LOTS FOUR (4), FIVE (5), SIX (6), SEVEN (7), AND THE NORTH 79.3 FEET OF THE EAST 60 FEET OF LOT EIGHT (8) IN LINN/MLL PLAT 2, AN OFFICIAL PLAT, NOW INCLUDING IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, AS SHOWN IN PLAT OF SURVEY #2020-15 RECORDED APRIL 13, 2020 IN BOOK 17776 AT PAGE 917.

AND

THAT PART OF LOTS TEN (10) AND ELEVEN (11) IN LINN/MLL PLAT 2, AN OFFICIAL PLAT, NOW INCLUDING IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, AS SHOWN IN PLAT OF SURVEY #2020-15 RECORDED APRIL 13, 2020 IN BOOK 17776 AT PAGE 917.

EXCLUDING

THE NORTH 10 FEET OF LOTS 3, 4, 5, 6, AND 7 OF LINN/MLL PLAT 2.

CONTAINING 74,602 SQ. FT. (1.713 ACRES) MORE OR LESS.

**SITE SUMMARY**

BUILDING USE: CONVENIENCE STORE  
 BUILDING AREA FOOTPRINT: 6,604 SF  
 BUILDING GROSS SQUARE FOOTAGE: 6,604 SF  
 BUILDING HEIGHT AT HIGHEST POINT: 25' - 0"  
 OVERALL PROJECT SITE AREA: 74,602 SF (PER PROPERTY LIMITS)

PROPOSED IMPERVIOUS SUMMARY:  
 BUILDING: 6,604 SF  
 PAVING: 46,098 SF  
 TOTAL: 52,702 SF

PROPOSED PROPERTY LIMITS: 74,602 SF  
 REQUIRED OPEN SPACE: 11,190 SF (15%)  
 PROPOSED PROVIDED OPEN SPACE: 21,900 SF (30%)

**GENERAL NOTES**

1. PROTECT EXISTING STRUCTURES AND ADJACENT PROPERTY DURING CONSTRUCTION.
2. PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
3. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
4. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
5. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
6. FINISH GRADES SHOWN ARE TO TOP OF PAVING, SIDEWALKS, OR FINISH GRADE.
7. STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS TO BE COORDINATED WITH AND APPROVED BY THE OWNER.
8. CONFIRM ALL DIRECTIONAL SIGNS, ORDER BOARD, MENU, CLEARANCE BAR, DETECTOR LOOPS, ELECTRICAL, AND PAVEMENT MARKING LOCATIONS WITH APPROVED SHOP DRAWINGS FOR THE COFFEE VENDOR PRIOR TO STARTING INSTALLATION OF EQUIPMENT.

**PAVEMENT SPECIFICATIONS**

1. CONCRETE MIX BY UNIT VOLUME. MATCH IOWA SUDAS C-SUD MIX DESIGN:  
 TYPE IP BLENDED CEMENT: 10.6%  
 POTABLE WATER: 13.3%  
 AIR ENTRAINMENT: 06.0%  
 FINE AGGREGATE (<=3/8"): 31.5%  
 COURSE AGGREGATE (3/4" - 1.0"): 38.6%  
 A. MAXIMUM SUBSTITUTION OF FLY ASH SHALL BE 15%. FLY ASH SHALL CONFORM TO ASTM C618 CLASS C.  
 B. MAXIMUM SLUMP USING SLIP-FORM PLACEMENT IS 1 1/2".  
 C. MAXIMUM SLUMP USING OTHER PLACEMENT METHODS IS 4".  
 D. AGGREGATE SHALL BE CLEAN SAND AND CLEAN CRUSHED STONE OR CLEAN GRAVEL FOR HIGH DURABILITY.
2. INSTALL ROADS, PARKING SURFACES, SIDEWALKS AND CURBS WHEN INDICATED ON PLAN. CONCRETE STRENGTH SHALL BE 4,000 PSI @ 28 DAYS.
3. FOR CONCRETE PAVEMENTS, PROVIDE CONTROL JOINTS AT 12'-0" OVER CENTER EACH WAY MAXIMUM UNLESS NOTED OTHERWISE ON PLAN.
4. PERFORM CONCRETE WORK IN ACCORDANCE WITH ACI 301 AND ACI 318. CONFORM TO ACI 305 DURING HOT WEATHER AND ACI 308.1 DURING COLD WEATHER.
5. CONCRETE FINISH: MEDIUM BROOM PERPENDICULAR TO THE PATH OF TRAVEL.
6. CONCRETE CURING AGENT: RESIN BASED, MEMBRANE FORMING COMPOUND COMPLYING WITH ASTM C309, TYPE 1.
7. CONCRETE SIDEWALK JOINT SEALANT: SELF-LEVELING POLYURETHANE GUN GRADE SEALANT, COLOR: GRAY.
8. CONCRETE ROADS, PARKING LOT, AND CURB JOINT SEALANT: HOT POURED JOINT SEALANT COMPOSED OF PETROPOLYMERS MEETING REQUIREMENTS OF ASTM D 3405. FILL JOINTS FULL. DO NOT USE BACKER ROD.

**SITE PLAN NOTES**

1. SEE ARCHITECTURAL PLANS FOR BOLLARD LOCATIONS. BOLLARD LOCATIONS MUST BE COORDINATED WITH AND APPROVED BY THE HY-VEE SITE WORK REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
3. SEE STRUCTURAL PLANS AND SOILS REPORT FOR ANY SPECIAL EXCAVATION AND FILL REQUIREMENTS.
4. CONTRACTOR SHALL SUBMIT A JOINTING PLAN FOR REVIEW PRIOR TO FORMING PAVEMENTS. ALL SAWCUT JOINTS TO BE CALLED.
5. THERE ARE AT LEAST TWO (2) ACCESSIBLE MEANS OF EGRESS WITH A CONTINUOUS EXIT PATH AWAY FROM THE BUILDING FOR TENANTS THAT WILL REQUIRE TWO EXITS.
6. THE PROJECT ARCHITECT HAS BEEN MADE AWARE OF THE REQUIREMENT FOR VESTIBULES FOR ENTRANCES AS REQUIRED BY THE STATE ADOPTED 2009 INTERNATIONAL ENERGY CONSERVATION CODE (SECTION 502.4.7) PRIOR TO THIS SITE PLAN SUBMITTAL.
7. A THIRD-PARTY RECOGNIZED TESTING AGENCY, ACCEPTABLE TO THE CITY, SHALL BE SUBMITTED TO DOCUMENT THE THICKNESS AND STRENGTH OF THE PAVEMENT, THE SUB-GRADE COMPACTION, COMPLIANCE WITH THE METRO DESIGN STANDARDS FOR STREETS, AND THE STANDARDS LISTED IN THE WEST DES MOINES "OFF STREET PARKING ORDINANCE" FOR PRIVATE STREETS, PARKING LOTS, AND DRIVEWAYS.
8. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
9. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES AT 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS.
10. SENECA COMPANIES IS PROVIDING DESIGN-BUILD (PLANS AND SPECIFICATION) FOR UNDERGROUND STORAGE TANK DISPENSERS, DISTRIBUTION LINES FROM TANKS TO DISPENSERS AND CANOPY, TANKS, DISPENSERS, AND CANOPY ON THESE PLANS ARE SHOWN FOR INFORMATION ONLY. SENECA WILL OBTAIN NECESSARY PERMITS FOR RELATED ITEMS AND WILL PROVIDE INSTALLATION FOR THE SAME.

REVISION	DATE BY

**PRELIMINARY  
 - NOT FOR  
 CONSTRUCTION**

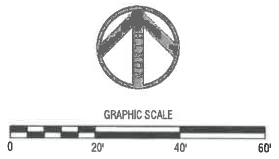
LOCATION:  
**LINN/MLL HY-VEE  
 WEST DES MOINES, IOWA**

HY-VEE INC. 1000 MAIN PARKWAY  
 WEST DES MOINES, IOWA 50366  
 TELEPHONE: (515) 267-2800  
 FAX: (515) 267-2855

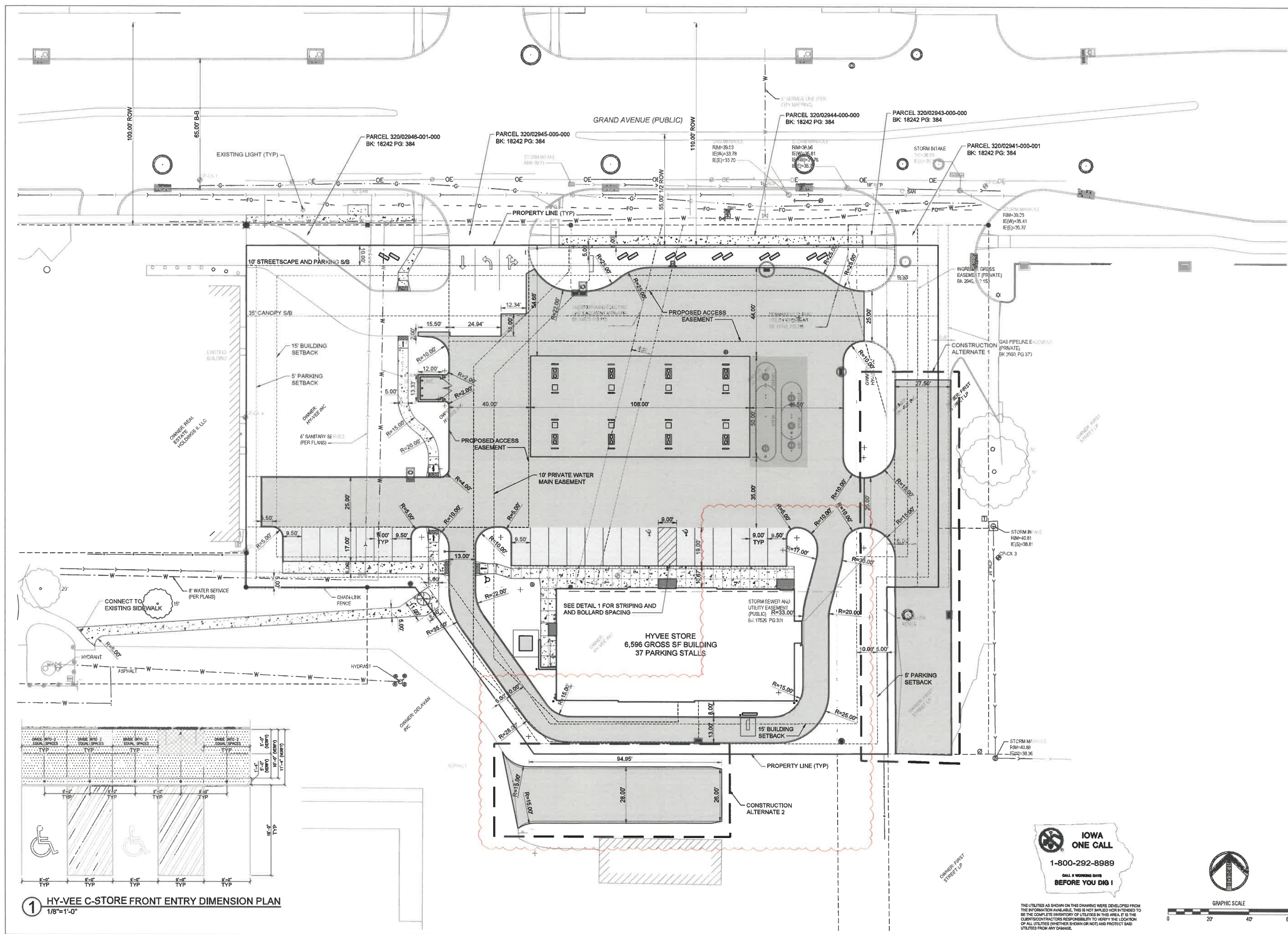
**HyVee**  
 EMPLOYEE OWNED

**SITE PLAN**

DRAWN: HDM  
 DATE: 2021-09-17  
 SCALE: 1" = 20'  
 SHEET: **C2.0**



THE UTILITIES AS SHOWN ON THIS DRAWING WERE DEVELOPED FROM THE INFORMATION AVAILABLE. THIS IS NOT A GUARANTEE TO BE THE COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT IS THE CLIENT'S CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE.



**1 HY-VEE C-STORE FRONT ENTRY DIMENSION PLAN**  
1/8"=1'-0"

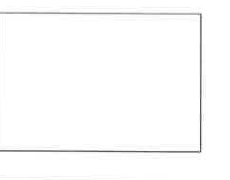
REVISION	DATE BY

**PRELIMINARY  
- NOT FOR  
CONSTRUCTION**

LOCATION:  
**LINN WILL HY-VEE  
WEST DES MOINES, IOWA**

HY-VEE, INC.  
180 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50266  
TELEPHONE: (515) 281-2800  
FAX: (515) 281-2835

**HyVee**  
EMPLOYEE OWNED



**DIMENSION  
PLAN**

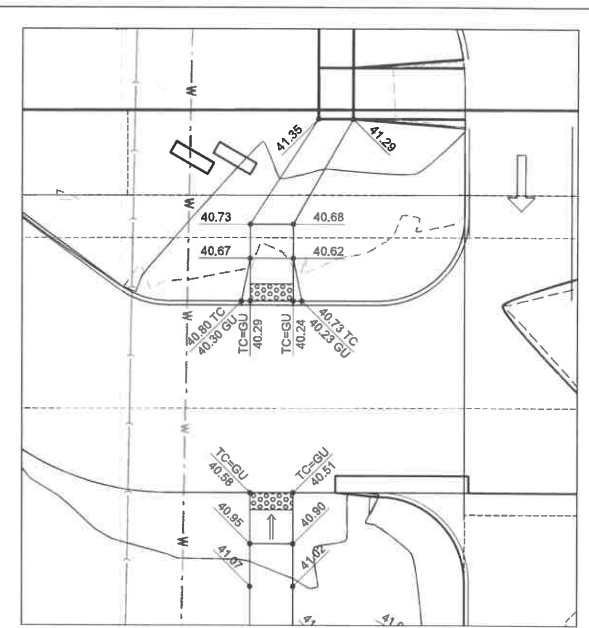
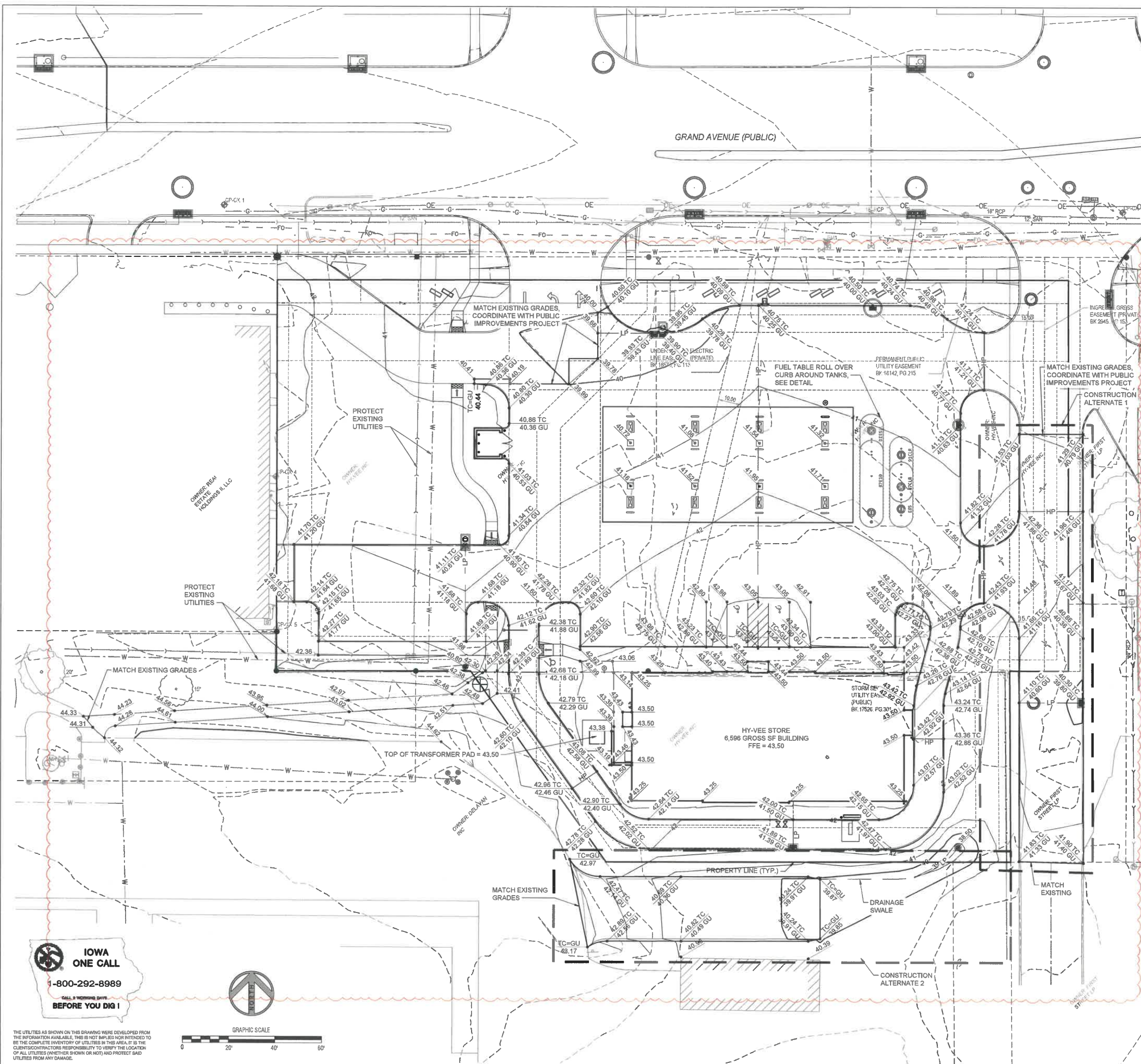
DRAWN: HDM	DATE: 2021-09-17
SCALE: 1" = 20'	
SHEET:	

**C2.1**

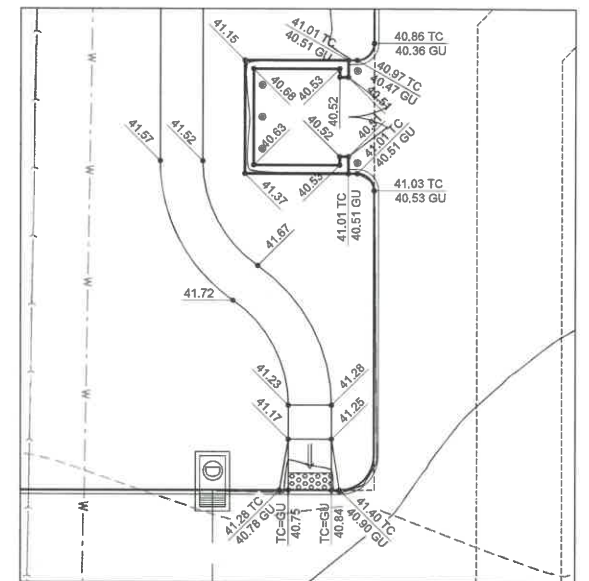
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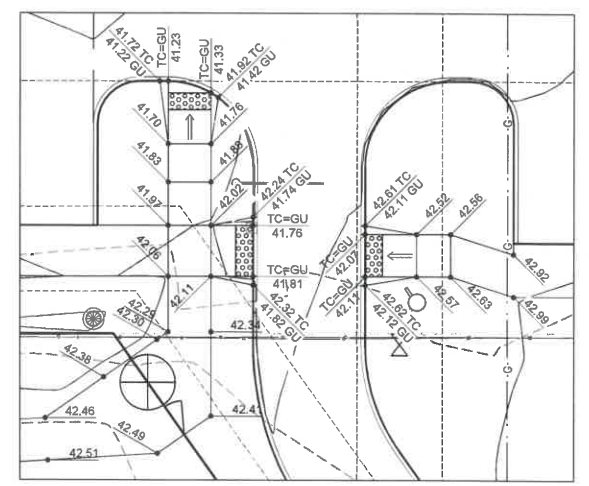




3 ENLARGEMENT - SIDEWALK RAMP  
1" = 10'



2 ENLARGEMENT - SIDEWALK RAMP & TRASH ENCLOSURE  
1" = 10'



1 ENLARGEMENT - SIDEWALK RAMP  
1" = 10'

REVISION DATE BY

PRELIMINARY  
- NOT FOR  
CONSTRUCTION

LOCATION:  
LINN WILL HY-VEE  
WEST DES MOINES, IOWA

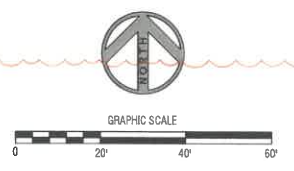
HY-VEE INC.  
5820 WEST TOWN PARKWAY  
WEST DES MOINES, IOWA 50268  
TELEPHONE: (515) 287-2800  
FAX: (515) 287-2935

**HyVee**  
EMPLOYEE OWNED

GRADING PLAN

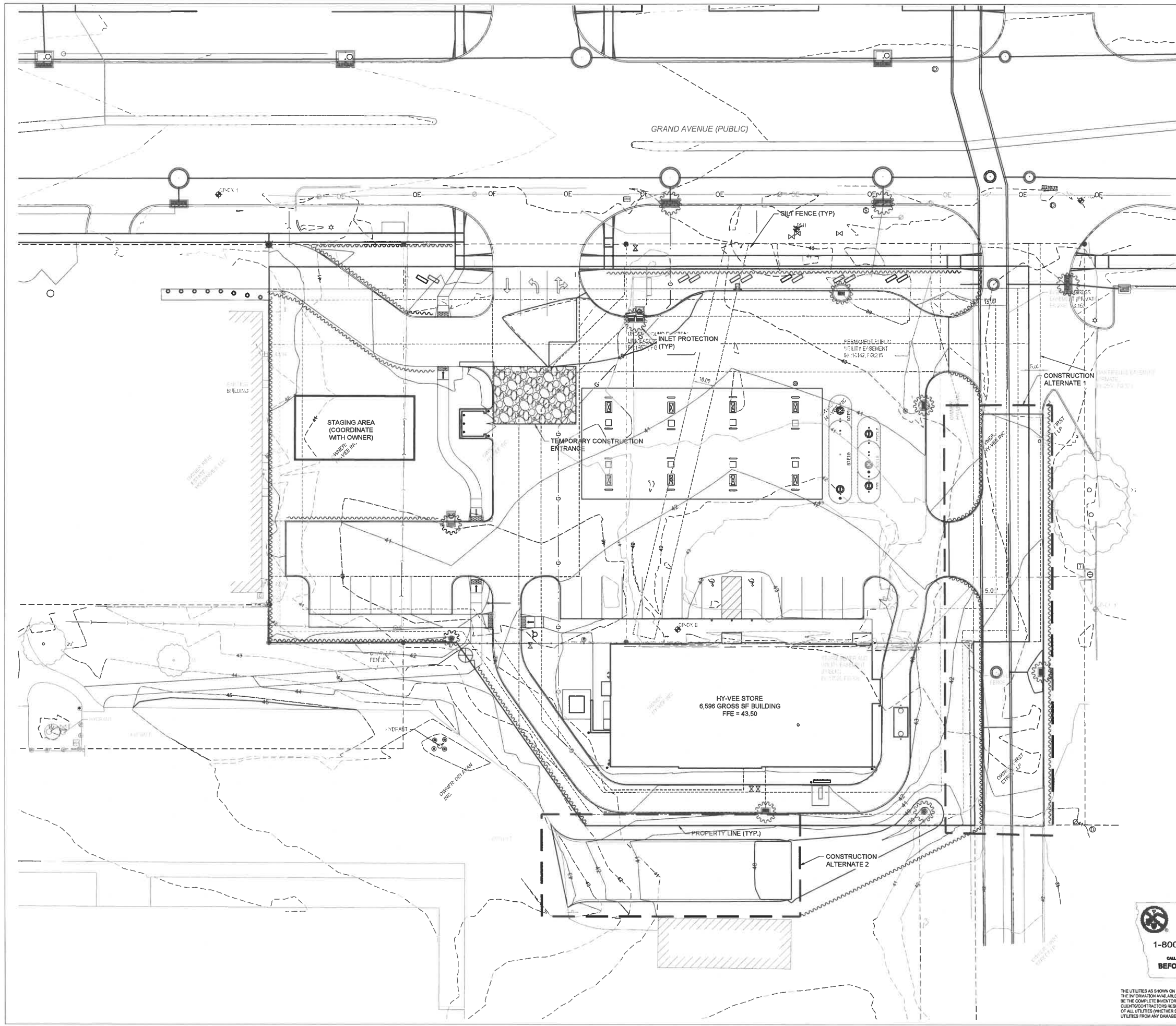
DRAWN: KAS DATE: 2021-09-17  
SCALE: 1" = 20'

SHEET: C3.0



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**EROSION CONTROL NOTES**

1. THIS EROSION CONTROL PLAN IS PART OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT HAS BEEN ISSUED WITH THE CONSTRUCTION DOCUMENTS. A SWPPP IS REQUIRED AS PART OF THE GENERAL NPDES PERMIT. THE PERMIT IS INCLUDED IN THE SWPPP. A SWPPP IS A LIVING DOCUMENT THAT NEEDS TO BE UPDATED ON A REGULAR BASIS TO MONITOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES IMPLEMENTED ON THE SITE FOR THE DURATION OF THE PROJECT.
2. DISTURB THE LEAST AREA POSSIBLE TO COMPLETE THE SCOPE OF THE PROJECT.
3. ALL SEDIMENT AND EROSION CONTROL PRACTICES WILL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD BY RESPONSIBLE PERSONNEL. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE BEST MANAGEMENT PRACTICES SHALL BE MADE IMMEDIATELY.
4. INSPECTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. INSERT COPIES OF THE INSPECTION FORMS INTO THE ONSITE SWPPP AND SEND A COPY TO HY-VEE.
5. FOLLOWING SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ANY OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WHICH ARE NOT BEING USED FOR MATERIAL STORAGE, OR ON WHICH ACTUAL EARTH MOVING ACTIVITIES ARE BEING PERFORMED.
6. SOIL STABILIZATION SCHEDULE TEMPORARY SEEDING WITH OATS - 2 TO 3 BUSHELS PER ACRE - AND MULCH ALL SLOPES 4:1 AND STEEPER WILL BE INITIATED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF MORE THAN 21 CALENDAR DAYS BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED. THIS SEQUENCE SHALL REPEAT AS GROUND COVER IS REMOVED BY SUBSEQUENT CONSTRUCTION ACTIVITY.
7. GENERAL CONTRACTOR SHALL IMPLEMENT ALL POLLUTION PLAN ACTIVITY WITH THE ASSISTANCE OF THE UTILITY SUBCONTRACTORS, BUILDING CONTRACTORS AND SUPPLIERS.
8. APPLY FREQUENT LIGHT WATERING TO GROUND SURFACE AS REQUIRED TO CONTROL DUST.
9. UPON COMPLETION OF CONSTRUCTION, SOD ALL DISTURBED AREAS PER PROJECT SPECIFICATIONS.
10. MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTORS. CLEANING OF CONTROL DEVICES SHALL BEGIN WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
11. LOCATION OF SOLID WASTE CONTAINER AND PORTABLE RESTROOM TO BE SPECIFIED BY CONTRACTOR AND UPDATED IN SWPPP.
12. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
13. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE IMPLEMENTING AGENCY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENT.
14. LIMIT DUST GENERATION BY CLEARING ONLY THOSE AREAS WHERE IMMEDIATE ACTIVITY WILL TAKE PLACE, LEAVING THE REMAINING AREA(S) IN THE ORIGINAL CONDITION, IF STABLE. MAINTAIN THE ORIGINAL GROUND COVER AS LONG AS PRACTICAL. VEGETATE OR MULCH AREAS WITH EXPOSED SOILS THAT WILL NOT RECEIVE VEHICLE TRAFFIC. IN AREAS WHERE PLANTING, MULCHING OR PAVING IS IMPRACTICAL, APPLY GRAVEL OR LANDSCAPING ROCK. ADD SURFACE GRAVEL TO REDUCE THE SOURCE OF DUST EMISSION. LIMIT THE AMOUNT OF FINE PARTICLES (THOSE SMALLER THAN 0.075MM) TO 10 TO 20 PERCENT. SPRINKLE THE SITE WITH WATER UNTIL SURFACE IS WET. REPEAT AS NEEDED TO PREVENT CARRY OUT OF MUD ONTO STREET. USE VACUUM STREET SWEEPERS TO SWEEP UP ANY TRACKED SEDIMENT. REMOVE MUD AND OTHER DIRT PROMPTLY SO IT DOES NOT DRY AND THEN TURN INTO DUST. LIMIT DUST CAUSING WORK ON WINDY DAYS.

**OWNER**  
 HY-VEE, INC.  
 5820 WESTTOWN PARKWAY  
 WEST DES MOINES, IOWA 50266  
 CONTACT: JOHN BREHM

**AREA TO BE DISTURBED: 1.72± ACRES**



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REVISION	DATE BY

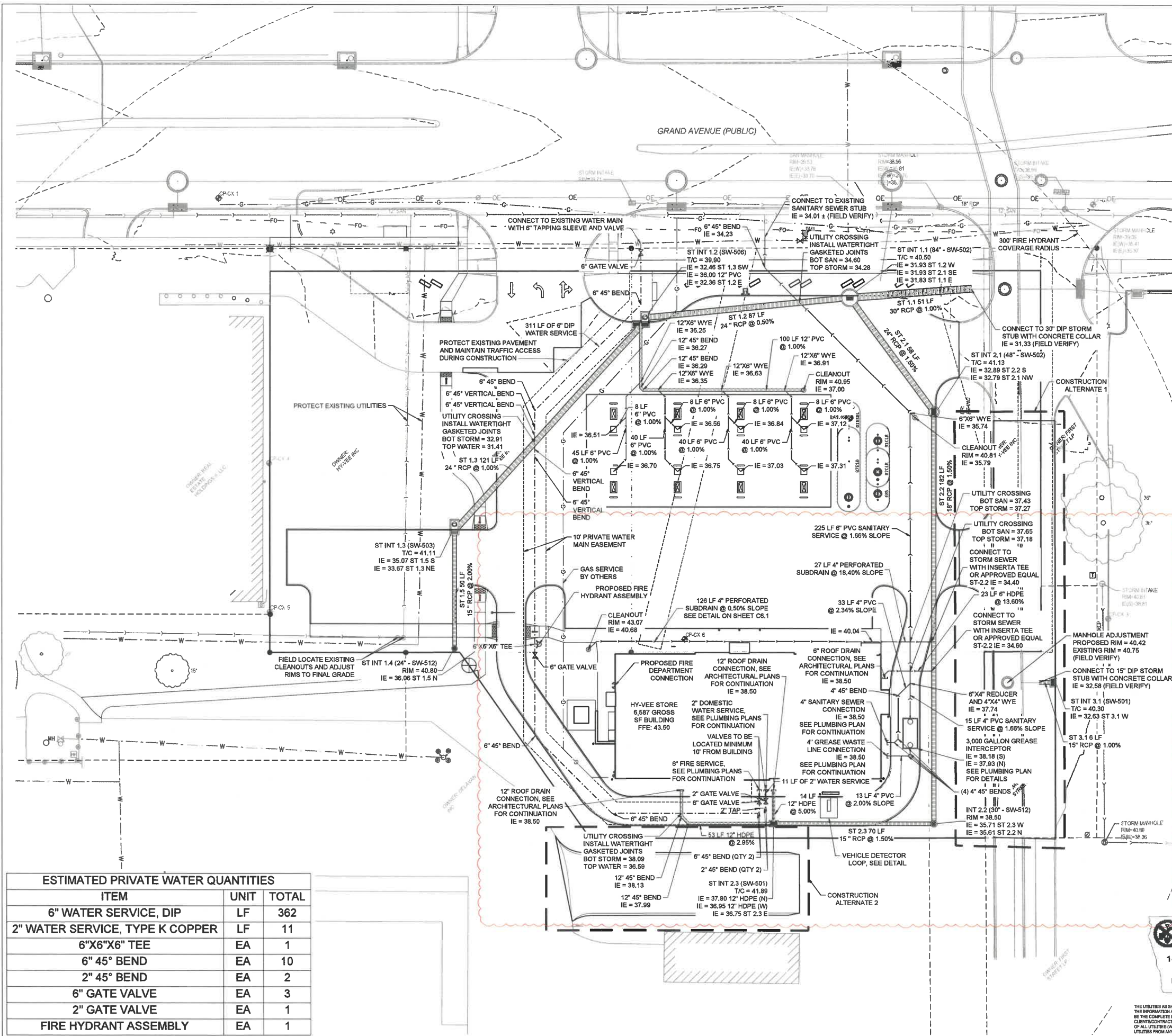
**PRELIMINARY  
- NOT FOR  
CONSTRUCTION**

LOCATION:  
**LINN WILL HY-VEE  
 WEST DES MOINES, IOWA**  
 HY-VEE, INC.  
 5820 WESTTOWN PARKWAY  
 WEST DES MOINES, IOWA 50266  
 TELEPHONE: (515) 267-2800  
 FAX: (515) 267-2835  
**HyVee**  
 EMPLOYEE OWNED

**EROSION  
CONTROL PLAN**

DRAWN: KAS	DATE: 2021-09-17
SCALE: 1" = 20'	

SHEET:  
**C3.1**



**UTILITY NOTES**

1. PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
2. WATER MAIN INSTALLATION AND RELATED WORK SHALL CONFORM TO WEST DES MOINES WATER WORKS STANDARD CONSTRUCTION SPECIFICATIONS.
2. SITEWORK UTILITY CONTRACTOR TO EXTEND ALL PIPING TO WITHIN 5' OF BUILDING AND CAP FOR CONNECTION BY BUILDING UTILITY CONTRACTOR. COORDINATE ALL INVERT ELEVATIONS AND PIPING LOCATIONS WITH BUILDING PLANS.
3. SEE DETAILS FOR UTILITY TRENCH CONSTRUCTION REQUIREMENTS. GEOTECHNICAL ENGINEER TO OBSERVE UTILITY TRENCH BACKFILL AND COMPACTION PROCEDURES.
4. BUILDING PLUMBING CONTRACTOR TO INSTALL BACKFLOW PREVENTION DEVICE ON WATER LINES ACCORDING TO WATER COMPANY REQUIREMENTS. SEE PLUMBING PLANS.
5. WATER PIPING SHALL BE DUCTILE IRON - AWWA C151 - CLASS 52 MINIMUM OR IN COMPLIANCE WITH MUNICIPALITY REQUIREMENTS.
6. FIRE AND DOMESTIC VALVES SHALL BE LOCATED 10 FEET FROM THE BUILDING OR BUILDING OVERHANG.
7. ALL WATER PIPING SHALL HAVE A MINIMUM OF 6'-0" COVER.
8. INSTALL SINGLE THIN - 12 GA TRACER WIRE WITH WATER PIPING (TAPE TO PIPE). TRACER WIRE TO BE EXTENDED IN CONDUIT TO 1'-0" ABOVE GROUND SURFACE AT FIRE HYDRANTS AND SHALL BE CONNECTED TO A 6'-0" X 1/2" Ø GROUND ROD AT CONNECTION TO MAIN AND AT DEAD ENDS. TRACER WIRE TO EXTEND UP INTO BUILDING AT SERVICE CONNECTIONS.
9. CONTRACTOR TO INSTALL TRANSFORMER PAD AND SECONDARY WIRING. UTILITY COMPANY TO INSTALL PRIMARY WIRING.
10. CONTACT WEST DES MOINES WATER WORKS AT 515-222-3465 PRIOR TO THE START OF ANY WATER MAIN WORK.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1898. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
13. AS-BUILT DOCUMENTATION OF THE STORM WATER DRAINAGE SYSTEM WILL BE PROVIDED AND FORWARDED TO THE CITY BEFORE ISSUANCE OF THE FINAL OCCUPANCY PERMIT, AND SHALL INCLUDE ELEVATIONS, DETENTION POND CAPACITY, PIPING RESTRICTIONS, AND OTHER PERTINENT INFORMATION.
14. CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSPECTIONS.
15. ALL HDPE PIPE SHALL BE DUAL-WALLED. ALL HDPE BENDS AND CONNECTIONS SHALL BE MANUFACTURED CONNECTIONS.
16. SENECA COMPANIES IS PROVIDING DESIGN-BUILD (PLANS AND SPECIFICATION) FOR UNDERGROUND STORAGE TANKS, DISPENSERS, AND DISTRIBUTION LINES FROM TANKS TO DISPENSERS AND CANOPY TANKS, DISPENSERS, AND CANOPY ON THESE PLANS ARE SHOWN FOR INFORMATION ONLY. SENECA WILL OBTAIN NECESSARY PERMITS FOR RELATED ITEMS AND WILL PROVIDE INSTALLATION FOR THE SAME.

**SITE LIGHTING NOTES**

1. NOTIFICATION: CONTRACTOR SHALL NOTIFY HY-VEE A MINIMUM OF 60 DAYS PRIOR TO THE ANTICIPATED DATE OF INSTALLATION.
2. MATERIAL: OWNER WILL PURCHASE SITE LIGHTING MATERIALS. THOSE MATERIALS INCLUDE THE FOLLOWING: FIXTURES WITH LAMPS, TENON, POLE, ANCHOR BOLTS AND ANCHOR BOLT TEMPLATE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, AND VERIFYING QUANTITIES AND CONDITIONS OF THESE MATERIALS. INSPECT ALL PACKAGES FOR EXTERIOR DAMAGE BEFORE THE CARRIER LEAVES THE SITE, AND NOTIFY OWNER'S REPRESENTATIVE WITH INFORMATION ON THE SHIPMENT. RETURN A COPY OF THE PACKING LIST TO HY-VEE WITHIN SEVEN DAYS AFTER RECEIPT OF THE MATERIALS WITH NOTES REGARDING ANY DAMAGED GOODS OR THE LACK OF DAMAGE.
3. STORAGE OF MATERIALS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE AND PROTECTION OF ALL SITE LIGHTING MATERIALS, AND FOR INSTALLATION OF A FUNCTIONING SYSTEM WHICH MEETS HY-VEE'S APPROVAL.
4. TESTING: A MINIMUM OF 30 DAYS BEFORE THE STORE'S GRAND OPENING, THE CONTRACTOR SHALL CONDUCT A 100 HOUR CONSECUTIVE TEST OF THE SITE LIGHTING SYSTEM. THIS IS INTENDED TO EXPOSE BURNED OUT LAMPS OR OTHER PROBLEMS WHILE ELECTRICIANS AND EQUIPMENT ARE STILL ON SITE. HY-VEE SHALL BE NOTIFIED WITH THE RESULTS OF THIS TEST AS SOON AS POSSIBLE SO REPLACEMENT MATERIALS CAN BE OBTAINED IF NECESSARY.
5. WIRING INFORMATION: SEE SHEET E-1 FOR CIRCUIT AND PANEL ASSIGNMENTS. A WIRING DIAGRAM FOR THE PARKING LOT LIGHTS IS REQUIRED FOR FUTURE REFERENCE. MAKE EDITS ON SITE UTILITY PLAN AND RETURN TO OWNER WITH AS-BUILT NOTES.
6. REFER TO FIXTURE AND POLE BASE DETAIL.

ESTIMATED PRIVATE WATER QUANTITIES		
ITEM	UNIT	TOTAL
6" WATER SERVICE, DIP	LF	362
2" WATER SERVICE, TYPE K COPPER	LF	11
6"X6"X6" TEE	EA	1
6" 45° BEND	EA	10
2" 45° BEND	EA	2
6" GATE VALVE	EA	3
2" GATE VALVE	EA	1
FIRE HYDRANT ASSEMBLY	EA	1

REVISION	DATE BY

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- NOT FOR  
CONSTRUCTION**

LOCATION:  
**LINN WILL HY-VEE  
WEST DES MOINES, IOWA**

HY-VEE, INC.  
5820 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50266  
TELEPHONE: (515) 267-2800  
FAX: (515) 267-2835

**HyVee**  
EMPLOYEE OWNED

UTILITY PLAN

DRAWN	DATE
HDM	2021-09-17

SCALE:  
1" = 20'

SHEET:  
**C4.0**

**IOWA  
ONE CALL**

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BEFORE YOU DIG!

GRAPHIC SCALE  
0 20' 40' 60'

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**A RESOLUTION OF THE PLAN AND ZONING COMMISSION  
NO. PZC-21-087**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, the applicant and property owner, Hy-Vee, Inc, requests approval of the Preliminary Plat for that approximately 1.8-acre property located at 300 Grand Avenue as depicted on the location map included in the staff report. The applicant proposes the creation of one (1) lot for commercial development and one (1) street lot to be dedicated to the city; and

**WHEREAS**, additionally, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Hy-Vee, Inc, requests approval of a phased Site Plan for the approximately 1.8-acre property located at 300 Grand Avenue for the purpose of implementation of site utilities and paving only; and

**WHEREAS**, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

**WHEREAS**, the Site Plan complies with the findings stated in the applicable provisions of Title 9, Chapter 1, the Comprehensive Plan and City Code.

**NOW THEREFORE**, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Preliminary Plat and the phased Site Plan (PPSP-005299-2021), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on October 11, 2021.

\_\_\_\_\_  
Erica Andersen, Chairperson  
Plan and Zoning Commission

ATTEST:

\_\_\_\_\_  
Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on October 11, 2021, by the following vote:

AYES:  
NAYS:  
ABSTENTIONS:  
ABSENT:

ATTEST:

\_\_\_\_\_  
Recording Secretary