

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: March 28, 2022

ITEM: Jordan Creek Point, Southwest corner of 68th Street and EP True Parkway – Approve a Preliminary Plat to create 2 lots for Commercial development and Approve a Site Plan to allow construction of two 17,000 square foot retail buildings – Jordan Creek Point, LLC – PPSP-005464 -2022

Resolution: Approval of Preliminary Plat and Site Plan

Background: Josh Trygstad with Civil Design Advantage, on behalf of the applicant and property owner, Jordan Creek Point, LLC, requests approval of a Preliminary Plat for the approximately 10-acre property generally located at the southwest corner of 68th Street and EP True Parkway. The applicant proposes to subdivide the property into two (2) lots for commercial development. Additionally, the applicant requests approval of a Site Plan to allow the construction of two approximately 17,000 square foot retail buildings and associated site improvements on Lot 1 (west portion of site). Lot 2 will be developed at a later date.

Staff Review & Comment:

- **Financial Impact:** There is no City funding of this project; however, there is staff time for processing of development application and inspections during construction.
- **History:** On August 16, 2021, at the request of the applicant, the City Council voted to remove this property from the Town Center Overlay District to allow development of the parcel to be more consistent with the more recent all commercial developments in the area rather than being tied to the Overlay District requirements.
- **Key Development Aspects:**
 - **Cross Access:** Access to this site will be via EP True Parkway and a connection to the existing ring road around the Jordan Creek Town Center. An access stub will be added to the west side of the site to provide cross access to the property immediately to the west that is owned by the Jordan Creek Town Center owners. This will provide that site with access to EP True Parkway at the time of development of that site. Ingress/egress documents to allow for this cross access will be executed at the time of final plat.
 - **Buffers:** A 30' landscape buffer will be planted along EP True Parkway in front of Lot 1. At the time of development of Lot 2, a 30' landscape buffer will be required along EP True Parkway and 68th Street.
- **Traffic Impact Study Findings:** The proposed development is expected to generate less traffic compared to what was previously assumed in the earlier studies. The surrounding roadway system, which is detailed within the report, is expected to have adequate capacity under full-build traffic levels.
- **Plat Validity:** Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.

- Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Plan and Zoning Commission Action:

Date:

Vote:

Recommendation:

Recommendation: Approve the Preliminary Plat and Site Plan request, subject to the applicant meeting all City Code requirements.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Plan and Zoning Commission	March 28, 2022
City Council	

Staff Report Reviews:

Plan & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

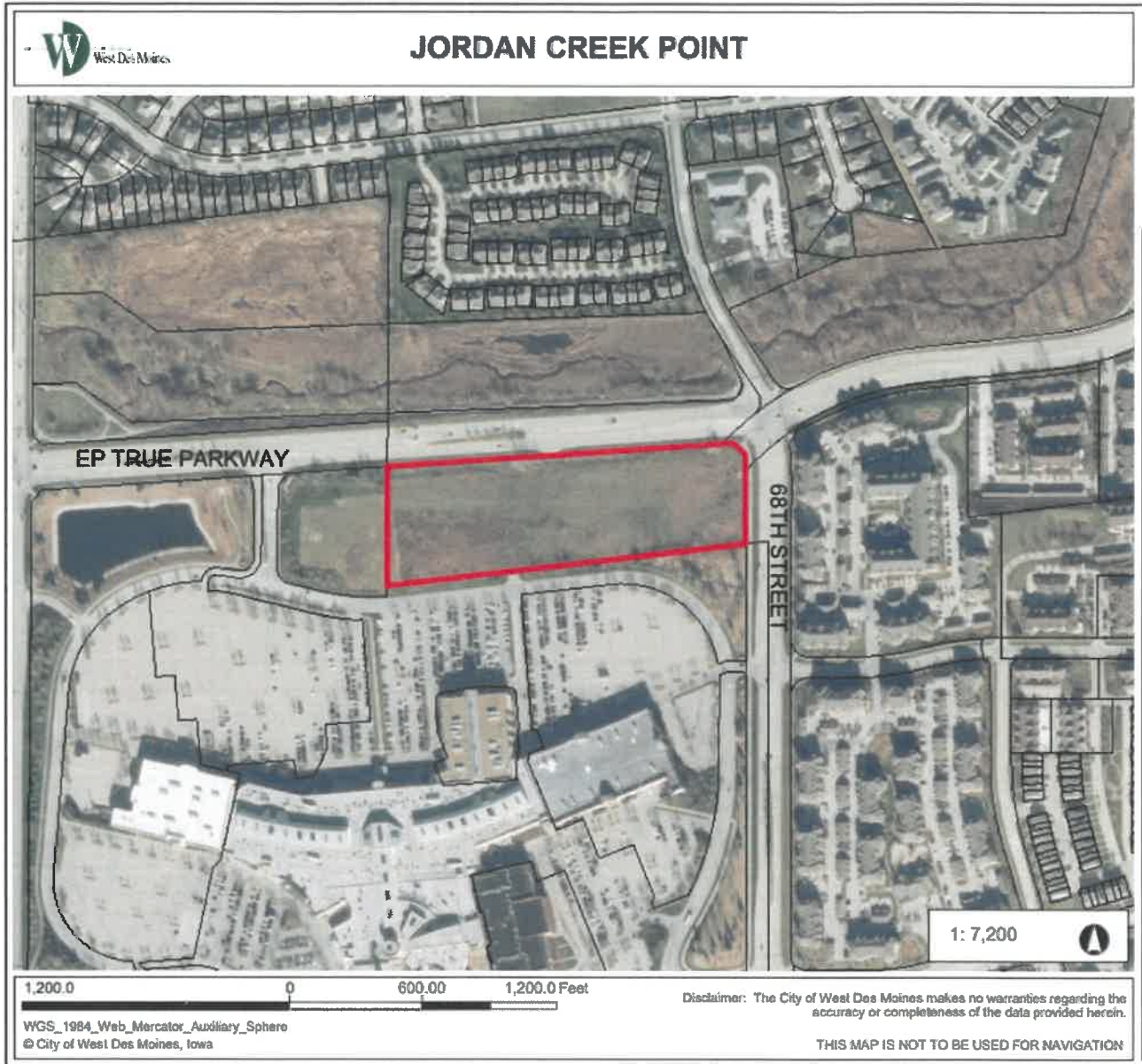
Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

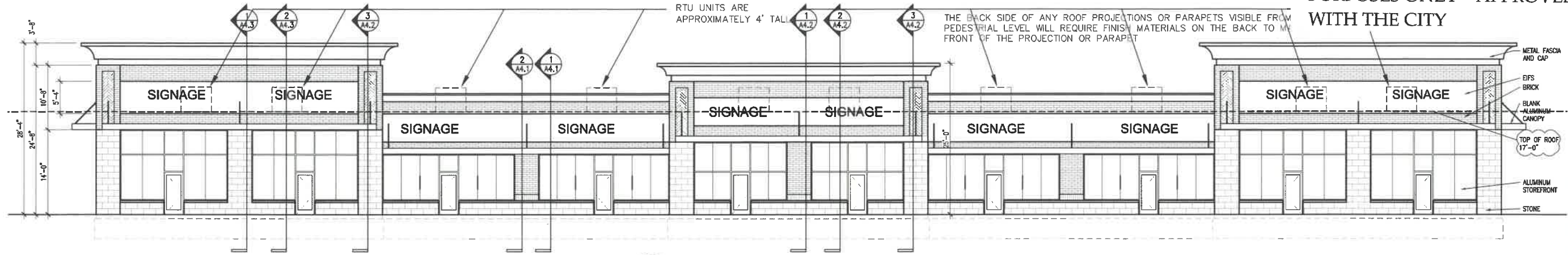
Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	2/7/22
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

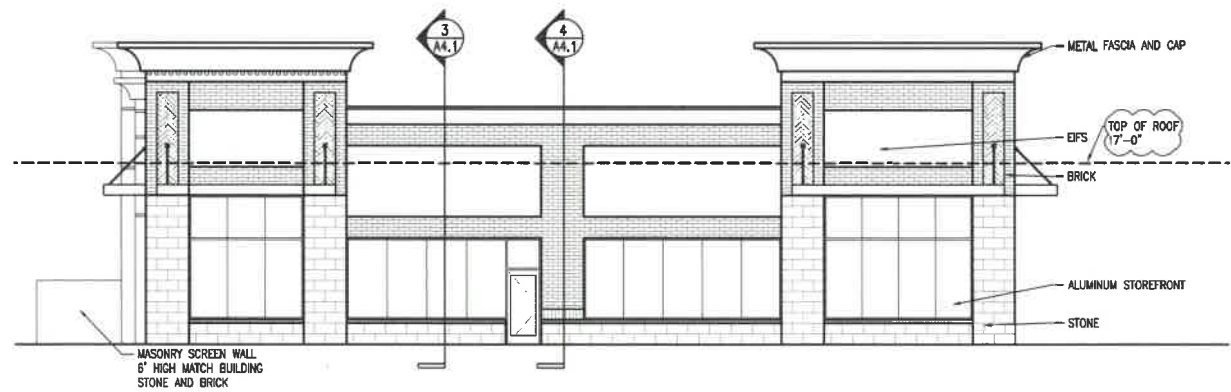
Location Map



PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY - APPROVED PLANS ON FILE WITH THE CITY



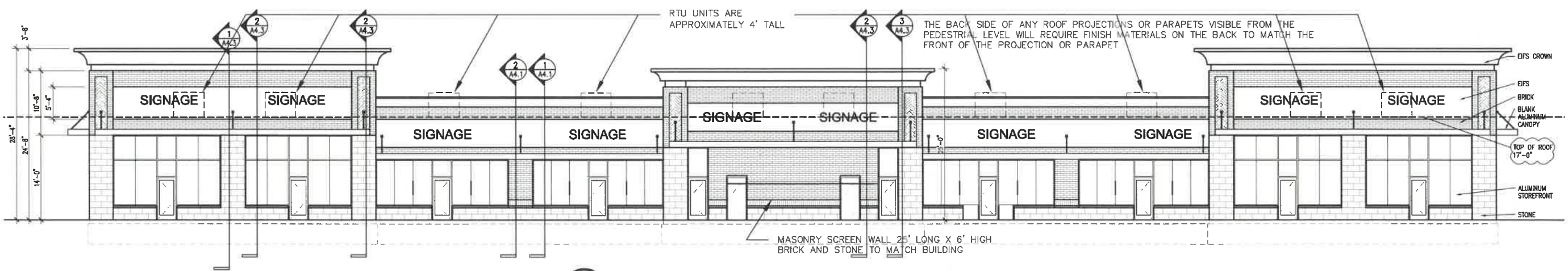
1 NORTH ELEVATION
A2.1 1/8" = 1'-0"



2 EAST ELEVATION
A2.1 1/8" = 1'-0"



3 WEST ELEVATION
A2.1 1/8" = 1'-0"



4 SOUTH ELEVATION
A2.1 1/8" = 1'-0"

ACCURATE COMMERCIAL

This drawing is a conceptual illustration of the proposed project. It is not intended to be used for construction or as a basis for any contract. The designer is not responsible for any errors or omissions in this drawing. The designer is not responsible for any delays or costs incurred by the client due to any changes or modifications to this drawing. The designer is not responsible for any legal or regulatory requirements that may apply to this project. The designer is not responsible for any other drawings or documents that may be prepared by the client or other parties. The designer is not responsible for any other drawings or documents that may be prepared by the client or other parties.

ISSUED / REVISION	DATE
FOR CITY PRE-APP MEETING	4-14-2021
FOR BIDDING AND PERMITTING	2-16-2022

JORDAN CREEK POINTE
Shell Documents
EP True & 68th Street
West Des Moines, IA 50266

PROJECT NO. 2100325

TITLE
EXTERIOR ELEVATIONS

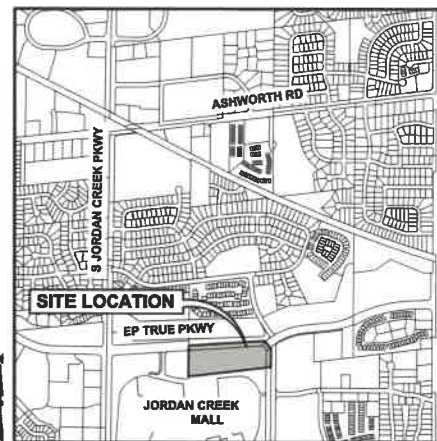
SHEET
A2.1

PRELIMINARY PLAT/SITE PLAN FOR: JORDAN CREEK POINT

WEST DES MOINES, IOWA

VICINITY MAP

NOT TO SCALE



OWNER/ APPLICANT

JORDAN CREEK POINT, LLC
9500 UNIVERSITY AVE, UNIT 2112
WEST DES MOINES, IA 50266

ENGINEER/ SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410
CONTACT: JOSH TRYGSTAD
EMAIL: JOSHT@CDA-ENG.COM

ARCHITECT

MARTY BARKLEY
ACCURATE COMMERCIAL
9500 UNIVERSITY AVE, UNIT 2112
WEST DES MOINES, IA 50266
(515) 333-5160

SUBMITTAL DATES

FIRST SUBMITTAL: 01/21/2022
SECOND SUBMITTAL: 02/17/2022
THIRD SUBMITTAL: 03/10/2022
FOURTH SUBMITTAL: 03/25/2022

PLAT DESCRIPTION

PARCEL "Z" OF THE PLAT OF SURVEY RECORDED IN BOOK 2006, PAGE 18764, BEING A PART OF PARCEL "L," "P" AND LOT "A" OF THE PLAT OF SURVEY RECORDED IN BOOK 1998, PAGE 5450 IN THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, TOWNSHIP 78 NORTH, RANGE 28 WEST OF THE 5TH P.M., WEST DES MOINES, DALLAS COUNTY, IOWA AND CONTAINING 10.28 ACRES (447,727 S.F.).

ZONING

EXISTING ZONING: REED'S CROSSING PUD, PARCEL G
PROPOSED ZONING: REED'S CROSSING PUD, PARCEL G

EXISTING/ PROPOSED USE

EXISTING: UNDEVELOPED
PROPOSED: COMMERCIAL

DEVELOPMENT SUMMARY

LOT 1:

BUILDING AREA

RETAIL/RESTAURANT: 34,728 SF (2 BUILDING TOTAL)

VEHICLE PARKING

COMMERCIAL (1 SPACE/225 SF): 155 SPACES

PROVIDED:

STANDARD: 238 SPACES
ACCESSIBLE: 8 SPACES
246 SPACES

1 LANDSCAPE ISLAND / 18 PARKING SPACES = 14 LANDSCAPE ISLANDS
1 LANDSCAPE POD / 9 PARKING SPACES = 27 LANDSCAPE PODS

BICYCLE PARKING

1 BICYCLE PARKING SPACE / 500 SF OF GROSS LEASABLE AREA

BICYCLE PARKING REQUIRED: 70
BICYCLE PARKING PROVIDED: 70

OPEN SPACE CALCULATION:

TOTAL LOT AREA = 211,000 SF (4.84 AC.)
BUILDING = 34,727 SF
PAVED AREAS = 95,049 SF
SIDEWALK = 13,454 SF
FUTURE PATIO = 8,962 SF
OTHER = 3,733 SF
TOTAL IMPERVIOUS = 155,925 SF

OPEN SPACE PROVIDED: = 55,503 SF (26%)
OPEN SPACE REQUIRED: = 52,750 SF (25%)

REED'S CROSSING PUD SETBACKS

EP TRUE: 30 FT PARKING/ 70 FT BUILDING SETBACK
68TH ST: 30 FT PARKING/ 50 FT BUILDING SETBACK
W SIDE YARD: 0 FT SETBACKS
S PUBLIC STREET: 15 FT PARKING SETBACK/ 50 FT BUILDING SETBACK

DATE OF SURVEY

MAY 6, 2021

BENCHMARKS

STANDARD BENCHMARK #124 @ MEDIAN ON EAST SIDE OF INTERSECTION OF JORDAN CREEK PARKWAY AND MILLS CIVIC PARKWAY
ELEVATION=977.66

STANDARD BENCHMARK #128 @ NORTHWEST CORNER OF E.P. TRUE PARKWAY AND PRAIRIE VIEW DRIVE
ELEVATION=910.23

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SPRING 2022
ANTICIPATED FINISH DATE = SPRING 2023

PROJECT SITE ADDRESS

BUILDING #1
8960 E.P. TRUE PKWY
WEST DES MOINES, IOWA 50266

BUILDING #2
8920 E.P. TRUE PKWY
WEST DES MOINES, IOWA 50266

INDEX OF SHEETS

NO.	DESCRIPTION
C0.0	COVER SHEET
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C1.3	SHEET REFERENCE
C2.1	TOPOGRAPHIC SURVEY / DEMOLITION PLAN
C3.1-C3.2	DIMENSION PLAN
C4.1-C4.4	GRADING PLAN
C5.1	EROSION AND SEDIMENT CONTROL PLAN REFERENCE
C5.2-C5.3	EROSION AND SEDIMENT CONTROL PLAN
C6.1-C6.2	UTILITY PLAN
C7.1-C7.8	DETAILS
L1.1	LANDSCAPE PLAN REFERENCE
L1.2-L1.3	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED

PROJECT BOUNDARY	---
LOT LINE	---
SECTION LINE	---
CENTER LINE	---
RIGHT OF WAY	---R/W---
PERMANENT EASEMENT	---P/E---
TEMPORARY EASEMENT	---T/E---
TYPE SW-501 STORM INTAKE	
TYPE SW-503 STORM INTAKE	
TYPE SW-505 STORM INTAKE	
TYPE SW-506 STORM INTAKE	
TYPE SW-513 STORM INTAKE	
TYPE SW-401 STORM MANHOLE	
TYPE SW-402 STORM MANHOLE	
TYPE SW-301 SANITARY MANHOLE	
STORM/SANITARY CLEANOUT	
WATER VALVE	
FIRE HYDRANT ASSEMBLY	
SIGN	
DETECTABLE WARNING PANEL	
STORM SEWER STRUCTURE NO.	
STORM SEWER PIPE NO.	
SANITARY SEWER STRUCTURE NO.	
SANITARY SEWER PIPE NO.	
SANITARY SEWER WITH SIZE	
SANITARY SERVICE	
STORM SEWER	
STORM SERVICE	
WATERMAIN WITH SIZE	
WATER SERVICE	
SAWCUT (FULL DEPTH)	
SILT FENCE	

EXISTING

SANITARY MANHOLE	
WATER VALVE BOX	
FIRE HYDRANT	
WATER CURB STOP	
WELL	
STORM SEWER MANHOLE	
STORM SEWER SINGLE INTAKE	
STORM SEWER DOUBLE INTAKE	
FLARED END SECTION	
ROOF DRAIN/ DOWNSPOUT	
DECIDUOUS TREE	
CONIFEROUS TREE	
DECIDUOUS SHRUB	
CONIFEROUS SHRUB	
ELECTRIC POWER POLE	
GUY ANCHOR	
STREET LIGHT	
POWER POLE W/ TRANSFORMER	
UTILITY POLE W/ LIGHT	
ELECTRIC BOX	
ELECTRIC TRANSFORMER	
ELECTRIC MANHOLE OR VAULT	
TRAFFIC SIGN	
TELEPHONE JUNCTION BOX	
TELEPHONE MANHOLE/VAULT	
TELEPHONE POLE	
GAS VALVE BOX	
CABLE TV JUNCTION BOX	
CABLE TV MANHOLE/VAULT	
MAIL BOX	
BENCHMARK	
SOIL BORING	
UNDERGROUND TV CABLE	
GAS MAIN	
FIBER OPTIC	
UNDERGROUND TELEPHONE	
OVERHEAD ELECTRIC	
UNDERGROUND ELECTRIC	
FIELD TILE	
SANITARY SEWER W/ SIZE	
STORM SEWER W/ SIZE	
WATER MAIN W/ SIZE	



1-800-292-8989
www.iowaonecall.com

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

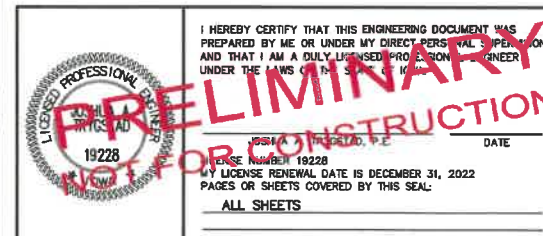


4121 NW URBANDALE DRIVE, URBANDALE, IA 50322
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 2104.259

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF WEST DES MOINES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, THE 1993 DES MOINES METRO DESIGN STANDARDS WITH THE WEST DES MOINES ADDENDA, THE WEST DES MOINES WATER WORKS GENERAL SUPPLEMENTAL SPECIFICATIONS FOR WATER INFRASTRUCTURE, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.



JORDAN CREEK POINT - 2104.259

GENERAL NOTES

- THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS AND THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM CONSTRUCTION DIVISION 'CLINT CARPENTIER' (222-3490) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE, OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.

- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
- NO OUTDOOR DUMPSTERS ARE PROPOSED AT THIS TIME. TEMPORARY TURNAROUNDS SHALL BE ABLE TO HANDLE A MINIMUM VEHICLE OF 75,000 POUNDS.
- SIDEWALK DESIGN AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE PUBLIC ROW ACCESSIBILITY GUIDELINES (PROWAG).
- CHAPTER 12 OF THE 2013 EDITION OF THE STATEWIDE URBAN DESIGN STANDARDS (SUDAS) IS THE MOST CURRENT DESIGN REFERENCE MATERIAL AVAILABLE FOR CONSTRUCTION OF PUBLIC SIDEWALKS IN IOWA.
- ALL EASEMENTS ARE PROPOSED UNLESS OTHERWISE NOTED.

DEMOLITION NOTES

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE
 - E. ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

PAVEMENT THICKNESS

- | | |
|---------------------------------|-----------|
| 1. SIDEWALKS (PUBLIC / PRIVATE) | 4" P.C.C. |
| 2. LIGHT-DUTY PAVEMENT | 6" P.C.C. |
| 3. HEAVY-DUTY PAVEMENT | 7" P.C.C. |
| 4. SIDEWALKS IN DRIVEWAYS | 7" P.C.C. |
| 5. DUMPSTER PADS | 8" P.C.C. |
| 6. TIE-IN PAVING WITHIN R.O.W. | 9" P.C.C. |

TRAFFIC CONTROL NOTES

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

GRADING NOTES

- PRIOR TO ANY GRADING ON SITE TAKES PLACE, A COPY OF THE NPDES PERMIT, AUTHORIZED BY THE IOWA DNR, SHALL BE PROVIDED TO THE CITY CHIEF BUILDING INSPECTOR, RVANGENDEREN@WDM-IA.COM OR FAX 515-273-0602.
- CONTACT PERSON RESPONSIBLE FOR ENSURING MUD AND ROCK ARE CLEANED OFF THE STREETS AND FOR INSTALLATION, PERIODIC CHECKING, AND REINSTALLATION OF EROSION CONTROL MEASURES IS: NICK NEWBURY, SITE INSPECTIONS LLC. PHONE: (515) 608-3296.
- ELEVATIONS AND CONTOURS ARE CITY OF WEST DES MOINES DATUM.
- CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
- ORDER TO ATTAIN FINAL CERTIFICATE OF OCCUPANCY APPROVAL DOCUMENTATION WILL BE REQUIRED FROM THE GENERAL CONTRACTOR VIA THE GRADING CONTRACTOR/SOIL EROSION CONTROL CONTRACTOR/OR THE PROJECT CIVIL ENGINEER THAT THE PROJECT MEETS THE CURRENT TOPSOIL PRESERVATION REQUIREMENTS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR).
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP-OF-SLAB (TS) UNLESS OTHERWISE NOTED.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 2.00% CONSTRUCTED.
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- SEE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
- FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
- SIDEWALKS:
 - A. MAINTAIN A 4.75% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 1.5% TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
 - B. PRIVATE STREETS AND UTILITIES SHALL BE MAINTAINED BY THE OWNER. TO INCLUDE:
 - 1. DETENTION POND AND APPURTENANCES
 - 2. PRIVATE STORM SEWER
 - 3. ALL INTERNAL CIRCULATION ROADS
- ANY PIPING AND GRADING INTO/ADJACENT TO THE GREENWAY WILL NEED TO BE FULLY STABILIZED PRIOR TO COMPLETION OF THIS PROJECT. THESE SLOPES WILL NEED TO BE IN A CONDITION AS TO NOT CREATE ANY FUTURE MAINTENANCE ISSUES FOR THE RESIDENTS OF THESE DEVELOPMENTS, OR FOR THE CITY WITHIN THE ADJACENT GREENWAYS.
- THE PROPOSED SLOPE ON THE DOWNSIDE OF THE DETENTION BASIN AND ITS ADJACENT STREAMBANK SHALL BE CONSIDERED PART OF THE DETENTION FACILITY, AND AS SUCH SHALL BE MAINTAINED BY THE DEVELOPER AND OR/ITS ASSIGNEES.

UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WEST DES MOINES PLUMBING CODE.
- 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND WATER MAIN AND CONSTRUCT SEWER WITH GASKETED JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8889 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
- ALL SANITARY SEWER SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE WDM STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
- ALL SANITARY SEWER MH'S WITHIN PAVING SHALL HAVE A 3 PIECE CASTING. IF AN EXISTING PUBLIC SANITARY SEWER MH IS REPLACED WITH A 3 PIECE CASTING PUBLIC WORKS WILL NEED TO BE CONTACTED TO PICK UP THE OLD CASTING. CONTACT JASON SCHLUCKBERND ENGINEERING SERVICES 222-3620.
- COORDINATE IRRIGATION METER AND BACKFLOW PREVENTION DEVICE LOCATIONS WITH WDM AND CITY OF WDM PLANNING DEPARTMENT BEFORE INSTALLATION IF IRRIGATION IS DESIRED. THE PIT AND/OR BACKFLOW PREVENTION DEVICE MAY REQUIRE SCREENING.

LANDSCAPE NOTES

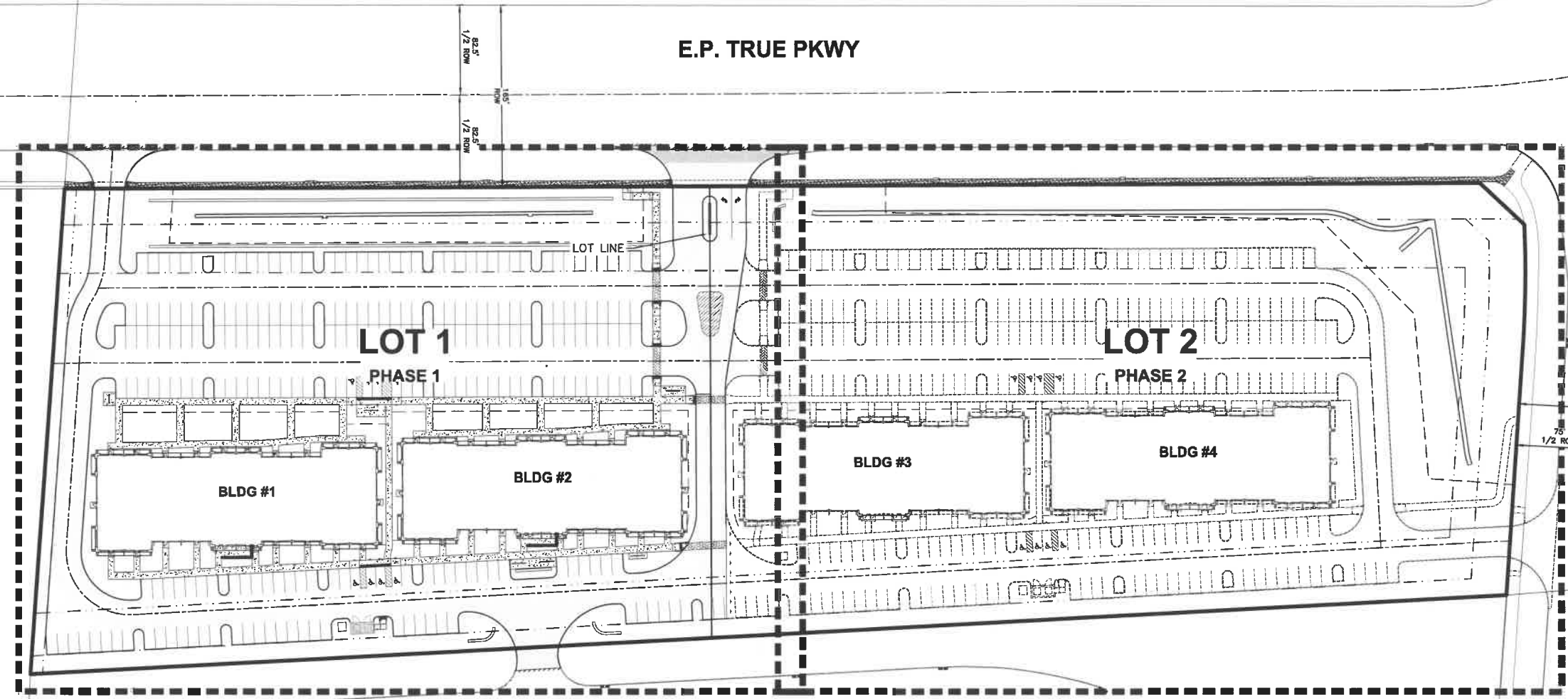
- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
- BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
- ALL EDGING SHALL BE SPADE CUT EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

FILED IN WEST DES MOINES, IOWA, AT THE OFFICE OF THE REGISTERED PROFESSIONAL ENGINEER, CIVIL, J. J. HARRIS, INC. 12:10 PM, 05/04/2011.

DATE	03/28/2011	REVISIONS	REVISED FOURTH SUBMITTAL	FOURTH SUBMITTAL	THIRD SUBMITTAL	SECOND SUBMITTAL	FIRST SUBMITTAL
4121 NW URBANDALE DRIVE URBANDALE, IOWA 50111 PHONE: (515) 389-4400 FAX: (515) 389-4410							
CIVIL DESIGN ADVANTAGE ENGINEER: JAT							
DRAFTED:							
WEST DES MOINES, IOWA							

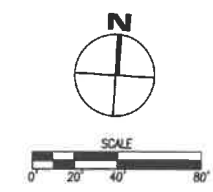
JORDAN CREEK POINT
NOTES

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DATE PLOTTED: 3/29/2024 12:20 PM
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SHEETS C3.1, C4.1, C6.1

SHEETS C3.2, C4.2, C6.2



DATE	03/25/2024
REVISED FOURTH SUBMITTAL	03/22/2024
FOURTH SUBMITTAL	03/19/2024
THIRD SUBMITTAL	02/17/2024
SECOND SUBMITTAL	02/12/2024
FIRST SUBMITTAL	

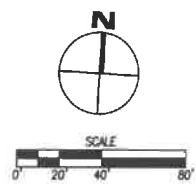
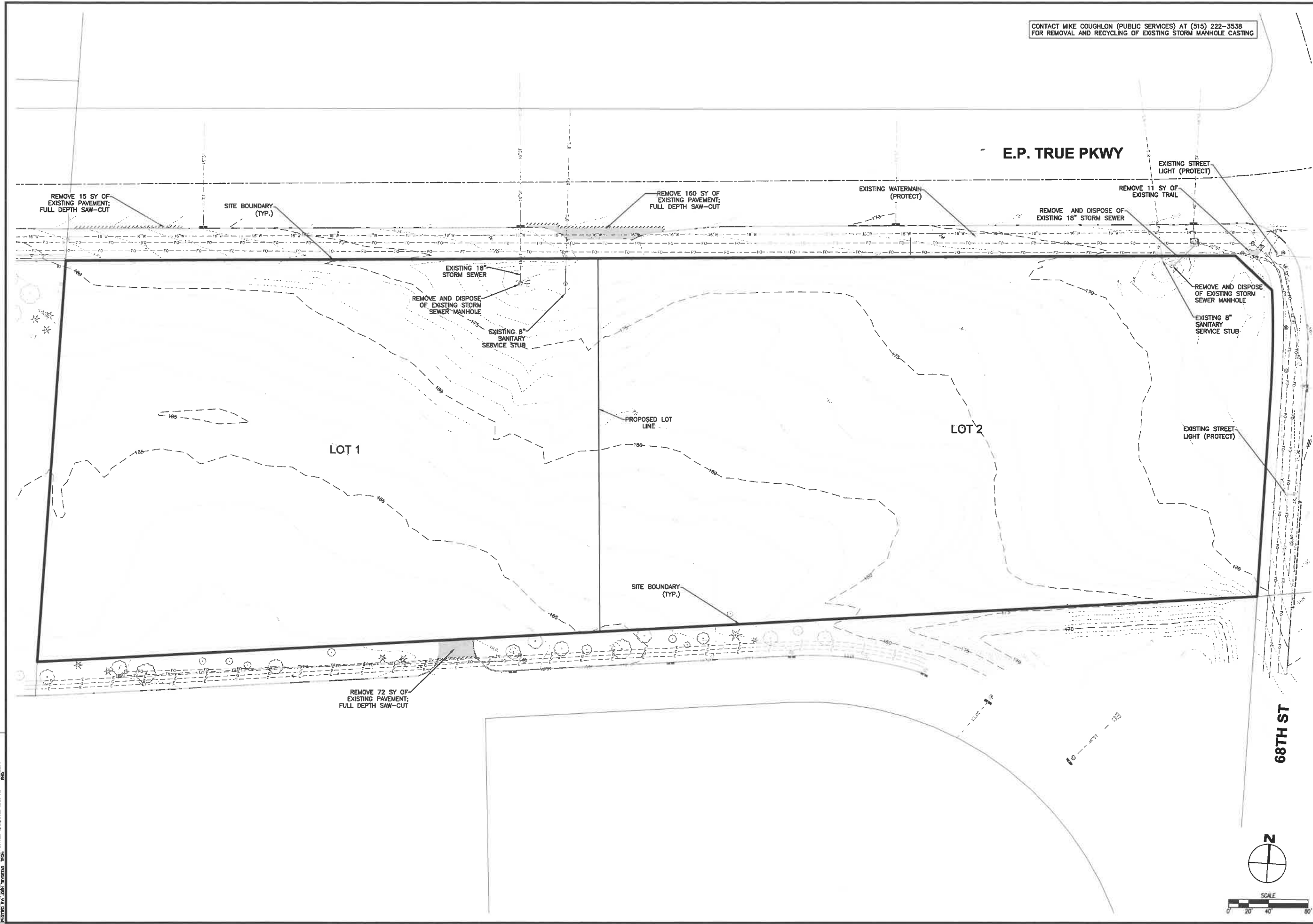
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

ESA CIVIL DESIGN ADVANTAGE
WEST DES MOINES, IOWA
ENGINEER: JAT
DRAFTED:

JORDAN CREEK POINT
SHEET REFERENCE

SHEET NUMBER:
C1.3
2104.259

CONTACT MIKE COUGHLON (PUBLIC SERVICES) AT (515) 222-3538 FOR REMOVAL AND RECYCLING OF EXISTING STORM MANHOLE CASTING



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DRAWN BY: JAT
CHECKED BY: JAT

COMMENTS:
DATE: 7/25/24 12:20 PM
SCALE: AS SHOWN

REVISIONS	DATE
REVISED FOURTH SUBMITTAL:	03/25/2022
FOURTH SUBMITTAL:	03/22/2022
THIRD SUBMITTAL:	03/10/2022
SECOND SUBMITTAL:	02/17/2022
FIRST SUBMITTAL:	01/12/2022

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: JAT
DRAFTED:

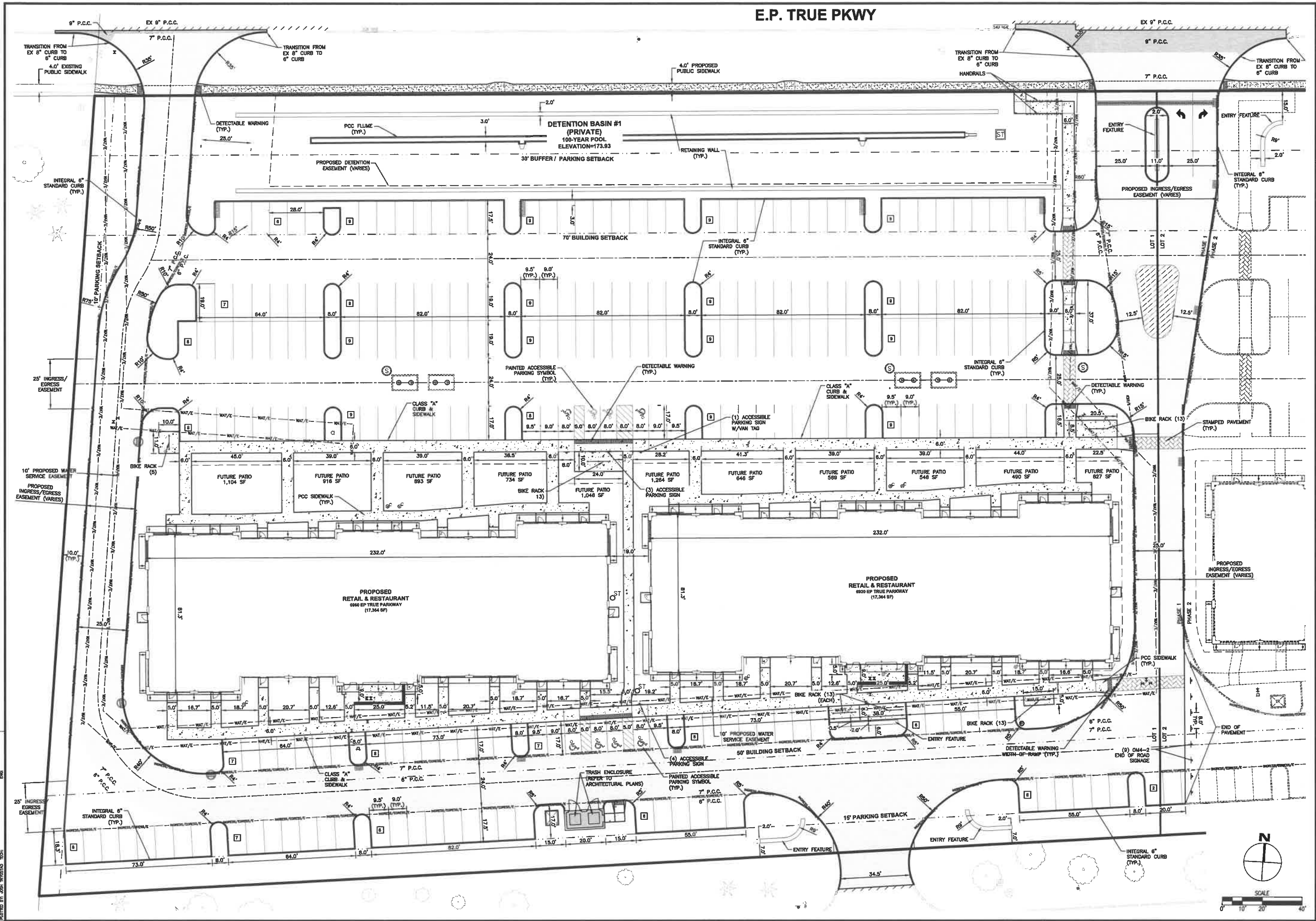


WEST DES MOINES, IOWA

JORDAN CREEK POINT TOPOGRAPHIC SURVEY/DEMOLITION PLAN

SHEET NUMBER:
C2.1
2104.259

E.P. TRUE PKWY



JORDAN CREEK POINT
DIMENSION PLAN

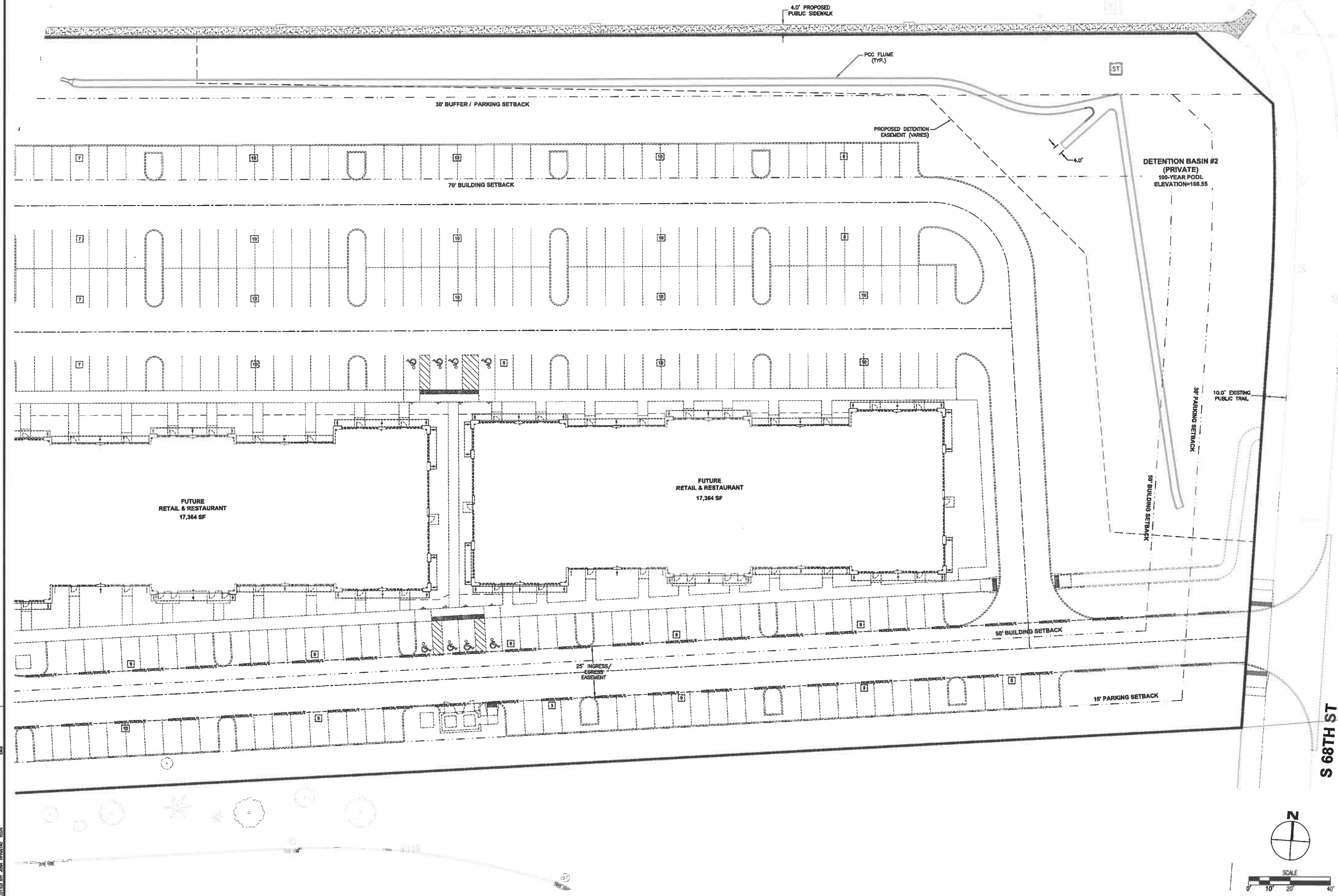
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 SECOND SUBMITTAL: 02/17/2022
 FIRST SUBMITTAL: 02/17/2022

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

WEST DES MOINES, IOWA
 CIVIL DESIGN ADVANTAGE
 ENGINEER: JAT
 DRAFTED:

SHEET NUMBER:
C3.1
 2104.259

E.P. TRUE PKWY



DATE	REVISIONS
03/25/2020	REVISED FOURTH SUBMITTAL:
03/22/2020	FOURTH SUBMITTAL:
03/19/2020	THIRD SUBMITTAL:
02/17/2020	SECOND SUBMITTAL:
01/17/2020	FIRST SUBMITTAL:

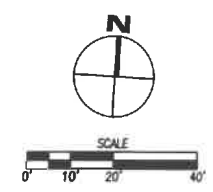
4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410



WEST DES MOINES, IOWA
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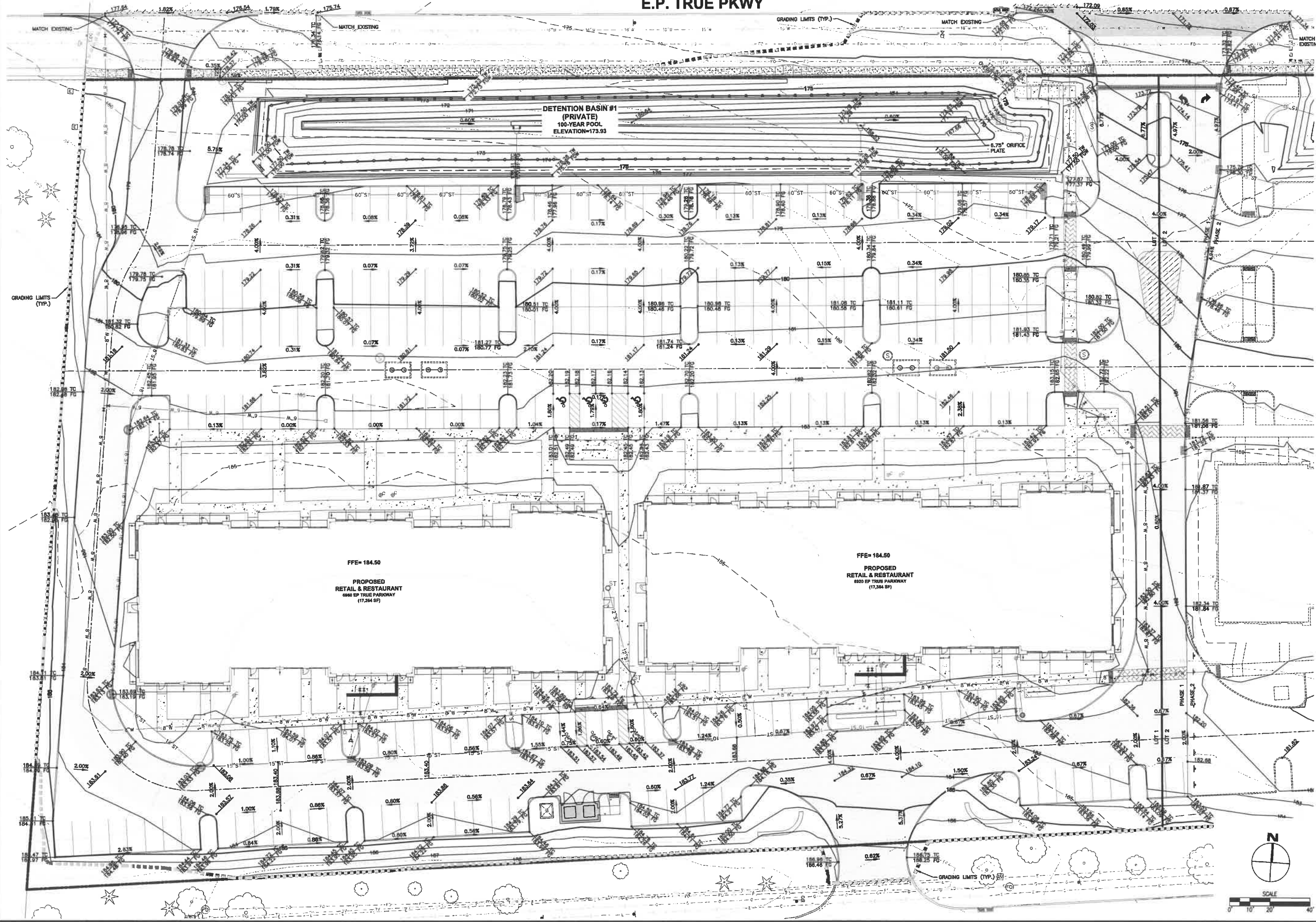
JORDAN CREEK POINT
DIMENSION PLAN

SHEET NUMBER:
C3.2
 2104.259



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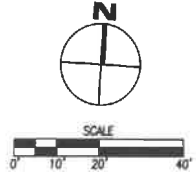
E.P. TRUE PKWY



DETENTION BASIN #1
(PRIVATE)
100-YEAR POOL
ELEVATION=173.93

FFE= 184.50
PROPOSED
RETAIL & RESTAURANT
690 EP TRUE PARKWAY
(17,364 SF)

FFE= 184.50
PROPOSED
RETAIL & RESTAURANT
690 EP TRUE PARKWAY
(17,364 SF)



DATE	REVISIONS
09/25/2022	REVISED FOURTH SUBMITTAL:
09/22/2022	FOURTH SUBMITTAL:
09/19/2022	THIRD SUBMITTAL:
09/17/2022	SECOND SUBMITTAL:
09/12/2022	FIRST SUBMITTAL:

4121 NW URBANDALE DRIVE
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PHONE: (515) 369-4400 FAX: (515) 369-4410



CIVIL DESIGN ADVANTAGE
WEST DES MOINES, IOWA

JORDAN CREEK POINT
GRADING PLAN

SHEET NUMBER:
C4.1
2104.259

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E.P. TRUE PKWY

GRADING LIMITS (TYP.)

DETENTION BASIN #2
(PRIVATE)
100-YEAR POOL
ELEVATION=168.55

1.00' BUILDING STEP
(TYP.)

FUTURE
RETAIL & RESTAURANT

1.00' BUILDING STEP
(TYP.)

FUTURE
RETAIL & RESTAURANT

CONTRACTOR SHALL GRADE TO DRAIN.
(GRADE INTERIM SWALE TO CAPTURE
SITE SHEET FLOW DRAINAGE)

S 68TH ST



SCALE
0 10 20 40

JORDAN CREEK POINT
GRADING PLAN



4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

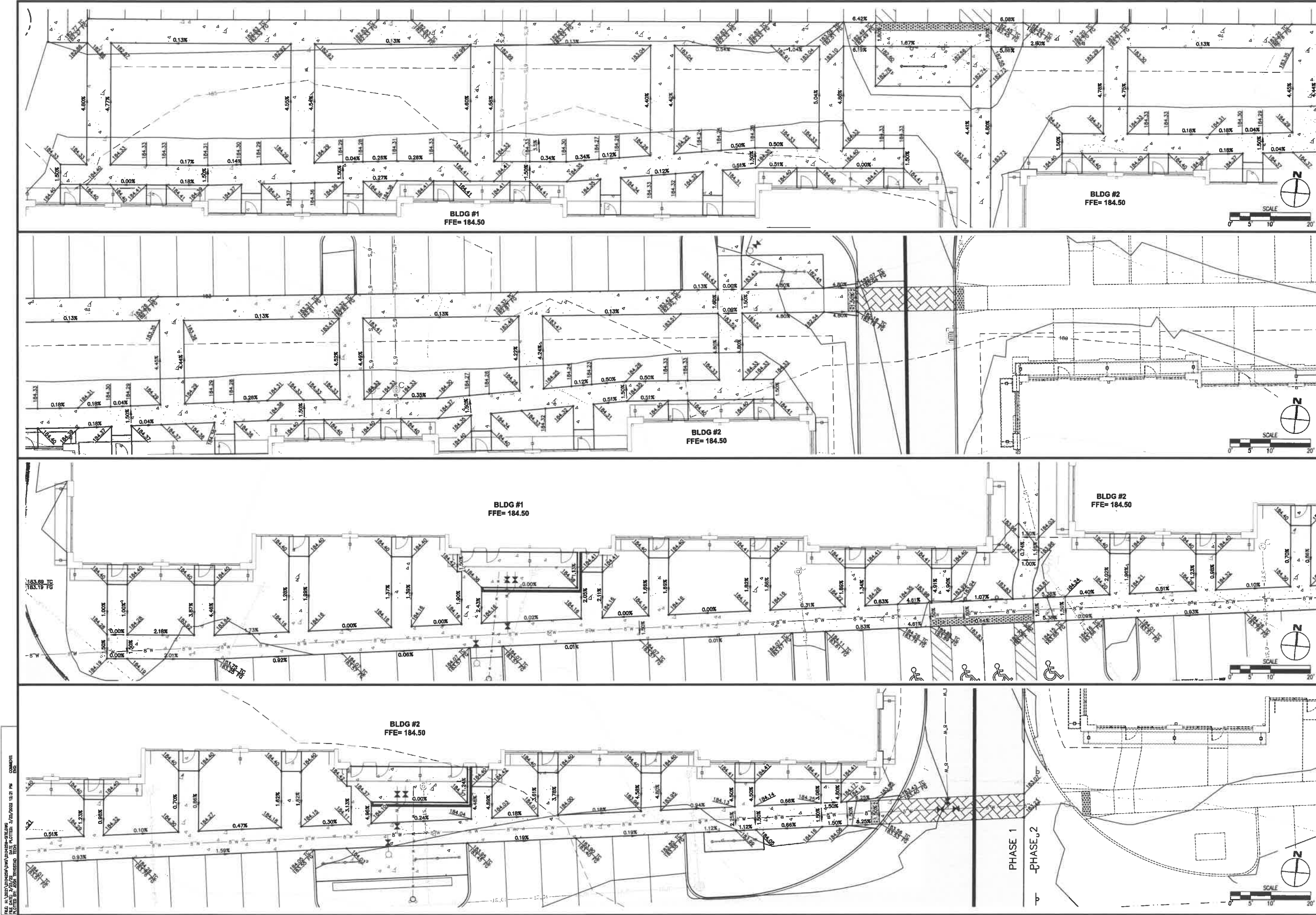
REVISIONS

DATE	REVISIONS
03/25/2022	REVISED FOURTH SUBMITTAL
03/22/2022	FOURTH SUBMITTAL
03/17/2022	THIRD SUBMITTAL
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SHEET NUMBER:
C4.2
2104.259



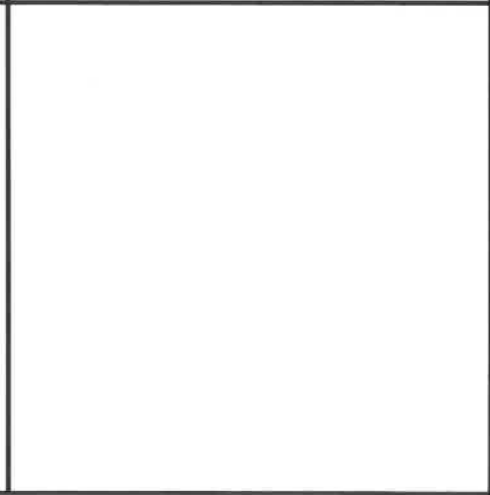
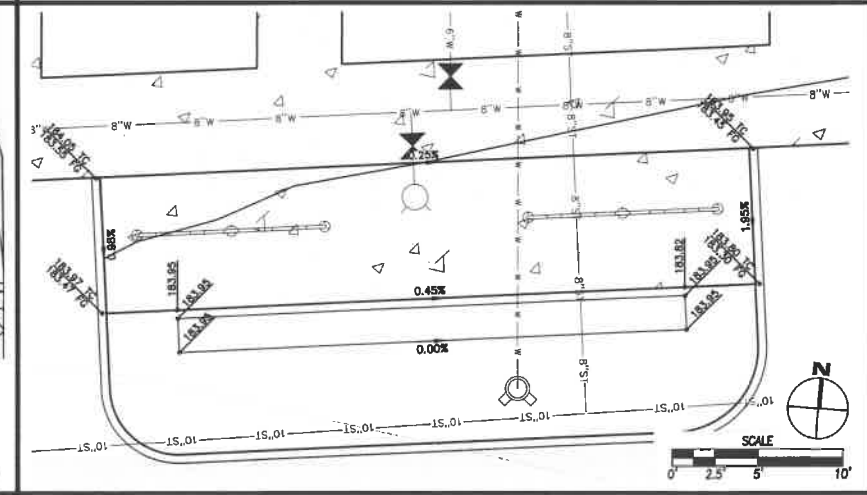
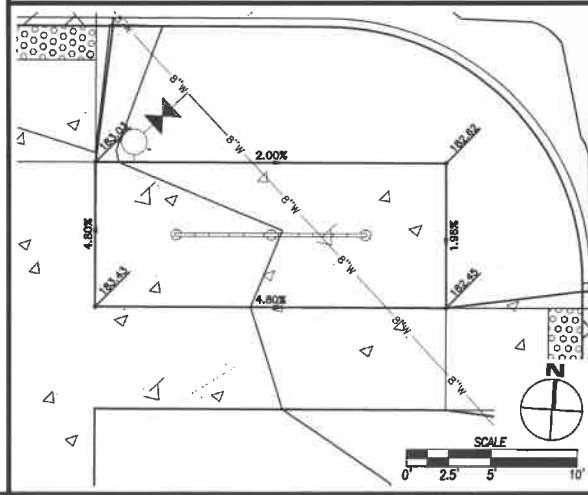
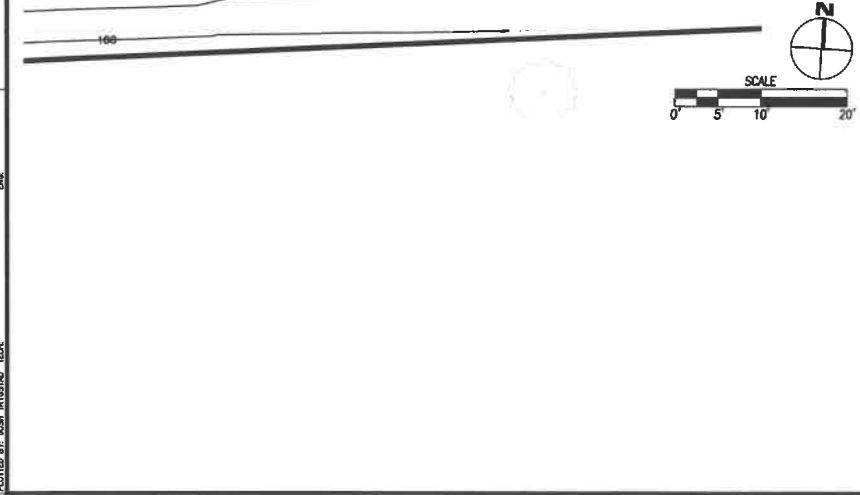
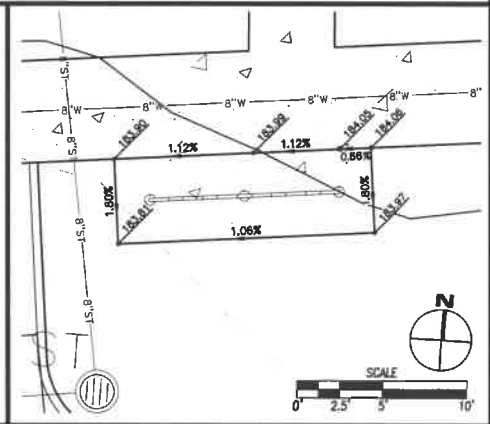
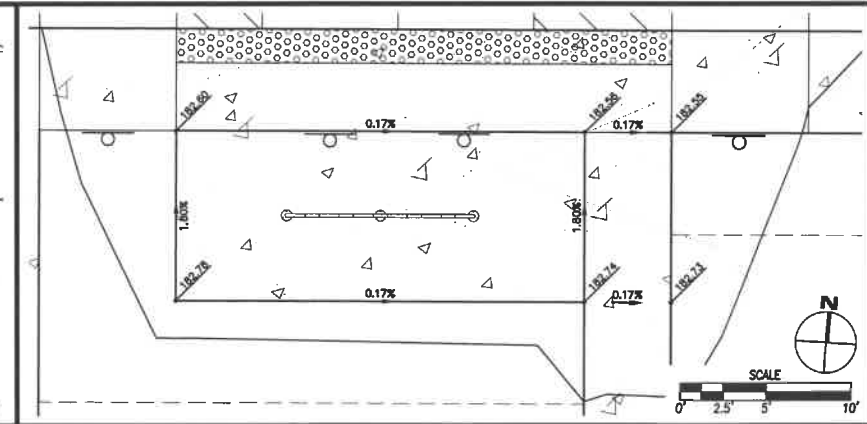
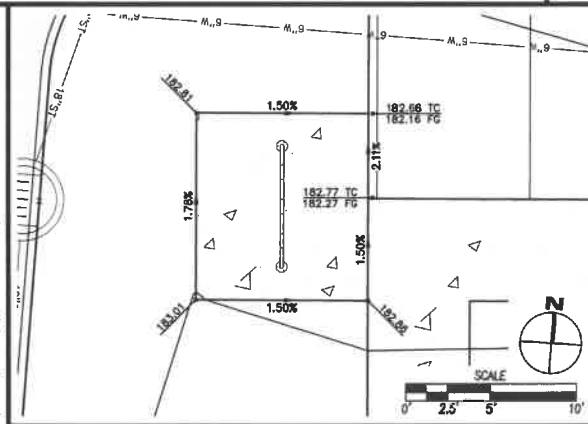
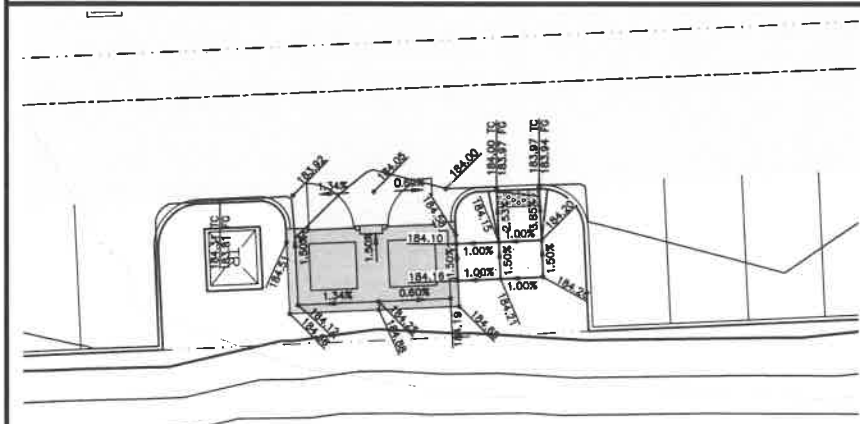
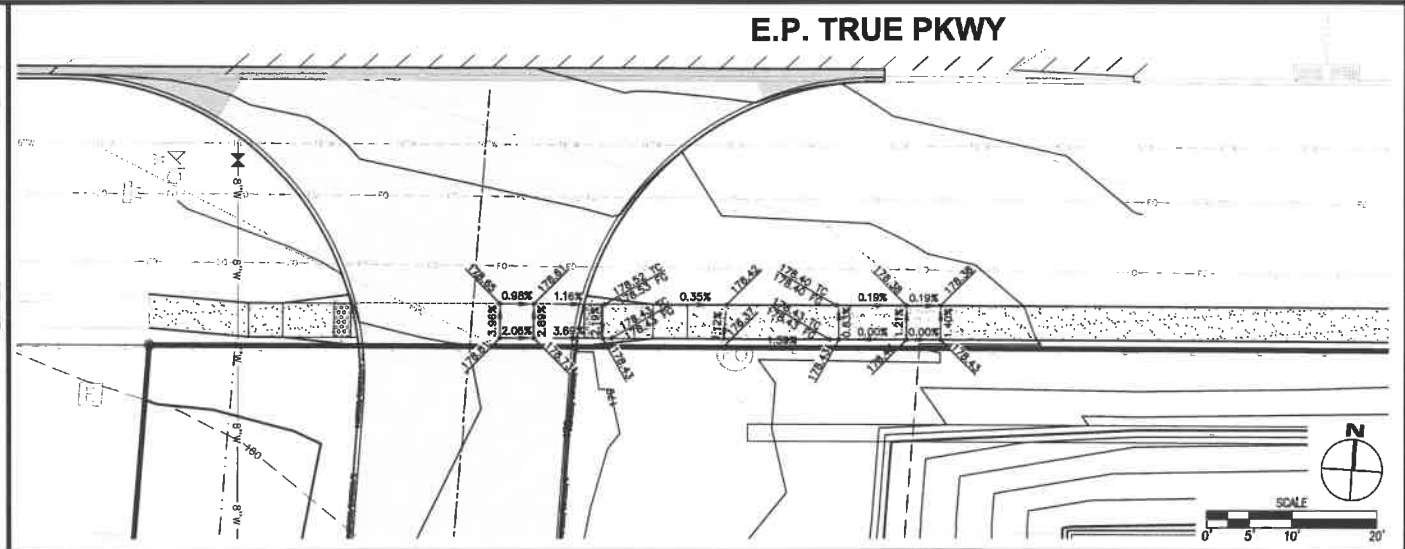
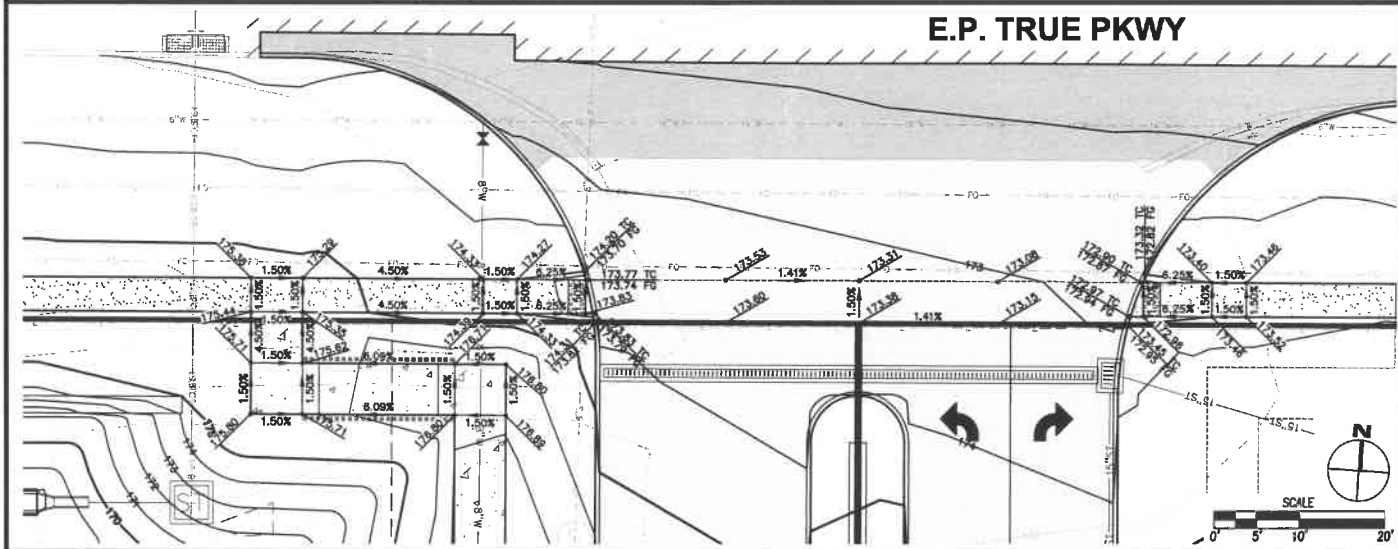
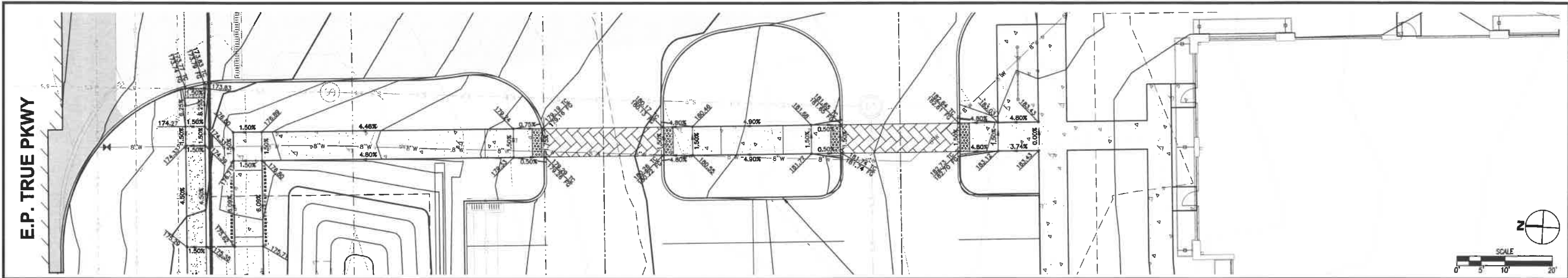
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<p>DATE 03/29/2022</p> <p>REVISED FOURTH SUBMITTAL: 03/29/2022</p> <p>THIRD SUBMITTAL: 03/17/2022</p> <p>SECOND SUBMITTAL: 02/17/2022</p> <p>FIRST SUBMITTAL: 01/27/2022</p>	<p>REVISIONS</p> <p>4121 NW URBANDALE DRIVE URBANDALE, IOWA 50111 PHONE: (515) 369-4400 FAX: (515) 369-4410</p>	<p>DRAFTED: ENGINEER: JAT</p>
<p>CIVIL DESIGN ADVANTAGE</p> <p>WEST DES MOINES, IOWA</p>		
<p>JORDAN CREEK POINT</p> <p>GRADING PLAN</p>		
<p>SHEET NUMBER: C4.3 2104.259</p>		

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 COMMENT: C4.4



DATE	03/25/2022
REVISED FOURTH SUBMITTAL	03/27/2022
FOURTH SUBMITTAL	03/10/2022
THIRD SUBMITTAL	02/17/2022
SECOND SUBMITTAL	02/17/2022
FIRST SUBMITTAL	01/12/2022

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

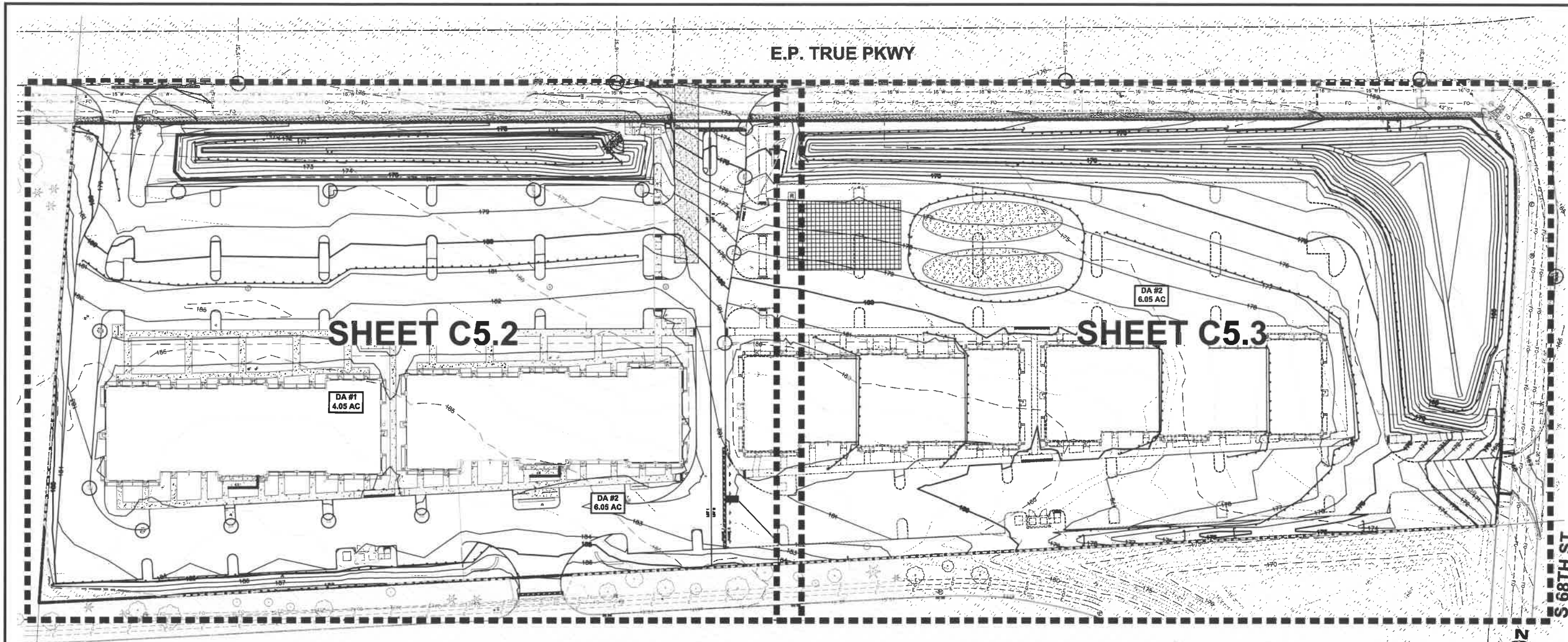
JORDAN CREEK POINT
GRADING PLAN

WEST DES MOINES, IOWA

CIVIL DESIGN ADVANTAGE

ENGINEER: JAT
 DRAFTED:

SHEET NUMBER:
C4.4
 2104.259



REVISIONS	DATE
REVISED FOURTH SUBMITTAL	03/26/2022
FOURTH SUBMITTAL	03/22/2022
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FIRST SUBMITTAL	01/12/2022

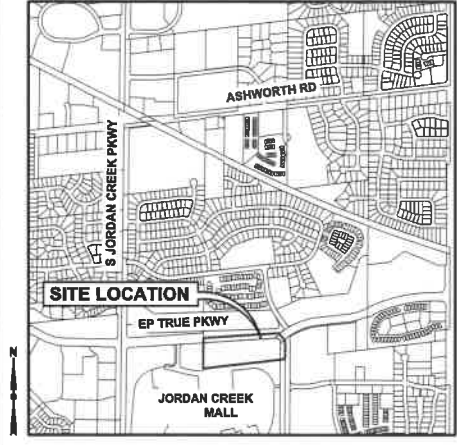
4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410



JORDAN CREEK POINT
EROSION & SEDIMENT CONTROL PLAN REFERENCE
 WEST DES MOINES, IOWA

SHEET NUMBER:
C5.1
 2104.259

VICINITY MAP
 NOT TO SCALE



- NOTES:**
- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
 - DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
 - STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.

SWPPP LEGEND

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM
- TEMPORARY STANDPIPE
- CONCRETE WASHOUT PIT
- AREA TO BE SEEDED
- STRAW MAT
- UNDISTURBED AREA
- RIP-RAP
- GRAVEL ENTRANCE
- STAGING AREA
- TEMPORARY SEDIMENT BASIN

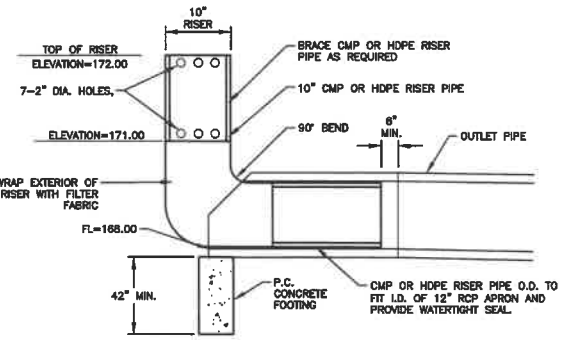
DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO UNNAMED TRIBUTARY OF JORDAN CREEK ±200 FT	4.05 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	14,580 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN FILTER SOCK (175 LF @ 2.0 CU FT/LF OF SOCK)	350 CU FT
VOLUME PROVIDED IN SILT FENCE (1,710 LF @ 4.5 CU FT/LF OF FENCE)	7,695 CU FT
VOLUME PROVIDED IN TSB #1	16,819 CU FT
TOTAL VOLUME PROVIDED	24,664 CU FT

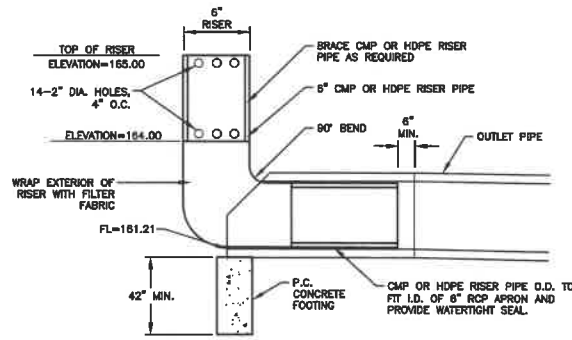
DISCHARGE POINT #2 TO UNNAMED TRIBUTARY OF JORDAN CREEK ±200 FT	6.05 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	21,780 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN FILTER SOCK (167 LF @ 2.0 CU FT/LF OF SOCK)	334 CU FT
VOLUME PROVIDED IN SILT FENCE (3,568 LF @ 4.5 CU FT/LF OF FENCE)	16,056 CU FT
VOLUME PROVIDED IN TSB #2	40,389 CU FT
TOTAL VOLUME PROVIDED	56,789 CU FT

STABILIZATION QUANTITIES

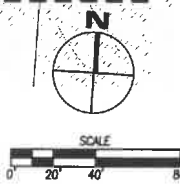
ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	5,278
2	FILTER SOCK	LF	342
3	SEEDING, FERTILIZING, AND MULCHING	AC	10.72
4	INLET PROTECTION DEVICES	EA	19
5	CONCRETE WASHOUT PIT	EA	1



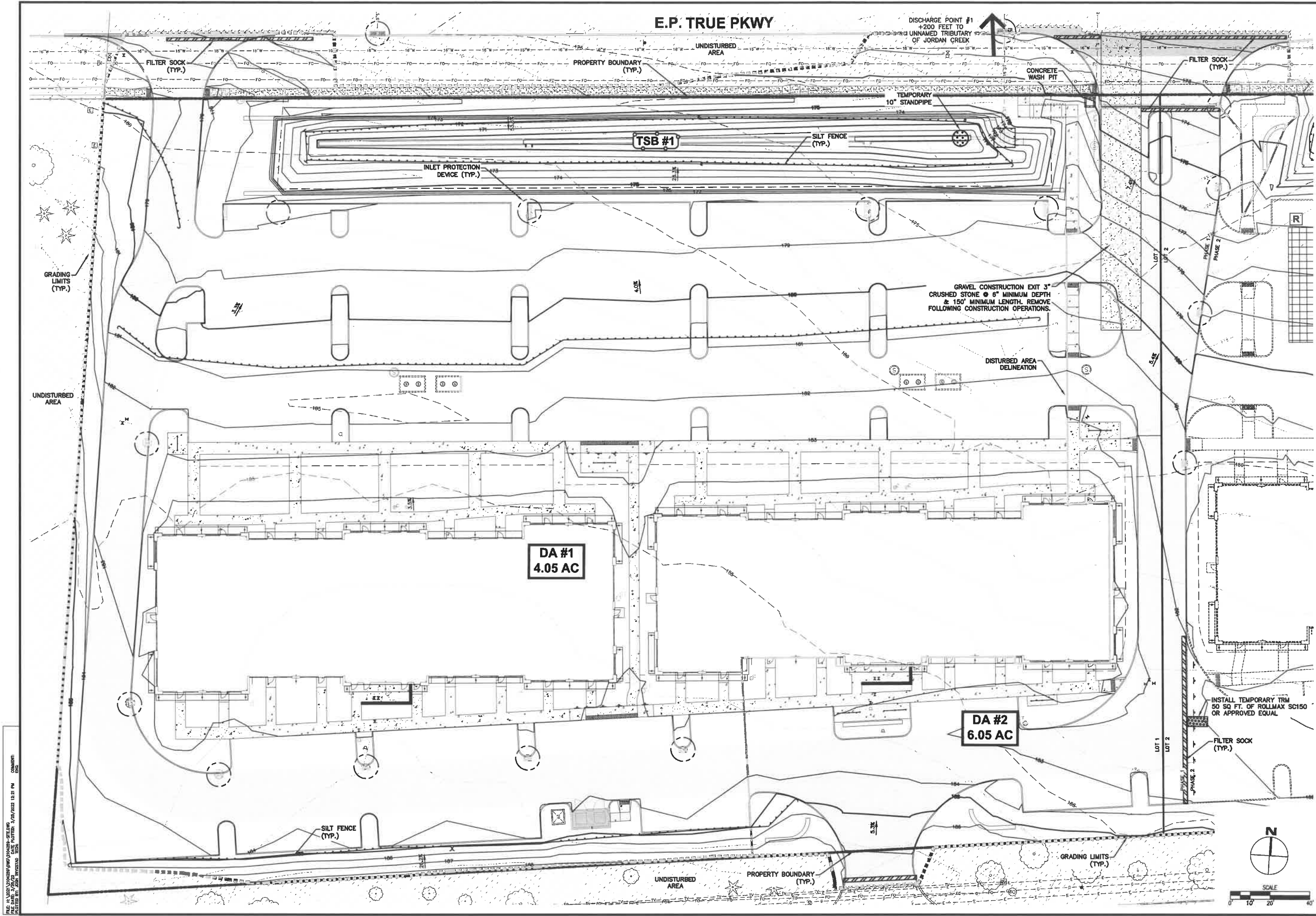
**TEMPORARY STAND PIPE
 TSB #1**



**TEMPORARY STAND PIPE
 TSB #2**



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 PLOTTER: HP DesignJet T1100e



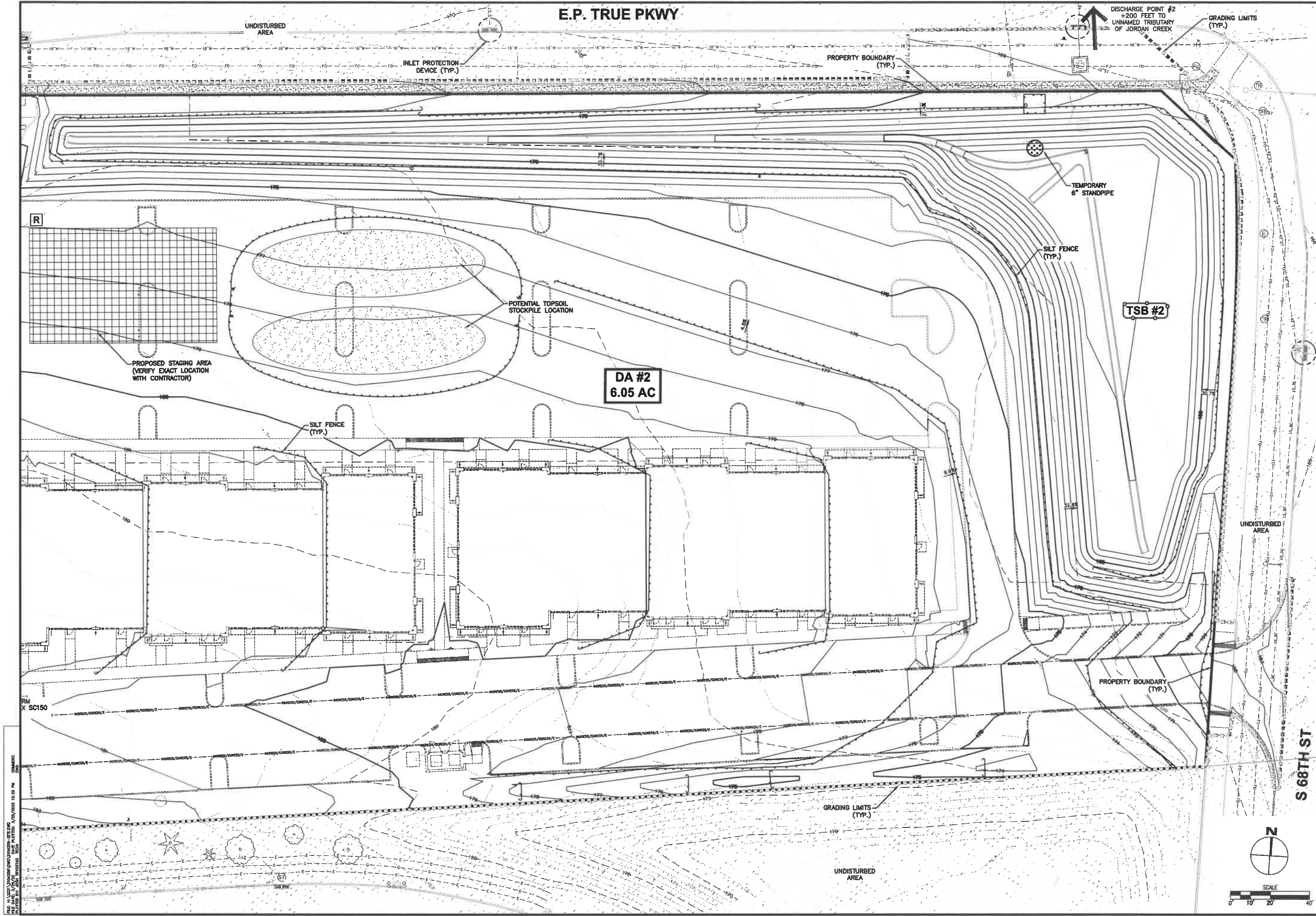
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REVISIONS REVISIONS REVISIONS REVISIONS REVISIONS	DATE	03/25/2024
	REVISED FOURTH SUBMITTAL	03/22/2024
	FOURTH SUBMITTAL	03/10/2024
	THIRD SUBMITTAL	02/17/2024
	SECOND SUBMITTAL	02/15/2024

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 CIVIL DESIGN ADVANTAGE ENGINEER: JAT DRAFTED:

JORDAN CREEK POINT
EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:
C5.2
 2104.259



E.P. TRUE PKWY

DA #2
6.05 AC

TSB #2

REVISIONS	DATE
REVISED FOURTH SUBMITTAL	03/25/2022
FOURTH SUBMITTAL	03/22/2022
THIRD SUBMITTAL	03/10/2022
SECOND SUBMITTAL	02/17/2022
FIRST SUBMITTAL	01/25/2022

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410



WEST DES MOINES, IOWA
ENGINEER: JAT
DRAFTED:

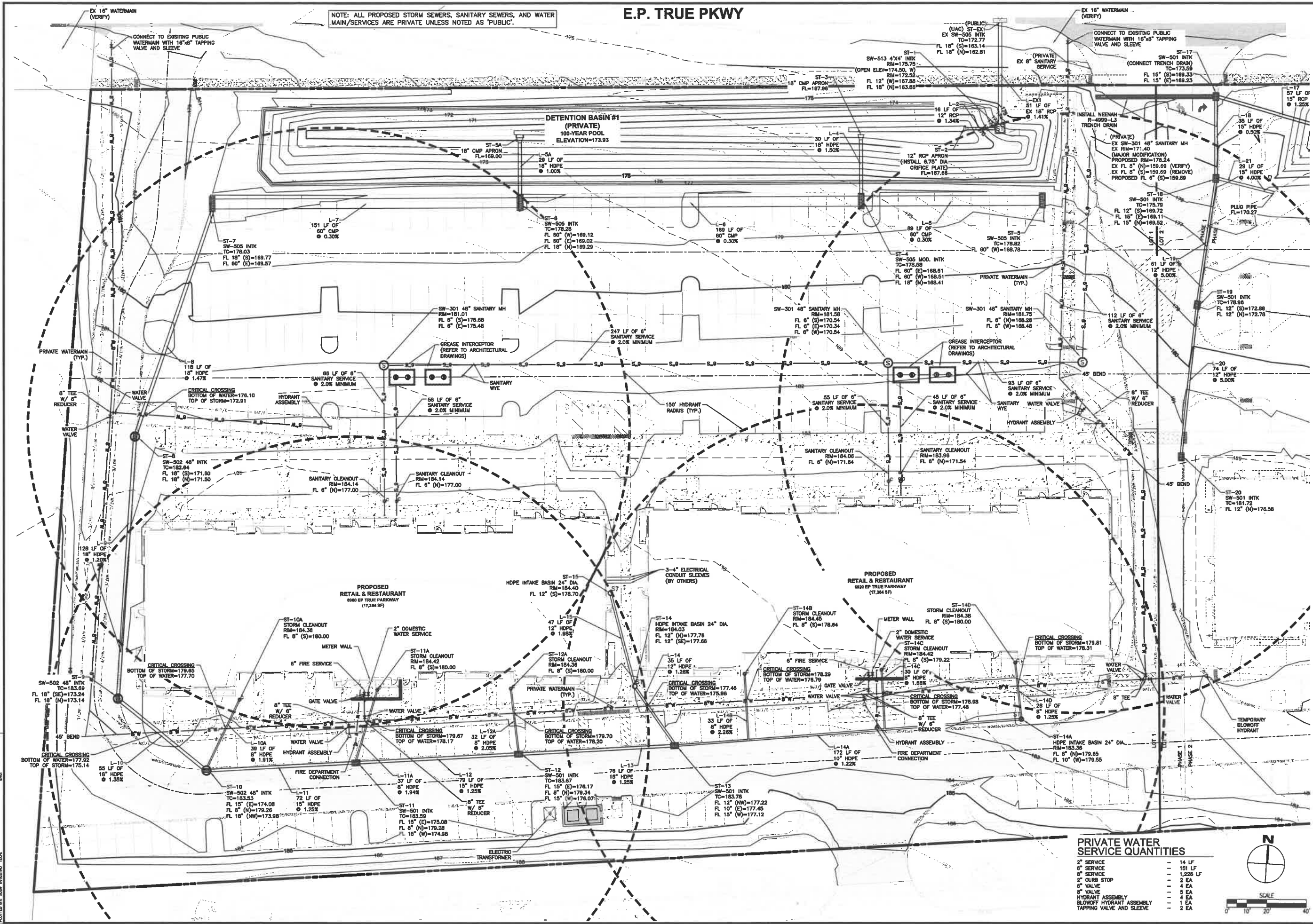
JORDAN CREEK POINT
EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:
C5.3
2104.259

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PLOTTER: HP DesignJet 5000 Series
PLOT SCALE: 1"=20'

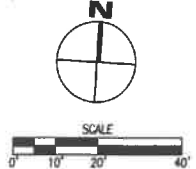
E.P. TRUE PKWY

NOTE: ALL PROPOSED STORM SEWERS, SANITARY SEWERS, AND WATER MAIN/SERVICES ARE PRIVATE UNLESS NOTED AS 'PUBLIC'.



PRIVATE WATER SERVICE QUANTITIES

2" SERVICE	14 LF
6" SERVICE	161 LF
8" SERVICE	1,226 LF
2" CURB STOP	2 EA
6" VALVE	4 EA
8" VALVE	5 EA
HYDRANT ASSEMBLY	4 EA
BLOWOFF HYDRANT ASSEMBLY	1 EA
TAPPING VALVE AND SLEEVE	2 EA



JORDAN CREEK POINT
UTILITY PLAN

WEST DES MOINES, IOWA

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

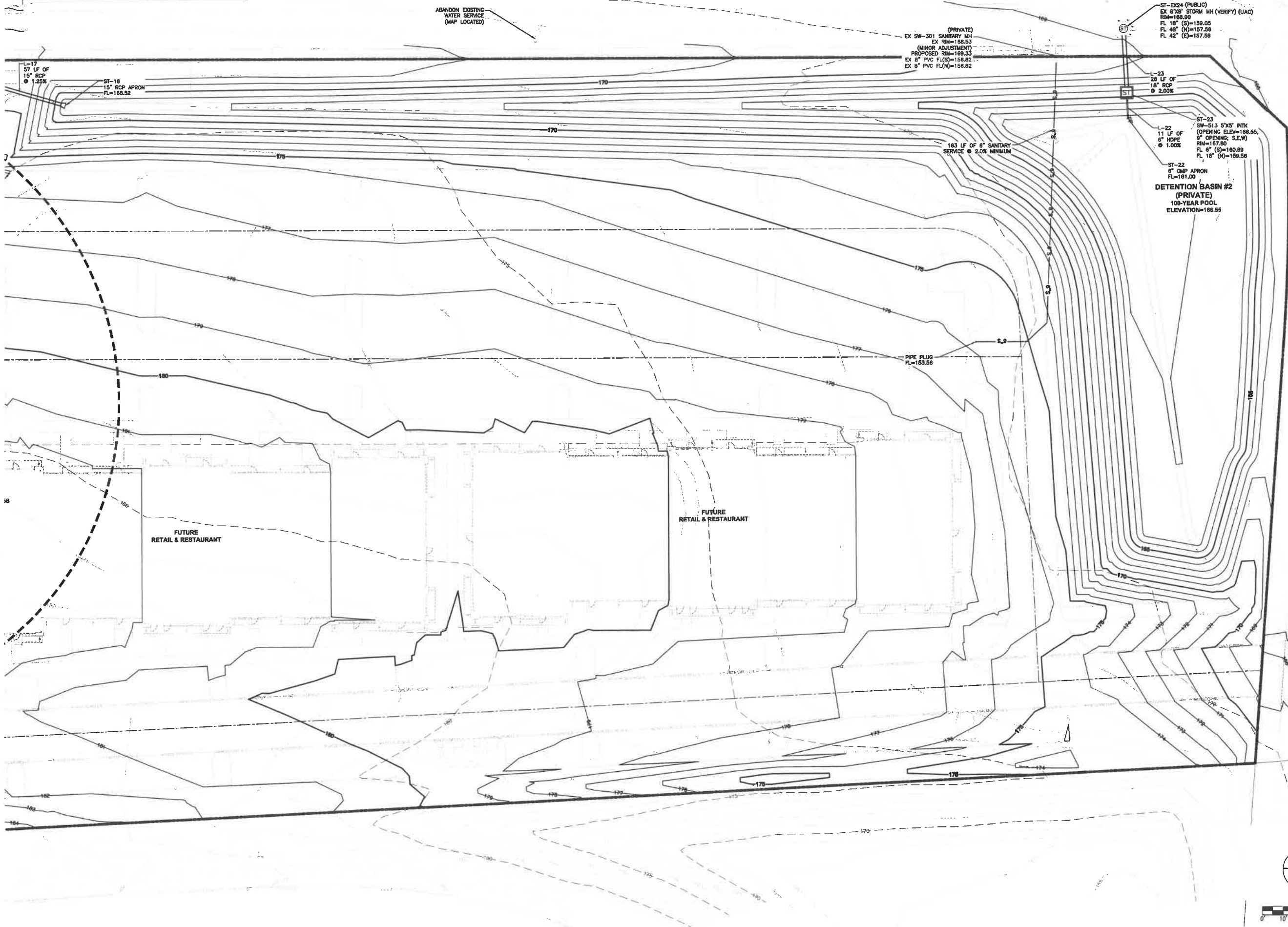
ENGINEER: JAT

DATE: 03/25/2013
REVISED FOURTH SUBMITTAL: 03/25/2013
FOURTH SUBMITTAL: 03/19/2013
THIRD SUBMITTAL: 03/19/2013
SECOND SUBMITTAL: 03/19/2013
FIRST SUBMITTAL: 03/19/2013

SHEET NUMBER: **C6.1**
2104.259

NOTE: ALL PROPOSED STORM SEWERS, SANITARY SEWERS, AND WATER MAIN/SERVICES ARE PRIVATE UNLESS NOTED AS 'PUBLIC'.

E.P. TRUE PKWY



DATE	03/27/2002
REVISED FOURTH SUBMITTAL	03/27/2002
FOURTH SUBMITTAL	03/19/2002
THIRD SUBMITTAL	02/17/2002
SECOND SUBMITTAL	01/17/2002
REVISIONS	

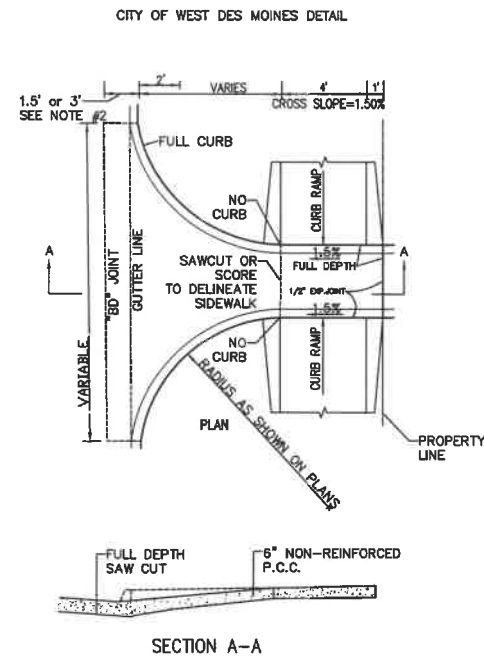
4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50111 389-4410
 PHONE: (515) 369-4400 FAX: (515) 389-4410
 CIVIL DESIGN ADVANTAGE ENGINEER: JAT DRAFTED:

WEST DES MOINES, IOWA

JORDAN CREEK POINT
 UTILITY PLAN

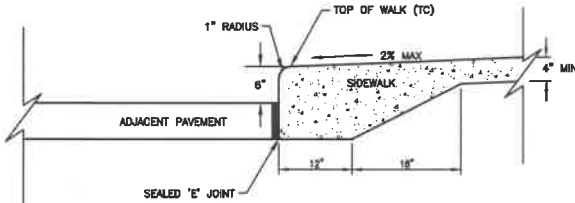
SHEET NUMBER:
C6.2
 2104.259

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 PLOT BY: JAT

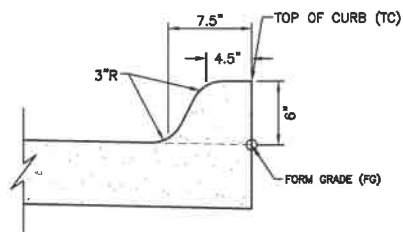


NOTES:
 1. BEFORE THE CONCRETE IS PLACED, THE SAW CUT JOINTS SHALL BE COMPLETELY CLEANED OF ALL LOOSE CONCRETE OR FOREIGN MATERIAL.
 2. SAW CUT AND REMOVE EXISTING CONCRETE PAVEMENT A WIDTH OF 3' WHEN EXISTING JOINT IS 3' FROM BACK OF CURB.
 3. SAW CUT PAVEMENT JOINTS IN GENERAL CONFORMANCE WITH PORTLAND CEMENT CONCRETE INTERSECTION DETAILS.

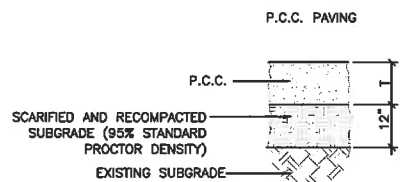
8 DRIVEWAY DETAIL
 NOT TO SCALE



4 CLASS "A" INTEGRAL CURB AND SIDEWALK W/ SPOT ELEVATION REFERENCE
 NOT TO SCALE



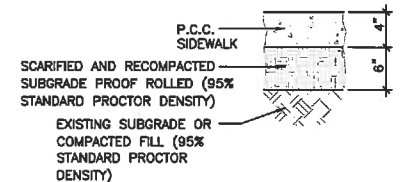
5 6" STANDARD CURB W/ SPOT ELEVATION REFERENCE
 NOT TO SCALE



THICKNESS 'T'	
PAVING TYPE	P.C.C.
LIGHT DUTY	6"
HEAVY DUTY	7"
PUBLIC	9"

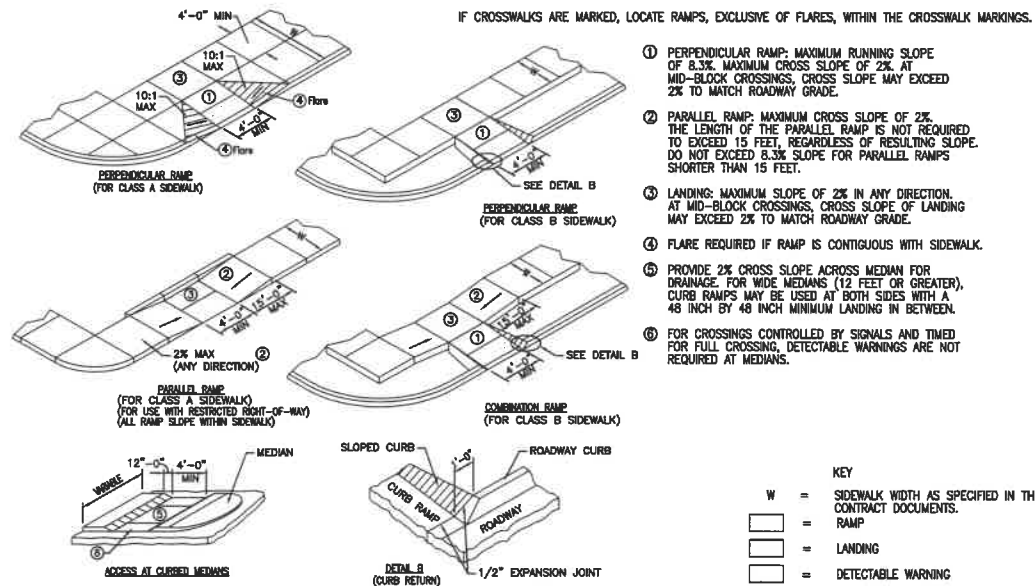
NOTE:
 1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.

6 P.C.C. PAVING
 NOT TO SCALE



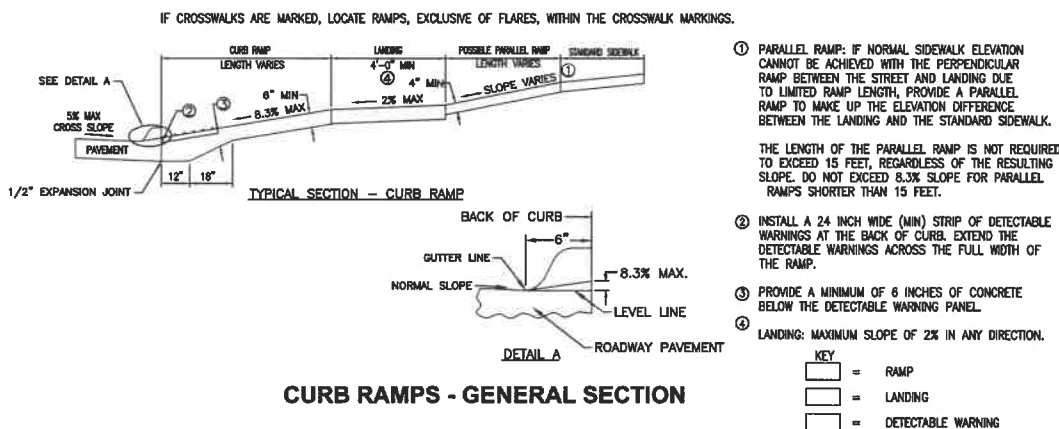
NOTE:
 1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING.

7 P.C.C. SIDEWALK
 NOT TO SCALE



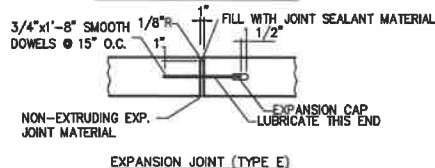
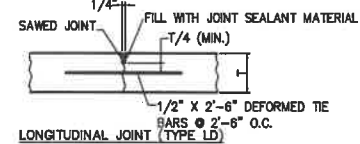
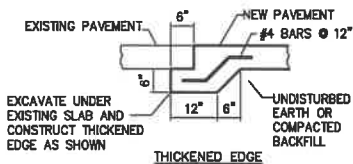
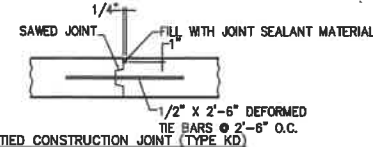
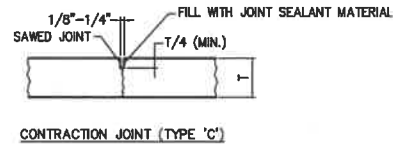
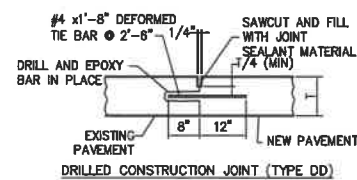
CURB RAMPS OUTSIDE OF INTERSECTION RADIUS

1 CURB RAMPS OUTSIDE OF INTERSECTION
 NOT TO SCALE



CURB RAMPS - GENERAL SECTION

2 CURB RAMPS - GENERAL SECTION
 NOT TO SCALE



3 PAVEMENT JOINTING
 NOT TO SCALE

FILE: H:\2024\124045\124045.dwg - 12/10/2024 10:22 AM
 PLOT DATE: 3/25/2025
 PLOTTER: HP DesignJet T1200
 COMMENT: 3/25/2025 10:22 AM

JORDAN CREEK POINT
DETAILS

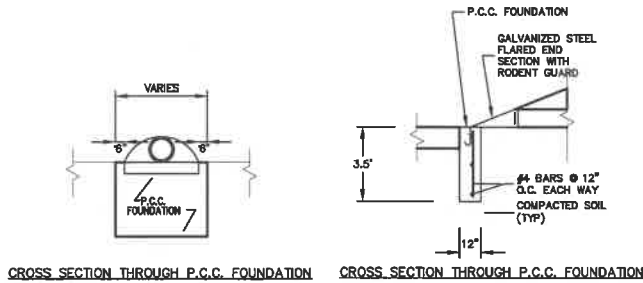
DATE	03/25/2022
REVISED FOURTH SUBMITTAL:	03/22/2022
FOURTH SUBMITTAL:	03/10/2022
SECOND SUBMITTAL:	02/17/2022
FIRST SUBMITTAL:	01/15/2022

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

DRAFTED: JAT
 ENGINEER: JAT

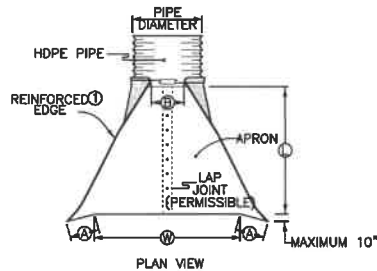
WEST DES MOINES, IOWA
 CIVIL DESIGN ADVANTAGE

SHEET NUMBER:
C7.1
 2104.259

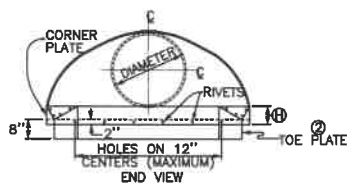


CROSS SECTION THROUGH P.C.C. FOUNDATION CROSS SECTION THROUGH P.C.C. FOUNDATION

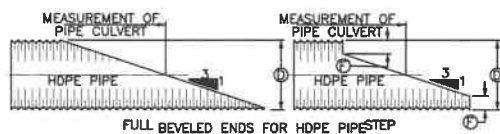
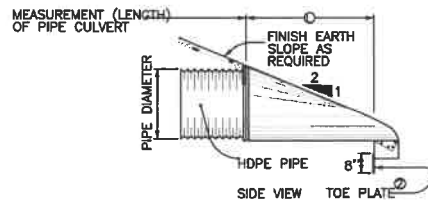
4 METAL FLARED END SECTION FOOTING
NOT TO SCALE



PIPE DIAM.	DIMENSIONS		H ₁	L ₁	W
	A	B			
1 1/2"	6"	8"	6"	26"	30"
1 3/4"	7"	9"	6"	31"	36"
2 1/4"	8"	11"	6"	36"	42"
2 3/4"	9"	12"	6"	42"	48"
3 1/4"	12"	15"	7"	52"	60"
3 3/4"	14"	18"	9"	63"	72"
4 1/4"	16"	21"	10"	73"	84"
4 3/4"	18"	24"	12"	84"	96"
5 1/4"	18"	30"	12"	84"	102"
6 1/4"	18"	33"	12"	87"	114"
6 3/4"	18"	36"	12"	87"	120"
7 1/4"	18"	39"	12"	87"	126"
7 3/4"	18"	42"	12"	87"	132"
8 1/4"	18"	45"	12"	87"	138"
9 1/4"	24"	37"	11"	87"	144"
9 3/4"	25"	35"	12"	87"	150"



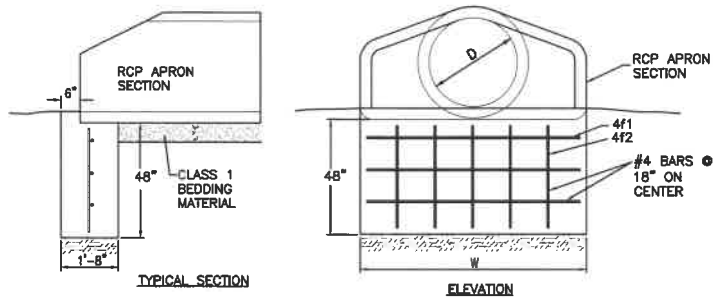
BEVEL	3:1
54"	9"
60"	9"
66"	9"
72"	12"
78"	15"
84"	18"
90"	21"
96"	24"



NOTE: WHEN SPECIFICALLY REQUIRED AS PART OF DETAIL PROJECT PLANS, ENDS OF PIPE CULVERT MAY BE PROVIDED WITH BEVELED ENDS AS SHOWN. EITHER FULL BEVEL OR STEP BEVEL MAY BE USED UNLESS ONE TYPE IS SPECIFIED. UNLESS SPECIFIED OTHERWISE, THE SLOPE OF THE BEVEL SHALL BE 3:1.

BEVELED ENDS WILL NOT BE PAID FOR SEPARATELY BUT, WHEN REQUIRED, SHALL BE CONSIDERED INCIDENTAL TO THE PRICE BID OF THE CULVERT.

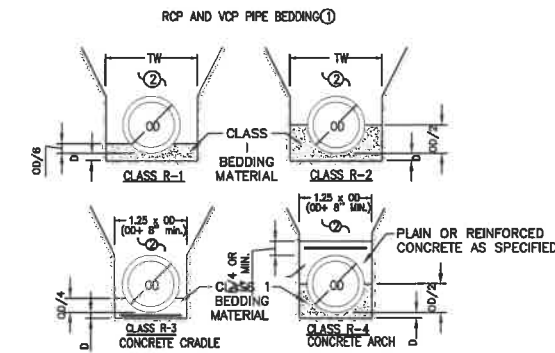
5 CORRUGATED METAL PIPE APRON
NOT TO SCALE



REINFORCING BAR LIST					REINFORCING BAR LIST				
D	W	Mark	Size	Length/Count	D	W	Mark	Size	Length/Count
12"	2'-4"	4F1	4	2'-0" 3	48"	7'-10"	4F1	4	7'-8" 3
15"	2'-10"	4F2	4	3'-8" 2	54"	8'-5"	4F1	4	8'-1" 3
18"	3'-5"	4F1	4	3'-1" 3	60"	8'-1"	4F1	4	8'-7" 3
24"	4'-6"	4F1	4	4'-2" 3	66"	8'-1"	4F1	4	8'-7" 3
30"	5'-7"	4F1	4	5'-3" 3	72"	10'-0"	4F1	4	9'-8" 3
36"	6'-8"	4F1	4	6'-4" 3	78"	10'-7"	4F1	4	10'-3" 3
42"	7'-3"	4F1	4	6'-11" 3	84"	11'-1"	4F1	4	10'-4" 3
		4F2	4	3'-8" 5			4F2	4	3'-8" 5

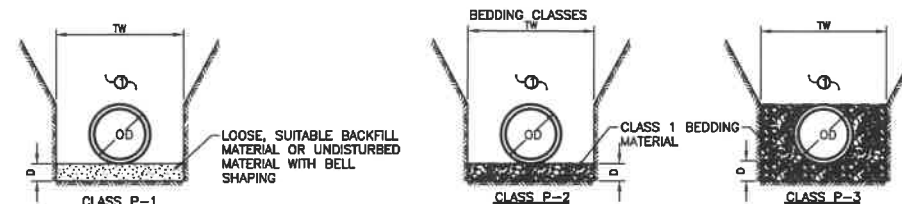
6 RCP APRON SECTION FOOTING
NOT TO SCALE

KEY
OD = OUTSIDE DIAMETER OF PIPE
OS = OUTSIDE SPAN OF PIPE
TW = TRENCH WIDTH AT TOP OF PIPE:
MIN. = OD+18 INCHES
MAX. = 1.25XOD+12 INCHES OR
54 INCHES (WHICHEVER IS GREATER)
D = DEPTH OF BEDDING MATERIAL BELOW PIPE:
OD/8 OR OS/8, OR 4 INCHES
(WHICHEVER IS GREATER)



- USE BEDDING CLASS R-1 OR R-2 UNLESS SPECIFIED OTHERWISE.
- PLACE REMAINDER OF BEDDING AND BACKFILL MATERIALS AS SPECIFIED IN THE CONTRACT DOCUMENTS.

1 RIGID GRAVITY PIPE TRENCH BEDDING
NOT TO SCALE

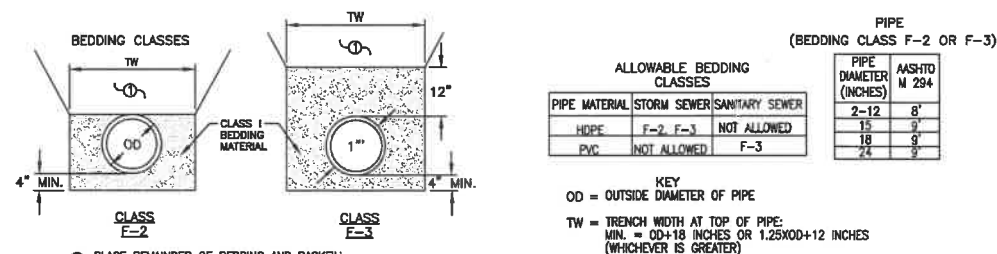


ALLOWABLE BURY DEPTH					ALLOWABLE BURY DEPTH				
PIPE DIAMETER	DUCTILE IRON, AWWA C151, CLASS 52			CLASS P-3	PIPE DIAMETER	PVC, AWWA C900 & C905, DR18			
	CLASS P-1	CLASS P-2	CLASS P-3			CLASS P-1	CLASS P-2	CLASS P-3	
4"	40"	40"	40"	4"	19"	23"	40"		
6"	40"	40"	40"	6"	19"	23"	40"		
8"	40"	40"	40"	8"	19"	23"	40"		
10"	36"	40"	40"	10"	19"	23"	40"		
12"	31"	40"	40"	12"	19"	23"	40"		
14"	26"	40"	40"	14"	19"	23"	40"		
16"	23"	37"	40"	16"	19"	23"	40"		
18"	20"	34"	40"	18"	19"	23"	40"		
20"	18"	32"	40"	20"	19"	23"	40"		
24"	16"	29"	38"	24"	19"	23"	40"		
30"	13"	23"	31"	30"	13"	22"	30"		
36"	13"	22"	30"	36"	13"	22"	30"		
42"	13"	21"	29"	42"	13"	21"	29"		
48"	13"	19"	27"	48"	13"	19"	27"		
54"	11"	19"	27"	54"	11"	19"	27"		

PLACE REMAINDER OF BEDDING AND BACKFILL MATERIAL AS SPECIFIED IN THE CONTRACT DOCUMENTS

KEY
OD = OUTSIDE DIAMETER OF PIPE
TW = TRENCH WIDTH AT TOP OF PIPE:
MIN. = OD+18 INCHES OR 1.25XOD+12 INCHES
(WHICHEVER IS GREATER)
D = DEPTH OF BEDDING MATERIAL BELOW PIPE:
MIN. = OD/8 OR 4 INCHES
(WHICHEVER IS GREATER)

2 PRESSURE PIPE BEDDING
NOT TO SCALE



ALLOWABLE BEDDING CLASSES			
PIPE MATERIAL	STORM SEWER	SANITARY SEWER	NOT ALLOWED
HOPE	F-2	F-3	NOT ALLOWED
PVC	NOT ALLOWED	F-3	

PIPE DIAMETER (INCHES)	ASHTO M 294
2-12	8"
15	9"
18	9"
24	9"

KEY
OD = OUTSIDE DIAMETER OF PIPE
TW = TRENCH WIDTH AT TOP OF PIPE:
MIN. = OD+18 INCHES OR 1.25XOD+12 INCHES
(WHICHEVER IS GREATER)

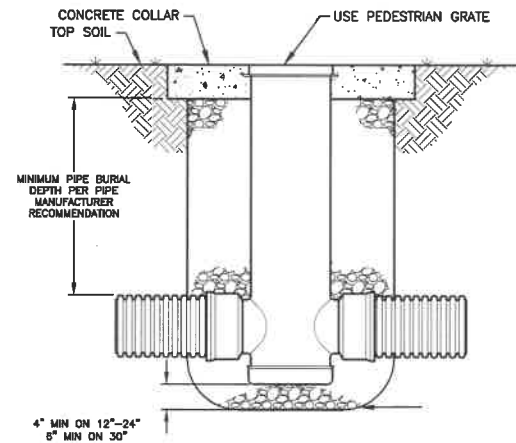
3 FLEXIBLE GRAVITY PIPE TRENCH BEDDING
NOT TO SCALE

DATE	REVISIONS
03/25/2022	REVISED FOURTH SUBMITTAL
03/22/2022	FOURTH SUBMITTAL
03/10/2022	THIRD SUBMITTAL
02/17/2022	SECOND SUBMITTAL
01/25/2022	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: JAT
DRAFTED:



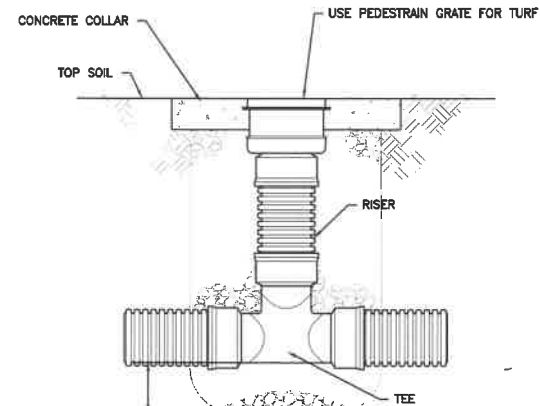
JORDAN CREEK POINT
DETAILS



1. GRATES/SOLID COVERS SHALL MEET H-20 LOAD RATING FOR 30" PEDESTRIAN & 12" - 30" STANDARD & SOLID

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II MATERIAL AS DEFINED IN ASTM D2321, OR AS DETERMINED BY LOCAL STANDARDS & SITE ENGINEER. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

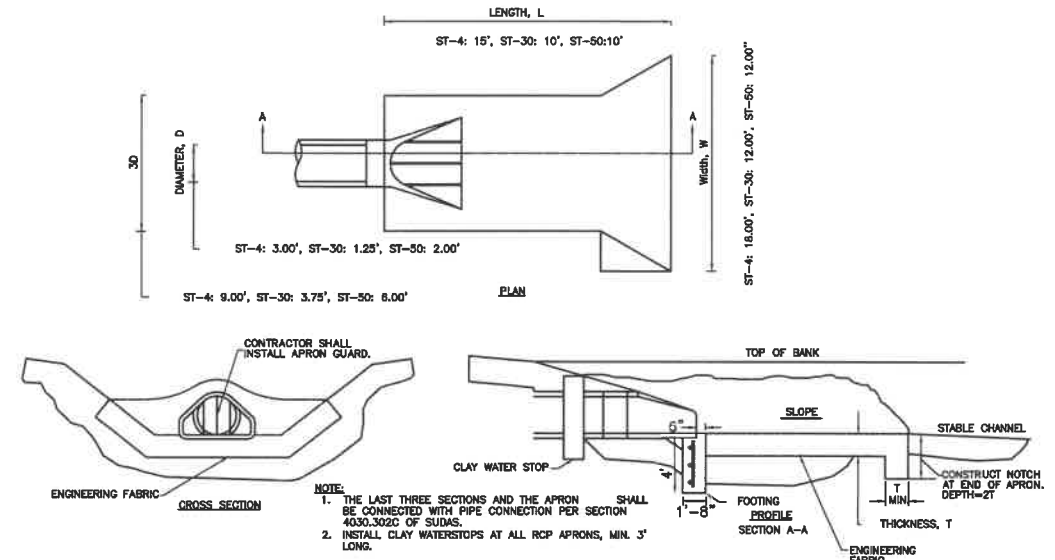
4 HDPE DRAIN BASIN
NOT TO SCALE



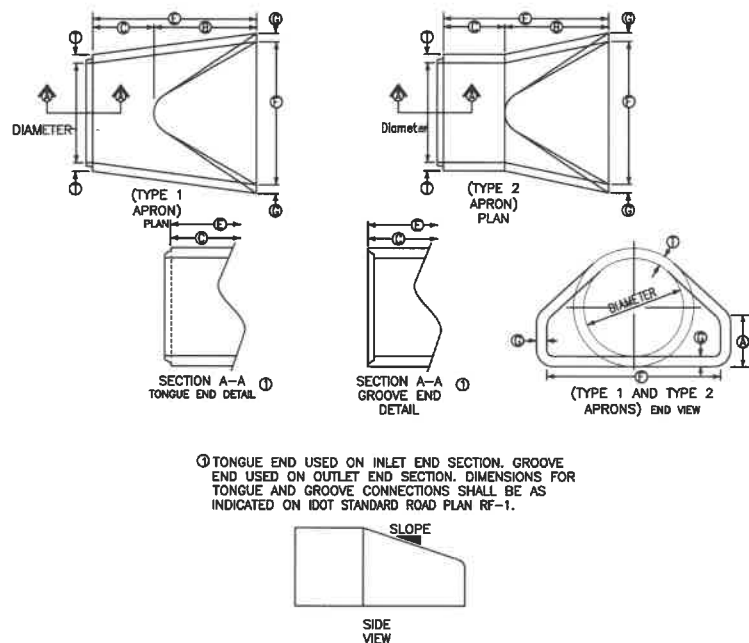
1. GRATES/SOLID COVERS SHALL MEET H-20 LOAD RATING FOR 30" PEDESTRIAN & 12" - 30" STANDARD & SOLID.

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II MATERIAL AS DEFINED IN ASTM D2321, OR AS DETERMINED BY LOCAL DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

3 HDPE INLINE DRAIN
NOT TO SCALE



1 RIP RAP
NOT TO SCALE



ⓐ TONGUE END USED ON INLET END SECTION. GROOVE END USED ON OUTLET END SECTION. DIMENSIONS FOR TONGUE AND GROOVE CONNECTIONS SHALL BE AS INDICATED ON IDOT STANDARD ROAD PLAN RF-1.

2 RCP APRON AND APRON GUARD
NOT TO SCALE

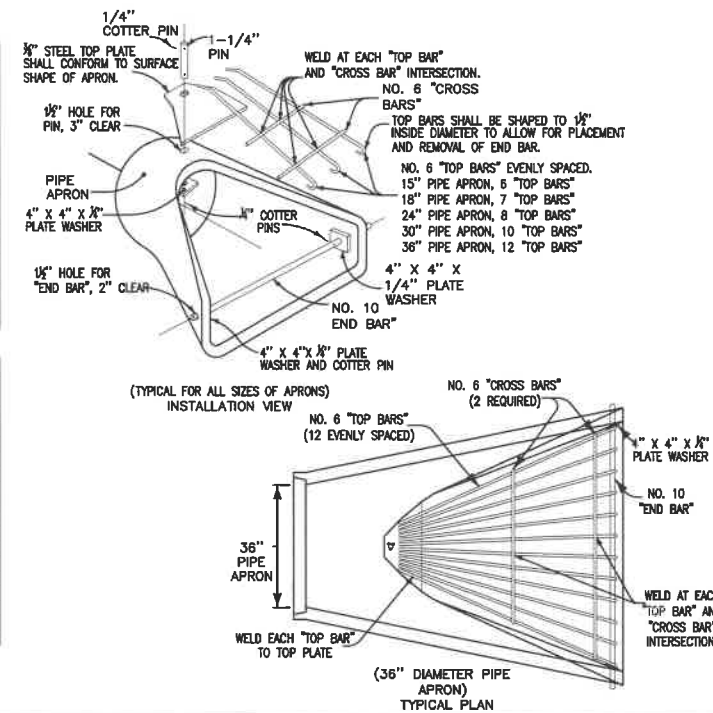
WHERE 15000 PIPE IS USED, THE BARREL PORTION OF THE APRON SHALL MEET OR EXCEED THE REQUIREMENTS FOR 15000 PIPE. WHERE 20000 PIPE IS USED, THE BARREL PORTION OF THE APRON SHALL MEET OR EXCEED THE REQUIREMENTS FOR 20000 PIPE.

REINFORCEMENT FOR THE BARREL PORTION OF THE APRON SHALL BE AS SHOWN ON IDOT STANDARD ROAD PLAN RF-1. DIMENSION 'E' SHOWN IS MINIMUM AND SHALL BE CONSIDERED THE DESIGN LENGTH. ANY DIFFERENCE BETWEEN THE ACTUAL LENGTH OF CONCRETE APRON INSTALLED AND THE LENGTH INDICATED HEREON SHALL BE APPROPRIATELY ADJUSTED FOR IN THE LENGTH OF CONCRETE CULVERT PIPE FURNISHED.

WHEN SPECIFIED IN THE CONTRACT DOCUMENTS, PIPE APRON GUARDS SHALL BE INSTALLED AS SHOWN. PIPE APRON GUARDS WILL NOT BE MEASURED SEPARATELY FOR PAYMENT, BUT SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR 'CONCRETE APRONS.'

TYPE 1 APRONS							
DIAM.	SLOPE	A	B	MINIMUM			
				C	E	F	T
12"	2.4:1	4'	2'-0"	4'-0"	2'-0"	2'	2'
15"	2.4:1	6'	2'-3"	3'-10"	6'-11"	2'-6"	2 1/2"
18"	2.4:1	9'	2'-3"	3'-10"	6'-11"	3'-0"	2 1/2"
21"	2.4:1	9'	3'-0"	3'-10"	6'-11"	3'-5"	3"
24"	2.5:1	9 1/2'	3'-7 1/2"	2'-6"	8'-1 1/2"	4'-0"	3"
27"	2.5:1	10 1/2'	4'-1"	2'-0"	8'-1 1/2"	4'-4"	3 1/2"
30"	2.5:1	12'	4'-6"	7'-3 1/2"	11'-1 1/2"	5'-0"	3 1/2"
36"	2.5:1	15'	5'-3"	2'-9"	8'-0"	6'-0"	4"
42"	2.5:1	21'	6'-3"	2'-9"	8'-0"	6'-5"	4 1/2"
48"	2.5:1	24'	6'-0"	4'-0"	8'-0"	7'-0"	5"
54"	1.8:1	27'	6'-0"	3'-0"	8'-0"	7'-6"	5 1/2"
60"	1.8:1	29 1/2'	6'-0"	3'-0"	8'-0"	8'-0"	5 1/2"
66"	1.7:1	30'	6'-0"	2'-3"	8'-3"	8'-0"	6"
72"	1.8:1	30'	6'-6"	1'-9"	8'-3"	9'-0"	6"
78"	1.8:1	36'	7'-6"	1'-9"	9'-6"	9'-6"	7 1/2"
84"	1.3:1	29 1/2'	6'-9"	2'-6"	11'-3 1/2"	10'-0"	6"

TYPE 2 APRONS							
DIAM.	SLOPE	A	B	MINIMUM			
				C	E	F	T
12"	2.4:1	4'	2'-0"	4'-0"	2'-0"	2'	2'
15"	2.4:1	6'	2'-3"	3'-10"	6'-11"	2'-6"	2 1/2"
18"	2.4:1	9'	2'-3"	3'-10"	6'-11"	3'-0"	2 1/2"
21"	2.4:1	9'	3'-0"	3'-10"	6'-11"	3'-5"	3"
24"	2.5:1	9 1/2'	3'-7 1/2"	2'-6"	8'-1 1/2"	4'-0"	3"
27"	2.5:1	10 1/2'	4'-1"	2'-0"	8'-1 1/2"	4'-4"	3 1/2"
30"	2.5:1	12'	4'-6"	7'-3 1/2"	11'-1 1/2"	5'-0"	3 1/2"
36"	2.5:1	15'	5'-3"	2'-9"	8'-0"	6'-0"	4"
42"	2.5:1	21'	6'-3"	2'-9"	8'-0"	6'-5"	4 1/2"
48"	2.5:1	24'	6'-0"	4'-0"	8'-0"	7'-0"	5"
54"	1.8:1	27'	6'-0"	3'-0"	8'-0"	7'-6"	5 1/2"
60"	1.8:1	29 1/2'	6'-0"	3'-0"	8'-0"	8'-0"	5 1/2"
66"	1.7:1	30'	6'-0"	2'-3"	8'-3"	8'-0"	6"
72"	1.8:1	30'	6'-6"	1'-9"	8'-3"	9'-0"	6"
78"	1.8:1	36'	7'-6"	1'-9"	9'-6"	9'-6"	7 1/2"
84"	1.3:1	29 1/2'	6'-9"	2'-6"	11'-3 1/2"	10'-0"	6"



GENERAL NOTES:
THE INTENT OF THE PIPE APRON GUARD DETAILED HEREON IS TO PROVIDE A TREATMENT FOR THE EXPOSED END OF A PIPE CULVERT, SUCH THAT AN OUT-OF-CONTROL VEHICLE COULD PASS OVER THE END OF THE CULVERT WITHOUT UNDUE LOSS OF CONTROL OR DAMAGE TO THE VEHICLE.

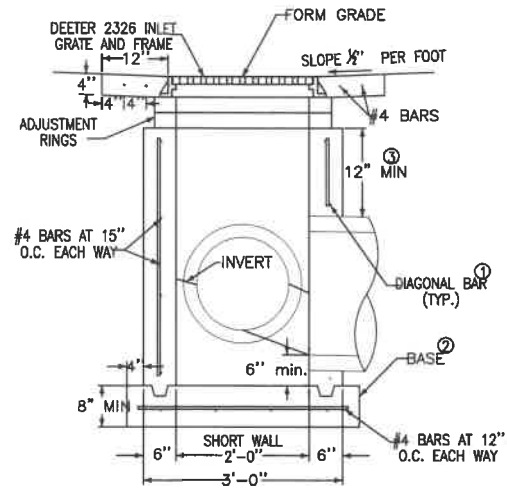
STEEL BARS USED IN CONSTRUCTION OF THE GUARD SHALL BE ASTM A 615, GRADE 40, OR MERCHANT QUALITY, SMOOTH OR DEFORMED STEEL CONFORMING TO THE FABRICATION REQUIREMENTS OF SECTION 2404 OF THE CURRENT STANDARD SPECIFICATIONS.

WELDING OF STEEL PARTS SHALL BE AS SHOWN AND SUBJECT TO THE APPROVAL OF THE ENGINEER. THE COMPLETED APRON GUARD SHALL BE HOTDIP GALVANIZED IN ACCORDANCE WITH CURRENT ASTM A 123 SPECIFICATIONS.

DETAILS INDICATED ARE FOR A TYPE 1 APRON AS SHOWN ON STANDARD ROAD PLAN RF-3. APPROPRIATE MODIFICATION OF APRON GUARD SHOWN MAY BE MADE FOR A TYPE 2 APRON.

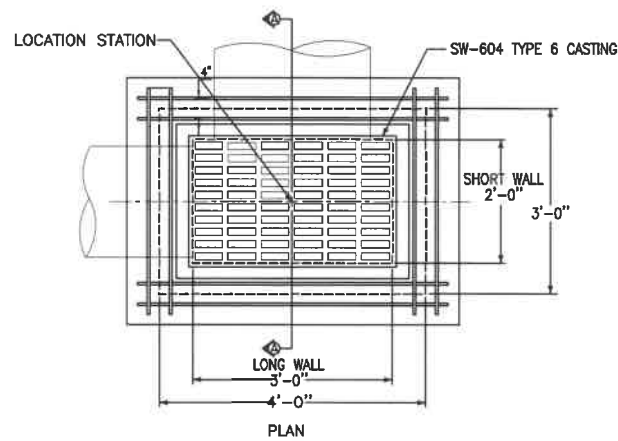
ALTERNATE DETAILS FOR DESIGN OF APRON GUARD MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL.

SPECIAL NOTE:
WHEN DETAIL PROJECT PLANS REQUIRE PIPE APRON GUARDS OF SIZES OTHER THAN THOSE SHOWN HEREON, THE DESIGN FOR SUCH APRON GUARDS SHALL BE SIMILAR TO THOSE INDICATED, CONFORMING TO MINIMUM BAR SIZE AND SPACING, AND OTHER GENERAL REQUIREMENTS SHOWN.



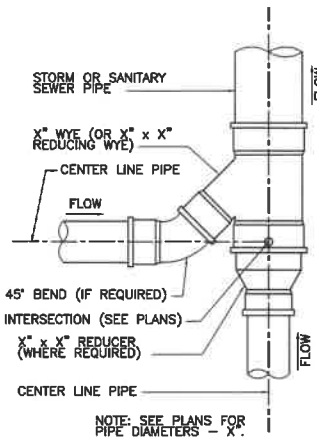
SECTION A-A

- INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS.
- CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
- 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.

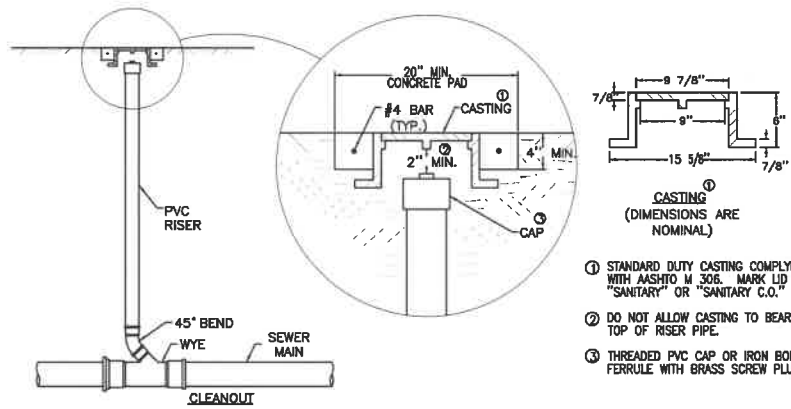


PIPE LOCATION	MAXIMUM PIPE DIAMETERS	
	PRECAST STRUCTURE	CAST-IN-PLACE STRUCTURE
SHORT WALL	15"	18"
LONG WALL	24"	30"

6 SW-511 RECTANGULAR AREA INTAKE
NOT TO SCALE

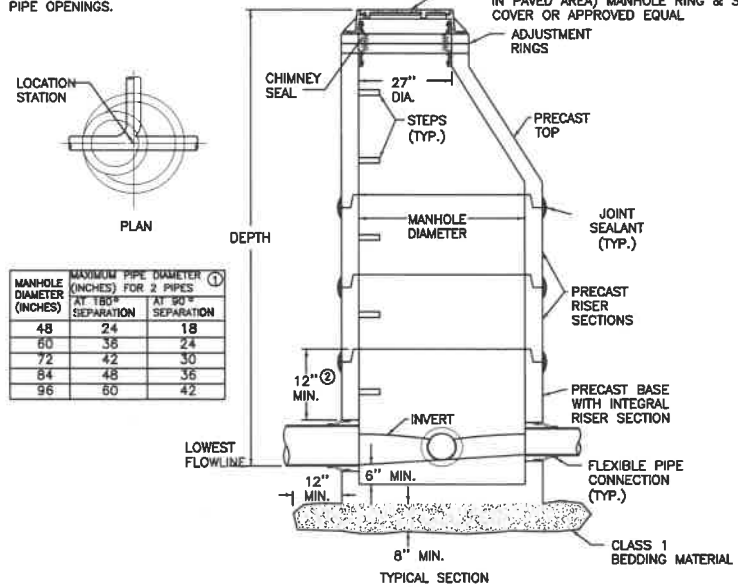


3 WYE CONNECTION
NOT TO SCALE

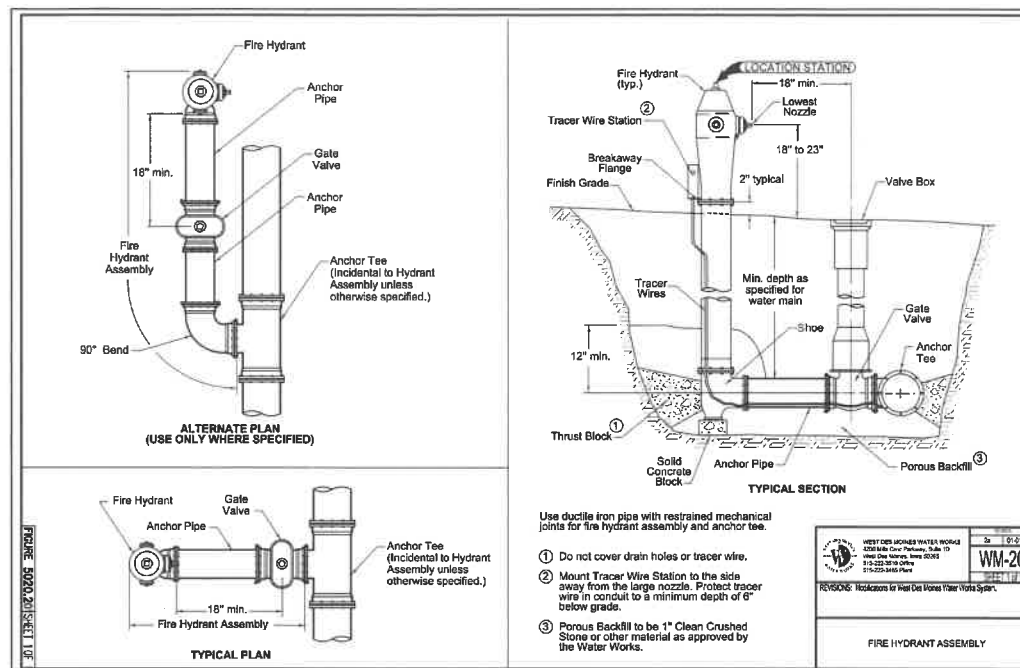


4 SW-203 SANITARY CLEANOUT
NOT TO SCALE

- FOR ADDITIONAL CONFIGURATIONS, MAINTAIN A MINIMUM OF 12 INCHES OF CONCRETE BETWEEN VERTICAL EDGES OF PIPE OPENINGS.
- 12 INCH MINIMUM RISER HEIGHT ABOVE ALL PIPE OPENINGS.



5 SW-301 CIRCULAR SANITARY SEWER MANHOLE
NOT TO SCALE



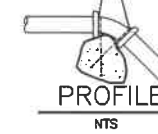
1 WDMWW FIRE HYDRANT ASSEMBLY
NOT TO SCALE

FITTING SIZE	TEE, WYE, 90° BEND, PLUGGED OR RUN			BEND ANGLE		
	TEE, WYE, 90° BEND, PLUGGED OR RUN	A1	A2	45°	22 1/2°	11 1/4°
4	1.4	1.9	2.5	1.4	-	-
6	2.8	4.0	5.7	4.0	2.1	1.4
8	5.1	7.1	10.1	7.2	3.9	2.0
10	7.9	11.2	15.7	11.2	6.1	3.2
12	11.3	16.0	22.7	16.0	8.8	4.5
14	15.3	21.7	30.7	21.2	11.9	6.1
16	20.0	28.4	40.0	28.4	15.5	8.0
18	25.3	36.0	50.7	36.0	19.5	10.1
20	31.3	44.4	62.7	44.4	24.1	12.5
24	45.3	64.0	90.1	64.0	34.9	18.1

FITTING SIZE	VOLUME OF THRUST BLOCK IN CU. YDS (VERTICAL BENDS)		
	45°	22 1/2°	11 1/4°
4	1.5	0.6	0.3
6	3.6	1.4	0.8
8	5.3	2.0	0.8
10	8.0	3.1	1.2
12	11.3	4.3	1.7
14	15.3	5.7	2.4
16	19.7	7.5	3.1

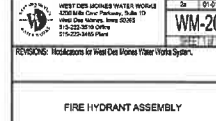
FITTING SIZE	ROD SIZE		EMBEDMENT
	12" AND LESS	#6	
14" - 16"	#8	36"	

GALVANIZED RODS OVER FITTING AND EMBEDDED IN CONCRETE (SEE TABLE FOR SIZES)



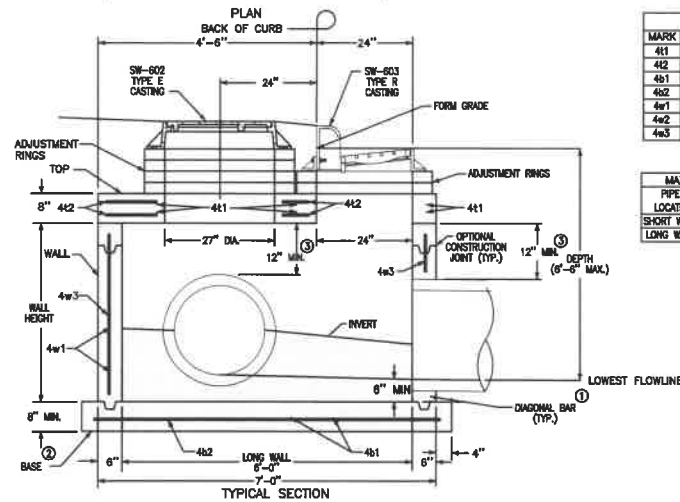
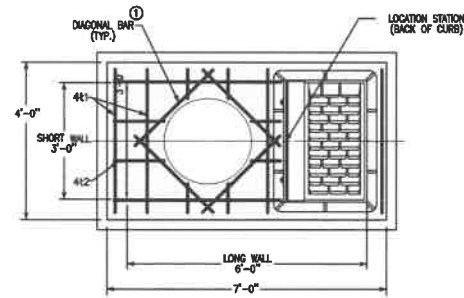
2 THRUST BLOCKING
NOT TO SCALE

- Do not cover drain holes or tracer wires.
- Mount Tracer Wire Station to the side away from the large nozzle. Protect tracer wire in conduit to a minimum depth of 6" below grade.
- Porous Backfill to be 1" Clean Crushed Stone or other material as approved by the Water Works.



FIRE HYDRANT ASSEMBLY

- NOTES:
- KEEP CONCRETE CLEAR OF JOINT AND JOINT ACCESSORIES.
 - CONCRETE THRUST BLOCKING SHALL BE POURED AGAINST UNDISTURBED EARTH.
 - REQUIRED VOLUMES OR BEARING AREAS AT FITTINGS SHALL BE AS SPECIFIED, AND ADJUSTED AS NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING PRESSURE(S).
 - THRUST BLOCK VOLUMES FOR VERTICAL BENDS HAVING UPWARD RESULTANT THRUSTS ARE BASED ON TEST PRESSURE OF 200 PSIG AND THE WEIGHT OF CONCRETE = 4050 LBS/CU YD. TO COMPUTE VOLUMES FOR DIFFERENT TEST PRESSURES, USE THE FOLLOWING EQUATION: VOLUME = (TEST PRESS./200) x (TABLE VALUE)
 - BEARING AREAS FOR HORIZONTAL BEND THRUST BLOCKS ARE BASED ON TEST PRESSURE OF 200 PSIG AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 LBS/SQ FT. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURES AND SOIL BEARING PRESSURE, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESS./200) x (2000/SOIL BEARING PRESSURE) x (TABLE VALUE)
 - THRUST BLOCKS FOR VERTICAL BENDS HAVING DOWNWARD RESULTANT THRUSTS SHALL BE THE SAME AS FOR HORIZONTAL BENDS.
 - BEARING AREAS, VOLUMES, AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER THIS STANDARD.
 - BEARING AREA OF THRUST BLOCK SHALL NOT BE LESS THAN 1.0 SQ FT.
 - VERTICAL BENDS THAT REQUIRE A THRUST BLOCK VOLUME EXCEEDING 5 CUBIC YARDS REQUIRE SPECIAL BLOCKING. SEE PLANS.



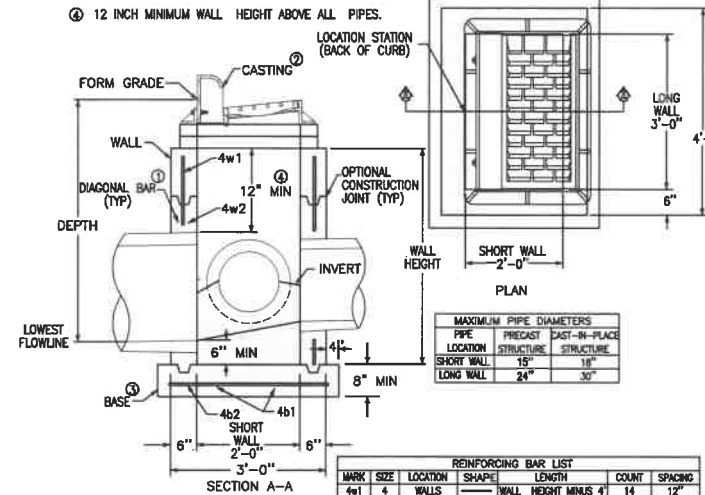
3 SW-503 SINGLE GRATE INTAKE WITH MANHOLE
NOT TO SCALE

- 1 INSTALL FOUR #4 DIAGONAL BARS AT MANHOLE OPENING AND AT ALL PIPE OPENINGS. REFER TO SW-514 FOR BOXOUT DETAILS.
- 2 CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
- 3 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.

REINFORCING BAR LIST						
MARK	SIZE	LOCATION	SHAPE	COUNT	LENGTH	SPACING
4b1	4	TOP	---	12	3'-8"	12"
4b2	4	TOP	---	8	4'-2"	12"
4b1	4	BASE	---	7	4'-2"	13"
4b2	4	BASE	---	5	7'-2"	10"
4w1	4	SHORT WALLS	---	VARIES	3'-8"	12"
4w2	4	LONG WALLS	---	VARIES	8'-8"	12"
4w3	4	WALLS	---	18	WALL HEIGHT MINUS 4"	13"

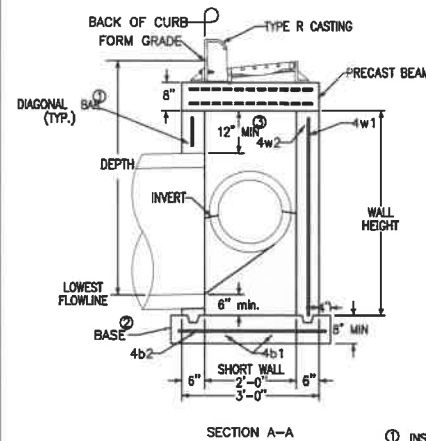
MAXIMUM PIPE DIAMETERS			
PIPE LOCATION	PRECAST STRUCTURE	CAST-IN-PLACE STRUCTURE	
SHORT WALL	24"	30"	
LONG WALL	30"	36"	

- REFER TO SW-514 FOR BOXOUT DETAILS
- 1 INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS.
- 2 SW-603 TYPE R UNLESS TYPE Q IS SPECIFIED IN THE CONTRACT DOCUMENTS.
- 3 CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
- 4 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.



REINFORCING BAR LIST						
MARK	SIZE	LOCATION	SHAPE	COUNT	LENGTH	SPACING
4w1	4	WALLS	---	14	12"	
4w2	4	LONG WALLS	---	VARIES	18"	
4b1	4	SHORT WALLS	---	2	VARIES	12"
4b1	4	BASE	---	4	4'-2"	10"
4b2	4	BASE	---	5	3'-2"	10"

1 SW-501 SINGLE GRATE INTAKE
NOT TO SCALE



- 1 INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS.
- 2 CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
- 3 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.

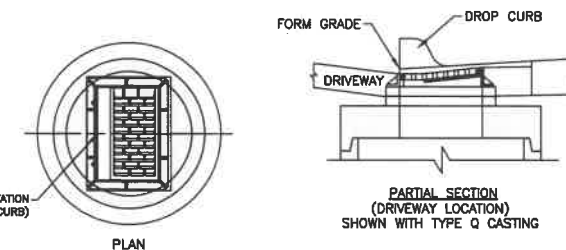
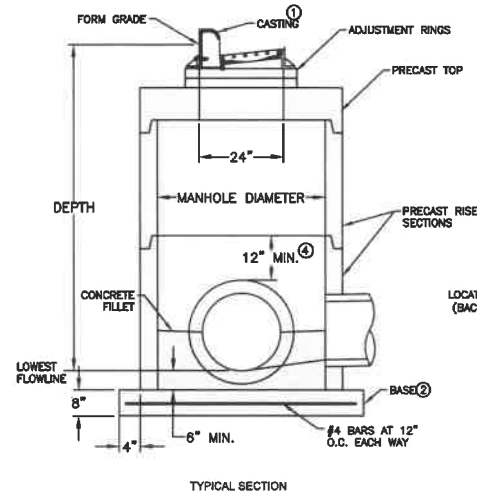
REINFORCING BAR LIST						
MARK	SIZE	LOCATION	SHAPE	COUNT	LENGTH	SPACING
4b1	4	BEAM	---	4	2'-8"	4"
4b1	4	BASE	---	4	7'-10"	10"
4b2	4	BASE	---	8	3'-2"	12"
4w1	4	WALLS	---	20	WALL HEIGHT MINUS 4"	12"
4w2	4	LONG WALLS	---	VARIES	7'-4"	12"
4w3	4	SHORT WALLS	---	VARIES	2'-8"	12"

MAXIMUM PIPE DIAMETERS			
PIPE LOCATION	PRECAST STRUCTURE	CAST-IN-PLACE STRUCTURE	
SHORT WALL	15"	18"	
LONG WALL	60"	66"	

4 SW-505 DOUBLE GRATE INTAKE
NOT TO SCALE

MANHOLE DIAMETER (INCHES)	MAXIMUM PIPE DIAMETER (INCHES) FOR 2 PIPES	
	AT 180° SEPARATION	AT 90° SEPARATION
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42

- REFER TO SW-514 FOR BOXOUT DETAILS.
- 1 SW-603 TYPE R UNLESS TYPE Q IS SPECIFIED IN THE CONTRACT DOCUMENTS.
- 2 CAST-IN-PLACE BASE SHOWN. BASE MAY BE SQUARE. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
- 3 FOR ADDITIONAL CONFIGURATIONS, MAINTAIN A MINIMUM OF 12 INCHES OF CONCRETE BETWEEN VERTICAL EDGES OF PIPE OPENINGS.
- 4 12 INCH MINIMUM RISER HEIGHT ABOVE ALL PIPES.



2 SW-502 CIRCULAR SINGLE GRATE INTAKE
NOT TO SCALE

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 PLOT: 104258-SITE.DWG PLOTTED: 3/29/2012 12:22 PM
 PLOT: 104258-SITE.DWG PLOTTED: 3/29/2012 12:22 PM

DATE	REVISIONS
03/26/2012	REVISED FOURTH SUBMITTAL:
03/22/2012	FOURTH SUBMITTAL:
03/10/2012	THIRD SUBMITTAL:
02/17/2012	SECOND SUBMITTAL:
01/21/2012	FIRST SUBMITTAL:

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: JAT

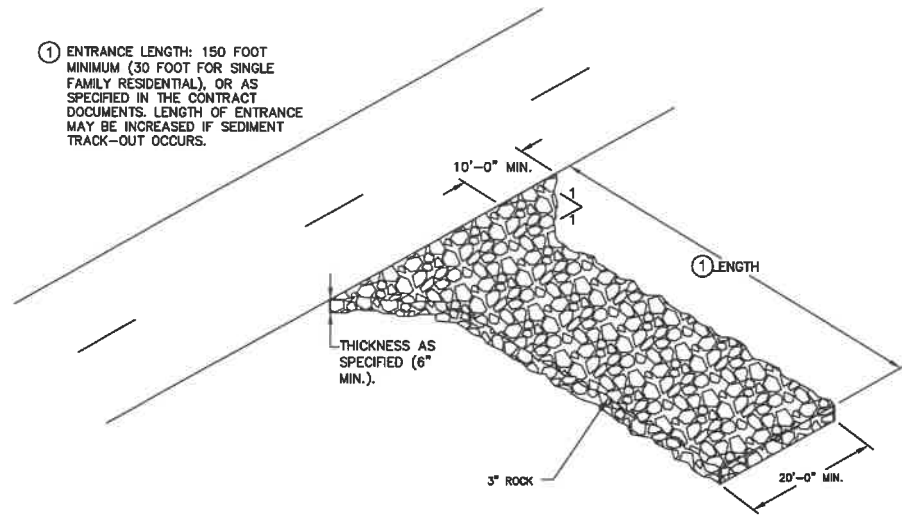


WEST DES MOINES, IOWA
 CIVIL DESIGN ADVANTAGE

JORDAN CREEK POINT
DETAILS

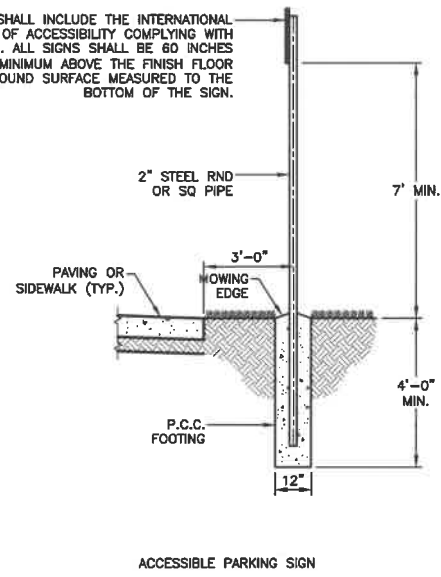
SHEET NUMBER:
C7.5
 2104.259

1 ENTRANCE LENGTH: 150 FOOT MINIMUM (30 FOOT FOR SINGLE FAMILY RESIDENTIAL), OR AS SPECIFIED IN THE CONTRACT DOCUMENTS. LENGTH OF ENTRANCE MAY BE INCREASED IF SEDIMENT TRACK-OUT OCCURS.

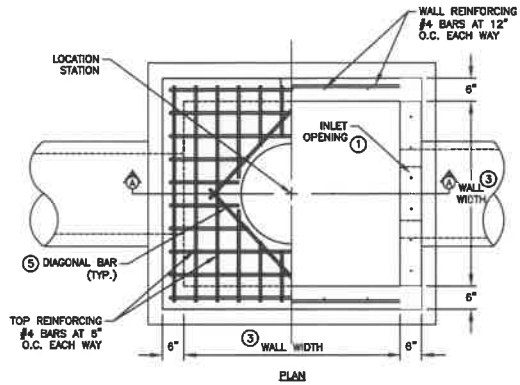


5 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

SIGN SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 703.7.2.1. ALL SIGNS SHALL BE 60 INCHES (1525 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.

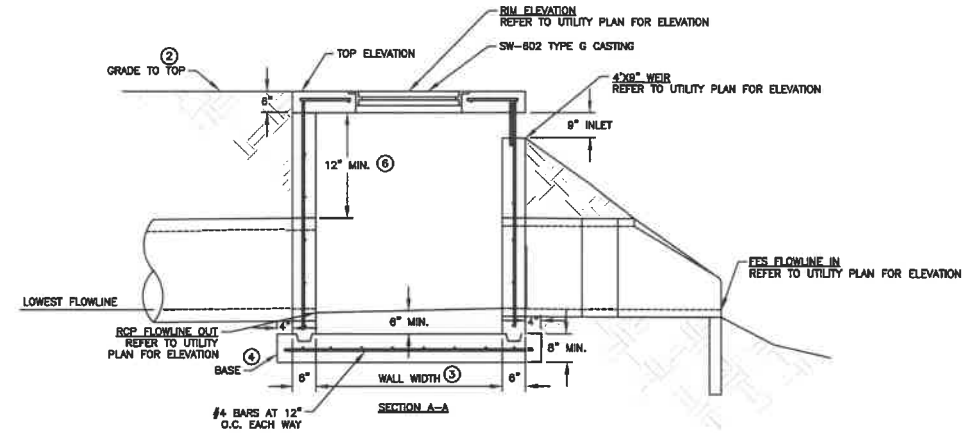


3 DIRECTIONAL SIGN
NOT TO SCALE

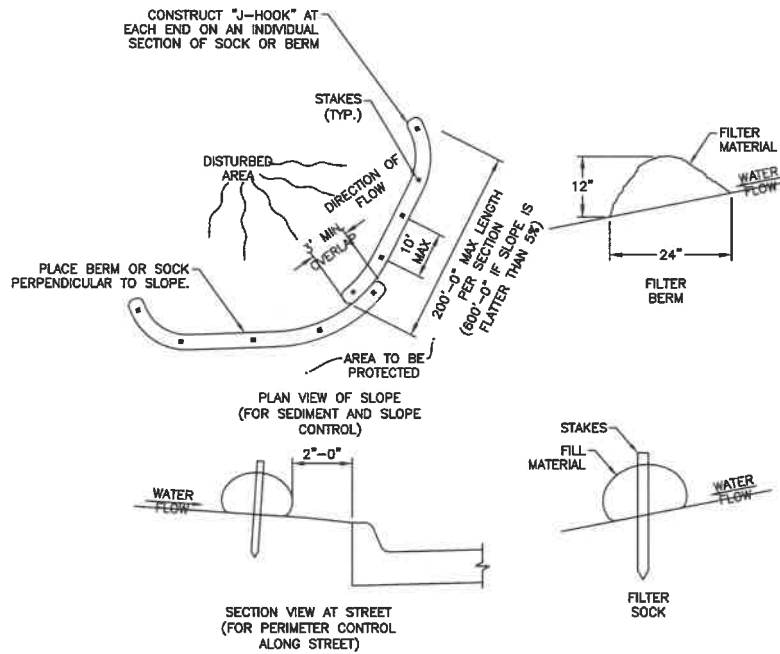


STRUCTURE MAY BE BUILT WITH OPENINGS ON ANY OR ALL SIDES. PROVIDE OPENINGS AND ORIENTATION AS SPECIFIED IN THE CONTRACT DOCUMENTS.
ADJACENT WALLS MAY HAVE DIFFERENT WIDTHS BASED UPON PIPE CONFIGURATION, BUT STRUCTURE MUST BE RECTANGULAR.

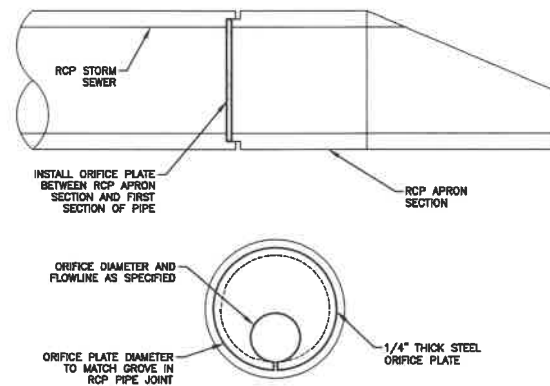
- CONSTRUCT INLET OPENINGS WITH 1/2-INCH #4 EPOXY-COATED BARS AT 8 INCHES ON CENTER. EMBED BARS A MINIMUM OF 3 INCHES INTO WALLS AND TOP AT ALL OPENINGS.
- GRADE TO TOP ELEVATION ON CLOSED SIDES.
- WALL WIDTHS VARY WITH PIPE DIAMETER. PROVIDE 6 INCHES OF WALL WIDTH (MINIMUM) EACH SIDE OF PIPE OPENING. MINIMUM WALL WIDTH IS 36 INCHES. MAXIMUM WALL WIDTH IS 72 INCHES.
- CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
- INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS.
- 12" MINIMUM WALL HEIGHT ABOVE ALL PIPES.



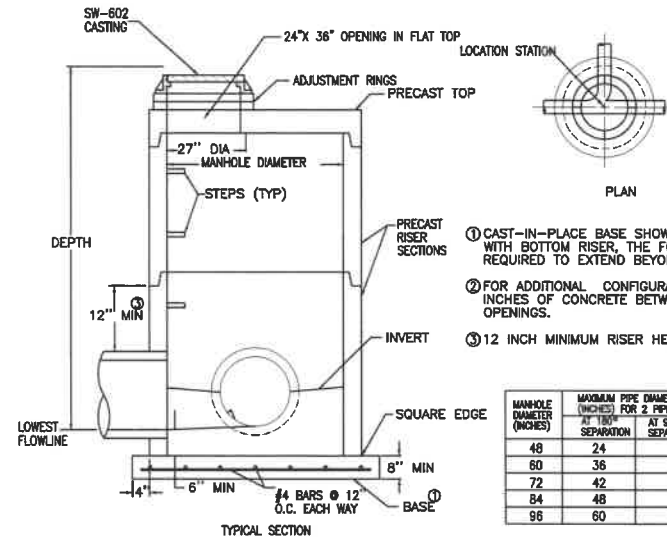
1 SW-513 OPEN-SIDED AREA INTAKE
NOT TO SCALE



6 TYPICAL PLACEMENT OF FILTER BERM OF SOCK
NOT TO SCALE



4 ORIFICE PLATE
NOT TO SCALE



- CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH BOTTOM RISER, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE RISER.
- FOR ADDITIONAL CONFIGURATIONS, MAINTAIN A MINIMUM OF 12 INCHES OF CONCRETE BETWEEN VERTICAL EDGES OF PIPE OPENINGS.
- 12 INCH MINIMUM RISER HEIGHT ABOVE ALL PIPE OPENINGS.

MANHOLE DIAMETER (INCHES)	MAXIMUM PIPE DIAMETER (INCHES) FOR 2 PIPES AT THE SEPARATION AT 90° SEPARATION	
	24" SEPARATION	36" SEPARATION
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42

2 SW-401 CIRCULAR STORM SEWER MANHOLE
NOT TO SCALE

FILE: H:\WORK\PROJECTS\2024\240000-SEWER\240000-SEWER.dwg
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 USER: JAT

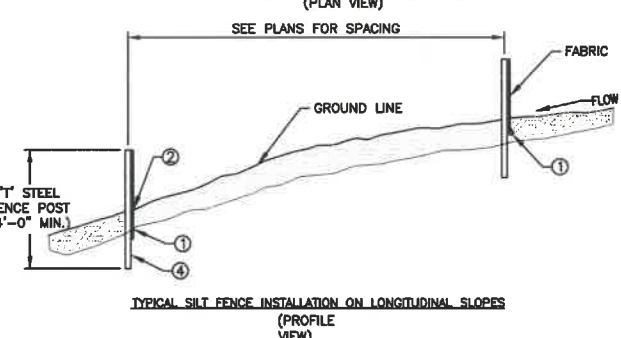
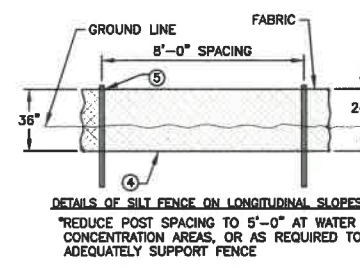
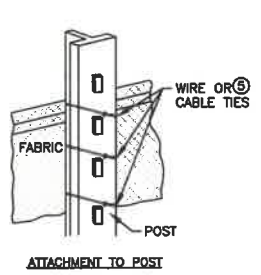
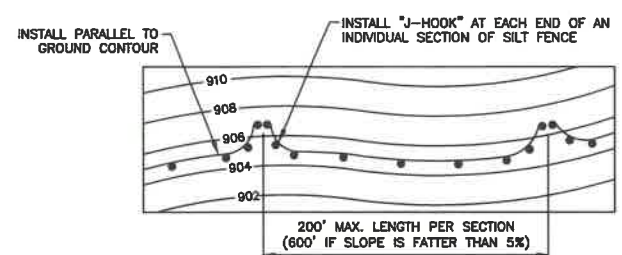
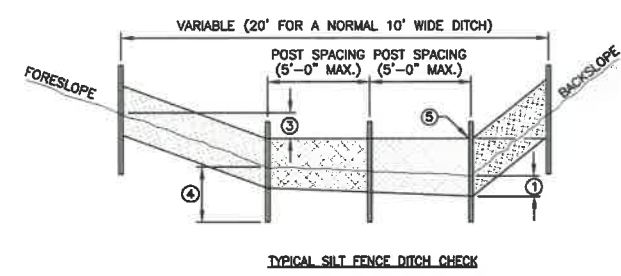
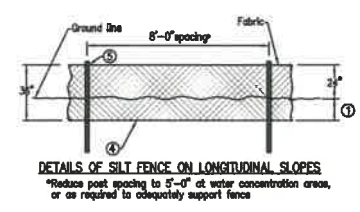
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 REVISIONS: 03/22/2024
 REVISED FOURTH SUBMITTAL: 03/22/2024
 FOURTH SUBMITTAL: 03/22/2024
 THIRD SUBMITTAL: 03/10/2024
 SECOND SUBMITTAL: 02/17/2024
 FIRST SUBMITTAL: 01/21/2024

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 CIVIL DESIGN ADVANTAGE ENGINEER: JAT
 DRAFTED:

WEST DES MOINES, IOWA

JORDAN CREEK POINT
DETAILS

SHEET NUMBER:
C7.6
 2104.259



- GENERAL NOTES:**
 INSTALL SILT FENCE ACCORDING TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS AND AT LOCATIONS SHOWN IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE JURISDICTIONAL ENGINEER.
- INSERT 12 IN. OF FABRIC A MINIMUM OF 6 IN. DEEP (FABRIC MAY BE FOLDED BELOW THE GROUND LINE)
 - COMPACT GROUND BY DRIVING ALONG EACH SIDE OF THE SILT FENCE AS REQUIRED TO SUFFICIENTLY SECURE THE FABRIC IN THE TRENCH TO PREVENT PULLOUT AND FLOW UNDER THE FENCE.
 - IN DITCHES, EXTEND SILT FENCE UP SIDE SLOPE SO THE BOTTOM ELEVATION AT THE END OF THE FENCE IS A MINIMUM OF 2 IN. HIGHER THAN THE TOP OF THE FENCE IN THE LOW POINT OF THE DITCH.
 - STEEL POSTS TO BE EMBEDDED 20 IN. UNLESS OTHERWISE ALLOWED BY THE JURISDICTIONAL ENGINEER.
 - SECURE TOP OF ENGINEERING FABRIC TO STEEL POSTS USING WIRE OR PLASTIC TIES (50 LB. MIN.). SEE DETAILS OF "ATTACHMENT TO POSTS."

1 SILT FENCE
 NOT TO SCALE

		P.O. Box 22326 Lincoln, NE 68542		PF: 402/421-9464 FX: 402/421-9479		WEBSITE: www.sitescapesonline.com E-MAIL: info@sitescapesonline.com	
TITLE: ECHO BIKE RACK		PRODUCT NO. EC2-05-SM		INCH TOLERANCES U.O.S. FRACTION - 1/16" ANG - 1°		THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.	

*Available in powder coat and DuraCoat finishes

MATERIALS LIST
 (1) Tubing - ϕ 2 3/8" x .154" Wall Steel Tubing
 (2) Surface Plate - ϕ 7 1/2" x 1/4" Thick
 Steel Plate with Three ϕ 9/16" Mounting Holes
 (3) Mounted with Six ϕ 1/2" x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)

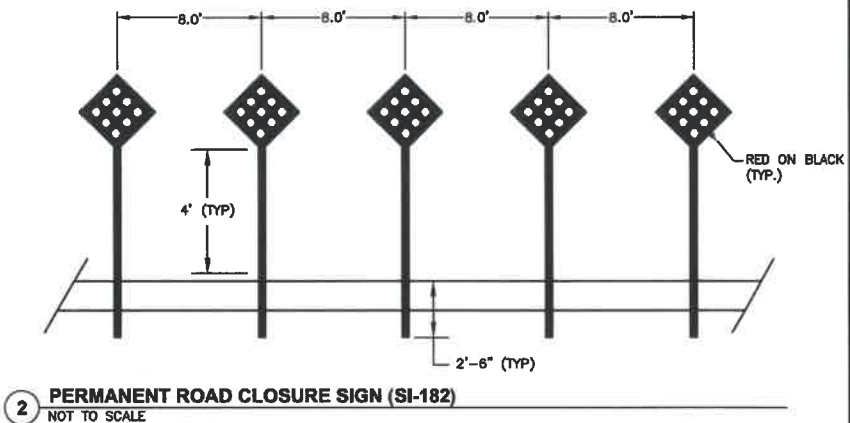
4 BIKE RACK (5 BIKE CAPACITY)
 NOT TO SCALE

		P.O. Box 22326 Lincoln, NE 68542		PF: 402/421-9464 FX: 402/421-9479		WEBSITE: www.sitescapesonline.com E-MAIL: info@sitescapesonline.com	
TITLE: ECHO BIKE RACK		PRODUCT NO. EC2-13-SM		INCH TOLERANCES U.O.S. FRACTION - 1/16" ANG - 1°		THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.	

*Available in powder coat and DuraCoat finishes

MATERIALS LIST
 (1) Tubing - ϕ 2 3/8" x .154" Wall Steel Tubing
 (2) Surface Plate - ϕ 7 1/2" x 1/4" Thick
 Steel Plate with Three ϕ 9/16" Mounting Holes
 (3) Mounted with Nine ϕ 1/2" x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)

3 BIKE RACK (13 BIKE CAPACITY)
 NOT TO SCALE



2 PERMANENT ROAD CLOSURE SIGN (SI-182)
 NOT TO SCALE

FILED IN 2022, 7/27/22, 12:23 PM
 PROJECT: JORDAN CREEK POINT
 SHEET: 2104.259
 DATE: 7/27/22
 DRAWN BY: J. H. HARRIS
 CHECKED BY: J. H. HARRIS

DATE	03/28/22
REVISIONS	03/22/22
	03/10/22
	02/17/22
	01/27/22

REVISED FOURTH SUBMITTAL:
 FOURTH SUBMITTAL:
 THIRD SUBMITTAL:
 SECOND SUBMITTAL:
 FIRST SUBMITTAL:

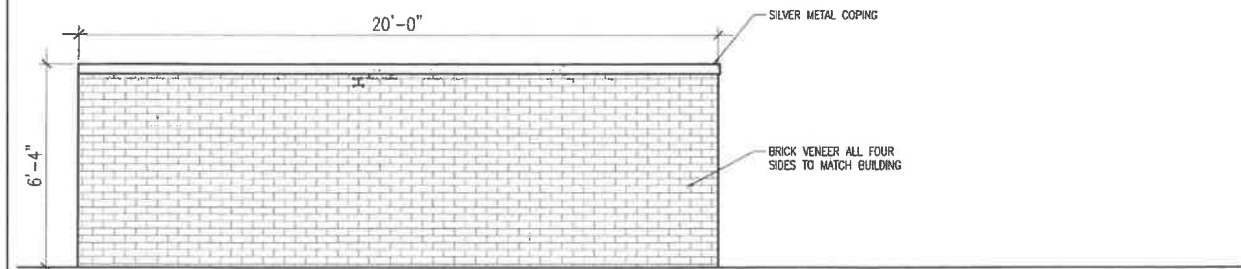
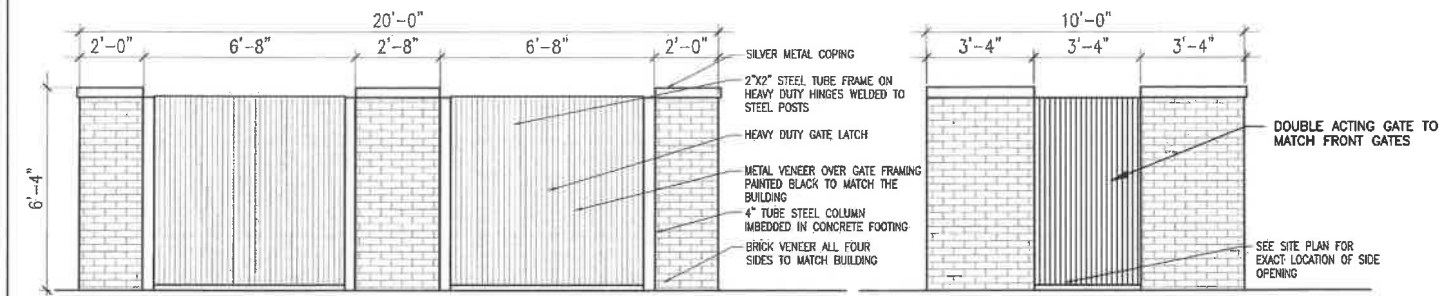
4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

DRAFTED: ENGINEER: JAT

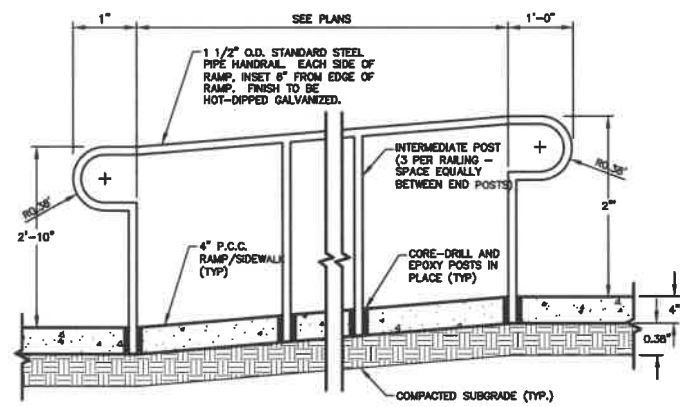
JORDAN CREEK POINT
DETAILS

WEST DES MOINES, IOWA
 CIVIL DESIGN ADVANTAGE

SHEET NUMBER:
C7.7
 2104.259

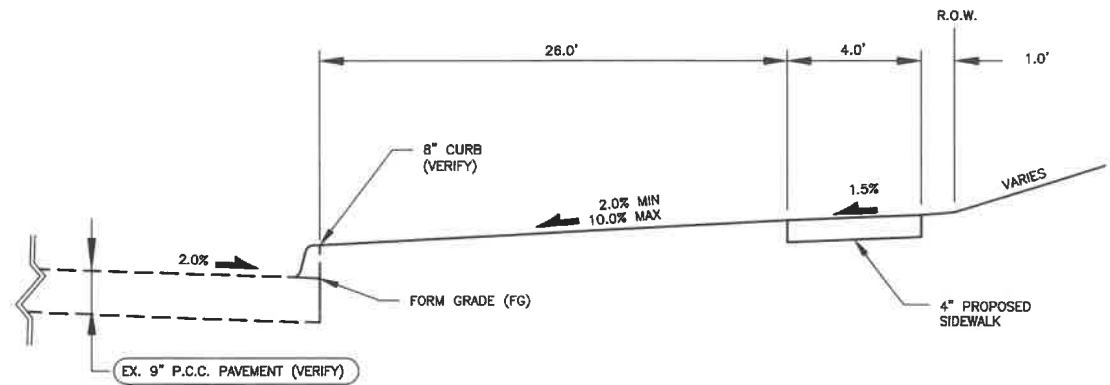


4 TRASH ENCLOSURE
NOT TO SCALE

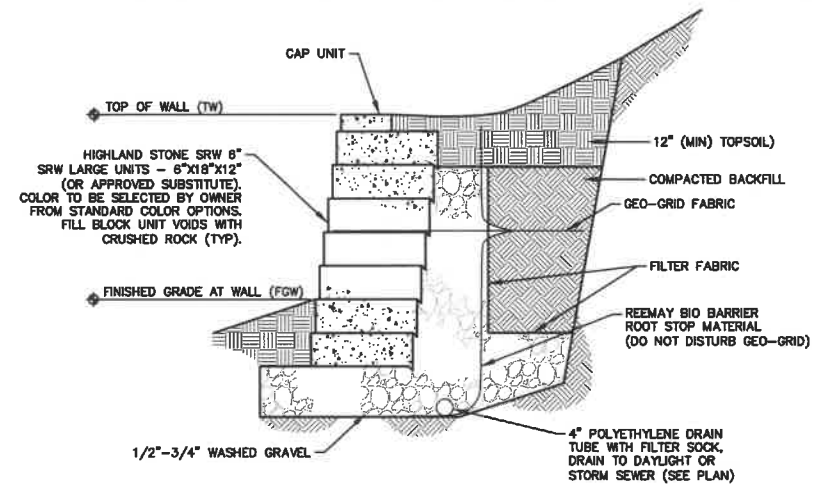


5 HANDRAILS
NOT TO SCALE

NOTE: THIS DETAIL IS FOR REFERENCE ONLY. INSTALL PER MANUFACTURER'S SPECIFICATIONS

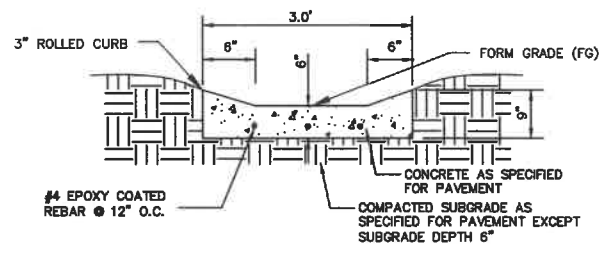


1 TYPICAL SECTION - EP TRUE PARKWAY - PUBLIC SIDEWALK
NOT TO SCALE



2 RETAINING WALL SECTION
NOT TO SCALE

NOTE:
1. THIS DETAIL IS FOR GENERAL REFERENCE ONLY. CONTRACTOR TO SUBMIT FULL DESIGN DATA TO ENGINEER FOR APPROVAL PRIOR TO INSTALLATION AND ORDERING OF MATERIALS. WALL SHALL BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF IOWA AND CONSTRUCTED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN.
2. RETAINING WALL SHALL BE KEYSTONE COMPAC-III IN NATURAL COLOR.



3 P.C.C. FLUME
NOT TO SCALE

FILE: H:\Users\jordan\OneDrive\Documents\2104.259.dwg
PLOT DATE: 3/1/2024 10:23 PM
PLOT BY: JAT

DATE	02/26/2022
REVISIONS	
REVISED FOURTH SUBMITTAL	02/22/2022
FOURTH SUBMITTAL	02/10/2022
THIRD SUBMITTAL	02/17/2022
SECOND SUBMITTAL	02/17/2022
FIRST SUBMITTAL	02/17/2022

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

JORDAN CREEK POINT
DETAILS

CIVIL DESIGN ADVANTAGE ENGINEER: JAT
WEST DES MOINES, IOWA

SHEET NUMBER:
C7.8
2104.259

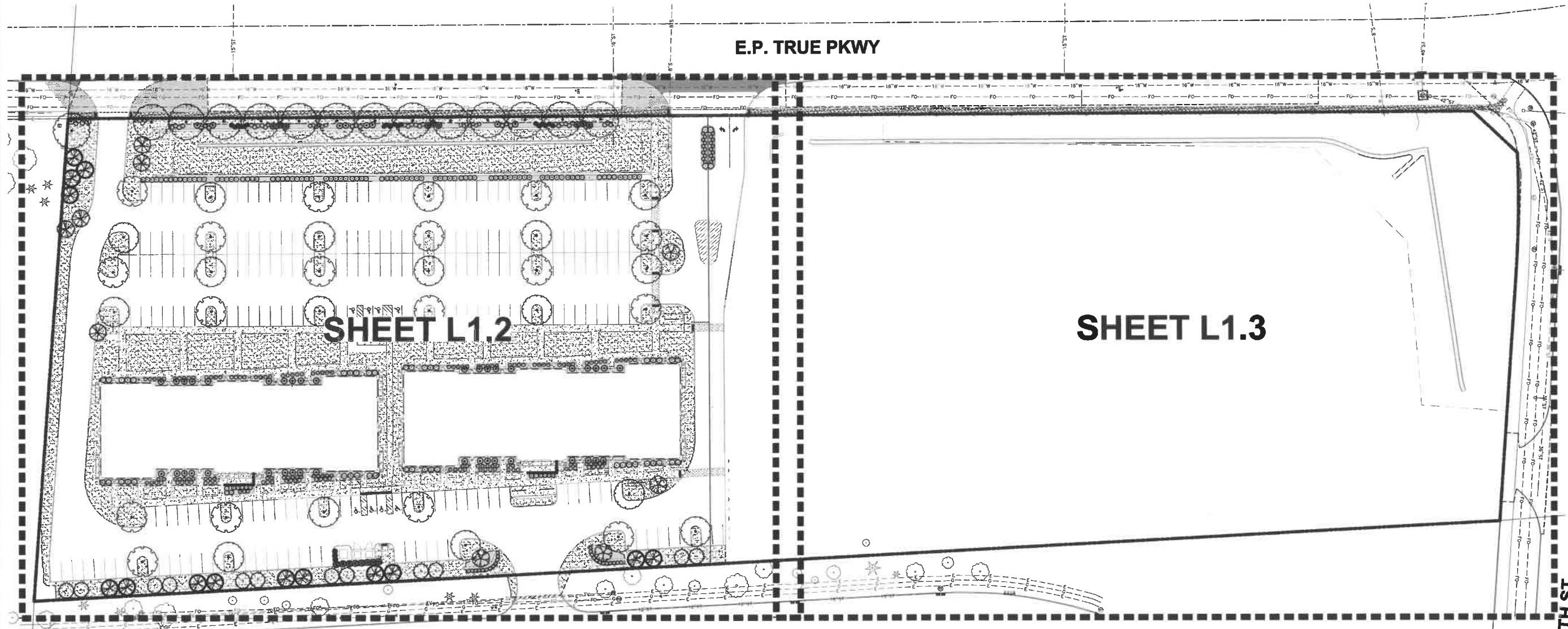
SUDAS TYPE 1 SEED DEFINITION

A. Type 1 (Permanent Lawn Mixture): Used for residential and commercial turf site, fertilized, and typically mowed. Use between March 1 and May 31 and between August 10 and September 30.

Table 9010.06: Type 1 Seed Mixture¹

Common Name	Application Rate lb/acre
Kentucky bluegrass cultivar ²	65
Kentucky bluegrass cultivar ²	65
Kentucky bluegrass cultivar ²	65
Creeping red fescue	25
Fine-leaved perennial ryegrass ³	20
Fine-leaved perennial ryegrass ³	20
Annual ryegrass	40

¹ A commercial mixture may be used if it contains a high percentage of similar bluegrasses; it may or may not contain Creeping Red Fescue.
² Choose three different cultivars of Kentucky Bluegrass.
³ Choose two different cultivars of Fine-Leaved Perennial Ryegrass, at 20 pounds/acre each.



LANDSCAPE NOTES

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE MOST RECENT EDITION OF THE 2022 SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
- BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- MINERAL MULCH OVER WEED BARRIER SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS.
- ALL EDGING SHALL BE STEEL.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

LANDSCAPING REQUIREMENTS

OPEN SPACE
 REQUIRED:
 2 TREES, 3 SHRUBS / 3,000 SF REQ. OPEN SPACE W/ 50% OVERSTORY/EVERGREEN
 52,750 SF REQ. OPEN SPACE / 3000 = 17.58 LANDSCAPE UNITS
 X2 TREES = 35 TREES REQUIRED
 X3 SHRUBS = 53 SHRUBS REQUIRED

PROVIDED:
 35 TREES
 402 SHRUBS

PARKING LANDSCAPE
 REQUIRED:
 PARKING LOT ADJ. LANDSCAPE AREAS, PARKING ISLANDS, AND SCREENS TO EQUAL 10% OF TOTAL PAVED AREA
 95,115 SF TOTAL PAVED AREA x 10% = 9,512 SF

PROVIDED:
 TOTAL ISLAND, SCREEN, AND ADJ. LANDSCAPE AREAS = 11,316 SF (11.9%)

TREES REQUIRED PER ISLANDS = 34
 TREES PROVIDED = 34

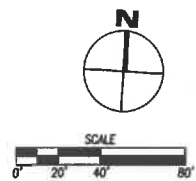
LANDSCAPE BUFFER
 REQUIRED:
 478 LF ALONG EP TRUE PKWY / 35 = 13.6 LANDSCAPE UNITS
 X6 = 82 SHRUBS
 X1 = 14 OVERSTORY TREES

PROVIDED:
 82 SHRUBS
 14 OVERSTORY TREES

PLANTING SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	GAL
AB	17	Black Maple	Acer nigrum	B&B	2"
AS	14	American Sycamore	Platanus occidentalis	B&B	2"
MP	4	Prairifire Crab Apple	Malus x 'Prairifire'	B&B	1.5"
MS	5	Spring Snow Crab Apple	Malus x 'Spring Snow'	B&B	1.5"
PD	14	Douglas Fir	Pseudotsuga mansueti	B&B	6' HEIGHT
PG	12	Colorado Blue Spruce	Picea pungens 'Glaucus'	B&B	6' HEIGHT
QR	17	Red Oak	Quercus rubra	B&B	2"

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	GAL
BB	48	Compact Burning Bush	Euroyonimus alatus 'Compactus'	3 GAL	
BW	50	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'	24" HT.	
CA	3	Feather Reed Grass	Calamagrostis x oculiflora	24" HT.	
GS	87	Gold Mound Spirea	Spiraea x bumalda 'Goldmound'	3 GAL	
JB	55	Orlman Pygmy Japanese Barberry	Barberis thunbergii 'Orlman Pygmy'	3 GAL	
JF	17	Sea Green Juniper	Juniperus chinensis 'Sea Green'	24" HT.	
JO	21	Old Gold Juniper	Juniperus chinensis 'Old Gold'	3 GAL	
JS	41	Blue Star Juniper	Juniperus squamata 'Blue Star'	24" HT.	
KL	4	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	3 GAL	
MP2	28	Purple Eulalia Grass	Miscanthus sinensis 'Purpureascens'	3 GAL	
SK	16	Miss Kim Korean Lilac	Syringa pubescens 'Miss Kim'	24" HT.	
ST	44	Wiscraft Black Smoke Tree	Cotinus coccinea 'Wiscraft'	3 GAL	
WW	50	Spilled Wine Weigela	Weigela florida 'Bokrasph'	3 GAL	



PLO: IN: 1/20/2022 12:55 PM
 DATE PLOTTED: 3/7/2022 12:55 PM
 PLOT: 20220307.DWG
 USER: JAT

REVISIONS: DATE: 03/28/2022, 03/22/2022, 03/10/2022, 02/17/2022
 REVISED FOURTH SUBMITTAL: FOURTH SUBMITTAL: THIRD SUBMITTAL: SECOND SUBMITTAL: FIRST SUBMITTAL:

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 URBANDALE, IOWA 50111
 PHONE: (515) 368-4400 FAX: (515) 368-4410
 CIVIL DESIGN ADVANTAGE | ENGINEER: JAT | DRAFTED:

WEST DES MOINES, IOWA

JORDAN CREEK POINT
LANDSCAPE REFERENCE

SHEET NUMBER: **L1.1**
 2104.259

E.P. TRUE PKWY



FILE: H:\2021\2104259\JORDAN_CREEK_POINT_LANDSCAPE_PLAN.dwg
 PLOTTED BY: JAT
 DATE: 3/24/2022 12:23 PM
 COMMENTS: OK

DATE	03/22/2022
REVISIONS	
REVISED FOURTH SUBMITTAL:	03/22/2022
FOURTH SUBMITTAL:	03/10/2022
THIRD SUBMITTAL:	02/17/2022
SECOND SUBMITTAL:	01/12/2022
FIRST SUBMITTAL:	

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ESA
 CIVIL DESIGN ADVANTAGE

WEST DES MOINES, IOWA

JORDAN CREEK POINT
LANDSCAPE PLAN

ENGINEER: JAT
 DRAFTED:

SHEET NUMBER:
L1.3
 2104.259

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION
NO. PZC-22-031**

WHEREAS, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, the applicant and property owner, Jordan Creek Point, LLC, requests approval of the Preliminary Plat for the purpose of subdividing that approximately 10-acre property generally located at the southwest corner of 68th Street and EP True Parkway as depicted on the location map included in the staff report. The applicant proposes the creation of into two (2) lots for commercial development; and

WHEREAS, additionally, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Jordan Creek Point, LLC, requests approval of the Site Plan for the approximately 5-acre property located at the west end of the southwest corner of 68th Street and EP True Parkway for the purpose of constructing two approximately 17,000 square foot retail buildings and associated site improvements; and

WHEREAS, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

WHEREAS, the Site Plan complies with the findings stated in the applicable provisions of Title 9, Chapter 1, the Comprehensive Plan and City Code.

NOW THEREFORE, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Preliminary Plat and Site Plan (PPSP-005464 - 2022), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on March 28, 2022.

Erica Andersen, Chair
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on March 28, 2022, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary