

CITY OF WEST DES MOINES STAFF REPORT COMMUNICATION

Meeting Date: May 9, 2022

ITEM: Valley Southwoods, 625 S. 35th Street – Approve Major Modification to Site Plan to allow approximately 42,000-sq. ft. of building additions – West Des Moines Community Schools – MaM-004976-2022

Resolution: Approval of Major Modification to Site Plan

Background: Brian Steffens with Shive-Hattery, on behalf of the applicant, and property owner, West Des Moines Community Schools, requests approval of a Major Modification to Site Plan for the approximately 80-acre property located at 625 S. 35th Street. The applicant proposes to construct approximately 47,214-square feet of building additions including a career education facility with outdoor use space, a mezzanine, an entry foyer, a culinary arts addition and conference rooms along with associated site improvements. It should be noted that the proposed building addition and outdoor use area is known in the academic community as a CTE (Career & Technical Education) facility.

Staff Review & Comment:

- **Financial Impact:** No City funding of the project. Staff time for processing of development application and inspections during construction will be needed.
- **Key Development Aspects:**
 - **Outdoor Use Area:** The proposed addition includes an approximately 4,880-square foot outdoor use area enclosed by a 10' concrete wall but with no roof structure. This outdoor area will be used by students to gain hands on experience with technical equipment, machinery and construction methods. See further discussion below in the 'Development & Planning Subcommittee' section.
 - **Sanitary Sewer:** As part of the project, a new private sanitary sewer line will be installed and connected to an existing manhole near the west corner of the building. To provide sufficient cover over the line, in combination with the depth of the manhole, the sewer line will need to be located on city property. Engineering staff have reviewed the plans and are comfortable with the proposal. Because the line is private and up to the school district to maintain, it is best for the city to grant an easement over the line. As part of the easement document, language will be included detailing that maintenance responsibilities lie with the school district and not the city. Upon city granting of the easement, the school district should take action to accept the easement due to the maintenance responsibility aspect. The easement document will include space for the school district to sign acknowledging their responsibility. Staff recommends a condition of approval that the school district provide back the School Board signed easement prior to issuance of an occupancy permit.
 - **Water:** The existing private water line which serves the property extends into the city's property and has been in place for several years. Because the line is private and up to the school district to maintain, it was always intended for the city to grant an easement over the line. West Des Moines Water Works has additionally requested rights to access the easement area in emergency situations, if necessary. This granting of this easement requires approval of the City Council. Additionally, the WDMWW will place acceptance of the easement on a future WDMWW Board meeting. The easement document will also include space for the school district to sign acknowledging their responsibilities related to

the water line. Staff recommends a condition of approval that the school district provide back the School Board signed easement prior to issuance of an occupancy permit.

- Architecture.

- Building Design: The proposed modifications include a large addition on the south side of the building which includes the outdoor use space, a new entry canopy and vestibule addition at the main entry, and a small addition for the culinary arts at the rear courtyard on the north side of the building. The additions provide a new architectural design intent for the overall building than that of the existing traditional brick school building. The new additions are proposed to be constructed of concrete panels in a two-tone color pallet with various molded and reveal patterns as shown on the enclosed proposed building elevations. Secondary cladding materials for the additions include translucent wall panels, aluminum curtail walls, metal screen walls, a metal entry canopy, and metal coping and trim details. Also included on the main (south addition) is the inclusion of five overhead doors (two on the west façade, two on the south façade into the outdoor use space, and one on the east elevation).

Staff is not opposed to a more unique design element for the new building additions as desired by the applicant, however staff has suggested that some design elements should be compatible from the existing building design to the new to provide an element of continuity of design from the old to the new. This could include elements such as massing, materials, color, design details, etc. Staff feels there is still a disconnect between the two design intents.

The applicant, on request from staff, has provided the following narrative on the design intent of the building to understand the difference in the proposed design from the existing building:

For several years, district leadership heard from their clients (the students), prospective families and other vested partners how the Valley Southwoods building gives off an austere institutional feeling. In order for this project to be a success for the client, any changes to the building need to address this concern and provide a solution that creates a positive learning environment.

For decades, the educational system in the Midwest, pushed a college education over career and other technical education opportunities. These building additions focus on creating excitement for students that may not be interested the traditional education paths. To align the building with its purpose, the additions need to break away from the original building and become statements to spark an interest for the clients. Care was specifically taken to correlate all three additions to give it a holistic approach around the existing building. Making the exterior different from the original encourages students to explore the career and technical program education opportunities and highlights them as potential career options.

The selected materials were chosen due to their performance attributes and construction lead-times. For example, the precast panels were selected to allow the manufacture of the panels while school is still in session; and their abuse-resistant construction will require less maintenance and repairs in the highly active spaces. The colors compliment the building without trying to replicate the original building. Studies issued since the construction of the original building,

emphasize the value and importance of natural light in the classroom. The translucent wall panel system was selected to provide natural light, while limiting glare to enhance the quality of learning environment in the technical lab spaces.

The Owner has indicated they will change the green metal coping and metal roofing of the existing portions of the building to match the new addition once the materials have exceeded their useful life. The Owner also indicated they will change the glazing from the existing dark-tinted to compliment the glazing in the new addition once the windows need to be replaced.

Staff still would like to see better cohesiveness between the new and existing elements of the building. Staff understands that the roof and windows may be changed out at some point in the future to compliment this proposed new design intent however, when this may happen and the tracking to confirm this will happen at the time of those projects is difficult from the city standpoint. Therefore, staff still has a concern for the variation in design from the existing building. The applicant is unwilling to pursue further discussions on the building design with City staff. Therefore, staff is requesting input from the Plan and Zoning Commission on the concerns noted above and recommends a condition of approval that prior to issuance of any building permit the applicant continue to work with Staff, based upon direct input from the Plan and Zoning Commission, to find design solutions to achieve better cohesiveness between the addition and existing building.

- Vinyl Graphics: The applicant has noted that the owner is proposing to include vinyl window graphics at the entry areas of the building. Details on the graphics have not been provided to staff to determine if the graphics could be considered a design detail of the building architecture or if they would need to be considered signage for the building therefore, the graphics are not included in this Major Modification review and will require a separate review and approval at a future date should the owner decide to install any proposed vinyl graphics.

- Development & Planning Subcommittee:

- Outdoor Use Area. At the Subcommittee meeting held on September 7, 2021, the applicant explained that the outdoor area is planned to teach students about the trades through hands-on work with machines and power equipment typical of the respective trade. Due to the open-air nature of this area, Staff raised concerns of noise impacts to the adjacent residential to the east. Staff also mentioned that regulating this type of noise might not be enforceable using the noise ordinance as it is geared towards amplified sound occurring for continued time periods. The Subcommittee was supportive of the outdoor learning environment and indicated a desire to deal with any issues that arise, if and when they do. In alignment with the Subcommittee's direction, staff recommends a condition of approval that provides any noise complaints received relating to the outdoor use area be mitigated through collaborative efforts between the City and School District. Mitigation might include, but is not limited to, restriction on the hours of operation and types of activities or equipment to be used within the outdoor use area.
- Traffic Impact Study Findings: A traffic analysis for the site was completed in February 2021. A summary of the key findings is below:
 - The existing geometry and traffic control on the surrounding streets are expected to have adequate capacity to accommodate the school's planned enrollment. If enrollment changes

in the future and additional traffic is generated by the site, modifications to the adjacent streets may become necessary to maintain adequate traffic progression and traffic safety.

- Other than a surge in traffic volumes before and after school, no impacts to the public streets were observed as a result of the school's transportation plan. The school should continue to monitor the drop-off/pick-up times and address safety and operational issues if they arise in the future.
- Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues with this item.

Plan and Zoning Commission Action:

Date: May 9, 2022

Vote:

Recommendation:

Recommendation: Approve the Major Modification to Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The School District agreeing to working collaboratively with the city to address any noise complaints received due to the use of the outdoor learning area.
2. The applicant acknowledging and agreeing that all maintenance and repair related to private utility lines serving the school shall be the responsibility of the School District. Additionally, all sanitary sewer and water easements located within city property shall be accepted by the School Board and be provided to the City prior to the issuance of any occupancy permit, including temporary occupancy.
3. The applicant providing School Board approved easements to the city prior to issuance of a building permit.
4. The applicant providing a letter certifying the site is in conformance with the approved storm water management plan and providing a detention as built prior to issuance of an occupancy permit, including temporary occupancy.
5. Prior to issuance of any building permit, the applicant continues to work with Staff, based on direction from the Plan and Zoning Commission, to find design solutions to achieve better cohesiveness between the addition and existing building.

Lead Staff Member: Bryce Johnson

Approval Meeting Dates:

Plan and Zoning Commission	May 9, 2022
City Council: First Reading	

Staff Report Reviews:

Plan & Zoning Commission	<input type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

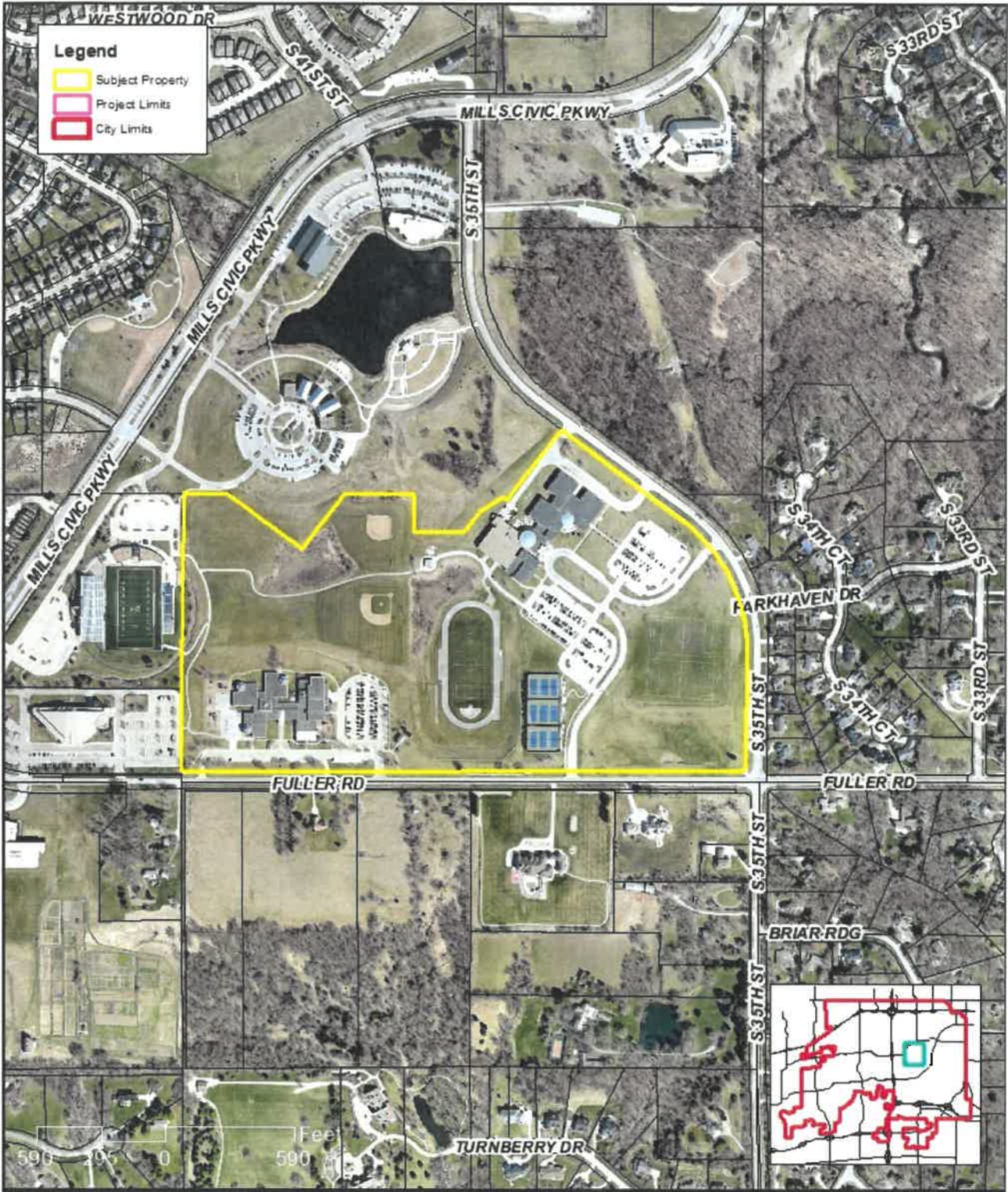
Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	9/7/21
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map

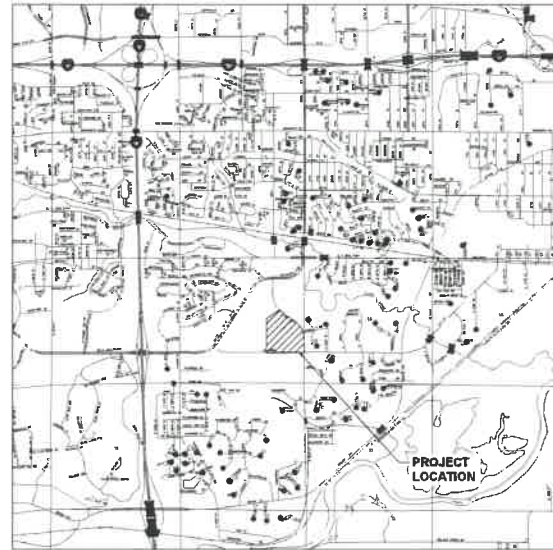


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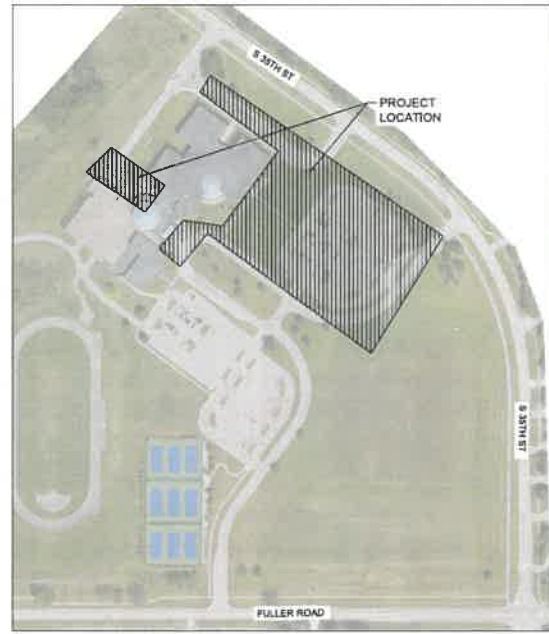
VALLEY SOUTHWOODS CTE ADDITION

WEST DES MOINES COMMUNITY SCHOOLS
625 S 35TH ST
WEST DES MOINES, IOWA 50265

SHIVEHATTERY
ARCHITECTURE + ENGINEERING
4125 Westown Parkway, Suite 100 | West Des Moines, Iowa 50266
515.223.8104 | www.shivehattery.com
Iowa | Illinois | Indiana



VICINITY MAP
NTS



PROJECT MAP
NTS

Sheet Number	Sheet Title
C000	COVER SHEET
C001	CONSTRUCTION NOTES
C002	DEMOLITION PLAN
C100	OVERALL SITE PLAN
C101	SITE PLAN
C102	SITE PLAN ENLARGEMENTS
C103	JOINTING PLAN
C200	EROSION CONTROL SITE PLAN
C201	GRADING PLAN
C202	GRADING PLAN ENLARGEMENTS
C203	GRADING PLAN ENLARGEMENTS
C204	GRADING PLAN ENLARGEMENTS
C301	UTILITY PLAN
C302	UTILITY CROSSING PLAN
L100	OVERALL LANDSCAPE PLAN
L101	LANDSCAPE PLAN
L102	LANDSCAPE ENLARGEMENT PLAN
L103	LANDSCAPE ENLARGEMENT PLAN
L104	LANDSCAPE DETAILS
C501	CONSTRUCTION DETAILS
C502	CONSTRUCTION DETAILS

OWNER:

WEST DES MOINES COMMUNITY SCHOOL DISTRICT
ATTN: KEVIN LONG
3550 MILLS CIVIC PKWY
WEST DES MOINES, IA 50265
(515) 633-5000

ENGINEER:

SHIVEHATTERY, INC.
ATTN: KYLE LAWSON
4125 WESTOWN PARKWAY, SUITE 100
WEST DES MOINES, IA 50266
(515) 223-8104

PARKING SUMMARY:

REQUIRED PARKING:
1 SPACE PER EMPLOYEE = 65 SPACES
1 SPACE PER 5 SEATS IN GYMNASIUM AND AUDITORIUM = 247 SPACES
25 SPACE PICK UP/DROP OFF QUEUING LANE = 25 SPACES
TOTAL = 337, INCLUDING 8 ADA

EXISTING PARKING:
437 PARKING STALLS
25 SPACES IN PICK UP/DROP OFF QUEUING LANE
TOTAL = 462, INCLUDING 10 ADA

PARKING TO BE REMOVED:
180 PARKING STALLS, 0 ARE ADA

PARKING TO BE ADDED:
84 PARKING STALLS, 0 ARE ADA

TOTAL PARKING AFTER CONSTRUCTION:
381 PARKING STALLS
25 SPACES IN PICK UP/DROP OFF QUEUING LANE
406 TOTAL, INCLUDING 10 ADA

LANDSCAPE SUMMARY:

EXISTING TREES TO BE REMOVED: 21 TREES (10 DECIDUOUS, 11 EVERGREEN)

REQUIRED OPEN SPACE OF ENTIRE SITE: 469,840 SF (25 %)
PROVIDED OPEN SPACE OF ENTIRE SITE: 1,375,960 SF (75 %)

R-1 OPEN SPACE LANDSCAPE REQUIREMENTS:
PROVIDE 2 TREES AND 3 SHRUBS PER 3,000 SF OF REQUIRED OPEN SPACE.

PROJECT AREA = 565,462 SF
REQUIRED OPEN SPACE = 141,371 SF (25%)
PLANTS REQUIRED = 141,371 SF/3000 SF = 46 PLANT UNITS
REQUIRED: 86 TREES
144 SHRUBS

EXISTING TO REMAIN: 25 TREES (21 DECIDUOUS, 4 CONIFEROUS)
16 SHRUBS
PROVIDED: 112 TREES (89 DECIDUOUS, 43 CONIFEROUS)
333 SHRUBS

TOTAL: 137 TREES (80 DECIDUOUS, 47 CONIFEROUS)
CONIFEROUS = 35% OF PROJECT AREA TREES
349 SHRUBS

OPEN SPACE TREE TOTAL: 83 TREES (40 DECIDUOUS, 43 CONIFEROUS)
CONIFEROUS = 52% OF OPEN SPACE TREES

APPLICANT:

WEST DES MOINES COMMUNITY SCHOOL DISTRICT
ATTN: KEVIN LONG
3550 MILLS CIVIC PKWY
WEST DES MOINES, IA 50265
(515) 633-5000

ZONING:

EXISTING: RS-15 RESIDENTIAL
PROPOSED: RS-15 RESIDENTIAL
COMPREHENSIVE PLAN DESIGNATION: SINGLE FAMILY RESIDENTIAL (SF)

ELEMENTARY SCHOOLS ARE A PERMITTED (P) USE WITH THIS ZONING DISTRICT

THE IMPROVEMENTS SHALL CONFORM WITH THE RS-15 RESIDENTIAL STANDARDS

SETBACKS:

FRONT: 57' (FROM THE ULTIMATE STREET RIGHT-OF-WAY)
REAR: 57'
SIDE: 35'
MAXIMUM BUILDING HEIGHT: 40'

PAVEMENT THICKNESS:

DRIVE AISLES/PARKING AREAS: 7 INCH PCC
SIDEWALKS: 6 INCH PCC
PARKING AREAS: 6 INCH PCC

SITE ADDRESS:

625 S 35TH ST
WEST DES MOINES, IA 50265

LEGAL DESCRIPTION:

LOT 3 WEST DES MOINES CITY / SCHOOL CAMPUS REPLAT
TOTAL SITE AREA: 1,675,357 SF

CITY BENCHMARK:

WDM #004 - SOUTH 35TH STREET AT THE NORTH ENTRANCE TO SOUTHWOODS PARK, 125.5 FEET ± EAST OF THE EAST BACK OF CURB OF SOUTH 35TH STREET, 25.5 FEET SOUTH OF ENTRANCE ROAD, - STANDARD BENCHMARK ELEVATION = 119.81 FEET (MOM DATUM) 883.82 FEET (NAVD83)

WDM #127 - SOUTHWEST CORNER OF E.P. TRUE AND S. 41ST STREET, 4.5 FEET SOUTH OF THE EAST-WEST BACK OF WALK AND 4.5 FEET WEST OF THE NORTH-SOUTH BACK OF WALK, - STANDARD BENCHMARK ELEVATION = 119.46 FEET (MOM DATUM) 883.47 (NAVD83)

SITE SUMMARY:

PROJECT USE / TYPE: BUILDING ADDITION AND ASSOCIATED SITE IMPROVEMENTS

EXISTING SITE: 3,134,926 SF (71.87 ACRES, PER PROPERTY LIMITS)
TOTAL PROJECT AREA: 212,467 SF (4.88 ACRES, PER CONSTRUCTION LIMITS)

EXISTING SITE IMPERVIOUS AREA: 947,282 SF (30.2%)
167,807 SF BUILDING
786,355 SF PAVING

EXISTING SITE PERVIOUS AREA: 2,187,654 SF (69.8%)
0 SF BUILDING
124,603 SF PAVING

IMPERVIOUS AREA TO BE REMOVED: 124,803 SF
0 SF BUILDING
124,803 SF PAVING

IMPERVIOUS AREA TO BE ADDED: 140,507 SF
34,221 SF BUILDING
106,286 SF PAVING

PROPOSED SITE IMPERVIOUS AREA: 963,166 SF (30.7%)
222,128 SF BUILDING
741,038 SF PAVING

PROPOSED SITE PERVIOUS AREA: 2,171,760 SF (66.3%)

BUILDING SUMMARY:

EXISTING BUILDING FOOTPRINT: 104,878 SF

EXISTING BUILDING TOTAL SF: 159,853 SF
LOWER LEVEL: 28,345 SF
FIRST FLOOR: 67,184 SF
SECOND FLOOR: 46,404 SF

ADDITION BUILDING FOOTPRINT: 36,554 SF

ADDITION BUILDING TOTAL SF: 42,334 SF
ENTRY VESTIBULE: 1,023 SF
CTE ADDITION: 31,029 SF
CTE ADDITION MEZZANINE: 6,367 SF
CLAUSTRY ADDITION: 3,492 SF
SECOND FLOOR CONFERENCE ROOMS: 423 SF

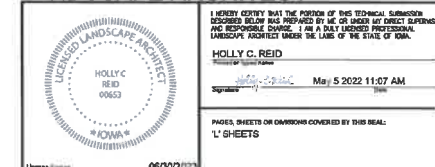
TOTAL PROPOSED BUILDING FOOTPRINT: 140,523 SF

TOTAL PROPOSED BUILDING SF: 202,287 SF
LOWER LEVEL: 28,345 SF
FIRST FLOOR: 122,728 SF
SECOND FLOOR: 46,877 SF
MEZZANINE: 6,367 SF

BUILDING HEIGHT: 38'-10" FEET
2 STORES

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY – APPROVED PLANS ON FILE WITH THE CITY

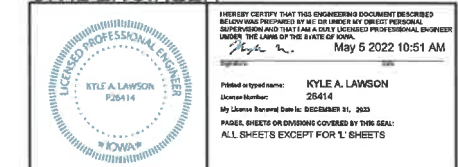
LANDSCAPE ARCHITECT



I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

HOLLY C. REID
00663
May 5 2022 11:07 AM

CIVIL ENGINEER



I HEREBY CERTIFY THAT THE ENGINEERING DOCUMENT DESCRIBED BELOWING PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

KYLE A. LAWSON
25414
May 5 2022 10:51 AM

VALLEY SOUTHWOODS CTE ADDITION

WEST DES MOINES COMMUNITY SCHOOLS
625 S 35TH ST, WEST DES MOINES, IA 50265

DRAWN: EJR
APPROVED: KAL
ISSUED FOR: BID DOCUMENTS
DATE: 2021-11-01
PROJECT NO.: 4000080
FIELD BOOK: --
CLIENT NO.: --

COVER SHEET

C000

GENERAL NOTES

- 1. THE LOCATIONS OF UTILITIES MAINS, STRUCTURES AND SERVICE CONNECTIONS ON THESE DRAWINGS ARE APPROXIMATE...
2. PRIOR TO CONSTRUCTION, UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
3. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL BY CALLING 811 OR 1-800-282-2888, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL PRIVATE AND PUBLIC UTILITY LOCATES, AND SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES.
5. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
6. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
7. PROTECT EXISTING UTILITIES DURING CONSTRUCTION. ANY EXISTING UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
8. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
9. SITE CLEAN-UP TO BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
10. PROTECT ALL OPEN EXCAVATIONS.
11. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
12. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT IS TO BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION TO BE ALLOWED FOR THE COMPLETION OF THIS WORK.
13. WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSE, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY SHIVE-HATTERY, INC. AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS OF SHIVE-HATTERY, INC., WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
14. ALL SLOPES IN PAVEMENT TO BE UNIFORM TO AVOID PONDING.
15. ALL DIMENSIONS TO BACK-OF-CURBS UNLESS NOTED OTHERWISE.
16. CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISHED GRADE.
17. NO PONDING OF WATER WILL BE ACCEPTED ON ANY NEW PAVEMENT OR OVERLAY AREAS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENTS THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING OR OVERLAY.
18. STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER.
19. THE CONTRACTOR TO PROVIDE EROSION CONTROL MEASURES NECESSARY TO PROTECT AGAINST SILTATION, EROSION, AND DUST POLLUTION ON THE PROJECT SITE AND ANY OFF SITE BORROW OR DISPOSAL AREAS USED FOR THIS PROJECT. COMPLY WITH SOIL EROSION CONTROL REQUIREMENTS OF IOWA CODE, FEDERAL REGULATIONS, AND LOCAL ORDINANCES.
20. ALL AREAS DISTURBED BY CONSTRUCTION, NOT DESIGNATED AS PLANTED, TO BE SEEDED OR SOODED PER LANDSCAPE PLAN.
21. NOTIFY UTILITY COMPANIES WHO HAVE FACILITIES THAT ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN THE CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
22. CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
23. COORDINATE ANY GRADE ADJUSTMENTS WITH THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
24. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
25. SIGNING, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES ON ALL STREETS OPEN TO PUBLIC TRAVEL SHALL BE IN CONFORMANCE WITH THE FEDERAL HIGHWAY ADMINISTRATIONS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
26. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
27. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
28. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
29. CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
30. DESIGNATED BUFFERS SHALL BE LABELED AS A "NO BUILD AREA".
31. ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALLPACS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOT-CANDLE.
32. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWER AND STREETS, THE CONTRACTOR SHALL CONTACT BEN MCALISTER - WDM ENGINEERING SERVICES 515-222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENT AGREEMENTS AND APPLICABLE PERMITS.
33. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
34. ALL JOINTING SHALL MEET IOWA DOT SPECIFICATIONS AND REQUIREMENTS. ALL LONGITUDINAL PAVEMENT JOINTS SHALL HAVE EITHER TYPE "BT", "KT", OR "L" JOINTS DEPENDING ON THE POURING SEQUENCE. ALL TRANSVERSE JOINTS SHALL BE TYPE "C" WITH TYPE "DW" JOINTS USED BETWEEN POURS. MAXIMUM JOINT SPACING SHALL BE 12' ON ALL PAVEMENT AND SQUARE ON ALL SIDEWALKS WITH A MAXIMUM JOINT SPACING OF 10'. SEAL ALL PAVEMENT JOINTS. CONTRACTOR SHALL SUBMIT POURING SEQUENCE AND JOINTING PLANS FOR APPROVAL BY ENGINEER PRIOR TO BEGINNING PAVING OPERATIONS.
35. MATERIALS NOT SUITABLE FOR CONSTRUCTION, INCLUDING TRENCH BACKFILL AND SURFACE RESTORATION, AND EXCESS MATERIALS SHALL BE PROPERLY DISPOSED OFF SITE AT NO ADDITIONAL COST TO THE OWNER.
36. ALL PEDESTRIAN SIDEWALK RAMPS SHALL BE CONSTRUCTED IN COMPLIANCE WITH SUDAS REQUIREMENTS AND SHALL MEET "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) AND "PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN PUBLIC RIGHT-OF-WAY" (PROWAG) GUIDELINES. ANY RAMP NOT IN COMPLIANCE WILL NOT BE ACCEPTED AND WILL REQUIRE RECONSTRUCTION.
37. CONTRACTOR TO COORDINATE CONSTRUCTION ACCESS, STAGING, AND PARKING AREAS WITH OWNER AND MINIMIZE IMPACTS TO OWNERS OPERATIONS.
38. CONTRACTOR TO PROVIDE AND MAINTAIN PERIMETER SAFETY FENCING AROUND ALL AREAS WHEN UNDER CONSTRUCTION.
39. COORDINATE STAGING AND TRAFFIC CONTROL WITH WEST DES MOINES EMERGENCY SERVICES.
40. LANE CLOSURE NOTICES MUST BE SUBMITTED TO WEST DES MOINES PUBLIC WORKS FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
41. ALL SIGNING, STRIPPING, AND OTHER TRAFFIC CONTROL DEVICES ON THE DRIVEWAY APPROACHES TO THE PUBLIC STREET SHOULD CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FEDERAL HIGHWAY ADMINISTRATION 2009 EDITION.
42. THE FOLLOWING INFORMATION HAS BEEN FORWARDED TO THE BUILDING ARCHITECT: "THE PROPOSED PROJECT EXCEEDS 3,000 SF AND WILL BE REQUIRED TO PROVIDE VESTIBULES FOR ENTRANCES AS REQUIRED BY THE STATE ADOPTED 2009 INTERNATIONAL ENERGY CONSERVATION CODE (SECTION 602.4.7)".
43. ALL ACCESSIBLE PARKING SPACES ARE LOCATED ON THE SHORTEST POSSIBLE ACCESSIBLE CIRCULATION ROUTE TO THE MAIN ENTRANCE OF THE BUILDING.
44. THERE ARE AT LEAST TWO ACCESSIBLE MEANS OF EGRESS WITH A CONTINUOUS EXIT PATH AWAY FROM THE BUILDING FOR TENANTS THAT WILL REQUIRE TWO EXITS.
45. A REPORT CERTIFIED BY A THIRD-PARTY RECOGNIZED TESTING AGENCY, ACCEPTABLE TO THE CITY, SHALL BE SUBMITTED TO DOCUMENT THE THICKNESS AND STRENGTH OF THE PAVEMENT, THE SUB-GRADE COMPACTION COMPLIANCE WITH THE METRO DESIGN STANDARDS FOR STREETS, AND THE STANDARDS LISTED IN THE WEST DES MOINES "OFF STREET PARKING ORDINANCE" FOR PRIVATE STREETS, PARKING LOTS,

AND DRIVEWAYS.

- 46. IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED, NO HALF-PANEL REMOVAL WILL BE ALLOWED.
47. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WEST DES MOINES ENGINEERING SERVICES DEPARTMENT (222-3475) TO SCHEDULE INSPECTION.
48. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS.
49. PRIOR TO ANY GRADING OR SITE WORK TAKES PLACE, A COPY OF THE STORM WATER NPDES GENERAL PERMIT NO. 2, AUTHORIZED BY THE IOWA DEPARTMENT OF NATURAL RESOURCES, SHALL BE SUBMITTED TO EITHER THE CHIEF BUILDING OFFICIAL (RVANGENDEREN@WDM-IA.COM) OR THE ASSIGNED PLANNING CASE ADVISOR (FACSIMILE TO 515-273-9602). IF AN AUTHORIZED NPDES PERMIT ALREADY PROVIDES COVERAGE FOR THIS DEVELOPMENT AREA, PRIOR TO ANY GRADING OR SITE WORK, A COPY OF THE APPLICABLE PERMIT AND A VICINITY MAP WHICH CONFIRMS THE COVERAGE INCLUDES THE PROPOSED PROJECT SHALL BE SUBMITTED TO EITHER THE CHIEF BUILDING INSPECTOR (RVANGENDEREN@WDM-IA.COM) OR THE ASSIGNED PLANNING CASE ADVISOR (FACSIMILE TO 515-273-9602).
50. THE PROJECT CIVIL ENGINEER OR DESIGN PROFESSIONAL SHALL PROVIDE AS-BUILT DOCUMENTATION THAT THE STORM WATER DRAINAGE SYSTEM HAS BEEN CONSTRUCTED AS DESIGNED. THE AS-BUILT SHALL BE FORWARDED TO THE CITY BEFORE ISSUANCE OF THE FINAL OCCUPANCY PERMIT, AND SHALL INCLUDE ELEVATIONS, DETENTION AND RETENTION POND CAPACITY, PIPING RESTRICTIONS, AND ANY PERTINENT ASPECTS OF THE STORM WATER SYSTEM.
51. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
52. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
53. ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
54. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
55. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY (YES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH KENTNERIA, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
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UTILITY NOTES

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
2. ALL HDPE PIPE SHALL BE DUAL-WALLED UNLESS OTHERWISE SPECIFIED AS PERFORATED.
3. CONSTRUCTION NOT SPECIFICALLY DETAILED OR SPECIFIED WITHIN THE PLANS OR PROJECT SPECIFICATIONS SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES METROPOLITAN STANDARDS WITH WEST DES MOINES ADDENDUM AND THE WEST DES MOINES CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.

- 4. ALL CLEANOUTS AND WATER VALVES IN LAWN OR LANDSCAPE BEDS SHALL HAVE CONCRETE COLLARS.
5. ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED TO FINAL FINISH GRADES.
6. ALL HDPE BENDS AND CONNECTIONS SHALL BE MANUFACTURED CONNECTIONS.
7. CONTRACTOR TO MODIFY EXISTING INVERTS TO ACCOMMODATE NEW PIPE CONNECTIONS.
8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS, SPECIFICATIONS, PERMITS, AND FEES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED TO COMPLETE THE WORK IN THE CONSTRUCTION DOCUMENTS, ANY FEES OR COSTS ASSOCIATED WITH THOSE PERMITS SHALL BE PAID BY THE CONTRACTOR.
9. ALL EXISTING AND PROPOSED UTILITY CROSSINGS/CONFLICTS SHALL MEET OR EXCEED HORIZONTAL AND VERTICAL SEPARATION REQUIREMENTS OF THE IOWA DEPARTMENT OF PUBLIC HEALTH AND OTHER REGULATING AGENCIES.
10. ALL UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED BEFORE BACKFILLING. COORDINATE WITH THE OWNER REPRESENTATIVE.
11. WATER TO BE INSTALLED WITH A MINIMUM COVER OF 6.5 FEET DEEP OR LOWER TO ACCOMMODATE UTILITY CROSSINGS.
12. SANITARY PIPE LENGTHS SHOWN ARE CENTERLINE TO CENTERLINE OF STRUCTURES.
13. STORM PIPE LENGTHS SHOWN ARE INSIDE EDGE TO INSIDE EDGE OF STRUCTURES.
14. AS-BUILT DOCUMENTATION OF THE STORM WATER DETENTION SYSTEM AND AN EXECUTED STORM WATER MANAGEMENT FACILITY MAINTENANCE AGREEMENT WILL BE REQUIRED AND FORWARDED TO THE CITY BEFORE ISSUANCE OF THE FINAL OCCUPANCY PERMIT AND SHALL INCLUDE ELEVATIONS, DETENTION BASIN CAPACITY, PIPING RESTRICTIONS, AND OTHER PERTINENT INFORMATION.
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CONSTRUCTION STAGING NOTES

- 1. CONTRACTOR SHALL COORDINATE ALL STAGING AREAS WITH OWNER.
2. CONTRACTOR SHALL REPLACE ALL PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES AT THE END OF CONSTRUCTION. CONTRACTOR TO PROVIDE PHOTO DOCUMENTATION OF EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
3. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS NOT TO BE PAVED TO THEIR ORIGINAL CONDITION AT THE END OF CONSTRUCTION. ALL DISTURBED AREAS SHALL BE SCARIFIED, FILLED AND SEEDDED. CONTRACTOR TO PROVIDE PHOTO DOCUMENTATION PRIOR TO BEGINNING WORK.
4. CONTRACTOR SHALL PROVIDE BARRICADES, FENCING OR OTHER DEVICES TO KEEP UNAUTHORIZED PERSONNEL AND STUDENTS OUT OF PROJECT SITE.
5. THE CONTRACTOR SHALL IDENTIFY AND COORDINATE ANY PHASING CONCERNS WITH THE OWNER AND THE ENGINEER PRIOR TO BEGINNING THE APPLICABLE PHASE OF CONSTRUCTION.

Legend table with columns for EXISTING, DESCRIPTION, and PROPOSED. Includes symbols for CONTROL POINT/BENCH MARK, HANDICAPPED PARKING, SHRUB, DECIDUOUS TREE, CONIFEROUS TREE, EXISTING TREE LINE, TREE REMOVAL, PAVEMENT MARKING, LIGHT POST, UTILITY POLE, SINGLE POLE SIGN, BOLLARD, FLAGPOLE, FIRE HYDRANT, UTILITY END CAP, VALVE, CLEANOUT, CURB INTAKE, STORM INTAKE, FLARED END SECTION, MANHOLE, DRAINAGE MANHOLE, SANITARY MANHOLE, TRANSFORMER, VAULT BOX, CURB AND GUTTER (POC), MAJOR CONTOUR, MINOR CONTOUR, GAS MAIN, SANITARY SEWER, STORM SEWER, SUBDRAIN, FIBER OPTIC, WATER MAIN, UTILITY DEMO, SILT FENCE OR FILTER SOCK, CONSTRUCTION LIMITS, BUILDING, PCC PAVING, SIDEWALK PAVING, PCC PAVING DEMO, SIDEWALK PAVING DEMO.

SHIVE-HATTERY ARCHITECTURE ENGINEERING logo and contact information: 4125 Westview Pkwy, Suite 100 | West Des Moines, Iowa 50399, 515.273.8184 | www.shivehattery.com, Issue 1 | Block 1 | Infill

VALLEY SOUTHWOODS CTE ADDITION project title and address: WEST DES MOINES COMMUNITY SCHOOLS, 628 S 35TH ST, WEST DES MOINES, IA 50305

Table with project metadata: DRAWN: KAL, APPROVED: KAL, ISSUED FOR: RED DOCUMENTS, DATE: 2024-11-01, PROJECT NO: 2024080, FIELD BOOK: , CLIENT NO: .

CONSTRUCTION NOTES section with a table and a note: THE MOST RECENT EDITION OF THE IOWA STATEWIDE URBAN DESIGN SPECIFICATIONS FOR PUBLIC IMPROVEMENTS SHALL APPLY TO ALL WORK PERFORMED ON THIS PROJECT EXCEPT AS MODIFIED HEREIN.

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VALLEY SOUTHWOODS CTE ADDITION

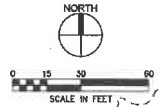
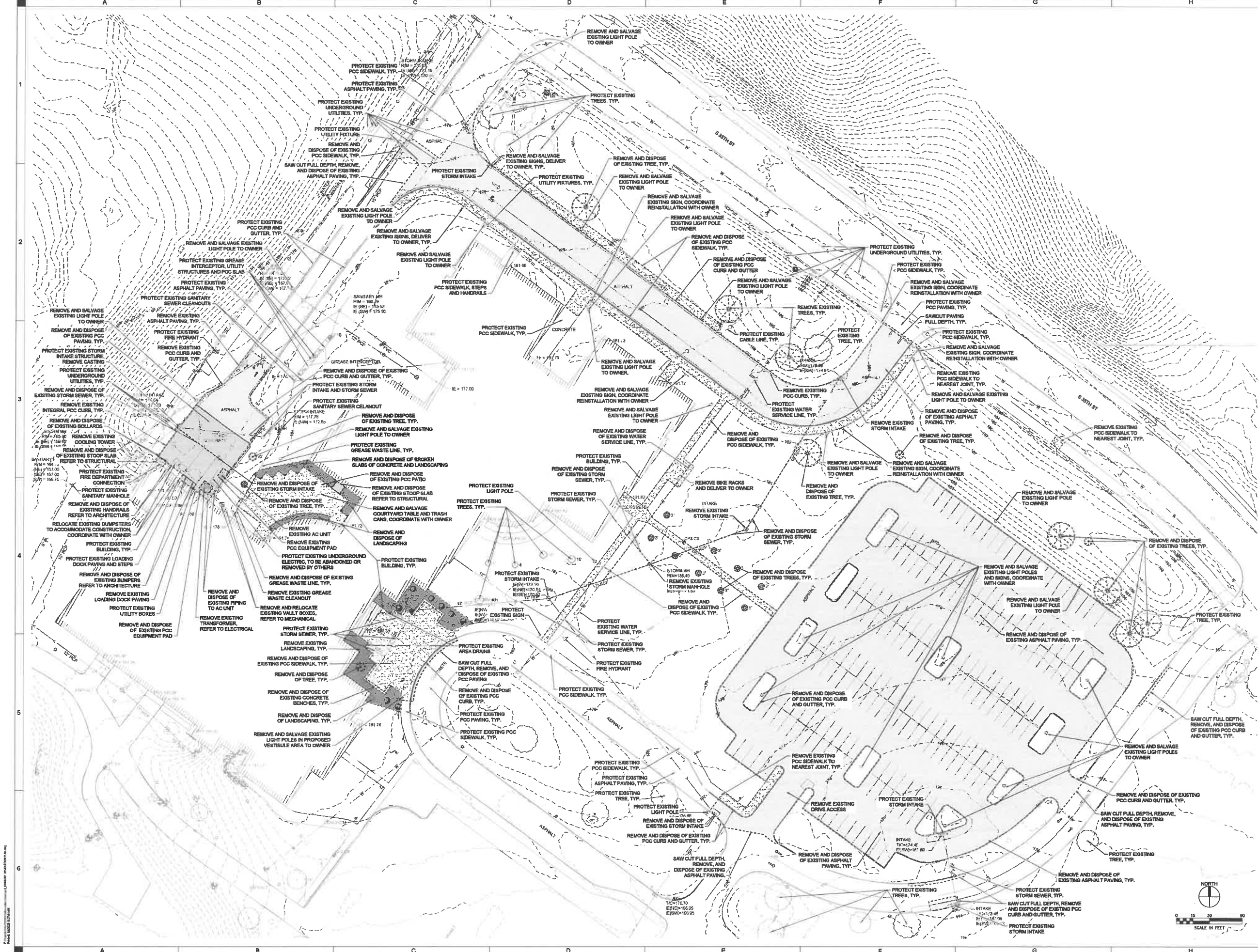
WEST DES MOINES COMMUNITY SCHOOLS
 625 S 38TH ST, WEST DES MOINES, IA 50265

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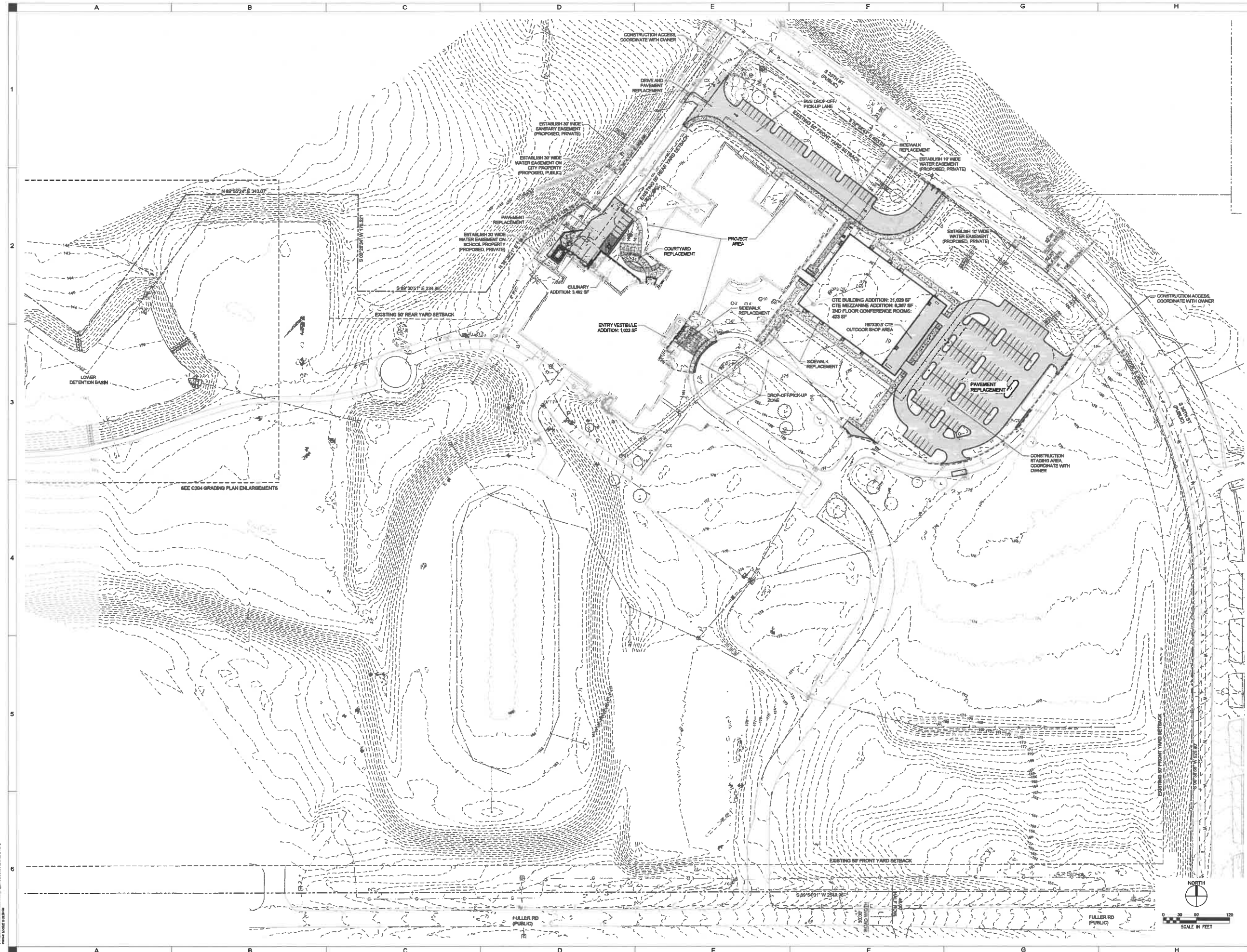
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FIELD BOOK:	
CLIENT NO.:	

DEMOLITION PLAN

CD01



Project: 4200080 - 11/17/21
 Date: 11/17/21
 Scale: 1/8" = 1'-0"
 Sheet: CD01 of 01



DATE: 08/28/2014
 DRAWN BY: J. H. HATHERT
 CHECKED BY: J. H. HATHERT
 PROJECT NO: 14-00099
 FIELD BOOK: -
 CLIENT NO: -

SHIVE-HATTERY
 ARCHITECTURE-ENGINEERING
 4125 Westown Pkwy, Suite 100 | West Des Moines, Iowa 50266
 515.283.8181 | www.shivehattery.com
 Iowa | Illinois | Indiana

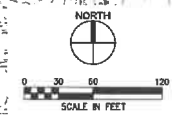
VALLEY SOUTHWOODS CTE ADDITION

WEST DES MOINES COMMUNITY SCHOOLS
 626 S 35TH ST, WEST DES MOINES, IA 50265

DRAWN: EJR
 APPROVED: ML
 ISSUED FOR: BID DOCUMENTS
 DATE: 2014-11-01
 PROJECT NO: 14-00099
 FIELD BOOK: -
 CLIENT NO: -

OVERALL SITE PLAN

C100








DRAWN	EBR
APPROVED	ML
ISSUED FOR	BD DOCUMENTS
DATE	2021-11-11
PROJECT NO.	202096
FIELD BOOK	-
CLIENT NO.	-

SITE PLAN ENLARGEMENTS

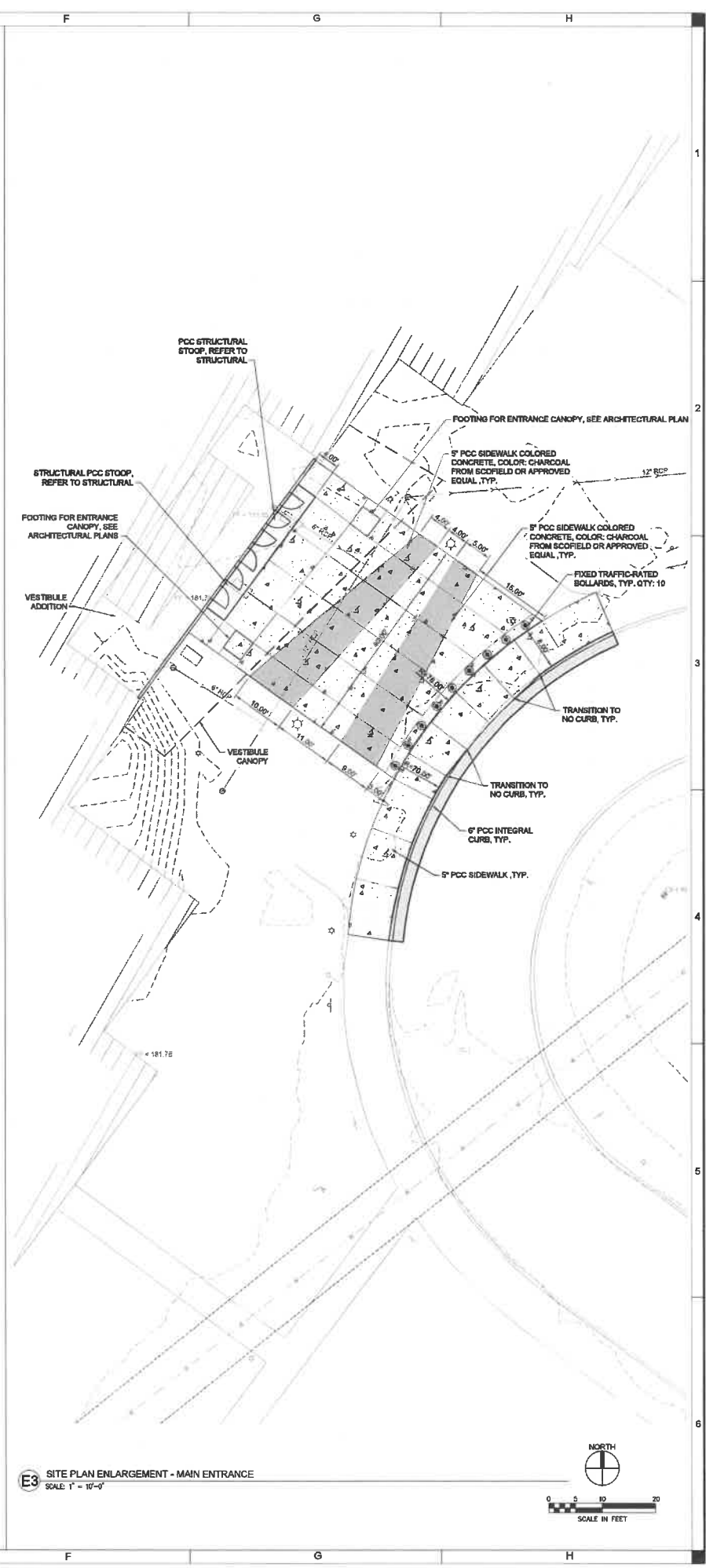
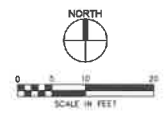
C102

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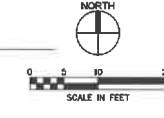
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-  PCC SIDEWALK COLORED CONCRETE, COLOR: CHARCOAL FROM SCOREFIELD OR APPROVED EQUAL
-  PCC SIDEWALK
-  7" PCC PAVING
-  6" PCC PAVING






A3 SITE PLAN ENLARGEMENT - COURTYARD
 SCALE: 1" = 10'-0"

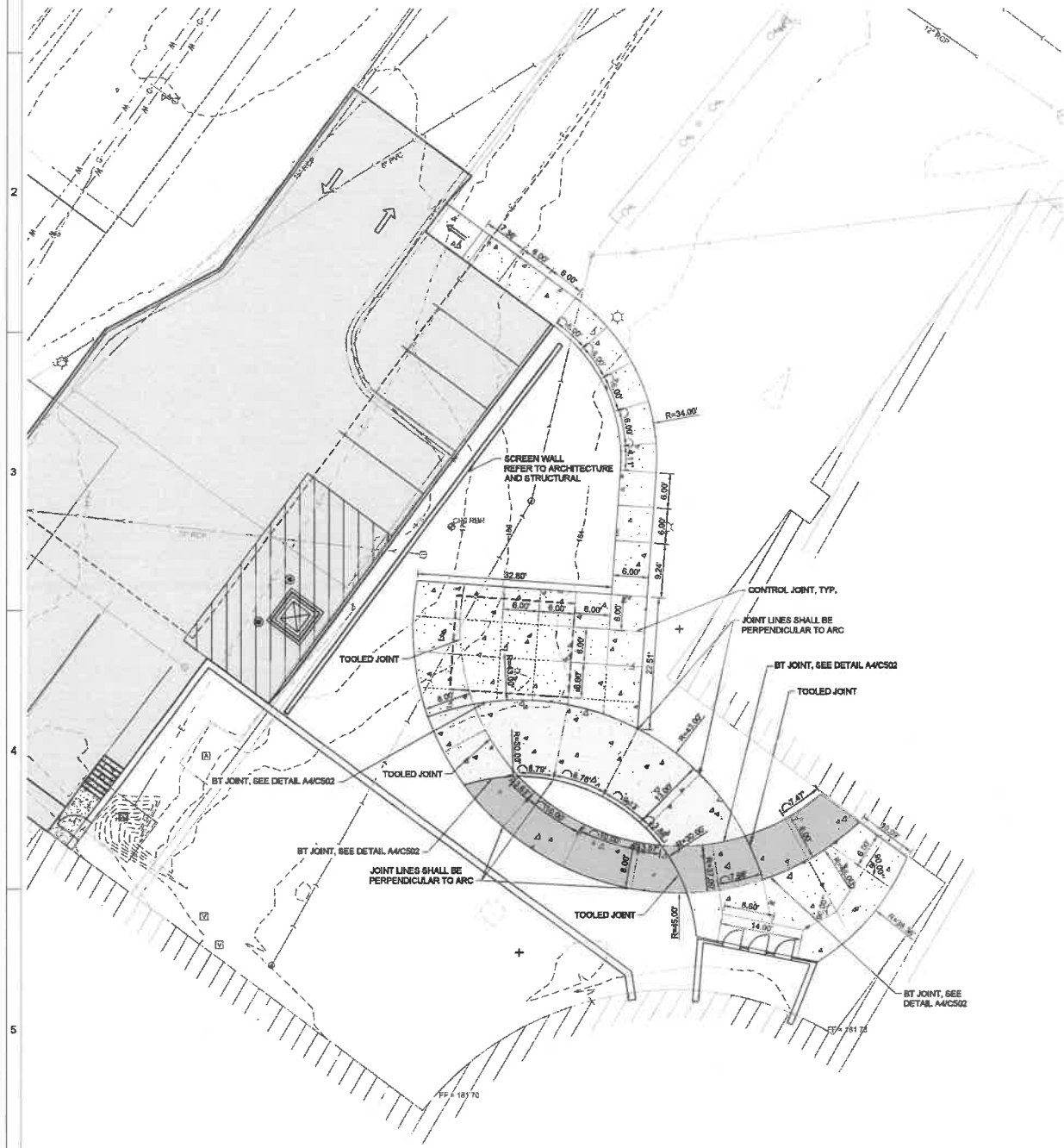


E3 SITE PLAN ENLARGEMENT - MAIN ENTRANCE
 SCALE: 1" = 10'-0"

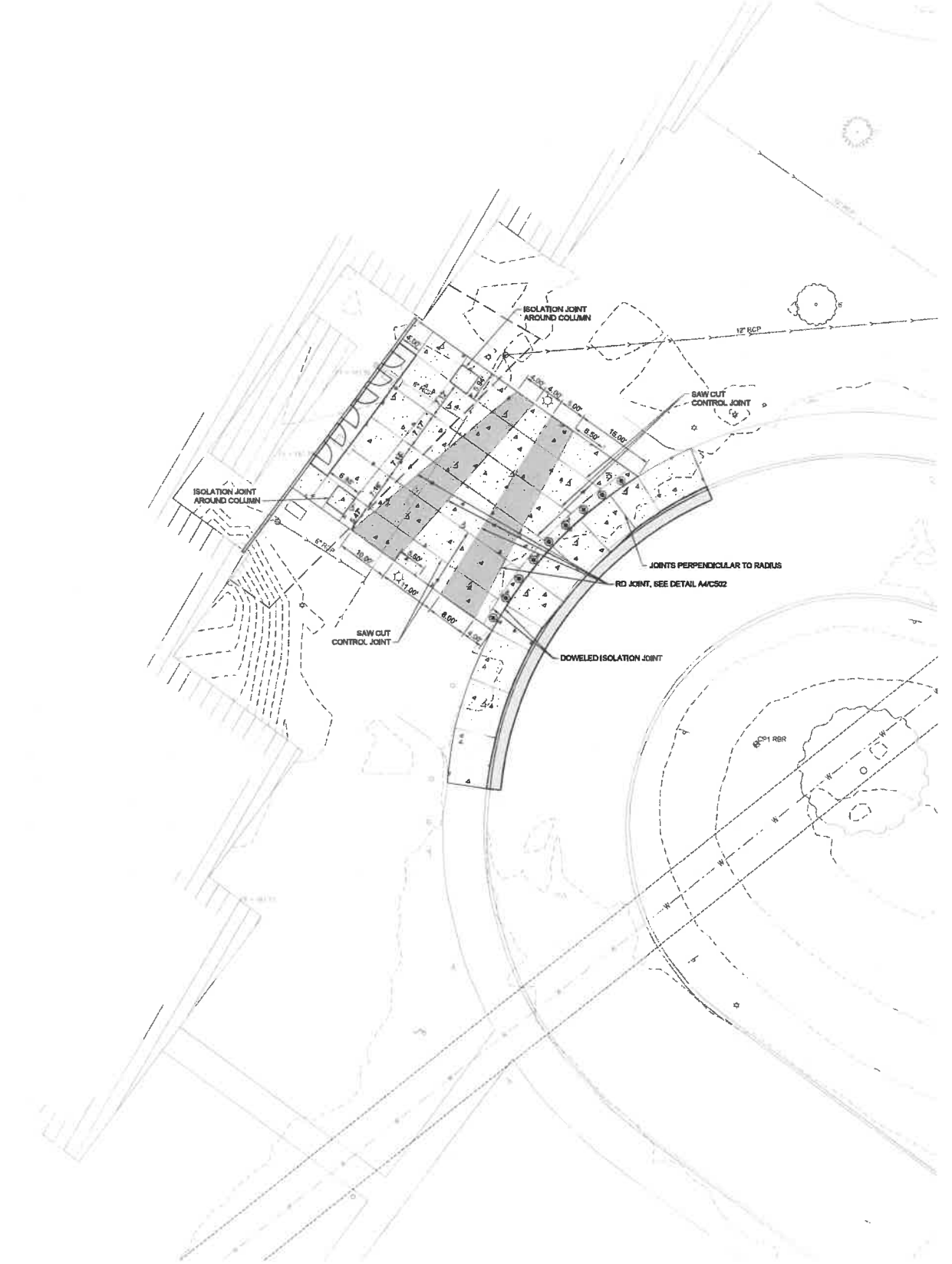
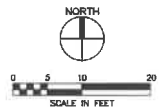


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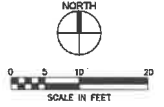
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COLOR: WESTWOOD BROWN FROM
SCOFFIELD OR APPROVED EQUAL
-  PCC SIDEWALK COLORED CONCRETE
COLOR: CHARCOAL FROM SCOFFIELD
OR APPROVED EQUAL
-  PCC SIDEWALK



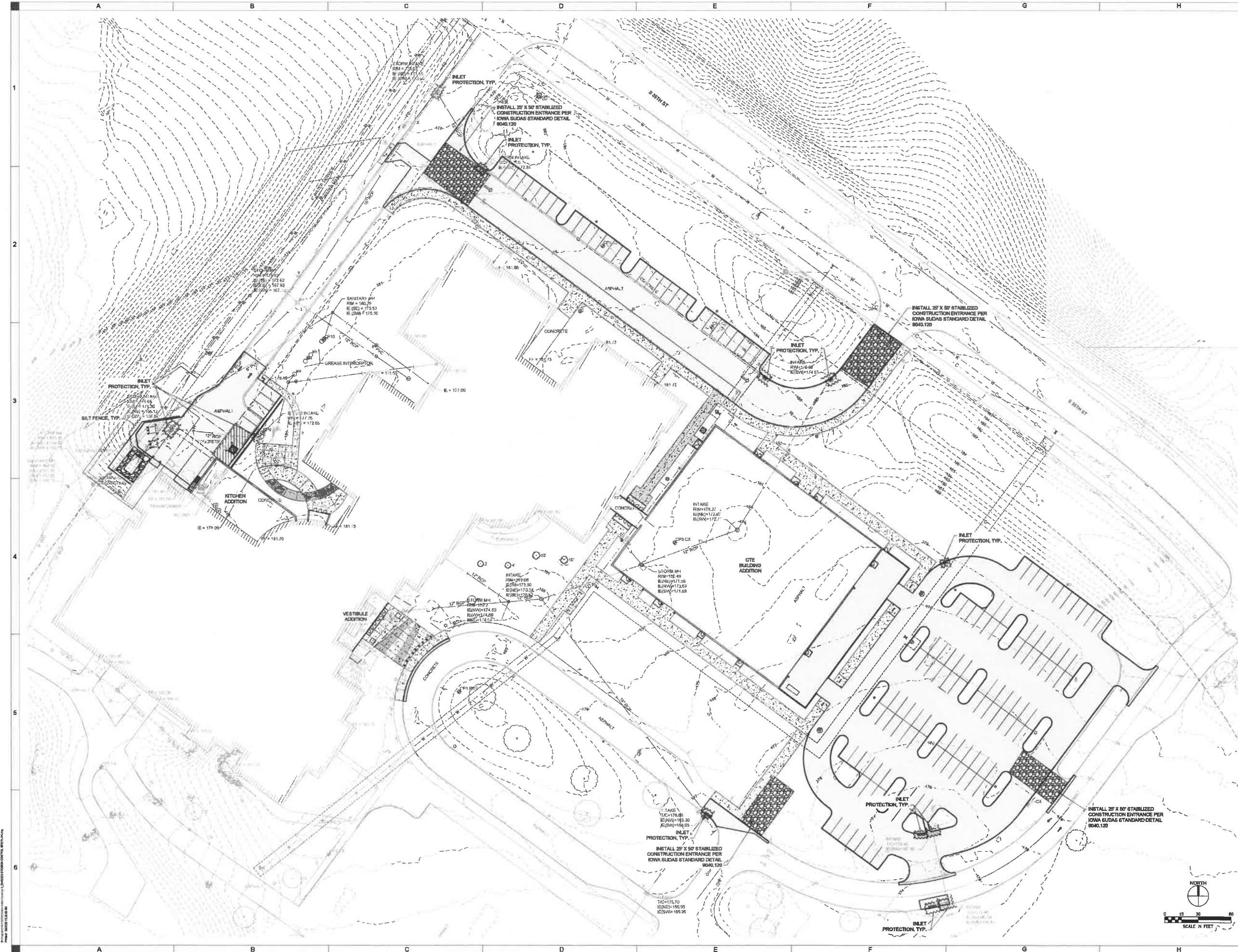
A3 JOINTING PLAN - COURTYARD
SCALE: 1" = 10'-0"



E3 JOINTING PLAN - MAIN ENTRANCE
SCALE: 1" = 10'-0"



DRAWN: EDR
APPROVED: MAL
ISSUED FOR: BD DOCUMENTS
DATE: 2024-11-01
PROJECT NO: 202309
FIELD BOOK: --
CLIENT NO: --

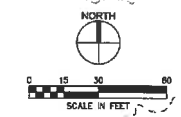


VALLEY SOUTHWOODS CTE ADDITION

WEST DES MOINES COMMUNITY SCHOOLS
 825 S 30TH ST, WEST DES MOINES, IA 50305

DRAWN:	ERK
APPROVED:	KAL
ISSUED FOR:	REDOCUMENTS
DATE:	2024-11-01
PROJECT NO.:	2402890
FIELD BOOK:	
CLIENT NO.:	

**EROSION CONTROL
 SITE PLAN**



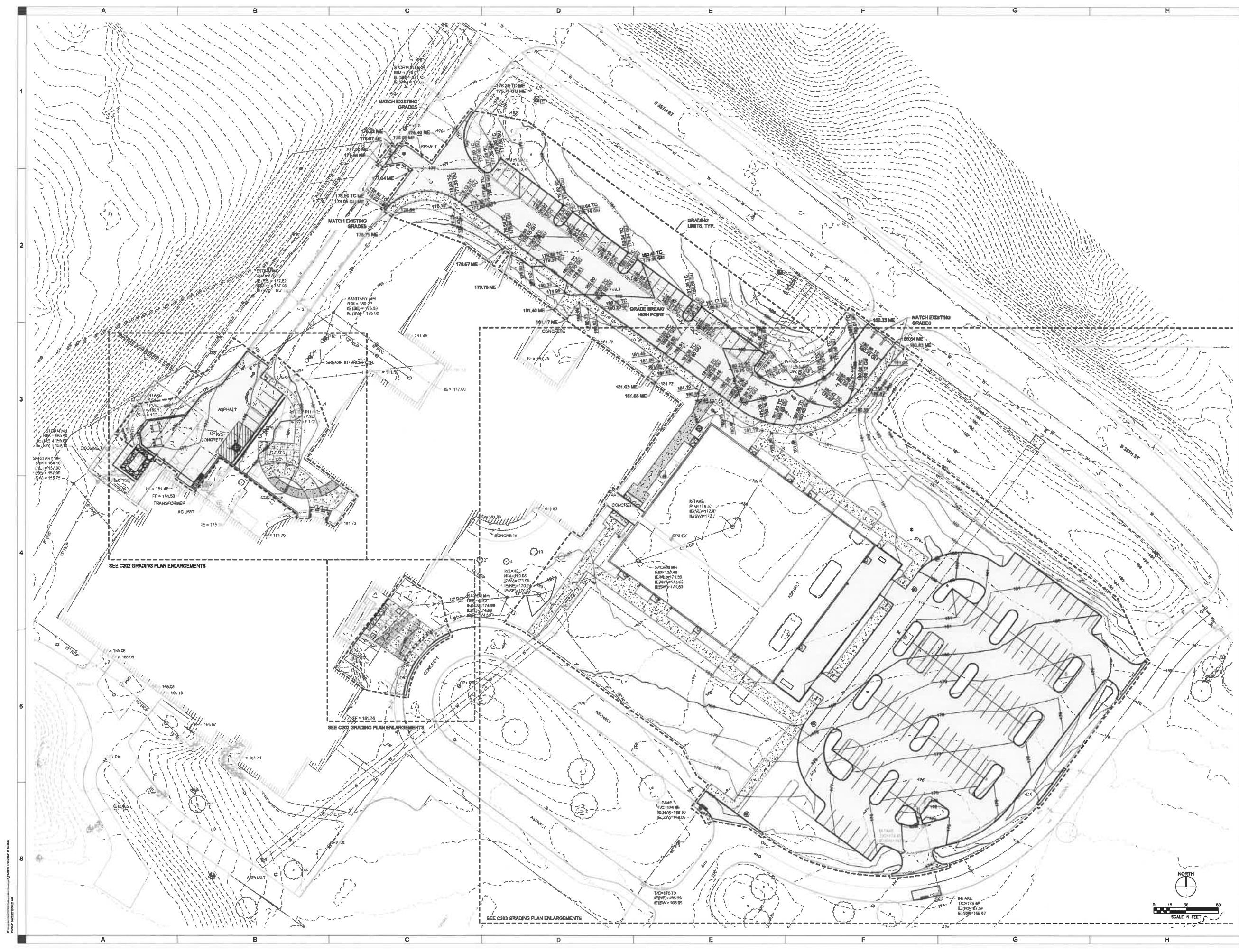
VALLEY SOUTHWOODS CTE ADDITION

WEST DES MONIES COMMUNITY SCHOOLS
 625 S 35TH ST, WEST DES MONIES, IA 50256

DRAWN: KAL
 APPROVED: KAL
 ISSUED FOR: REVISIONS
 DATE: 2024-04-11
 PROJECT NO: C201-01
 FIELD BOOK: --
 CLIENT NO: --

GRADING PLAN

C201



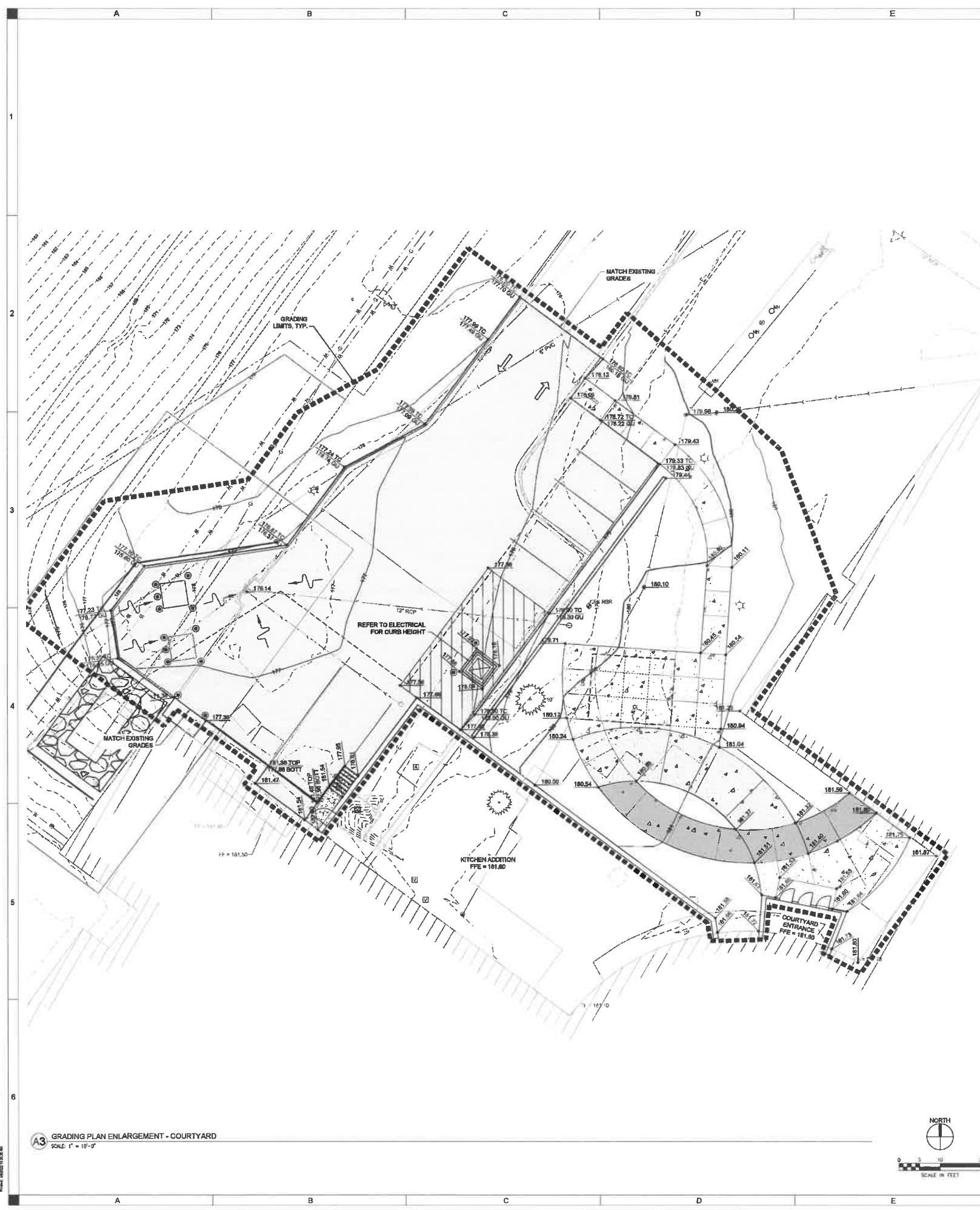
PROJECT NO: C201-01
 SHEET NO: 1 OF 1

VALLEY SOUTHWOODS CTE ADDITION
 WEST DES MOINES COMMUNITY SCHOOLS
 625 S. 35TH ST., WEST DES MOINES, IA 50305

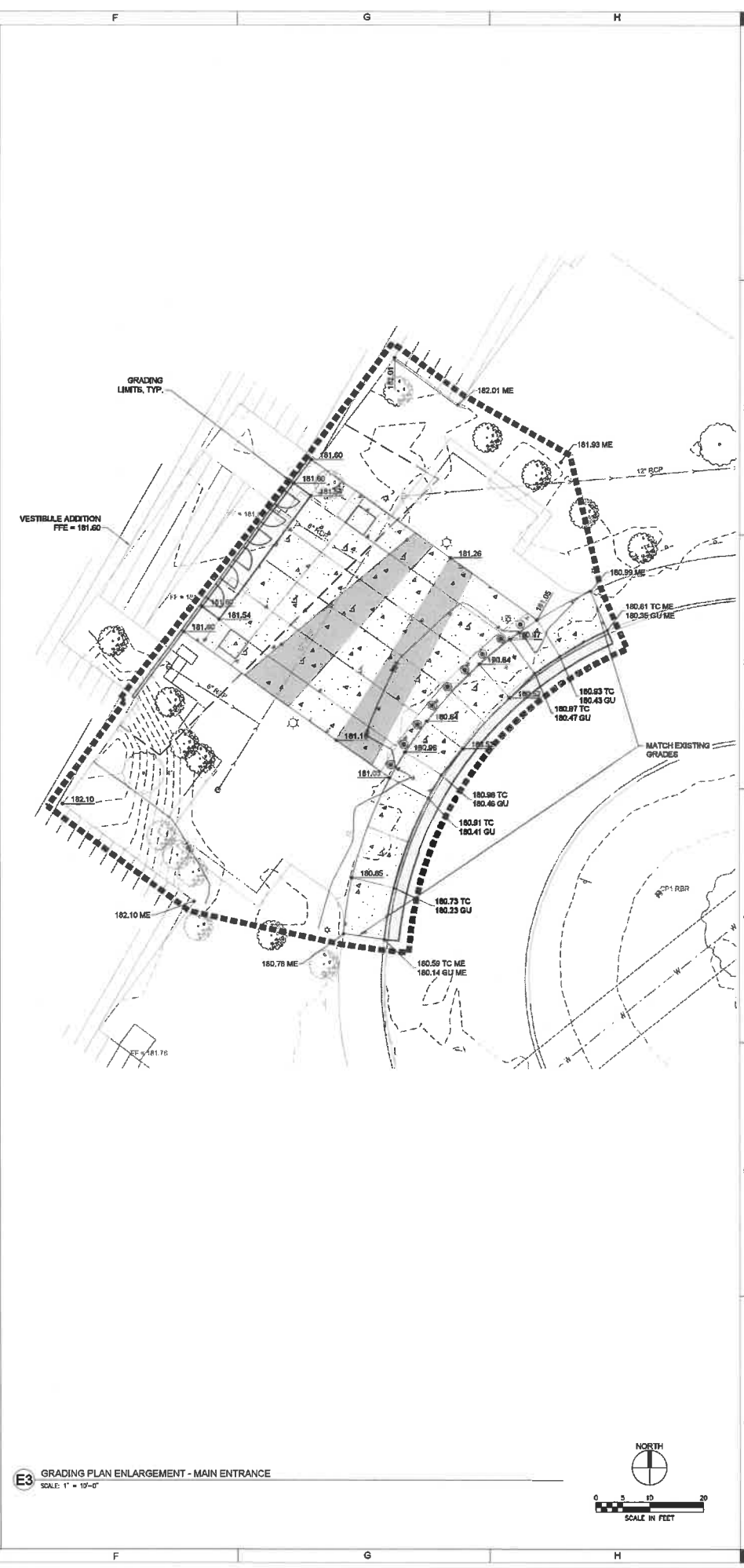
DRAWN:	EBR
APPROVED:	ML
ISSUED FOR:	REVISIONS
DATE:	2/24/17
PROJECT NO.:	400099
FIELD BOOK:	
CLIENT NO.:	

GRADING PLAN ENLARGEMENTS

C202

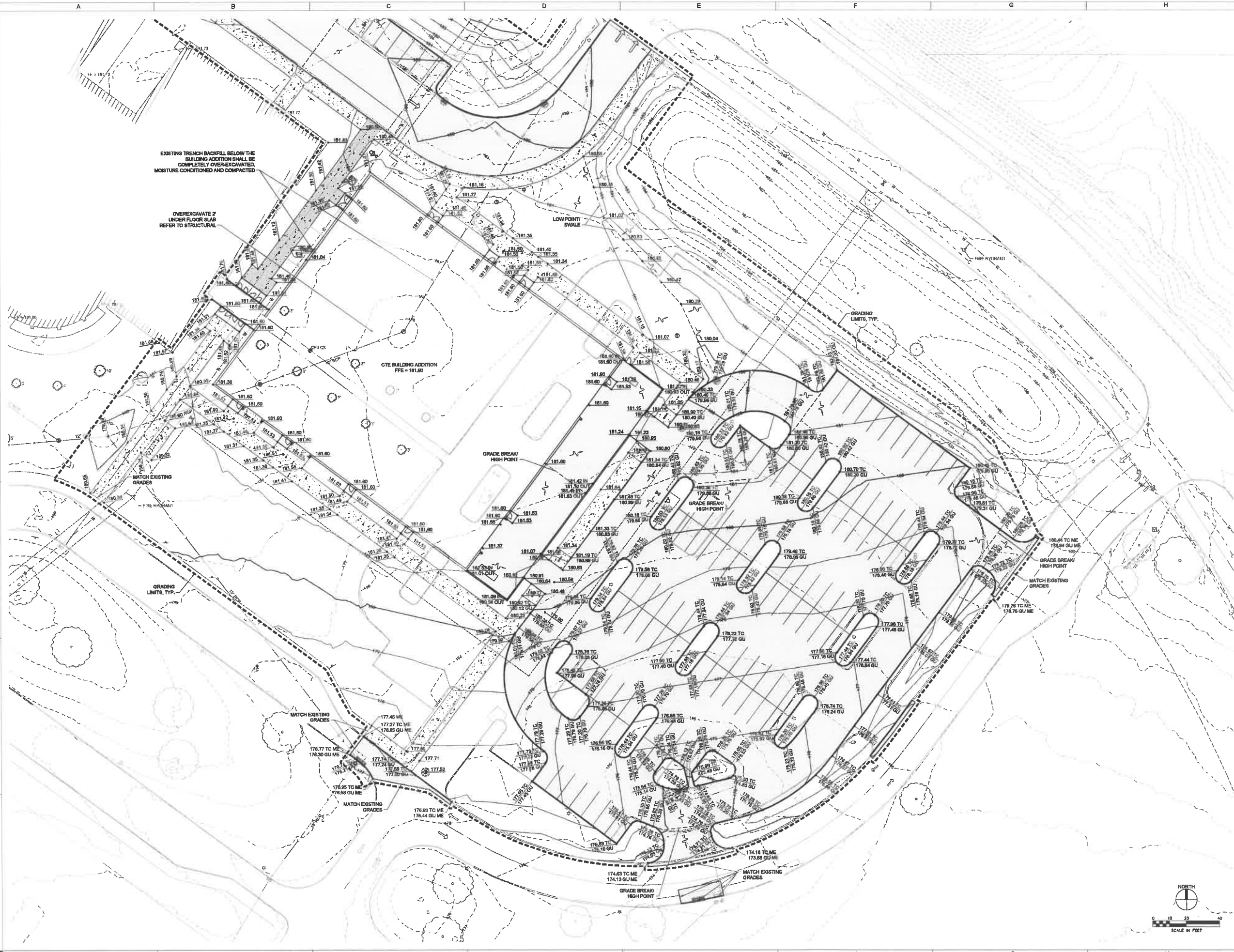


A3 GRADING PLAN ENLARGEMENT - COURTYARD
 SCALE: 1" = 10'-0"



E3 GRADING PLAN ENLARGEMENT - MAIN ENTRANCE
 SCALE: 1" = 10'-0"

PROJECT: 400099 (17) 03 2017
 DRAWING: GRADING PLAN ENLARGEMENTS
 SHEET: C202



VALLEY SOUTHWOODS CTE ADDITION

WEST DES MOINES COMMUNITY SCHOOLS
 625 S 35TH ST, WEST DES MOINES, IA 50305

DRAWN: KAL	APPROVED: KAL
ISSUED FOR: BID DOCUMENTS	
DATE: 2024-1-01	
PROJECT NO: 2023060	
FIELD BOOK: -	
CLIENT NO: -	

GRADING PLAN
 ENLARGEMENTS

C203

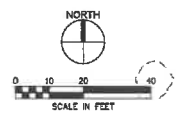
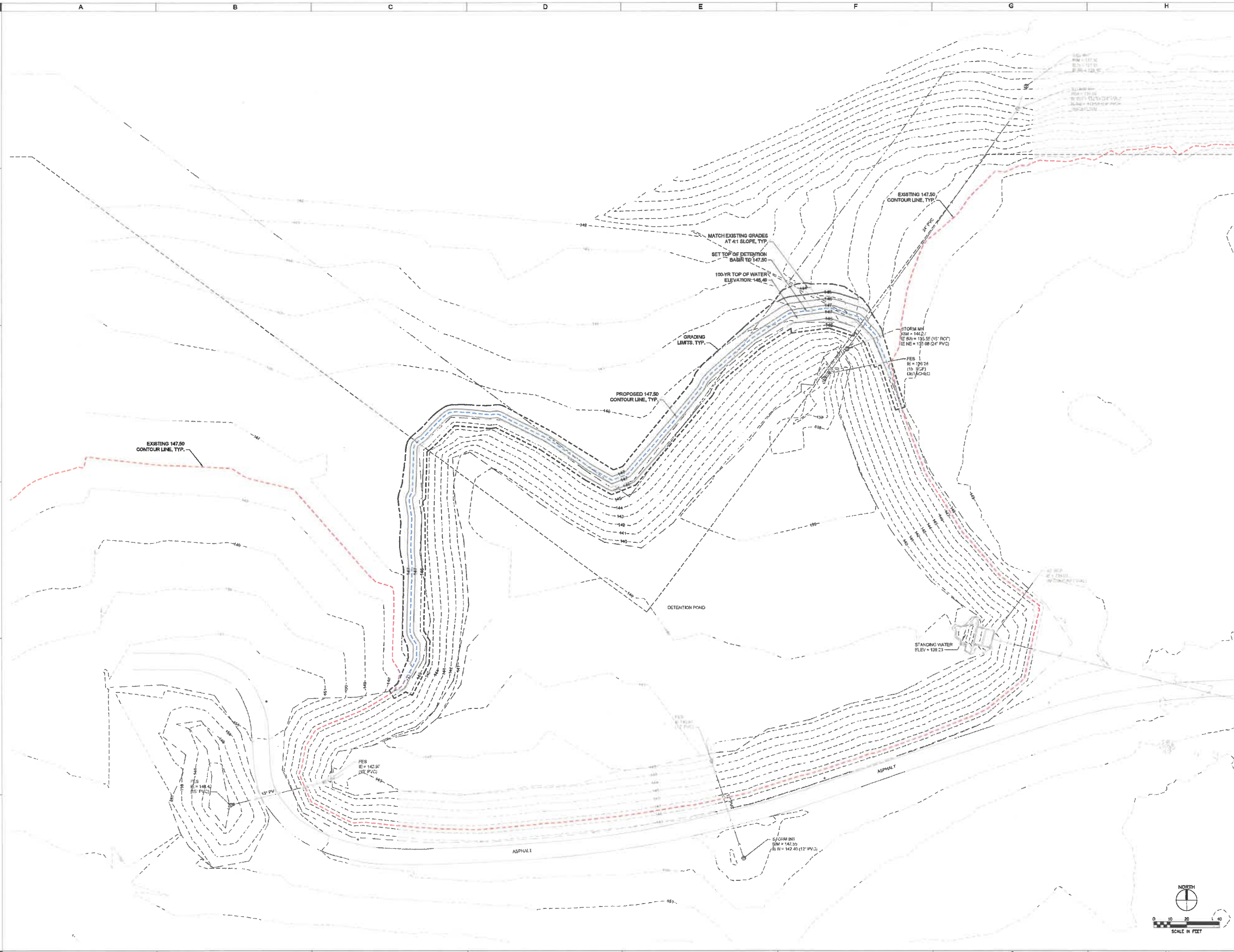
VALLEY SOUTHWOODS CTE ADDITION

WEST DES MOINES COMMUNITY SCHOOLS
 625 S 30TH ST, WEST DES MOINES, IA 50305

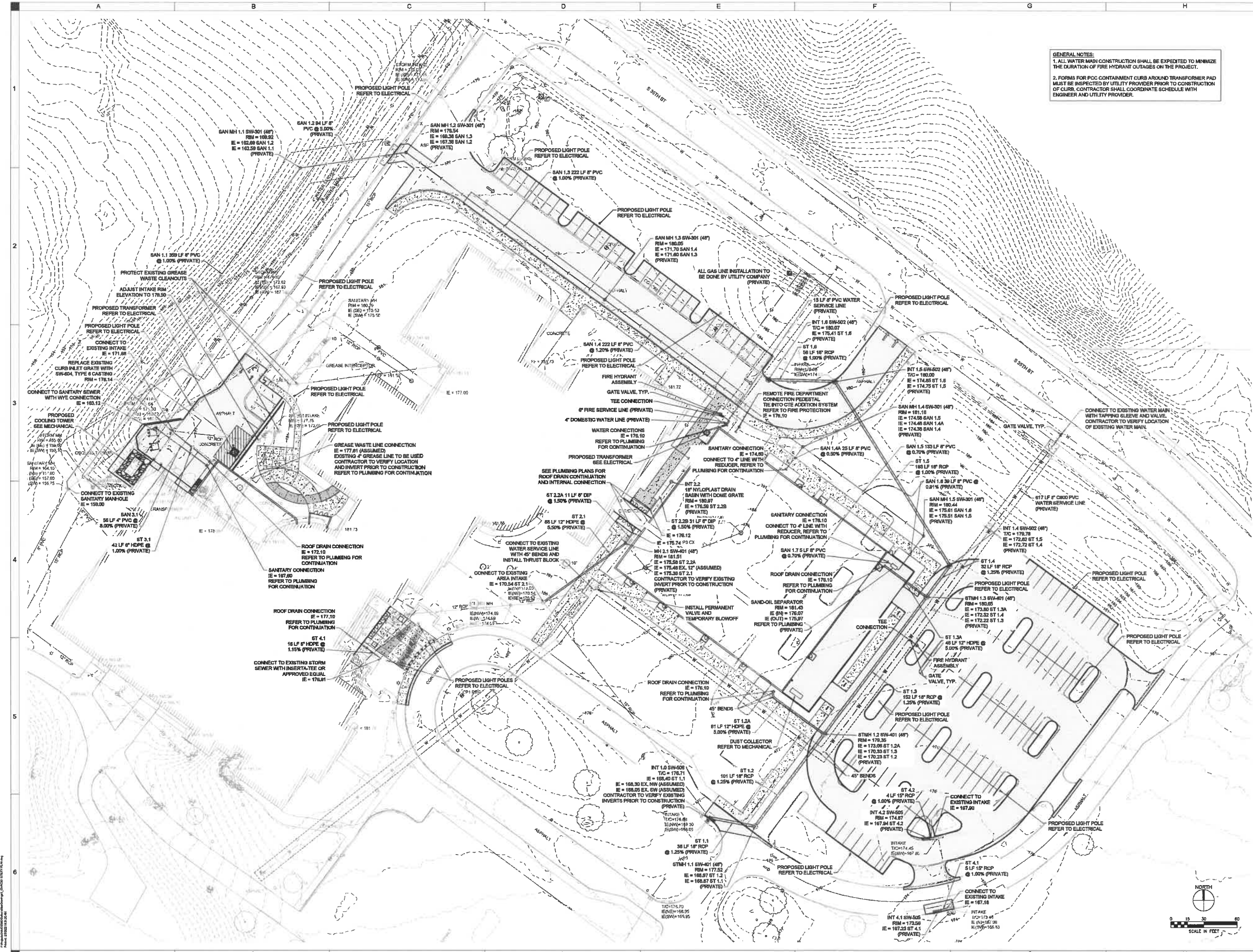
**GRADING PLAN
ENLARGEMENTS**

C204

DRAWN: ML
APPROVED: ML
ISSUED FOR: BID DOCUMENTS
DATE: 2024-11-01
PROJECT NO: 2023090
FIELD BOOK: --
CLIENT NO: --



\\P001\share\planning\shivehattery\project\CAD\DWG\C204.ctb
 DATE: 11/01/24 11:48



GENERAL NOTES:
 1. ALL WATER MAIN CONSTRUCTION SHALL BE EXPEDITED TO MINIMIZE THE DURATION OF FIRE HYDRANT OUTAGES ON THE PROJECT.
 2. FORMS FOR POC CONTAINMENT CURBS AROUND TRANSFORMER PAD MUST BE INSPECTED BY UTILITY PROVIDER PRIOR TO CONSTRUCTION OF CURB. CONTRACTOR SHALL COORDINATE SCHEDULE WITH ENGINEER AND UTILITY PROVIDER.

SHIVEHATTERY
 CIVIL ENGINEERING & SURVEYING
 4125 Westwood Plaza, Suite 100 | West Des Moines, Iowa 50309
 515.223.8301 | www.shivehattery.com
 Steve J. Shive | Engineer

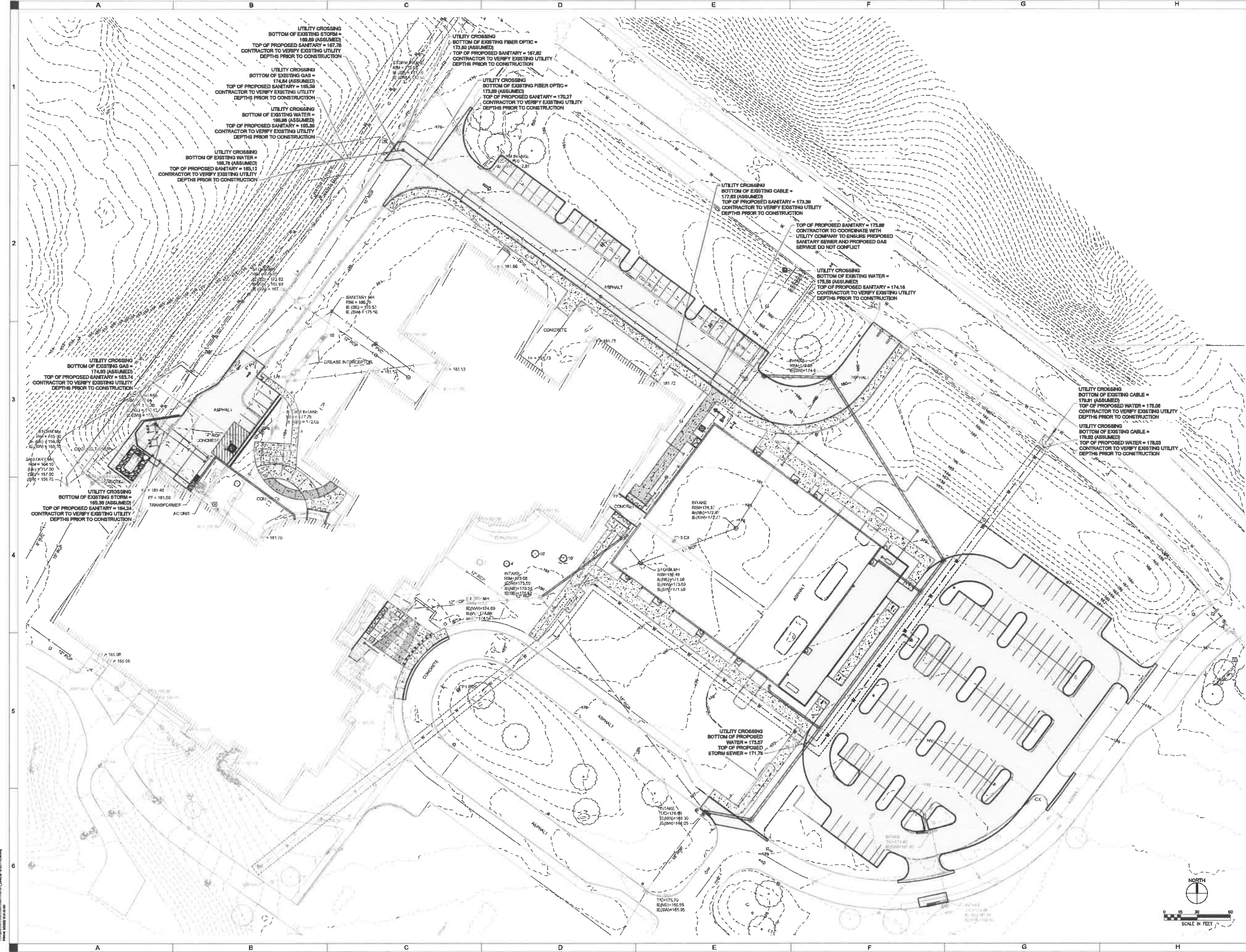
VALLEY SOUTHWOODS CTE ADDITION
 WEST DES MOINES COMMUNITY SCHOOLS
 925 S 30TH ST, WEST DES MOINES, IA 50309

NO.	DESCRIPTION

DRAWN: KAL	DATE: 2024-11-01
APPROVED: KAL	PROJECT NO: 240089
ISSUED FOR: RED DOCUMENTS	FIELD BOOK: -
CLIENT NO: -	

UTILITY PLAN

C301



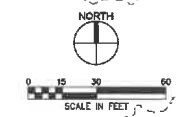
SHIVEHATTERY
ARCHITECTURE-ENGINEERING
4125 Westwood Plaza, Suite 100 | West Des Moines, Iowa 50266
515.223.0104 | www.shivehattery.com
From 1 Mile to 1 Billion

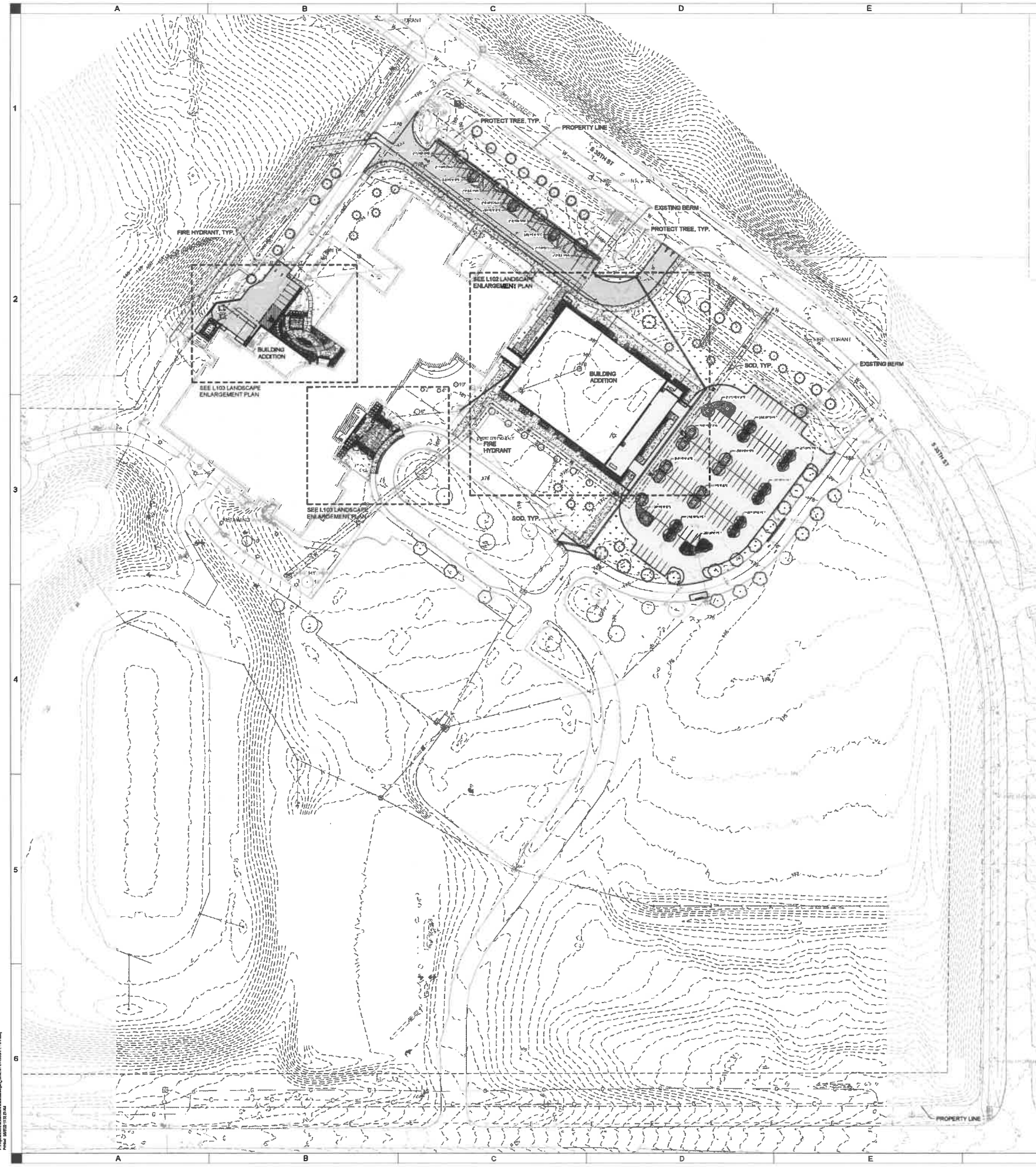
VALLEY SOUTHWOODS CTE ADDITION
WEST DES MOINES COMMUNITY SCHOOLS
628 S 80TH ST, WEST DES MOINES, IA 50265

NO.	DATE	DESCRIPTION

DRAWN: KAL
APPROVED: KAL
ISSUED FOR: 3D DOCUMENTS
DATE: 2024-11-01
PROJECT NO: 2405993
FIELD BOOK: --
CLIENT NO: --

UTILITY CROSSING PLAN
C302





PLANT SCHEDULE SITE				
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	4	<i>Acer platanoides</i> 'Royal Red'	Royal Red Norway Maple	B & B 2' Cal
	9	<i>Betula papyrifera</i> 'Fargo' TM	Dakota Pinnacle Asian White Birch	B & B 1.5' Cal
	9	<i>Ginkgo biloba</i> 'Princeton Sentry'	'Princeton Sentry' Maidenhair Tree	B & B 2' Cal
	11	<i>Gleditsia triacanthos</i> 'Skyline'	Skyline Honey Locust	B & B 2' Cal
	5	<i>Gymnocladia dioica</i> 'Espresso'	Kentucky Coffeetree	B & B 2' Cal
	15	<i>Liquidambar styraciflua</i> 'Yapdef'	Hopbush Sweet Gum	B & B 2' Cal
	6	<i>Quercus bicolor</i>	Swamp White Oak	B & B 2' Cal
	4	<i>Quercus rubra</i>	Red Oak	B & B 2' Cal
	6	<i>Syringa reticulata</i> 'Ivory Silk' Single Stem	Ivory Silk Japanese Tree Lilac Sngl Stem	B & B 1.5' Cal
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	14	<i>Abies concolor</i>	White Fir	B & B 6' HT.
	11	<i>Picea abies</i>	Norway Spruce	B & B 6' HT.
	10	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	B & B 6' HT.
	8	<i>Thuja occidentalis</i> 'Emerald Green'	Emerald Green Arborvitae	B & B 6' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	88	<i>Ilex verticillata</i> 'NCIVS' TM	Little Goblet Guy Waterberry Holly	3 GAL 2' Tall
	88	<i>Ribes alpinum</i> 'Green Mound'	Green Mound Alpine Currant	3 GAL 2' Tall
	36	<i>Spiraea betulifolia</i> 'Tor Gold' TM	Glow Girl Birchleaf Spirea	3 GAL 2' Tall
	64	<i>Spiraea x 'Tracy'</i> TM	Double Play Big Bang Spirea	3 GAL 2' Tall
	19	<i>Syringa pubescens patula</i> 'Miss Kim'	Miss Kim Korean Lilac	3 GAL 2' Tall
	26	<i>Taxus cuspidata</i> 'Nana Aureacons'	Dwarf Golden Japanese Yew	3 GAL 2' Tall
	4	<i>Taxus x media</i> 'Hicksii'	Hicks Japanese Yew	5 gal
	10	<i>Weigela florida</i> 'Bokrosplw' TM	Spilled Wine Weigela	3 GAL 2' Tall
ORNAMENTAL GRASS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	245	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal
	17	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	1 gal
	10	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	1 gal
	309	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	41	<i>Carex rosea</i>	Golden Star Sedge	1 gal
	76	<i>Hemerocallis</i> 'Primal Scream'	Rainbow Rhythm 'Primal Scream' Daylily	1 gal
	719	<i>Hemerocallis x 'Stella de Oro'</i>	Stella de Oro Daylily	1 gal
	17	<i>Hosta x 'Fire and Ice'</i>	Fire and Ice Hosta	1 gal
	10	<i>Hosta x 'Liberty'</i>	Liberty Hosta	1 gal
	17	<i>Iris sibirica</i> 'Over in Gloryland'	Over in Gloryland Siberian Iris	Bud
	25	<i>Litope muscari</i> 'Big Blue'	Big Blue Lilyturf	1 gal
	57	<i>Sabia x 'Carradonna'</i>	Sage	1 gal
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	30	<i>Carex blanda</i>	Woodland Sedge	6' pot
	77,255 sf	Sod Grass	Sod	SF

- LANDSCAPE NOTES:**
- ALL TREES SHALL BE PER THE RECOMMENDATIONS AND REQUIREMENTS OF THE CURRENT ANSI AMERICAN STANDARDS FOR NURSERY STOCK.
 - PROTECT ALL EXISTING AND NEW STRUCTURES AND UTILITY SERVICES DURING INSTALLATION OF ALL PLANT MATERIAL. NOTIFY ENGINEER IMMEDIATELY UPON CONFLICT OF PLANTS, STRUCTURES, AND UTILITIES.
 - ALL PLANTING BEDS SHALL RECEIVE 2" DOUBLE SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE NOTED.
 - REPAIR ALL AREAS OF DISTURBANCE WITH SOIL UNLESS NOTED OTHERWISE.
 - PLANTING BEDS SHALL BE TILLED TO A DEPTH OF 12" TO DECOMPACT SOILS.
 - ALL AREAS TO BE SEEDDED SHALL RECEIVE TURF SEED WITH HYDROMULCH.
 - TREES MUST BE PLANTED 6' OFF VEHICULAR ROADS PER WEST DES MOINES CODE.

LANDSCAPE SUMMARY:

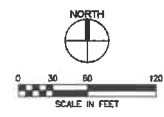
EXISTING TREES TO BE REMOVED: 21 TREES (10 DECIDUOUS, 11 EVERGREEN)
 REQUIRED OPEN SPACE OF ENTIRE SITE: 468,840 SF (25%)
 PROVIDED OPEN SPACE OF ENTIRE SITE: 1,375,060 SF (75%)

R-1 OPEN SPACE LANDSCAPE REQUIREMENTS:
 PROVIDE 2 TREES AND 3 SHRUB PER 3,000 SF OF REQUIRED OPEN SPACE.

PROJECT AREA = 565,482 SF
 REQUIRED OPEN SPACE = 141,371 SF (25%)
 PLANTS REQUIRED = 141,371 SF/3000 SF = 48 PLANT UNITS
 REQUIRED: 86 TREES
 144 SHRUBS

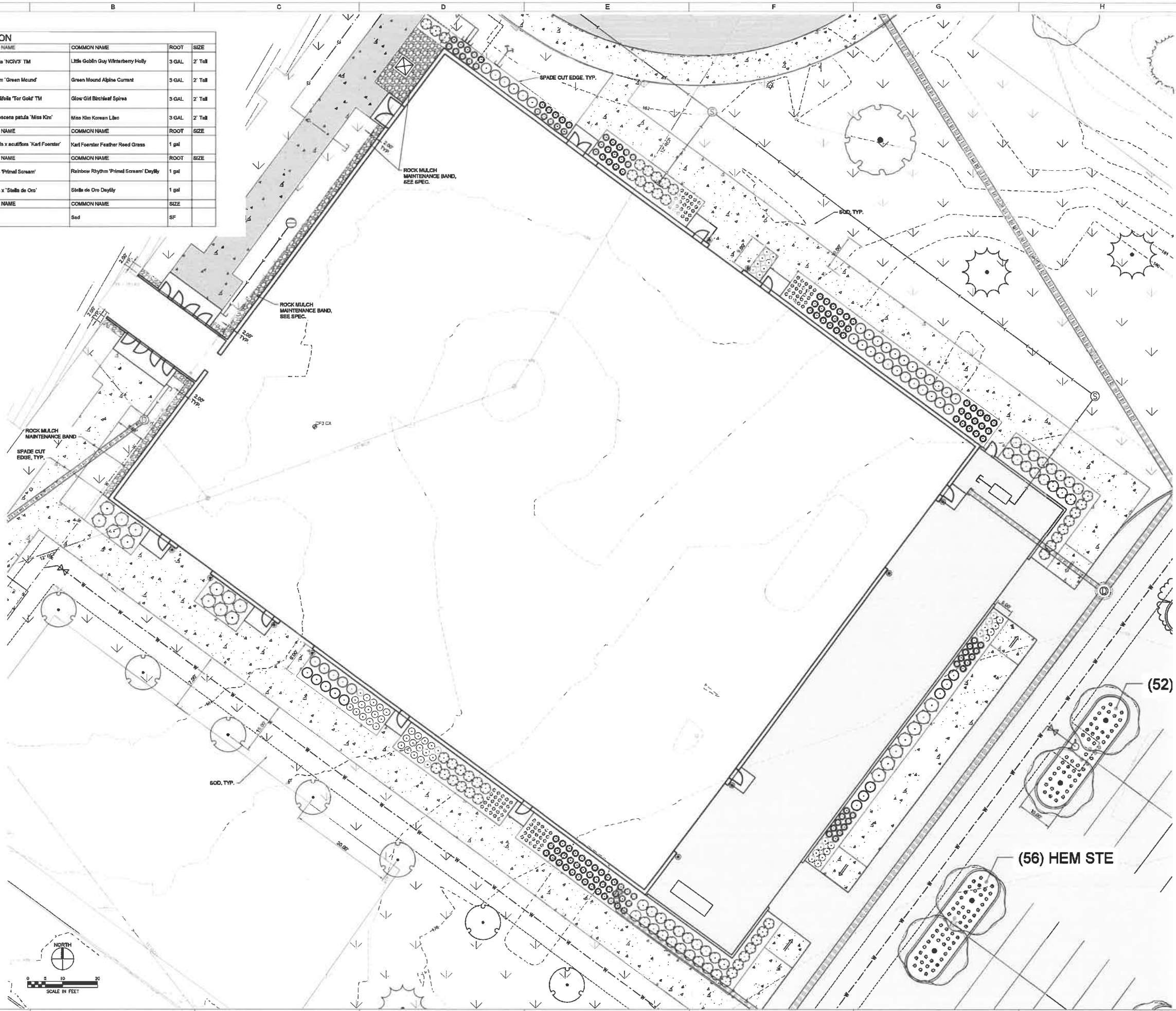
EXISTING TO REMAIN: 25 TREES (21 DECIDUOUS, 4 CONIFEROUS)
 16 SHRUBS
 333 SHRUBS
 PROVIDED: 112 TREES (69 DECIDUOUS, 43 CONIFEROUS)
 TOTAL: 137 TREES (90 DECIDUOUS, 47 CONIFEROUS)
 CONIFEROUS = 35% OF PROJECT AREA TREES
 349 SHRUBS

OPEN SPACE TREE TOTAL: 85 TREES (40 DECIDUOUS, 45 CONIFEROUS)
 CONIFEROUS = 52% OF OPEN SPACE TREES

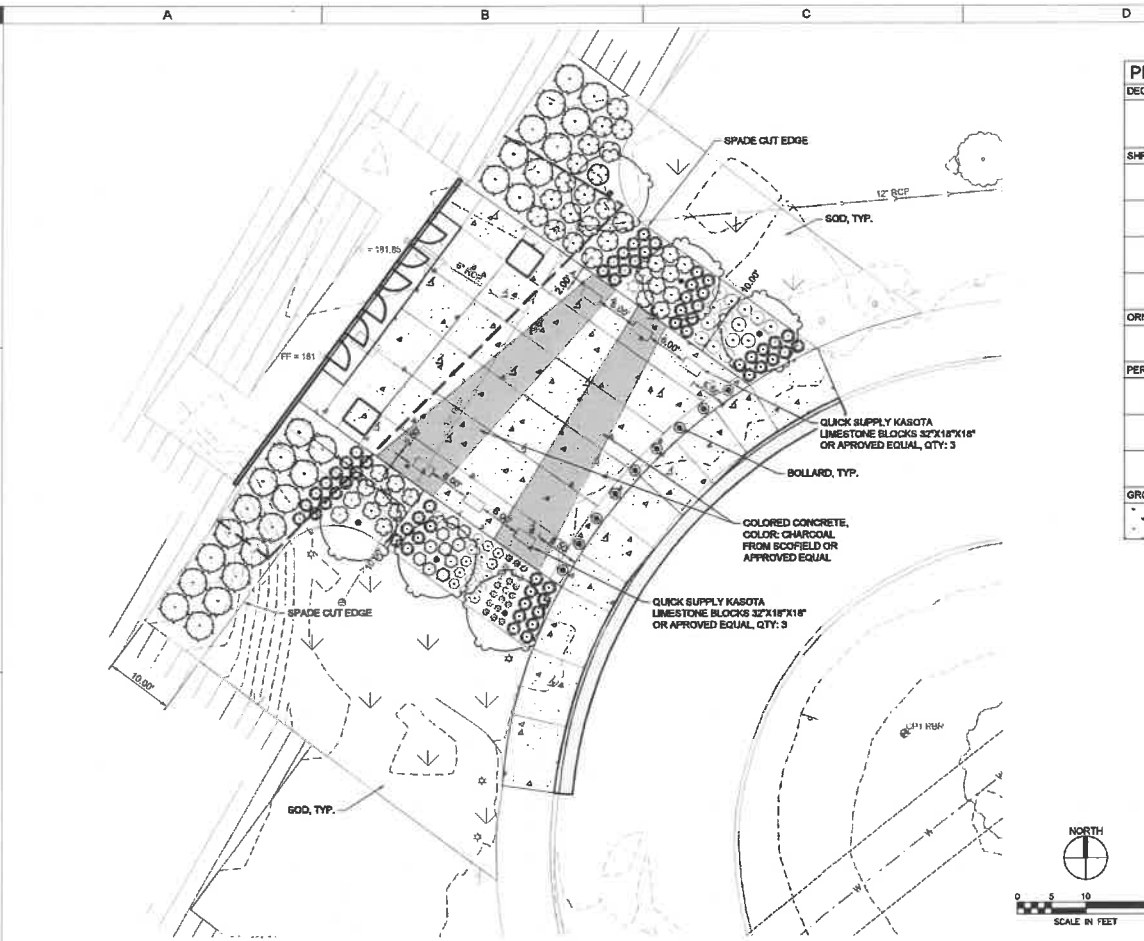


DATE: 2/21/14
 PROJECT NO: 422086
 FIELD BOOK: 1
 CLIENT NO: 1

PLANT SCHEDULE ADDITION				
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	41	<i>Ilex verticillata</i> 'NCIVS' TM	Little Goblin Gay Winterberry Holly	3 GAL 2' Tall
	46	<i>Ribes alpinum</i> 'Green Mound'	Green Mound Alpine Currant	3 GAL 2' Tall
	36	<i>Spiraea betulifolia</i> 'Tor Gold' TM	Glow Girl Blackleaf Spirea	3 GAL 2' Tall
	18	<i>Syringa pubescens patula</i> 'Miss Kim'	Miss Kim Korean Lilac	3 GAL 2' Tall
ORNAMENTAL GRASS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	127	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	54	<i>Hemerocallis</i> 'Primal Scream'	Rainbow Rhythm 'Primal Scream' Daylily	1 gal
	100	<i>Hemerocallis</i> x 'Stella de Oro'	Stella de Oro Daylily	1 gal
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	882 sf	Sod Grass	Sod	SF

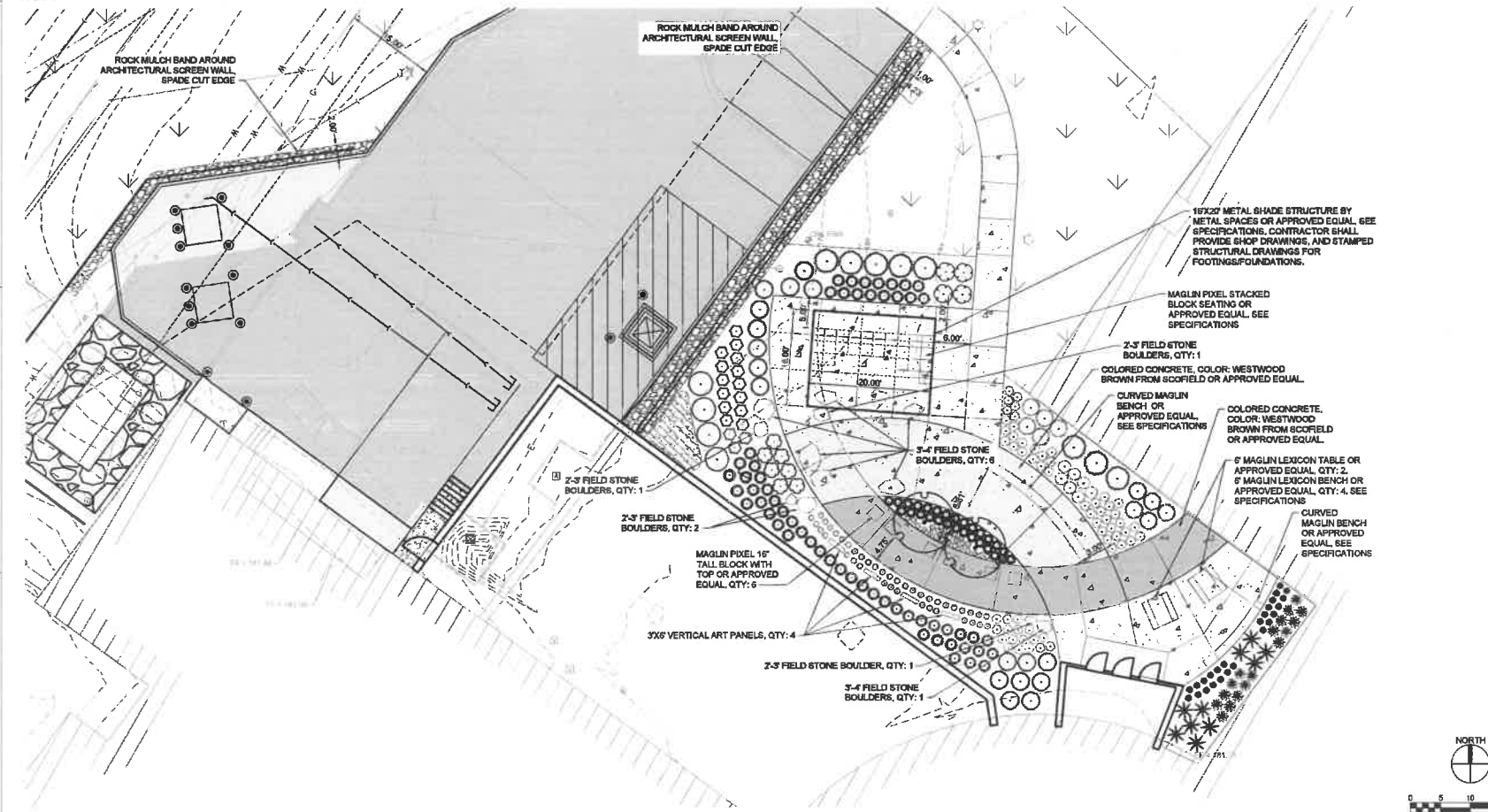


DRAWN: ECR	ISSUED FOR: INFO DOCUMENTS	DATE: 2024-11-01	PROJECT NO: 240099	FIELD BOOK: --	CLIENT NO: --
APPROVED: HCR					



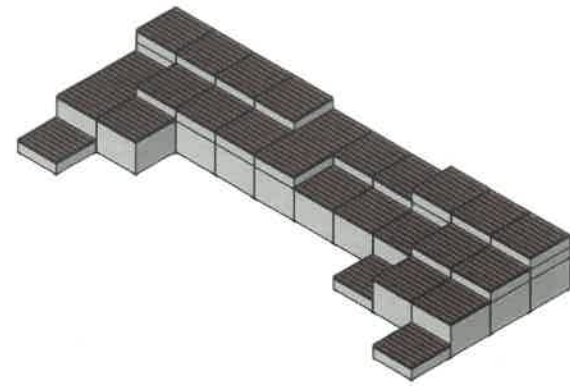
PLANT SCHEDULE MAIN ENTRANCE				
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	8	<i>Syringa reticulata</i> 'Ivory Silk' Single Stem	Ivory Silk Japanese Tree Lilac Engl Stem	B & B 1.5' Cal
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	19	<i>Ilex verticillata</i> 'NCV3' TM	Little Goblin Guy Winterberry Holly	3 GAL 2' Tall
	19	<i>Spiraea</i> x 'Tracy' TM	Double Play Big Bang Spiraea	3 GAL 2' Tall
	26	<i>Taxus cuspidata</i> 'Nana Aureoscens'	Dwarf Golden Japanese Yew	3 GAL 2' Tall
	10	<i>Weigela florida</i> 'Bolerosphr' TM	Spilled Wine Weigela	3 GAL 2' Tall
ORNAMENTAL GRASS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	60	<i>Calamagrostis</i> x <i>acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	15	<i>Hemerocallis</i> 'Primal Scream'	Rainbow Rhythm 'Primal Scream' Daylily	1 gal
	20	<i>Hemerocallis</i> x 'Stella de Oro'	Stella de Oro Daylily	1 gal
	15	<i>Salvia</i> x 'Carradonna'	Sage	1 gal
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	2,272 sf	Sod Grass	Sod	SF

A3 LANDSCAPE ENLARGEMENT PLAN - MAIN ENTRANCE
SCALE: 1" = 10'-0"

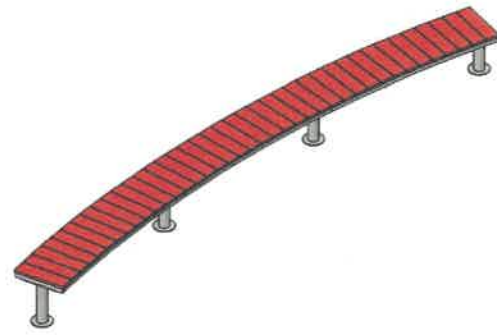


PLANT SCHEDULE COURTYARD				
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	2	<i>Betula papyrifera</i> 'Fargo' TM	Delata Pinnacle Asian White Birch	B & B 1.5' Cal
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	8	<i>Thuja occidentalis</i> 'Emerald Green'	Emerald Green Arborvitae	B & B 6' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	4	<i>Ilex verticillata</i> 'NCV3' TM	Little Goblin Guy Winterberry Holly	3 GAL 2' Tall
	17	<i>Ribes alpinum</i> 'Green Mound'	Green Mound Alpine Currant	3 GAL 2' Tall
	7	<i>Spiraea</i> x 'Tracy' TM	Double Play Big Bang Spiraea	3 GAL 2' Tall
	4	<i>Taxus x media</i> 'Hicksall'	Hicks Japanese Yew	5 gal
ORNAMENTAL GRASS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	56	<i>Calamagrostis</i> x <i>acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal
	17	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	1 gal
	10	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	1 gal
	28	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE
	41	<i>Carex rostrata</i>	Golden Star Sedge	1 gal
	7	<i>Hemerocallis</i> 'Primal Scream'	Rainbow Rhythm 'Primal Scream' Daylily	1 gal
	25	<i>Hemerocallis</i> x 'Stella de Oro'	Stella de Oro Daylily	1 gal
	17	<i>Hosta</i> x 'Fire and Ice'	Fire and Ice Hosta	1 gal
	10	<i>Hosta</i> x 'Liberty'	Liberty Hosta	1 gal
	17	<i>Isis albertica</i> 'Over in Gloryland'	Over in Gloryland Siberian Iris	Bulb
	25	<i>Liriope muscari</i> 'Big Blue'	Big Blue Lilyturf	1 gal
	42	<i>Salvia</i> x 'Carradonna'	Sage	1 gal
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	30	<i>Carex blanda</i>	Woodland Sedge	6" pot
	2,455 sf	Sod Grass	Sod	SF

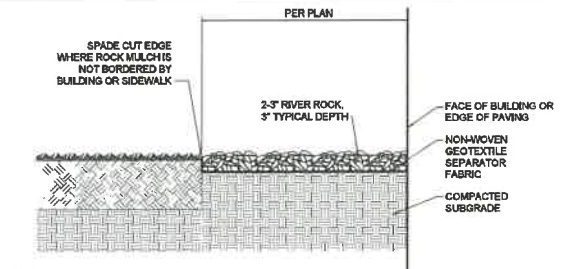
A5 LANDSCAPE ENLARGEMENT PLAN - COURTYARD
SCALE: 1" = 10'-0"



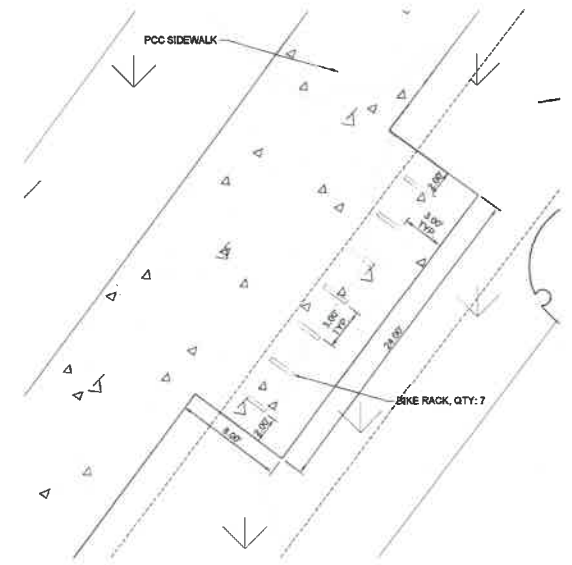
A1 MAGLIN OR APPROVED EQUAL STACKED CUBE SEATING - FOR REFERENCE ONLY
NTS



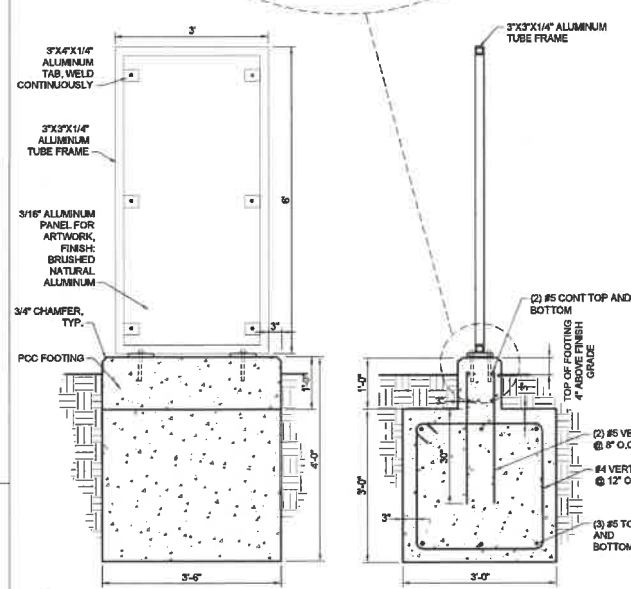
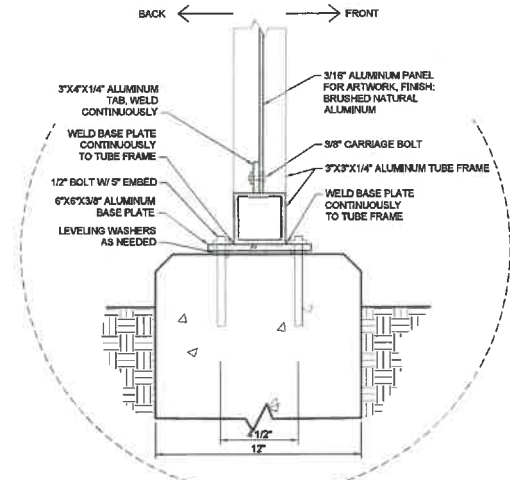
A3 MAGLIN OR APPROVED EQUAL CURVED BENCH - FOR REFERENCE ONLY
NTS



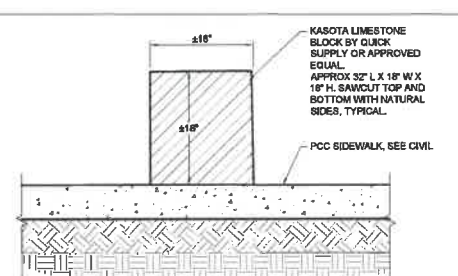
C1 RIVER ROCK AREA
NTS



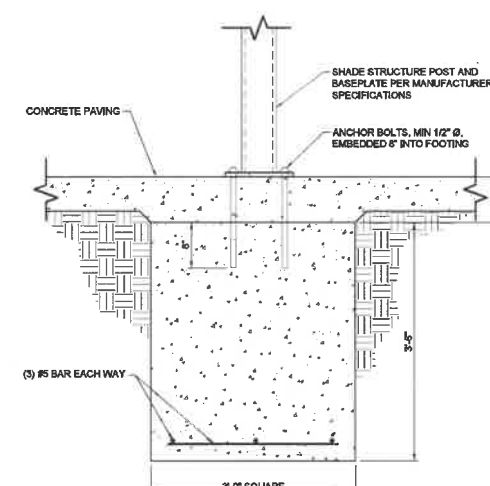
C3 BIKE RACK LAYOUT
NTS



E4 ART PANEL
NTS

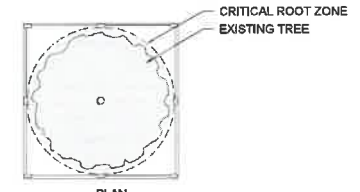
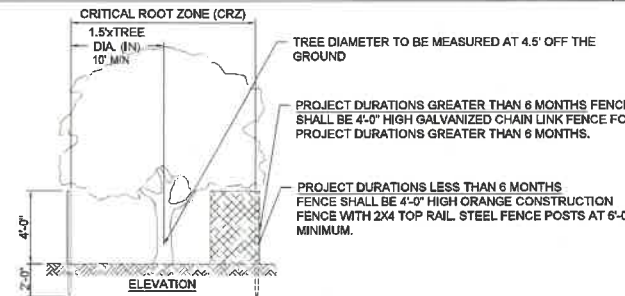


E5 LIMESTONE BENCH
NTS



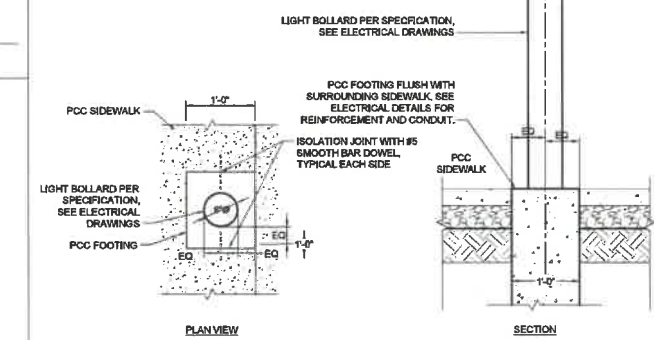
G3 SHADE STRUCTURE FOUNDATION
NTS

NOTE: ENGINEER ON RECORD TO CONFIRM FOUNDATION AND ANCHOR BOLT SIZES AFTER RECEIPT OF SHADE STRUCTURE SHOP DRAWINGS.

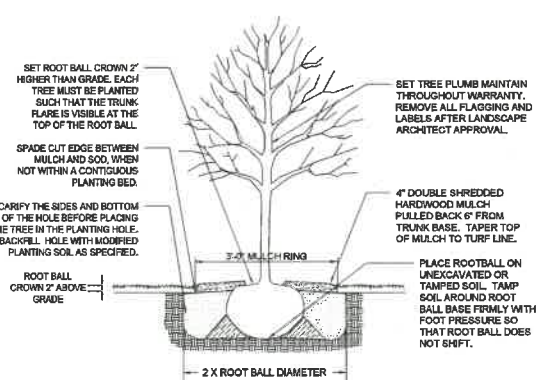


NOTES:
1. TYPICAL ALL TREES INSIDE WORK AREA
2. FENCE LOCATION TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION ACTIVITIES.
3. THE SOIL WITHIN THE CRZ SHALL NOT BE DISTURBED IN ANY MANNER DURING CONSTRUCTION. NO EQUIPMENT, MATERIALS, SUPPLIES, AND/OR SALVAGE SHALL BE STORED OR PLACED WITHIN THE ZONE. NO VEHICULAR OR EQUIPMENT TRAFFIC SHALL BE PERMITTED WITHIN THE CRZ. NO FILLING OR CURING OF EXISTING SOILS SHALL BE PERMITTED WITHIN THE CRZ. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE SERVICES MUST APPROVE ANY DEVIATION FROM THE STANDARD.

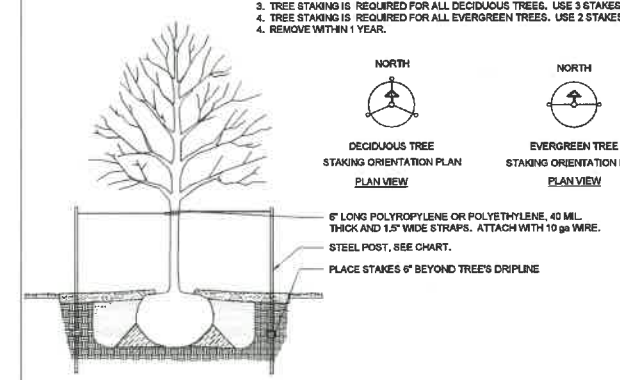
A5 TREE PROTECTION DETAIL
NTS



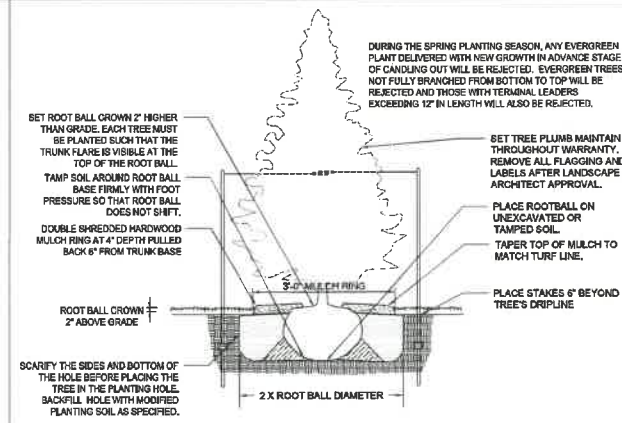
G6 LIGHTED BOLLARD - FRONT DROP-OFF
NTS



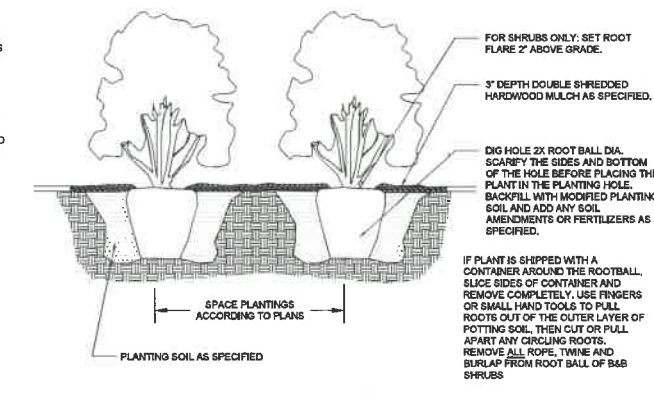
A6 DECIDUOUS TREE PLANTING
NTS



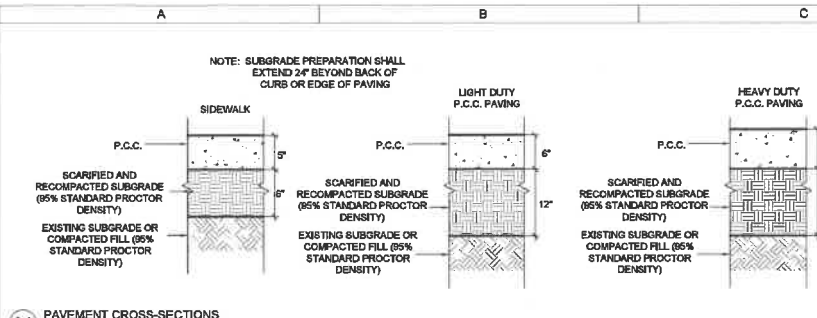
C6 TREE STAKING DETAIL
NTS



E6 CONIFEROUS TREE PLANTING
NTS

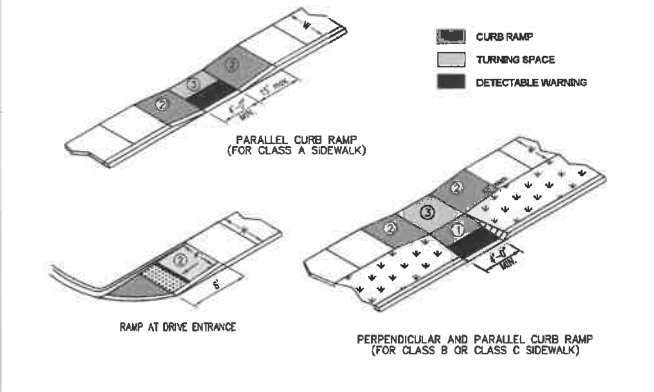


G6 PERENNIAL AND SHRUB PLANTING BED
NTS

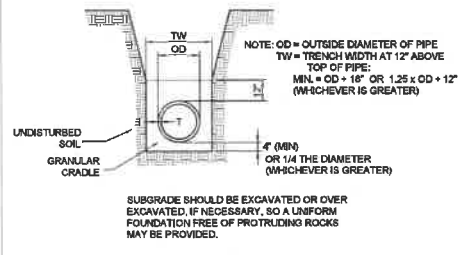


A1 PAVEMENT CROSS-SECTIONS
N/S

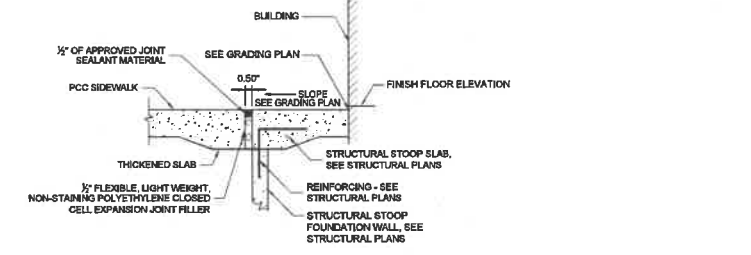
- 1 PERPENDICULAR CURB RAMP: TARGET RUNNING SLOPE OF 6.25% WITH MAXIMUM RUNNING SLOPE OF 8.3%. MATCH PEDESTRIAN STREET CROSSING CROSS SLOPE AT BACK OF CURB. AT MID-BLOCK CROSSINGS, CROSS SLOPE MAY EXCEED 2.0% TO MATCH ROADWAY GRADE.
- 2 PARALLEL CURB RAMP: TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. THE LENGTH OF THE PARALLEL RAMP IS NOT REQUIRED TO EXCEED 15 FEET, REGARDLESS OF THE RESULTING SLOPE. DO NOT EXCEED 6.3% SLOPE FOR PARALLEL RAMP SHORTER THAN 15 FEET.
- 3 TURNING SPACE: TARGET SLOPE OF 1.5%, WITH A MAXIMUM SLOPE PERPENDICULAR TO THE TRAVEL DIRECTIONS OF 2.0%. AT MID-BLOCK CROSSINGS, CROSS SLOPE OF LANDING MAY EXCEED 2.0% TO MATCH ROADWAY GRADE. MINIMUM 4 FEET BY 4 FEET.
- 4 FLARE (10:1 MAX) REQUIRED IF RAMP IS CONTIGUOUS WITH SIDEWALK.



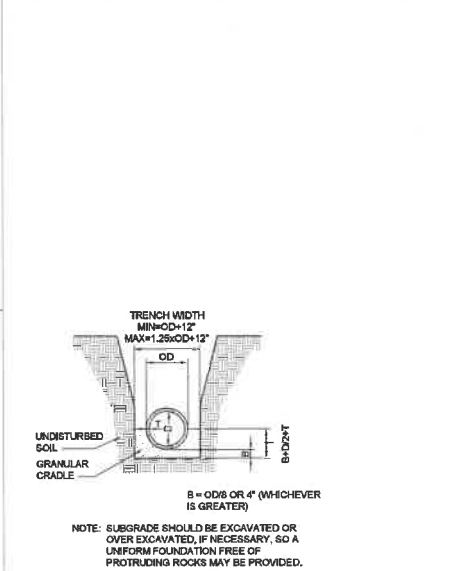
A3 SIDEWALK RAMPS
N/S



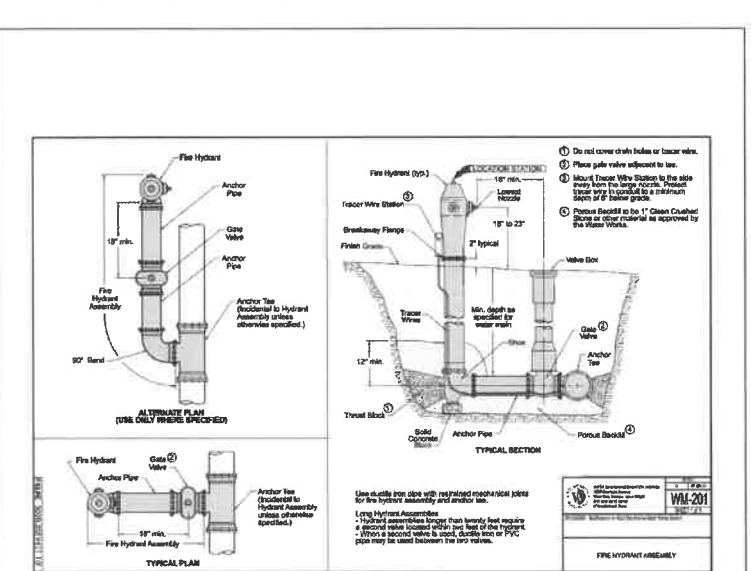
A4 FLEXIBLE PIPE BEDDING
N/S



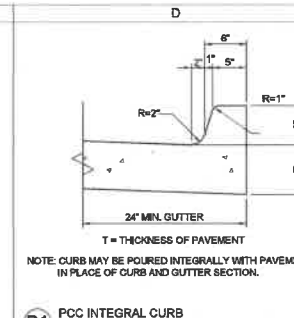
B4 PCC WALK @ STRUCTURAL STOOP
N/S



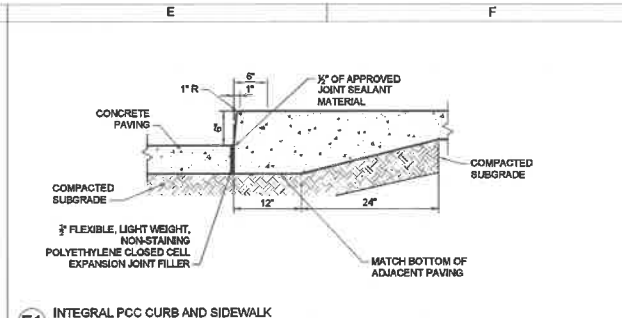
A6 RIGID PIPE EXCAVATION & BEDDING
N/S



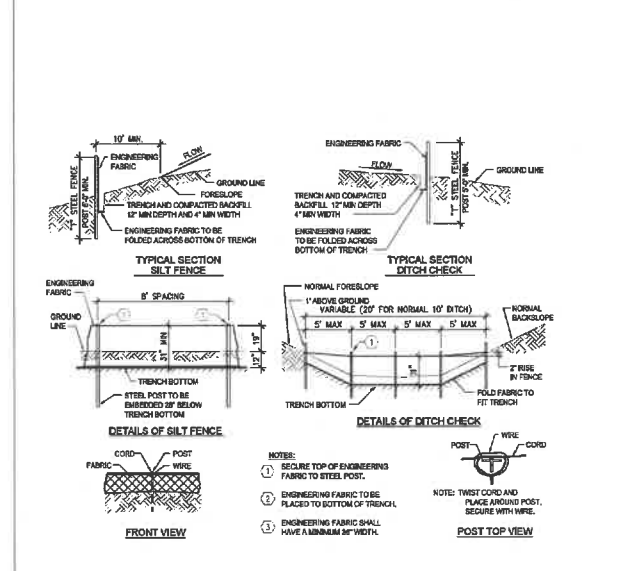
B6 FIRE HYDRANT ASSEMBLY
N/S



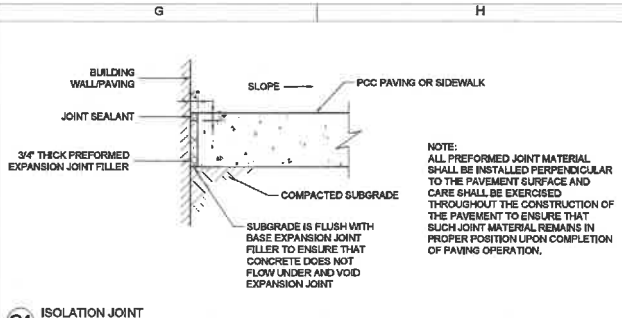
D1 PCC INTEGRAL CURB
N/S



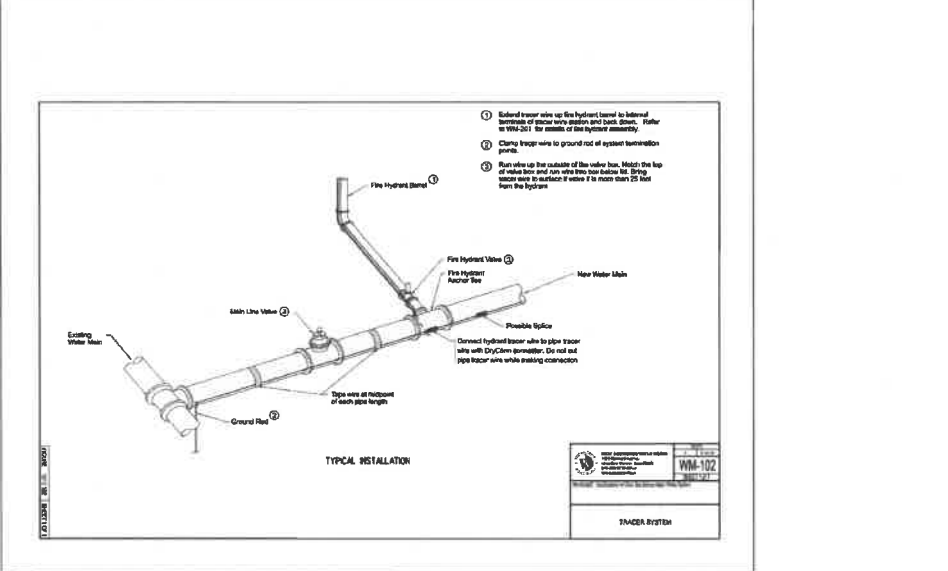
E1 INTEGRAL PCC CURB AND SIDEWALK
N/S



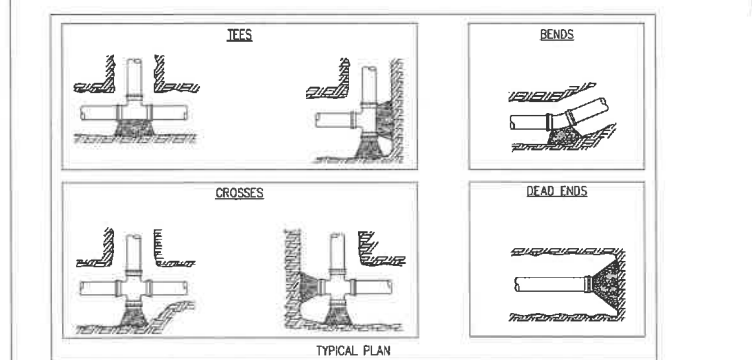
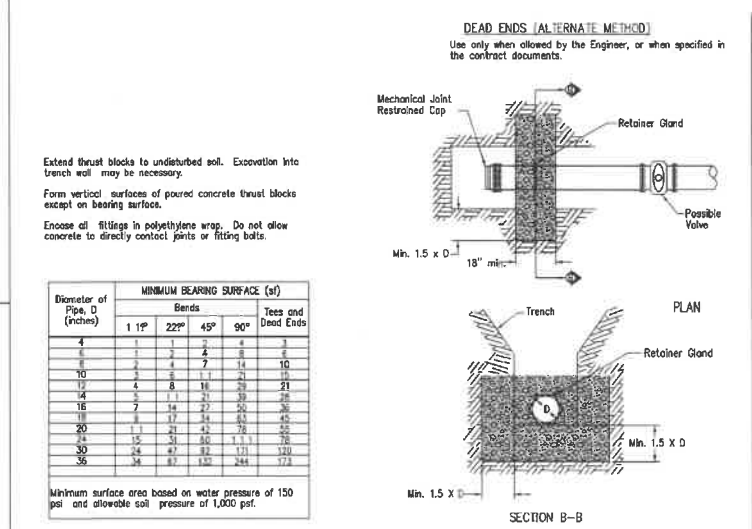
D3 SILT FENCE
N/S



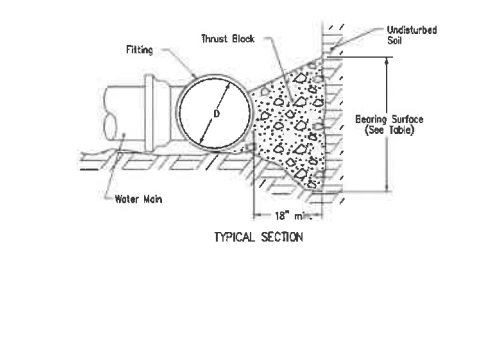
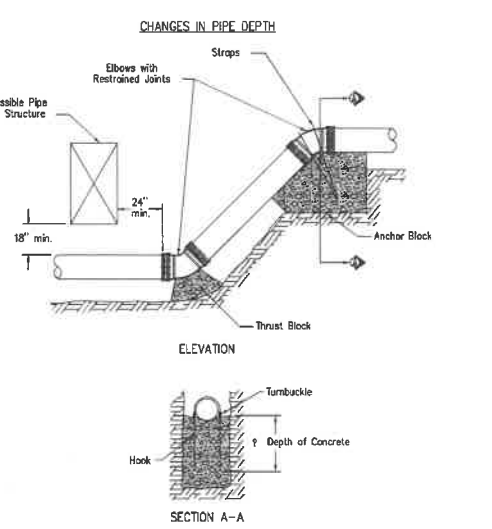
G1 ISOLATION JOINT
N/S



F3 TRACER SYSTEM
N/S



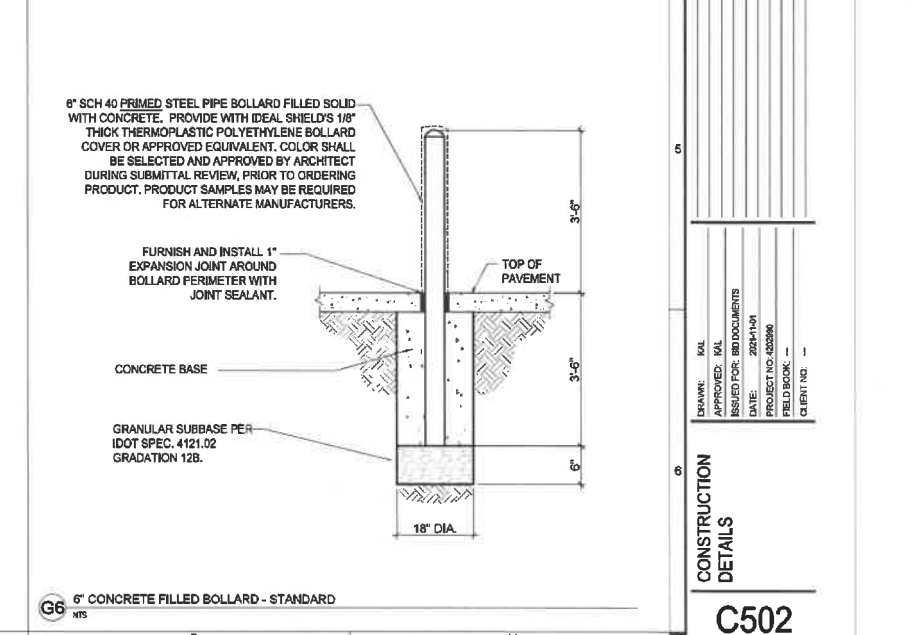
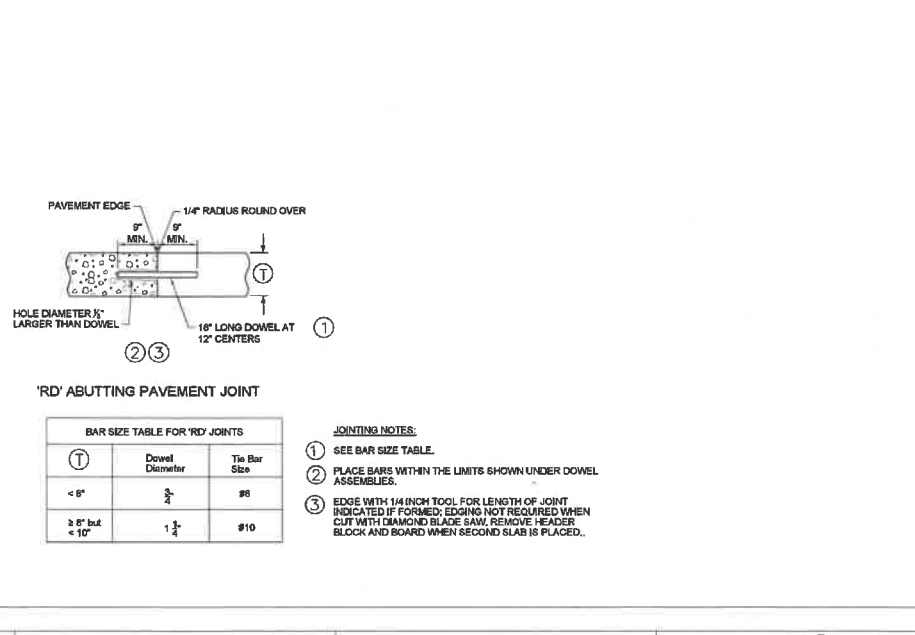
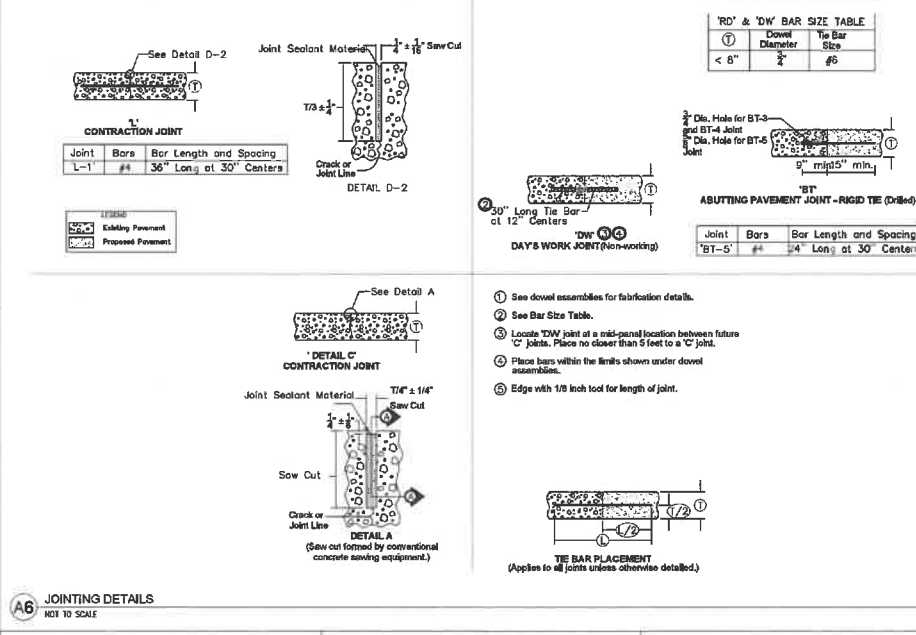
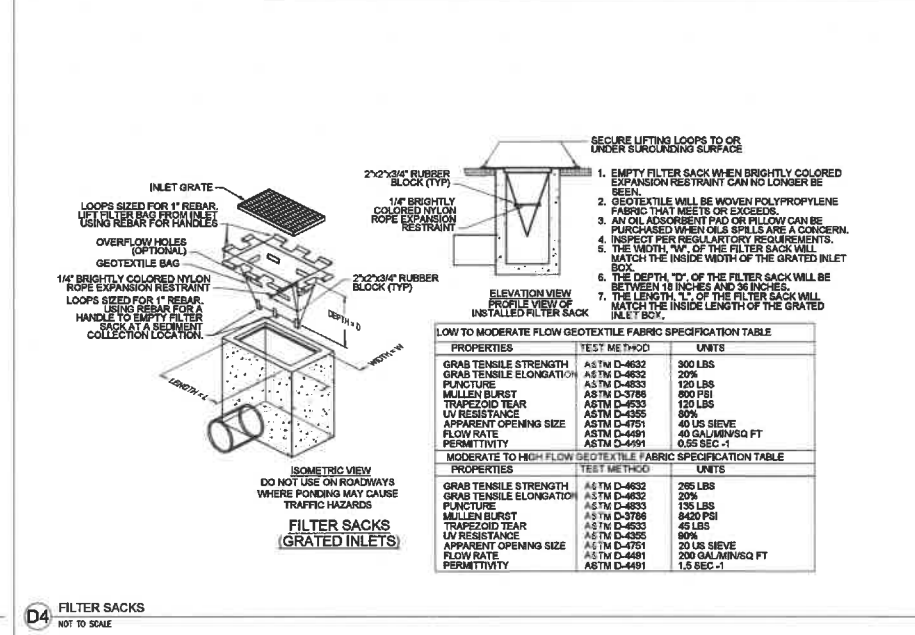
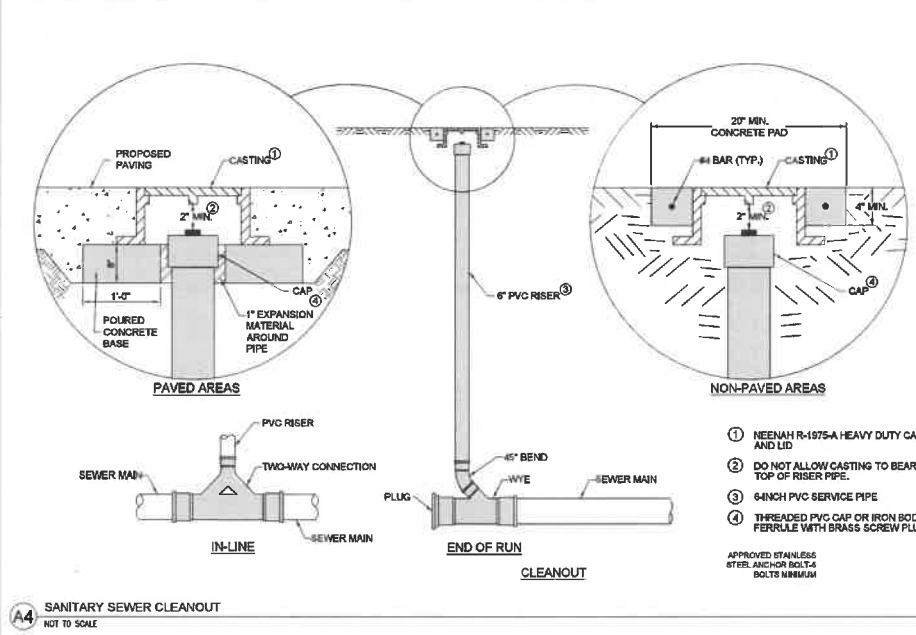
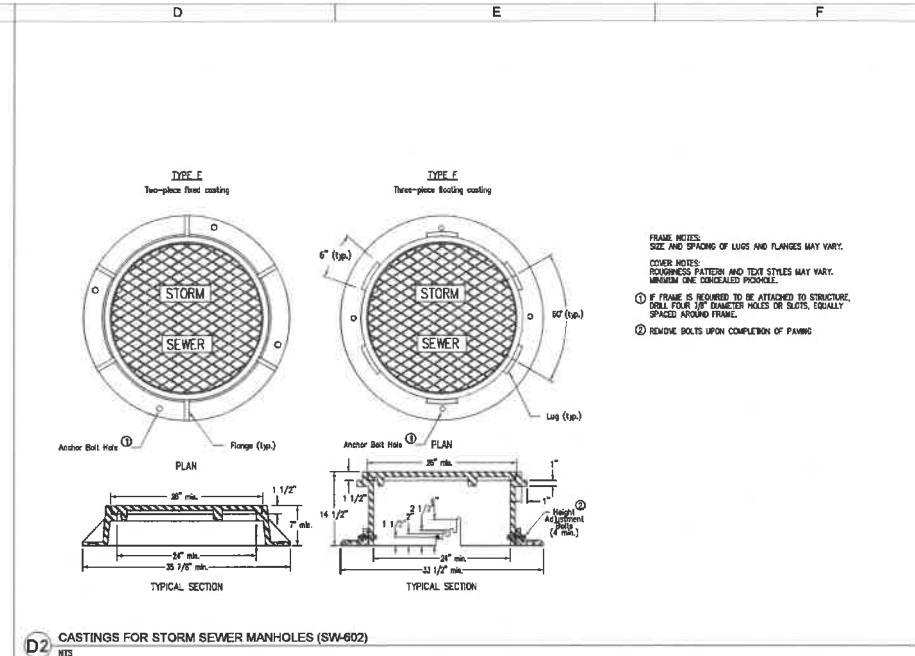
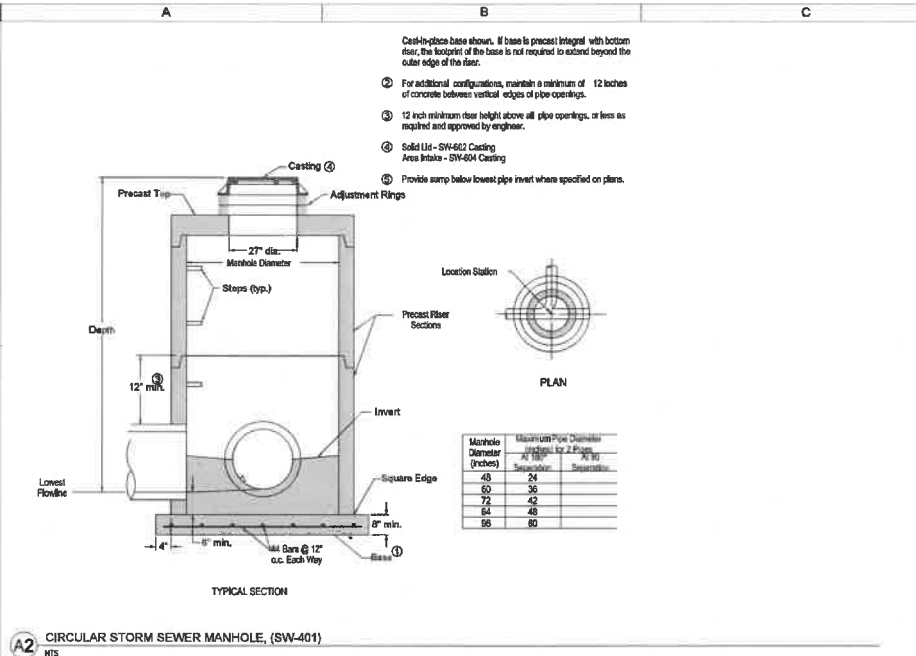
E6 THRUST BLOCKS
N/S



TYPICAL SECTION

CONSTRUCTION DETAILS

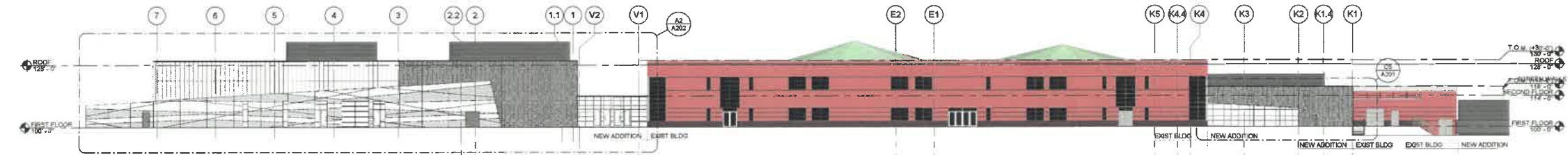
DRAWN: KAL	APPROVED: KAL
ISSUED FOR: 60 DOCUMENTS	DATE: 2021-11-01
PROJECT NO: 020909	FIELD BOOK: -
CLIENT: -	



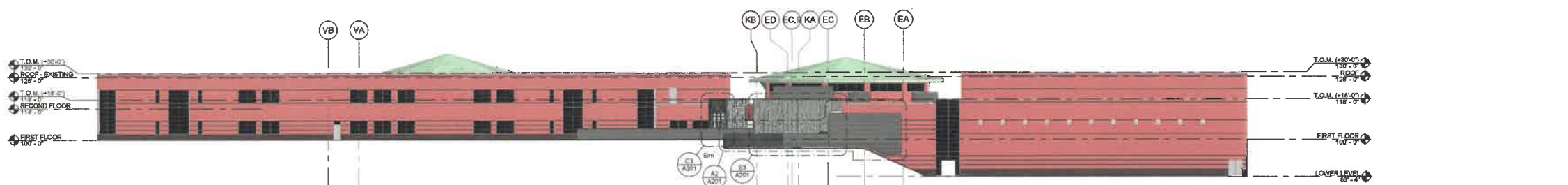


(A1) OVERALL SOUTH ELEVATION
3/64" = 1'-0" 3/2

KEY PLAN



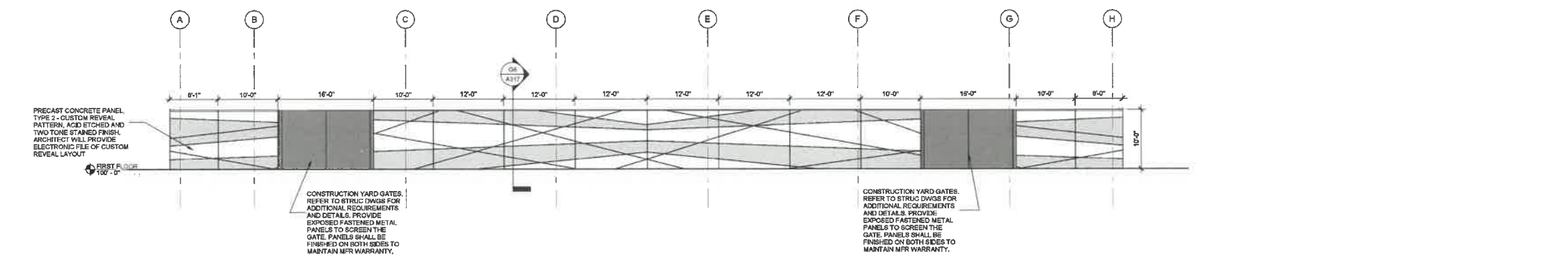
(A2) OVERALL EAST ELEVATION
3/64" = 1'-0" 3/2



(A3) OVERALL NORTH ELEVATION
3/64" = 1'-0" 3/2



(A4) OVERALL WEST ELEVATION
3/64" = 1'-0" 3/2



(A6) SOUTH YARD WALL EXTERIOR ELEVATION - AREA E
1/8" = 1'-0" 1/2

SHIVE-HATTERY
ARCHITECTS
415 West Main Street, Suite 100 | West Des Moines, IA 50265
515.223.8104 | www.shive-hattery.com
Irene | Miles | Indiana

RIPPE ASSOCIATES
FOODSERVICE DESIGN + CONSULTING
1000 Prairie Circle, Suite 205, West Des Moines, IA 50265
515.223.8104 | www.rippes.com

VALLEY SOUTHWOODS CTE ADDITION
WEST DES MOINES COMMUNITY SCHOOLS
625 S. 35TH ST.
WEST DES MOINES, IA 50265

**PRELIMINARY
- NOT FOR
CONSTRUCTION**

DRAWN:	INCL. JLG
APPROVED:	MJK
ISSUED FOR:	CITY SUBMITTAL
DATE:	2021-09-22
PROJECT NO.:	0020992
FIELD BOOK:	

EXTERIOR ELEVATIONS
A200

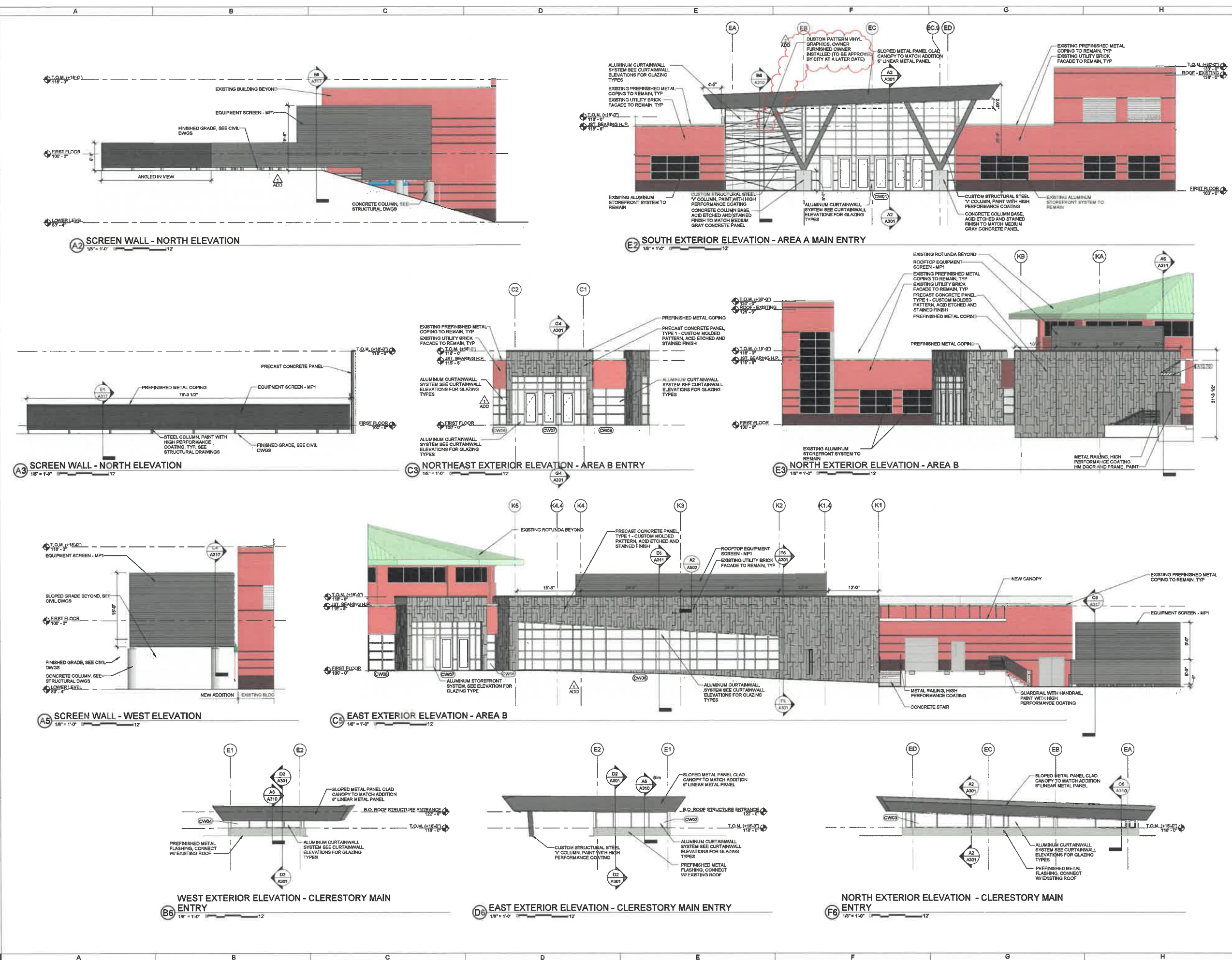
Architectural Record 2019

NO.	REV.	DATE	BY	CHK
1	1	11/15/23	AK	AK
2	1	12/13/23	AK	AK

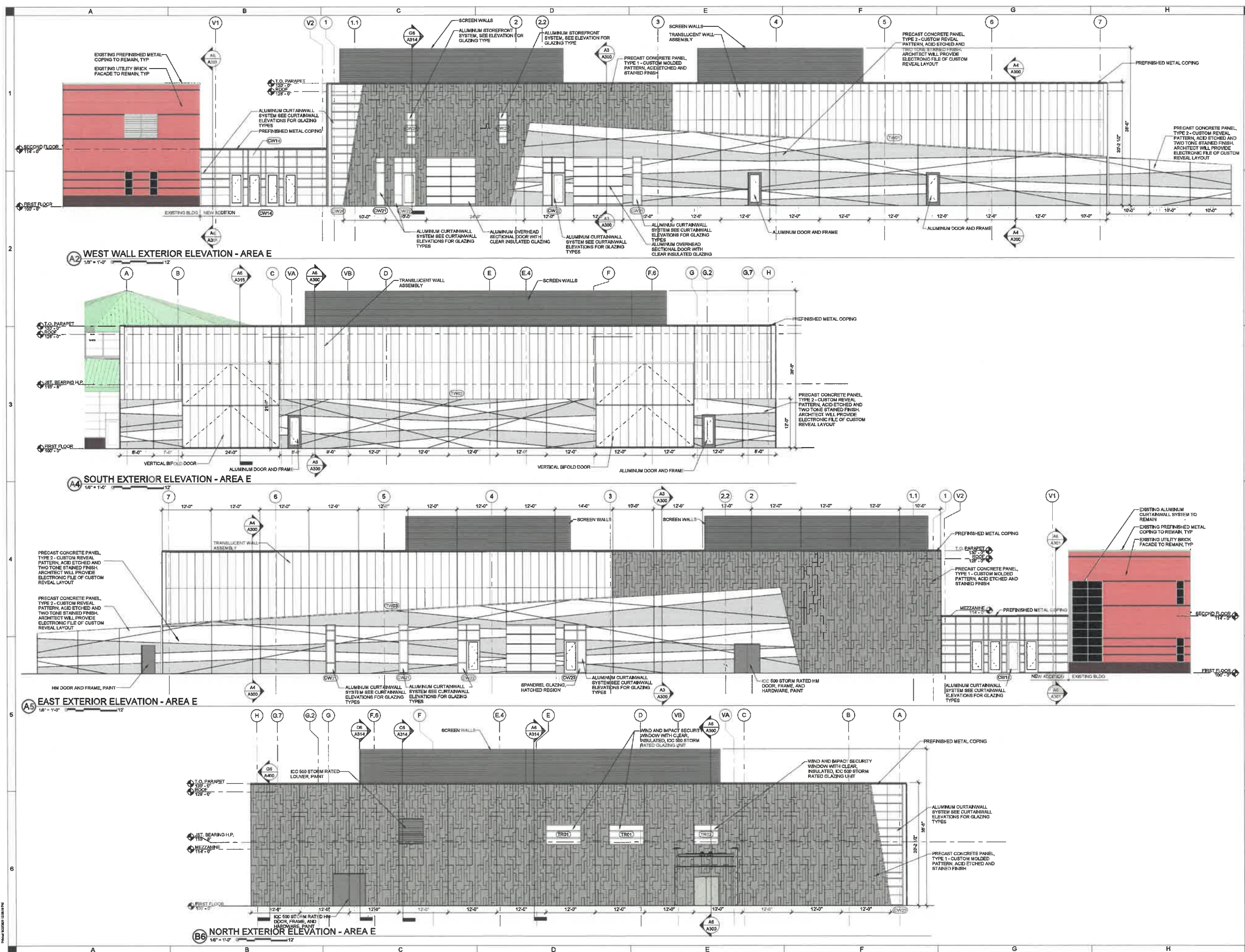
DRAWN:	KCB, JLG
APPROVED:	MJK
ISSUED FOR:	BD DOCUMENTS
DATE:	2023-11-01
PROJECT NO.:	402290
FIELD BOOK:	

EXTERIOR ELEVATIONS

A201



18" = 1'-0" (1/8" = 1'-0")
 11/15/23
 Project Location: 11/15/23



SHIVE-HATTERY
 ARCHITECTS
 4151 Valley Road, Suite 100, Des Moines, IA 50315
 515.283.8104 | www.shive-hattery.com
 Iowa | Illinois | Indiana

RIPPE ASSOCIATES
 FOODSERVICE DESIGN + CONSULTING
 1400 Grandview Avenue, Suite 100, Des Moines, IA 50319
 515.283.8104 | www.rippes.com

VALLEY SOUTHWOODS CTE ADDITION
 WEST DES MOINES COMMUNITY SCHOOLS
 625 S. 35TH ST.
 WEST DES MOINES, IA 50265

**PRELIMINARY
 - NOT FOR
 CONSTRUCTION**

DRAWN: KCL, JLG
 APPROVED: MKK
 ISSUED FOR: CITY SUBMITTAL
 DATE: 2021-05-22
 PROJECT NO: 602090
 FIELD BOOK:

EXTERIOR ELEVATIONS
A202

8/16/2021 10:00 AM
 Project: Valley Southwoods CTE Addition
 Drawing: Exterior Elevations - Area E

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION
NO. PZC-22-047**

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, West Des Moines Community Schools, requests approval of the Major Modification to a Site Plan for the approximately 80-acre property located at 625 S. 35th Street to construct approximately 47,214-square feet of building additions and related site improvements

WHEREAS, the Major Modification to a Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Major Modification to Site Plan (MaM-004976-2022), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on May 9, 2022.

Jennifer Drake, Chair
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on May 9, 2022, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary