

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** October 25, 2021

**ITEM:** 21 WDM, 950 Jordan Creek Parkway – Approve Site Plan to allow construction of a Mixed Use project at the southwest corner of Jordan Creek Parkway and Ashworth Road – Jordan Creek Associates, LLC – SP-005148-2021

**Resolution: Approval of Site Plan**

**Background:** Jordan Creek Associates, LLC represented by John Lassaux, Director of Development with CRG Residential, is requesting, with consent on file from the current property owners, approval of the Site Plan for the approximately 10-acre property generally located at the southwest corner of Jordan Creek Parkway and Ashworth Road. The applicant proposes to construct a mixed-use building consisting of a 15,000sf restaurant, 8,000sf of commercial space, and 199 multifamily residential units with an internal parking structure.

At this time Jordan Creek Associates, LLC does not own any of the property within the development area, but the city has obtained current property owner authorization from the five (5) individual residential property owners as well as Czech Mate, LLC and Hope K. Farms LLC for the application. The City also has a parcel of land within the development which the applicant is in the process of acquiring for the development. Approval of the site plan at this time will signify the City consent to the application and pending development. The application is moving forward at this time to facilitate the completion of the development agreement and construction of 76<sup>th</sup> Street and necessary infrastructure for the project.

**Staff Review & Comment:**

- **History:** The property was annexed into the City in 2001 as a part of the Ashworth Road annexation which brought in approximately 200 acres of property along the north and south sides of Ashworth Road from 74<sup>th</sup> Street (Jordan Creek Parkway) to 88<sup>th</sup> Street. The property had remained Unzoned since the time of annexation into the city until October 2020 when the Village on Jordan Creek PUD was approved to allow Medium Density Residential and Office. The PUD was amended in June 2021 to revise the zoning east of the 76<sup>th</sup> Street extension to Support Commercial zoning to allow the proposed Mixed-Use development. The property is currently used for single family detached residential homes and a portion is undeveloped.
- **Key Development Aspects:**
  1. **Parking Stall Dimension Waiver:** The applicant has requested that the minimum dimension for required parking stalls be waived for the parking structure to reduce the stall dimension from the code required 9' wide by 19' in length to a minimum dimension of 9' wide by 18' in length. Staff reviewed other metro communities and presented information to the Development and Planning Subcommittee for discussion. Parking stall dimensions vary across the metro from 17' to 19' in length, therefore, the subcommittee was supportive of the applicant requesting the waiver from the standard parking stall dimensions for the parking structure.
  2. **City Consent:** The City purchased 7630 Ashworth Road which was recently replatted with the final plat for The Village on Jordan Creek Parkway Plat 1 to create Outlot Z, Lot 3, and a portion of Street Lot "A" which is 76<sup>th</sup> Street future ROW. Lot 3 is on the east side of the future 76<sup>th</sup> Street ROW and makes up a portion of the development area for this mixed-use project. With approval of this action the City is consenting as a current property owner to the Site Plan. It is intended that Lot 3, which is not a buildable lot on its own, will be acquired

by the developer of the property east of 76th Street to be incorporated into the future mixed-use development. A condition of approval requiring acquisition of Lot 3 and a lot tie agreement has been included.

3. Architecture: The building is a four-story structure containing commercial areas at the northeast corner and east side of the building. The center core of the building is a parking structure wrapped with multifamily units. The primary cladding for the building is two tones of brick used on the lower two levels with fiber cement panel as a secondary material on the upper stories of the structure. Architectural metal is used as an accent and trim material for balconies and for the drop off canopy on the north side of the building. The use of individual unit balconies, vertical recesses within the façades with inset alternating material panels helps to break the overall length and mass of the building facades. Outdoor active space is provided with exterior unit balconies, a central residential courtyard interior to the structure and a commercial plaza on the east side of the building.
- Traffic Impact Study Findings: A traffic study for this development was completed on May 11, 2021. The proposed development is expected to generate more traffic than what was analyzed in previous traffic studies for the area, with earlier studies assuming the site would be developed as medium density residential or office. Recommendations for full-build street geometry and traffic control, as well as triggers for possible future improvements, are detailed within the study.

Although most of the site's traffic is expected to use Ashworth Road or Jordan Creek Parkway, a portion of the site's traffic that is going to/from the south is expected to use 76<sup>th</sup> Street. This may create concerns about the amount of "cut-through" traffic, speeding, reckless driving, etc., through the single-family residential area to the south. Comparing the proposed plan to the office land use scenario, the number of vehicles using Aspen Drive to go to or from the southeast or southwest is lower during the AM peak hour and higher during the PM peak hour. During the off-peak travel periods, the proposed land use plan will have higher traffic levels than the office land use scenario. Retail and apartments typically have higher traffic levels than office complexes during nighttime hours and weekends, when many neighborhood residents are likely to be home. As a result, the traffic from the proposed uses will be more visible to the residents in the neighborhood during the off-peak periods.

To minimize the impact to neighborhood residents as much as possible, a street connection between 76<sup>th</sup> Street and the future right in/right out (RI/RO) on Jordan Creek Parkway was included as part of this development. This street connection will help bleed off trips that are heading south, providing them a quicker route than traveling through the residential area.

- Developer Responsibilities: A development agreement is being negotiated to identify obligations of both the developer and the City for the proposed development. Until a development agreement that provides otherwise is approved by the City Council, the developer will be responsible for all costs associated with construction of all streets (76<sup>th</sup> Street and the east west connector street), storm sewers, sanitary sewers, drainage way improvements, detention basins, water mains, buffers and other improvements as required for rights-of-way or public easements within the PUD. The following items are under consideration for the development agreement:
  1. City Initiated and Constructed
    - 76th Street from Ashworth Road southerly to its current terminus just north of Aspen Drive (paving/curbs/water main/storm sewer/sanitary sewer)
    - Future traffic signal installation at Ashworth Road and 76<sup>th</sup> Street intersection
  2. Developer Initiated, Constructed, and Reimbursed by the City
    - Public sidewalk paving along the east side of 76<sup>th</sup> Street from Ashworth Road to current terminus of 76<sup>th</sup> Street

- Public sidewalk paving along the south side of Ashworth Road from east side of 76<sup>th</sup> Street to Jordan Creek Parkway
  - Public sidewalk paving along the west side of Jordan Creek Parkway from Ashworth Road to southern project boundary
  - Construction of a private east-west street between Jordan Creek Parkway and 76<sup>th</sup> Street
  - Public sidewalk paving along the north and south sides of the east-west connector street from Jordan Creek Parkway to 76<sup>th</sup> Street
  - Regional underground detention basin for the project site and 76<sup>th</sup> Street area
3. Developer Initiated, Constructed by MidAmerican Energy, and Reimbursed by the City
- Installation of public street lights along 76<sup>th</sup> Street from Ashworth Road to current terminus of 76<sup>th</sup> Street, east-west public street from Jordan Creek Parkway to 76<sup>th</sup> Street; and Ashworth Road from Jordan Creek Parkway to east side of 76<sup>th</sup> Street; and possibly along Jordan Creek Parkway from Ashworth Road to the project's southern property line.
  - Undergrounding of MidAmerican power line along Ashworth Road from 76<sup>th</sup> Street to Jordan Creek Parkway
4. Developer Paid and Reimbursed by the City
- Water Connection Fees
  - Sewer Connection Fees
  - Sewer Capital Charges
  - Building Permits Fees
  - Fire Department Fees
- Conditions of Approval: Jordan Creek Associates, LLC, currently does not own any of the property within the development area, therefore, all easements and agreements for the project as noted below will be conditions of the site plan approval until transfer of ownership can be completed. It is staff's understanding that closing on the properties will take place within the next few months and at that time the applicant will execute a lot tie agreement for all properties into one parcel prior to issuance of a building permit. At that time all easements and agreements will be executed and recorded. No building permits will be issued until such time as all conditions of approval are completed and executed to staff's acceptance.
  - Development & Planning Subcommittee: The Development and Planning Subcommittee discussed the previously approved Comprehensive Plan and PUD amendment for the subject site at the May 3, 2021 meeting. The discussion included the density and intensity of the mixed-use development in comparison with the current PUD allowances, the building height and setbacks of the development, the parking reduction requested by the applicant and the buffers and loading areas for the development. The Subcommittee noted their concern over the minimum setback provided along the west property line (76<sup>th</sup> Street) but was agreeable to the reduction being this was internal to the development. They felt the development did a good job of minimizing the impacts on the residential to the south which was the area of most concern.

The Zone Change application to modify the PUD, the Preliminary Plat and the Site Plan application were then presented at the Subcommittee meeting on May 17<sup>th</sup>, 2021 as an upcoming project, however, there was no discussion on the applications. Due to the applicant choosing to lot tie the subject properties the Preliminary Plat application has been withdrawn.

The Subcommittee also met on September 7, 2021 to discuss the request to waive the parking stall dimension for the parking structure to reduce the parking stall length from 19 feet to 18 feet as part of the Site Plan approval. Council Members present at the subcommittee meeting were

supportive of approving the waiver as part of the site plan to reduce parking stall length from 19 feet to 18 feet for the parking structure.

- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

**Outstanding Issues:** There are no outstanding issues.

Staff would note as part of this approval, the follow is being requested:

- A waiver of the parking stall dimensions for the parking structure to reduce the overall required stall dimension from 19 feet in length to 18 feet in length.

**Plan and Zoning Commission Action:**

Date:

Vote:

Recommendation:

**Recommendation:** Approve the Site Plan request, subject to the applicant meeting all City Code requirements and the following conditions of approval:

1. Execution of all required Sanitary Sewer Easements prior to issuance of any building permit for the project.
2. Execution of an Ingress/Egress Easement for the East/West Private Street prior to issuance of any building permit for the project.
3. Execution of all required Water Easements prior to issuance of any building permit for the project.
4. Execution of the Parkland Dedication Agreement prior to issuance of any building permit for the project.
5. Execution of the Storm Water Management Facility Maintenance Easement and Agreement prior to issuance of any building permit for the project.
6. Acquisition of city property (Lot 3 in Village on Jordan Creek Parkway Plat 1) prior to issuance of any building permit for the project.
7. Transfer of ownership and an executed Lot Tie Agreement(s) for all properties within the project boundary prior to issuance of any building permit for the project.
8. City Council granting a waiver of the minimum parking stall dimensions for the parking structure to reduce the overall required stall dimension from 19 feet in length to 18 feet in length.
9. Proof of payment to MidAmerican for streetlights along the east side of 76<sup>th</sup> Street for the development site prior to issuance of any building permit for the project.

**Lead Staff Member: Karen Marren**

**Approval Meeting Dates:**

Plan and Zoning Commission	October 25, 2021
City Council: First Reading	

**Staff Report Reviews:**

Plan & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

**Publications (if applicable)**

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

**Council Subcommittee Review (if applicable)**

Subcommittee	Development & Planning
Date Reviewed	9/7/21
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

**Location Map**



PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY – APPROVED PLANS ON FILE WITH THE CITY



North Elevation  
1/16" = 1'-0"



East Elevation  
1/16" = 1'-0"



South Elevation  
1/16" = 1'-0"



West Elevation  
1/16" = 1'-0"

Exterior Materials

- Primary Brick
- Infill & Accent Brick
- Fiber Cement Panel
- Architectural Metals
- Sliding Balcony Door
- Vinyl Hung Windows
- Fiber Cement Accent Panel
- Window & Storefront Glazing



Exterior Elevations

JORDAN CREEK: MIXED-USE  
West Des Moines, IA



The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2021 BSB Design, Inc.

August 25, 2021 | MU210165.00

Exterior Materials

Primary Brick



Infill & Accent Brick



Fiber Cement Panel



Architectural Metals



Sliding Balcony Door



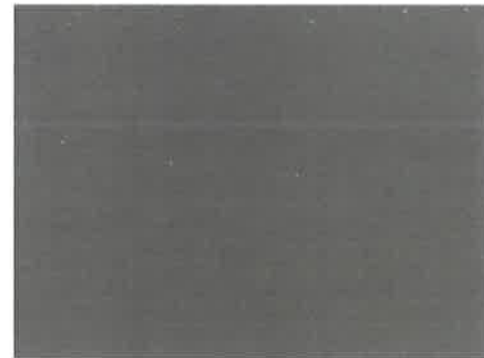
Vinyl Hung Windows



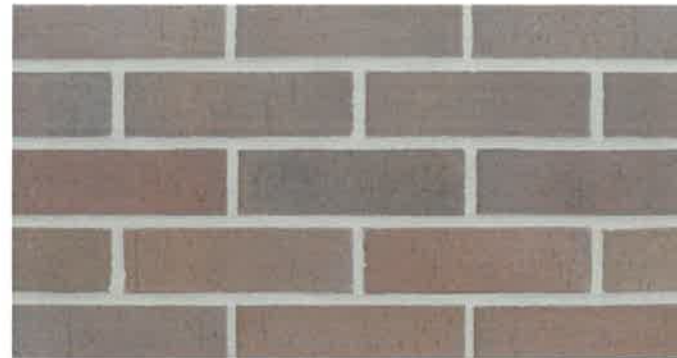
Window & Storefront Glazing



Fiber Cement Panel  
James Hardie - Rich Espresso



Primary Brick  
Sioux City Brick - Cordovan Bronze



Accent Brick  
Sioux City Brick - Silverstone Gray Western



Architectural Metals  
Tiger - Terra Powder Coat (or similar)



Vinyl Hung Windows  
Lindsay Windows - Midnight Black



Sliding Balcony Door  
Lindsay - Midnight Black



Aluminum Storefront  
Kawneer - Anodized Black (or similar) with Clear Glazing



Original Concept Rendering



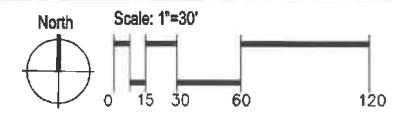
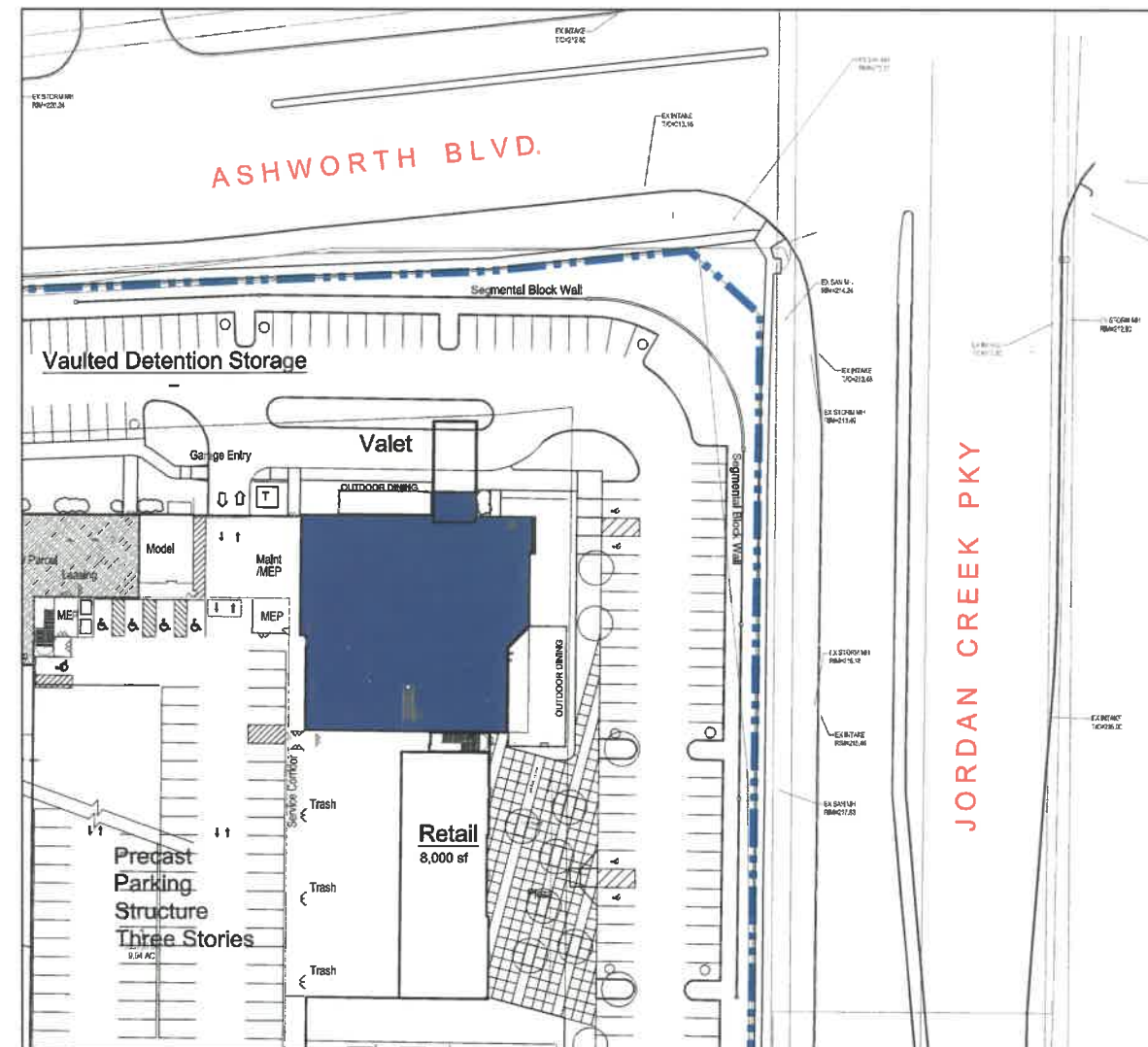
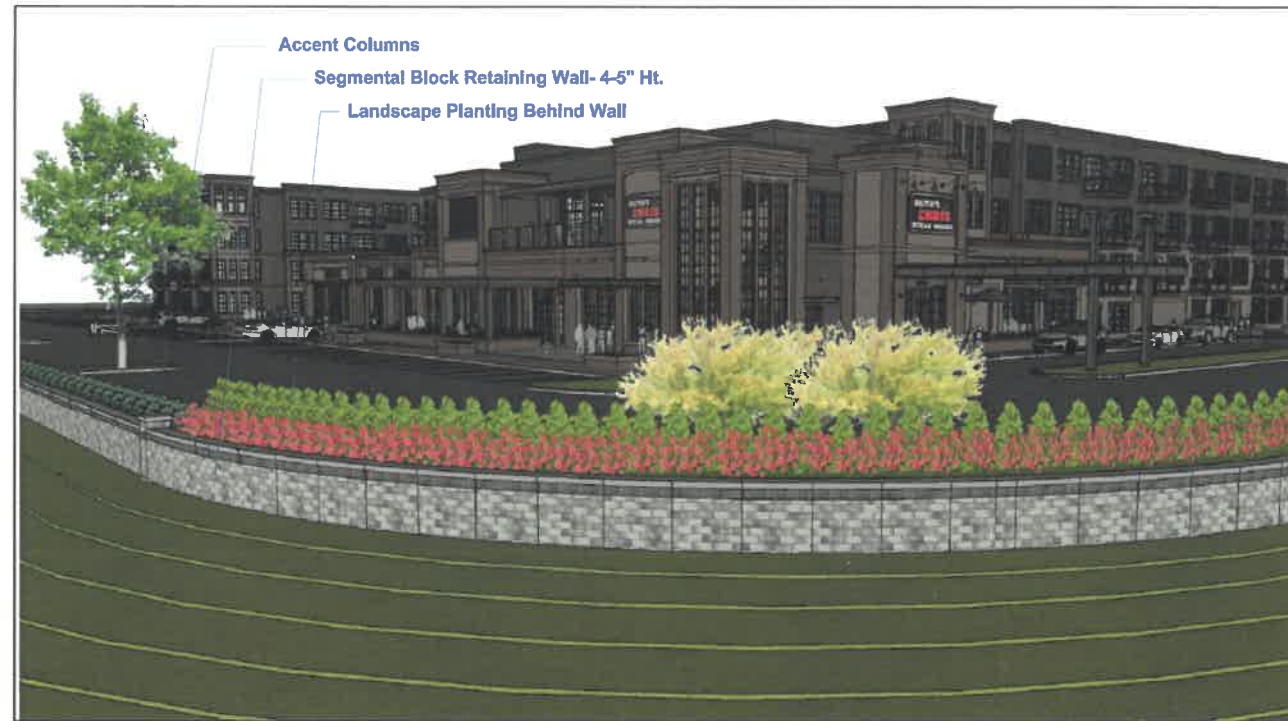
Exterior Materials Selections

JORDAN CREEK: MIXED-USE  
West Des Moines, IA



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July 21, 2021 | MU210165.00



Retaining Wall  
JORDAN CREEK -MIXED USE  
West Des Moines, Iowa



Date: July 27, 2021

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# 21 WDM SITE SURVEY



- ABBREVIATIONS:**
- AC ACRES
  - ASPH ASPHALT
  - BK BOOK
  - CONC CONCRETE
  - D DEEDED DISTANCE
  - EX EXISTING
  - ENCL ENCLOSURE
  - FF FINISHED FLOOR
  - FL FLOW LINE
  - FRAC FRACTIONAL
  - M MEASURED DISTANCE
  - MH MANHOLE
  - OPC ORANGE PLASTIC CAP
  - P PLATTED DISTANCE
  - POB POINT OF BEGINNING
  - PDC POINT OF COMMENCEMENT
  - PRA PREVIOUSLY RECORDED AS
  - PUE PUBLIC UTILITY EASEMENT
  - ROW RIGHT OF WAY
  - RPC RED PLASTIC CAP
  - SF SQUARE FEET
  - SAN SANITARY
  - TF TYPICAL
  - YPC YELLOW PLASTIC CAP
  - N NORTH
  - S SOUTH
  - E EAST
  - W WEST

- UTILITY MAPS PROVIDED BY:**
- ELECTRIC (MIDAMERICAN) / 515-253-4537
  - FIBER OPTIC (AUREON) / 515-333-0463
  - FIBER OPTIC (VERIZON) / 319-395-0704
  - TELEPHONE (CENTURYLINK) / 319-453-9927
  - GAS (MIDAMERICAN) / 515-253-4632
  - WATER (IOWA WATERWORKS) / 515-222-3510
  - FIBER OPTIC (UPN) / 815-425-3556



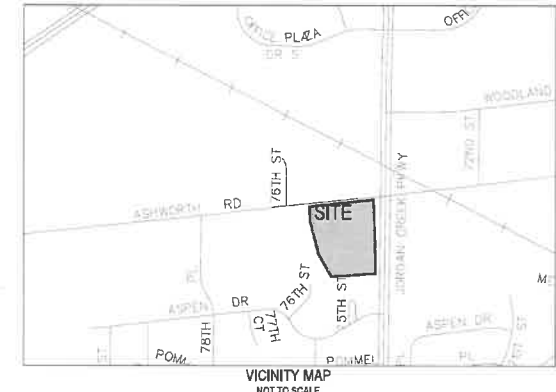
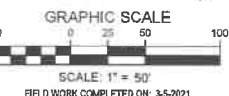
**UTILITY NOTE:**  
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

**PREPARED FOR:**  
JORDAN CREEK PARTNERS LLC  
816 CITY CENTER DRIVE SUITE 169  
CAMDEN, INDIANA 46602  
JOHN LASSAUR

**OWNER:**  
DENNIS SHAFER AND TERESA MOON  
KEVIN AND STEPHANI JOHNSON  
MICHAEL GLASA AND ANNETTE HITCHCOCK  
KARLA STESSMAN  
STONY LAKE LLC  
CZECH MATE, LLC

**NOTES:**  
1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM DALLAS COUNTY ASSESSOR'S WEB PAGE  
2. PARENTHESIS ( ) DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

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**PROPERTY DESCRIPTION:**  
LOT 1 AND OUTLOT Y OF THE VILLAGE ON JORDAN CREEK PARKWAY PLAT 1, AN OFFICIAL PLAT, WEST DES MOINES, DALLAS COUNTY, IOWA AND A PORTION OF THE NORTH 3/4 SECTION OF SECTION 11, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, ALL MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT SOUTHWEST CORNER OF SAID LOT 1, THENCE S84°31'15\"/>

- LEGEND:**
- SAN — SANITARY SEWER
  - ST — STORM SEWER
  - W — WATER LINE
  - G — GAS LINE
  - UE — UNDERGROUND ELECTRIC
  - OE — OVERHEAD ELECTRIC
  - TELE — TELEPHONE LINE
  - FO — FIBER OPTIC
  - CATV — CABLE TV
  - ⊙ STORM MANHOLE
  - ⊞ CURB INTAKE
  - ⊙ SURFACE INTAKE
  - ⊞ FLARED END SECTION
  - ⊙ SANITARY MANHOLE
  - ⊞ CLEANOUT
  - ⊙ FIRE HYDRANT
  - ⊞ SPRINKLER
  - ⊙ IRRIGATION CONTROL VALVE
  - ⊞ WATER MANHOLE
  - ⊙ WELL
  - ⊞ WATER VALVE
  - ⊙ WATER SHUT OFF
  - ⊞ YARD HYDRANT
  - ⊙ ELECTRIC MANHOLE
  - ⊞ ELECTRIC METER
  - ⊙ ELECTRIC RISER
  - ⊞ ELECTRIC VAULT
  - ⊙ POWER POLE
  - ⊞ TRANSFORMER POLE
  - ⊙ LIGHT POLE
  - ⊞ ELECTRIC JUNCTION BOX
  - ⊙ ELECTRIC PANEL
  - ⊞ TRANSFORMER
  - ⊙ GROUND LIGHT
  - ⊞ GUY WIRE
  - ⊙ ELECTRIC HANDHOLE
  - ⊞ GAS METER
  - ⊙ GAS VALVE
  - ⊞ AIR CONDITIONING UNIT
  - ⊙ TELEPHONE RISER
  - ⊞ TELEPHONE VAULT
  - ⊙ TELEPHONE MANHOLE
  - ⊞ TRAFFIC SIGNAL MANHOLE
  - ⊙ FIBER OPTIC MANHOLE
  - ⊞ FIBER OPTIC RISER
  - ⊙ FIBER OPTIC FAULT
  - ⊞ CABLE TV RISER
  - ⊙ SIGN
  - ⊞ BOLLARDS
  - ⊙ DENOTES NUMBER OF PARKING STALLS
  - ⊞ PROPERTY CORNER - FOUND AS NOTED
  - ⊙ PROPERTY CORNER - PLACED 3/4\"/>

**ADDRESS:**  
TO BE DETERMINED

**ZONING:**  
VILLAGES ON JORDAN CREEK PUD

**BENCHMARK:**  
BASIS OF BEARINGS OBTAINED FROM GPS OBSERVATIONS DATUM = NAD 83, IOWA SOUTH BENCHMARK DATUM = CITY OF WEST DES MOINES DATUM

**POINT #9000**  
NORTHING = 578765.73  
EASTING = 1555291.63  
ELEVATION = 222.34  
DESCRIPTION: SET 3/4\"/>

**ON SITE TBM**  
DESCRIPTION: BURY BOLT ON HYDRANT ALONG SOUTH R.O.W. OF ASHWORTH ROAD 586 +/- WEST OF JORDAN CREEK PKWY  
ELEVATION = 226.88

**OFF SITE TBM**  
DESCRIPTION: ARROW ON HYDRANT ALONG EAST R.O.W. OF JORDAN CREEK PKWY 464 +/- SOUTH OF ASHWORTH ROAD  
ELEVATION = 221.88



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

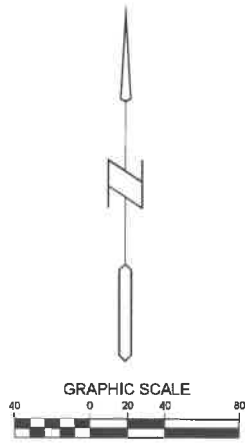
SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
LARRY D. HYLER, P.L.S. 14775  
LICENSE RENEWAL DATE: DEC. 31, 2022  
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1

**Bishop Engineering**  
"Planning Your Successful Development"  
3501 104th Street  
Des Moines, Iowa 50322-3625  
Phone: (515) 253-9600 Fax: (515) 253-0217  
Civil Engineering & Land Surveying Established 1959

**JORDAN CREEK MIXED USE  
WEST DES MOINES, IOWA  
SITE SURVEY**

REFERENCE NUMBER:  
DRAWN BY: MDM  
CHECKED BY:  
REVISION DATE:  
PROJECT NUMBER: 200656  
SHEET NUMBER: C0.2

10/20/2021 9:45:15 PM L:\LAND PROJECTS\2020\2020\603\03\LOT LAYOUT.DWG



**Bishop Engineering**  
 "Planning Your Successful Development"  
 3501 104th Street  
 Des Moines, IA 50325  
 Phone: (515) 276-0467 Fax: (515) 276-0017  
 Civil Engineering & Land Surveying Established 1999

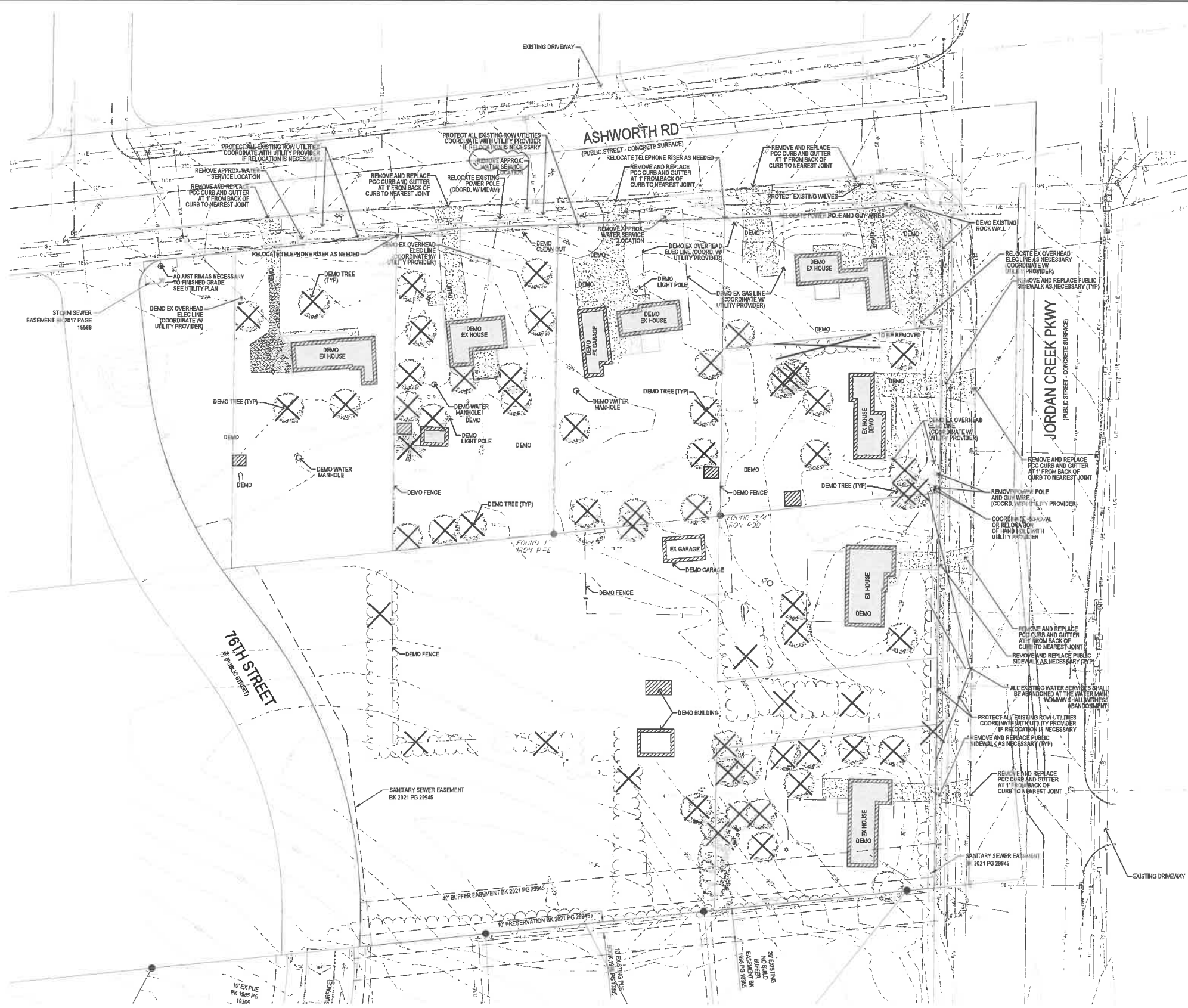
**21WDM**  
**SITE IMPROVEMENT PLAN**  
**PROPOSED LOT LAYOUT**

REFERENCE NUMBER:	
DRAWN BY:	BGA
CHECKED BY:	DBB
REVISION DATE:	2021-04-23 CITY SUBMITTAL 2021-06-04 CITY SUBMITTAL 2021-07-23 CITY SUBMITTAL 2021-09-28 CITY SUBMITTAL 2021-10-07 BID SET
PROJECT NUMBER:	200656
BLK NAME:	C0.3

- WATER DEMO PLAN NOTES:**
1. ALL EXISTING WATER SERVICES SHALL BE ABANDONED AT THE WATER MAIN. WEST DES MOINES WATER WORKS SHALL WITNESS ALL ABANDONMENT.
  2. CONTACT WEST DES MOINES WATER WORKS CUSTOMER SERVICE AT 515-281-3460 TO SCHEDULE REMOVAL OF METERS AND METER READ DEVICES PRIOR TO STRUCTURE DEMOLITION.
  3. ABANDON ALL WELLS. COORDINATE WITH DALLAS COUNTY ENVIRONMENTAL HEALTH.
  4. WEST DES MOINES WATER WORKS REQUIRES DISCONNECTION AT THE MAIN EVEN IF UNDER PAVING.
  5. SCHEDULE ASHWORTH RESIDENTIAL SERVICE DISCONNECTS DURING ONE LARGE PIPE SHUTDOWN INSTEAD OF MULTIPLE INDIVIDUAL SHUTDOWNS.
  6. VERIFY THAT THE 7630 WATER SERVICE HAS BEEN PROPERLY ABANDONED.

**WATER DEMO PLAN CLOUDY -**  
 7. SERVICES TO BE ABANDONED AT THE WATER MAIN PER THE WEST DES MOINES WATER WORKS CUSTOMER SERVICE DATABASE. 7450, 7520, 7550, 7580 ASHWORTH ROAD, AND 880, 920 AND 970 JORDAN CREEK DRIVE. INCLUDING STOP BOXES

- DEMO PLAN NOTES:**
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
  2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
  3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
  4. CONTRACTOR TO REMOVE ANY EXISTING SEPTIC TANKS, METER PITS, AND FUEL TANKS.
  5. CONTRACTOR TO ABANDON ANY UNENCOUNTERED WELLS.
  6. CONTRACTOR SHALL COORDINATE ALL UTILITY RELOCATIONS AND DISCONNECTION WITH THE UTILITY PROVIDER.
  7. CONTRACTOR TO REMOVE ALL EXISTING DRIVE APPROACHES AND REPLACE CURB TO MATCH EX STREET IN KIND AND THICKNESS.
  8. CONTRACTOR TO PROTECT ALL RIGHT OF WAY UTILITIES.
  9. ALL DEMOLITION SHALL ADHERE TO THE CURRENT SUDAS SPECIFICATIONS FOR DEMOLITION FOUND IN SECTION 1110. PLEASE REFER TO SECTION 1110, 3.03 SPECIFICALLY FOR REMOVAL OF ANY FUEL STORAGE TANKS.
  10. REMOVE AND PROPERLY DISPOSE OF ALL STRUCTURES, RASH, RUBBER, BASEMENT WALLS, FLOORS, FOUNDATIONS, SIDEWALKS, STEPS AND DRIVEWAYS FROM THE SPECIFIED PARCEL.
  11. REMOVE THE MATERIALS FROM THE DEMOLITION SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
  12. REMOVE AND DISPOSE OF APPLIANCES AND OTHER ITEMS THAT MAY CONTAIN REFRIGERANTS IN ACCORDANCE WITH 49 CFR PART 61. THESE INCLUDE BUT ARE NOT LIMITED TO: REFRIGERATORS, FREEZERS, DEHUMIDIFIERS, AND PORTABLE OR CENTRAL AIR CONDITIONERS.
  13. REMOVE AND LEGALLY DISPOSE OF MERCURY-CONTAINING MATERIALS.
  14. DISCONNECT ALL UTILITY SERVICES BEFORE DEMOLITION.
  15. REMOVAL OF THE SEPTIC SYSTEMS SHALL COMPLY WITH ALL DALLAS COUNTY AND STATE OF IOWA REQUIREMENTS.
  16. FUEL TANKS, ABOVE OR BELOW GRAND SHALL BE CAREFULLY REMOVED AND DISPOSED OF IN A SAFE MANNER IN ACCORDANCE WITH THE STATE FIRE MARSHAL'S REGULATIONS AND THOSE OF THE IOWA DEPARTMENT OF NATURAL RESOURCES.
  17. ALL WELLS SHALL BE PLUGGED AND ABANDONED IN ACCORDANCE WITH THE IOWA ADMINISTRATIVE CODE, AND IOWA DEPARTMENT OF NATURAL RESOURCES.
  18. CONTRACTOR SHALL COORDINATE THE REMOVAL OF EXISTING GAS AND WATER SERVICES WITH MIDAMERICAN ENERGY, WEST DES MOINES WATER WORKS.
  19. A DEMOLITION PERMIT SHALL BE RECEIVED FROM THE WEST DES MOINES DEVELOPMENT SERVICES DEPARTMENT PRIOR TO BEGINNING DEMOLITION OF ANY STRUCTURE ON PROPERTY.

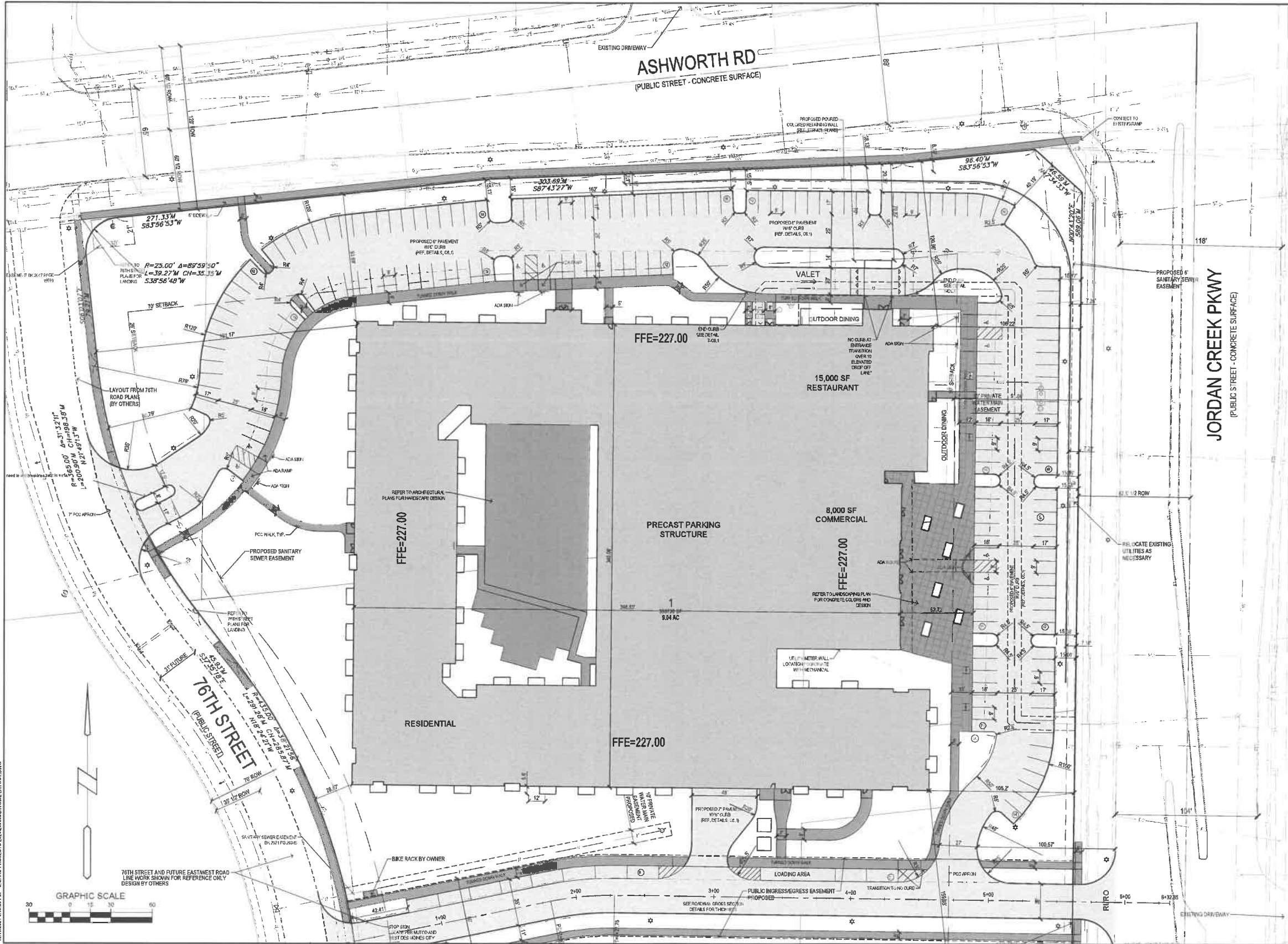


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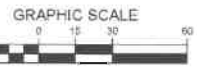
**21WDM  
 SITE IMPROVEMENT PLAN  
 DEMO PLAN**

REFERENCE NUMBER:
DRAWN BY: BGA
CHECKED BY: DDB
REVISION DATE: 2021-04-23 CITY SUBMITTAL 2021-06-04 CITY SUBMITTAL 2021-07-23 CITY SUBMITTAL 2021-09-08 CITY SUBMITTAL 2021-10-07 BID SET
PROJECT NUMBER: <b>200656</b>
SHEET NUMBER: <b>C1.1</b>

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**21WDM**  
SITE IMPROVEMENT PLAN

LAYOUT PLAN

REFERENCE NUMBER:

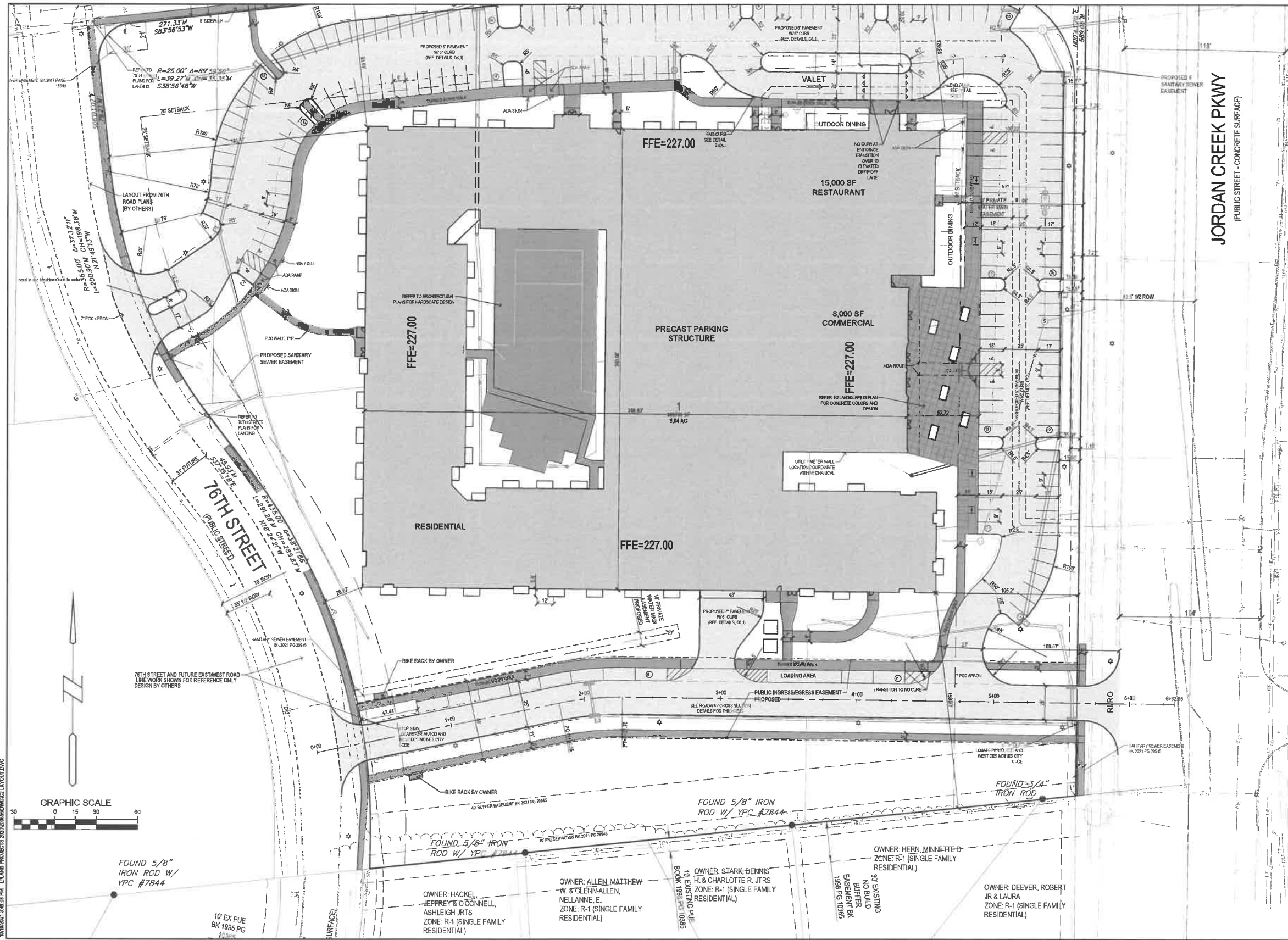
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DBB

REVISION DATE:  
2021-04-23 CITY SUBMITTAL  
2021-04-04 CITY SUBMITTAL  
2021-07-23 CITY SUBMITTAL  
2021-09-08 CITY SUBMITTAL  
2021-10-07 BID SET

PROJECT NUMBER:  
200656

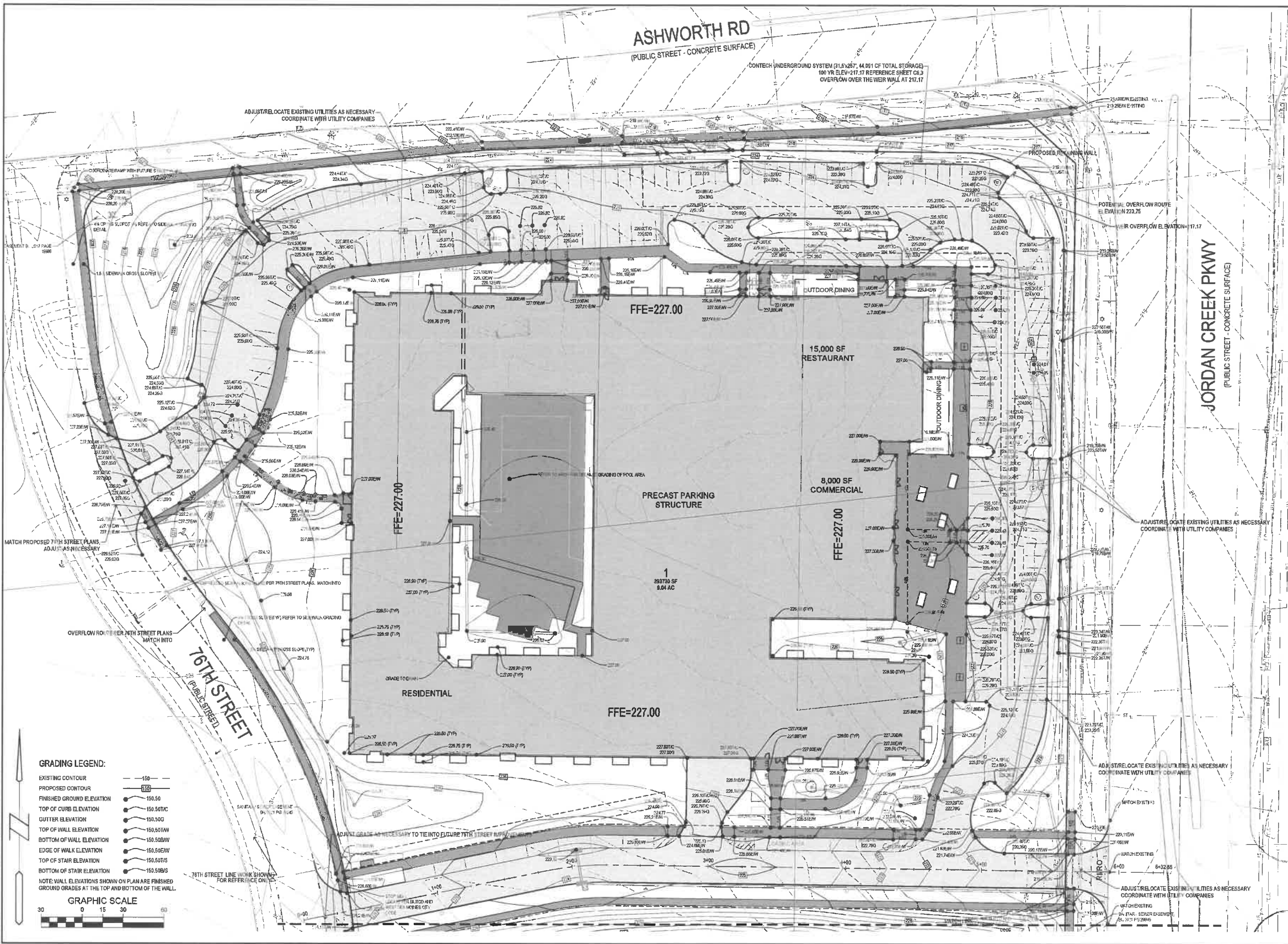
SHEET NUMBER:  
C2.1



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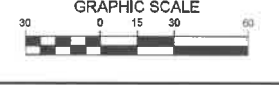
**21WDM  
 SITE IMPROVEMENT PLAN  
 LAYOUT PLAN**

REFERENCE NUMBER:	
DRAWN BY:	BSA
CHECKED BY:	DBB
REVISION DATE:	2021-04-23 CITY SUBMITTAL 2021-06-04 CITY SUBMITTAL 2021-07-23 CITY SUBMITTAL 2021-09-08 CITY SUBMITTAL 2021-10-07 BID SET
PROJECT NUMBER:	<b>200656</b>
SHEET NUMBER:	<b>C2.2</b>



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- GRADING LEGEND:**
- EXISTING CONTOUR ——— 150 ———
  - PROPOSED CONTOUR ——— 160 ———
  - FINISHED GROUND ELEVATION ——— 150.50 ———
  - TOP OF CURB ELEVATION ——— 150.50TC ———
  - GUTTER ELEVATION ——— 150.50G ———
  - TOP OF WALL ELEVATION ——— 150.50TW ———
  - BOTTOM OF WALL ELEVATION ——— 150.50BW ———
  - EDGE OF WALK ELEVATION ——— 150.50EW ———
  - TOP OF STAIR ELEVATION ——— 150.50TS ———
  - BOTTOM OF STAIR ELEVATION ——— 150.50BS ———
- NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

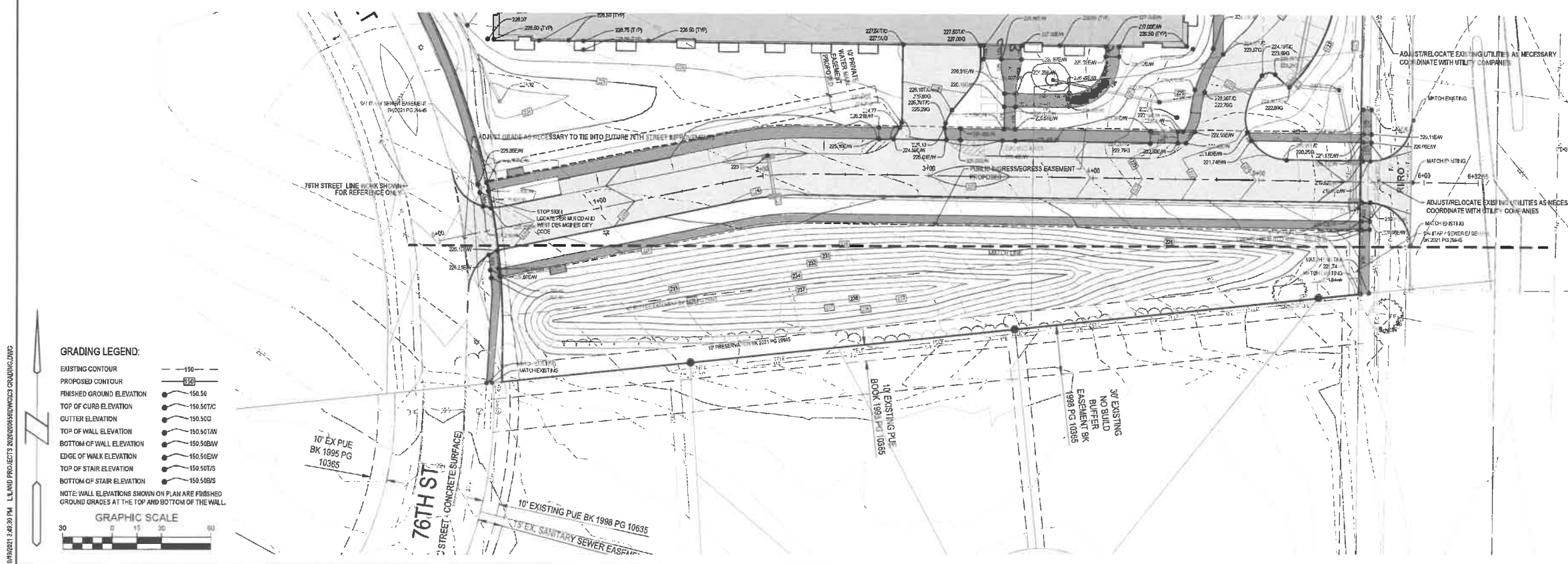
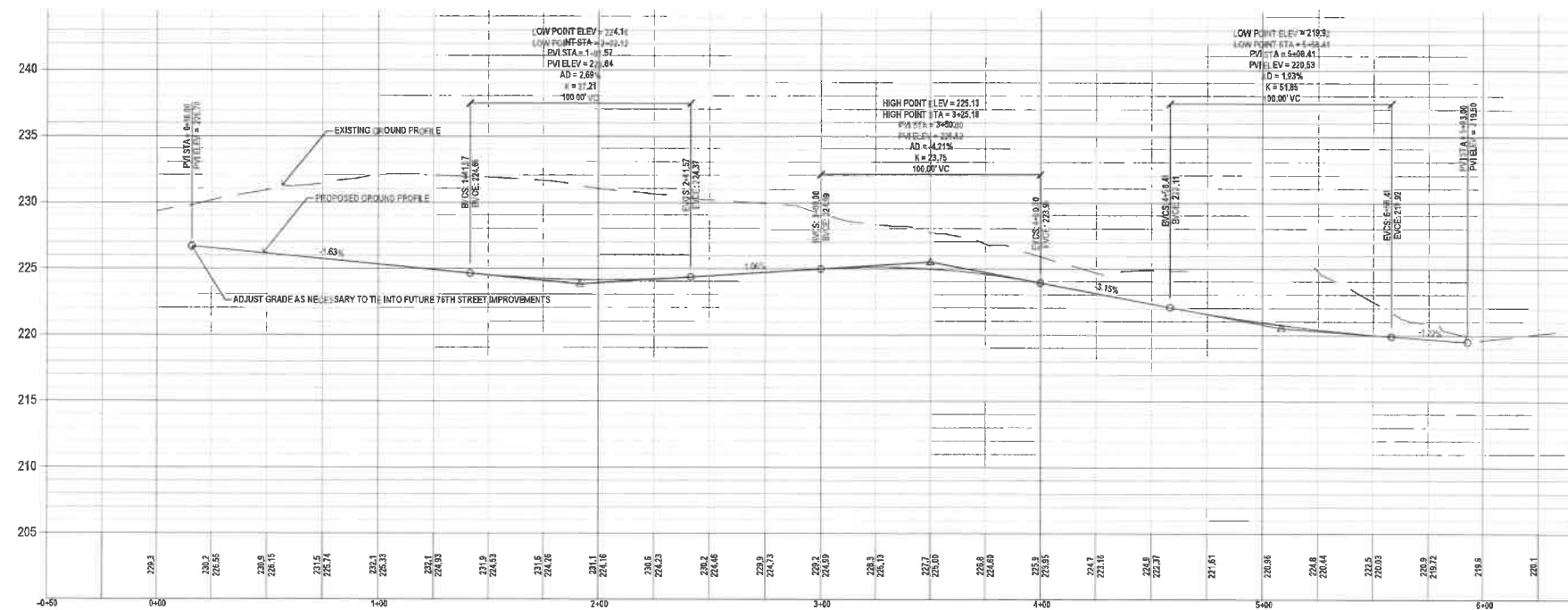


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**21WDM  
 SITE IMPROVEMENT PLAN  
 GRADING PLAN**

REFERENCE NUMBER:	
DRAWN BY:	BSA
CHECKED BY:	DBB
REVISION DATES:	2021-04-23 CITY SUBMITTAL 2021-06-04 CITY SUBMITTAL 2021-07-23 CITY SUBMITTAL 2021-09-08 CITY SUBMITTAL 2021-10-07 MD SET
PROJECT NUMBER:	<b>200656</b>
SHEET NUMBER:	<b>C3.1</b>

- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
  2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 1" ON ALL GREEN (NON PAVED) AREAS, IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 1".
  3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
  4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS, REASONABLE FREE FROM SUBSOIL, CLAY LIMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER, ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
- BUILDING DOOR ELEVATIONS:**
1. THE ELEVATIONS SHOWN AT THE BUILDING DOORS AND BUILDING WALLS ON THE GRADING PLAN ARE FOR COORDINATION ONLY. BUILDING ARCHITECTURAL/STRUCTURAL PLANS AND DETAILS SHALL GOVERN FOR BUILDING DOOR ELEVATIONS, STOOOP SLOPES AND EXPOSED WALLS OR FOOTINGS.
  2. CONTRACTOR TO COORDINATE AND VERIFY ALL BUILDING AND DOOR ELEVATIONS WITH EXTERIOR IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING PRIOR TO CONSTRUCTION. IF THERE IS A DISCREPANCY, CONTRACTOR TO CONTACT OWNER/ENGINEER FOR DIRECTION PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- ADA RAMP & LANDING NOTES:**
1. RAMP ON SIDEWALKS THAT EXCEED 5% RUNNING SLOPE MUST HAVE A MINIMUM OF 5'x5' LANDING AT THE TOP AND BOTTOM OF THE RAMP. THE LANDING SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
  2. NOT ALL RAMP AND LANDINGS ARE CALLED OUT ON PLANS, ANYWHERE A WALK EXCEEDS 5% SLOPE, AS SHOWN ON THE GRADING PLAN, SHALL BE CONSIDERED AN ADA RAMP AND THEREFORE MUST HAVE LANDINGS.



**GRADING LEGEND:**

- EXISTING CONTOUR ———
- PROPOSED CONTOUR ———
- FRESHED GROUND ELEVATION ———
- TOP OF CURB ELEVATION ———
- GUTTER ELEVATION ———
- TOP OF WALL ELEVATION ———
- BOTTOM OF WALL ELEVATION ———
- EDGE OF WALK ELEVATION ———
- TOP OF STAIR ELEVATION ———
- BOTTOM OF STAIR ELEVATION ———

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FRESHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

**GRAPHIC SCALE**

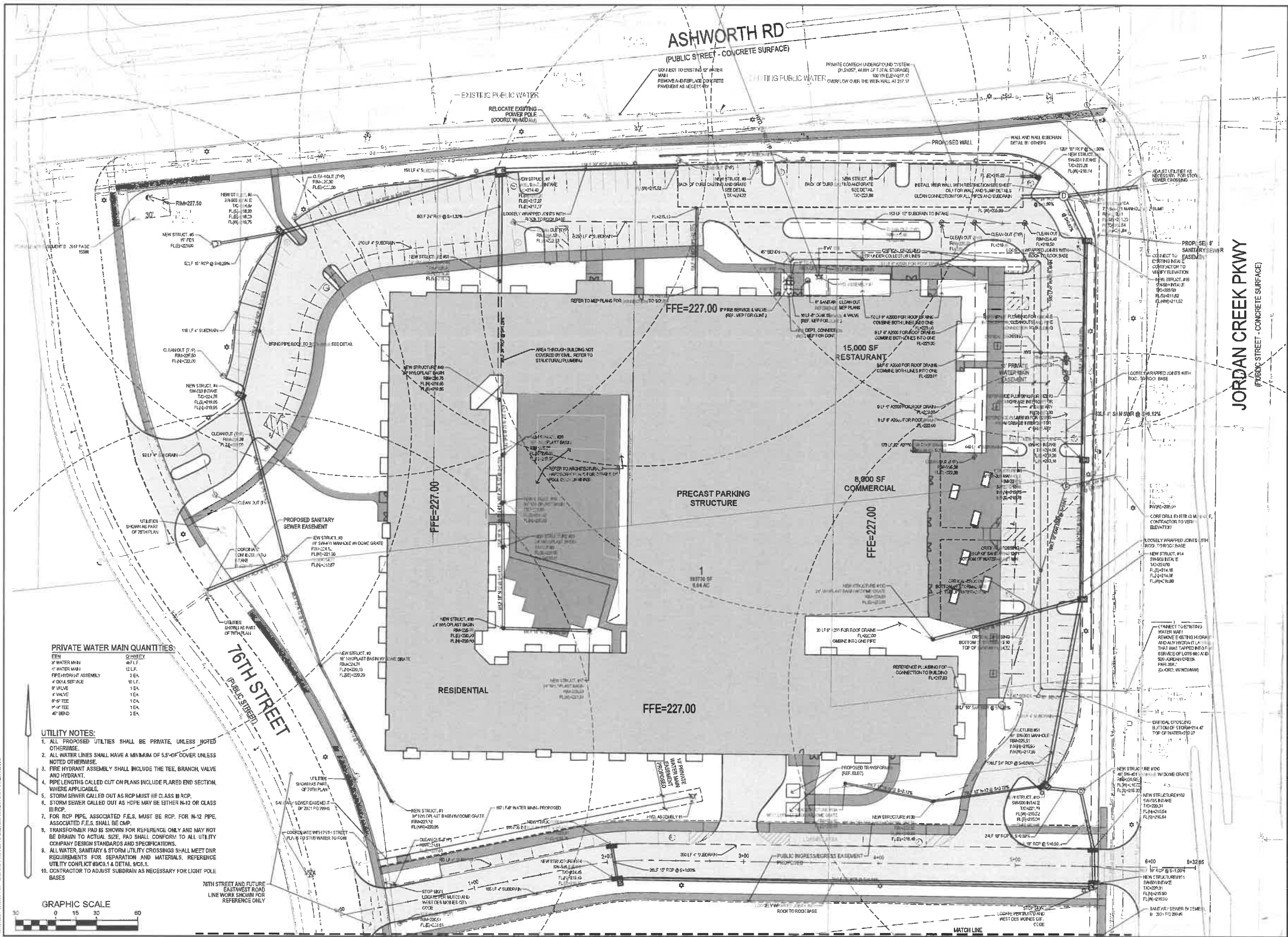
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**21WDM  
 SITE IMPROVEMENT PLAN  
 GRADING PLAN/ROADWAY PROFILE**

REFERENCE NUMBER:	
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REVISION DATE:	2021-04-23 CITY SUBMITTAL 2021-06-04 CITY SUBMITTAL 2021-07-23 CITY SUBMITTAL 2021-09-08 CITY SUBMITTAL 2021-10-07 BID SET
PROJECT NUMBER:	200656
SHEET NUMBER:	C3.2

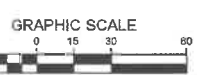




**PRIVATE WATER MAIN QUANTITIES:**

ITEM	QUANTITY
1" WATER MAIN	401 LF
1" WATER MAIN	12 LF
FIRE HYDRANT ASSEMBLY	2 EA
4" GLOBE VALVE	1 EA
8" VALVE	1 EA
8" FIRE TEE	1 EA
8" FIRE TEE	1 EA
45° BEND	2 EA

- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
  2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5'-0" OF COVER UNLESS NOTED OTHERWISE.
  3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
  4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
  5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
  6. STORM SEWER CALLED OUT AS HDPE MAY BE EITHER N-12 OR CLASS III RCP.
  7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP, FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
  8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
  9. ALL WATER, SANITARY & STORM UTILITY CROSSINGS SHALL MEET DNR REQUIREMENTS FOR SEPARATION AND MATERIALS. REFERENCE UTILITY CONFLICT #303.1 & DETAIL #605.1.
  10. CONTRACTOR TO ADJUST SUBDRAIN AS NECESSARY FOR LIGHT POLE BASES.

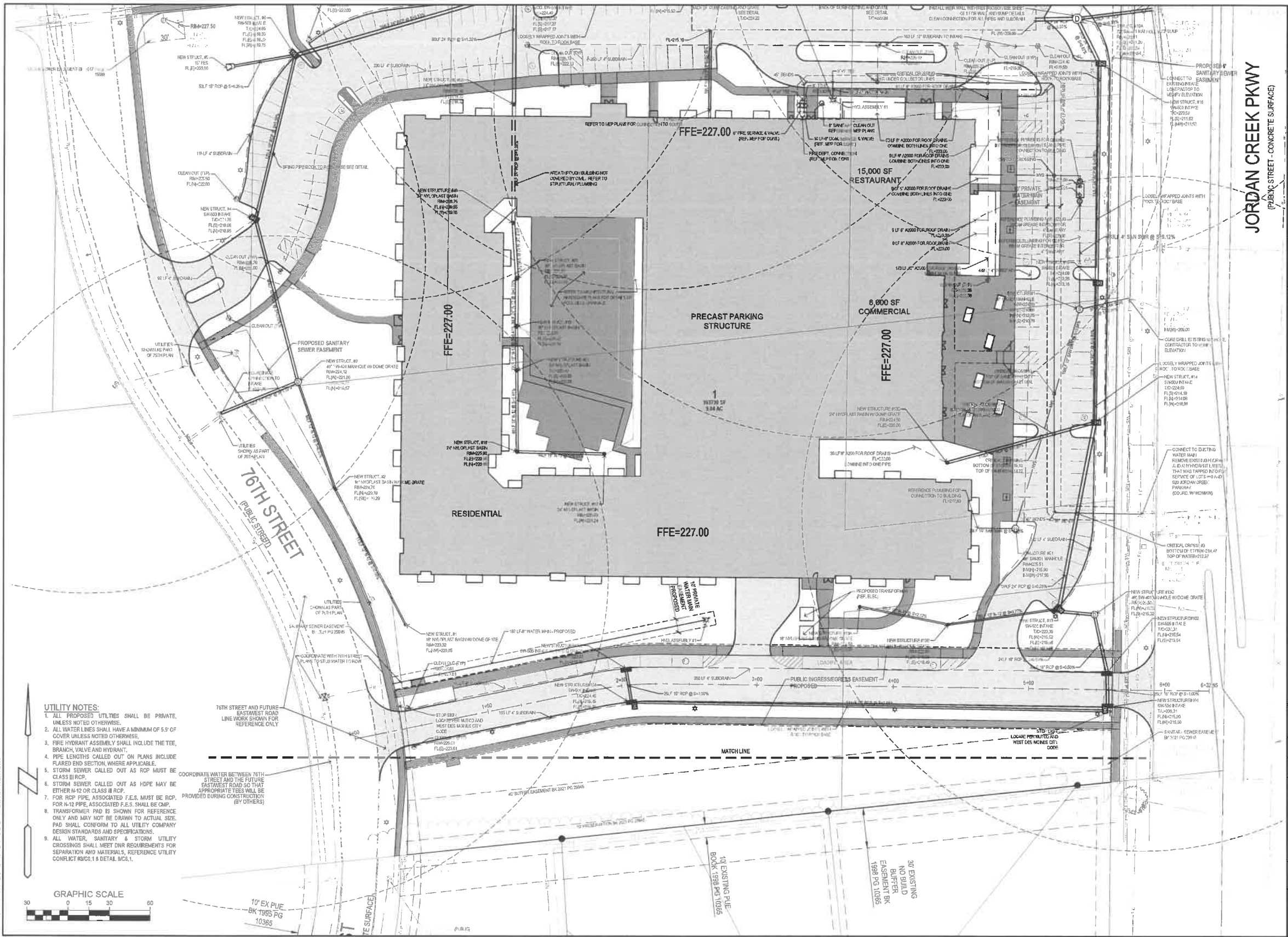


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**21WDM  
 SITE IMPROVEMENT PLAN  
 UTILITY PLAN**

REFERENCE NUMBER:	
DRAWN BY:	BGA
CHECKED BY:	DBR
REVISIONS:	2021-04-23 CITY SUBMITTAL 2021-06-04 CITY SUBMITTAL 2021-07-23 CITY SUBMITTAL 2021-09-26 CITY SUBMITTAL 2021-10-07 BID SET
PROJECT NUMBER:	200656
SHEET NUMBER:	C4.1



- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
  2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.0' OF COVER UNLESS NOTED OTHERWISE.
  3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
  4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
  5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
  6. STORM SEWER CALLED OUT AS HDPE MAY BE EITHER N-12 OR CLASS III RCP.
  7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
  8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
  9. ALL WATER, SANITARY & STORM UTILITY CROSSINGS SHALL MEET DNR REQUIREMENTS FOR SEPARATION AND MATERIALS. REFERENCE UTILITY CONFLICT #WC2.1 & DETAIL #C6.1.



JORDAN CREEK PKWY  
(PUBLIC STREET - CONCRETE SURFACE)

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**21WDM  
SITE IMPROVEMENT PLAN  
UTILITY PLAN**

REFERENCE NUMBER:	
DRAWN BY:	BGA
CHECKED BY:	DBB
REVISION DATE:	2021-04-23 CITY SUBMITAL 2021-06-04 CITY SUBMITAL 2021-07-23 CITY SUBMITAL 2021-09-08 CITY SUBMITAL 2021-10-07 BID SET
PROJECT NUMBER:	200656
SHEET NUMBER:	C4.2

**LANDSCAPE NOTES:**

1. ALL SOODING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SOO ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOO LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAKE SOO ON ALL SLOPES 3:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
6. CONTRACTOR SHALL WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
7. FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
8. CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
10. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
11. STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
12. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
13. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
14. ALL EDGING SHALL BE NATURAL LIMESTONE EDGING (4" WIDE BY 4" THICK) AS SUPPLIED BY WEBER STONE OR APPROVED EQUAL.
15. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
16. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
17. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH/ROCK IS INSTALLED.

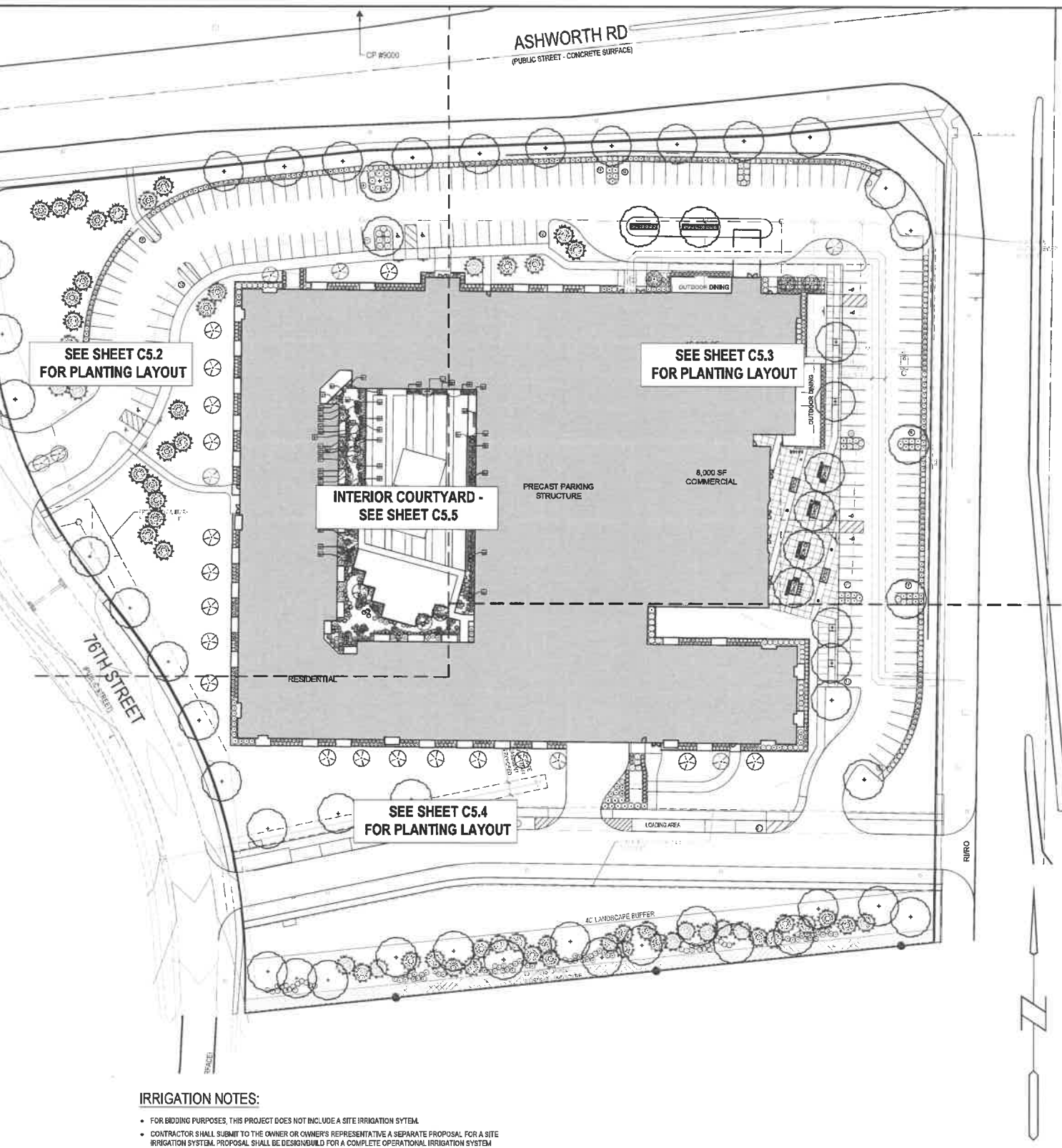
**GENERAL LANDSCAPE REQUIREMENTS**

TOTAL SQUARE FOOTAGE OF PROJECT AREA	361,840 SF
REQUIRED OPEN SPACE (25%)	90,410 SF
<b>GENERAL OPEN SPACE REQUIREMENT</b>	
TOTAL REQUIRED TREES (2' / 3000 SF REQ. OPEN SPACE)	61
TOTAL REQUIRED EVERGREEN (5% OF TOTAL)	(31)
TOTAL TREES PROVIDED (OVERSTORY AND EVERGREEN)	72
TOTAL EVERGREEN PROVIDED	31
TOTAL REQUIRED SHRUBS (1 / 1000 SF REQ. OPEN SPACE)	36
TOTAL SHRUBS PROVIDED	316
<b>SOUTH BUFFER REQUIREMENTS</b>	
TOTAL LENGTH OF BUFFER	522 LF
REQUIRED OVERSTORY TREES (1 / 35 LF)	15
TOTAL PROVIDED	15
REQUIRED EVERGREEN TREES (3 / 35 LF)	30
TOTAL PROVIDED (EVERGREEN SUBSTITUTION)	30
REQUIRED SHRUBS (6 / 35 LF)	90
TOTAL PROVIDED	90

**PLANTING SCHEDULE**

CODE	QUAN	COMMON NAME	LATIN NAME	OVERSTORY TREES	SIZE	ROOT	NOTES
OG	3	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2.0' CAL	BBB	MATCHED SPECIMENS	
GB	4	BINKGO	BANKSIA OBOBA PRINCETON SENTRY	2.0' CAL	BBB	MATCHED SPECIMENS	
SH	13	SKYLINE HONEYLOCUST	GLIOSTMA TRICANTONIA NIERMANI SKYLINE	2.0' CAL	BBB	MATCHED SPECIMENS	
KC	7	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS	2.0' CAL	BBB	MATCHED SPECIMENS	
TT	2	TULIP TREE	LIRIODENDRON TULIPIFERA	2.0' CAL	BBB	MATCHED SPECIMENS	
WO	6	WHITE OAK	QUERCUS ALBA	2.0' CAL	BBB	MATCHED SPECIMENS	
SO	2	SOUR OAK	QUERCUS BICOLORATA	2.0' CAL	BBB	MATCHED SPECIMENS	
RO	14	RED OAK	QUERCUS RUBRA	2.0' CAL	BBB	MATCHED SPECIMENS	
RL	2	REDMOND LINDEN	ILIA AMERICANA REDMOND	2.0' CAL	BBB	MATCHED SPECIMENS	
<b>ORNAMENTAL TREES</b>							
SB	4	SILVER BRILLIANCE SERVICEBERRY	AMELANCHIERA GRANIFLORA SILVER BRILLIANCE	1.5' CAL	BBB	MATCHED SPECIMENS (SINGLE 1/35 LF)	
PF	7	PRARIE FIRE CRABAPPLE	MALUS X PRARIE FIRE	1.5' CAL	BBB	MATCHED SPECIMENS	
ST	7	SHOW TIME CRABAPPLE	MALUS X SHOW TIME	1.5' CAL	BBB	MATCHED SPECIMENS	
NP	10	NEWPORT PLUM	PRUNUS CERASIFERA	1.5' CAL	BBB	MATCHED SPECIMENS	
<b>EVERGREEN TREES</b>							
WP	11	WHITE PINE	PIBUS STROBUS	6"	BBB	FULL FORM TO GROUND	
NS	18	NORWAY SPRUCE	PICEA ABIES	6"	BBB	FULL FORM TO GROUND	
BH	33	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6"	BBB	FULL FORM TO GROUND	
<b>SHRUBS</b>							
RB	13	RED LEAF BARBERY	BERBERIS THUNBERGII A TROPICANA	6"	CONT	FULL FORM - MATCHED	
EX	77	BOWWOOD - GREEN MOUND	BUXUS X GREEN MOUND	6"	CONT	FULL FORM - MATCHED	
DB	28	DWARF BUSH HONEYSUCKLE	DIERVAL LALONICERA	6"	CONT	FULL FORM - MATCHED	
LD	22	ISANT DOGWOOD	COMNUS SERICEA ISANT	6"	CONT	FULL FORM - MATCHED	
LH	7	LIGHT TIGER ANGEA	HYDRANGEA PANCULATA E MELIGHT	6"	CONT	FULL FORM - MATCHED	
LL	19	LITTLE LIME HYDRANGEA	HYDRANGEA PANCULATA LIME	6"	CONT	FULL FORM - MATCHED	
SG	19	SPRING GLORY FORSYTHA	FORSYTHIA X SPRING GLORY	6"	CONT	FULL FORM - MATCHED	
LD	41	LITTLE DEVIL NINEBARK	PHYSCARRUS OULIFOLIUS 'LITTLE DEVIL'	6"	CONT	FULL FORM - MATCHED	
FS	35	FRAGRANT SUMAC	RHUS AROMATICA	6"	CONT	FULL FORM - MATCHED	
GL	58	GROUND SUMAC	RHUS AROMATICA 'GROUND'	6"	CONT	FULL FORM - MATCHED	
KR	14	KNOCKOUT ROSE	ROSA X RADRAZ	6"	CONT	FULL FORM - MATCHED	
AW	18	ANTHONY WATER PINE	SPRAYA SUMIDA ANTHONY WATER PINE	6"	CONT	FULL FORM - MATCHED	
GF	69	GOLD FLAME SPREA	SPRAYA SUMIDA GOLD FLAME	6"	CONT	FULL FORM - MATCHED	
DK	13	DWARF KOREAN LILAC	SYRNIA LIBERTY PALASSY	6"	CONT	FULL FORM - MATCHED	
EA	28	EMERALD ARBORVITAE	TRIFLIA OCCIDENTALIS EMERALD	4"	BBB	FULL FORM - MATCHED	
WG	60	WINDWARD GLOBE ARBORVITAE	TRIFLIA OCCIDENTALIS WINDWARD	2"	BBB	FULL FORM - MATCHED	
AJ	5	ARJUN VIBURNUM	VIBURNUM BENTHAM	6"	CONT	FULL FORM - MATCHED	
CV	3	COMPACT VIBURNUM	VIBURNUM TRILOBUM COMPACTA	6"	CONT	FULL FORM - MATCHED	
JV	2	JUNO VIBURNUM	VIBURNUM JUNO	30"	BBB	FULL FORM - MATCHED	
<b>ORNAMENTAL GRASSES</b>							
KF	110	KARL FOSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA KARL FOSTER	6"	CONT	FULLY ROOTED IN CONTAINER	
SS	63	SUNSHINE WHITING GRASS	PANICUM VIRGATUM SUNSHINE	6"	CONT	FULLY ROOTED IN CONTAINER	
<b>PERENNIALS</b>							
SD	16	STELLARDRO DAILEY	HEMEROCALLIS X STELLARDRO	6"	CONT	FULLY ROOTED IN CONTAINER	
HS	12	ASSORTED HOSTA	HOSTA SP.	6"	CONT	FULLY ROOTED IN CONTAINER	
PH	69	PATRIOT HOSTA	HOSTA X PATRIOT	6"	CONT	FULLY ROOTED IN CONTAINER	
BE	32	BLACK EYED SUSAN	RUDECKIA FULGIDA GOLDSTURN	6"	CONT	FULLY ROOTED IN CONTAINER	

SOO PROVIDE AND INSTALL SOO FROM LOCAL SUPPLIERS. AREAS TO BE SOOED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOO UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOO IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE).



**IRRIGATION NOTES:**

- FOR BIDDING PURPOSES, THIS PROJECT DOES NOT INCLUDE A SITE IRRIGATION SYSTEM.
- CONTRACTOR SHALL SUBMIT TO THE OWNER OR OWNER'S REPRESENTATIVE A SEPARATE PROPOSAL FOR A SITE IRRIGATION SYSTEM. PROPOSAL SHALL BE DESIGNED FOR A COMPLETE OPERATIONAL IRRIGATION SYSTEM APPROPRIATE FOR THE SITE. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN, COORDINATION, TESTING, PERMITS, INSPECTIONS, ETC.



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**21WDM**  
**SITE IMPROVEMENT PLAN**  
**LANDSCAPE PLAN**

REFERENCE NUMBER:

DRAWN BY: BGA

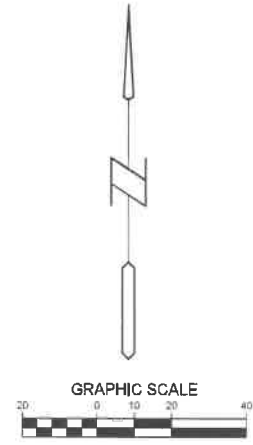
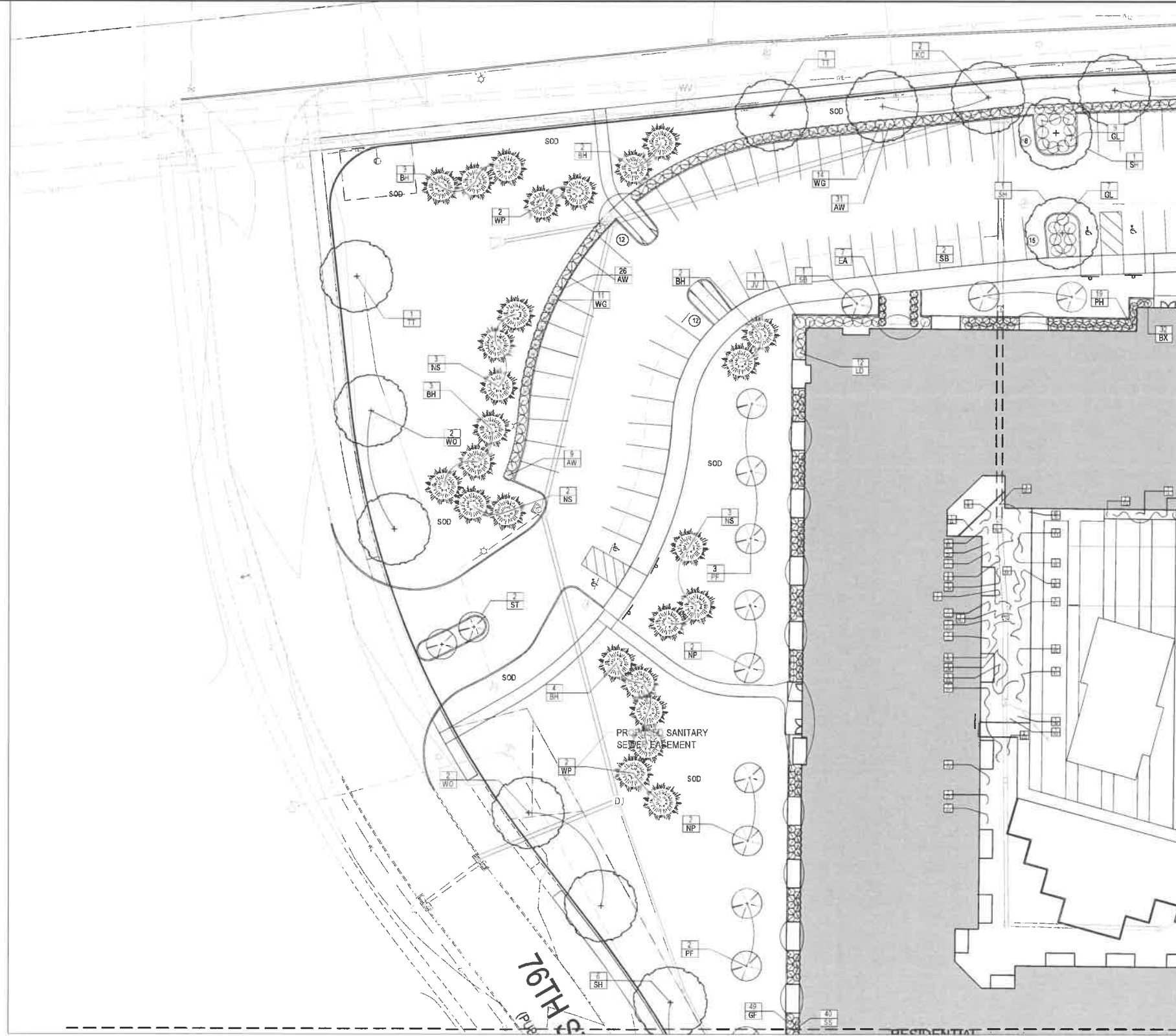
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REVISION DATE:  
 2021-04-23 CITY SUBMITTAL  
 2021-06-04 CITY SUBMITTAL  
 2021-07-23 CITY SUBMITTAL  
 2021-09-08 CITY SUBMITTAL  
 2021-10-07 RD SET

PROJECT NUMBER:  
**200656**

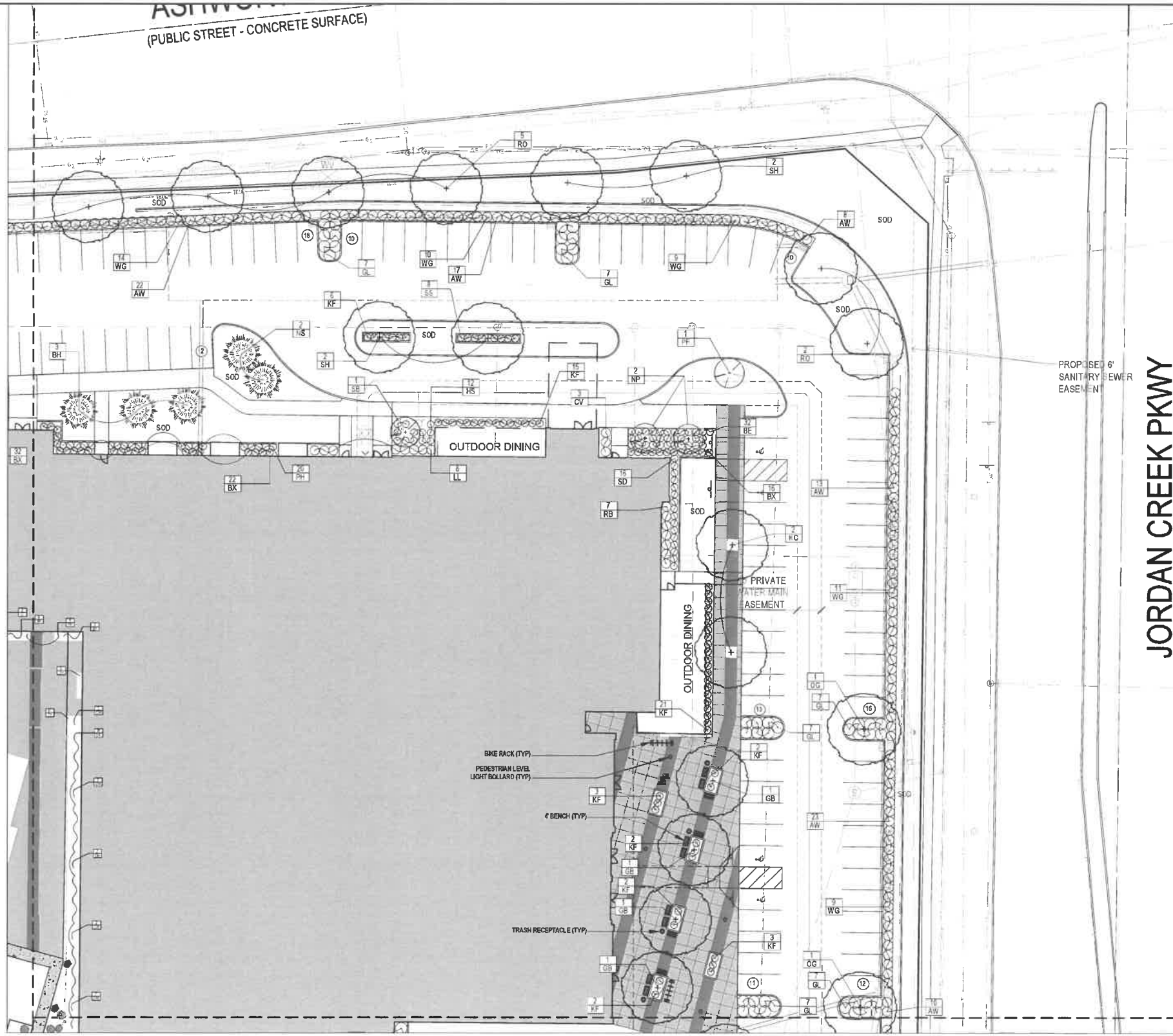
SHEET NUMBER:  
**C5.1**

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 <b>Bishop Engineering</b> "Planning Your Successful Development" 3501 104th Street Des Moines, IA 50325 Phone: (515) 276-4467 Fax: (515) 276-0017 Civil Engineering & Land Surveying Established 1959	
<b>21WDM</b> <b>SITE IMPROVEMENT PLAN</b> <b>LANDSCAPE PLAN</b>	
REFERENCE NUMBER:	
DRAWN BY:	BGA
CHECKED BY:	DBB
REVISION DATE:	2021-04-23 CITY SUBMITTAL 2021-06-04 CITY SUBMITTAL 2021-07-23 CITY SUBMITTAL 2021-09-08 CITY SUBMITTAL 2021-10-07 BID SET
PROJECT NUMBER:	<b>200656</b>
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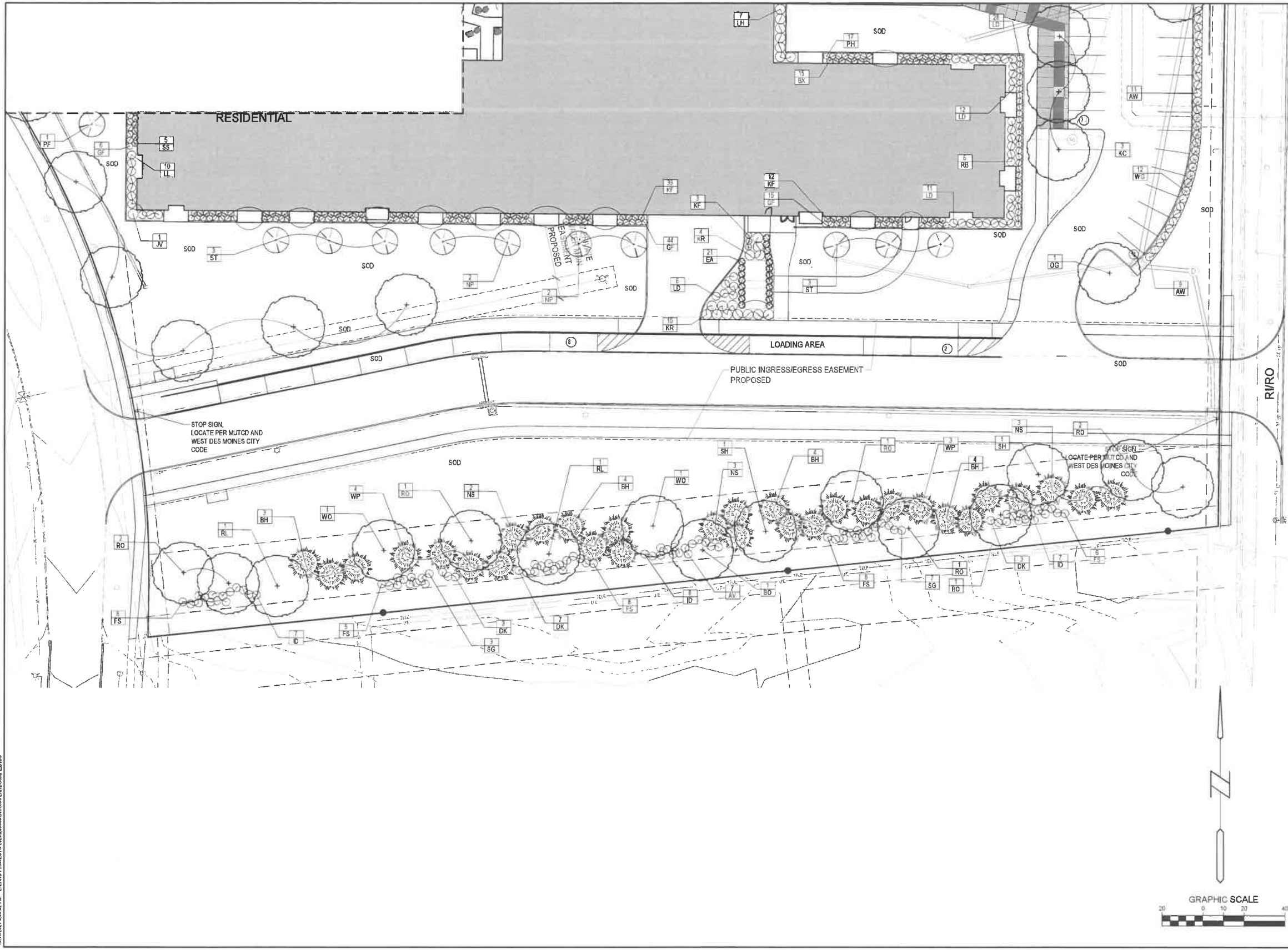
**JORDAN CREEK PKWY**

PROPOSED 6' SANITARY SEWER EASEMENT

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 Des Moines, Iowa 50322-3825  
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**21WDM  
 SITE IMPROVEMENT PLAN  
 LANDSCAPE PLAN**

REFERENCE NUMBER:
DRAWN BY: BGA
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PROJECT NUMBER: <b>200656</b>
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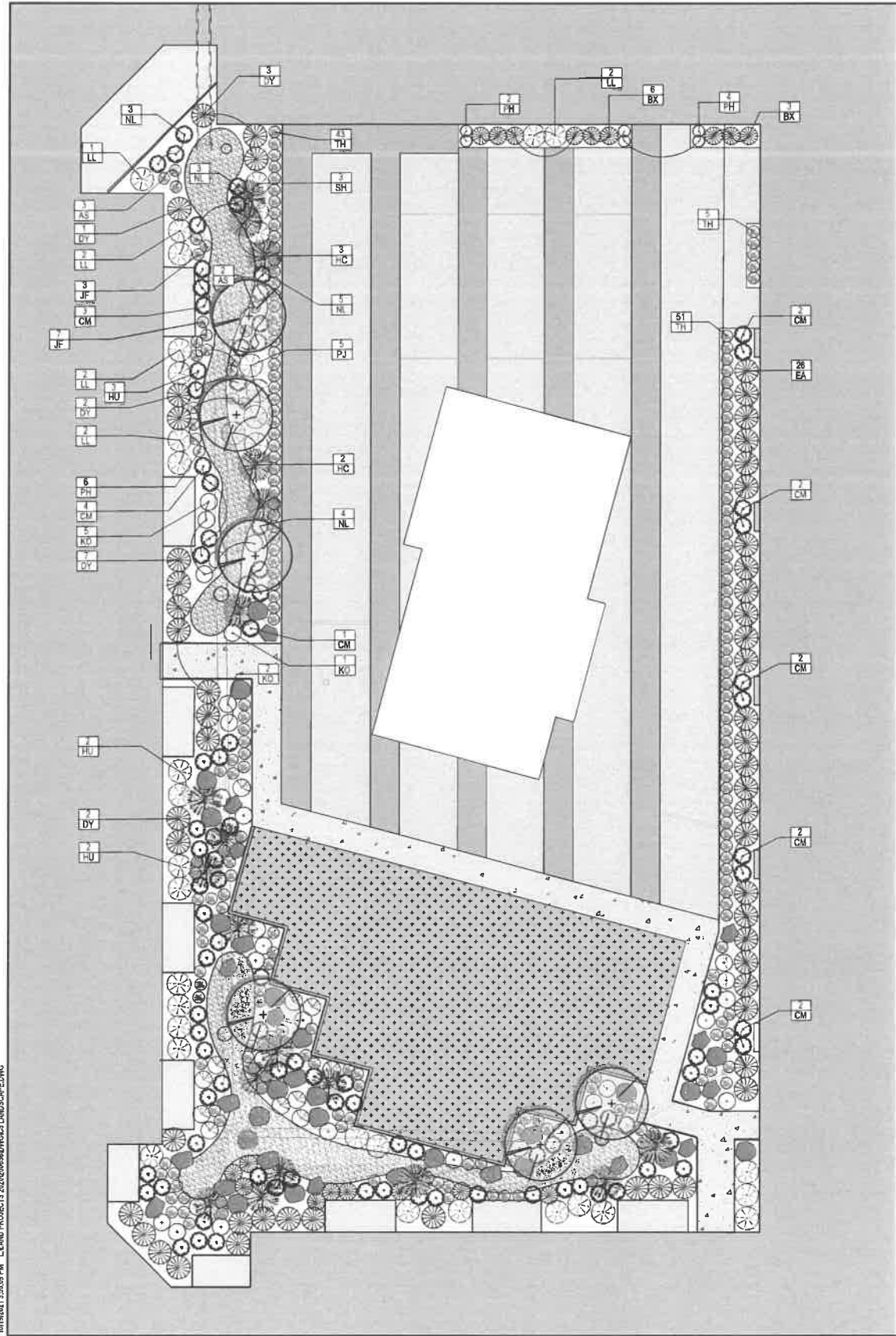
**21WDM  
SITE IMPROVEMENT PLAN**

**LANDSCAPE PLAN**

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REFERENCE NUMBER:	
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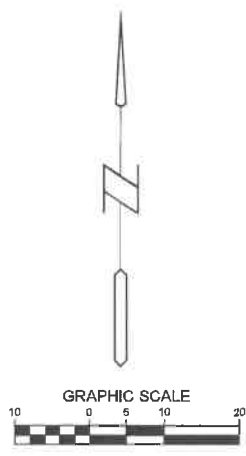
1/11/2021 1:50:18 PM L:\LAND PROJECTS\2020\06\06\WORKS\LANDSCAPE.DWG



NOTE: IRRIGATION WITHIN THE COURTYARD IS HIGHLY RECOMMENDED TO MAINTAIN THE PLANTING BEDS. ARCHITECT TO IDENTIFY STUBS OUT FROM BUILDING FOR WATER SUPPLY AND WIRING AS WELL AS INTERNAL LOCATION FOR BACKFLOW AND CONTROLLER WITHIN BUILDING MECHANICAL ROOM.

**LEGEND**

- CANOPY TREE: QUAKING ASPEN (ALTERNATE, WHITESPIRE BIRCH)
- DWARF EVERGREEN TREE: SLENDER HINOKI CYPRESS
- EVERGREEN SHRUBS: EMERALD ARBORVITAE, DENSIFORMIS YEW, BOXWOOD
- DECIDUOUS SHRUBS: RHODODENDRON, AZALEA, VIBURNUM, HYDRANGEA, CLETHRA, DAPHNE
- PERENNIALS: ASSORTED HOSTA, ASTILBE, LITTLE BLUESTEM, TUFTED HAIR GRASS, FOREST GRASS
- GRANITE BOULDER GROUPING
- DRY CREEK BED

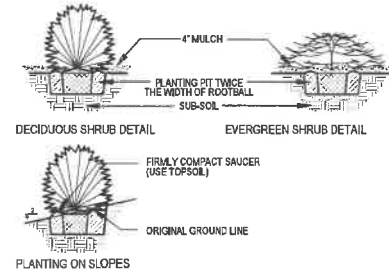


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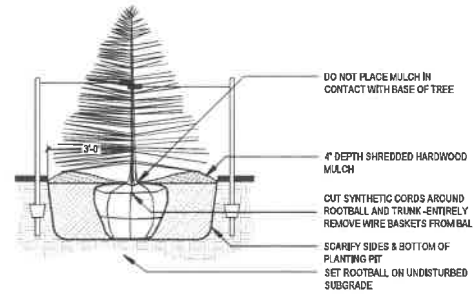
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 SITE IMPROVEMENT PLAN  
 LANDSCAPE PLAN**

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PROJECT NUMBER: <b>200656</b>
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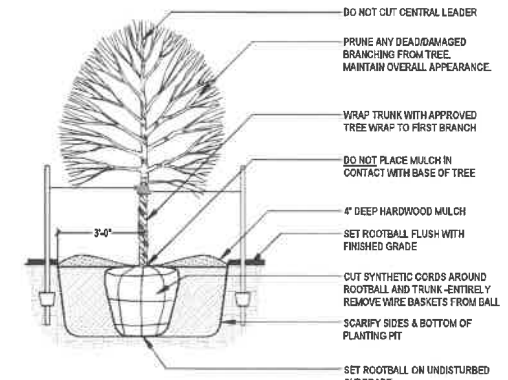
STAKING ORIENTATION  
 NORTH NORTH  
 2 STAKES - 3" CAL & LESS  
 3 STAKES - GREATER THAN 3" CAL.  
 USE HOSE GUARDS AROUND TRUNK ON STAKING WIRE. TIE WIRE TO STEEL POSTS PLACED OUTSIDE PLANT PIT.  
 LEAVE STAKES IN PLACE NO MORE THAN 1 YEAR FROM INSTALLATION. CONTRACTOR RESPONSIBLE FOR REMOVAL.



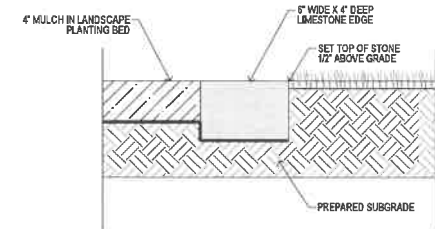
SHRUB PLANTING (TYP)  
 SCALE: NOT TO SCALE



EVERGREEN TREE PLANTING (B&B)  
 SCALE: NOT TO SCALE



DECIDUOUS TREE PLANTING (TYP.)  
 SCALE: NOT TO SCALE



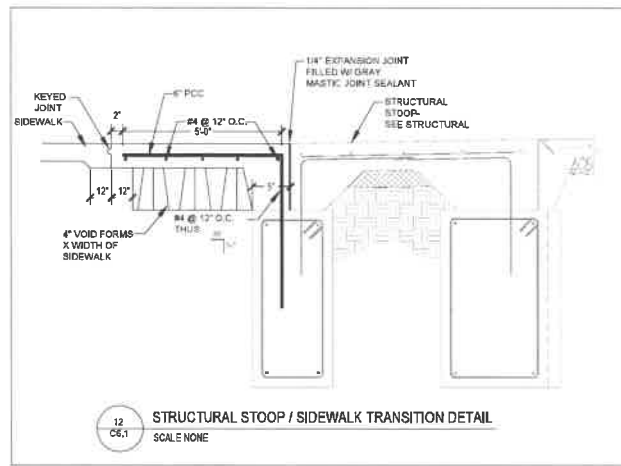
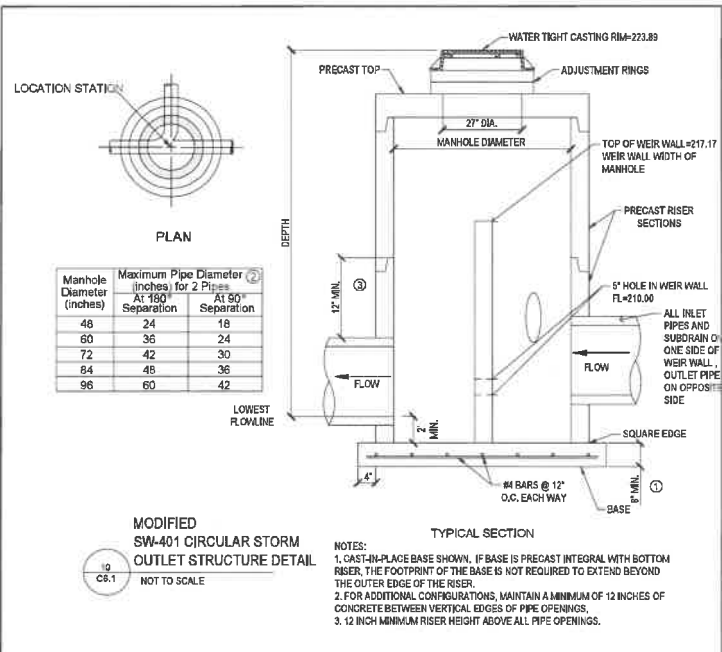
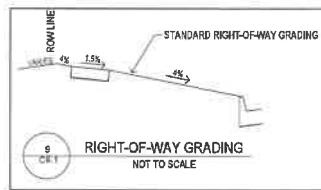
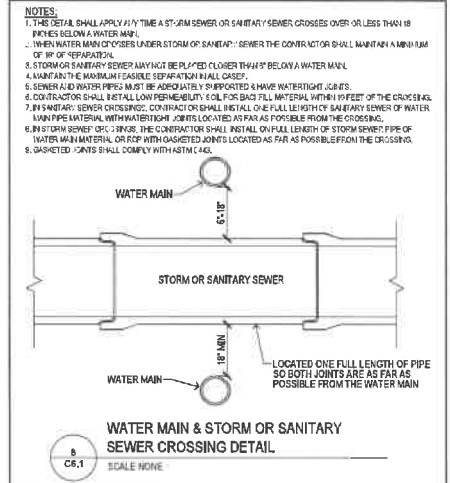
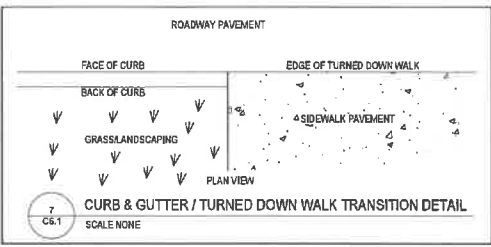
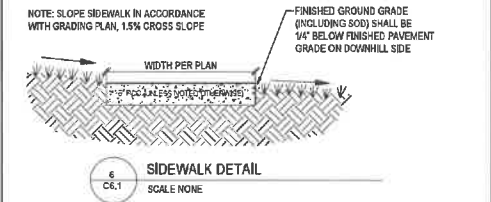
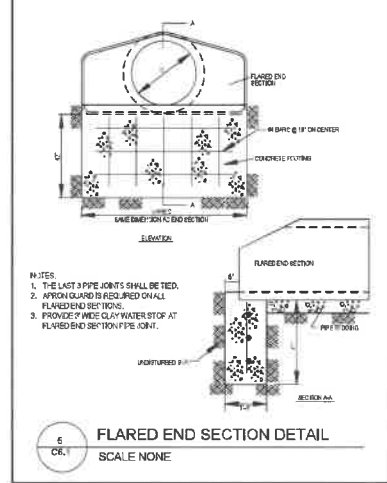
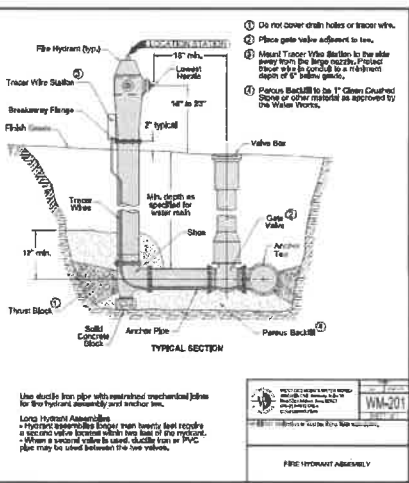
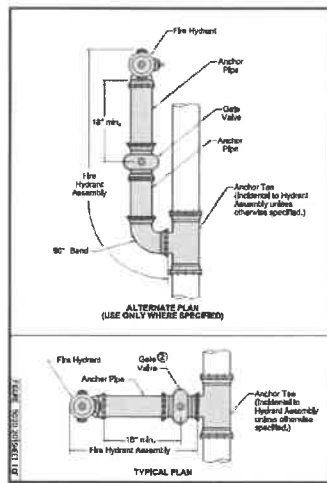
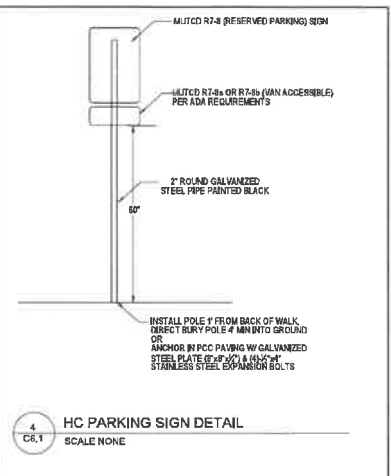
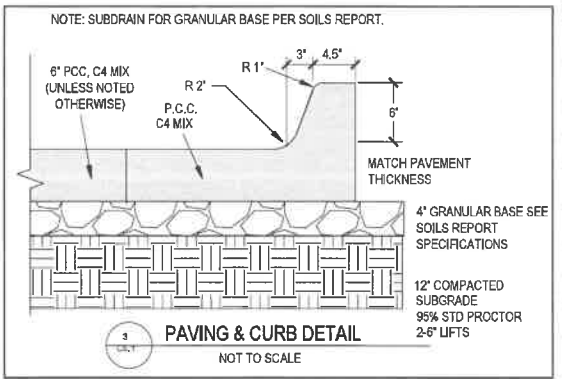
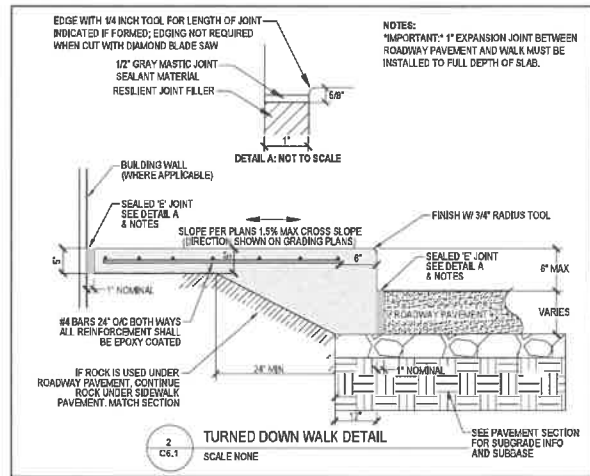
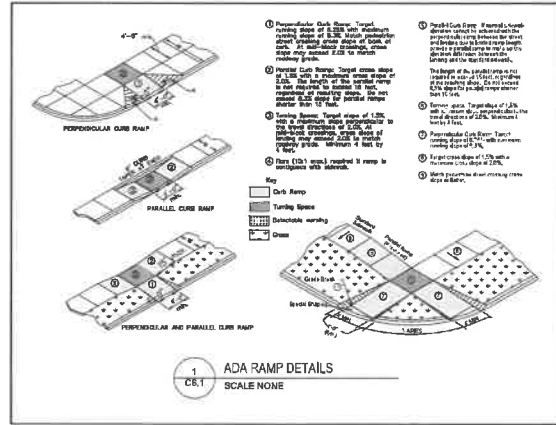
LIMESTONE EDGING  
 SCALE: NOT TO SCALE

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21WDM  
 SITE IMPROVEMENT PLAN  
 LANDSCAPE DETAILS

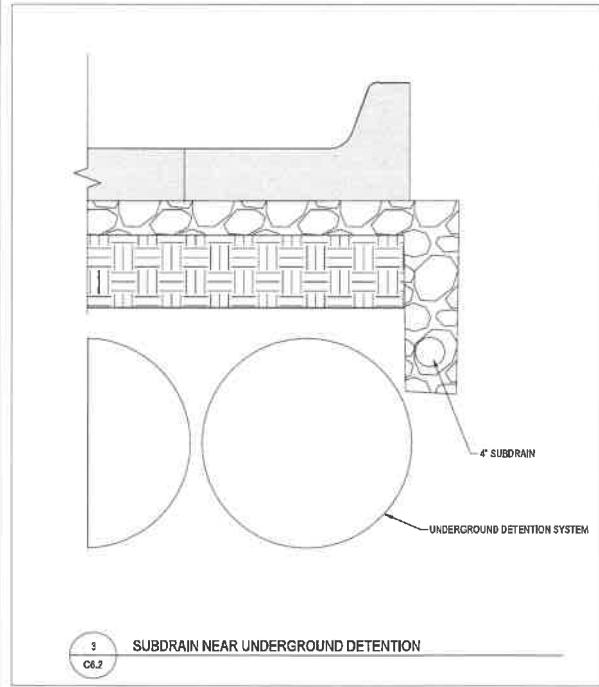
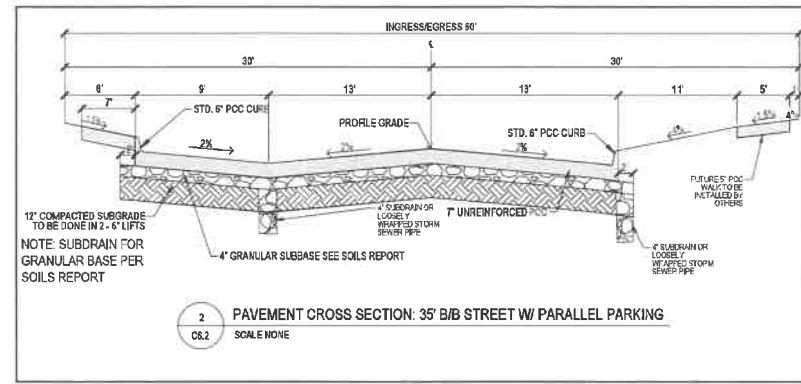
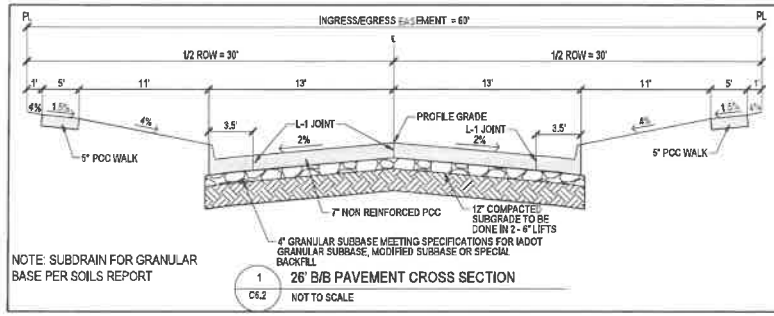
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PROJECT NUMBER: 200656
SHEET NUMBER: C5.6





REFERENCE NUMBER:
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CHECKED BY: DBB
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SHEET NUMBER: <b>C6.1</b>

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SITE IMPROVEMENT PLAN

DETAILS SHEET

REFERENCE NUMBER:

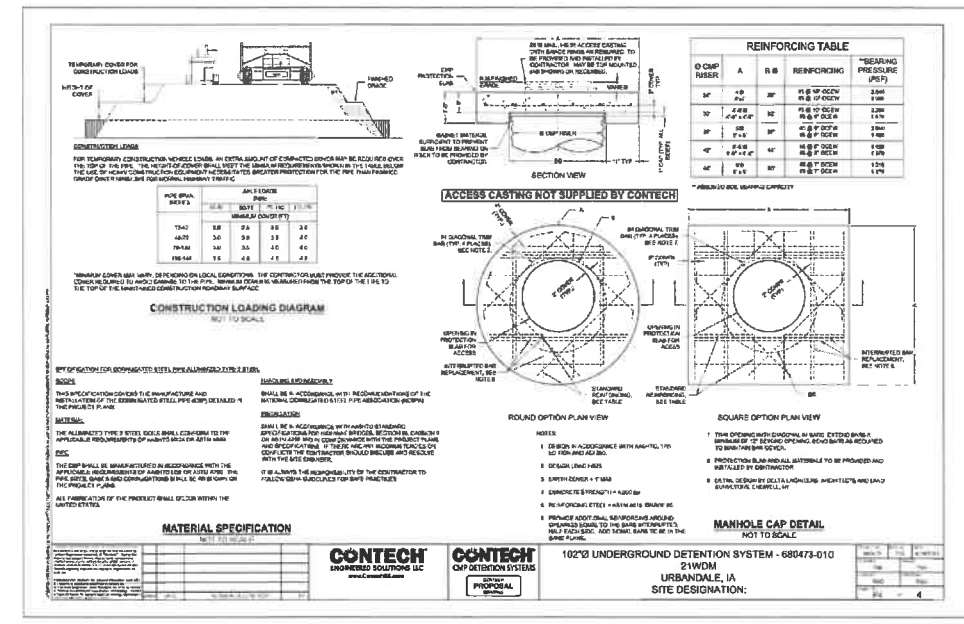
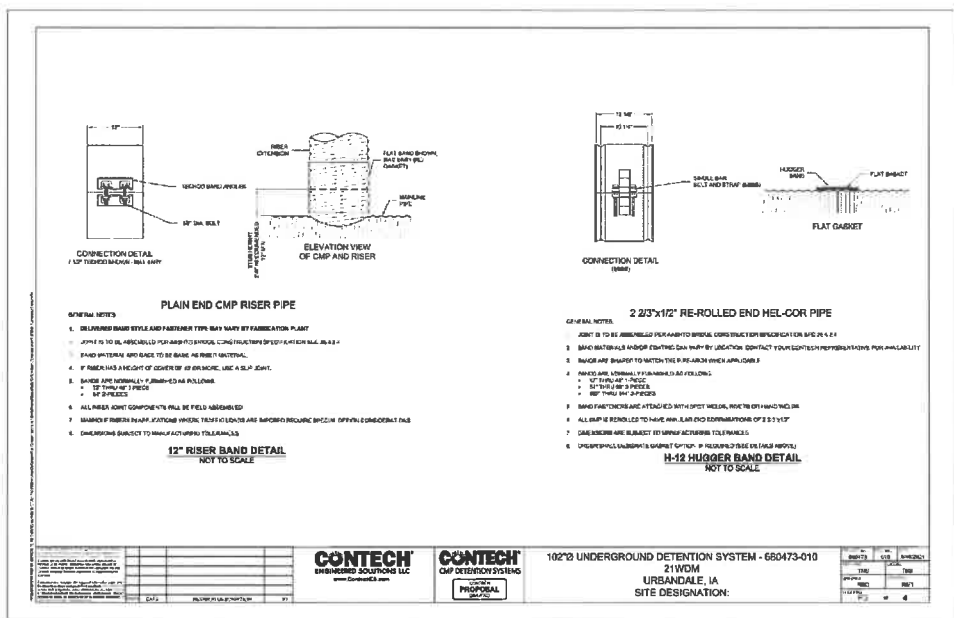
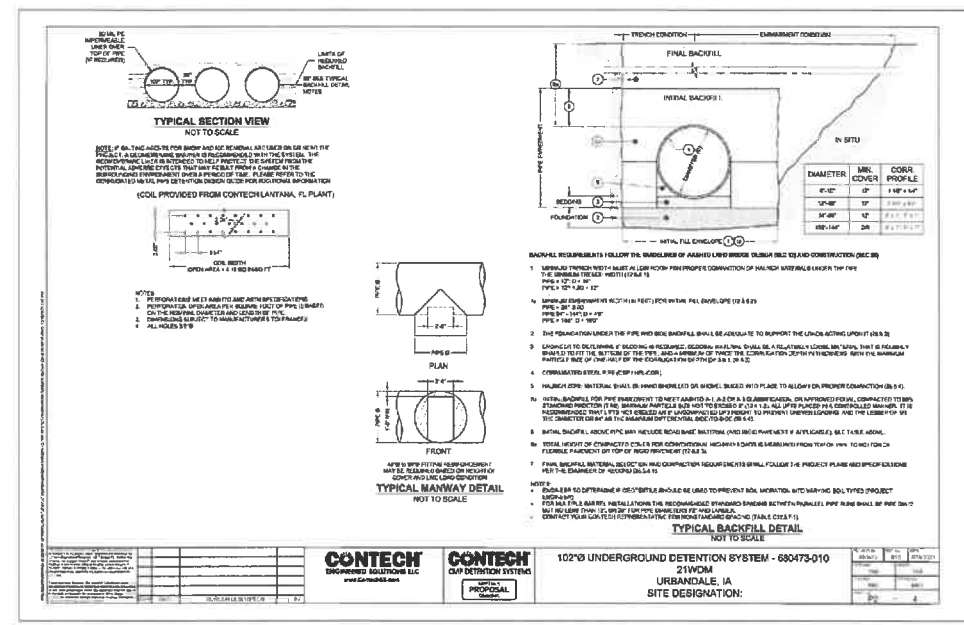
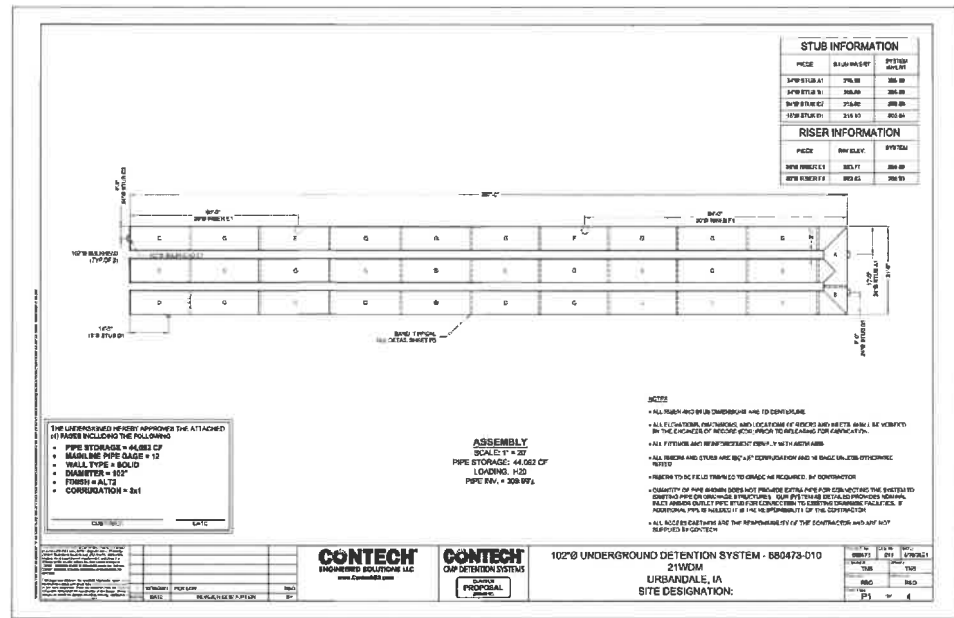
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CHECKED BY:  
DBB

REVISION DATE:  
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2021-09-08 CITY SUBMITTAL  
2021-10-07 RD SET

PROJECT NUMBER:  
200656

SHEET NUMBER:  
C6.2



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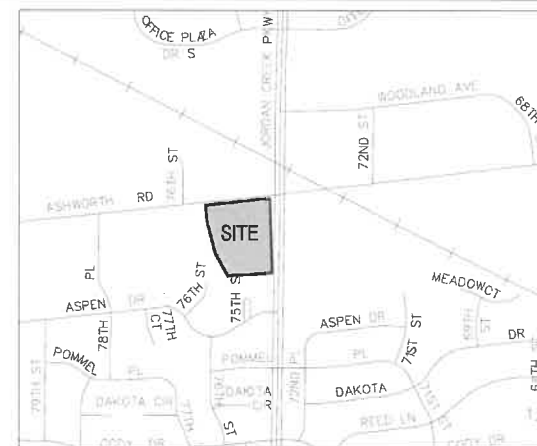
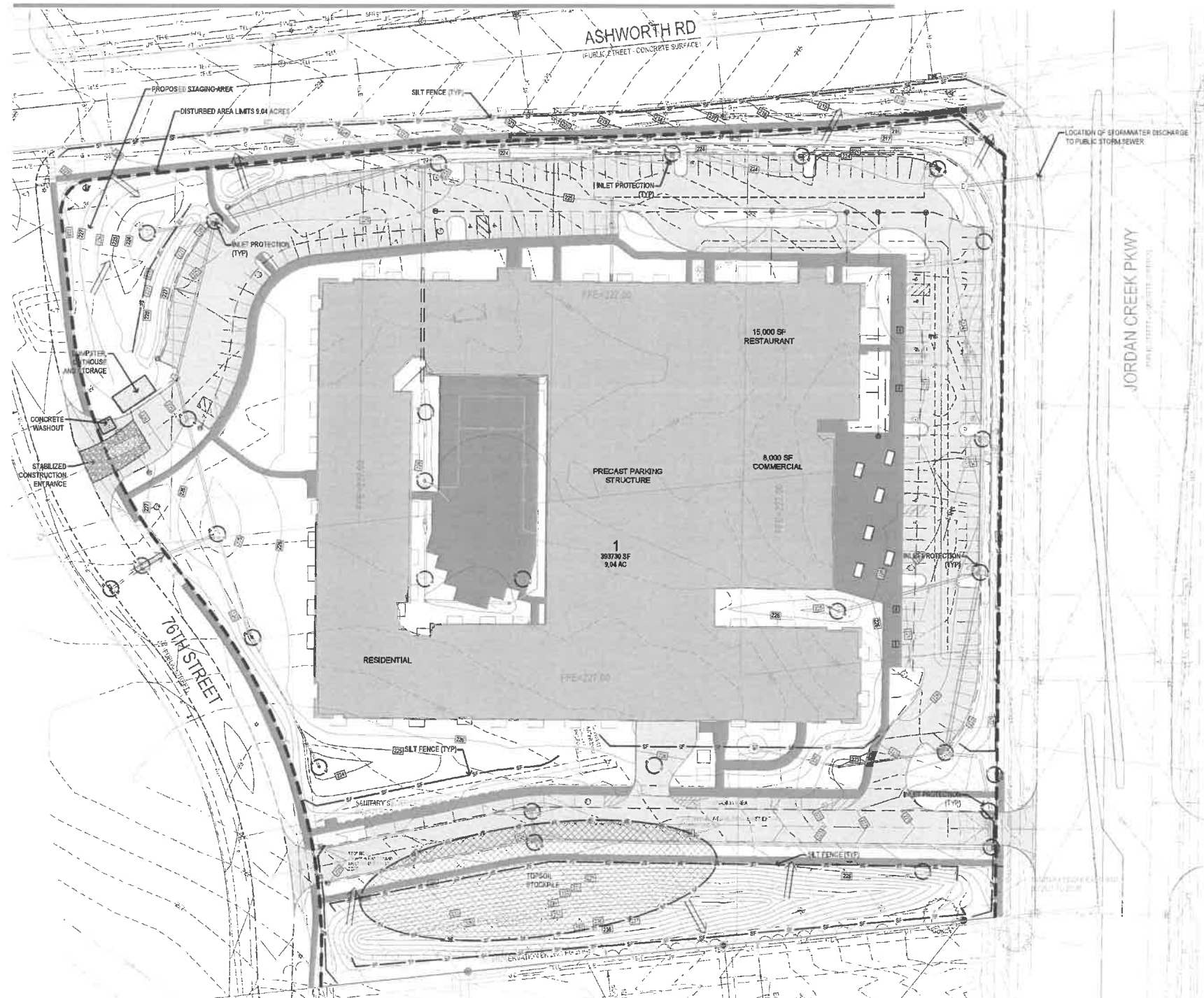
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**SITE IMPROVEMENT PLAN**  
**DETAILS SHEET**

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 2021-07-23 CITY SUBMITAL  
 2021-09-08 CITY SUBMITAL  
 2021-10-07 BID SET

PROJECT NUMBER:  
**200656**  
 SHEET NUMBER:  
**C6.3**

LAND PROJECTS 2020/08/20/2020/08/20/2020/08/20

# STORM WATER POLLUTION PREVENTION PLAN



VICINITY MAP  
NOT TO SCALE

**EROSION CONTROL NOTES:**

- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SUD PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
- CONTRACTOR TO MEET PREPARATION OF SEED BED FROM THE CITY OF WDM STANDARD CONSTRUCTION SPECIFICATIONS MANUAL, SECTION 3 PART 9.

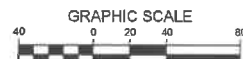
**EROSION CONTROL REMOVAL NOTES:**

- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO, SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

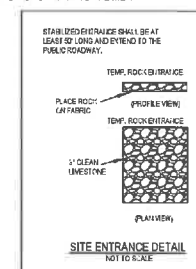
**TOPSOIL NOTES:**

- STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
- RESURFACE TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 8".
- TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
- TOPSOIL IS DEFINED AS: FERTILE, FRAGMENT LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS, REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

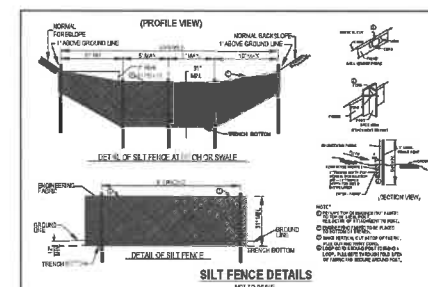
QUANTITY:  
SILT FENCE-2200 LF  
INLET PROTECTION-28 LF



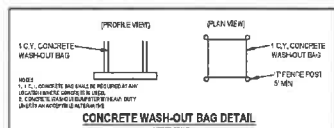
GRAPHIC SCALE



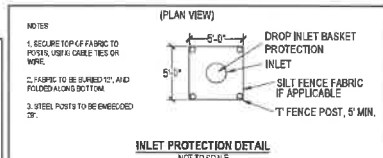
SITE ENTRANCE DETAIL  
NOT TO SCALE



SILT FENCE DETAILS  
NOT TO SCALE



CONCRETE WASH-OUT BAG DETAIL  
NOT TO SCALE



INLET PROTECTION DETAIL  
NOT TO SCALE

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**UTILITY NOTE:**  
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

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21WDM  
SITE IMPROVEMENT PLAN  
SWPPP

REFERENCE NUMBER:

DRAWN BY:  
BGA

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DDB

REVISION DATE:  
2021-04-23 CITY SUBMITTAL  
2021-04-04 CITY SUBMITTAL  
2021-07-23 CITY SUBMITTAL  
2021-09-28 CITY SUBMITTAL  
2021-10-07 BID SET

PROJECT NUMBER:  
200656

SHEET NUMBER:

C7.1

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION  
NO. PZC-21-089**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant, Jordan Creek Associates, LLC, represented by John Lassaux, Director of Development CRG Residential, with consent on file from the existing property owners of 7450, 7520, 7550 and 7580 Ashworth Road and 950 and 970 Jordan Creek Parkway, request approval of the Site Plan for the approximately 10-acre property generally located at the southwest corner of Jordan Creek Parkway and Ashworth Road as depicted on the location map included in the staff report. With approval of this action the City is consenting as a current property owner to the Site Plan. The applicant requests approval of the Site Plan and associated site improvements; and

**WHEREAS**, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

**NOW THEREFORE**, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-005148-2021), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on October 25, 2021.

\_\_\_\_\_  
Erica Andersen, Chair  
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on October 25, 2021, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

\_\_\_\_\_  
Recording Secretary