

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: June 13, 2022

ITEM: Dowling Catholic High School, 1400 Buffalo Road – Approve Major Modification to Site Plan to allow construction of a 4,800 square foot bus facility – Dowling College – MaM-005532-2022

Resolution: Approval of Major Modification to a Site Plan

Background: Tim West with Snyder & Associates Inc, on behalf of the applicant and property owner, Dowling College, a/k/a Dowling Catholic High School, an Iowa non-profit corporation, requests approval of a Major Modification to Site Plan for the approximately 63.1-acre property located at 1400 Buffalo Road. The applicant proposes to construct a new approximately 4,800 square foot bus facility with three bus bays, interior storage areas and an office.

Staff Review & Comment:

- **Financial Impact:** No City funding of the project. There will be Staff time for processing of development application and inspections during construction.
- **History:** Dowling Catholic High School was constructed on this site in 1972. Since then, the school has made several improvements to the campus, which most recently included construction of a memorial garden and updating their athletic bleachers in 2021. In 2019, a Planned Unit Development was established for the subject property with the intent of creating a framework for continued development and expansion of the campus while fitting within the context of the established neighborhood. As part of the adoption of the PUD and in response to concerns from surrounding residents to be informed of plans before they are approved, the PUD requires city staff to provide courtesy notice to all property owners within 370' of the campus informing residents of upcoming projects like the proposed bus facility. Staff mailed said letters to property owners on April 5, 2022. As of the writing of this staff report, city staff has not received any comments from the property owners within the notification area.
- **Key Development Aspects:**
 - **Site Layout:** The proposed bus facility and off-street parking area have been sited providing a setback approximately 240-feet from the single-family homes along the west property line, which exceeds the city's required 40-foot minimum setback. Additionally, the bus facility will be screened from the residential properties by existing vegetation and the proposed addition of 19 evergreen trees and 28 deciduous trees. All lights on the facility will utilize full cutoff light fixtures to prevent site lighting from shining onto these residential properties. Lastly, the applicant's drawings illustrate a construction staging area located to the north and east of the bus facility area, which is approximately 400-feet away from the nearest single-family lot. To ensure the perimeter landscaping intended to visually screen the bus facility remains, staff requested that a Buffer Easement document be executed. To accommodate School Board meeting dates, Staff recommends a condition of approval requiring this easement prior to any use of the bus facility.
 - **Execution of Water Easement:** A 10' water main easement is proposed to run parallel along the north side of the 17th Street campus access road. Though the proposed water easement is over a private water line, West Des Moines Water Works requires this easement in case emergency access to the water system is needed. Said water easement has been provided to the West Des Moines Water Works and is currently being processed.

- **Architecture:** The bus facility will be clad on the exterior of the building with two types of metal siding. The lower portion of the building will use a textured flat metal panel and the upper portion of the building will be clad in a vertical ribbed metal panel. The color palette for the project uses colonial red and cotton white which are intended to tie the bus facility design with the brick and siding colors of the primary school building. As accents to the overall color theme, four overhead doors and service doors will be light gray in color with the doors and windows trimmed in black.
- **Traffic Impact Study Findings:** A Traffic Impact Study was not required for the proposed development.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Plan and Zoning Commission Action:

Date: June 13, 2022

Vote:

Recommendation:

Recommendation: Approve the Major Modification to Site Plan request, subject to the applicant meeting all City Code requirements and the following conditions of approval:

1. Prior to allowance of any use of the bus facility, the applicant providing a fully executed 30' Buffer Easement which includes at least the buffer landscaping being installed along the west perimeter intended to provide visual screening of the bus facility.
2. Prior to issuance of a building permit, the applicant providing a final Storm Water Management Plan (SWMP) which addresses review comments to staff's satisfaction.

Lead Staff Member: Bryce Johnson

Approval Meeting Dates:

Plan and Zoning Commission	June 13, 2022
City Council: First Reading	

Staff Report Reviews:

Plan & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

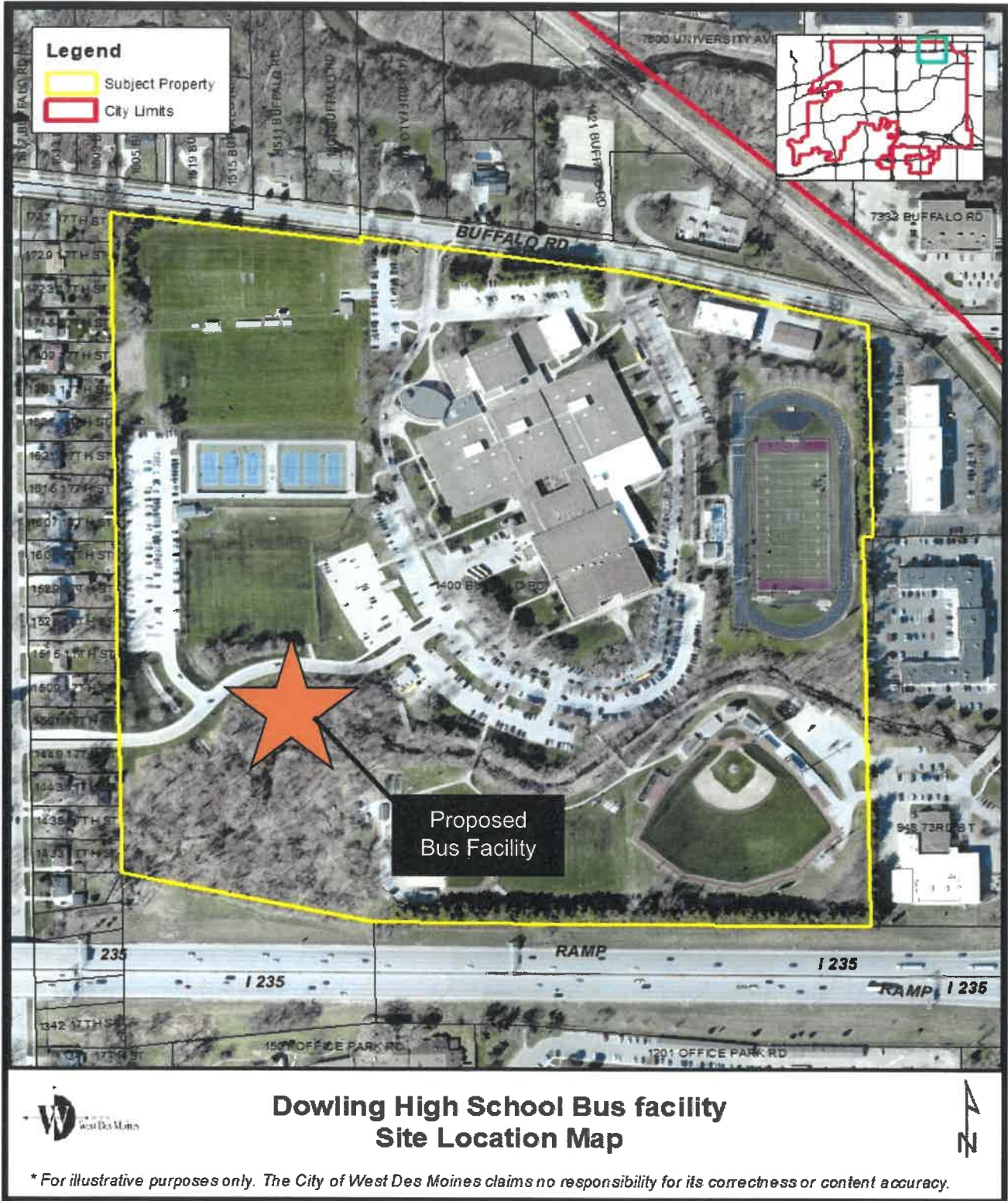
Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

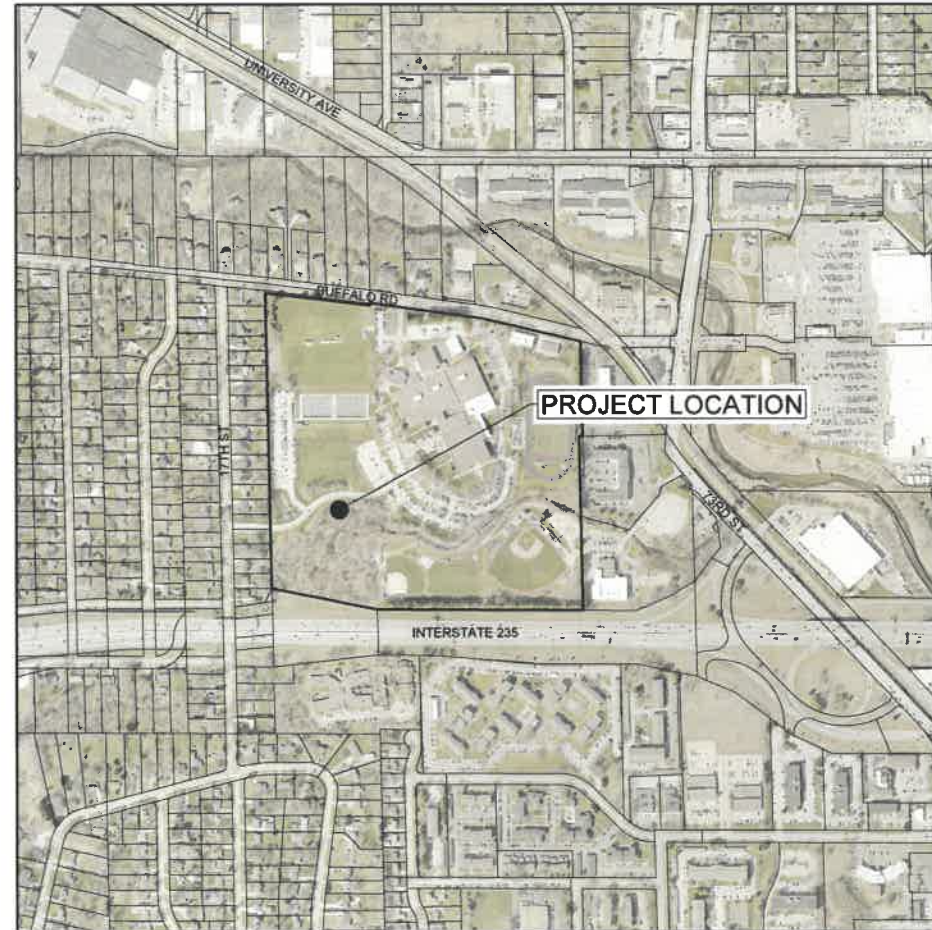
Subcommittee	Development & Planning
Date Reviewed	4/4/22
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



SITE PLANS FOR DOWLING CATHOLIC HIGH SCHOOL - BUS FACILITY

1400 BUFFALO ROAD
CITY OF WEST DES MOINES, POLK COUNTY, IOWA



VICINITY MAP

Index of Sheets	
Sheet #	Sheet Title
C100	TITLE SHEET
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C200	DEMOLITION PLAN
C300	DIMENSION AND UTILITY PLAN
C400	GRADING AND EROSION CONTROL PLAN
C500	PLANTING PLAN

CASE NUMBER
Mam-005532-2022

OWNER / APPLICANT
DOWLING COLLEGE/DOWLING CATHOLIC HIGH SCHOOL
1400 BUFFALO ROAD
WEST DES MOINES, IA 50265
DR. DAN RYAN, PRESIDENT
PHONE: (515)-225-3000

ENGINEER
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BLVD.
ANKENY, IA 50023
TIM WEST, PROJECT MANAGER
PHONE: (515)-964-2020

PLANS INCLUDED ARE FOR ILLUSTRATIVE
PURPOSES ONLY – APPROVED PLANS ON FILE
WITH THE CITY

2	AS PER CITY COMMENTS	06/01/22	STT
1	AS PER CITY COMMENTS	05/09/22	STT
MARK	REVISION	DATE	BY
Engineer: EDC	Checked By: TLW	Scale: 1" = 500'	
Technician: RMB	Date: 04/01/2022	T-R-S: TTN-RRW-SS	
Project No: 121.0959			Sheet C100

DOWLING CATHOLIC HIGH SCHOOL - BUS FACILITY

TITLE SHEET

WEST DES MOINES, IOWA

SNYDER & ASSOCIATES, INC. |

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



Project No: 121.0959
Sheet C100

LEGEND

Table with columns for FOUND and SET symbols, listing various utility markers like Section Corner, ROW Marker, Control Point, etc.

Table with columns for EXISTING and PROPOSED symbols, listing utility types like Spot Elevation, Contour Elevation, Fence, etc.

(*) Denotes the survey quality service level for utilities

Table listing various utility types and their symbols, including Sanitary Manhole, Storm Sewer, Fire Hydrant, etc.

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE C1/ASCE 38-02 STANDARD...

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA...

DATE OF SURVEY

OCTOBER 15, 2021

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 552109495.

Table listing utility contacts: CLEAR PER MAP (MIDAMERICAN ENERGY, WEST DES MOINES WATER WORKS), CLEAR PER EMAIL (WEST DES MOINES TRAFFIC), NO RESPONSE (MEDIACOM COMMUNICATIONS CORP, THE HYDAKER WHEATLAKE CO.).

NOTES

- 1. BUILDING LINES AND CORNERS ARE FOR USE IN PREPARING CIVIL SITE PLAN DOCUMENTS. BUILDING CORNERS AND BUILDING LINES SHOULD BE SPECIFICALLY VERIFIED...
2. FOR CLARITY PURPOSES, SURVEY SPOT ELEVATIONS ARE NOT SHOWN ON THIS SURVEY...
3. FOR THE PURPOSE OF THIS SURVEY, STORM SEWER, SANITARY SEWER AND WATER MAIN LINES ARE ASSUMED TO FOLLOW A STRAIGHT LINE FROM STRUCTURE TO STRUCTURE.

CONTROL POINTS

IOWA REGIONAL COORDINATE SYSTEM ZONE 8 (AMES-DES MOINES) NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET CITY OF WEST DES MOINES VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A) IARTN DERIVED - US SURVEY FEET

Table of control points (CP1-CP4, CP200-CP203, BM500, BM501) with coordinates and descriptions.

CASE NUMBER

Mam-0055332-2022

PROPERTY DESCRIPTION

LOTS 4 AND 6, GOLF AND COUNTRY CLUB, LYING NORTH OF INTERSTATE 235 EXCEPT: - NORTH 35 FEET - EXECUTIVE PLAZA PLAT 1 - BEGINNING AT THE NORTHWEST CORNER OF LOT 2...

PROPERTY ADDRESS

1400 BUFFALO ROAD, WEST DES MOINES, IA 50265

TOTAL PROPERTY AREA

2,747,043 SF (63.06 AC)

ZONING

DOWLING CATHOLIC HIGH SCHOOL PUD, UNDERLYING ZONING - RESIDENTIAL ESTATE

COMPREHENSIVE PLAN DESIGNATION

SINGLE FAMILY

PARKING (NO CHANGE PROPOSED)

Table showing parking requirements: MAX EMPLOYEES = 125 EMPLOYEES = 125 STALLS, STUDENT = 1 STALL/2.5 STUDENTS = 1380/2.5 = 552 STALLS, AUDITORIUM = 1 STALL/8 AUDITORIUM SEATS = 2606-1380(STUDENTS)/8 = 154 STALLS...

IMPERVIOUS SURFACE

Table showing impervious surface: EXISTING (TOTAL): 843,598 SF, ADDED IMPERVIOUS: 18,092 SF, TOTAL IMPERVIOUS: 861,690 SF (2.15% INCREASE)

OPEN SPACE

Table showing open space: TOTAL PROPERTY AREA: 2,747,043 SF, TOTAL IMPERVIOUS AREA: 861,690 SF, OPEN SPACE PROVIDED: 1,885,353 SF, 25% OPEN SPACE REQUIRED: 686,761 SF, OPEN SPACE PROVIDED: 68.63% OPEN SPACE

PROPOSED USE

OPERATIONS AND MAINTENANCE

BULK REGULATIONS

Table showing bulk regulations: ACCESSORY STRUCTURE SETBACKS, FRONT YARD = 5', REAR YARD = 20', SIDE YARD = 20'

STANDARD CITY OF WEST DES MOINES NOTES

- 1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
2. CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
3. DESIGNATED BUGGERS SHALL BE LABELED AS A 'NO BUILD AREA'.
4. ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALLPACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOTCANDLE.

BUFFER PARK - LEGAL DESCRIPTION

A PART OF THE NORTHWEST 1/4 OF SECTION 3, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 6TH P.M., CITY OF WEST DES MOINES, POLK COUNTY, IOWA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF LOT 39, GOLF & COUNTRY CLUB PLAT 7, AN OFFICIAL PLAT; THENCE SOUTHERLY ALONG THE EAST LINE OF SAID LOT 39, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING...

GENERAL NOTES

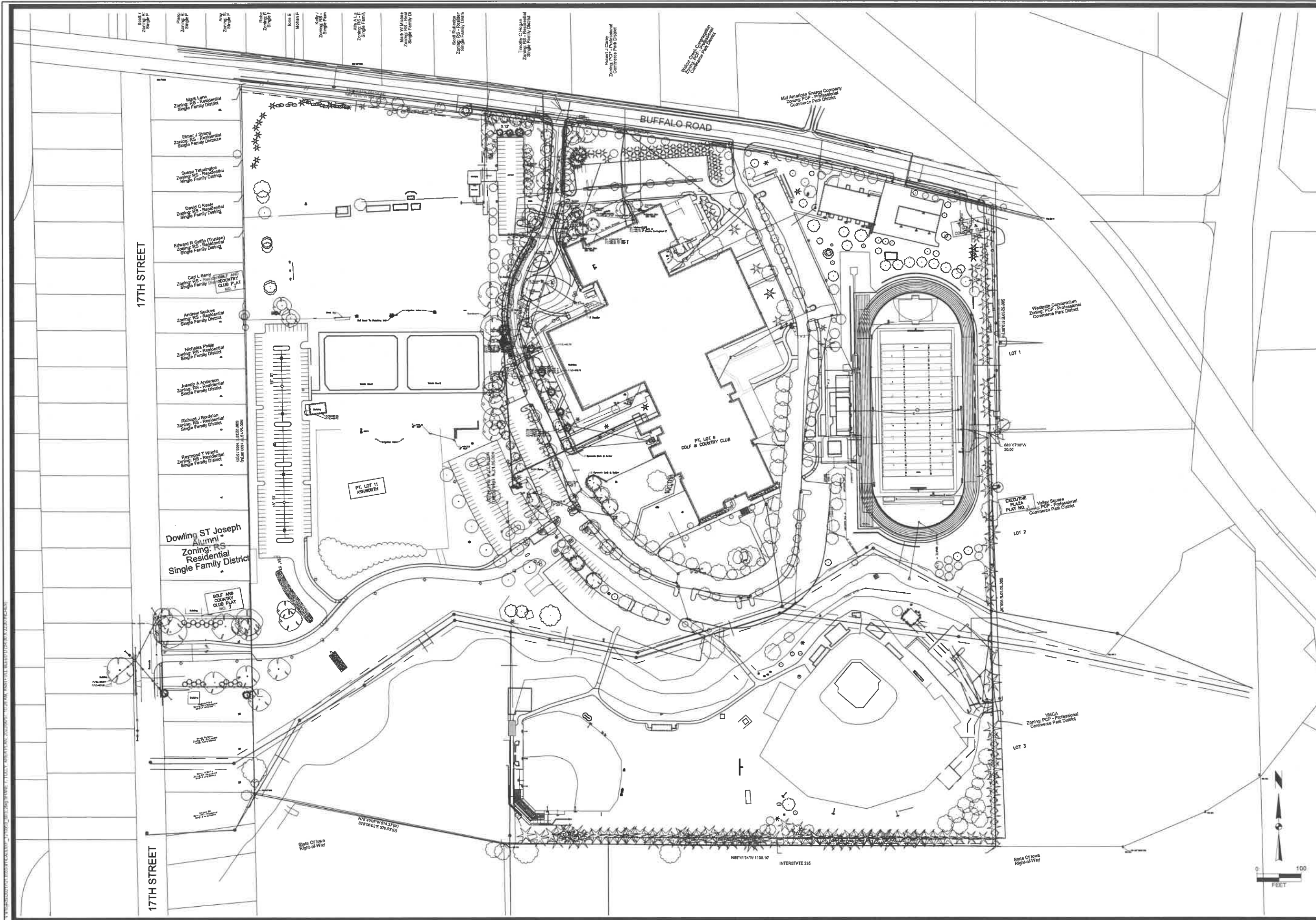
- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM MAP INFORMATION, ONE-CALL UTILITY LOCATIONS AND/OR RECORDS OBTAINED. THE ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA...
B. WHERE UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY FURTHER CONSTRUCTION...
C. CONSTRUCTION OF ALL SITE IMPROVEMENTS SHALL CONFORM TO THE 2022 STATE WIDE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (SUDAS), THE CITY OF WEST DES MOINES SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE SOILS REPORT PREPARED BY OTHERS.

Table with columns for revision dates and descriptions: 06/01/22 STT, 05/09/22 STT, 05/09/22 STT, 05/09/22 STT.

WEST DES MOINES, IOWA PROJECT INFORMATION


DOWLING CATHOLIC HIGH SCHOOL - BUS FACILITY PROJECT INFORMATION





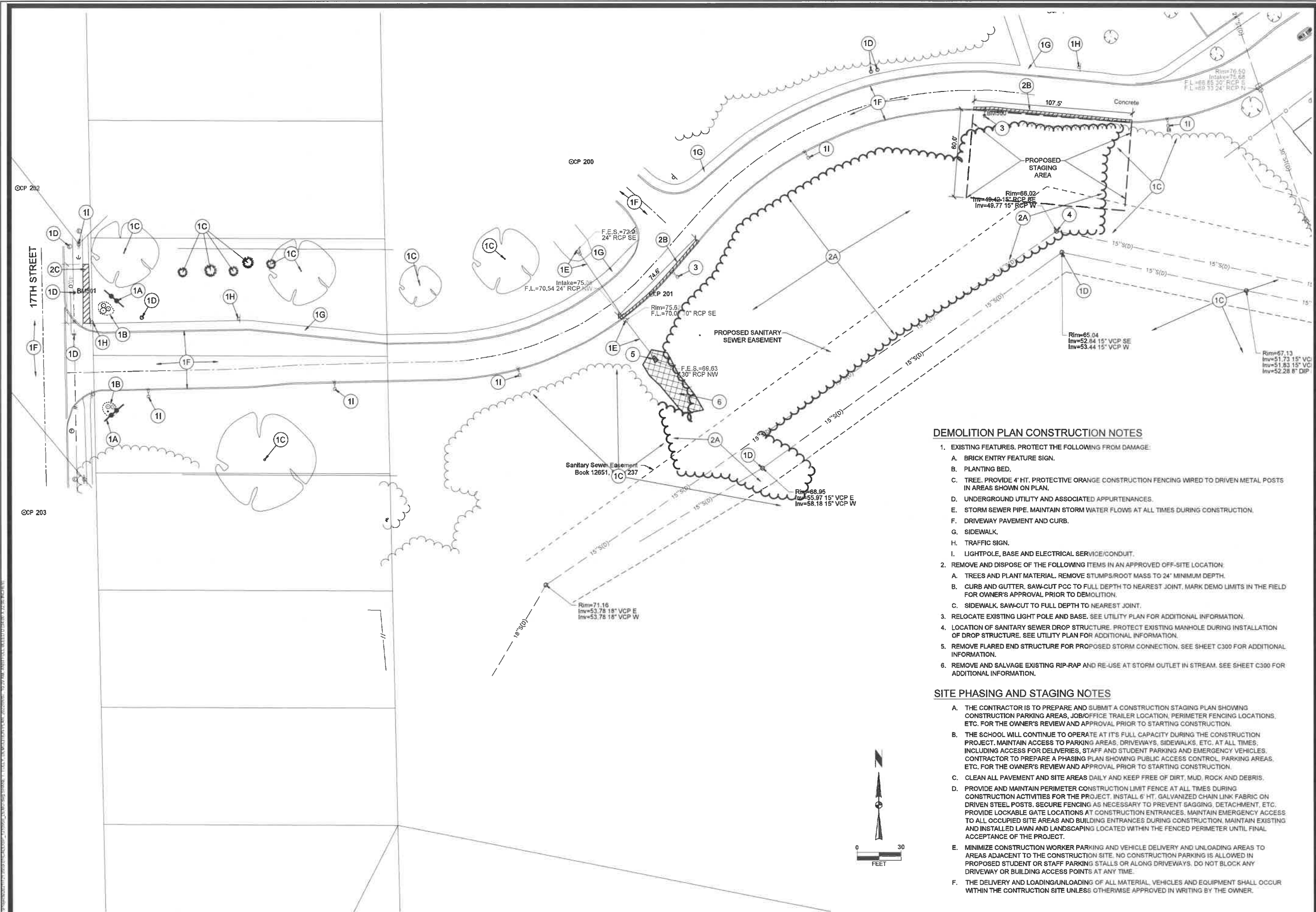
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1	AS PER CITY COMMENTS	05/09/22	STT
MARK	REVISION	DATE	BY
Engineer: EDC	Checked By: TLW	Scale: 1" = 4'00"	
Technician: RMB	Date: 04/01/2022	F-R-S: TTN-RRV-JSS	
Project No: 121.0959			Sheet C102

DOWLING CATHOLIC HIGH SCHOOL - BUS FACILITY
AREA PLAN
SNYDER & ASSOCIATES, INC. |
 WEST DES MOINES, IOWA
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com



SNYDER & ASSOCIATES

Project No: 121.0959
 Sheet C102



DEMOLITION PLAN CONSTRUCTION NOTES

1. EXISTING FEATURES. PROTECT THE FOLLOWING FROM DAMAGE:
 - A. BRICK ENTRY FEATURE SIGN.
 - B. PLANTING BED.
 - C. TREE. PROVIDE 4' HT. PROTECTIVE ORANGE CONSTRUCTION FENCING WIRED TO DRIVEN METAL POSTS IN AREAS SHOWN ON PLAN.
 - D. UNDERGROUND UTILITY AND ASSOCIATED APPURTENANCES.
 - E. STORM SEWER PIPE. MAINTAIN STORM WATER FLOWS AT ALL TIMES DURING CONSTRUCTION.
 - F. DRIVEWAY PAVEMENT AND CURB.
 - G. SIDEWALK.
 - H. TRAFFIC SIGN.
 - I. LIGHTPOLE, BASE AND ELECTRICAL SERVICE/CONDUIT.
2. REMOVE AND DISPOSE OF THE FOLLOWING ITEMS IN AN APPROVED OFF-SITE LOCATION:
 - A. TREES AND PLANT MATERIAL. REMOVE STUMPS/ROOT MASS TO 24" MINIMUM DEPTH.
 - B. CURB AND GUTTER. SAW-CUT PCC TO FULL DEPTH TO NEAREST JOINT. MARK DEMO LIMITS IN THE FIELD FOR OWNER'S APPROVAL PRIOR TO DEMOLITION.
 - C. SIDEWALK. SAW-CUT TO FULL DEPTH TO NEAREST JOINT.
3. RELOCATE EXISTING LIGHT POLE AND BASE. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
4. LOCATION OF SANITARY SEWER DROP STRUCTURE. PROTECT EXISTING MANHOLE DURING INSTALLATION OF DROP STRUCTURE. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
5. REMOVE FLARED END STRUCTURE FOR PROPOSED STORM CONNECTION. SEE SHEET C300 FOR ADDITIONAL INFORMATION.
6. REMOVE AND SALVAGE EXISTING RIP-RAP AND RE-USE AT STORM OUTLET IN STREAM. SEE SHEET C300 FOR ADDITIONAL INFORMATION.

SITE PHASING AND STAGING NOTES

- A. THE CONTRACTOR IS TO PREPARE AND SUBMIT A CONSTRUCTION STAGING PLAN SHOWING CONSTRUCTION PARKING AREAS, JOB/OFFICE TRAILER LOCATION, PERIMETER FENCING LOCATIONS, ETC. FOR THE OWNER'S REVIEW AND APPROVAL PRIOR TO STARTING CONSTRUCTION.
- B. THE SCHOOL WILL CONTINUE TO OPERATE AT ITS FULL CAPACITY DURING THE CONSTRUCTION PROJECT. MAINTAIN ACCESS TO PARKING AREAS, DRIVEWAYS, SIDEWALKS, ETC. AT ALL TIMES, INCLUDING ACCESS FOR DELIVERIES, STAFF AND STUDENT PARKING AND EMERGENCY VEHICLES. CONTRACTOR TO PREPARE A PHASING PLAN SHOWING PUBLIC ACCESS CONTROL, PARKING AREAS, ETC. FOR THE OWNER'S REVIEW AND APPROVAL PRIOR TO STARTING CONSTRUCTION.
- C. CLEAN ALL PAVEMENT AND SITE AREAS DAILY AND KEEP FREE OF DIRT, MUD, ROCK AND DEBRIS.
- D. PROVIDE AND MAINTAIN PERIMETER CONSTRUCTION LIMIT FENCE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES FOR THE PROJECT. INSTALL 6' HT. GALVANIZED CHAIN LINK FABRIC ON DRIVEN STEEL POSTS. SECURE FENCING AS NECESSARY TO PREVENT SAGGING, DETACHMENT, ETC. PROVIDE LOCKABLE GATE LOCATIONS AT CONSTRUCTION ENTRANCES. MAINTAIN EMERGENCY ACCESS TO ALL OCCUPIED SITE AREAS AND BUILDING ENTRANCES DURING CONSTRUCTION. MAINTAIN EXISTING AND INSTALLED LAWN AND LANDSCAPING LOCATED WITHIN THE FENCED PERIMETER UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- E. MINIMIZE CONSTRUCTION WORKER PARKING AND VEHICLE DELIVERY AND UNLOADING AREAS TO AREAS ADJACENT TO THE CONSTRUCTION SITE. NO CONSTRUCTION PARKING IS ALLOWED IN PROPOSED STUDENT OR STAFF PARKING STALLS OR ALONG DRIVEWAYS. DO NOT BLOCK ANY DRIVEWAY OR BUILDING ACCESS POINTS AT ANY TIME.
- F. THE DELIVERY AND LOADING/UNLOADING OF ALL MATERIAL, VEHICLES AND EQUIPMENT SHALL OCCUR WITHIN THE CONSTRUCTION SITE UNLESS OTHERWISE APPROVED IN WRITING BY THE OWNER.



2	AS PER CITY COMMENTS	06/01/22	STT
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MARK REVISION		DATE	BY
Engineer: EDC	Checked By: TLW	Scale: 1"=40'	
Technician: RMB	Date: 04/01/2022	F-R-S: TTN-RRW-SS	
Project No: 121.0959			Sheet C200

DOWLING CATHOLIC HIGH SCHOOL - BUS FACILITY

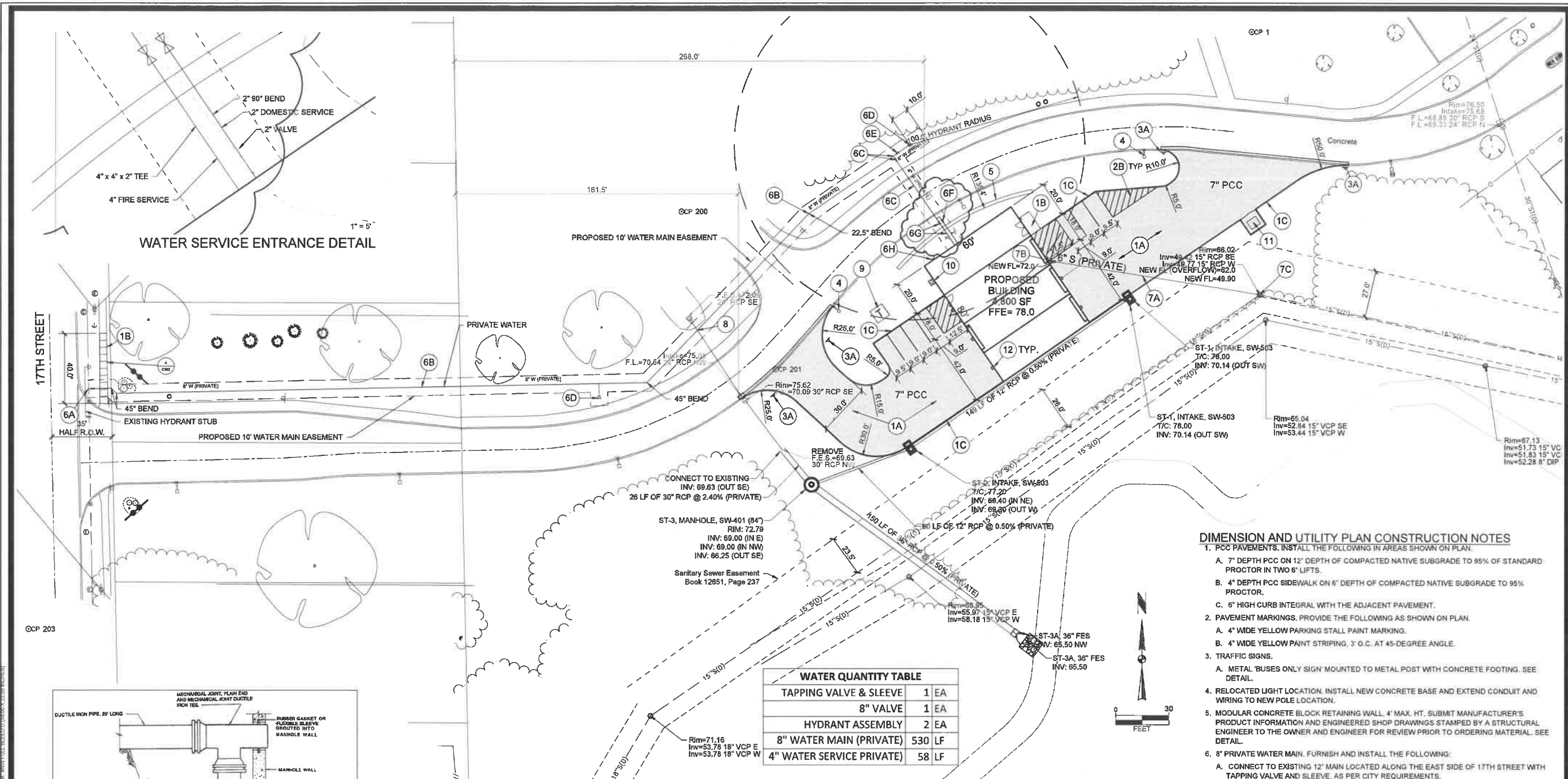
DEMOLITION PLAN

WEST DES MOINES, IOWA

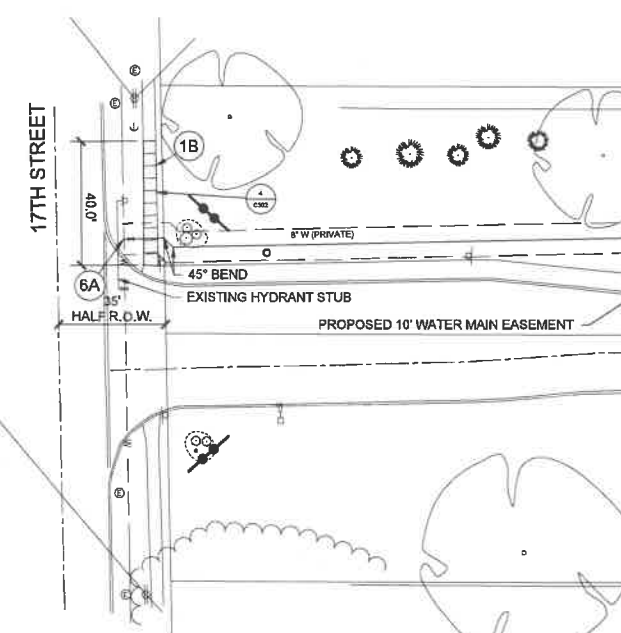
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WATER SERVICE ENTRANCE DETAIL



WATER QUANTITY TABLE

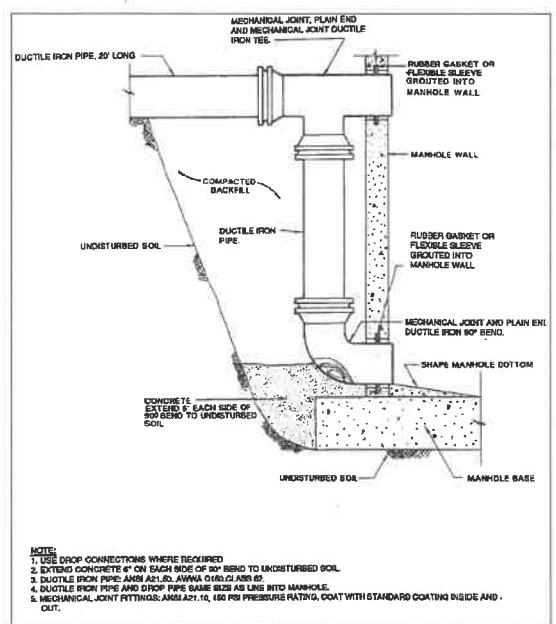
TAPPING VALVE & SLEEVE	1 EA
8" VALVE	1 EA
HYDRANT ASSEMBLY	2 EA
8" WATER MAIN (PRIVATE)	530 LF
4" WATER SERVICE PRIVATE	58 LF

DIMENSION AND UTILITY PLAN CONSTRUCTION NOTES

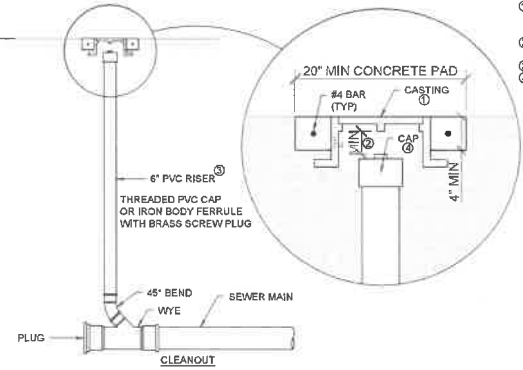
- PCC PAVEMENTS. INSTALL THE FOLLOWING IN AREAS SHOWN ON PLAN.
 - 7" DEPTH PCC ON 12" DEPTH OF COMPACTED NATIVE SUBGRADE TO 95% OF STANDARD PROCTOR IN TWO 6" LIFTS.
 - 4" DEPTH PCC SIDEWALK ON 6" DEPTH OF COMPACTED NATIVE SUBGRADE TO 95% PROCTOR.
 - 6" HIGH CURB INTEGRAL WITH THE ADJACENT PAVEMENT.
- PAVEMENT MARKINGS. PROVIDE THE FOLLOWING AS SHOWN ON PLAN.
 - 4" WIDE YELLOW PARKING STALL PAINT MARKING.
 - 4" WIDE YELLOW PAINT STRIPING, 3" O.C. AT 45-DEGREE ANGLE.
- TRAFFIC SIGNS.
 - METAL 'BUSES ONLY SIGN' MOUNTED TO METAL POST WITH CONCRETE FOOTING. SEE DETAIL.
- RELOCATED LIGHT LOCATION. INSTALL NEW CONCRETE BASE AND EXTEND CONDUIT AND WIRING TO NEW POLE LOCATION.
- MODULAR CONCRETE BLOCK RETAINING WALL, 4' MAX. HT. SUBMIT MANUFACTURER'S PRODUCT INFORMATION AND ENGINEERED SHOP DRAWINGS STAMPED BY A STRUCTURAL ENGINEER TO THE OWNER AND ENGINEER FOR REVIEW PRIOR TO ORDERING MATERIAL. SEE DETAIL.
- 8" PRIVATE WATER MAIN. FURNISH AND INSTALL THE FOLLOWING:
 - CONNECT TO EXISTING 12" MAIN LOCATED ALONG THE EAST SIDE OF 17TH STREET WITH TAPPING VALVE AND SLEEVE, AS PER CITY REQUIREMENTS.
 - 8" PRIVATE WATER MAIN.
 - 4" WATER SERVICE TO BUILDING WITH 8"x8"x4" TEE AND 4" ISOLATION VALVE.
 - HYDRANT ASSEMBLY AS PER CITY REQUIREMENTS.
 - ISOLATION VALVE.
 - 2" DOMESTIC SERVICES WITH ISOLATION VALVE SET IN CONCRETE PAD WITH SLEEVE TO ENSURE CURB STOP IS OPERABLE.
 - 4" FIRE SERVICE TO BUILDING WITH ISOLATION VALVE.
 - F.D.C. CONNECTION TO BUILDING SPRINKLER SYSTEM.
- SANITARY SEWER SERVICE. FURNISH AND INSTALL THE FOLLOWING:
 - SEWER LINE.
 - CLEANOUT, 6".
 - CONNECT TO EXISTING PUBLIC SEWER MAIN AT MANHOLE WITH A DROP STRUCTURE. COORDINATE CONNECTION WITH CITY PRIOR TO INSTALLATION. SEE DETAIL.
- CRITICAL CROSSING. CONTRACTOR TO DETERMINE EXACT DEPTH AND LOCATION OF EXISTING UTILITY PRIOR TO CONSTRUCTING THE PROPOSED WATER LINE. PROVIDE A MINIMUM OF 18" OF SEPARATION BETWEEN UTILITIES.
- ELECTRICAL TRANSFORMER. COORDINATE AND PROVIDE ELECTRICAL SERVICE TO THE BUILDING AS PER MIDAMERICAN ENERGY. CONTRACTOR RESPONSIBLE FOR CONTACTING, SCHEDULING AND COORDINATING ELECTRICAL WORK WITH MIDAMERICAN ENERGY PRIOR TO CONSTRUCTION.
- GAS SERVICE. COORDINATE ROUTE AND SIZE OF GAS SERVICE WITH MIDAMERICAN ENERGY. CONTRACTOR RESPONSIBLE FOR CONTACTING, SCHEDULING AND COORDINATING GAS SERVICE INSTALLATION WITH MIDAMERICAN ENERGY PRIOR TO CONSTRUCTION.
- TRASH ENCLOSURE TO BE 10' WIDE BY 10' DEEP, 6' TALL, WITH 2 METAL FRAME SWING GATES ON SOUTH SIDE. BUILDING MATERIALS TO MATCH/COMPLEMENT THE BUILDING MATERIALS. SEE PLAN FOR LOCATION.
- EXTERIOR ARCHITECTURAL LIGHTING (WALL PACK) AT EACH DOOR.

WDM WATER WORKS NOTES

- ALL WATER MAINS SHALL BE CONSTRUCTED TO CURRENT WDM WATER WORKS STANDARDS. THESE ARE AVAILABLE ON OUR WEBSITE, [HTTP://WWW.WDMWW.COM/SPECS.ASPX](http://www.wdmww.com/specs.aspx).
- DOMESTIC SERVICE SHOULD BE TAPPED OFF OF THE FIRE LINE. FIRE LINES AND DOMESTIC SERVICE SHALL HAVE SEPARATE SHUT-OFFS AT LEAST TEN (10) FEET APART FROM THE OUTSIDE OF BUILDING.
- WDM WATER WORKS DOES ALL TAPPING OF WATER MAINS.
- WDM WATER WORKS CHARGES INSPECTION FEES FOR PROPOSED WATER MAINS BASED ON THE TYPE AND QUANTITY OF MAIN INSTALLED. DEVELOPMENT PLANS SHOULD INCLUDE A MATERIALS AND QUANTITIES LIST.
- PRESSURES IN THIS AREA MAY EXCEED 80 PSI. INDIVIDUAL PRESSURE REDUCING VALVES WITH EXPANSION TANKS MAY BE REQUIRED BY THE PLUMBING CODE.
- CONTACT THE DISTRIBUTION MANAGER AT WDM WATER WORKS (515-222-3465) FOR PRESSURE AND FLOW DATA FOR FIRE SUPPRESSION MODELS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION (UTILITY SHEET ONLY).



1 WDM SANITARY SEWER DROP CONNECTION
NO SCALE



2 SANITARY SEWER CLEANOUT
NO SCALE

AS PER CITY COMMENTS	06/01/22	STT
AS PER CITY COMMENTS	05/09/22	STT
MARK	REVISION	DATE
ENGINEER: EDC	CHECKED BY: TLW	SCALE: 1"=30'
TECHNICIAN: RMB	DATE: 04/01/2022	F-R-S: TTN-FRW-SS
Project No: 121.0959		
Sheet C300		

DOWLING CATHOLIC HIGH SCHOOL - BUS FACILITY

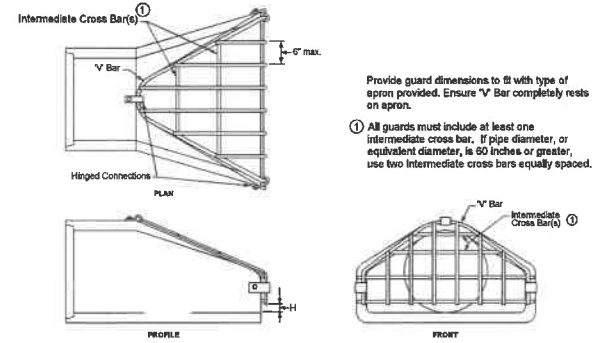
WEST DES MOINES, IOWA

DIMENSION AND UTILITY PLAN

SNYDER & ASSOCIATES, INC.

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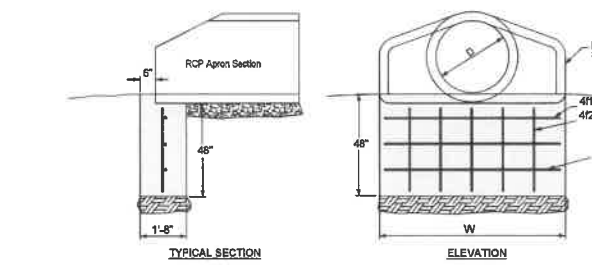


Provide guard dimensions to fit with type of apron provided. Ensure "V" Bar completely rests on apron.

① All guards must include at least one intermediate cross bar. If pipe diameter, or equivalent diameter, is 60 inches or greater, use two intermediate cross bars equally spaced.

BAR SIZES				ROUND	
PIPE SIZE (DIA. or EQUIV.)	HOLE DIA. REQ'D.	BOLT DIA.	BAR SIZE	PIPE SIZE	H
12" - 24"	2"	3/8"	3/8"	12"	2 1/2"
27" - 48"	2 1/2"	1/2"	1/2"	15"	3"
54" - 90"	3"	3/4"	3/4"	18" - 24"	4"
up to 24" eq.	2"	3/8"	3/8"	27" - 36"	5"
30" to 48" eq.	2 1/2"	1/2"	1/2"	42" - 54"	6"
54" to 72" eq.	3"	3/4"	3/4"	60" - 72"	7"
up to 24" eq.	2"	3/8"	3/8"	78" - 90"	8"
30" to 48" eq.	2 1/2"	1/2"	1/2"		
54" to 80" eq.	3"	3/4"	3/4"		

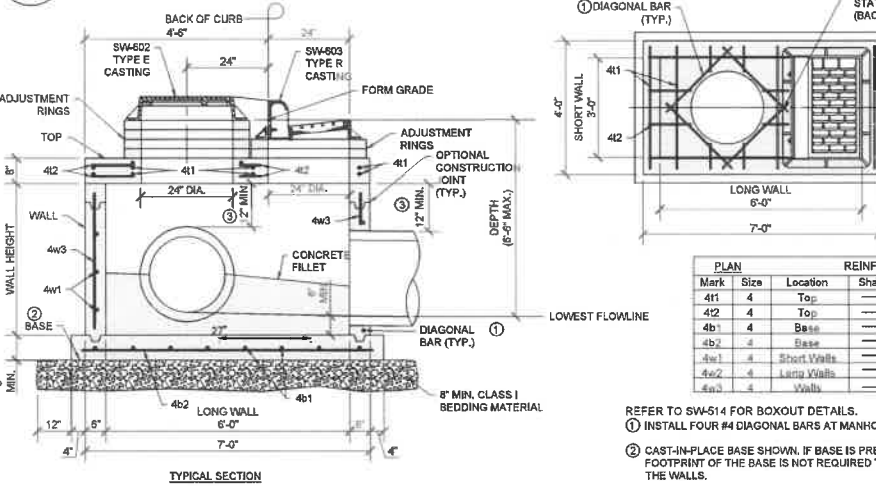
BOLT LENGTH = PIPE WALL THICKNESS + 2"



REINFORCING BAR LIST					
D	W	Mark	Size	Length	Count
12"	2'-4"	411	4	2'-0"	3
		412	4	3'-6"	2
15"	2'-10 1/2"	411	4	2'-6 1/2"	2
		412	4	3'-8"	2
18"	3'-5"	411	4	3'-4"	3
		412	4	3'-8"	3
24"	4'-5"	412	4	4'-2"	3
		411	4	5'-3"	3
30"	5'-7"	412	4	3'-8"	4
		411	4	5'-4"	3
36"	6'-5"	411	4	3'-8"	5
		412	4	6'-11"	3
42"	7'-3"	411	4	3'-8"	5
		412	4	3'-8"	5

1 RCP FLARED END STRUCTURE WITH FOOTING AND APRON GUARD

C400 NO SCALE



REINFORCING BAR LIST			
Mark	Size	Location	Count
411	4	Top	12
412	4	Top	8
4b1	4	Base	7
4b2	4	Base	5
4a1	4	Short Walls	Varies
4a2	4	Long Walls	Varies
4a3	4	Walls	18

REFER TO SW-514 FOR BOXOUT DETAILS.

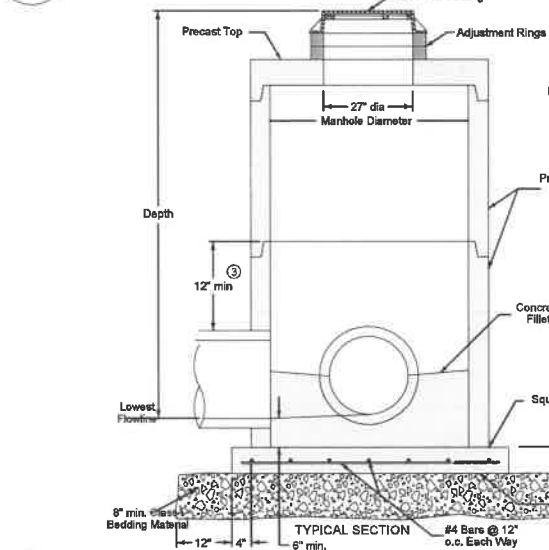
① INSTALL FOUR #4 DIAGONAL BARS AT MANHOLE OPENING AND AT ALL PIPE OPENINGS.

② CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.

③ 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.

2 SINGLE GRATE INTAKE WITH MANHOLE

C400 NO SCALE



If manhole depth exceeds 20 feet, install steps.

① Cast-in-place base shown. If base is precast integral with bottom riser, the footprint of the base is not required to extend beyond the outer edge of the riser.

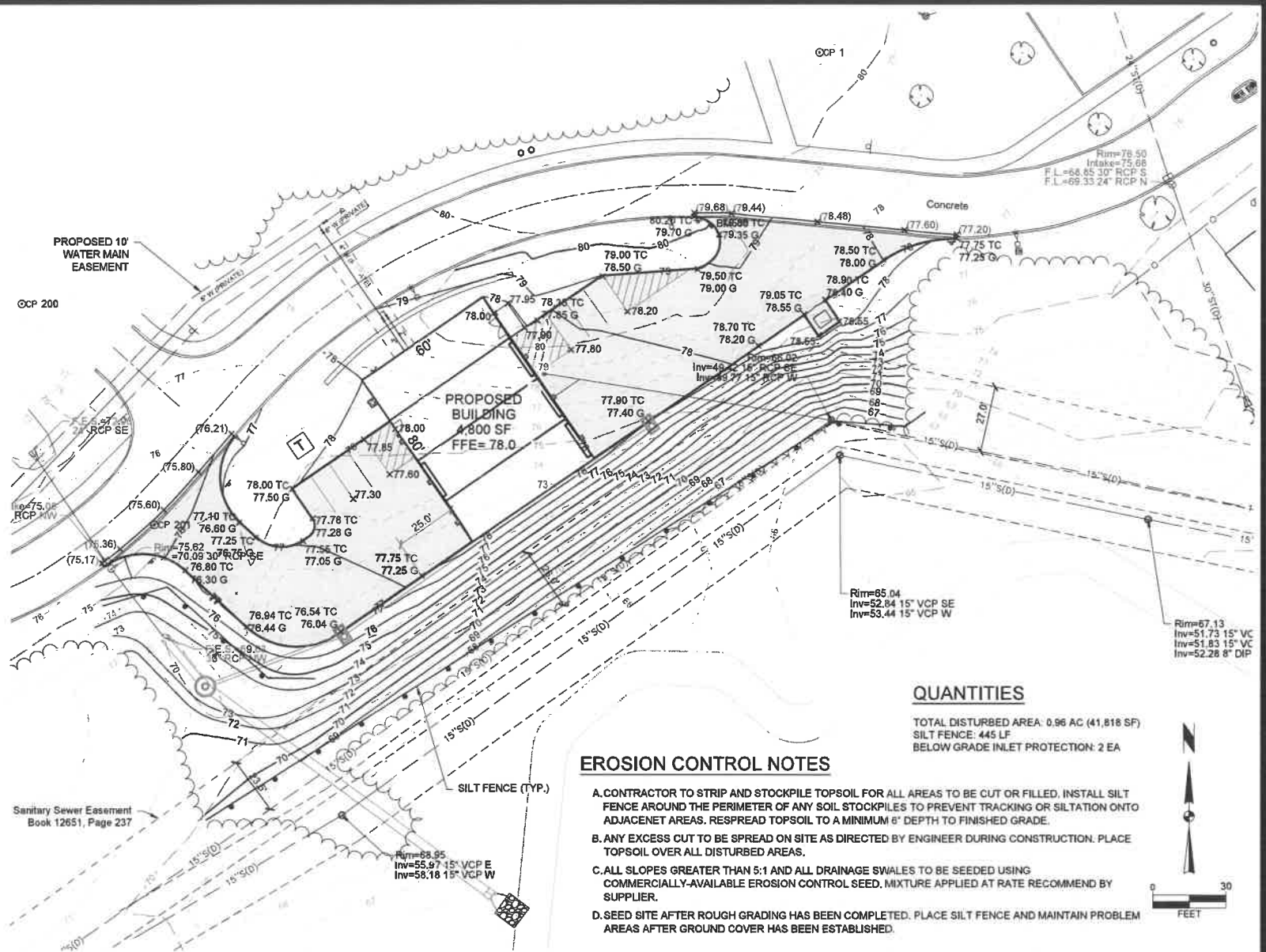
② For additional configurations, maintain a minimum of 12 inches of concrete between vertical edges of pipe openings.

③ 12 inch minimum riser height above all pipe openings.

Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	At 180° Separation	At 90° Separation
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42

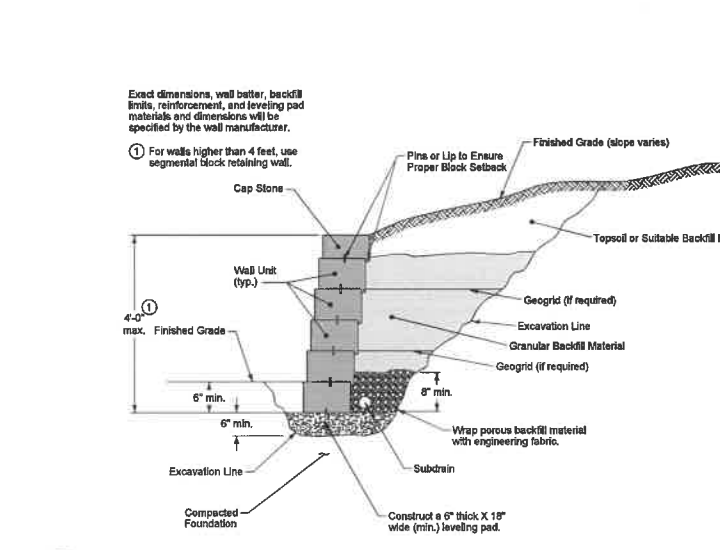
3 TYPE SW-401 (84") MANHOLE

C400 NO SCALE



4 MODULAR BLOCK RETAINING WALL

C400 NO SCALE



5 EXISTING RAMP SIDEWALK PLAN DETAIL

C400 1"=10'

EROSION CONTROL NOTES

- A. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FOR ALL AREAS TO BE CUT OR FILLED. INSTALL SILT FENCE AROUND THE PERIMETER OF ANY SOIL STOCKPILES TO PREVENT TRACKING OR SILTATION ONTO ADJACENT AREAS. RESPADE TOPSOIL TO A MINIMUM 6" DEPTH TO FINISHED GRADE.
- B. ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL DISTURBED AREAS.
- C. ALL SLOPES GREATER THAN 5:1 AND ALL DRAINAGE SWALES TO BE SEEDDED USING COMMERCIALY-AVAILABLE EROSION CONTROL SEED. MIXTURE APPLIED AT RATE RECOMMEND BY SUPPLIER.
- D. SEED SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED.

QUANTITIES

TOTAL DISTURBED AREA: 0.96 AC (41,816 SF)
 SILT FENCE: 445 LF
 BELOW GRADE INLET PROTECTION: 2 EA

NO.	DATE	BY	REVISION
2	06/01/22	STT	AS PER CITY COMMENTS
1	05/09/22	STT	AS PER CITY COMMENTS

Checked By: TLW
 Date: 04/01/2022
 Project No: 121.0959
 Sheet C400

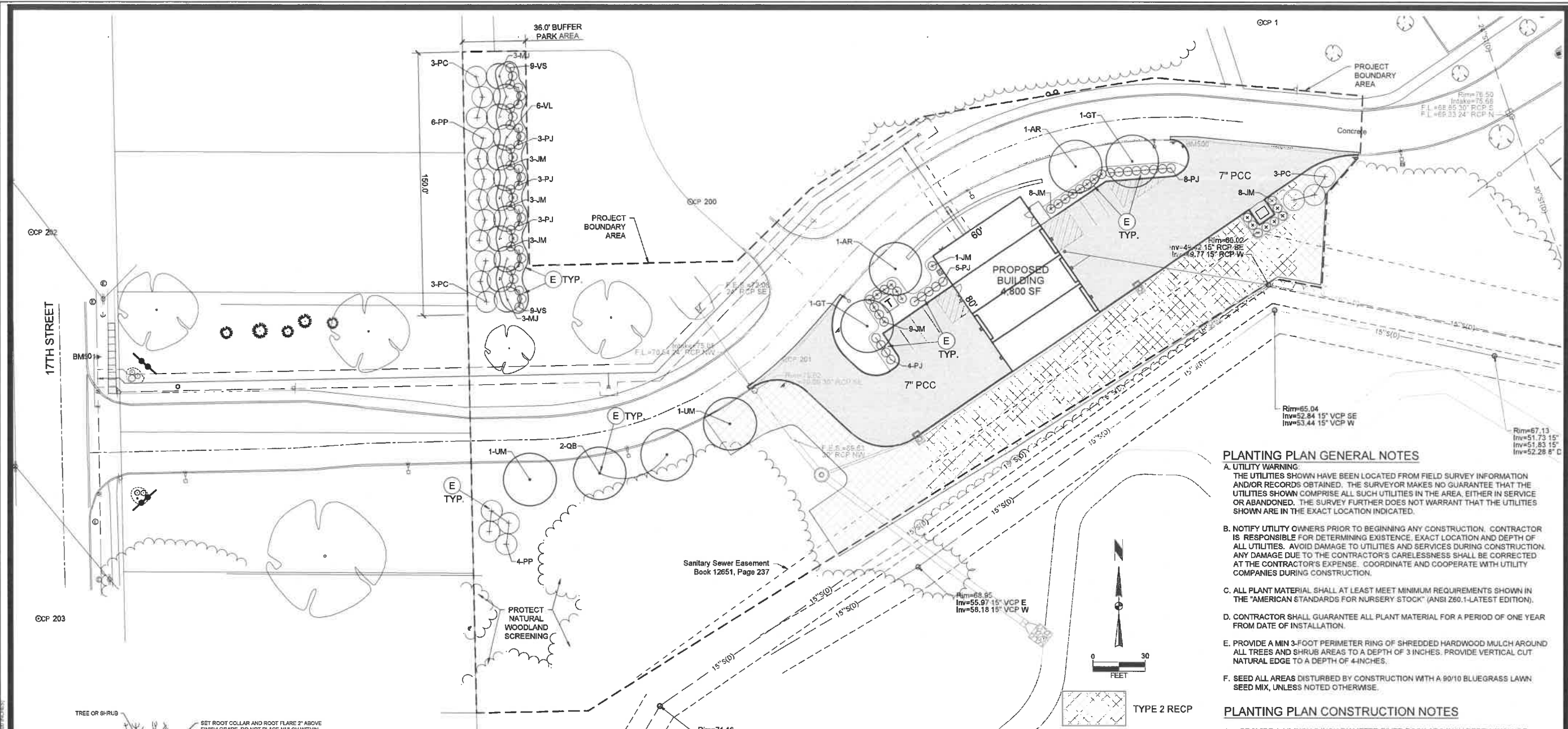
DOWLING CATHOLIC HIGH SCHOOL - BUS FACILITY

GRADING AND EROSION CONTROL PLAN

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com





- PLANTING PLAN GENERAL NOTES**
- UTILITY WARNING:** THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
 - NOTIFY UTILITY OWNERS** PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
 - ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
 - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
 - PROVIDE A MIN 3-FOOT PERIMETER RING OF SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUB AREAS TO A DEPTH OF 3 INCHES. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4 INCHES.
 - SEED ALL AREAS DISTURBED BY CONSTRUCTION WITH A 90/10 BLUEGRASS LAWN SEED MIX, UNLESS NOTED OTHERWISE.

- PLANTING PLAN CONSTRUCTION NOTES**
- PROVIDE 1/2 INCH-2 INCH DIAMETER RIVER ROCK AT 3-INCH DEPTH. INCLUDE LANDSCAPE FABRIC IN PLANT BED AREAS AS INDICATED ON PLAN. BLEND IN WITH EXISTING AS BEST AS POSSIBLE.
 - PROVIDE 1/8" STEEL EDGING, PAINTED GREEN TO MATCH EXISTING IN AREAS WHERE BEDS ABUT TURF.

PLANTING PLAN REQUIREMENTS:

LANDSCAPE REQUIREMENTS AND CALCULATIONS:
(AS PER CITY OF WEST DES MOINES LANDSCAPE ORDINANCE ORD. 1839, 9-21-2009)

OPEN SPACE PLANTING REQUIREMENTS:
TOTAL PROJECT BOUNDARY AREA: 101,704 SF (2.33 AC)
BUILDING AREA: 4,800 SF
PARKING AND DRIVES: 32,105 SF
TOTAL IMPERVIOUS AREA: 38,905 SF

REQUIRED OPEN SPACE: 25% OF PROJECT BOUNDARY AREA
101,704 SF x 0.25 = 25,426 SF REQUIRED
-84,799 SF PROVIDED (63.71%)

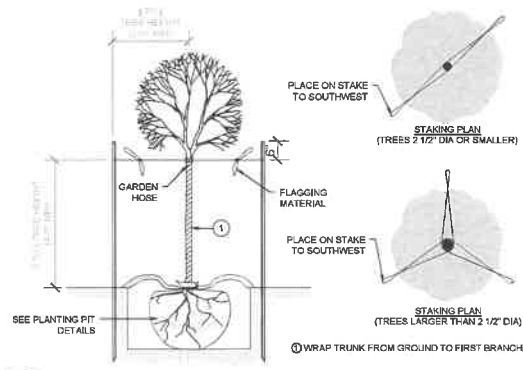
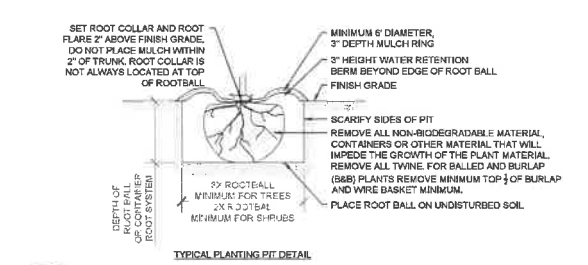
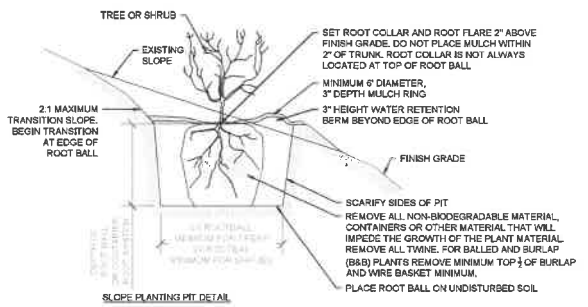
2 TREES AND 3 SHRUBS PER 3,000 SF OF REQUIRED OPEN SPACE

25,426 SF / 3,000 = 8.48 PLANT UNITS
-2 TREES X 8.48 = 16.96 REQ'D (17 PROVIDED, 15 PROPOSED, 2 EXISTING)
-3 SHRUBS X 8.48 = 25.44 REQ'D (27 PROVIDED)

35% OF ALL TREES REQUIRED SHALL BE EVERGREEN.
17 TREES REQUIRED X .35 = 5.95 EVERGREEN TREES REQUIRED (7 PROVIDED)

BUFFERYARD PLANTINGS:
30' DEPTH LANDSCAPE BUFFER ADJACENT TO 17TH ST. & BUFFALO RD.
MIN. ONE (1) OVERSTORY TREE AND TWO (2) UNDERSTORY OR EVERGREEN TREES AND SIX (6) SHRUBS SHALL BE PROVIDED EVERY THIRTY-FIVE LINEAR FEET OF BUFFER. EARTHEN BERM NOT REQ. AS PER CITY OF WEST DES MOINES.

210 LF OF BUFFER REQUIRED, 6 OVERSTORY TREES, 12 UNDERSTORY/EVERGREEN TREES, AND 36 SHRUBS PROVIDED.



QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENTS
CANOPY TREES					
2	AR	Acer rubrum 'October Glory'	OCTOBER GLORY MAPLE	2" Cal.	8' HT.
2	CK	Cladrasia kentukea	YELLOWWOOD	2" Cal.	8' HT.
2	GT	Gleditsia triacanthos f. inermis 'Shademaster'	SHADEMASTER HONEYLOCUST	2" Cal.	8' HT.
2	QB	Quercus bicolor	SWAMP WHITE OAK	2" Cal.	8' HT.
2	UM	Ulmus 'Morton Starwar'	COMMENDATION ELM	2" Cal.	8' HT.
EVERGREEN TREES					
8	PC	Pinus cembra	BLUE TOWER SWISS STONE PINE	6' HT.	B&B
10	PP	Picea pungens f. glauca 'Fat Albert'	FAT ALBERT COLORADO SPRUCE	6' HT.	B&B
ORNAMENTAL TREES					
9	MJ	Malus 'Jarmir'	ROYAL RAINDROPS CRABAPPLE	1 1/2" Cal.	B&B, 6' HT.
9	VL	Viburnum lentago	NANNYBERRY TREE VIBURNUM	1 1/2" Cal.	B&B, MULTI-STEM, 6' HT.
DECIDUOUS SHRUBS					
26	PJ	Physocarpus opulifolius 'Jefam' AMBER JUBILEE	AMBER JUBILEE NINEBARK	24" Ht.	3 GAL. CONT (5' O.C.)
18	VS	Viburnum carlesii 'Spice Baby'	KOREANSPICE VIBURNUM SPICE BABY	24" Ht.	3 GAL. CONT (5' O.C.)
EVERGREEN SHRUBS					
35	JM	Juniperus chinensis 'Maney'	MANEY JUNIPER	24" Ht.	3 GAL. CONT (5' O.C.)

NOTE: QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY PLANT MATERIAL PRIOR TO BIDDING. IN THE CASE OF A DISCREPANCY, THE PLAN QUANTITY SHALL GOVERN.

1 PLANTING PIT DETAILS
C500 NO SCALE

2 DECIDUOUS TREE STAKING DETAIL
C500 NO SCALE

AS PER CITY COMMENTS	06/01/22	STT
AS PER CITY COMMENTS	05/09/22	STT
REVISION	DATE	BY
Checked By: TLW	DATE	BY
Engineer: EDC	Scale: 1" = 30'	
Technician: RMB	Date: 04/01/2022	
T-R-S: TTN-RRW-SS		
Project No: 121.0959		
Sheet C500		

DOWLING CATHOLIC HIGH SCHOOL - BUS FACILITY

PLANTING PLAN

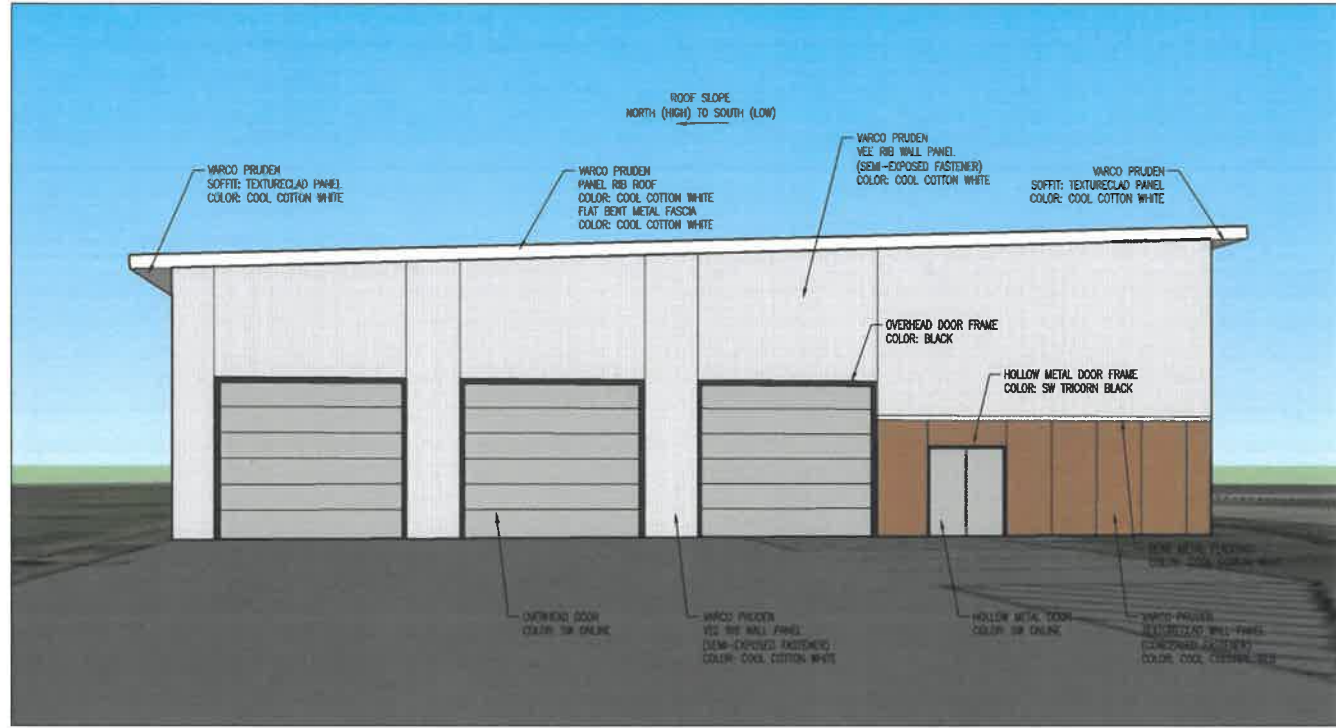
WEST DES MOINES, IOWA

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

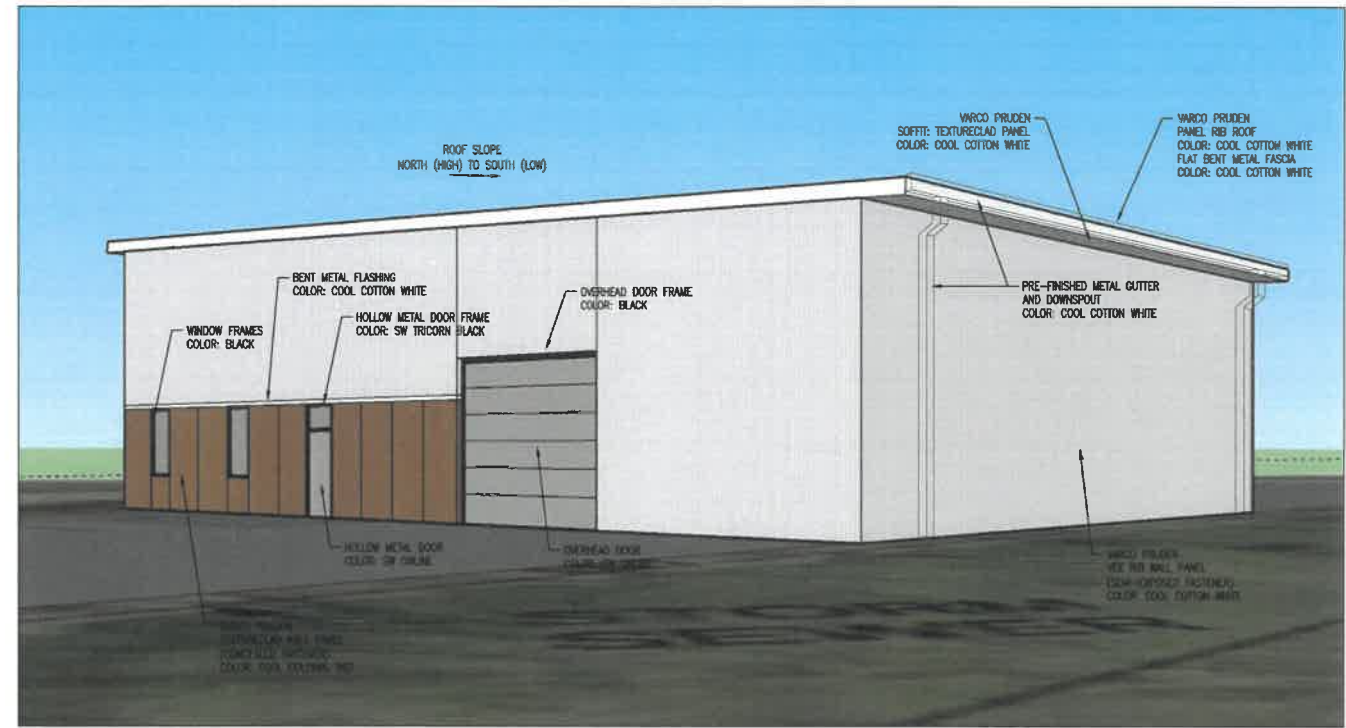
SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES

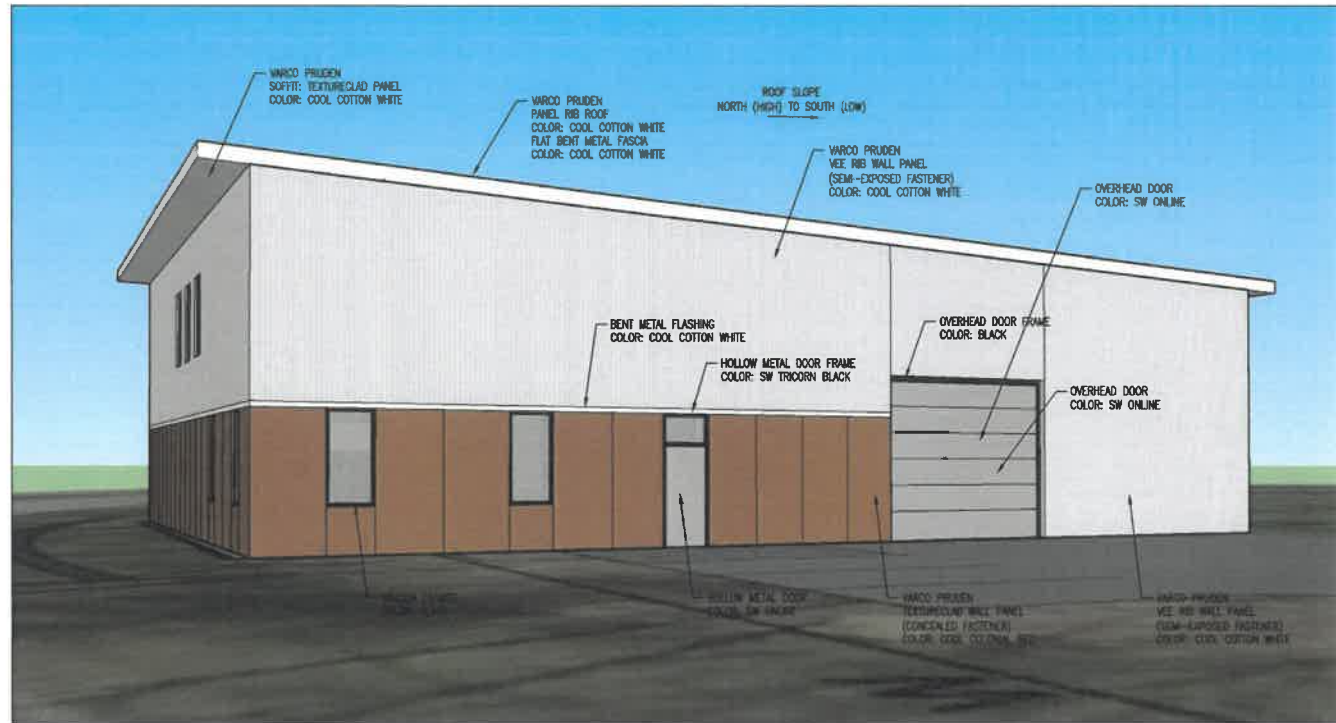
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Sheet C500



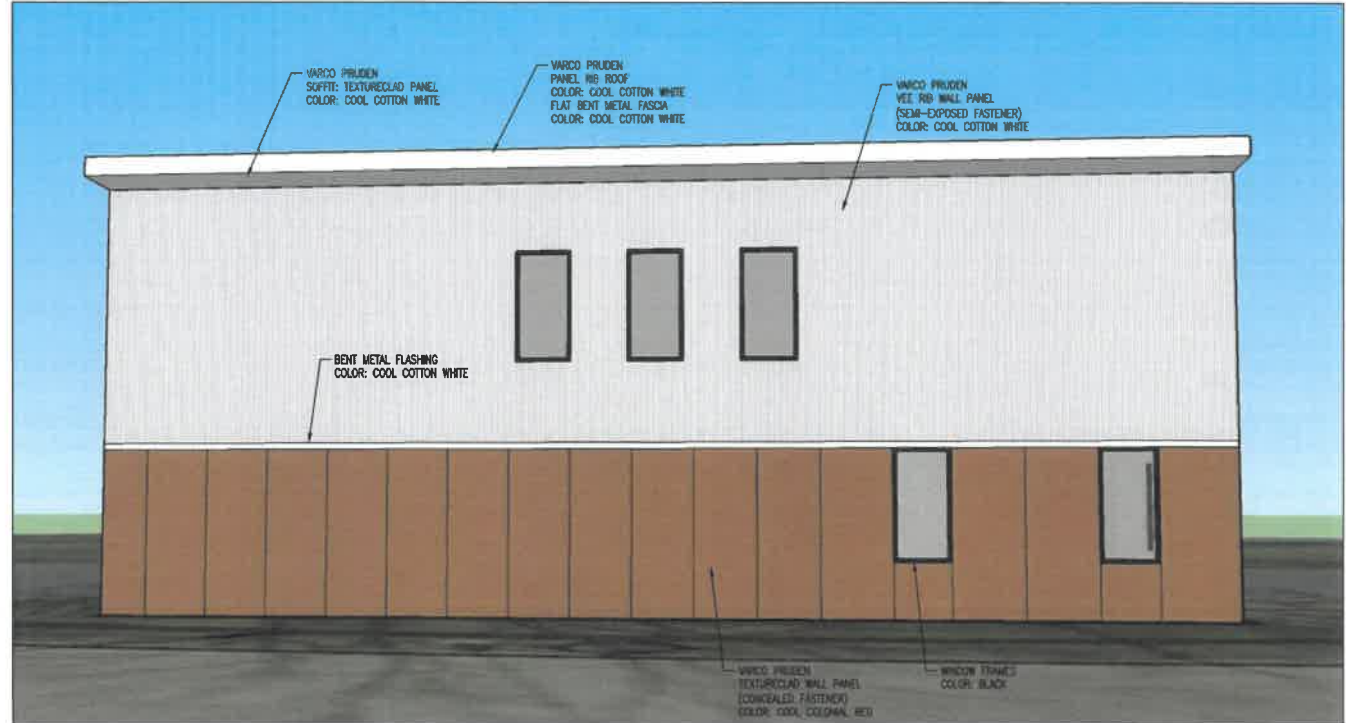
4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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STUDIO MELEE
139 FORTH STREET
WEST DES MOINES, IOWA 50265

DCHS STORAGE BUILDING
DOWLING CATHOLIC HIGH SCHOOL
1400 BUFFALO ROAD
WEST DES MOINES, IA 50265

PRINT DATE:
MARCH 31, 2022
SHEET NAME:
EXTERIOR ELEVATIONS

PRELIMINARY NOT FOR CONSTRUCTION

ELEV

**A RESOLUTION OF THE PLAN AND ZONING COMMISSION
NO. PZC-22-053**

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Dowling College, a/k/a Dowling Catholic High School, an Iowa non-profit corporation, request approval of the Major Modification to a Site Plan for the approximately 63.1-acre property located at 1400 Buffalo Road. The applicant proposes to construct a new 4,800 sq ft. bus facility with three bus bays, interior storage areas and an office.

WHEREAS, the Dowling Catholic High School Bus Facility Major Modification to a Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Plan and Zoning Commission of the City of West Des Moines recommends the City Council approve the Major Modification to Site Plan (MaM-005532-2022), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on June 13, 2022.

Jennifer Drake, Chair
Plan and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on June 13, 2022, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary