

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: June 13, 2022

ITEM: 485 S. 19th Street – Approve Site Plan to allow construction of a two-story duplex building – Silo 9 Plat 1, LLC – SP-005409-2021

Resolution: Approval of Site Plan

Background: Jake Reid with Neighborhood Builders LLC, on behalf of the applicant, and property owner, Silo 9 Plat 1, LLC, requests approval of the Site Plan for the approximately 0.37-acre property located at 485 S. 19th Street. The applicant proposes to construct one, two-story duplex building of approximately 4,004-square feet. Each unit will have an individual driveway with a single car garage and outdoor patio space.

Staff Review & Comment:

- **Financial Impact:** No City funding of the project. There will be staff time for processing of development application and inspections during construction.
- **History:** In August 2020, the subject property was rezoned from Single-Family Residential (RS-15) to Residential Medium Density (RM-12) to provide secondary access to a proposed multi-family residential development on the abutting larger parcel to the west (CPA-004705-2020/ZC-004704-2020). Although the rezoning was approved, the proposed multi-family residential development was not constructed, and a lot-tie agreement was not executed to prevent development of this parcel separate from the apartment piece. On June 1, 2022, the Board of Adjustment granted a variance to allow the proposed duplex a five-foot encroachment into the 35-foot north perimeter setback.
- **Key Development Aspects:**
 - **Perimeter Setbacks:** As noted, the property at 485 S. 19th Street is zoned Residential Medium Density (RM-12 maximum 12 dwelling units per acre). Developments within the medium and high-density zoning districts are required per code to provide at least a thirty-five-foot (35') building setback along the perimeter of the property: with increased setbacks for 3+ stories and higher number of units in the building. As noted above, the Board of Adjustment granted a variance for the subject property that reduces the 35' perimeter setback along the north boundary to 30', which is the minimal amount needed by the developer to construct the proposed building. The applicant can accommodate all other required setbacks.
 - **Buffer Parks:** Due to the subject property being of a higher intense use than the existing single-family home to the south, a 30' buffer is required along the south lot line. A 30' buffer along the north lot line was established in conjunction with the final plat that created the subject parcel (FP-2008-002). It appears that the buffer was indicated on the drawing, but no easement document was executed, therefore, Staff recommends a condition requiring the execution of the Buffer Easement document(s) prior to issuance of a building permit. The buffer easement will apply to both the north and south buffers. The project has been designed in compliance with the city's buffer requirements in terms of number of plantings and trees that will be implemented.

- **Grading:** The site plan indicates grading across the property line of the lots which can be allowed with the permission of the adjoining property owner and execution of a temporary grading easement. Since the developer has not obtained an easement, it has been indicated that the drawings will be revised to remove any grading on the adjoining property. Staff recommends a condition requiring the submittal of revised drawings or provision of an executed grading easement prior to issuance of a building permit for the duplex.
- **Architecture:** The developer and staff are still working through the architectural drawings but are down to just needing an illustration that identifies the materials and colors to be implemented. Staff recommends a condition of approval requiring the submittal of the illustration with material and color details prior to issuance of the building permit for the duplex.
- **Traffic Impact Study Findings:** A traffic impact study for the proposed development was completed in December 2021. The existing roadway geometry and traffic control on the surrounding streets are expected to have adequate capacity to accommodate the proposed use.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Plan and Zoning Commission Action:

Date: June 13, 2022

Vote:

Recommendation:

Recommendation: Approve the Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The applicant executing a 30' Buffer Park Easement prior to issuance of a building permit.
2. The applicant submitting revised drawings that reflect no grading across property lines or obtaining the proper grading easement from the adjoining owner prior to City Council consideration of the site plan.
3. The applicant providing illustrations and manufacture details on building colors and materials to be implemented which are acceptable to the city prior to City Council consideration of the site plan.

Lead Staff Member: Bryce Johnson

Approval Meeting Dates:

Plan and Zoning Commission	June 13, 2022
City Council: First Reading	

Staff Report Reviews:

Plan & Zoning Commission	<input type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	12/6/21
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



SITE ADDRESS

485 S. 19TH ST
WEST DES MOINES, IA 50265

RECORD TITLE OWNER

JORDAN LEA, LLC
2400 86th STREET, SUITE 24
URBANDALE, IA 50322
WARRANTY DEED: BOOK 17759, PAGE 319

PREPARED FOR

NEIGHBORHOOD BUILDERS
6205 MILLS CIVIC PARKWAY, SUITE 200
WEST DES MOINES, IA 50266
JAKE RIED
(515) 202-5690

CIVIL ENGINEER

ENGINEERING RESOURCE GROUP, INC.
2413 GRAND AVENUE
DES MOINES, IA 50312
(515) 288-4823

ZONING DISTRICT

RESIDENTIAL MEDIUM DENSITY (RM)

COMPREHENSIVE PLAN

MEDIUM DENSITY RESIDENTIAL (MD)

PROJECT BENCHMARKS

WDM BENCHMARK #045 ELEVATION = 43.26
WDM BENCHMARK #126 ELEVATION = 69.22

BULK REGULATIONS & SETBACKS

MAXIMUM DENSITY: 12.0 DU/ACRE
MINIMUM LOT AREA: 2 ACRES
(THE LOT IS CONSIDERED A NON-CONFORMING
LEGAL LOT OF RECORD AND CAN BE DEVELOPED)
MINIMUM STREET FRONTAGE: 100'
MINIMUM YARD SETBACKS:
FRONT YARD: 35'
REAR YARD: 35'
SIDE YARD: 35'
MINIMUM OPEN SPACE: 25%

LEGAL DESCRIPTION:

Lot 1 in CHURCH OF NAZARENE PLAT 1, an Official
Plat, now included in and forming a part of the City
of West Des Moines, Polk County, Iowa.

Containing 16,081 square feet.

IMPERVIOUS SURFACE

IMPERVIOUS SURFACE ADDED TO THE SITE = 3,214 SF

OPEN SPACE

REQUIRED: 25% = 4,020 SF
EXISTING: 100% = 16,081 SF
PROPOSED: 80% = 12,867 SF

BUILDING AREA

EXISTING: 0 SF
PROPOSED:
1ST FLOOR = 2,090 SF
2ND FLOOR = 1,914 SF
TOTAL = 4,004 SF

NOTE

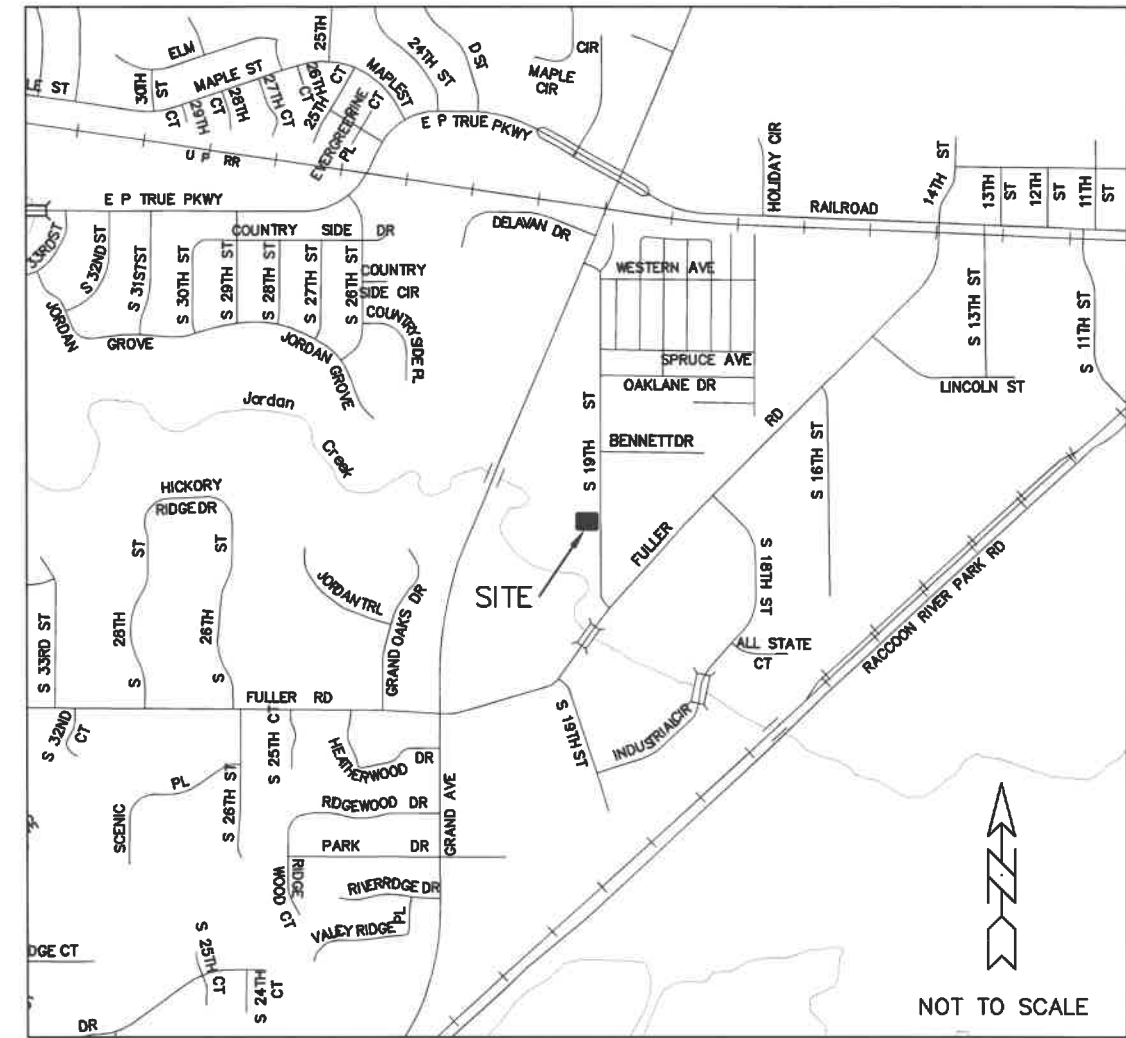
ON-STREET PARKING IS PROHIBITED ON SOUTH 19TH
STREET ADJACENT TO THE SITE. VEHICLES MUST BE
PARKED ON THE SITE AND NOT ON SOUTH 19TH STREET.

485 S. 19TH STREET

INDEX OF SHEETS

- 1 - COVER SHEET
- 2 - GEOMETRIC PLAN
- 3 - GRADING PLAN
- 4 - LANDSCAPE PLAN

VICINITY MAP



NOTE:

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS
ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT
LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST
BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE
DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY
ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON
THE PLANS MAY BE PRESENT.

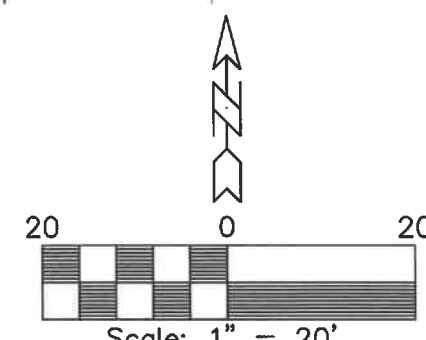
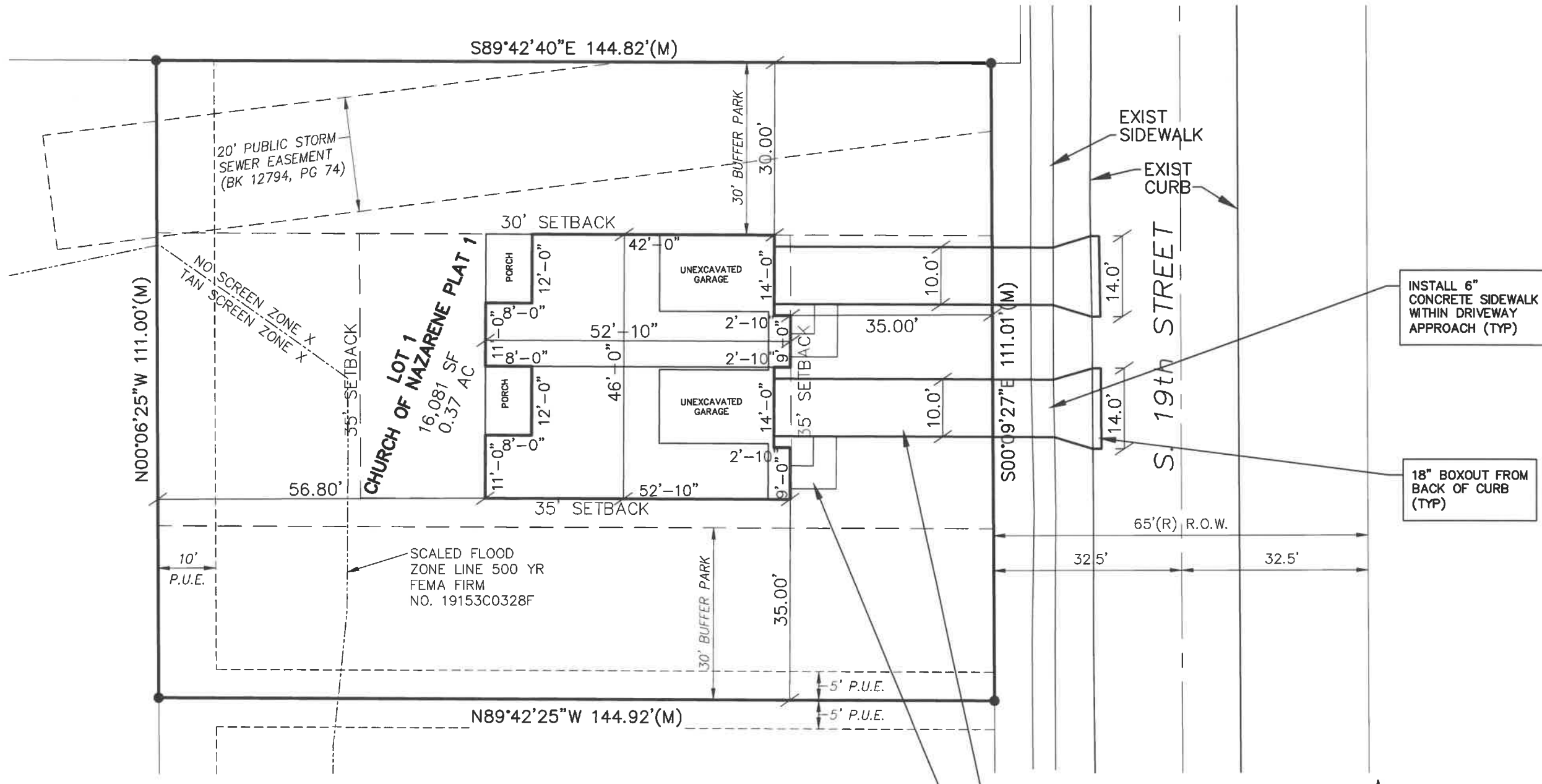
485 S. 19TH STREET

PLANS INCLUDED ARE FOR ILLUSTRATIVE
PURPOSES ONLY - APPROVED PLANS ON FILE
WITH THE CITY

DATE: 5/16/2022
PROJECT NO. 21-139

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NOTE:
 THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

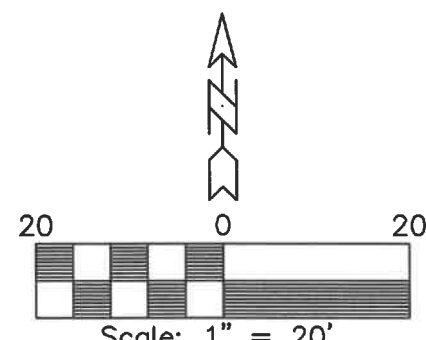
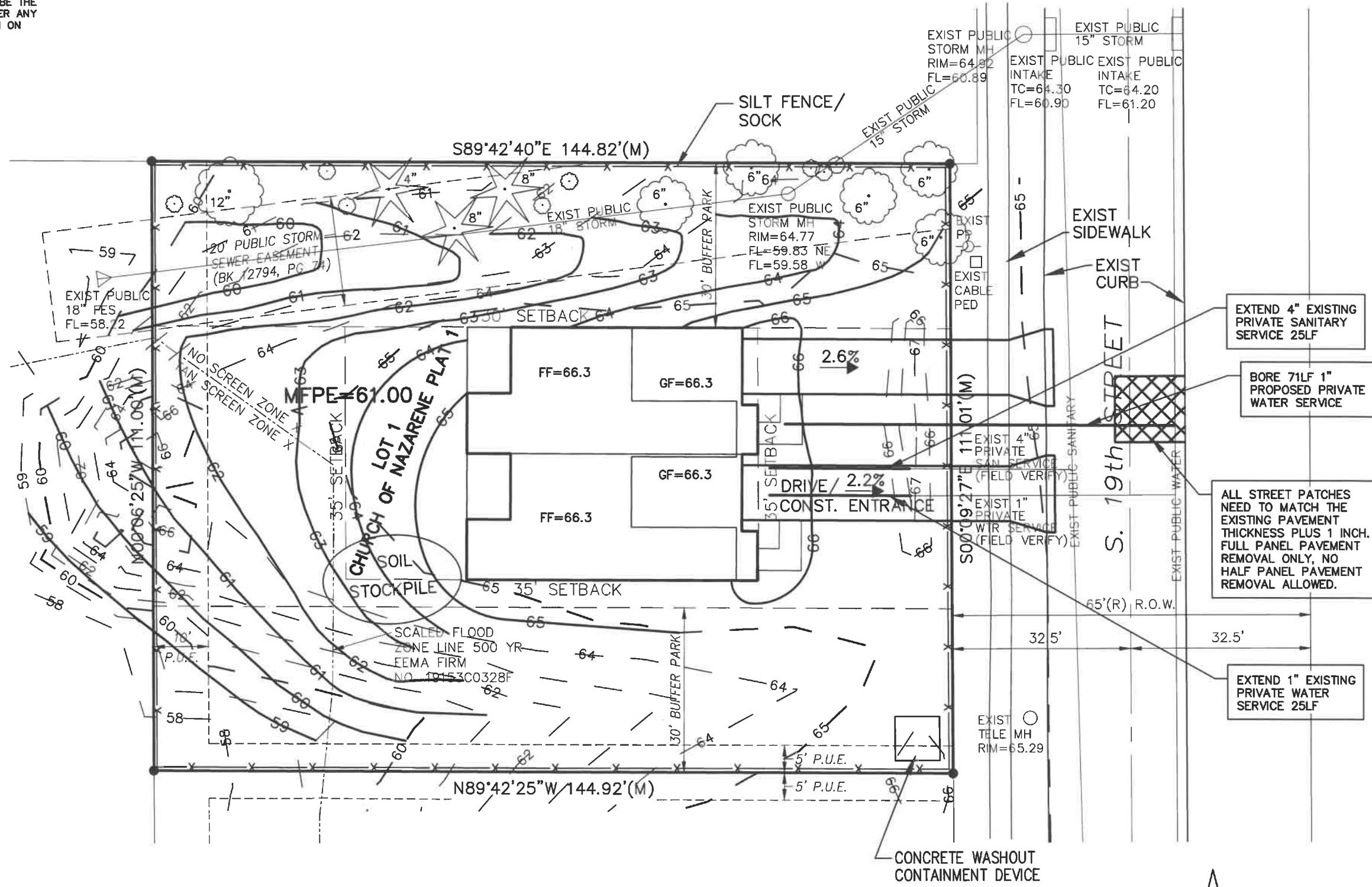


ERG Engineering Resource Group, Inc. Engineers and Surveyors 5413 GRAND AVENUE DES MOINES, IOWA 50312 (515) 288-4623		LOCATION:		NO.	REVISION	DATE	BY	FOR
485 S. 19TH STREET - GEOMETRIC PLAN								
SCALE: 1" = 20'	DESIGNED BY: PJV	DRAWN BY: PJV	FIELD BOOK:	NO.	REVISION	DATE	BY	FOR
DWG: 21-139-P1-L1.dwg	CHECKED BY:	DATE: 5/16/2022	SHEET 2 OF 4	NO.	REVISION	DATE	BY	FOR
FILE NO.: 21-139				NO.	REVISION	DATE	BY	FOR
				21-139				

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NOTES:
ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.

AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.



ERG Engineering Resource Group, Inc. 2413 GRAND AVENUE DES MOINES, IOWA 50312 (515) 288-4828		NO.	REVISION	DATE	BY	FOR	LOCATION:
		NO.	REVISION	DATE	BY	FOR	LOCATION:
485 S. 19TH STREET - GRADING PLAN							SCALE: 1" = 20' DWS: 21-139-P1-L1.dwg FIELD BOOK:
DRAWN BY: PJV DESIGNED BY: CHECKED BY: SHEET 3 OF 4							DATE: 5/16/2022 FILE NO.: 21-139

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OPEN SPACE:

OPEN SPACE - 4020 SF
2 TREES AND 3 SHRUBS PER 3000 SF OF OPEN SPACE
50% OVERSTORY OR EVERGREEN
35% EVERGREEN VARIETY
1.34 UNITS
= 3 TREES
= 4 SHRUBS

NORTH BUFFER:

144' WIDE = 4.1 UNITS
1 OVERSTORY TREE OR UPRIGHT EVERGREEN TREE, 2 UNDERSTORY TREES, AND 6 SHRUBS PER 35LF
= 5 OVERSTORY TREES
= 9 UNDERSTORY TREES
= 25 SHRUBS

SOUTH BUFFER:

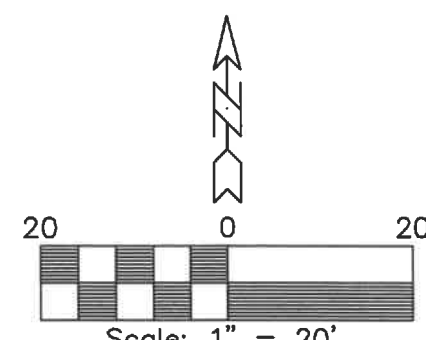
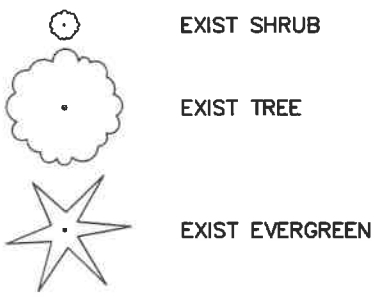
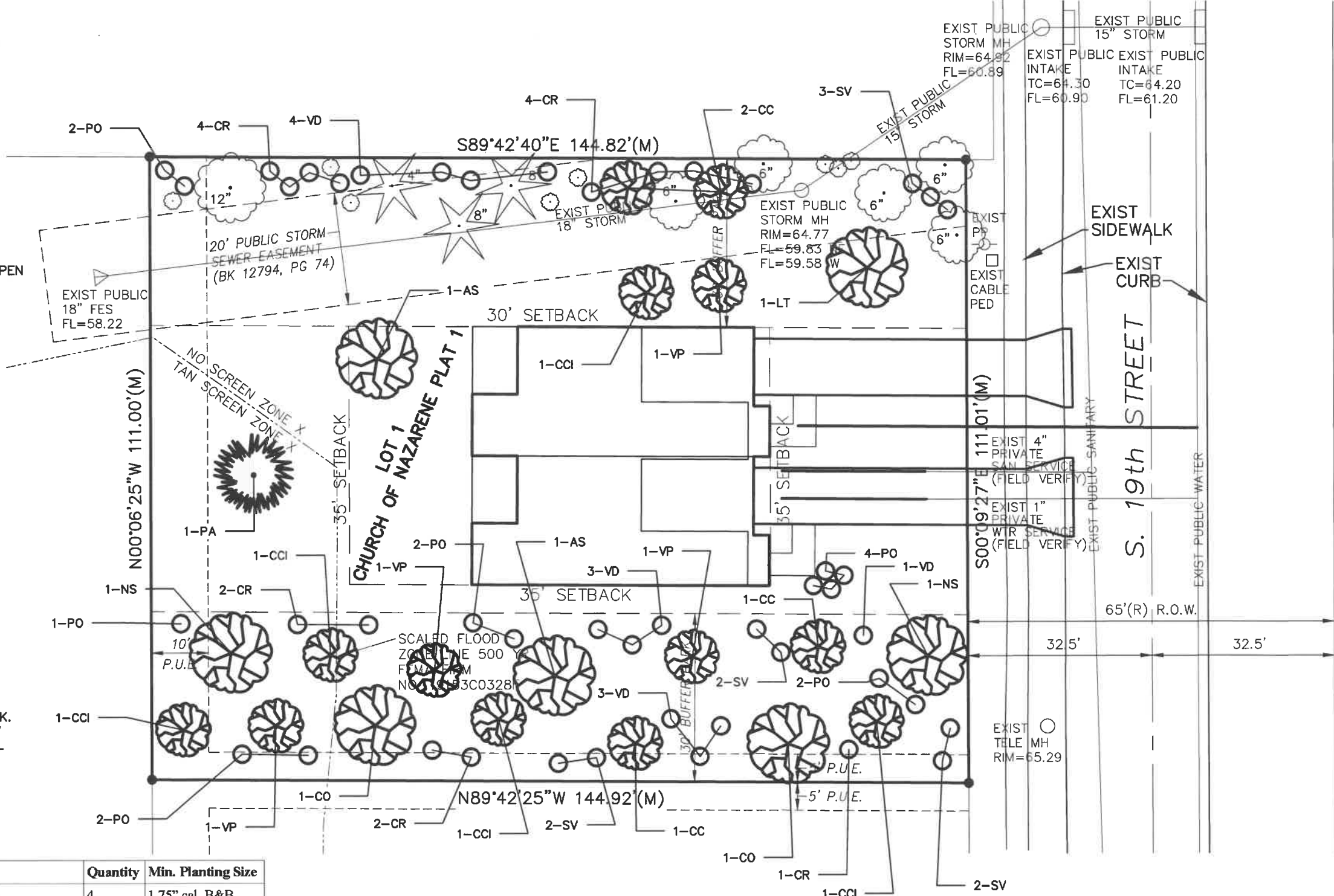
144' WIDE = 4.1 UNITS
1 OVERSTORY TREE OR UPRIGHT EVERGREEN TREE, 2 UNDERSTORY TREES, AND 6 SHRUBS PER 35LF
= 5 OVERSTORY TREES
= 9 UNDERSTORY TREES
= 25 SHRUBS

NOTE:

ALL PLANTS WILL BE MULCHED WITH WOODCHIPS 3" DEEP. WOODCHIPS WILL BE EVENLY SPREAD OVER ROOT ZONE, NOT MOUNDED AROUND TRUNK. DECIDUOUS TREES WILL HAVE A 24" RING FROM THE TREE TRUNK. EVERGREENS WILL HAVE A MULCHED RING 12" BEYOND THE WIDEST BRANCHES. SHRUBS WILL HAVE A MULCHED RING 8" BEYOND THEIR WIDEST BRANCHES.

PLANT SCHEDULE:

Code	Common Name	Botanical Name	Quantity	Min. Planting Size
CC	'Clump' Redbud	<i>Cercis canadensis</i>	4	1.75" cal. B&B
VP	Blackhaw Viburnum	<i>Viburnum prunifolium</i>	4	1.75" cal. B&B
CCI	Thornless Cockspur Hawthorn	<i>Crataegus crus-galli</i> var. <i>inermis</i>	5	1.75" cal. B&B
VD	Arrowwood Viburnum	<i>Viburnum dentatum</i>	11	5 gal. Cont.
PO	Goldleaf Ninebark	<i>Physocarpus opulifolius</i> 'Aureus'	13	5 gal. Cont.
SV	Common Lilac	<i>Syringa vulgaris</i>	9	5 gal. Cont.
CR	Grey Dogwood	<i>Cornus racemosa</i>	13	5 gal. Cont.
AS	Sugar Maple	<i>Acer saccharum</i>	2	2" cal. B&B
NS	Black Tupelo	<i>Nyssa sylvatica</i>	2	2" cal. B&B
LT	Tulip Tree	<i>Liriodendron tulipifera</i>	1	2" cal. B&B
PA	Norway Spruce	<i>Picea abies</i>	1	2" cal. B&B
CO	Shagbark Hickory	<i>Carya ovata</i>	2	2" cal. B&B



485 S. 19TH STREET - LANDSCAPE PLAN

ERG
 Engineering Resource Group, Inc.
 Engineers and Surveyors
 2413 GRAND AVENUE
 DES MOINES, IOWA 50312
 (515) 288-4668

NO.	REVISION	DATE	BY	FOR

LOCATION: 485 S. 19TH STREET
 SCALE: 1" = 20'
 DWG: 21-139-P1-L1.dwg
 DESIGNED BY: PJV
 CHECKED BY: PJV
 SHEET 4 OF 4
 DATE: 5/16/2022
 FILE NO.: 21-139



1 FRONT ELEVATION
A.1-0 1/4" = 1'-0"



2 REAR ELEVATION
A.1-0 1/4" = 1'-0"

GENERAL ELEVATION NOTES:

1. ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL WITH RIP EDGE.
2. FLASHING TO BE INSTALLED AT WALL AND ROOF INTERSECTIONS AND WHEREVER THERE IS A CHANGE IN ROOF SLOPE DIRECTION AND ROOF OPENINGS.
2. ANY RETURNS OR BLIND CONDITIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
3. CALLY & SEAL ALL TRANSITION CONTROL-EXPANSION AT ALL EXTERIOR MATERIALS.
4. INSULATE AND SEAL TO ENSURE ADEQUATE AIR INFILTRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND PIPE FREEZING.
5. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.



RIESBERG GROUP DESIGN
Grimes, Iowa
riesberggroup@gmail.com
Phone: 515-202-3386



Project ID:
21-2010

Drawn by: KMR

REVIEW SET
Rev. Date : 11-01-21
Rev. Date : 11-08-21
Rev. Date : 01-04-22
Rev. Date : 02-24-22
Rev. Date : 02-24-22
Rev. Date : 05-27-22
Rev. Date :

BID SET:
Date :

PERMIT SET:
Date :

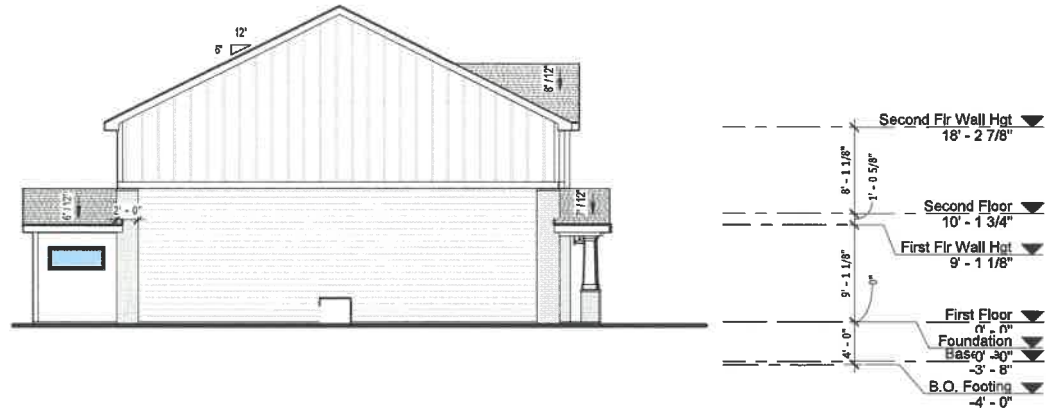
New Residential Home For:
Neighborhood Builders
Duplex
Project Location:
485 S 19th Street
West Des Moines, Iowa

RIESBERG GROUP DESIGN IS NOT A LICENSED ARCHITECT OR ENGINEER. THESE PLANS ARE PROVIDED ON AN "AS IS" BASIS. THE OWNER AND/OR ARCHITECT RELEASES ITS OWNER / EMPLOYEES FROM ANY CLAIMS OF LIABILITY THAT MAY ARISE DURING CONSTRUCTION, PARTICULARLY RESPECT ALL DIMENSIONS, CONTRACTS AND DETAILS IN THESE DOCUMENTS & NOTIFY RIESBERG GROUP DESIGN AND ANY DISCREPANCIES.

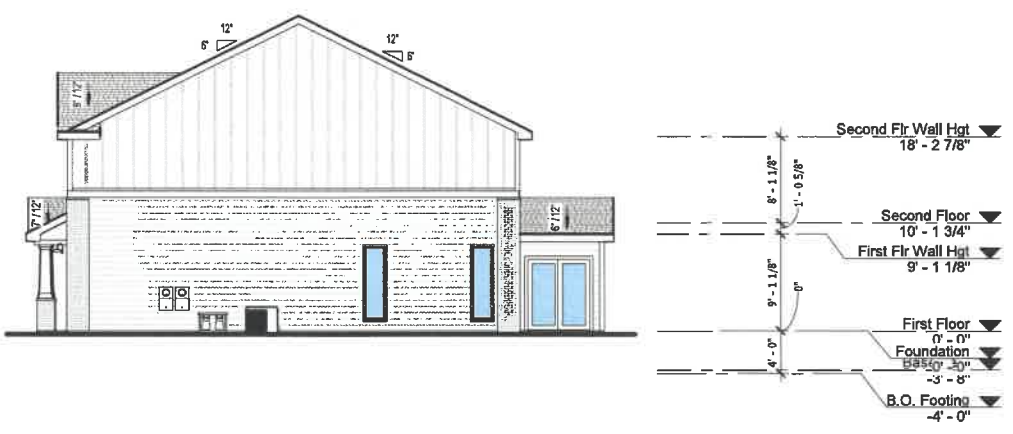
Elevations

A.1-0

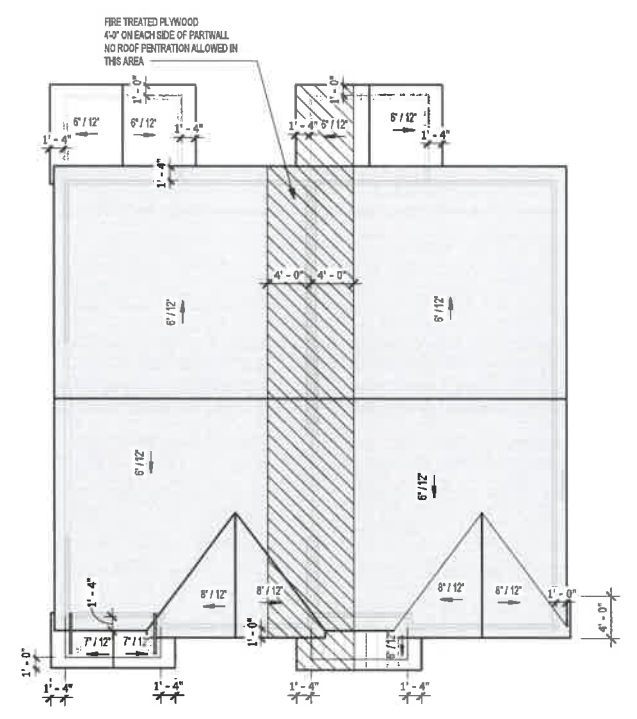
Scale: 1/4" = 1'-0"



1 LEFT ELEVATION
A.1-2 1/8" = 1'-0"



2 RIGHT ELEVATION
A.1-2 1/8" = 1'-0"



3 ROOF PLAN
A.1-2 1/8" = 1'-0"

GENERAL ELEVATION NOTES:

1. ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL WITH DRIP EDGE.
2. FLASHING TO BE INSTALLED AT WALL AND ROOF INTERSECTIONS AND WHEREVER THERE IS A CHANGE IN ROOF SLOPE DIRECTION AND ROOF OPENINGS.
2. ANY RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
3. CALCUL & SEAL ALL TRANSITION-CONTROL-EXPANSION AT ALL EXTERIOR MATERIALS.
4. INSULATE AND SEAL TO ENSURE ADEQUATE AIR IMPLETRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND PIPE FREEZING.
5. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.

GENERAL NOTES:

ROOF TRUSSES:
WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. THE DESIGN AND MANUFACTURE OF METAL-PLATED WOOD TRUSS SHALL COMPLY WITH ANSI/TPI 1.

REFER TO TRUSS MANUFACTURER TRUSS DESIGN DRAWINGS FOR THE FOLLOWING:
A. TRUSS BEARING REQUIREMENTS
B. HANGERS CONNECTION FOR TRUSS TO TRUSS CONNECTION
C. MULTIPLY FLY TRUSS NAILING
D. TRUSS UPLIFT FOR TRUSS TIE-DOWNS REQUIREMENTS

TRUSS BRACING: TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY. REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS AND ISCA'S BCSI GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLATIONS AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.

FLASHING:
1. FLASHING SHALL BE INSTALLED IN MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPING, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTION WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
2. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF OR DIRECTION AND AROUND ROOF OPENINGS.

ROOFING UNDERLAYMENT:
1. UNDERLAYMENT FOR ASPHALT SHINGLES, CLAY AND CONCRETE TILE, METAL ROOF SHINGLES, MINERAL SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLES, WOOD SHINGLES AND METAL ROOF PANELS SHALL CONFORM TO THE APPLICABLE STANDARDS LISTED IN THIS CHAPTER.
2. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D 226, D 1870, D 488 AND D 6753 SHALL BEAR A LABEL INDICATING COMPLIANCE. UNDERLAYMENT SHALL BE ATTACHED IN ACCORDANCE WITH TABLE R065.1.1(1).

ICE BARRIERS:
IF AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG EAVES CAUSING BACKUP OF WATER AS DESIGNATED IN TABLE R065.1(1), AN ICE BARRIER SHALL BE INSTALLED. THE ICE BARRIER SHALL CONSIST OF TWO LAYERS OF UNDERLAYMENT OR SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND NOT LESS THAN 2" INSIDE THE EXTERIOR WALL, ON ROOFS OVER 40/2, THE ICE BARRIER SHALL BE APPLIED NOT LESS THAN 30".

ROOFING MATERIAL:
WHERE CALLED OUT ON PLANS, ASPHALT SHINGLES CAN BE USED ON ROOF SLOPES OF 2/12 OR GREATER. FOR SLOPES FROM 12/12 UP TO 4/12, DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R065.1.1.

A. SQUARE FOOTAGE LISTED IN SCHEDULE IS TAKEN FROM EXPOSED SURFACE OF THE ROOF AS SEEN FROM TOP VIEW.
1. AREA UNDER VALLEY THAT MAY BE SHEATHED WITH OSB IS NOT INCLUDED.
2. NO WASTE FACTOR HAS BEEN ADDED TO THESE NUMBER.

ROOF VENTILATION:
ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. REQUIRED VENTILATION OPENINGS SHALL BE DIRECTLY TO THE OUTSIDE AIR.

A. THE SQUARE FOOTAGE OF ATTIC SPACE IN THE SCHEDULE IS TAKEN FROM THE OUTSIDE OF BUILDING AND DOES NOT INCLUDE COVERED ROOF AREA IN PORCHES/DECKS THAT ARE NOT CONDITION OR ENCLOSED.
B. INSTALL A BALANCED SYSTEM OF INTAKE AND EXHAUST VENTILATION (50% INTAKE & 50% EXHAUST) ABOVE CALCULATION AREA FOR EXHAUST ONLY.
C. INSTALL VENTS AT SAME HEIGHT IN COMMON ROOF ZONES. DON'T MIX DIFFERENT TYPES OF EXHAUST VENTS.
D. SEPARATE SPACES ZONES WITH POLY OR OTHER DRAFTSTOPPING MATERIAL.



RIESBERG GROUP DESIGN
Grimes, Iowa
riesberggroup@gmail.com
Phone: 515-202-3386



Project ID:
21-2010

Drawn by: KMR

REVIEW SET

- Rev. Date : 11-01-21
- Rev. Date : 11-08-21
- Rev. Date : 01-04-22
- Rev. Date : 02-24-22
- Rev. Date : 02-24-22
- Rev. Date : 05-27-22

BID SET:

Date :

PERMIT SET:

Date :

New Residential Home For:
Duplex
Neighborhood Builders
Project Location:
485 S 19th Street
West Des Moines, Iowa

ALLSHPG UPDUP DESIGN INC. UNLESS OTHERWISE NOTED, THESE PLANS ARE PROVIDED ON AN "AS IS" BASIS. THE DRAWER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION, PARTICULARLY THE EXISTING CONDITIONS, BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE DESIGNER OF ANY DISCREPANCIES.

Elevations

A.1-2

Scale: 1/8" = 1'-0"

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION
NO. PZC-22-059**

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Silo 9 Plat 1 LLC, request approval of the Site Plan for the approximately 0.37-acre property located at 485 S. 19th Street. The applicant proposes to construct one, two-story duplex building of approximately 4,004-square feet.

WHEREAS, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-005409-2021), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on June 13, 2022.

Jennifer Drake, Chair
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on June 13, 2022, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary