

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: August 8, 2022

ITEM: Grace Creek Senior Apartments, 8710 Ashworth Road – Approve Site Plan to allow construction of a senior apartment building with 34 dwelling units – Tim Mauro, Curly Top, LLC dba CT Development – SP-005629-2022

Resolution: Approval of Site Plan

Background: Tim Mauro, with Curly Top, LLC dba CT Development, applicant and owner, requests approval of the Site Plan for the approximately 2.10-acre property located at 8710 Ashworth Road. The applicant proposes to construct a 3-story senior living apartment building with 34 dwelling units.

Staff Review & Comment:

- **Financial Impact:** No City funding of the project. Staff time for processing of development application and inspections during construction.
- **History:** To facilitate the construction of the senior living apartment building, City Council approved a Comprehensive Plan Amendment as well as approved a rezoning request to adopt the Ashworth 88 PUD and assign Residential High Density (RH-18) zoning for the property on August 1, 2022.
- **Key Development Aspects:**
 1. **Buffers:** Per the PUD, a minimum 30' wide buffer may be required between this parcel and the parcel to the south at the time of development of the south parcel to mitigate activity and/or operations of uses implemented and negative elements typical of commercial development. This buffer will be the obligation of the south parcel. Also, per the PUD, no buffer shall be required between this parcel and the office parcel to the east.
 2. **Streetscape Plantings:** Per the PUD, a minimum 15' streetscape shall be required along Ashworth Road, along the private north/south street through the PUD development, and along any east/west private street that is installed through the site (if it is a defined roadway without parking). Streetscape vegetation along both sides of the private north/south street through the PUD development shall be installed at the time of construction of the street. Furthermore, no trees are to be planted in the public right-of-way, those trees are to be distributed within the 15' streetscape area along Ashworth Road to provide for the required streetscape plantings.
 3. **Ingress/Egress Easement:** The development of the parcel will trigger an ingress/egress easement to allow public access to the property to the south and to the property to the east. The executed easement must be provided to the City prior to City Council consideration of the Site Plan.
 4. **Building Design:** The proposed building is a three-story multi-family senior living apartment building which will be clad primarily with brick using a two-tone light and dark color scheme and utilizing an alternate installation pattern in some areas to providing visual interest. Secondary materials for the building will include Hardie fiber cement vertical board and batten siding in the light color tone and metal trim and soffits compatible in color with the brick and siding materials. Metal canopies are provided over

all entry doors to highlight the entry areas. 360-degree architectural design is used providing the same level of detail and material application on all sides of the structure. Ground mounted mechanical units and meter banks will be screened with landscaping to limit visual clutter.

5. Enhanced Outdoor Living Space: In lieu of outdoor living area for individual units, an enhanced outdoor living space near the southeast corner of the building has been provided and shall be defined as part of the site plan approval.
 6. Parking Deferral: Per City Code, a minimum of 63 parking stalls are required for the active senior apartments (treated the same as a non-age restricted market rate apartment development). The applicant is requesting that the installation of 11 parking spaces be deferred until such time that the parking stalls are needed. Staff supports the deferral of installation of such parking as it is believed that the minimum required per code may be more than is needed. The applicant has demonstrated that the additional parking required to comply with city code minimums can be provided on-site should it be deemed necessary.
- Traffic Impact Study Findings: A traffic study for this development was completed in July 2022. Key findings summarized below:
 - The planned roadway geometry and traffic control on the public streets are expected to have adequate capacity to accommodate the proposed development. The July 2022 study gives more details on the geometry, along with recommended triggers for future improvements. For example, the site's planned west access on Ashworth Road is ultimately expected to be modified to a right-in/right-out.
 - Due to the future raised medians on the surrounding streets, a good internal street system will be critical to ensure that the proposed site as well as future neighboring developments have sufficient access. The site is planned to have internal connections so that it is setup for future development of neighboring properties.
 - Comments regarding internal circulation have been given to the applicant to incorporate into the plan.
 - Developer Responsibilities: In conjunction with site development or platting of the lots, whichever occurs first, the developer will be responsible for construction and/or installation of all required public and private infrastructure improvements necessary to support development. The following items are known improvements and outlined in the PUD; additional improvements may be required in response to development proposals:
 - Parkland Dedication: The developer has indicated they will be proceeding with providing land and recreational improvements on-site to meet their parkland dedication requirements. This will be considered an alternate plan requiring approval by the Parks and Recreation Advisory Board, scheduled to occur on August 18th, 2022. This agreement will be presented for approval and acceptance to the City Council after approval by the Parks and Recreation Advisory Board.
 - Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original

entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: August 8, 2022

Vote:

Recommendation:

Recommendation: Approve the Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The applicant shall provide an executed copy of the Parkland Dedication Agreement to the City prior to issuance of any building permit.
2. The applicant providing Iowa DNR General Permit No. 2 authorization and a complete Stormwater Pollution Prevention Plan (SWPPP) prior to City Council approval.
3. The applicant shall provide the executed ingress/egress access easement to the City prior to City Council consideration of the Site Plan.
4. Prior to issuance of any building permits for above ground construction, appropriate emergency vehicle access and water service to the satisfaction of the City Fire Marshal shall be provided.
5. The City Council approving the deferral of the installation of 11 parking spaces until such time that the parking stalls are needed.

Lead Staff Member: Jenna Gilliam / Brian Portz

Approval Meeting Dates:

Planning and Zoning Commission	August 8, 2022
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	6/6/22
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



A RESOLUTION OF THE PLANNING AND ZONING COMMISSION
NO. PZC-22-075

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, Tim Mauro, with Curly Top, LLC dba CT Development, applicant and property owner, requests approval of the Site Plan for the approximately 2.10-acre property located at 8710 Ashworth Road as depicted on the location map included in the staff report. The applicant requests approval to construct a senior apartment building with 34 dwelling units, and associated site improvements; and

WHEREAS, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-005629-2022), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on August 8, 2022.

Andrew Conlin, Vice Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on August 8, 2022, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary

SYMBOL LEGEND

REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION

KEY NOTES

- REMOVAL LIMIT FOR DRIVEWAY APPROACH ON ASHWORTH ROAD NEEDS TO BE 1.5 FT FROM THE BACK OF CURB AND TO THE NEAREST TRANSVERSE JOINT AT THE END OF RETURNS. COMPLY WITH WDM STANDARD DETAIL 7.18.
- REMOVE AND DISPOSE OF EXISTING TREE/VEGETATION.
- DEMOLISH EXISTING STRUCTURE. MAY REQUIRE SEPARATE PERMIT.
- CONTRACTOR TO ABANDON EXISTING WELL. COORDINATE WITH DALLAS COUNTY ENVIRONMENTAL HEALTH (515-993-5803) PRIOR TO ABANDONMENT.

CITY STANDARD NOTES

- All construction within public R.O.W./Easements, and/or any connection to public sewers and streets, shall comply with the West Des Moines Standard Construction Specifications for Subdivisions, DSM Metro Design Standards and WDM Addendums.
- At least one week prior to any construction within public R.O.W./easement and/or any connection to public sewer and streets, the Contractor shall contact the WDM Engineering Services (515-222-3475) to schedule any required inspections. Note: City approval of this plan is subject to the Applicant obtaining all necessary easements/agreements and applicable permits.
- If additional pavement removal is required other than a standard box out, full panel removal will be required. No half panel removal will be allowed.
- Coordinate staging and traffic control with WDM Emergency Services.
- Lane closure notices must be submitted to West Des Moines Public Services for approval a minimum of 48 hours in advance of closure.
- All connections to public sewers shall be core drilled.

DEMOLITION NOTES

- Verify all existing utility locations.
- It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
- Prior to beginning work, contact Iowa One Call (800-292-8989) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
- Sawcut along edges of pavements, sidewalks, and curbs to remain.
- All construction shall be performed in accordance with state and local standard specifications for construction.
- All construction materials, dumpsters, detached trailers, or similar items are prohibited on public streets or within the public right-of-way.

CITY WEST DES MOINES
R-O-W ACQUISITION PLAT
BOOK 2017 PG 22292

CITY WEST DES MOINES
PUBLIC SANITARY SEWER EASEMENT
PER BOOK 773 PG 556

CITY WEST DES MOINES
STORM SEWER AND PUBLIC UTILITY EASEMENT
PER BOOK 2017 PG 22294

CITY WEST DES MOINES
PUBLIC SANITARY SEWER EASEMENT
PER BOOK 773 PG 551

PT N1/2 NW1/4
SEC 11-78-26

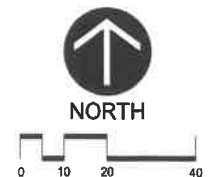
ASHWORTH ROAD
(PUBLIC)

HOUSE

GARAGE

CURVE	ARC	CHORD BEARING	RADIUS	DELTA	CHORD	TANGENT
C1	80.77'	N48°38'56"E	1015.00'	4°33'34"	80.75'	40.41'
C2	263.43'	N55°08'05"E	895.00'	1°51'51"	262.48'	132.58'

SURVEY
91619 SQ FT
(2.10 ACRES)



PRELIMINARY - NOT FOR CONSTRUCTION

THESE DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL BE KEPT IN THE OFFICE OF THE ENGINEER. THEY HAVE BEEN PREPARED EXCLUSIVELY FOR THE PROJECT AND SITE SPECIFICALLY DESCRIBED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECTS OR IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. REPRODUCTION IS PROHIBITED.



STUDIO MELEE
139 FOURTH STREET
WEST DES MOINES, IOWA 50265

GRACE CREEK SENIOR APARTMENTS
8710 ASHWORTH ROAD
WEST DES MOINES, IOWA 50266

PRINT DATE: 2022
SHEET NAME:
EX. CONDITIONS & DEMO PLAN

C1.0

SYMBOL LEGEND

-  NEW 6" CONCRETE PAVEMENT OVER NEW 6" BASE AGGREGATE SEE DETAIL 1/C3.0
-  NEW 5" CONCRETE PAVEMENT OVER NEW 6" BASE AGGREGATE SEE DETAIL 2/C5.0

WHERE APPLICABLE, DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB OR BACK OF CURB TO END OF STALL LINE.

PAVING NOTES

1. Reports certified by a third-party recognized testing agency, acceptable to the City, shall be submitted to document the thickness and strength of the pavement, the sub-grade compaction, compliance with the Metro Design Standards for streets, and the standards listed in the West Des Moines "Off Street Parking Ordinance" for private streets, parking lots, and driveways.
2. On-site inspection shall be coordinated with the City Building Division (515) 222-3620, prior to the placement of any concrete ramps.
3. Signing, pavement markings, and other traffic control devices on the driveway approaches to the adjacent public streets shall be in conformance with the Manual on Uniform Traffic Control Devices (MUTCD, Federal Highway Administration)

CITY WEST DES MOINES
R-O-W ACQUISITION PLAT
BOOK 2017 PG 22292

CITY WEST DES MOINES
PUBLIC SANITARY SEWER EASEMENT
PER BOOK 773 PG 556

CITY WEST DES MOINES
STORM SEWER AND PUBLIC UTILITY EASEMENT
PER BOOK 2017 PG 22294

CITY WEST DES MOINES
PUBLIC SANITARY SEWER EASEMENT
PER BOOK 773 PG 551

8929 ASHWORTH RD
ASHWORTH COMMERCIAL, LLC

PT N1/2 NW1/4
SEC 11-78-26

8630 ASHWORTH RD
MJM REAL ESTATE DEVELOPMENT, LLC

ASHWORTH ROAD
(PUBLIC)

GRACE CREEK SENIOR APARTMENTS (34-UNIT)
APARTMENT BUILDING (3-STORY)

THIS DOCUMENT IS THE PROPERTY OF AEGLE, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF AEGLE, LLC, REPRODUCTION IS PROHIBITED.

STUDIO MELEE
139 FOURTH STREET
WEST DES MOINES, IOWA 50265

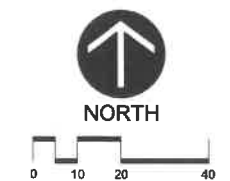
GRACE CREEK SENIOR APARTMENTS
8710 ASHWORTH ROAD
WEST DES MOINES, IOWA 50266

PRINT DATE: 2022
SHEET NAME: PAVING PLAN

C2.0

CURVE	ARC	CHORD BEARING	RADIUS	DELTA	CHORD	TANGENT
C1	80.77'	N48°58'56"E	1015.00'	4°33'34"	80.75'	40.41'
C2	263.43'	N55°08'05"E	895.00'	16°51'51"	262.48'	132.68'

SURVEY
91619 SQ FT
(2.10 ACRES)



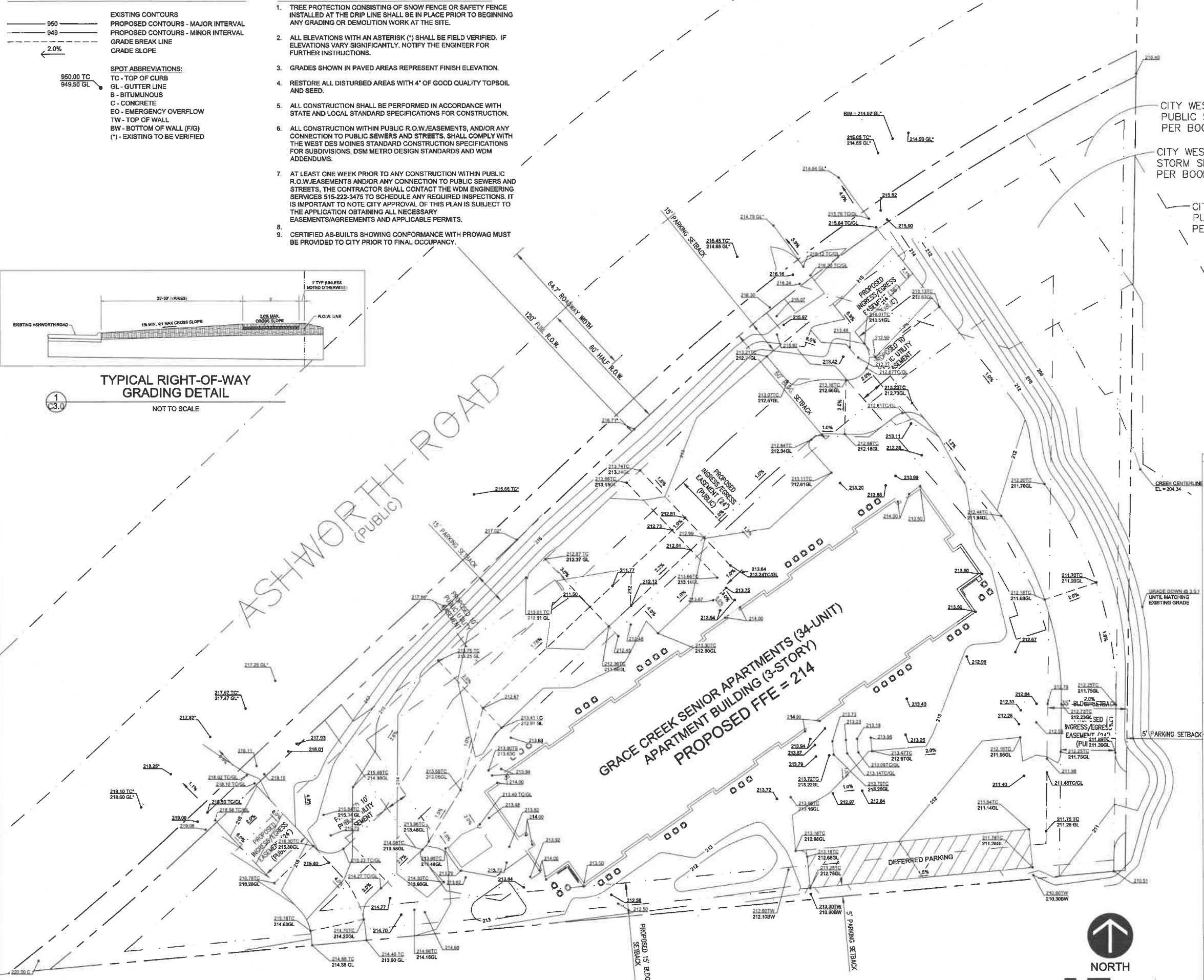
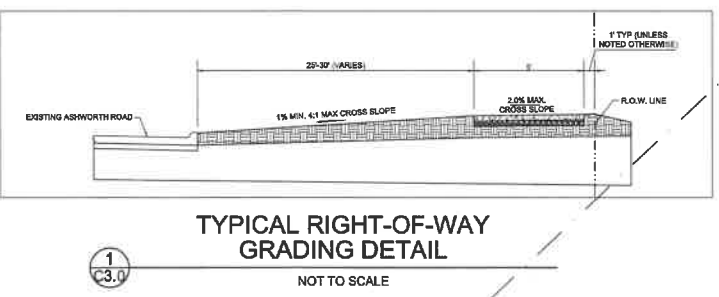
PRELIMINARY - NOT FOR CONSTRUCTION

SYMBOL LEGEND

- 950 — EXISTING CONTOURS
 - 949 — PROPOSED CONTOURS - MAJOR INTERVAL
 - 949 — PROPOSED CONTOURS - MINOR INTERVAL
 - - - - - GRADE BREAK LINE
 - 2.0% GRADE SLOPE
- SPOT ABBREVIATIONS:**
- TC - TOP OF CURB
 - GL - GUTTER LINE
 - B - BITUMINOUS
 - C - CONCRETE
 - EO - EMERGENCY OVERFLOW
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL (F/G)
 - (*) - EXISTING TO BE VERIFIED

GRADING NOTES

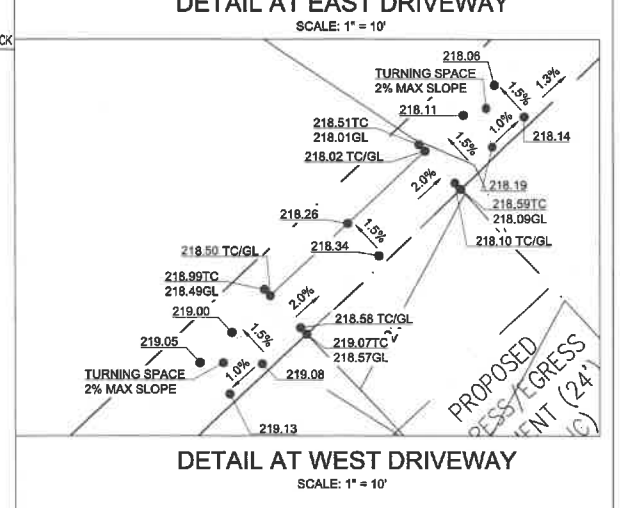
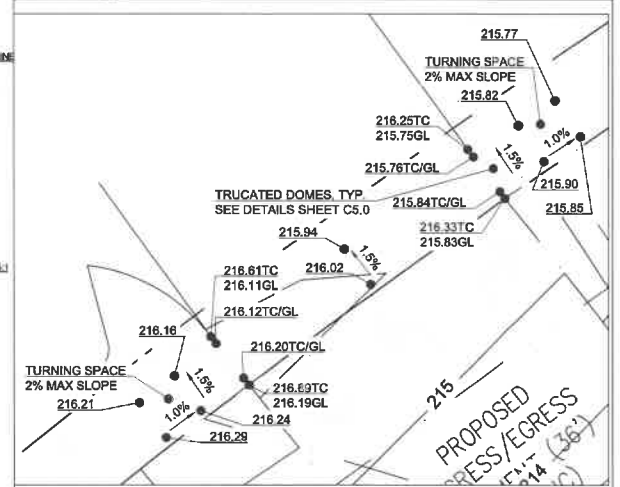
1. TREE PROTECTION CONSISTING OF SNOW FENCE OR SAFETY FENCE INSTALLED AT THE DRIP LINE SHALL BE IN PLACE PRIOR TO BEGINNING ANY GRADING OR DEMOLITION WORK AT THE SITE.
2. ALL ELEVATIONS WITH AN ASTERISK (*) SHALL BE FIELD VERIFIED. IF ELEVATIONS VARY SIGNIFICANTLY, NOTIFY THE ENGINEER FOR FURTHER INSTRUCTIONS.
3. GRADES SHOWN IN PAVED AREAS REPRESENT FINISH ELEVATION.
4. RESTORE ALL DISTURBED AREAS WITH 4" OF GOOD QUALITY TOPSOIL AND SEED.
5. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
7. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 515-222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICATION OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
8. CERTIFIED AS-BUILTS SHOWING CONFORMANCE WITH PROWAG MUST BE PROVIDED TO CITY PRIOR TO FINAL OCCUPANCY.



CITY WEST DES MOINES
PUBLIC SANITARY SEWER EASEMENT
PER BOOK 773 PG 556

CITY WEST DES MOINES
STORM SEWER AND PUBLIC UTILITY EASEMENT
PER BOOK 2017 PG 22294

CITY WEST DES MOINES
PUBLIC SANITARY SEWER EASEMENT
PER BOOK 773 PG 551



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PRELIMINARY - NOT FOR CONSTRUCTION

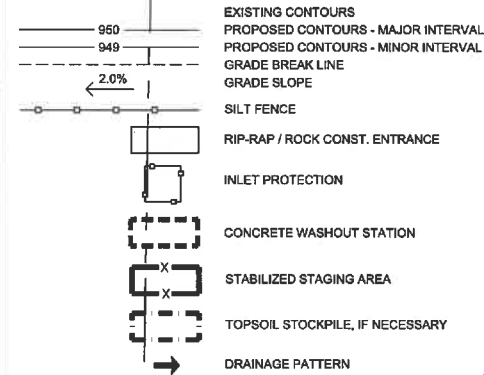
PRINT DATE: 2022
 SHEET NAME: GRADING PLAN
 04 AUGUST 2022
 STUDIO MELEE
 139 FOURTH STREET
 WEST DES MOINES, IOWA 50265
 GRACE CREEK SENIOR APARTMENTS
 8710 ASHWORTH ROAD
 WEST DES MOINES, IOWA 50266
 C3.0

EROSION CONTROL NOTES

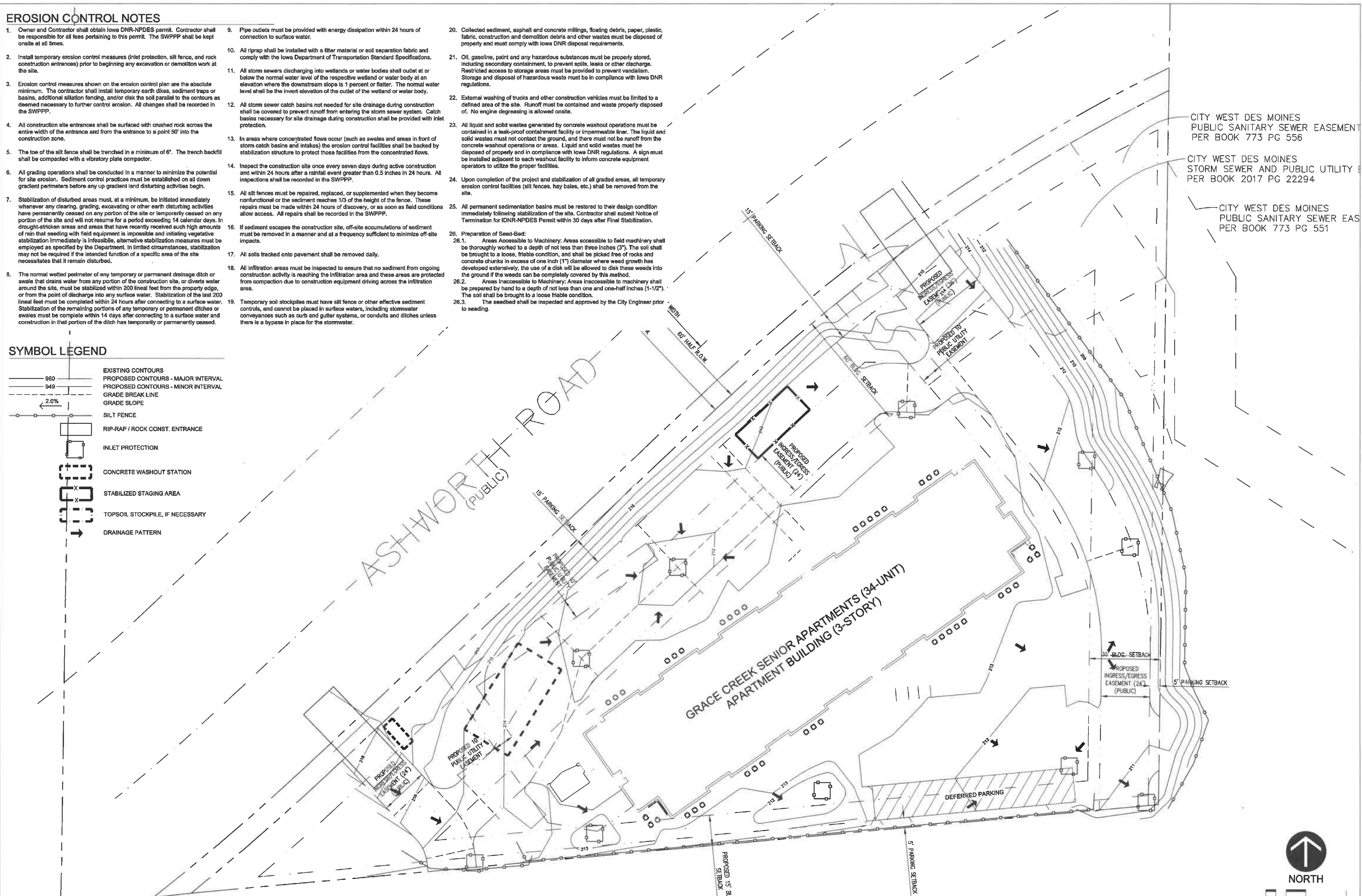
- Owner and Contractor shall obtain Iowa DNR-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
- Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
- All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
- The toe of the silt fence shall be trrenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
- All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
- Stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavating or other earth disturbing activities have permanently ceased on any portion of the site or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days. In drought-stricken areas and areas that have recently received such high amounts of rain that seeding with field equipment is impossible and initiating vegetative stabilization immediately is infeasible, alternative stabilization measures must be employed as specified by the Department. In limited circumstances, stabilization may not be required if the intended function of a specific area of the site necessitates that it remain disturbed.
- The normal wetland perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
- Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
- All riprap shall be installed with a filter material or soil separation fabric and comply with the Iowa Department of Transportation Standard Specifications.
- All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
- All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
- In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
- Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
- All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
- If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All soils tracked onto pavement shall be removed daily.
- All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
- Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.

- Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with Iowa DNR disposal requirements.
- Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with Iowa DNR regulations.
- External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
- All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with Iowa DNR regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
- Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
- All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site. Contractor shall submit Notice of Termination for IDNR-NPDES Permit within 30 days after Final Stabilization.
- Preparation of Seed-Bed:
 - Areas Accessible to Machinery: Areas accessible to field machinery shall be thoroughly worked to a depth of not less than three inches (3"). The soil shall be brought to a loose, friable condition, and shall be picked free of rocks and concrete chunks in excess of one inch (1") diameter where weed growth has developed extensively, the use of a disk will be allowed to disk these weeds into the ground if the weeds can be completely covered by this method.
 - Areas Inaccessible to Machinery: Areas inaccessible to machinery shall be prepared by hand to a depth of not less than one and one-half inches (1-1/2"). The soil shall be brought to a loose friable condition.
 - The seedbed shall be inspected and approved by the City Engineer prior to seeding.

SYMBOL LEGEND



CURVE	ARC	CHORD BEARING	RADIUS	DELTA	CHORD	TANGENT
C1	80.77'	N48°58'56" E	1015.00'	4°33'34"	80.75'	40.41'
C2	263.43'	N55°08'05" E	895.00'	16°51'51"	262.48'	132.88'



CITY WEST DES MOINES
PUBLIC SANITARY SEWER EASEMENT
PER BOOK 773 PG 556

CITY WEST DES MOINES
STORM SEWER AND PUBLIC UTILITY
PER BOOK 2017 PG 22294

CITY WEST DES MOINES
PUBLIC SANITARY SEWER EAS
PER BOOK 773 PG 551



PRELIMINARY - NOT FOR CONSTRUCTION

THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL BE KEPT ON FILE BY THE ENGINEER AND THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE DOCUMENTS.

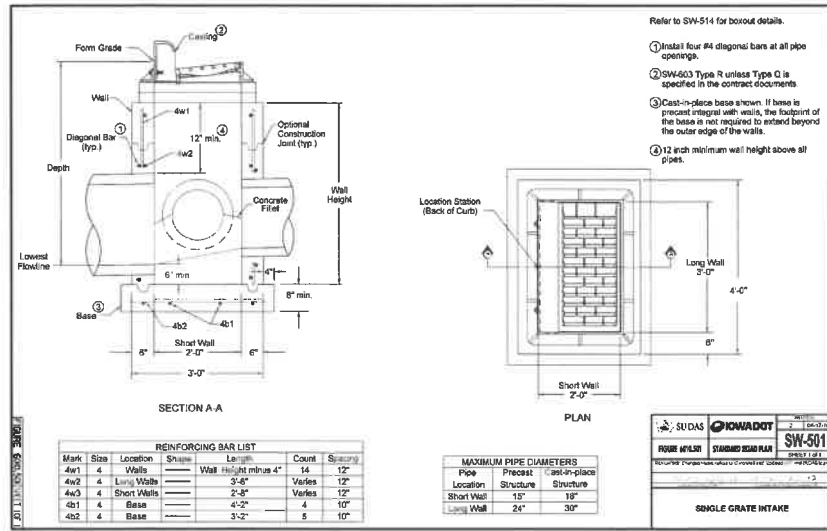
STUDIO MELEE
139 FOURTH STREET
WEST DES MOINES, IOWA 50265

GRACE CREEK
8710 ASHWORTH ROAD
WEST DES MOINES, IOWA 50266

SENIOR APARTMENTS

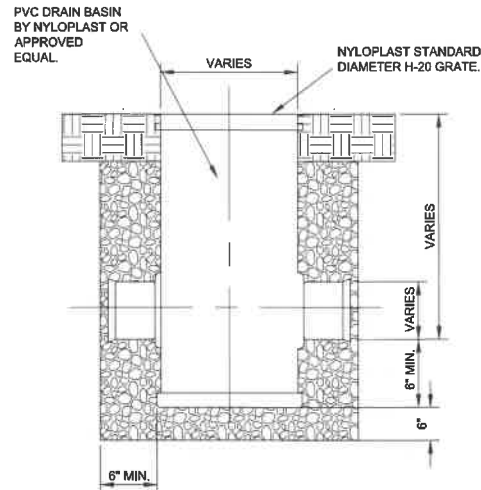
PRINT DATE: 2022
AUGUST
SHEET NAME:
EROSION CONTROL PLAN

C3.1



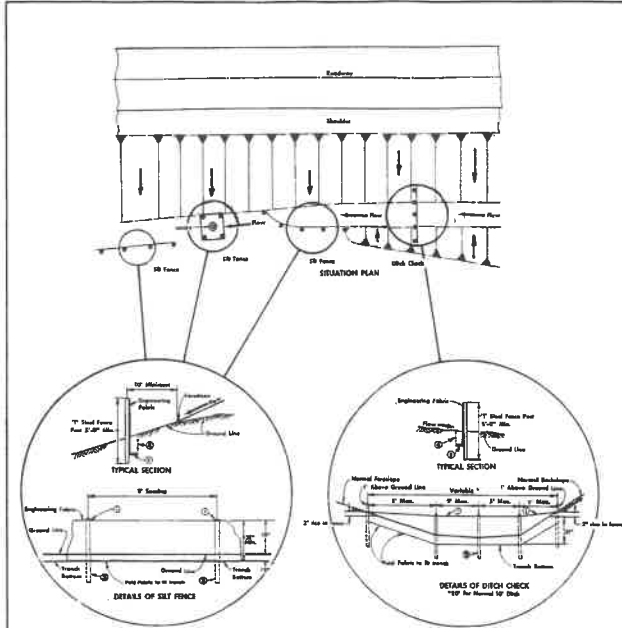
SW-501 SINGLE GRATE INTAKE DETAIL

1
C5.1
NOT TO SCALE



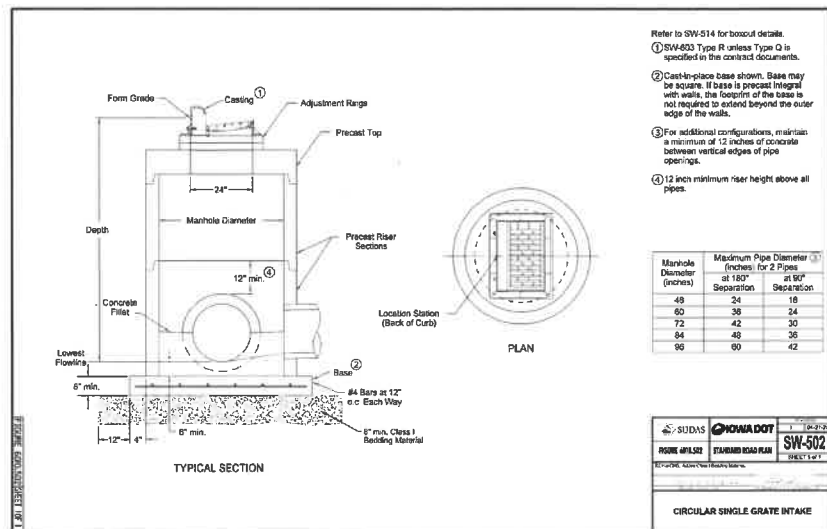
DRAIN BASIN DETAIL

4
C5.1
NOT TO SCALE



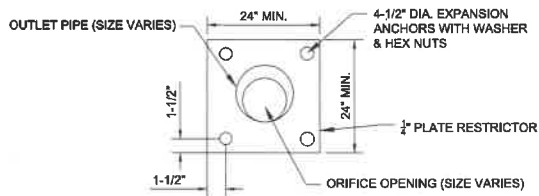
SILT FENCE DETAILS

8
C5.1
NOT TO SCALE



SW-502 CIRCULAR SINGLE GRATE INTAKE DETAIL

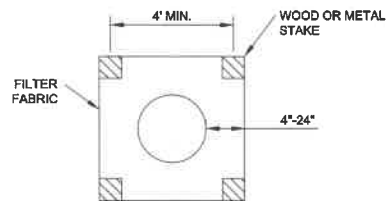
2
C5.1
NOT TO SCALE



ORIFICE PLATE DETAIL

5
C5.1
NOT TO SCALE

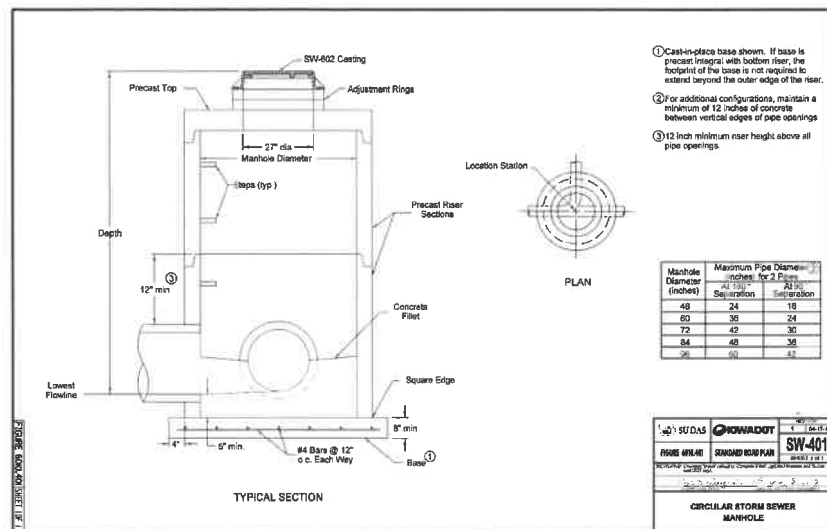
NOTE: FOR EXISTING CATCH BASINS IN PAVEMENT AREAS, SAND BAGS, AGGREGATE WRAPPED IN FILTER FABRIC, OR SEDIMENT TRAPS SHOULD BE USED.



SILT FENCE INLET SEDIMENT FILTER

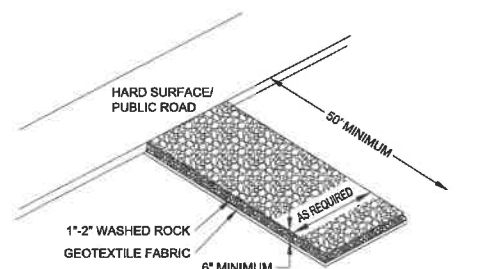
6
C5.1
NOT TO SCALE

MAXIMUM DISTANCE BETWEEN POSTS IS 2'. BOTTOM OF FENCE IS BURIED IN TRENCH, SIMILAR TO NORMAL SILT FENCE INSTALLATION.



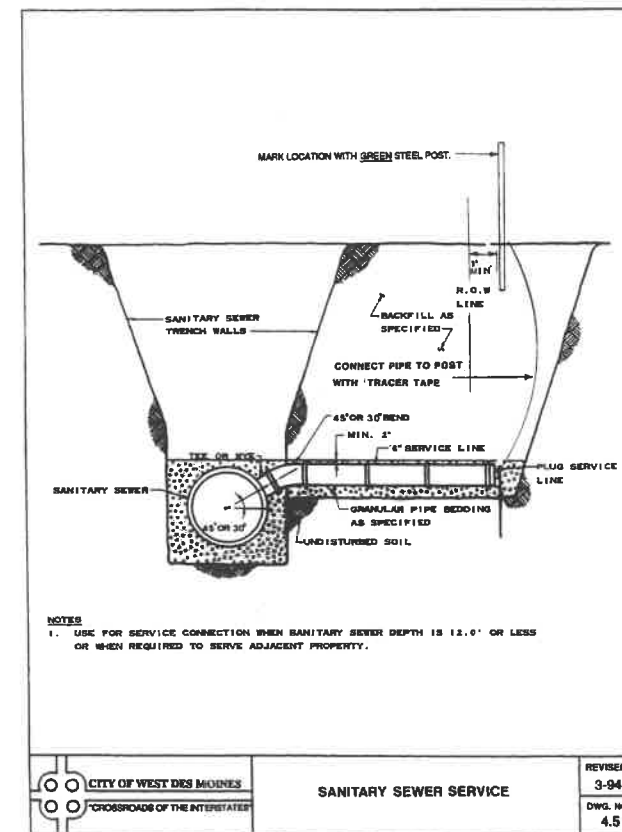
SW-401 CIRCULAR STORM SEWER MANHOLE DETAIL

3
C5.1
NOT TO SCALE



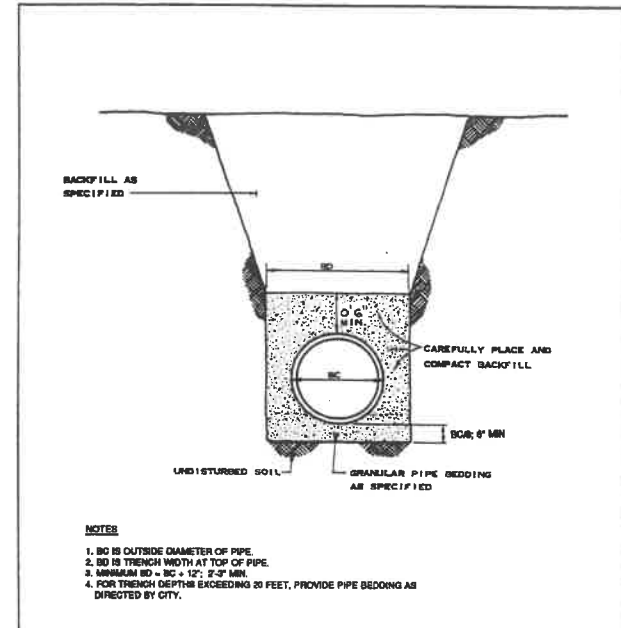
ROCK CONSTRUCTION ENTRANCE

7
C5.1
NOT TO SCALE



SANITARY SEWER SERVICE DETAIL

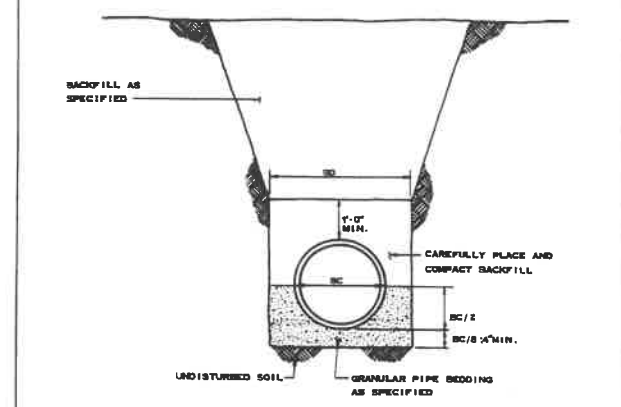
9
C5.1
NOT TO SCALE



FLEXIBLE SEWER PIPE BEDDING

CITY OF WEST DES MOINES
CROSSROADS OF THE INTERSTATE

REVISIONS: 3-84
DWG. NO. 4.1



RIGID SEWER PIPE BEDDING

CITY OF WEST DES MOINES
CROSSROADS OF THE INTERSTATE

REVISIONS: 3-84
DWG. NO. 4.2

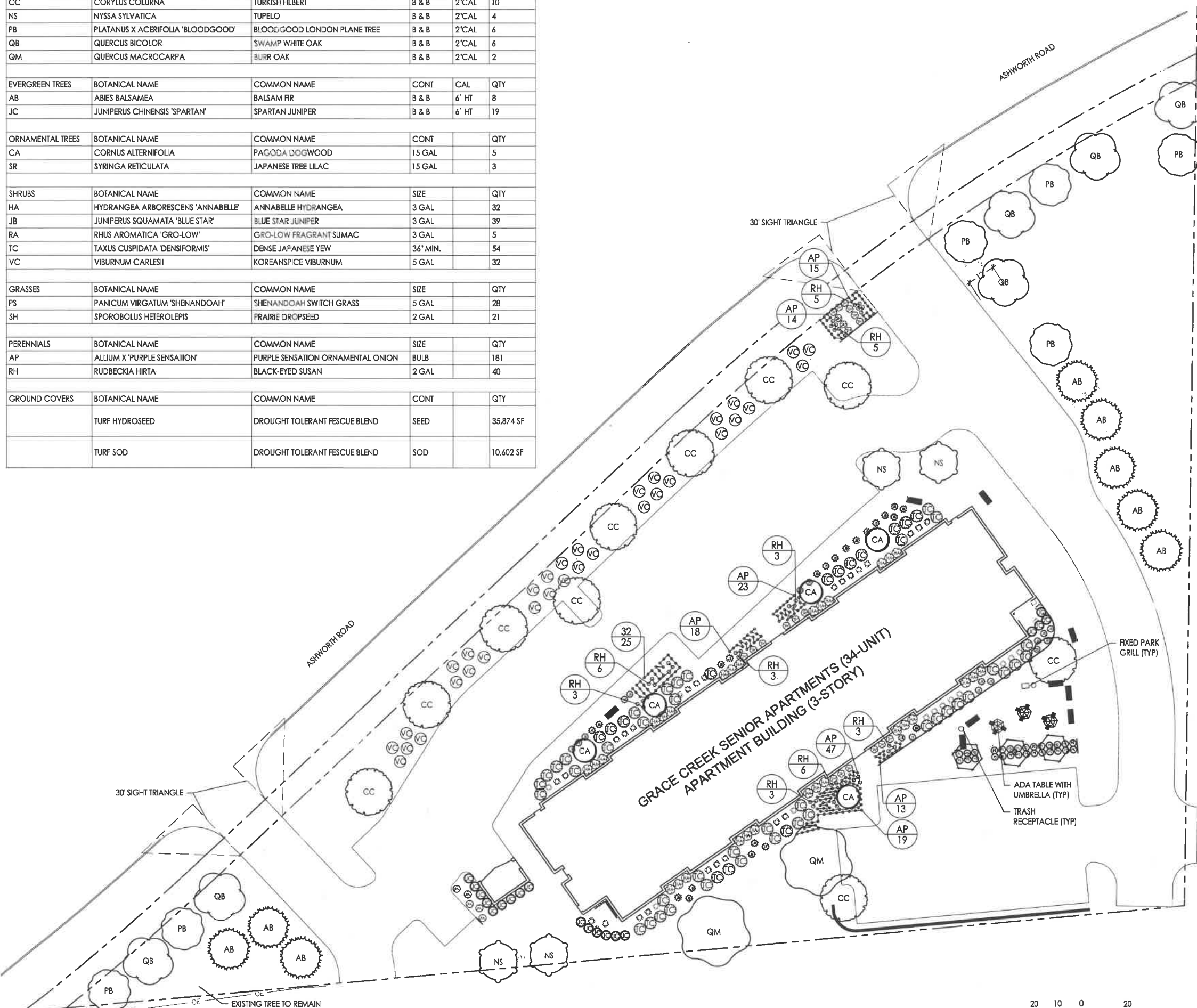


SEWER BEDDING DETAILS

10
C5.1
NOT TO SCALE

PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	QTY
CC	CORYLUS COLURNA	TURKISH FILBERT	B & B	2" CAL	10
NS	NYSSA SYLVATICA	TUPELO	B & B	2" CAL	4
PB	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANE TREE	B & B	2" CAL	6
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2" CAL	6
QM	QUERCUS MACROCARPA	BURR OAK	B & B	2" CAL	2
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	QTY
AB	ABIES BALSAMEA	BALSAM FIR	B & B	6' HT	8
JC	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	B & B	6' HT	19
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	CONT		QTY
CA	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	15 GAL		5
SR	SYRINGA RETICULATA	JAPANESE TREE LILAC	15 GAL		3
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE		QTY
HA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	3 GAL		32
JB	JUNIPERUS SQUMAMATA 'BLUE STAR'	BLUE STAR JUNIPER	3 GAL		39
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3 GAL		5
TC	TAXUS CUSPIDATA 'DENSIFORMIS'	DENSE JAPANESE YEW	3/4" MIN.		54
VC	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	5 GAL		32
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE		QTY
PS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	5 GAL		28
SH	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	2 GAL		21
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE		QTY
AP	ALLIUM X 'PURPLE SENSATION'	PURPLE SENSATION ORNAMENTAL ONION	BULB		181
RH	RUDBECKIA HIRTA	BLACK-EYED SUSAN	2 GAL		40
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT		QTY
	TURF HYDROSEED	DROUGHT TOLERANT FESCUE BLEND	SEED		35,874 SF
	TURF SOD	DROUGHT TOLERANT FESCUE BLEND	SOD		10,602 SF



LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS AND SECTIONS OF THE LOCAL JURISDICTION'S STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED.
- LOCATIONS OF ALL PERENNIALS, GRASSES, AND INDIVIDUAL SHRUBS TO BE MARKED, STAKED, AND VERIFIED IN FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- CONTRACTOR SHALL COORDINATE DELIVERY SCHEDULE AND PLANT TREES UPON ARRIVAL PER IOWA SUDAS. ALL PLANTS OF THE SAME SPECIES SHALL BE OBTAINED FROM A SINGLE NURSERY SOURCE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF PLANT MATERIALS AND IMPROVEMENTS SHOWN.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SEED AND RESTORE ALL DISTURBED AREAS BACK TO ORIGINAL OR FINISH GRADE ELEVATIONS, INCLUDING EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.
- ALL EXISTING PLANTS SHOWN ON PLAN ARE IN APPROXIMATE LOCATIONS. ADJUST NEW PLANTING BED AND TREE LOCATIONS TO AVOID CONFLICT WITH EXISTING PLANTINGS. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT ON ANY NECESSARY ADJUSTMENTS.
- THE LANDSCAPE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT INJURY TO ALL PLANT MATERIAL DURING DIGGING, HANDLING, PLANTING AND MAINTENANCE OPERATIONS.
- ALL TREE AND SHRUB LANDSCAPE BEDS SHALL HAVE WEED-PREVENTION FABRIC INSTALLED. WEED PREVENTION FABRIC SHALL COVER THE ENTIRE LANDSCAPE BED.
- CANOPY TREES AND EVERGREEN TREES PLANTED IN A LAWN OR GRASS SETTING SHALL RECEIVE A MINIMUM OF 4" SHREDDED HARDWOOD MULCH UNLESS OTHERWISE SPECIFIED. MULCH AROUND TREES SHALL BE EXTENDED OUT AS FAR AS THE HOLE DUG FOR PLANTING AND SHALL BE PLACED IN SUCH A WAY AS TO FORM A BOWL AT THE BASE OF THE TRUNK ALLOWING WATER TO COLLECT MORE EFFECTIVELY.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ANY TREES THAT HAVE BECOME TILTED WITHIN ONE YEAR FROM DATE OF INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF IDENTIFICATION TAGS, CONTAINERS, AND BURLAP ON ALL PLANT MATERIAL PRIOR TO COMPLETION OF THE CONTRACT.
- THE PROPOSED LANDSCAPING SHALL BE MAINTAINED UNTIL SUBSTANTIAL COMPLETION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF PLANT MATERIALS AND IMPROVEMENTS SHOWN. ACTUAL QUANTITIES AND MEASUREMENTS ON DRAWINGS TAKE PRECEDENT OVER TABLE QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.

LANDSCAPE AND SCREENING REQUIREMENTS
ZONING = RH - RESIDENTIAL HIGH-DENSITY DISTRICT

OFF STREET PARKING SCREENING REQUIREMENTS:
PARKING LOT IS 3' BELOW ROAD, MEETING 3' MINIMUM SCREENING REQUIREMENT FOR HEADLIGHTS

LANDSCAPE ISLANDS:
REQUIRED = 1 (1 TREE PER ISLAND x 2 ISLANDS)
PROVIDED = 1 (1 TREE PER ISLAND x 2 ISLANDS)

OPEN SPACE REQUIREMENTS
TOTAL SIZE OF PROJECT AREA = 98,048 SQUARE FEET
TOTAL OPEN SPACE REQUIRED = 24,512 SQUARE FEET (25% OF TOTAL PROJECT AREA)
TOTAL NUMBER OF TREES REQUIRED = 18 (2 / 3,000 SF OF REQ. OPEN SPACE)
TOTAL NUMBER OF EVERGREEN TREES REQUIRED = 7 (35% OF TOTAL REQ. TREES)
TOTAL NUMBER OF SHRUBS REQUIRED = 27 (3 / 3,000 SF OF REQ. OPEN SPACE)

TOTAL OPEN SPACE PROVIDED = 41,003 SQUARE FEET
TOTAL NUMBER OF TREES PROVIDED = 61
TOTAL NUMBER OF EVERGREEN TREES PROVIDED = 28
TOTAL NUMBER OF SHRUBS PROVIDED = 164

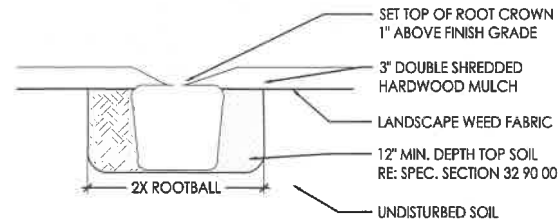
ASHWORTH 88 PUD ORDINANCE REQUIREMENTS
TOTAL LINEAL FEET OF STREETScape = 660 FEET
TREES REQUIRED = 19 (1 TREE FOR EVERY 35 LINEAL FEET OF STREETScape)
SHRUBS REQUIRED = 57 (3 SHRUBS FOR EVERY 35 LINEAL FEET OF STREETScape)

TREES PROVIDED = 19
SHRUBS PROVIDED = 65*
*33 SHRUBS COUNTED AS PERENNIAL PLANTING SUBSTITUTE (25 SQUARE FEET OF PERENNIAL PLANTING SUBSTITUTED FOR 3 SHRUBS)

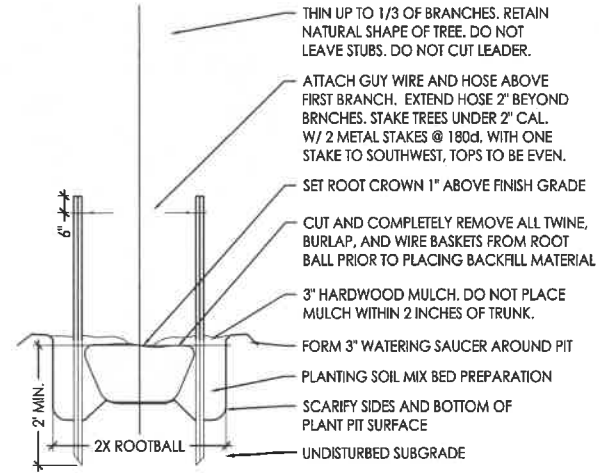
SCREENING REQUIREMENTS
GROUND MECHANICAL UNITS ON NW AND SE SIDES OF BUILDING - SCREENED WITH 3' HT. MINIMUM EVERGREEN SHRUBS
METERS AND MECHANICAL UNITS AT SW AND SE CORNERS OF BUILDING - SCREENED WITH 6' HT. MINIMUM EVERGREEN TREE
TRASH ENCLOSURE - SCREENED ON 2 SIDES WITH 6' HT. MINIMUM EVERGREEN TREE



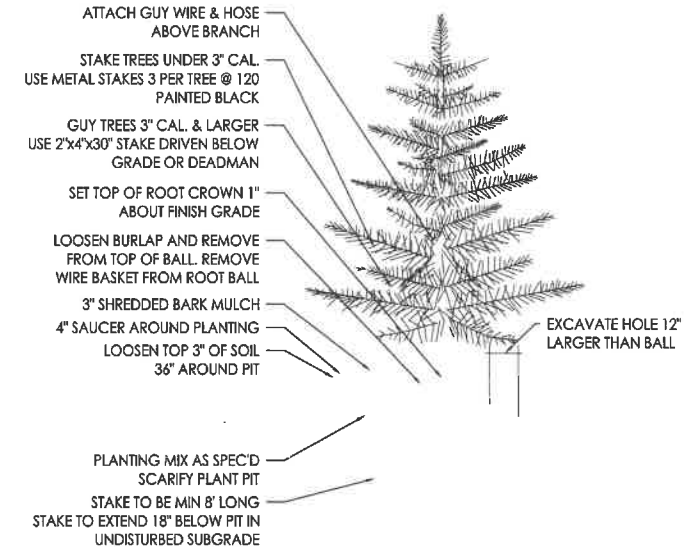
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 8710 ASHWORTH ROAD
 WEST DES MOINES, IOWA 50266
 PRINT DATE: 2022
 SHEET NAME: LANDSCAPE PLAN
 L100



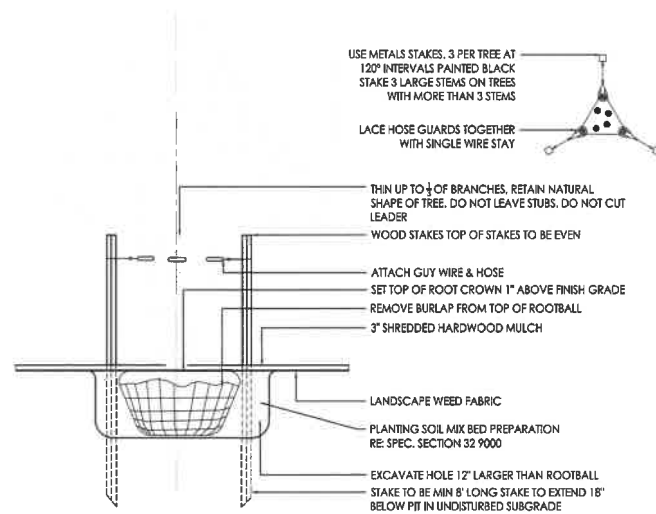
1 SHRUB PLANTING TYP.
N.T.S.



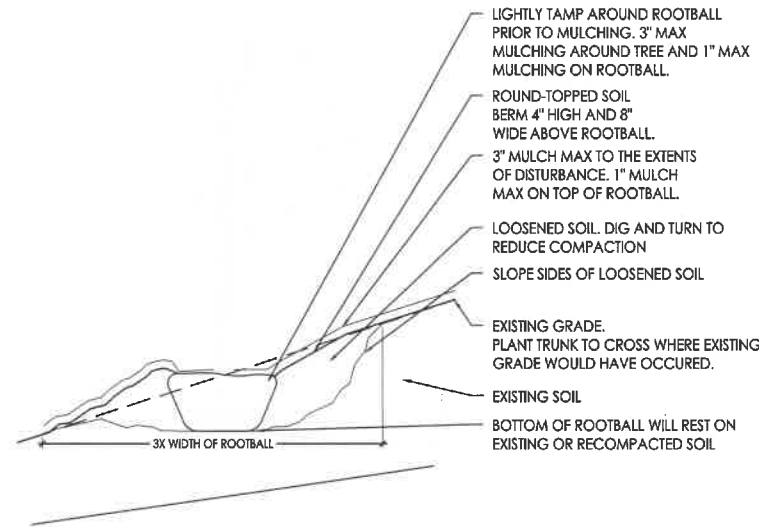
2 DECIDUOUS TREE PLANTING TYP.
N.T.S.



3 EVERGREEN TREE PLANTING TYP.
N.T.S.



4 MULTI-STEMMED TREE PLANTING TYP.
N.T.S.



5 TREE PLANTING ON SLOPE TYP.
N.T.S.

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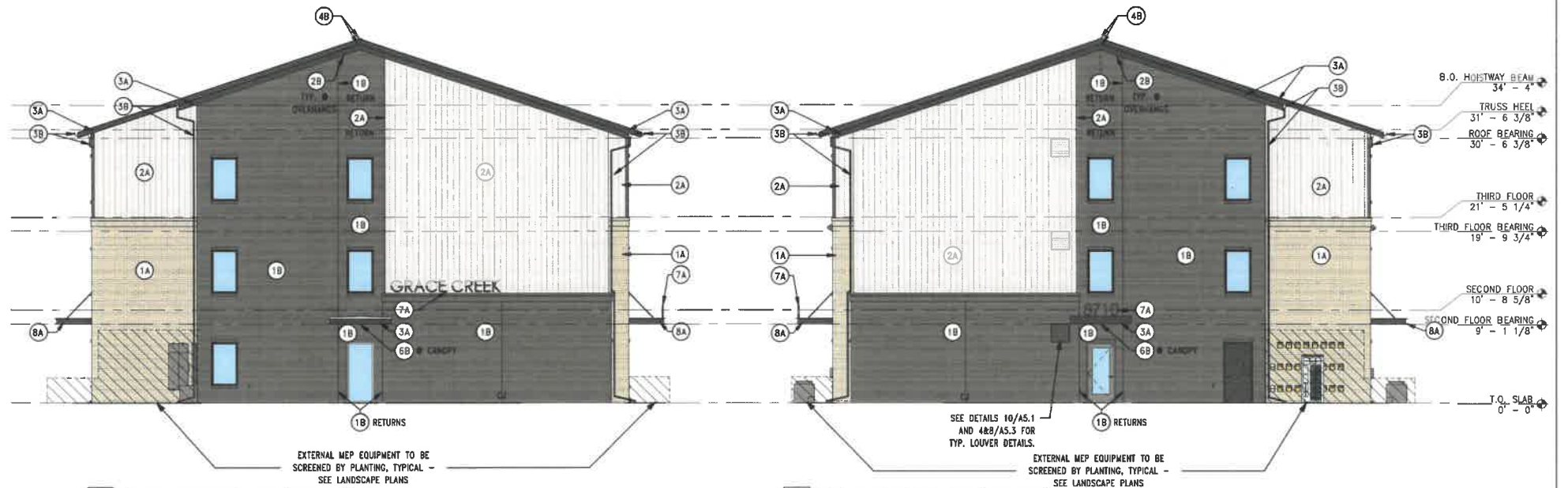
PRINT DATE: 2022
4 AUGUST
SHEET NAME:
LANDSCAPE DETAILS



1 BUILDING ELEVATION - NORTH (COLORED)
1/8" = 1'-0"

EXTERIOR ELEVATIONS - KEYED NOTES:

- 1A BRICK VENEER (LIGHT):**
PROVIDE & INSTALL 6" MODULAR BRICK. EXPANSION/CONSTRUCTION JOINTS AS INDICATED BY (CJ). PATTERN/Joint: RUNNING BOND, RAKED JOINT. MFG: GLEN-GERY (OR APPROVED EQUAL). COLOR: WHITE VELOUR.
- 1B BRICK VENEER (DARK):**
PROVIDE & INSTALL 6" MODULAR BRICK. EXPANSION/CONSTRUCTION JOINTS AS INDICATED BY (CJ). PATTERN/Joint: RUNNING BOND, RAKED JOINT. MFG: GLEN-GERY (OR APPROVED EQUAL). COLOR: CARBON BLACK VELOUR.
- 2A FIBER CEMENT BOARD & BATTEN SIDING:**
PROVIDE & INSTALL CONCEALED FASTENER FIBER CEMENT BOARD & BATTEN SIDING. MFG: JAMES HARDIE (OR APPROVED EQUAL). COLOR: PORCH WHITE.
- 2B FIBER CEMENT BOARD SOFFIT:**
PROVIDE & INSTALL CEMENT BOARD SOFFIT & ALL ASSOCIATED ACCESSORIES. SEE SPECIFICATION. MFG: JAMES HARDIE (OR APPROVED EQUAL). COLOR: PORCH WHITE.
- 3A FIBER CEMENT BOARD FASCIA:**
PROVIDE & INSTALL 3/4" PRE-FINISHED FIBER CEMENT TRIM BOARD FASCIA & ALL ASSOCIATED TRIMS AND ACCESSORIES. SEE SPECIFICATION. MFG: JAMES HARDIE (OR APPROVED EQUAL). COLOR: IRON GRAY.
- 3B METAL CUTTER & DOWNSPOUTS:**
PROVIDE & INSTALL PRE-FINISHED METAL CUTTERS W/ DOWNSPOUTS AND ALL ASSOCIATED ACCESSORIES. COLOR: CHARCOAL GRAY & STONE WHITE. KNOX FINISH. SEE ROOF PLANS AND SPECIFICATION. PROVIDE METAL DOWNSPOUT BOOTS AT ALL DOWNSPOUT DISCHARGE LOCATIONS AND ATTACH TO DRAINAGE TILE. SEE SITE PLANS & SPECIFICATION.
- 4A ASPHALT SHINGLES:**
PROVIDE & INSTALL ARCHITECTURAL ASPHALT SHINGLES OVER COMPOSITE ROOF FELT. PROVIDE ICE/WATER SHIELD AS SPECIFIED. MFG: OWENS-CORNING. COLOR: ONYX BLACK. SEE ROOF PLANS AND SPECIFICATION.
- 4B CONTINUOUS RIDGE / AIR VENT:**
SEE ROOF PLAN & SPECIFICATION.
- 5A GAS METER BANK:**
PROVIDE & INSTALL GAS METERS, PIPING AND ALL ASSOCIATED ACCESSORIES. SEE MECHANICAL. COORDINATE WITH SERVICE PROVIDER.
- 5B HOSE BIB CONNECTION:**
PROVIDE & INSTALL HOSE BIB CONNECTION. HEIGHT AS SHOWN ON ELEVATIONS. SEE PLUMBING.
- 5C FIRE DEPARTMENT CONNECTION:**
PROVIDE & INSTALL FIRE DEPARTMENT CONNECTION. COORDINATE FINAL LOCATION WITH LOCAL FIRE DEPARTMENT. SEE PLUMBING.
- 5D RAPID ACCESS ENTRY KEY BOX:**
PROVIDE & INSTALL NEW RAPID ACCESS ENTRY KEYBOX (KNOX BOX). COORDINATE FINAL LOCATION WITH LOCAL FIRE DEPARTMENT. COLOR: BLACK.
- 6A ELECTRICAL METER BANK:**
PROVIDE & INSTALL ELECTRICAL METERS, CONDUIT, WIRING AND ALL ASSOCIATED ACCESSORIES. SEE ELECTRICAL. COORDINATE WITH SERVICE PROVIDER.
- 6B LIGHT FIXTURE:**
PROVIDE & INSTALL EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL.
- 7A BUILDING SIGNAGE:**
PROVIDE & INSTALL EXTERIOR BUILDING SIGNAGE (16" TALL). SEE SPECIFICATION. FINISH: BLACK.
- 8A BUILDING CANOPY:**
PROVIDE & INSTALL ALUMINUM EXTERIOR BUILDING CANOPY SYSTEM. COLOR: MATTE BLACK. SEE SPECIFICATION, SECTIONS & DETAILS.



2 BUILDING ELEVATION - EAST (COLORED)
1/8" = 1'-0"

3 BUILDING ELEVATION - WEST (COLORED)
1/8" = 1'-0"



4 BUILDING ELEVATION - SOUTH (COLORED)
1/8" = 1'-0"

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 1394TH STREET
 WEST DES MOINES, IOWA 50265

GRACE CREEK
 SENIOR APARTMENTS
 8710 ASHWORTH ROAD, WEST DES MOINES, IOWA 50266

PRINT DATE: MAY 16TH, 2022
 SHEET NAME: EXTERIOR COLORED ELEVATIONS

PERMIT ISSUANCE

