CITY OF WEST DES MOINES STAFF REPORT COMMUNICATION

Meeting Date: June 13, 2022

ITEM: 485 S. 19th Street – Approve Site Plan to allow construction of a two-story duplex building – Silo 9 Plat 1. LLC – SP-005409-2021

Resolution: Approval of Site Plan

Background: Jake Reid with Neighborhood Builders LLC, on behalf of the applicant, and property owner, Silo 9 Plat 1, LLC, requests approval of the Site Plan for the approximately 0.37-acre property located at 485 S. 19th Street. The applicant proposes to construct one, two-story duplex building of approximately 4,004-square feet. Each unit will have an individual driveway with a single car garage and outdoor patio space.

Staff Review & Comment:

- <u>Financial Impact</u>: No City funding of the project. There will be staff time for processing of development application and inspections during construction.
- <u>History</u>: In August 2020, the subject property was rezoned from Single-Family Residential (RS-15) to Residential Medium Density (RM-12) to provide secondary access to a proposed multi-family residential development on the abutting larger parcel to the west (CPA-004705-2020/ZC-004704-2020). Although the rezoning was approved, the proposed multi-family residential development was not constructed, and a lot-tie agreement was not executed to prevent development of this parcel separate from the apartment piece. On June 1, 2022, the Board of Adjustment granted a variance to allow the proposed duplex a five-foot encroachment into the 35-foot north perimeter setback.

Key Development Aspects:

- Perimeter Setbacks: As noted, the property at 485 S. 19th Street is zoned Residential Medium Density (RM-12 maximum 12 dwelling units per acre). Developments within the medium and high-density zoning districts are required per code to provide at least a thirty-five-foot (35') building setback along the perimeter of the property: with increased setbacks for 3+ stories and higher number of units in the building. As noted above, the Board of Adjustment granted a variance for the subject property that reduces the 35' perimeter setback along the north boundary to 30', which is the minimal amount needed by the developer to construct the proposed building. The applicant can accommodate all other required setbacks.
- <u>Buffer Parks:</u> Due to the subject property being of a higher intense use than the existing single-family home to the south, a 30' buffer is required along the south lot line. A 30' buffer along the north lot line was established in conjunction with the final plat that created the subject parcel (FP-2008-002). It appears that the buffer was indicated on the drawing, but no easement document was executed, therefore, Staff recommends a condition requiring the execution of the Buffer Easement document(s) prior to issuance of a building permit. The buffer easement will apply to both the north and south buffers. The project has been designed in compliance with the city's buffer requirements in terms of number of plantings and trees that will be implemented.

- <u>Grading:</u> The site plan indicates grading across the property line of the lots which can be allowed with the permission of the adjoining property owner and execution of a temporary grading easement. Since the developer has not obtained an easement, it has been indicated that the drawings will be revised to remove any grading on the adjoining property. Staff recommends a condition requiring the submittal of revised drawings or provision of an executed grading easement prior to issuance of a building permit for the duplex.
- <u>Architecture:</u> The developer and staff are still working through the architectural drawings but are down to just needing an illustration that identifies the materials and colors to be implemented. Staff recommends a condition of approval requiring the submittal of the illustration with material and color details prior to issuance of the building permit for the duplex.
- <u>Traffic Impact Study Findings</u>: A traffic impact study for the proposed development was completed
 in December 2021. The existing roadway geometry and traffic control on the surrounding streets
 are expected to have adequate capacity to accommodate the proposed use.
- <u>Vesting of Entitlement</u>: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval <u>prior to</u> the expiration date.

Outstanding Issues: There are no outstanding issues.

Plan and Zoning Commission Action:

Date:

June 13, 2022

Vote:

Recommendation:

Recommendation: Approve the Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

- 1. The applicant executing a 30' Buffer Park Easement prior to issuance of a building permit.
- 2. The applicant submitting revised drawings that reflect no grading across property lines or obtaining the proper grading easement from the adjoining owner prior to City Council consideration of the site plan.
- 3. The applicant providing illustrations and manufacture details on building colors and materials to be implemented which are acceptable to the city prior to City Council consideration of the site plan.

Approval Meeting Dates:

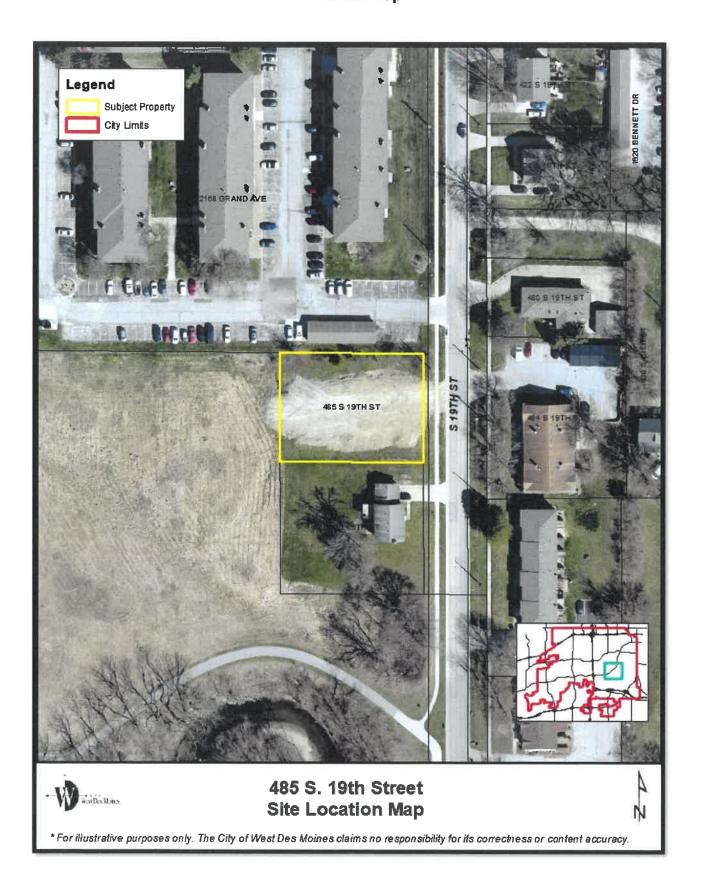
Plan and Zoning Commission	June 13, 2022
City Council: First Reading	
Staff Report Reviews:	

Plan & Zoning Commission	□ Development Coordinator (or)⊠ Director	⊠ Legal Department	
City Council	□ Director	□ Legal Department	
	☐ Appropriations/Finance	☐ Agenda Acceptance	

Publications (if applicable) Council Subcommittee Review (if applicable) Des Moines Register Published Subcommittee **Development & Planning** Community Section In: Date(s) n/a **Date Reviewed** 12/6/21 **Published** Date(s) of Mailed n/a Recommendation ⊠ Yes ☐ Split ☐ No **Notices**

Lead Staff Member: Bryce Johnson

Location Map



PJV

SITE ADDRESS

485 S. 19TH ST WEST DES MOINES, IA 50265

RECORD TITLE OWNER

JORDAN LEA, LLC 2400 86th STREET, SUITE 24 URBANDALE, IA 50322

WARRANTY DEED: BOOK 17759, PAGE 319

PREPARED FOR

NEIGHBORHOOD BUILDERS 6205 MILLS CIVIC PARKWAY, SUITE 200 WEST DES MOINES, IA 50266

JAKE RIED (515) 202-5690

CIVIL ENGINEER

ENGINEERING RESOURCE GROUP, INC. 2413 GRAND AVENUE DES MOINES, IA 50312 (515) 288-4823

ZONING DISTRICT

RESIDENTIAL MEDIUM DENSITY (RM)

COMPREHENSIVE PLAN

MEDIUM DENSITY RESIDENTIAL (MD)

PROJECT BENCHMARKS

WDM BENCHMARK #045 ELEVATION = 43.26

WDM BENCHMARK #126 ELEVATION = 69.22

BULK REGULATIONS & SETBACKS

MAXIMUM DENSITY: 12.0 DU/ACRE MINIMUM LOT AREA: 2 ACRES (THE LOT IS CONSIDERED A NON-CONFORMING LEGAL LOT OF RECORD AND CAN BE DEVELOPED)
MINIMUM STREET FRONTAGE: 100'
MINIMUM YARD SETBACKS: FRONT YARD: 35' REAR YARD: 35' SIDE YARD: 35'
MINIMUM OPEN SPACE: 25%

LEGAL DESCRIPTION:

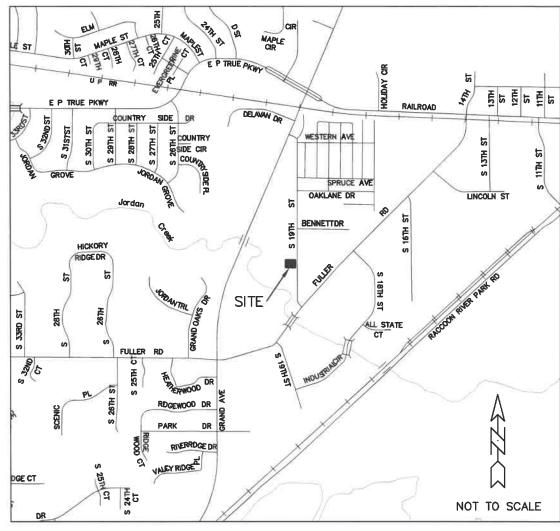
Lot 1 in CHURCH OF NAZARENE PLAT 1, an Official Plat, now included in and forming a part of the City of West Des Moines, Polk County, Iowa.

Containing 16,081 square feet.

485 S. 19TH STREET

- 1 COVER SHEET
- 2 GEOMETRIC PLAN
- GRADING PLAN 4 - LANDSCAPE PLAN

VICINITY_MAP



PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY - APPROVED PLANS ON FILE WITH THE CITY

NOTE:

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACULITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

TREET

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IMPERVIOUS SURFACE INDEX OF SHEETS IMPERVIOUS SURFACE ADDED TO THE SITE = 3,214 SF

OPEN SPACE

REQUIRED: 25% = 4,020 SF EXISTING: 100% = 16,081 SF PROPOSED: 80% = 12,867 SF

BUILDING AREA

EXISTING: 0 SF PROPOSED: 1ST FLOOR = 2,090 SF 2ND FLOOR = 1,914 SF TOTAL = 4,004 SF

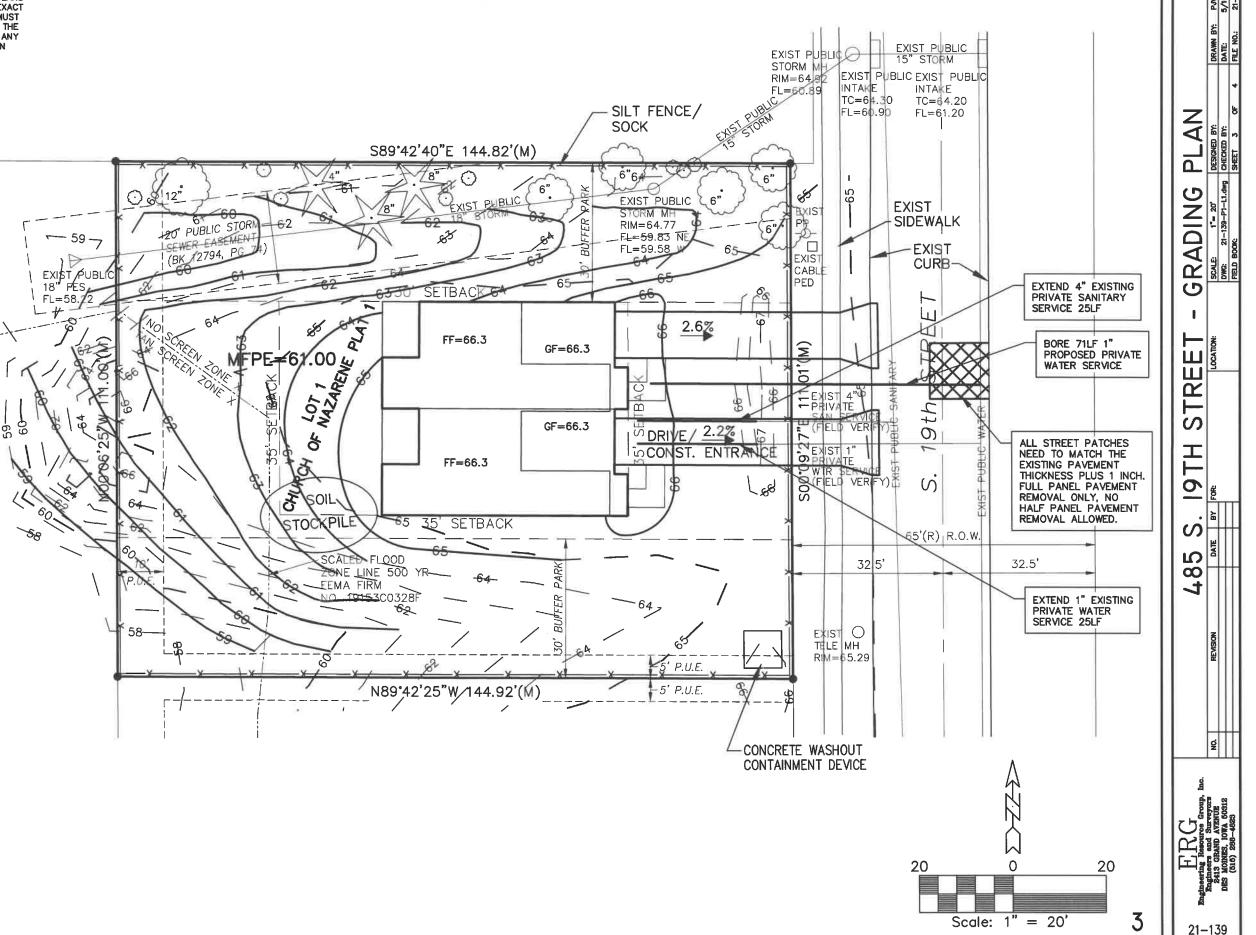
NOTE

ON-STREET PARKING IS PROHIBITED ON SOUTH 19TH STREET ADJACENT TO THE SITE. VEHICLES MUST BE PARKED ON THE SITE AND NOT ON SOUTH 19TH STEET.

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THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

NOTES: ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.

AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS, IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.



5/16/2022 10:01:55 AM,

Proj\21-139\21-139-P1-L1.dwg,



NAME	SQ FT
Garage - A	273 SI
Main Floor-UNIT A	776 SF
Second Floor-UNIT A	919 SE
	1967 SE
Garage - B	272 SF
Main Floor-UNIT B	774 SF
Second Floor-LINIT B	921 SF
	1967 SF
Grand total: 6	3934 SF

A.Q	Cover Page
A.0-1	Schedules
A.1-0	Elevations
A,1-2	Elevations
A.1-3	3D Views
A.2-0	Foundation
A.2-1	Main Floor
A.2-2	Second Floor
A.2-3	Reflected Ceiling Plan
A.3-0	Load Path
A.4-0	Building Sections
A.5.0	Details
A.5.1	Deck Details

RIESBERG GROUP DESK

riesberggroup@gmail.com Phone: 515-202-3386

MEMBER A BD AMERICAN INSTITUTE of BUILDING DESIGN

Project ID: 21-2010

Drawn by: KMR

REVIEW SET

Rev. Date: 11-01-21 Rev. Date: 11-08-21 Rev. Date: 01-04-22 Rev. Date : 02-24-22 Rev. Date: 02-24-22 Rev. Date: 05-27-22

BID SET:

Date:

Rev. Date :

PERMIT SET:

Date:

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NY DISCREPANCIES.

INSPECT ALL DIMENSION.

New Residential Home For:
Neighborhood Builders

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TEMP: Tempered
TK: Tight Noot
T&G: Tengue and Groot
TVO: Top of
TOC: Top of Concrete
TOW: Top of Well
TB: Towell Bar
T: Treed
TS: Tubular Steel
TYP: Typical

A.0

As indicated

Duplex

SMOKE ALARMS, SMOKE ALARMS SMALL COMPLY WITH NFFA 72 AND IL 217.

LOCATION: 1. IN EACH SLEEPING ROLD, OUTSIDE EACH SEPARATE SLEEPING AREA, ON EACH ADDITIONAL STORY OF THE DWIGLING, INCLUDING BASEMENT AND HIMSTALLE THIS.

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CONTRACTOR OR BULDER MAST CHARLY WITH ALL LOCAL BULDING CODES AND OPENANCES IN THE ARRESTOTION WHERE THIS PROJECT IS LOCATED.

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2. CONTRACTOR OR BLIDEN MAST VERSEY THE EXISTING LOAD BEARBING CAPACITY OF THE SOIL AT THE CONSTRUCTION

SITE. LOAD BEARBING CAPACITY OF THE SOIL MUST MEET THE MIRRIAM ACCEPTABLE. BEARBING CAPACITY AS INDICATED IN

THE CONSTRUCTION DOCUMENT.

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BIRLD BY OF RESTURES HOW MAY.

5. ALL PROJUCTS ARET TO BE MOTALLED PERT THE MANUFACTURES RECOMMEDIATIONS.

6. ALL MEDIAMOLI, PLANBENS, AND ELECTRICAL SYSTEMS ARE STO BE DESIGNED BY OTHERS.

7. ALL ECTERING STARS ARE SHOWN FOR CONCEST, RIVAL DESIGNED FIRST HE ON SITE FOR FINAL GRADE.

BUILDING CODE: 2018 IRC INTERNATIONAL RESIDENTIAL CODE

BUILDING ENVELOPE RECURREMENTS - TABLE RAKZ 1.2 (CLIMATE ZONE: 5)
FENESTRATION (UFACTOR) .52
SKYLIGHT (UFACTOR) .55
CELLING RYLLID .49
GLAZE) FENESTRATION SHGC .25

GLAZED FENESTRATION SHGC .25
WCCO FRAMED WALLS (R-VALUE) 20 OR 13+5 INSULATED SHEATHING
SLAB (R-VALUE AND DEPTH) 10, 2FT (VAHEATED SLAB)

GENERAL NOTES:

DIMENSION ON PLANS

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2. INTERSION DIMENSIONS ARE FROM THE FACE OF STUD TO FACE OF STUD.

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LIGHT AND VEHTILATION IN NAISTABLE COOKS, PROVIDE NATURAL LIGHT AND VEHTILATION WITH OPERALE WINDOWS, WINDOW CLAZING SHALL NOT BE LESS THAN 6% OF THE FLOOR AREA OF EACH ROOM, 1/2 THE REGURED WINDOW AREA SHALL BE OPERALE TO THE EXTERIOR FOR NATURAL VENTILATION TOILET, BATH AND SHOWER SPACES, FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE 7307.1. 1. TOILET: NIM 15' FROM WALL OR TUB OR VANITY AND MIN 21' CLEARANCE IN FRONT OF TOILET 2. VANITY: MIN 21' CLEARANCE IN FRONT OF VANITY.

BUBRIGHAY ESCAPE AND RESCUE OPENING, BASEMENT, HARITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AN EXERGENCY ESCAPE AND RESCUE OPENING.

STARWAYS, STARWAY ARE TO BE NOT LESS THAN 30" WIDE IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT, HANDRAILS SHOULD PROJECT MARE THAN 412" ON BITHER SED OF THE STARWAY. SHOULD BE NOT LESS THAN 40" MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NICKING OF TROON THE TORNS SHOULD BE THAN 16" MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TROON INCIDENCE OF THE LANDING.

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3. THE MANDAMANISH TO 31" WITH A MINIARAMIN OF 10".

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1. CONTRADA & FUEL-RED APPLIANCE

2. ATTACHED GARAGE WITH AN OPENING THAT COMMANICATES WITH THE DWELLING

STRUCTURAL BUILDING DESIGN CRITERIA:

BUILDING AND STRUCTURES, AND ALL PARTS THEREOF, SHALL BE CONSTRUCTED TO SAFELY SUPPORT ALL LOADS, INCLUDING DEAD LOADS, LIVELGADS, ROOF LOADS, FLOOD LOADS, SOWILOADS, WIND LOADS, AND SEISMCLGADS

GHO	AD XA-DOESION		SED FROM THE CITY OF DES MOINES, IOWA. SESMC SUBJECT TO DAMAGE FROM			WI-TER	ICE SAPPER	FL00D	AR	MENN			
WOM CAD.	(PEED)	EFFECTS	PECKN		DESIGN	WENTHERE	FROST LIFE DEPTH	TEPMITS	TEAP.	REGULARED TO	HZROS	NCEX	TEUP
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UNHABITABLE ATTIC WITHOUT S	TORAGE 10 PSF	GROUND SNOW(Pa)	30 PSF
HABITABLE ATTIC AND SERVED Y	WITH FIXED STAIRS 30 PSF	FLAT ROOF SNOW (PI)	24 PSF
DECKS AND EXTERIOR BALCONI	ES 40 PSF		
GUARDRAIL AND HANDRAILS	200 PSF	THERMAL CONDITION	Q = 1.0
ROOM OTHER THAN SLEEPING R		TERRAIN EXPOSURE	В
SLEEPINGROOMS	30 PSF	DURATION OF LOAD-SNOW	1.15
STAIRS	40 PSF	DOSTITUTES CONDUCTOR	N. III
	46761	UNBALANCED AND SNOW D	RIFT LOADING
DEFLECTION CRITERIA		ACCORDING TO ASCESSE 7-	40
FLOOR LIVE LOAD	L/480	March Called To Marchan	**
FLOOR TOTAL LOAD	L/360	WIND DESIGN METHOD:	MAYERS/C-C HYBRID ACSE/SEI 7-10
ROOF LIVE LOAD	L/360	EXPOSURE CATEGORY	B
ROOF TOTAL LOAD	L/240	DURATION OF LOAD-WIND	1.60
WALL	H/180	DURNITION OF LUND-HIND	LW

DEVOLUCIOS ADDITIONAL OR CHANGES TO MATERIAL
NEEDS TO BE ADJUSTED TO THE BELOW CALCULATIONS,
FLOOR-TOP CHORD;
TOTAL WITH CARPET/PAD 19.9 PSF
TOTAL WITH TILEBRACKER BD. 15.0 PSF FLOOR-BOTTOM CHORD:

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 ALL FOOTING SHALL BE PLACED ON LINDSTRUBED SOL OR CONTINUED COMPACTED FILL.
 MIRHAMA FOOTING TO BE IN WIND EXTREME POR A 20 OFFI MEMBERS. AND OF WIND X OF DEEP FOR A 3 STORY BUILDING (TABLE WAIL) BOTH WITH Z CONTINUED IS RORIZOTHAL AN ERBAR.
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-FOUNDATION CONCRETE WALLS SHALL HAVE A MIN, STRENGTH OF 3000 PSI

-GARAGE FLOOR SLABS SHALL BE 3,500 PSI -PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER SHALL BE 3,500 psi AT 28 DAYS

Fraiang materials grades 1... Roof, Floor, and wall sheathing: Apa rated sheathing, (Leave 1/8" spacing at Panel Ends and Edges)

APA RATED STREATINGS, CLEAVE 18° SPACIANG AT PAN MINIMUM SPS 5110 ORDOUGLAS FIR LARCH STUD. MINIMUM SPS 62 OR BETTER. 250 FB/2 CR MINIMUM. ASTM SPECIFICATION A992 GRADE-50 OR EQUAL

1... RODY, HIDDEN, AND WALL.
2... WALL STUDS:
3... WALL PLATES:
4... DIMENSIONAL HEADERS:
5... LVL HEADERS:
6... STEEL

DRAWING SYMBOLS LEGEND



WINDOW TAG

OF RISER

WINDOW SIZE (INCHES)



BUILDING SECTION



MISC. SYMBOLS

II— FROST PROOF HOSE BIB --- PLOOR LINE ABOVE

LOAD BEARING WALL SOLID BLOCKING FROM CONCENTRATED LOAD

CONCENTRATED LOAD FROM ABOVE, SOLID BLOCK TO FOUNDATION OR BEAM MEADER BELOW. SMOKE DETECTOR

CARBON MONOXIDE AND SMOKE DETECTOR COMBO

GA: Gage, Gauge GAL: Galon GL: Glass, Glizzing G: Gelvenized Iron GLBK: Glass Block GLB: Glave Laminated Be GT: Grout GRD: Grade, Grading GWB: Gypsum Wall Board

FOC. Face of Cocceled Finish Foc. Face of History FOC. Face Committee History FOC. Face Committee History FOC. Face Committee History FOC. Foc. Face Englished FOC. Face Englished FOC. Face F

NOTE: THIS DRAWING AND ELEVATION VIEWS ARE AN ARTISTIC INTERPETATION OF THE GENERAL APPERANCE OF THE DESIGN, VERIFY WITH BUILDEF FOR FINAL MATERIAL AND COLORS

EW: Each Way
E: Bast
BL: Bevelon
BLEV: Elevation
CQ: Equal
EQP: Equipment
EXCV: Excevate
EVH: Exhaust
EXIST: Extentor

ABBREVIATIONS

JNT: Joint JST: Joint

Lift: Pound
LAN: Learningto(d)
LAN: Learningto
Lift: Learningth
LOA: Langth Oversili
LT: Light
LT: Light
LT: Light
LT: Live Load
LVL: Learningted Venee
LVR: Loaver

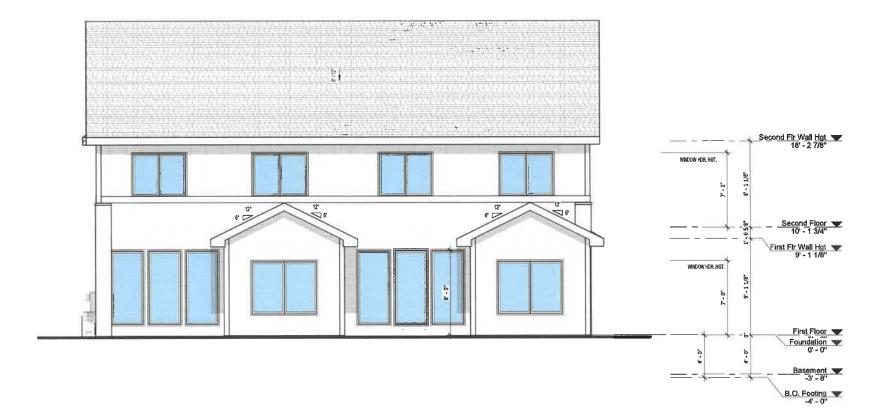
RAD: Radicus
REF: Reference
RRL: Reflect(ed),(ne).
REFR Ref
REG: Register
REF: Reinforced
RA: Return Air
REVT: Revision
RA: Return Air
REVT: Rod Resinon
REFE: Rod Resinon SCH: Schedds
SCH: Sorean
SCH: Schedds
SCH: Series
SCH: Select
SCH: Sched
SCH: Select
SCH: Sched
SCH: Select
SCH: S

QTY; Quantity QT; Quarry Tile

Cover Page

PAPER SCALE: 24" X 36" SHEET (D SIZE)= SCALE ON PLAN





2 REAR ELEVATION A.1-0 1/4" = 1'-0"

GENERAL ELEVATION NOTES:



RIESBERG GROUP DESIG

Grimes, Iowa riesberggroup@gmail.com Phone: 515-202-3386

MEMBER A B D AMERICAN INSTITUTE of BUILDING DESIGN

Project ID: 21-2010

Drawn by: KMR

REVIEW SET

Rev. Date: 11-01-21 Rev. Date: 11-08-21 Rev. Date : 01-04-22 Rev. Date : 02-24-22 Rev. Date: 02-24-22

Rev. Date: 05-27-22 Rev. Date :

BID SET:

PERMIT SET: Date:

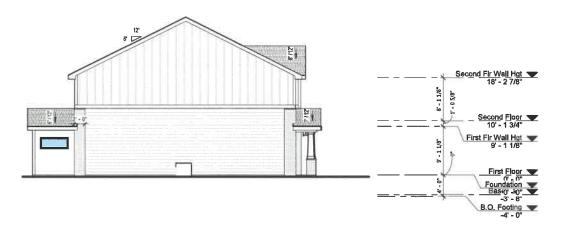
New Residential Home For:
Neighborhood Builders

SECTION AROUP DESIGN IS IC A LICENSEE AREHELET ENGINEER, THESE DUALS ARE PROMITED DI. ANI AS 181 BAGIS, TI E DWNEF AND, OR WALE 4 THEFT CALLS FOR NY TAIME OF LAWSUIT THAT MINY ARISE DERING ONSTRUCTION, IMPOULLY NGPECT ALL DIMENSION. TRUCTURE AND PETAILS IN FLESE DOD MENTO & NOTIFY ITSBEEG SEQUE DESIGN AN NY DISCRIPANCIES.

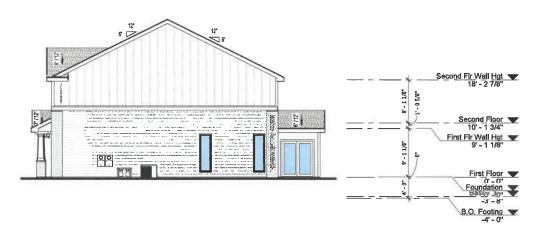
Elevations

A.1-0

1/4" = 1'-0"







2 RIGHT ELEVATION A.1-2 1/8" = 1'-0"

GENERAL ELEVATION NOTES:

1, ALL HORZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTRIBUORS FROM UP BERNED UPPER MATERIAL AND SATERO OVER TO EXTERIOR FACE OF LOWER MATERIAL WITH DIPPEDICE.

LOWER MATERIAL WITH DIPPEDICE.

LASHING TO BE EXTALLED AT WALL AND ROOF INTERECTIONS MID WHEREVER THERE'S A CHANGEN ROOF GUPPER BECTION AND ROOF DEPARMS.

LAY PREVIOUS OF READ ELECTION OF SHOWING SHALL BE SMALAR IN MATERIAL. AND MAKEP TO ADMICISH CONCITIONS.

A CHANGE POT ADMICISH CONCITIONS OR OTHER SMALL POTENTIAL THE MATERIAL.

A INSULATE AND SEALL TO ENSER ADMICISATE AND MATERIAL PROPER MOONED ALL EXTEROR PREVENTIALISM OF PREVENTIALISMS.

5. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.

6/12 6"/12" 1"-5/12 6.112 211.9 8" / 12"



GENERAL NOTES:

ROOF TRUSSES, WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. THE DESIGN AND MANUFACTURE OF METAL-FLATED WOOD TRUSS SHALL COMPLY

REFER TO TRUSS MANUFACTURER TRUSS DESIGN DRAWINGS FOR

HE FOLLOWING:

A. TRUSS BEARING REQUIREMENTS

B. HANGESS CONNECTION FOR TRUSS TO TRUSS CONNECTION

C. MALTRLY PLYTRUSS NALING

C. TRUSS UPLIFT FOR TRUSS TIE DOWN'S REQUIREMENTS

TRUSS BRACING, TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY, REFERTO THE INDIVIDUAL TRUSS DESIGN DRAWNINGS AND SECA'S BESI GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.

ELASHMS

1. ALSHMIS SHALL BE INSTALLED IN JAMMER THAY PREVENTS

1. ALSHMIS SHALL BE INSTALLED IN JAMMER THAY PREVENTS

IN COPING, THROUGH HOISTURE PERMEARLE INTERIALS AND AT STERECTION WITH PRAPER WILLS AND OTHER PRETENTIONS

TREACHED HER DOFF PLANE.

2. PLASHING SHALL BE INSTALLED AT WALL AND ROOF PRETENTIONS

THERECTIONS, MERCENET THERE IS A CHANGE IN ROOF OR DIRECTION AND AROUND ROOF OPENIES.

ROOFING UNDERLAYMENT.

1. UNDERLAYMENT FOR ASPHULT SHINGLES, CLAY, AND CONCRETE
THE, METAL ROOF SHINGLES, MINERAL SURFACED ROLL ROOFING.
SLATE AND SEATT-PETP SHINGLES, WOOD SHINGLES AND DETAL
ROOF PANELS SHALL CONFORM TO THE APPLICABLE STANDARDS.

INSTEN IN TIME AND STANDARDS.

NOOF PROESS POTULE OF YOUR ON THE APPLICABLE'S MANAGERS
LISTED IN THIS CHAPTER.
2. INDEED AYMENT MATERIALS REQUIRED TO COMPLY WITH ASTAID
228, D 1970, D 4869 AND D 6 9757SHALL BEAR A LABEL INDICATING
COMPLIANCE. UNDEED AYMENT SHALL BE ATTACHED IN ACCORDANCE
WITH TABLE R995, 1.(3)

ROOFING MATERIAL.
WHERE CALLED OUT ON PLANS, ASPHALT SHINGLES CAN BE USED ON ROOF SLOPES OF 21/2 OR GREATER, FOR SLOPES FROM 27/2 UP TO 47/2, DOUBLE UNDEDLAYSHAFT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION ROS.1,1

A SOUARE FOOTAGE LISTED IN SCHEDULE IS TAKEN FROM EXPOSED SURFACE OF THE ROOF AS SEEN FROM TOP VIEW, 1. AREA UNDER VALLEY THAT MAY BE SHEATHED WITH OSB IS NOT INCLUDED. 2. NO WASTE FACTOR HAS BEEN ADDED TO THESE NUMBER.

ROSE VENTIATION.
BNL OSED ATTO AND ENDLOSED RAFTER SPACES FORMED WHERE CESTING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF RAFTERS SPALL HAVE CROSS SHITLATION FOR EACH SEPARATE SPACE BY VERTILATION OF PERSON ROTECTS DIAMEST THE BITMANES OF RONE OR SHOW, RECOVERED WESTLATION OF PERSONS SHALL BOTTO THE OUT OF THE OUT OF THE SHOW RECOVERED WESTLATION OF PERSONS SHALL BE DISCOVED.

A. THE SOUME POOTAGE OF ATTIC SPACE IN THE SCHEDULE IS TAKISH FROM THE CUTSIBLE OF BUILDING AND DOES NOT INCLUDES COVERED FROM THE CUTSIBLE OF BUILDING AND DOES NOT INCLUDES COVERED FROM THE AIR HIS PROPERCISCION THAT ARE INST CONCIDENCE BUILDING BUILDING



RIESBERG GROUP DESIGN

Grimes, Iowa riesberggroup@gmail.com Phone: 515-202-3386

MEMBER A BD BUILDING DESIGN

Project ID: 21-2010

Drawn by: KMR

REVIEW SET

Rev. Date : 11-01-21 lev. Date: 11-08-21 Rev. Date : 01-04-22

lev. Date: 02-24-22 Rev. Date : 02-24-22

Rev. Date: 05-27-22 Rev. Date :

BID SET:

PERMIT SET: Date:

ARE FOR DEVIALET ONLY

C. INSTALL VENTS AT SAME HEIGHT IN COMMON ROOF ZONES
-DON'T MIX DIFFERENT TYPES OF DEVIALIST VENTS
D. SEPERATE SPACES/ZONES WITH POLY OR OTHER DRAFTSTOPING
MATERIAL.

New Residential Home For: Neighborhood Builders Project Locs 485 S 19th Str West Des Moines

RILEBURG GROUP DUSION IS A DICENSEE / ROHE ECT MONEER, THESE MUANS ARE PEOTIFIED OF AN 140 IST SASIS, THE OWNER AND/OR PATRACTOR RELEADES IT'S ON NER ZITHPLICYETS TROM ANY TEAHES OF LIMISHIT TEAT MAY 1810F DURING CONSTRUCTION, CARCEUL Y INSPECT ALL DIFENSION, STRUCTURE AND DETAILS IN IT ESE DOOL HENTS & NOTIFY JERBERGINE DUD DESIGN / N ANY DISCRESANCIES.

Elevations

A.1-2

1/8" = 1'-0"

A RESOLUTION OF THE PLAN AND ZONING COMMISSION NO. PZC-22-059

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Silo 9 Plat 1 LLC, request approval of the Site Plan for the approximately 0.37-acre property located at 485 S. 19th Street. The applicant proposes to construct one, two-story duplex building of approximately 4,004-square feet.

WHEREAS, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-005409-2021), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on June 13, 2022.

	Jennifer Drake, Chair
	Plan and Zoning Commission
I HEREBY CERTIFY that the foregoing resolution Commission of the City of West Des Moines, Iowa the following vote:	
AYES:	
NAYS:	
ABSTENTIONS:	
ABSENT:	
ATTEST:	
Recording Secretary	