

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: September 26, 2022

ITEM: Picket Fence Communities, Northeast corner of S. 88th Street and Mills Civic Parkway – Approve a Preliminary Plat to create 1 lot for Multi Family Residential development and 7 lots for single family development and approve a Site Plan to allow construction of single family detached and bi-attached homes – Hurd Riverview, LLC – PPSP-005675-2022

Resolution: Approval of Preliminary Plat and Site Plan

Background: Brent Culp with Snyder and Associates, Inc., on behalf of the applicant, Picket Fence Communities, LLC, and property owner, Hurd Riverview, LLC, requests approval of a Preliminary Plat for the approximately 22.82-acre property generally located at the northeast corner of S. 88th Street and Mills Civic Parkway. The applicant proposes to subdivide the property into 1 lot for multi-family development, 7 lots for single family development, and 1 street lot to be dedicated to the city. Additionally, the applicant requests approval of a Site Plan to allow the construction of 1 and 2 story, single family detached and bi-attached homes within lot 1, along with associated site improvements.

Staff Review & Comment:

- **Financial Impact:** There is no City funding of this project; however, there is staff time for processing of development application and inspections during construction.
- **History:** In May of 2022, the land use designation of this property was changed from Office (OF) to Medium Density Residential (MD) to allow for the proposed development. Also, the Silverwood Planned Unit Development, where this property is located, was amended to specify development parameters for the proposed development.
- **Key Development Aspects:**
 1. **Building Types:** This development will consist of 16 single family detached homes and 180 dwellings within bi-attached homes all on the same lot (Lot 1). Based on 196 total dwelling units (as proposed), there will be 10 dwelling units per acre within Lot 1 which is within the maximum 12 dwellings per acre allowed for the Medium Density Residential zoning district. All dwellings within Lot 1 will be rental homes. Attached garages will be provided on some of the units, along with detached garages that can be rented by any resident. The City recently approved a code amendment aimed at minimizing visual clutter and the presence of personal belongings kept within the property. That code amendment does allow for the use of buffers or fencing of private areas to negate views into private areas where personal items may be. This development plans six foot (6') enclosed patios on the back of all units which addresses the desire to mitigate visual clutter. Additionally, it has been indicated that the homes along the perimeter will orient towards the street rather than the rear yard or 'private area' of each unit being adjacent to and readily visible from the street. Finally, staff is being told that the on-site property management will enforce rules about what can be outside and in public view areas.
 2. **Buffers:** A minimum thirty foot (30') wide buffer will be required adjacent to Mills Civic Parkway, S. 88th Street, Coachlight Drive, and S. 85th Street rights of way. Earthen berming which is typically a component of the buffer will not be required in the buffer along S. 85th Street and Coachlight Drive but is being required along Mills Civic Parkway and S. 88th Street. The buffer along Mills Civic and S. 88th Street are due to the road classification to mitigate road traffic on adjoining properties and provide green space and soften the expanse of pavement of wider roadways. Berming is a standard component of a buffer and aids in buffering the adjoining

land use(s) and adds to the visual aesthetic. With the exception of ground monument signs as allowed by city code, fencing or other structures are not to be located within buffers. Vegetation will comply with code which for a 30' wide buffer requires a minimum of one (1) overstory or evergreen tree, two (2) ornamental trees, and six (6) shrubs are required for every thirty-five (35) lineal feet of buffer.

The property to the northwest of the subject property is zoned Office (OF), therefore since the subject property was recently changed from Office to Residential Medium Density (RM-12), a minimum 30' landscape buffer is required between the two properties. Due to limited space for a buffer, the applicant contacted that property owner (Scenic Development) and asked if they would agree to waive the buffer requirement along their shared property line due to their anticipated use of the property for a memory care facility, which would also require RM zoning. Scenic Development has provided written documentation that they would agree to a waiver of the buffer requirement. Staff recommends a condition of approval that the City Council grant a waiver of the buffer requirement along this shared property line.

3. **Building Designs:** The residential dwelling units for this development include 2 detached home models and 8 bi-attached home models, with 4 of the bi-attached models providing attached garages. One of the bi-attached models will also include a two-story option. There are three material palette options for the homes to provide some variety in materials and colors throughout the development. All three material palettes use the same primary material of James Hardie horizontal lap siding to unify the buildings, while providing three options for masonry, either limestone stone or brick, and three Hardie Shake color options for variation in the building's secondary materials. The building designs vary in size, roof form and application of materials to provide some visual interest across the development. Staff is continuing to work with the applicant to finalize a few details for the building designs including public view elevations and trim details.

The development provides some additional features including an entry portico at the main entrance area along S. 85th Street. A clubhouse, outdoor pergola, seating areas, outdoor kitchen with dining areas, and fire pit with circular porch swing are provided as amenities for the overall development. An open lawn area is also shown beyond the amenity spaces, which is noted as the area for a possible future swimming pool for the development.

4. **Outdoor spaces:** Each dwelling unit will have a private outdoor space, which will consist of a minimum 5' X 12' patio within an approximately 10' X 25'-37' fenced in backyard. The backyard area will consist of artificial turf so each enclosed outdoor space does not have to be maintained by the owner.

Open Space within a development is desired to balance the natural and built environment. The open space is intended to generally be visible to the public as they pass by a development. Due to the fencing that blocks visibility of the rear yards, the fenced in areas will not be counted toward the open space requirement for the site. Even without these areas, the development provides the 25% open space required of the zoning district.

5. **Curbs and Pedestrian Pathways:** City code requires drive aisles and off-street parking areas to be constructed with permanent, integrally attached portland cement concrete curbing not less than four inches (4") high at any given time. Due to a combination of driveways to garages and off-street parking areas, the development proposes 4" rolled curbs throughout. For safety reasons, city code requires pedestrian pathways to be physically separated from vehicle drives. The sidewalks within this development are indicated to be located immediately adjacent to the roadway edge or edge of parking areas. Staff does not believe that a rolled curb intended for vehicles to easily pass over provides adequate separation and safety. To provide the appropriate safety for pedestrians, staff would prefer to see the sidewalk either pulled back away from the edge of the drive aisles and parking areas or a 6" vertical (standard) curb

implemented. Staff discussed the matter with the design consultant and were unable to come to a resolution that wouldn't greatly impact the layout of the development. Staff does take comfort in the development's layout with somewhat winding roadways which will aid in keeping vehicle speeds low due to lack of long straight roadways. Because of this, staff recommends acceptance that pedestrian safety is being met even though the physical separation from roadways is not being provided.

- Traffic Impact Study Findings: The proposed site is estimated to generate less traffic than estimated in earlier traffic studies.

The intersection of S. 85th Street & Coachlight Drive currently operates with 2-way stop control, with Coachlight Drive operating as the designated thru street. With S. 85th Street being continued to the south to serve the proposed site and intersect with Mills Civic Parkway, traffic patterns are expected to shift and additional north/south traffic will be generated through the intersection. As a result of the shifting traffic patterns and with the two streets functioning as two residential neighborhood collector streets of similar design, traffic volumes, and anticipated operating characteristics, the intersection is recommended to have all-way stop control. This would also help control vehicle/pedestrian conflicts, as additional pedestrian activity is expected between the proposed development and Huston Ridge Park to the northeast of the intersection. As the area continues to develop, modifying the intersection from an all-way stop to a mini-roundabout may be considered in the future to further improve the operation of the intersection. These changes are due in part, but not entirely, to traffic generated by the proposed site.

- Developer Responsibilities: In conjunction with site development or platting of the lots, whichever occurs first, the developer will be responsible for construction and/or installation of all required public and private infrastructure improvements necessary to support development. The following items are known improvements; additional improvements may be required in response to development proposals:
 - S. 85th Street: As a part of this development, S. 85th Street will be extended from its existing terminus south to Mills Civic Parkway.
- Development & Planning Subcommittee: At the February 7, 2022, Development & Planning City Council Subcommittee meeting mixed attached and detached residential developments such as the proposed Picket Fence Communities project and another proposed project was discussed. Also, the requirement for garages for detached single family homes was discussed as under current code language, it would apply to the detached dwelling structures in the development, but not the bi-attached dwelling buildings. Additionally, it was explained to the Subcommittee that the mixing of attached and detached residential structures on a common lot is currently not permitted by the city zoning ordinance, thus necessitating a code amendment to allow the development as proposed. At the meeting, the Subcommittee members noted that they were supportive of the development concept and directed staff to process the necessary code amendments that would enable this type of development.
- Plat Validity: Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date. The associated Final Plat has been submitted and is currently in the city's review process. It is anticipated that the Final Plat will be presented to the City Council within the next few months.
- Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time

period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: September 26, 2022

Vote:

Recommendation:

Recommendation: Approve the Preliminary Plat and Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The City Council granting a waiver of a 30' landscape buffer adjacent to the property at the northwest corner of the applicant's property.
2. The applicant continuing to work with staff to finalize the building elevations to address remaining architectural review comments.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Planning and Zoning Commission	September 26, 2022
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

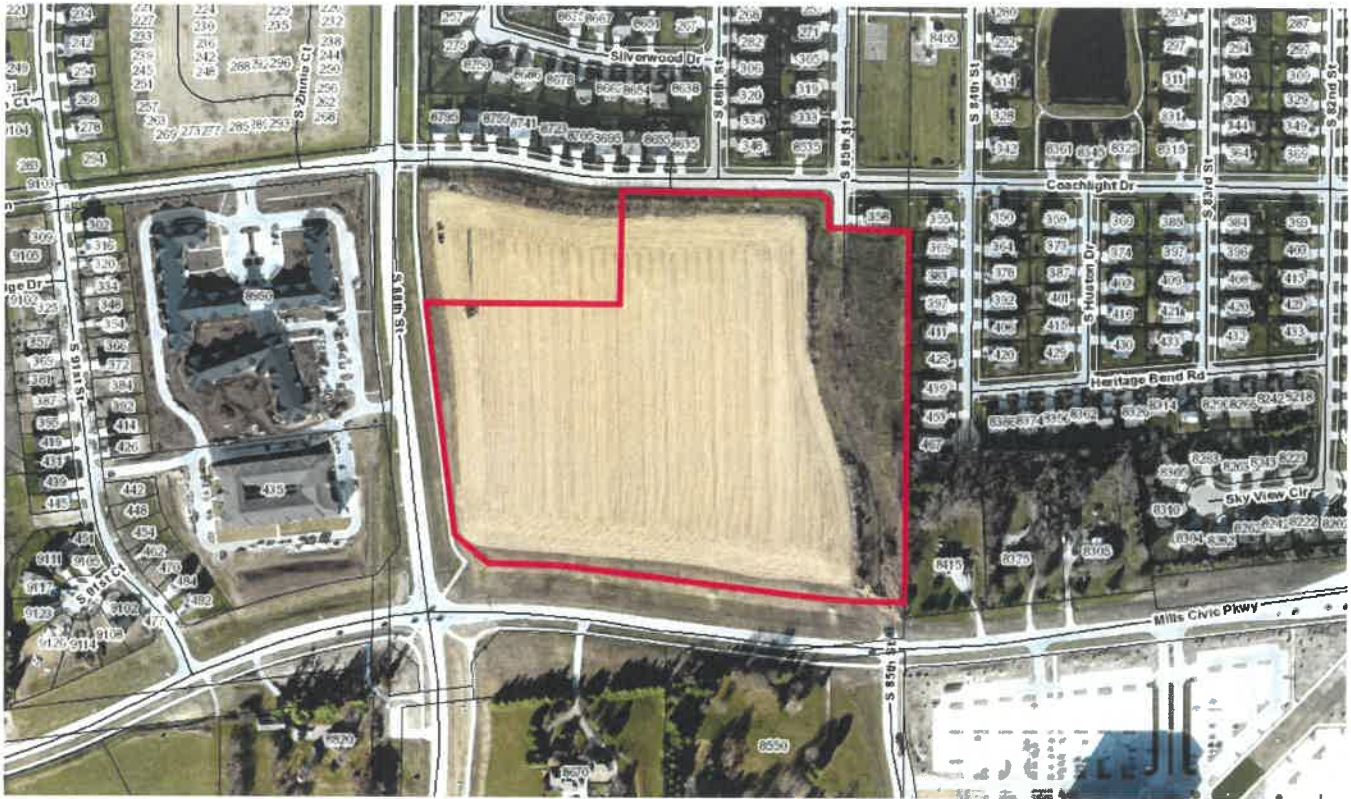
Publications (if applicable)

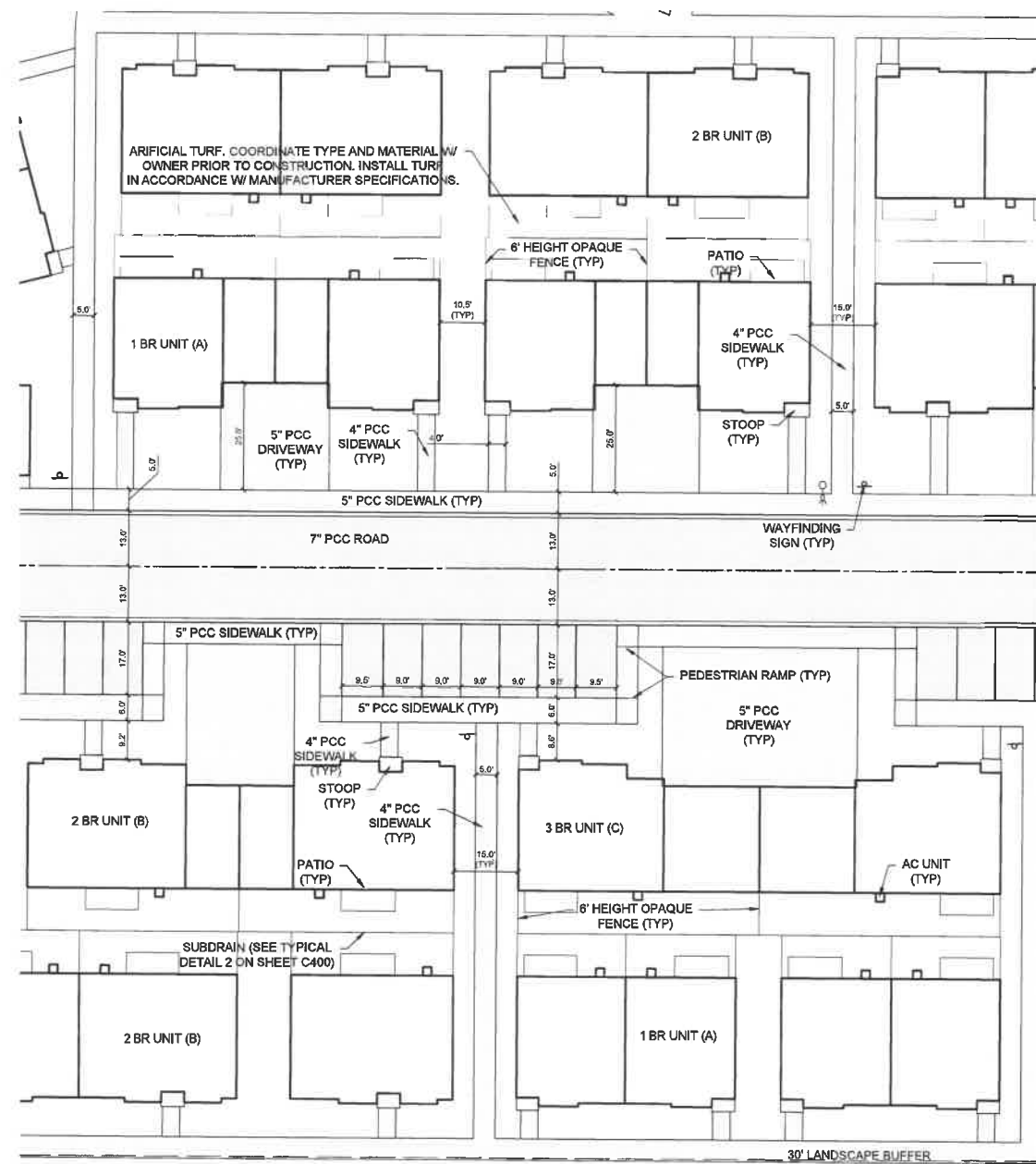
Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

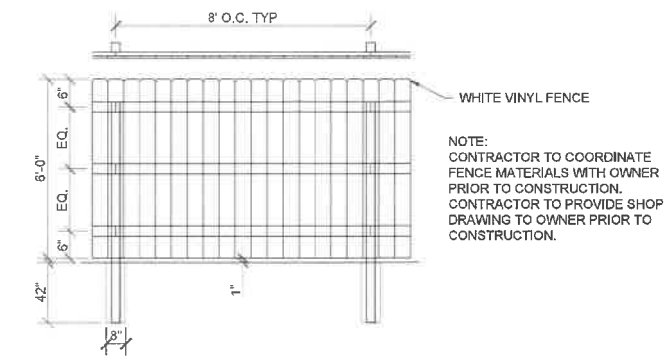
Subcommittee	Development & Planning
Date Reviewed	2/7/22
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map

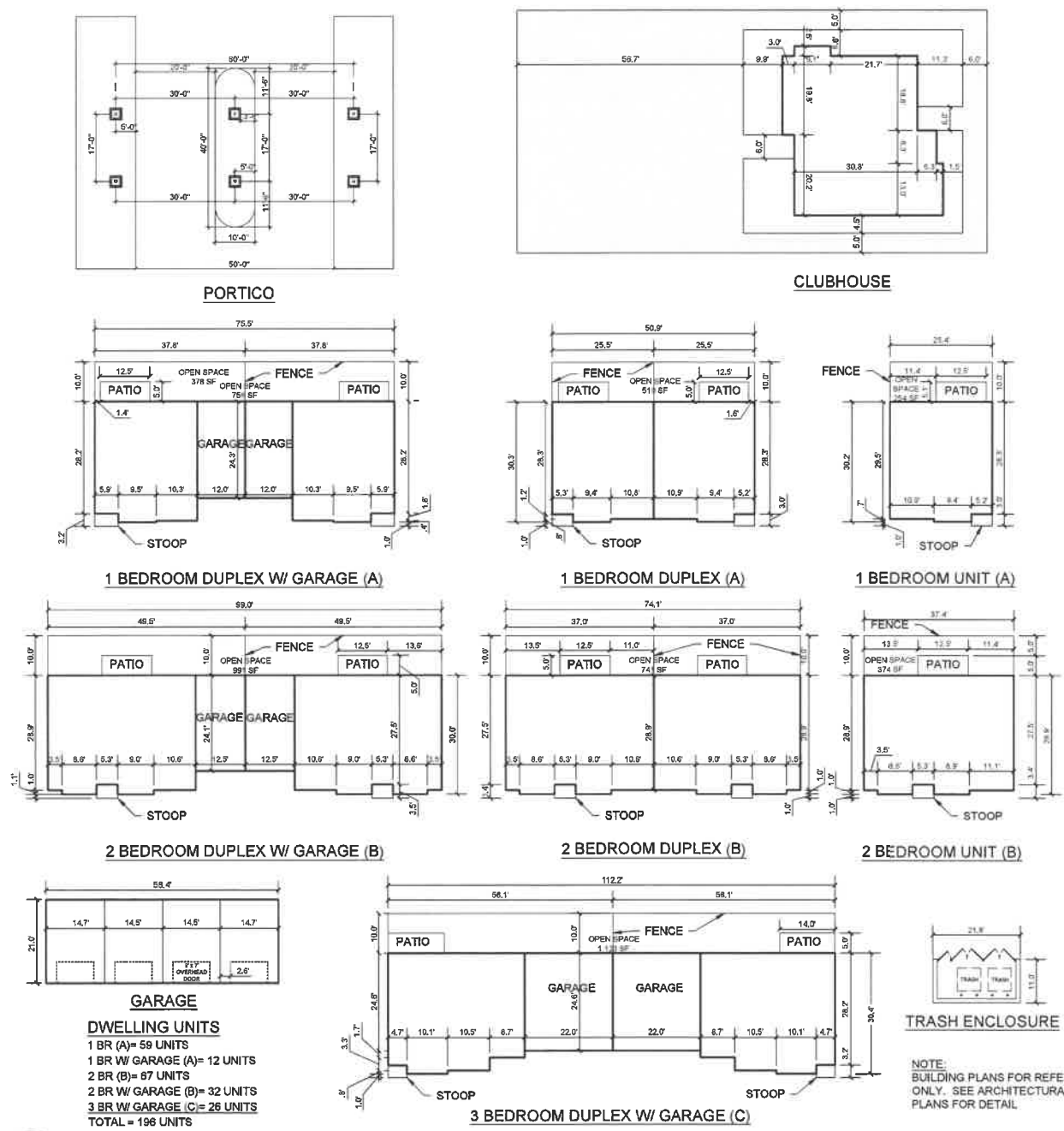




2 TYPICAL SITE LAYOUT AND DWELLING UNIT DETAIL
1"=20'



1 6' HT WHITE VINYL FENCE
NO SCALE



3 DWELLING UNIT DETAIL
1"=20'

- GARAGE**
- DWELLING UNITS
 - 1 BR (A) = 59 UNITS
 - 1 BR W/ GARAGE (A) = 12 UNITS
 - 2 BR (B) = 67 UNITS
 - 2 BR W/ GARAGE (B) = 32 UNITS
 - 3 BR W/ GARAGE (C) = 26 UNITS
 - TOTAL = 196 UNITS



3	REVISED PER CITY COMMENTS	09-20-22	LJM
2	REVISED PER CITY COMMENTS	09-07-22	LJM
1	REVISED PER CITY COMMENTS	08-08-22	LJM
MARK	REVISION	DATE	BY
Engineer: KMM	Checked By: BKC	Scale: 1" = ##'	
Technician: LJM	Date: 07-01-2022	T-R-S: TTN-RRW-SS	

PICKET FENCE COMMUNITIES
SITE DETAILS
WEST DES MOINES, IOWA
SNYDER & ASSOCIATES, INC.
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



ADJACENT OWNERS:

1. SCENIC DEVELOPMENT, LLC
6731 W 121 ST STE 100
OVERLAND PARK, KS 66209
2. CCRC OF WEST DES MOINES, LLC
11827 W 112TH ST, STE 103
OVERLAND PARK, KS 66210
3. THE LOFTS ON 88TH, LLC
10604 NW 75TH PL
JOHNSTON, IA 50131
4. HURD BLACK LLC
2000 FULLER RD
WEST DES MOINES, IA 50265
5. HURD WEST GLEN LLC
HURD LAND COMPANY LLC
2000 FULLER RD
WEST DES MOINES, IA 50265
6. MIDLAND NATIONAL LIFE INSURANCE COMPANY
ONE SAMMONS PLAZA
SIOUX FALLS, SD 57193
7. BUEHRER, JAMES E & AMY BETH JTRS
8415 MILLS CIVIC PARKWAY
WEST DES MOINES, IA 50266
8. SHEEHY, CHRISTOPHER M
467 S 84TH ST
WEST DES MOINES, IA 50266
9. NEMITZ, RANDAL R & PATRICIA A JTRS
453 S 84TH ST
WEST DES MOINES, IA 50266
10. INGRAM, DEBRA L
439 S 84TH ST
WEST DES MOINES, IA 50266
11. AMUNDSON, ALYSSA & RYAN JTRS
425 S 84TH ST
WEST DES MOINES, IA 50266
12. BRAUCKMAN, JASON PAUL
411 S 84TH ST
WEST DES MOINES, IA 50266
13. THOMAS, DAVID L & KIMBERLY M JTRS
397 S 84TH ST
WEST DES MOINES, IA 50266
14. WEBER, ELLEN D
383 S 84TH ST
WEST DES MOINES, IA 50266
15. MITCHELL, MARK S & CAROL L REVOCABLE TRUST
U/A/D 02/05/2021
369 S 84TH ST
WEST DES MOINES, IA 50266
16. SINGH, GITANJALI
14002 WILLOW DR
CLIVE, IA 50325
17. SANKEY, MEREDITH & MITCHELL JTRS
358 S 85TH ST
WEST DES MOINES, IA 50266
18. WEST DES MOINES IOWA, CITY OF CITY HALL
4200 MILLS CIVIC PARKWAY
WEST DES MOINES, IA 50265
19. LADD, GARY D REVOCABLE TRUST U/A/D 04/28/2021
8535 COACHLIGHT DR
WEST DES MOINES IA 50266
20. BAKER, DAVID C & RONDA M JTRS
348 S 86TH ST
WEST DES MOINES, IA 50266
21. LAGO MARGENAT, MARIA T
8635 COACHLIGHT DR
WEST DES MOINES, IA 50266
22. WELSH, W CURTIS & BONNIE J TRUST 07/01/2013
8655 COACHLIGHT DR
WEST DES MOINES, IA 50266
23. DHINGRA, AMANJIT K
8675 COACHLIGHT DR
WEST DES MOINES, IA 50266
24. VANDEKAMP, THOMAS E & MARYLIN R JTRS
8685 COACHLIGHT DR
WEST DES MOINES, IA 50266



CURVE TABLE (MEASURED)					CURVE TABLE (RECORDED)						
CURVE NO.	Δ	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING/LENGTH	CURVE NO.	Δ	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING/LENGTH
C1	8°25'43"	1917.50'	282.08'	141.30'	N86°54'45"W 281.83'	C1	8°26'13"	1917.50'	282.36'	141.44'	N86°49'47"W 282.10'
C2	8°21'40"	2082.50'	303.90'	152.22'	N86°48'55"W 303.63'	C2	8°21'41"	2082.50'	303.90'	152.22'	N86°47'30"W 303.63'
C3	0°16'21"	835.00'	3.97'	1.99'	S89°08'42"E 3.97'	C2	0°16'21"	835.00'	3.97'		S89°13'10"E 3.97'
C4	89°41'38"	25.00'	39.14'	24.87'	S44°20'38"E 35.26'	C4	89°57'49"	25.00'	39.25'	24.98'	S44°18'05"E 35.34'

REVISION	DATE	BY
3	08-20-22	LJM
2	08-07-22	LJM
1	08-08-22	LJM

MARK	REVISION	DATE	BY
Engineer: KMM	Checked By: BKC	Scale: 1" = 100'	
Technician: LJM	Date: 07-01-2022	T-R-S: TTN-RRW-SS	

PICKET FENCE COMMUNITIES

OVERALL SITE LAYOUT

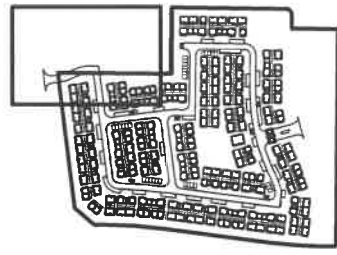
SNYDER & ASSOCIATES, INC.

WEST DES MOINES, IOWA

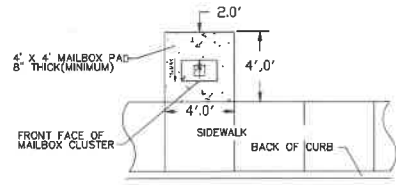
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SNYDER & ASSOCIATES

Project No: 122.0136.01
Sheet C200

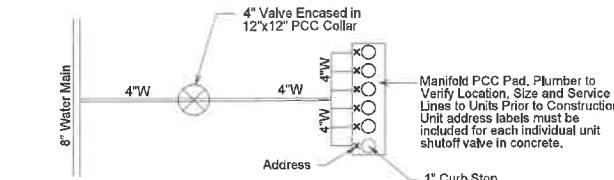


SHEET LEGEND



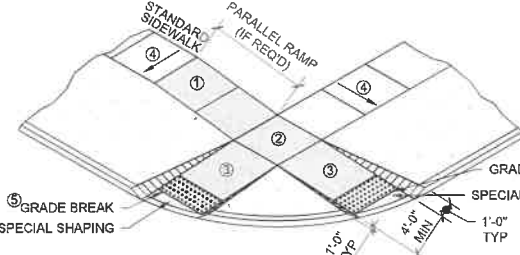
1 CLUSTER BOX ACCESSIBLE SIDEWALK DETAIL
C300 NO SCALE

- NOTES:**
- Cluster Mailbox to be located on the no parking/street light side of street.
 - Do not locate at intersection.
 - Locate near shared property line per approved plan.



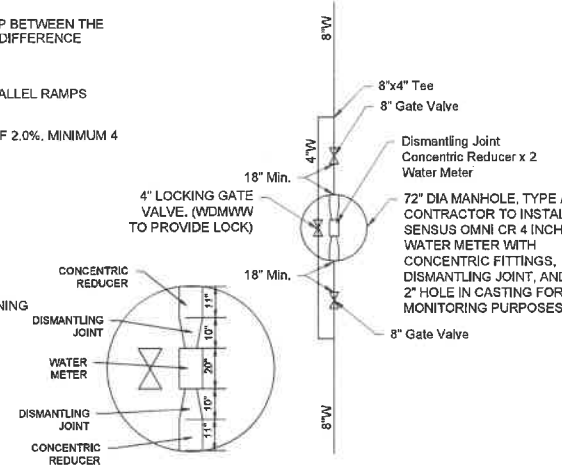
2 TYPICAL WATER SERVICE
C300 NO SCALE

- PARALLEL CURB RAMP:** IF NORMAL SIDEWALK ELEVATION CANNOT BE ACHIEVED WITH THE PERPENDICULAR RAMP BETWEEN THE STREET AND LANDING DUE TO LIMITED RAMP LENGTH, PROVIDE A PARALLEL RAMP TO MAKE UP THE ELEVATION DIFFERENCE BETWEEN THE LANDING AND THE STANDARD SIDEWALK.
THE LENGTH OF THE PARALLEL RAMP IS NOT REQUIRED TO EXCEED 15 FEET, REGARDLESS OF THE RESULTING SLOPE. DO NOT EXCEED 8.3% SLOPE FOR PARALLEL RAMPS SHORTER THAN 15 FEET.
- TURNING SPACE:** TARGET SLOPE OF 1.5% WITH MAXIMUM SLOPE PERPENDICULAR TO THE TRAVEL DIRECTIONS OF 2.0%. MINIMUM 4 FEET BY 4 FEET.
- PERPENDICULAR CURB RAMP:** TARGET RUNNING SLOPE OF 6.25% WITH MAXIMUM RUNNING SLOPE OF 8.3%.
- TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%.**
- MATCH PEDESTRIAN STREET CROSSING CROSS SLOPE OR FLATTER.**

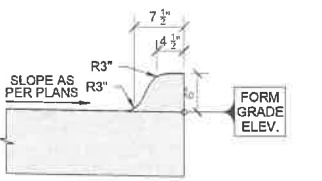


3 GENERAL SIDEWALK AND CURB RAMP DETAILS
C300 NO SCALE

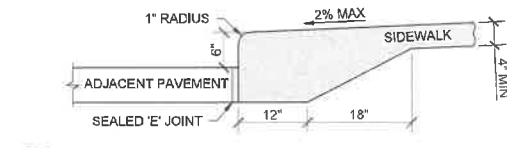
- KEY**
- CURB RAMP
 - TURNING SPACE
 - DETECTABLE WARNING
 - GRASS



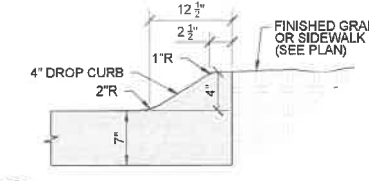
4 WATER METER PIT DETAIL
C300 NO SCALE



5 6-INCH STANDARD CURB
C300 NO SCALE



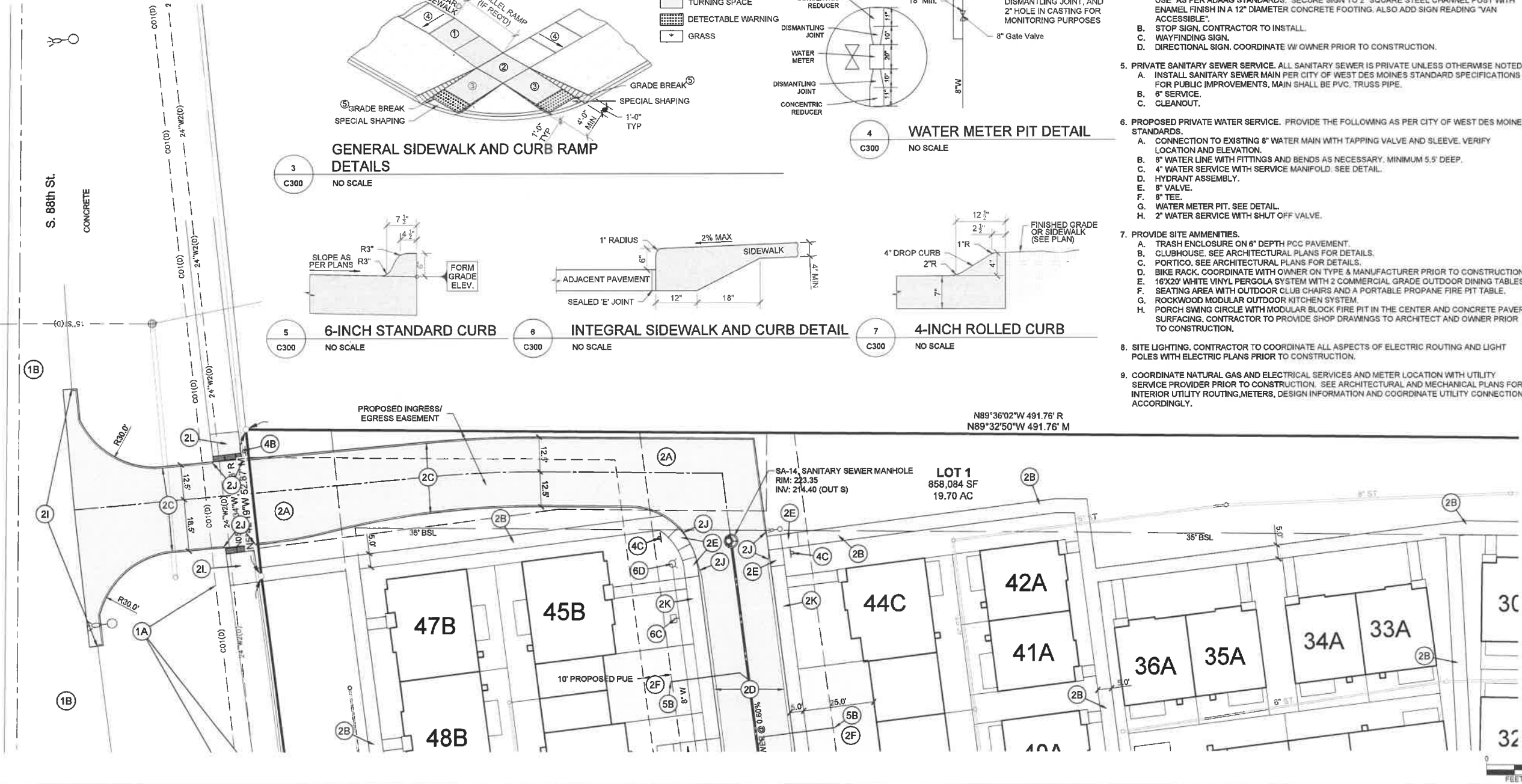
6 INTEGRAL SIDEWALK AND CURB DETAIL
C300 NO SCALE



7 4-INCH ROLLED CURB
C300 NO SCALE

DIMENSION & UTILITY PLAN CONSTRUCTION NOTES

- PROTECT THE FOLLOWING SITE FEATURES:**
 - EXISTING UTILITY. ADJUST AS NECESSARY TO ALLOW FOR CONSTRUCTION. VERIFY LOCATION, ELEVATION AND MINIMUM COVER REQUIREMENTS PRIOR TO CONSTRUCTION.
 - EXISTING PAVEMENT.
 - EXISTING SIDEWALK.
 - EXISTING TREES.
- PAVEMENTS, PROVIDE THE FOLLOWING:**
 - 7" DEPTH PCC PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 4" MINIMUM DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 6" PCC STANDARD CURB.
 - 4" PCC ROLLED CURB.
 - PEDESTRIAN RAMP WITH MAXIMUM SLOPE OF 8.33%. PROVIDE DETECTABLE WARNING PANELS WHERE SHOWN.
 - 5" DEPTH PCC ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 8" PCC, 4X4' CLUSTER MAIL BOX PAD. SEE DETAIL ON THIS SHEET.
 - INTEGRAL CURB AND 5" PCC SIDEWALK.
 - SAW CUT AND REMOVE PAVEMENT TO NEAREST SAW CUT FULL DEPTH. CONNECT TO EXISTING PAVEMENT PER WEST DES MOINES STANDARD SPECIFICATIONS. DETAIL 7.18.
 - TAPER CURB IN 3 FEET.
 - 5" PCC SIDEWALK.
 - 6" REINFORCED PCC TRAIL, 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY. CONTRACTOR TO PROTECT EXISTING TRAIL AND REPAIR ANY DAMAGES TO CITY OF WDM STANDARDS.
- PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:**
 - PAINTED PARKING STALL LINE, 4" WIDE, PAINTED YELLOW.
 - PAINTED 45° STRIPING AT 3' O.C.
 - PAINTED STATE OF IOWA APPROVED DISABLED SYMBOL, AS PER ADAAG REQUIREMENTS.
- SIGNAGE PROVIDE THE FOLLOWING:**
 - BLUE SIGN WITH DISABLED SYMBOL READING "PARKING ONLY" AND "\$200 FINE FOR IMPROPER USE" AS PER ADAAG STANDARDS. SECURE SIGN TO 2" SQUARE STEEL CHANNEL POST WITH ENAMEL FINISH IN A 12" DIAMETER CONCRETE FOOTING. ALSO ADD SIGN READING "VAN ACCESSIBLE".
 - STOP SIGN, CONTRACTOR TO INSTALL.
 - WAYFINDING SIGN.
 - DIRECTIONAL SIGN. COORDINATE W/ OWNER PRIOR TO CONSTRUCTION.
- PRIVATE SANITARY SEWER SERVICE. ALL SANITARY SEWER IS PRIVATE UNLESS OTHERWISE NOTED.**
 - INSTALL SANITARY SEWER MAIN PER CITY OF WEST DES MOINES STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS. MAIN SHALL BE PVC, TRUSS PIPE.
 - 8" SERVICE.
 - CLEANOUT.
- PROPOSED PRIVATE WATER SERVICE. PROVIDE THE FOLLOWING AS PER CITY OF WEST DES MOINES STANDARDS.**
 - CONNECTION TO EXISTING 8" WATER MAIN WITH TAPPING VALVE AND SLEEVE. VERIFY LOCATION AND ELEVATION.
 - 8" WATER LINE WITH FITTINGS AND BENDS AS NECESSARY. MINIMUM 5.5' DEEP.
 - 4" WATER SERVICE WITH SERVICE MANIFOLD. SEE DETAIL.
 - HYDRANT ASSEMBLY.
 - 8" VALVE.
 - 8" TEE.
 - WATER METER PIT. SEE DETAIL.
 - 2" WATER SERVICE WITH SHUT OFF VALVE.
- PROVIDE SITE AMMENITIES.**
 - TRASH ENCLOSURE ON 6" DEPTH PCC PAVEMENT.
 - CLUBHOUSE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - PORTICO. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - BIKE RACK. COORDINATE WITH OWNER ON TYPE & MANUFACTURER PRIOR TO CONSTRUCTION.
 - 16X20' WHITE VINYL PERGOLA SYSTEM WITH 2 COMMERCIAL GRADE OUTDOOR DINING TABLES.
 - SEATING AREA WITH OUTDOOR CLUB CHAIRS AND A PORTABLE PROPANE FIRE PIT TABLE.
 - ROCKWOOD MODULAR OUTDOOR KITCHEN SYSTEM.
 - PORCH SWING CIRCLE WITH MODULAR BLOCK FIRE PIT IN THE CENTER AND CONCRETE PAVER SURFACING. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- SITE LIGHTING. CONTRACTOR TO COORDINATE ALL ASPECTS OF ELECTRIC ROUTING AND LIGHT POLES WITH ELECTRIC PLANS PRIOR TO CONSTRUCTION.**
- COORDINATE NATURAL GAS AND ELECTRICAL SERVICES AND METER LOCATION WITH UTILITY SERVICE PROVIDER PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL AND MECHANICAL PLANS FOR INTERIOR UTILITY ROUTING, METERS, DESIGN INFORMATION AND COORDINATE UTILITY CONNECTIONS ACCORDINGLY.**



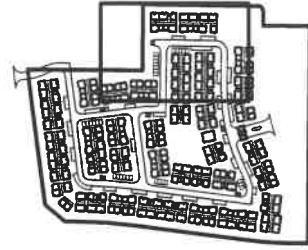
REVISION	DATE	BY
3	09-20-22	LJM
2	08-07-22	LJM
1	08-08-22	LJM

Scale: 1" = 40'
Checked By: BKC
Engineer: KMM
Technician: LJM
Date: 07-01-2022
T-R-S: TTRRRW-SS

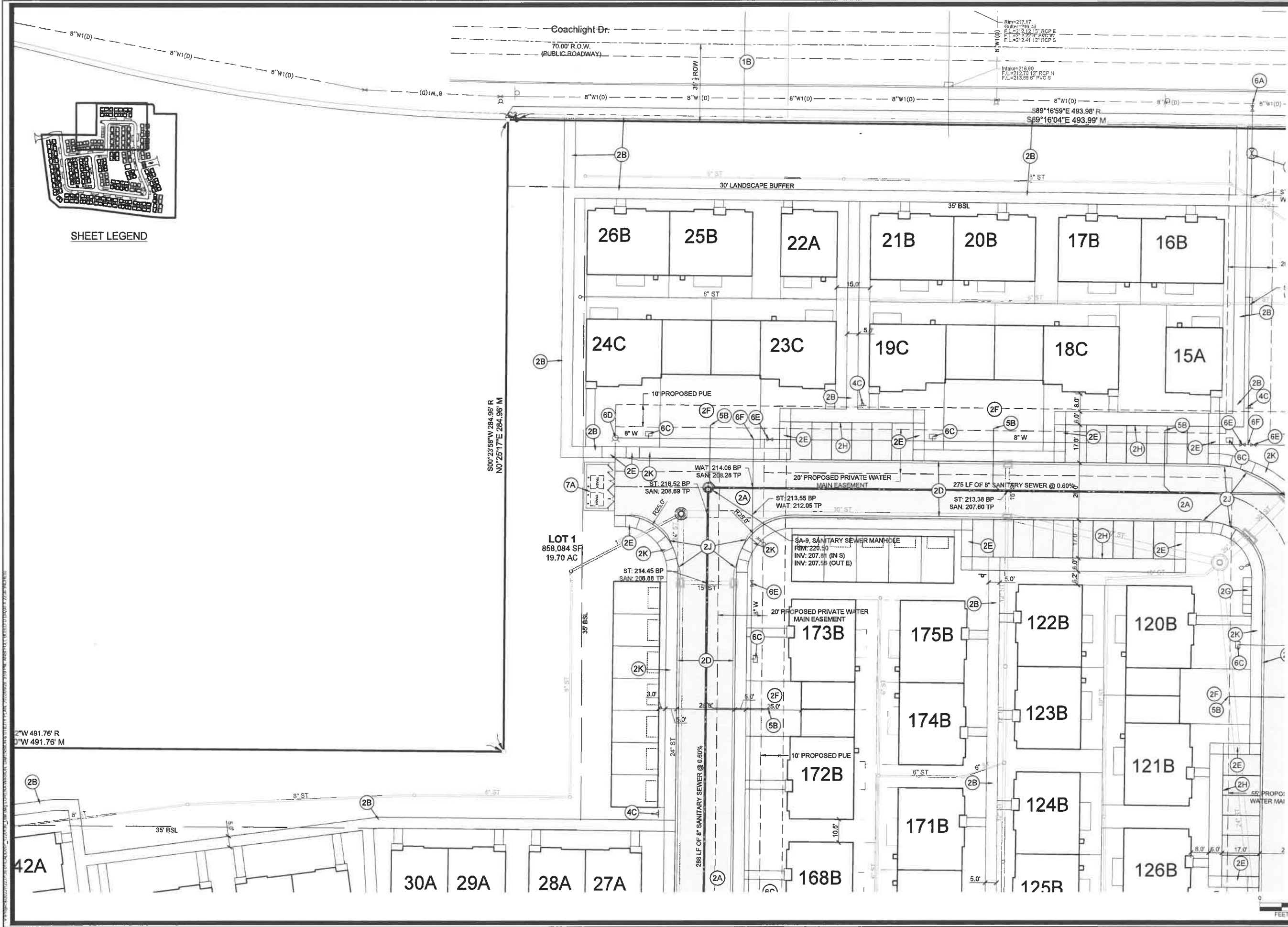
WEST DES MOINES, IOWA
Project No: 122.0136.01
Sheet C300

PICKET FENCE COMMUNITIES
DIMENSION & UTILITY PLAN
SNYDER & ASSOCIATES, INC.





SHEET LEGEND



MARK	REVISION	DATE	BY
3	REVISED PER CITY COMMENTS	09-20-22	LJM
2	REVISED PER CITY COMMENTS	09-07-22	LJM
1	REVISED PER CITY COMMENTS	06-05-22	LJM

Engineer: KMM	Checked By: BKC	Scale: 1" = 20'
Technician: LJM	Date: 07-01-2022	T-R-S: TTN-RRW-SS

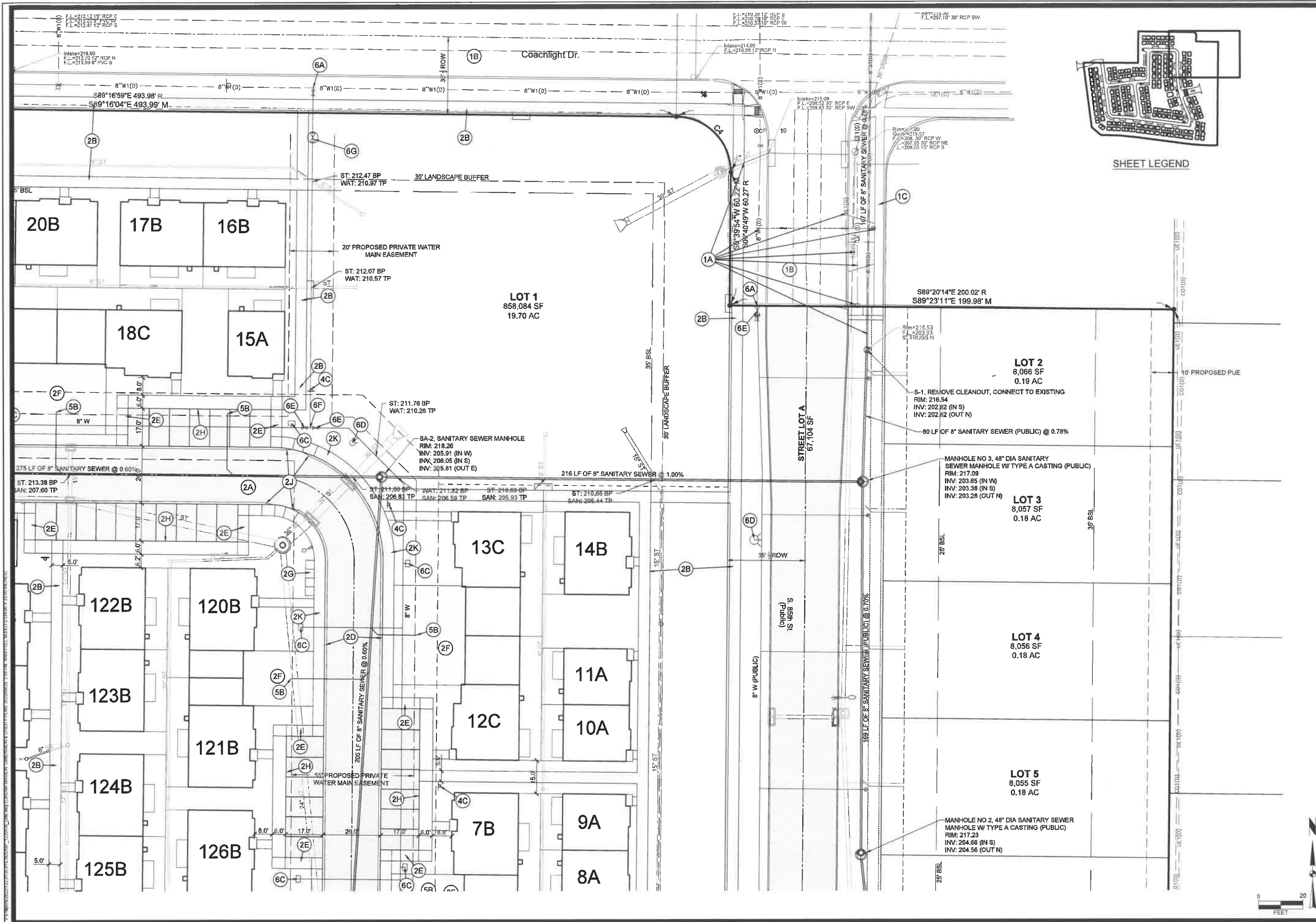
PICKET FENCE COMMUNITIES
DIMENSION & UTILITY PLAN
SNYDER & ASSOCIATES, INC.



Project No: 122.0136.01
 Sheet C301

WEST DES MOINES, IOWA
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

Sheet C301
 Project No: 122.0136.01



SHEET LEGEND

3	REVISED PER CITY COMMENTS	09-20-22	LJM
2	REVISED PER CITY COMMENTS	09-07-22	LJM
1	REVISED PER CITY COMMENTS	08-08-22	LJM
MARK	REVISION	DATE	BY
Engineer: KAM	Checked By: BKC	Scale: 1"=40'	
Technician: LJM	Date: 07-01-2022	Project No: 122.0136.01	
			Sheet C302

PICKET FENCE COMMUNITIES
DIMENSION & UTILITY PLAN
SNYDER & ASSOCIATES, INC.

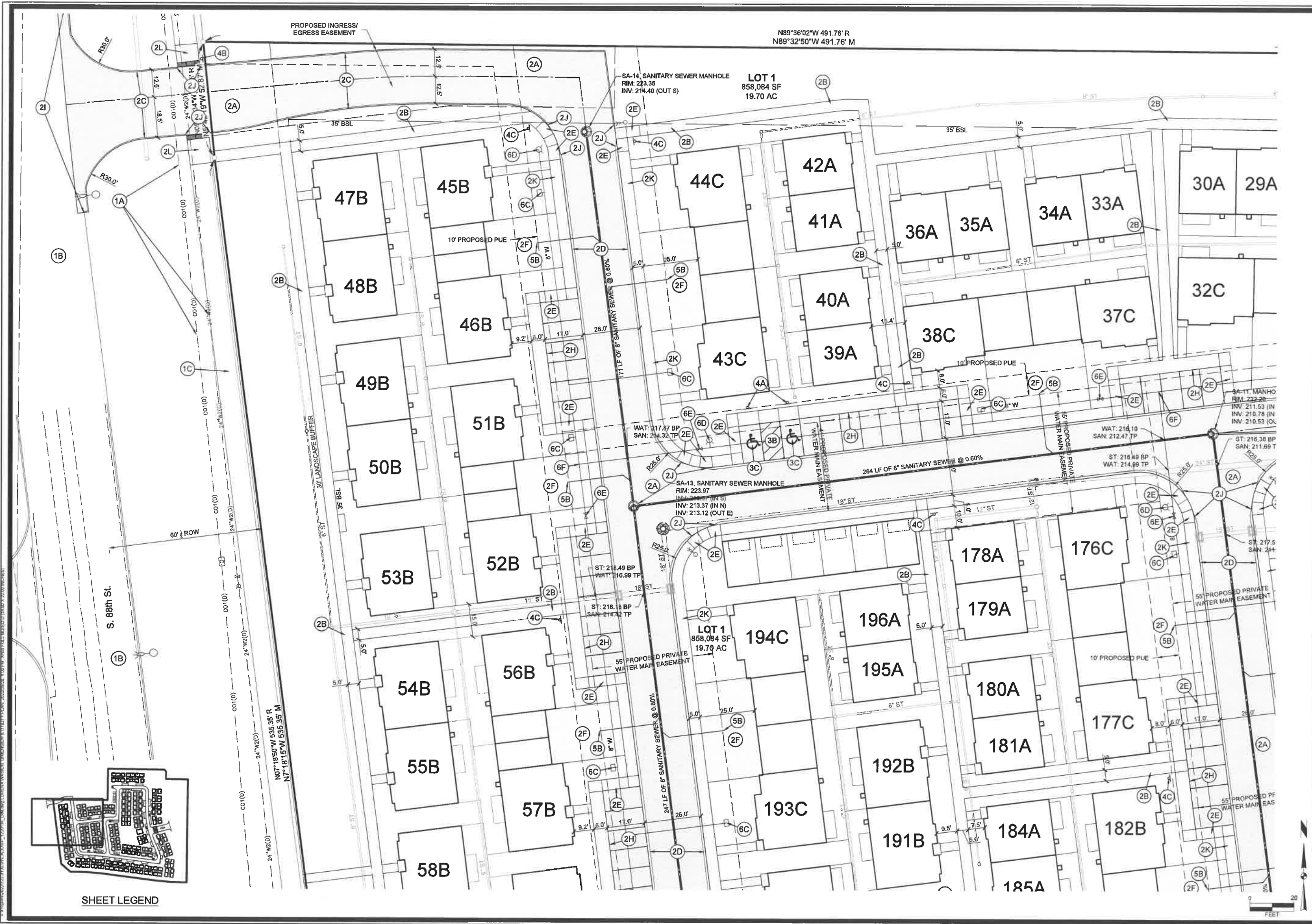
WEST DES MOINES, IOWA

2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 122.0136.01
 Sheet C302





SHEET LEGEND

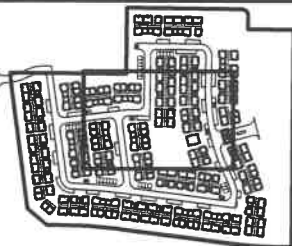
3	REVISED PER CITY COMMENTS	09-20-22	LMV
2	REVISED PER CITY COMMENTS	09-07-22	LJM
1	REVISED PER CITY COMMENTS	08-30-22	LJM
MARK	REVISION	DATE	BY
Engineer: KMM	Checked By: BKAC	Scale: 1"=40'	
Technician: LJM	Date: 07-01-2022	T-F-R-S: TTN-RRW-SS	
Project No: 122.0136.01			Sheet C303

WEST DES MOINES, IOWA

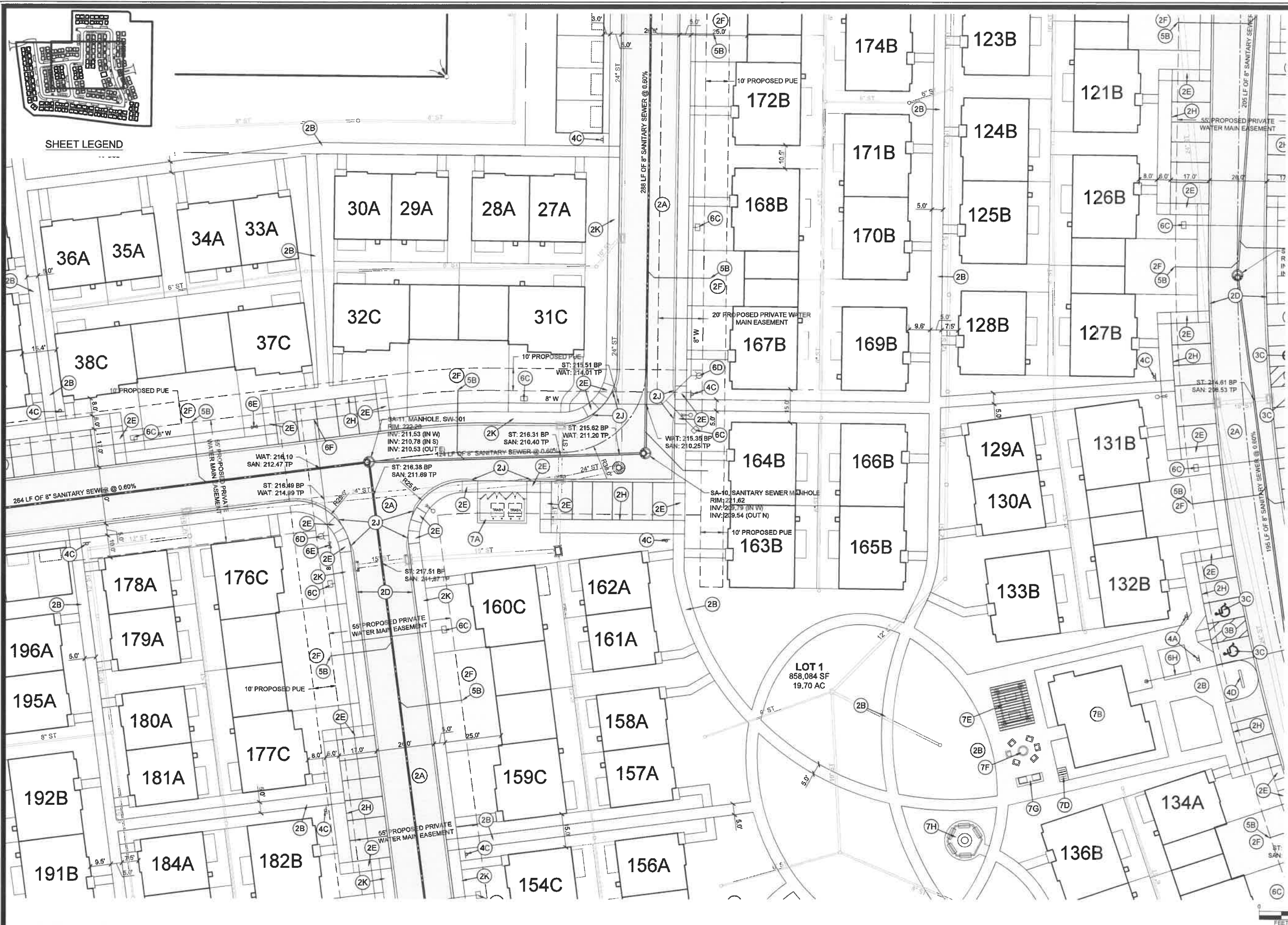
2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

PICKET FENCE COMMUNITIES
DIMENSION & UTILITY PLAN
SNYDER & ASSOCIATES, INC. I





SHEET LEGEND



3	REVISED PER CITY COMMENTS	09-20-22	LMM
2	REVISED PER CITY COMMENTS	09-07-22	LJM
1	REVISED PER CITY COMMENTS	08-09-22	LJM
	REVISION	DATE	BY
MARK	Engineer: KMM	Checked By: BKC	Scale: 1"=40'
Technician: LJM	Date: 07-01-2022	T-15-S: TTN-RRW-SS	Project No: 122.0136.01
			Sheet C304

WEST DES MOINES, IOWA

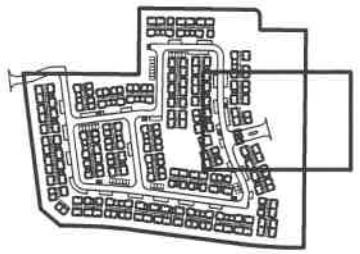
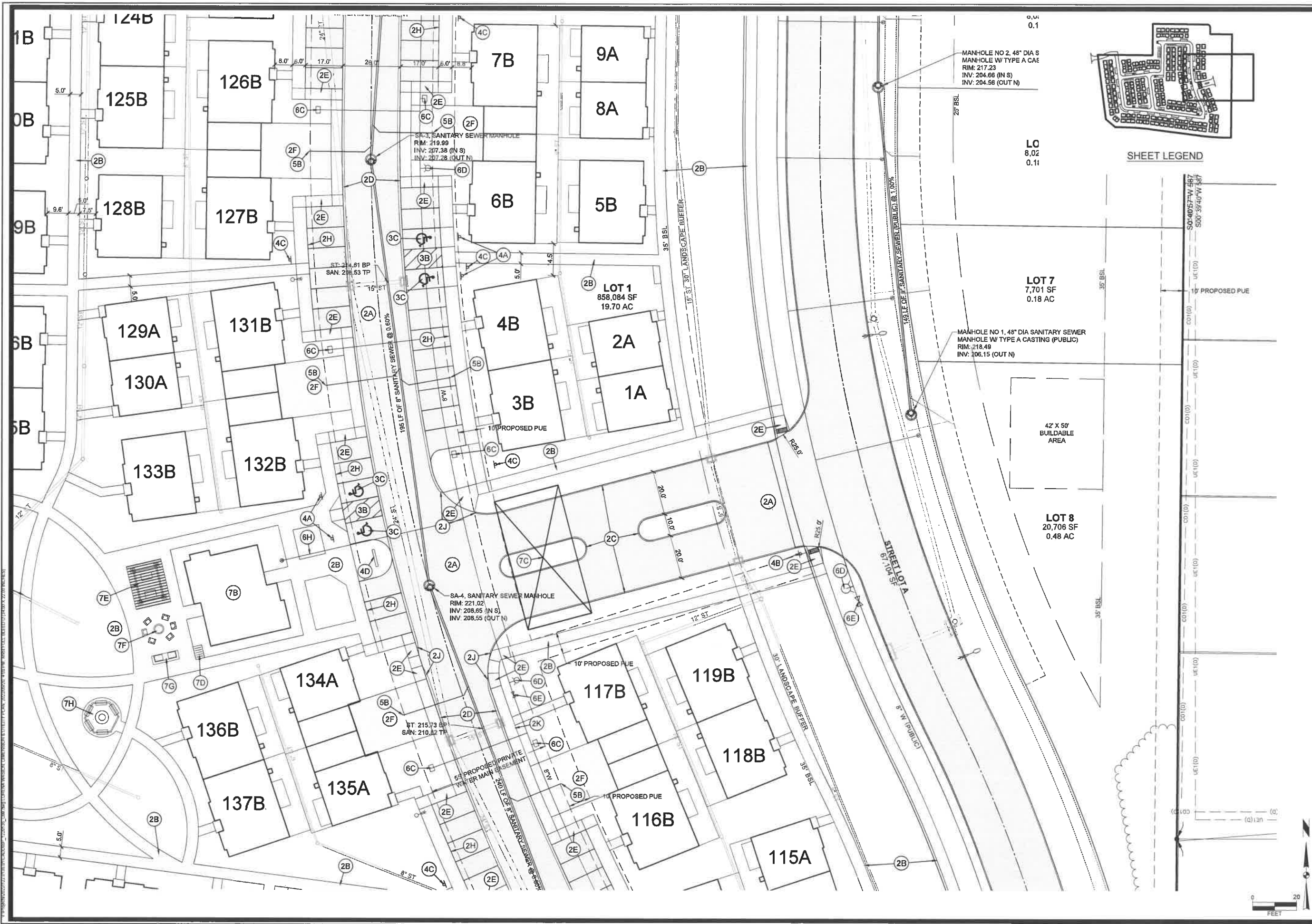
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

PICKET FENCE COMMUNITIES

DIMENSION & UTILITY PLAN

SNYDER & ASSOCIATES, INC.





SHEET LEGEND

LC
8.02
0.11

MANHOLE NO 2, 48" DIA S
MANHOLE W/ TYPE A CAE
RIM: 217.23
INV: 204.66 (N S)
INV: 204.56 (OUT N)

MANHOLE NO 1, 48" DIA SANITARY SEWER
MANHOLE W/ TYPE A CASTING (PUBLIC)
RIM: 218.49
INV: 106.15 (OUT N)

LOT 7
7,701 SF
0.18 AC

42' X 50'
BUILDABLE
AREA

LOT 8
20,706 SF
0.48 AC

LOT 1
858,084 SF
19.70 AC



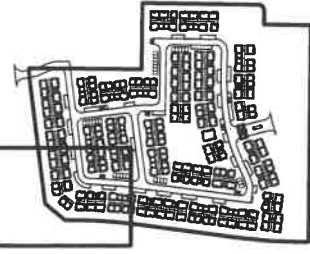
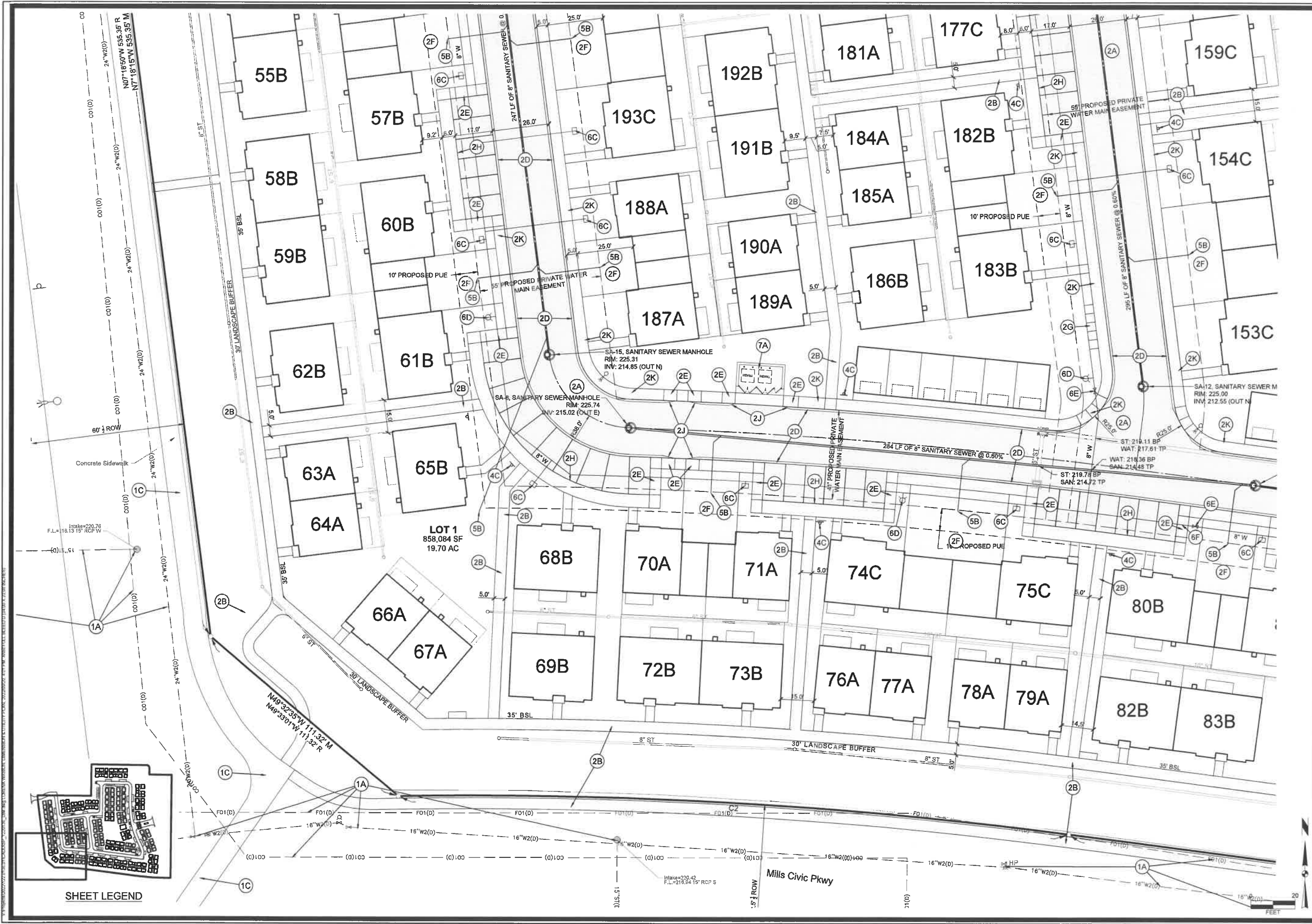
REVISION	DATE	BY
3	09-20-22	LMM
2	09-07-22	LJM
1	08-08-22	LJM
MARK		
Engineer: KMM	Checked By: BKC	Scale: 1" = 40'
Technician: LJM	Date: 07-01-2022	F-R-S: TTR-RW-SS
Project No: 122.0136.01		
Sheet C305		

PICKET FENCE COMMUNITIES
DIMENSION & UTILITY PLAN
SNYDER & ASSOCIATES, INC.



Project No: 122.0136.01
 Sheet C305

WEST DES MOINES, IOWA
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
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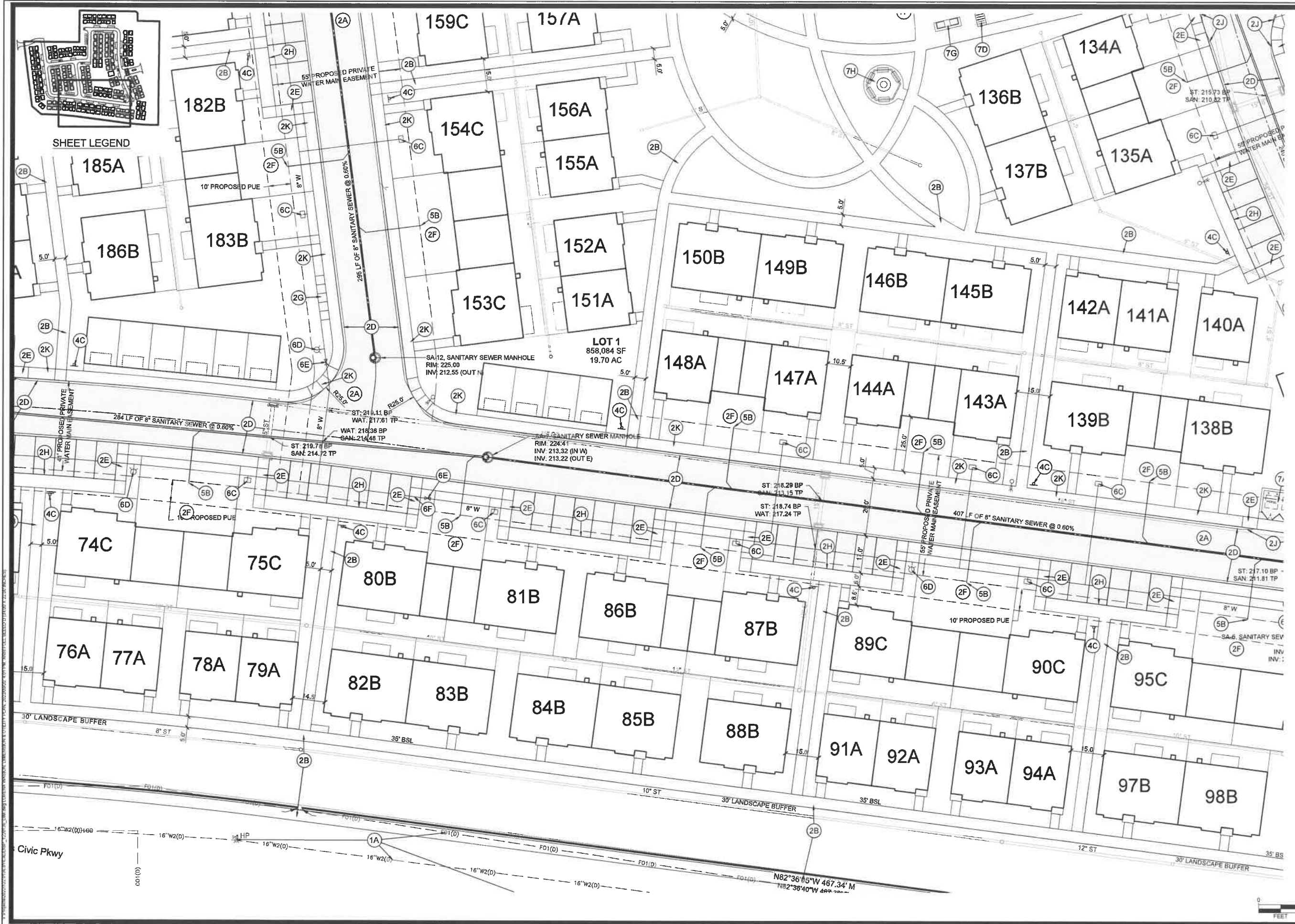


SHEET LEGEND

3	REVISED PER CITY COMMENTS	05-20-22	LJM		
2	REVISED PER CITY COMMENTS	09-07-22	LJM		
1	REVISED PER CITY COMMENTS	06-06-22	LJM		
MARK	REVISION	DATE	BY		
Engineer: KMM	Checked By: BKC	Scale: 1"=40'			
Technician: LJM	Date: 07-01-2022	T-R-S: TTR-RRW-SS			
Project No: 122.0136.01			Sheet C306		

WEST DES MOINES, IOWA
 DIMENSION & UTILITY PLAN
 SNYDER & ASSOCIATES, INC.
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com


SNYDER & ASSOCIATES



3	REVISED PER CITY COMMENTS	09-20-22	LJM
2	REVISED PER CITY COMMENTS	09-07-22	LJM
1	REVISED PER CITY COMMENTS	08-08-22	LJM
MARK	REVISION	DATE	BY
Engineer: KMM	Checked By: BKC	Scale: 1" = 40'	
Technician: LJM	Date: 07-01-2022	T-R-S: TTR-RRW-SS	
Project No: 122.0136.01			Sheet C307

PICKET FENCE COMMUNITIES
DIMENSION & UTILITY PLAN
SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

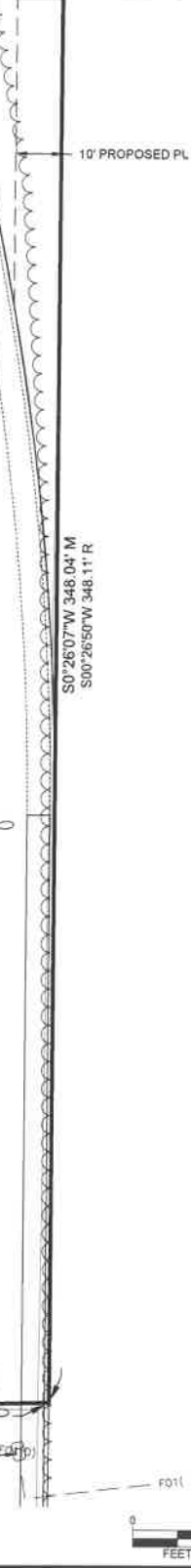


SNYDER & ASSOCIATES

Project No: 122.0136.01
 Sheet C307



SHEET LEGEND



3	REVISED PER CITY COMMENTS	08-20-22	LJM
2	REVISED PER CITY COMMENTS	08-07-22	LJM
1	REVISED PER CITY COMMENTS	08-06-22	LJM
MARK	REVISION	DATE	BY
Engineer: KMM	Checked By: BKC	Scale: 1"=40'	
Technician: LJM	Date: 07-01-2022	T-R-S: TTN-RRW-SS	

PICKET FENCE COMMUNITIES
WEST DES MOINES, IOWA
 DIMENSION & UTILITY PLAN

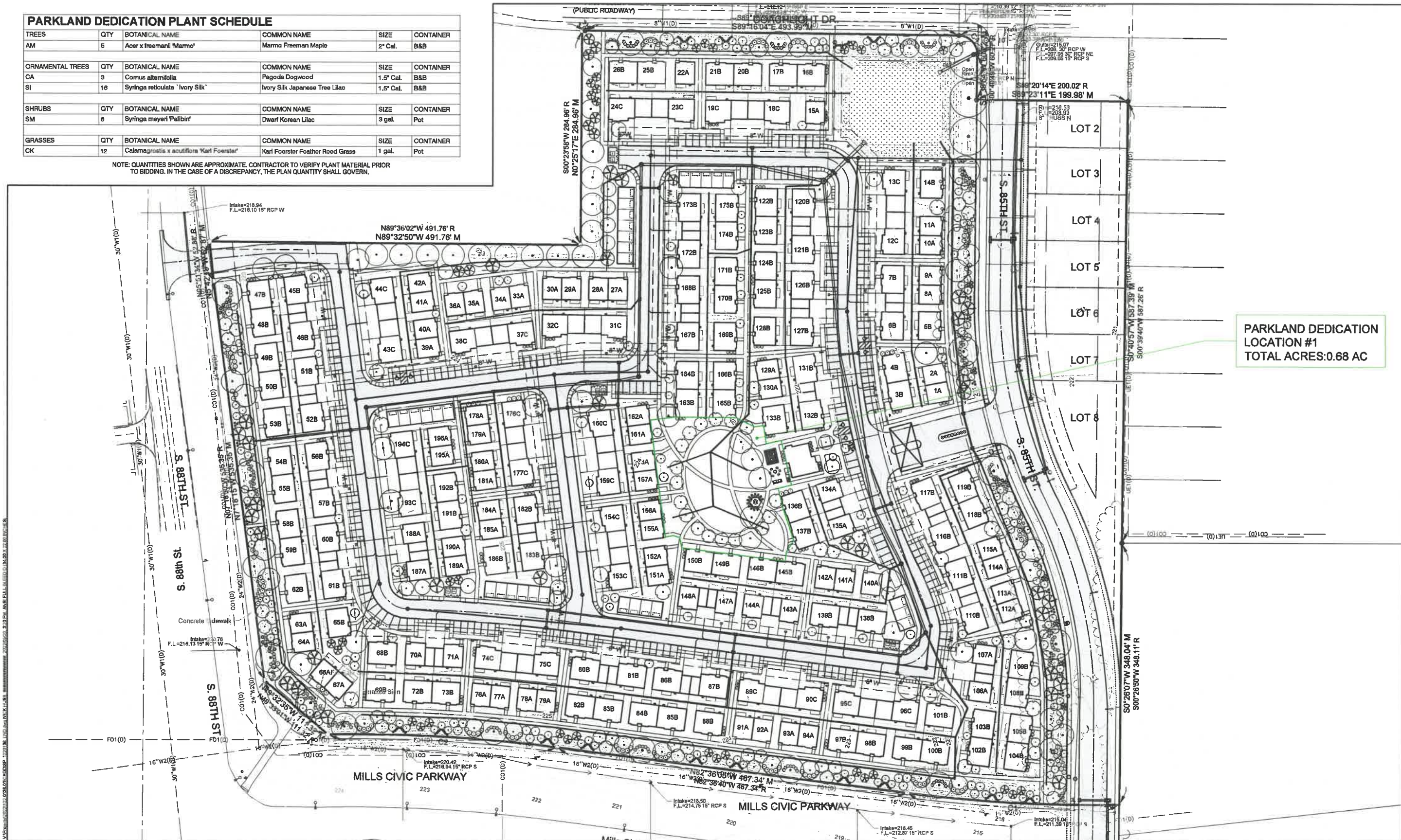
SNYDER & ASSOCIATES, INC.
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com



PARKLAND DEDICATION PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
AM	5	Acer x freemanii 'Marmo'	Marmo Freeman Maple	2" Cal.	B&B
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CA	3	Comus alternifolia	Pagoda Dogwood	1.5" Cal.	B&B
SI	16	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
SM	6	Syringa meyeri 'Palibir'	Dwarf Korean Lilac	3 gal.	Pot
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CK	12	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	Pot

NOTE: QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY PLANT MATERIAL PRIOR TO BIDDING. IN THE CASE OF A DISCREPANCY, THE PLAN QUANTITY SHALL GOVERN.



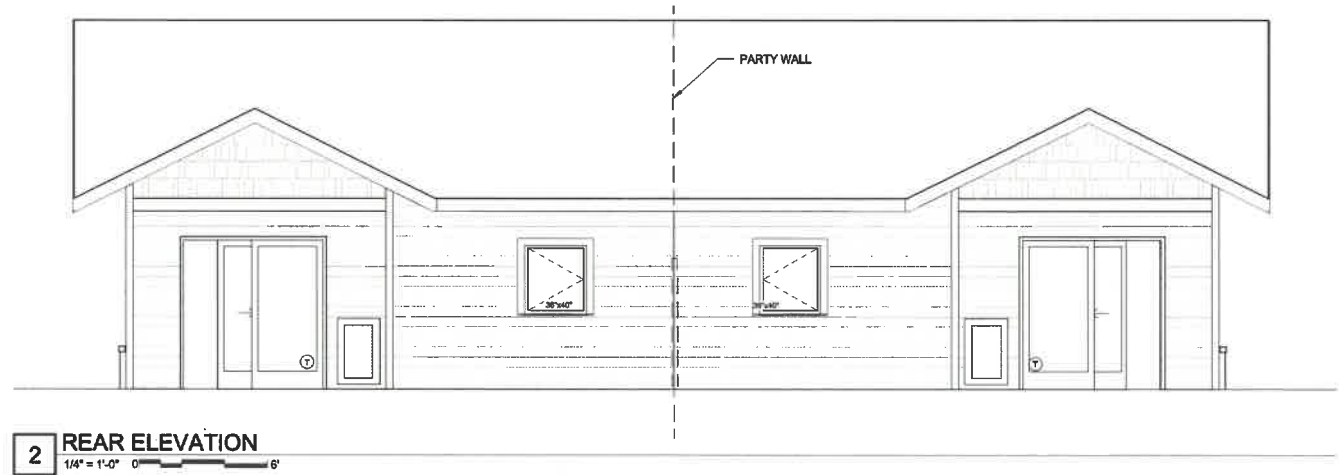
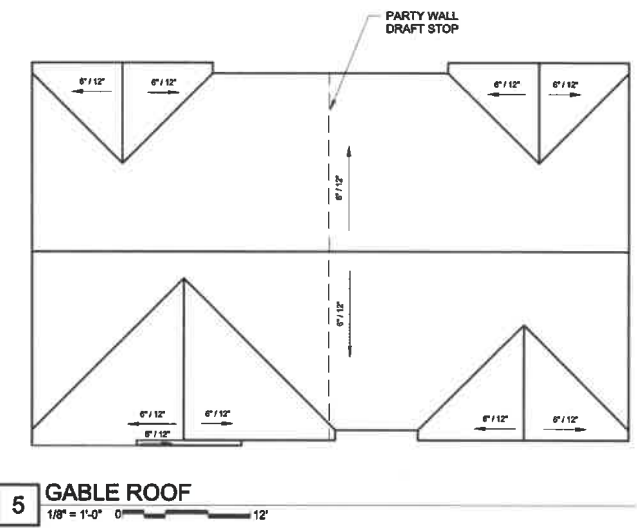
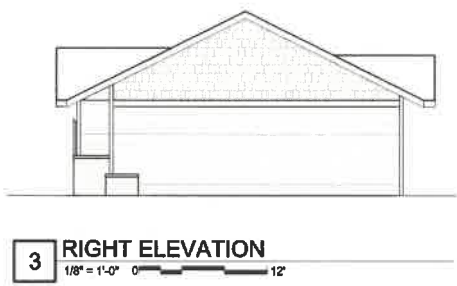
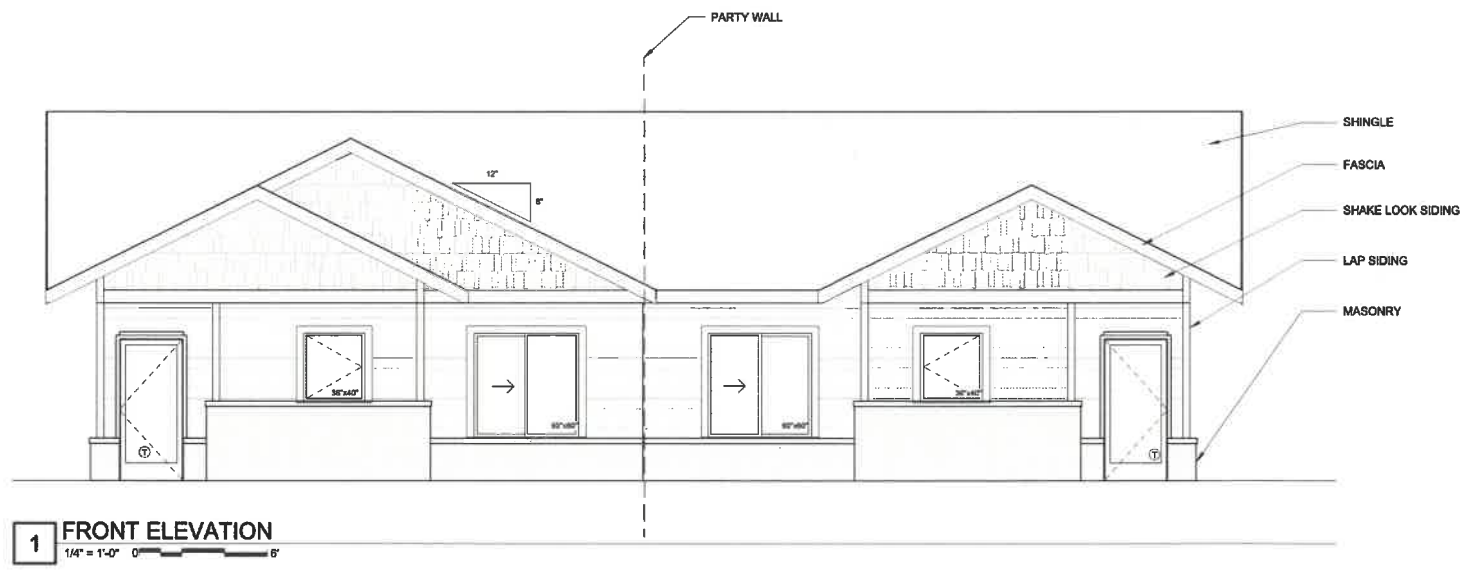
PARKLAND DEDICATION
LOCATION #1
TOTAL ACRES: 0.68 AC



PICKET FENCE COMMUNITIES

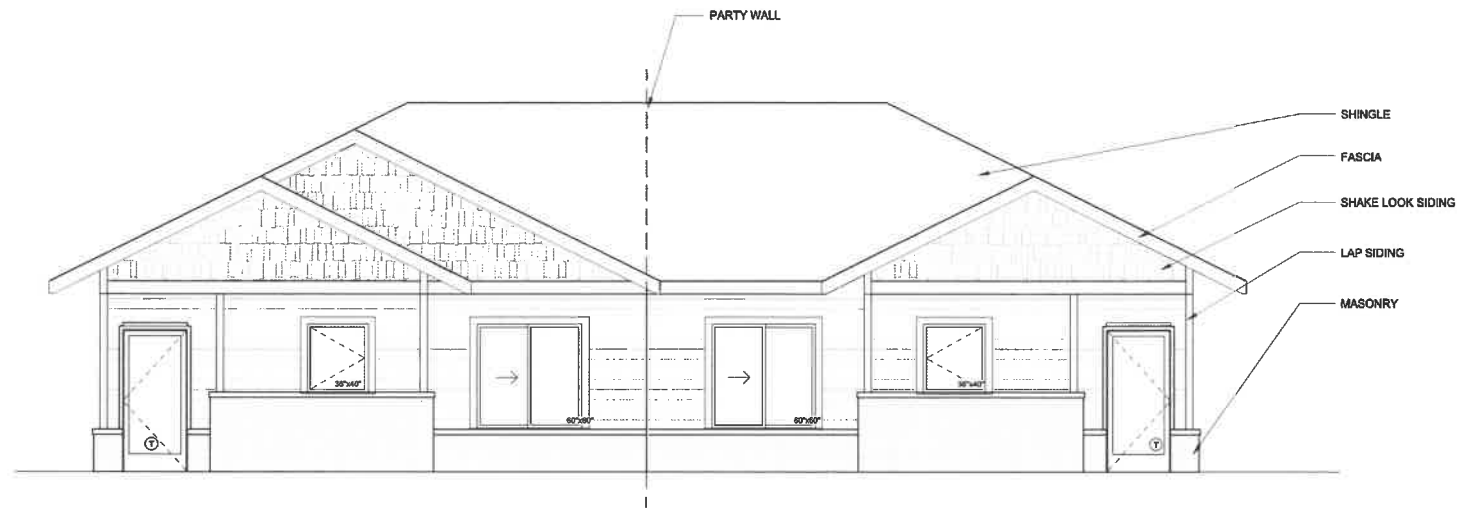
OVERALL PLANTING PLAN

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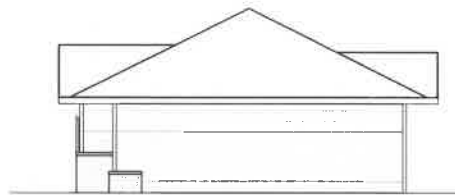


Picket Fences Small Rental Homes
 88th & Mills W Des Moines
 ELEVATIONS- ONE BED NO GARAGE DUPLEX-GABLE

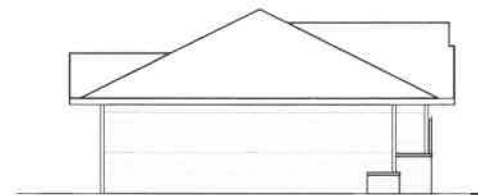
PERMIT SET 2023.08.11



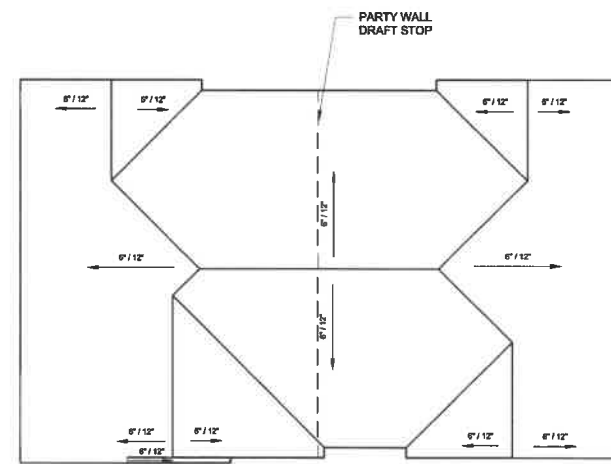
1 **FRONT ELEVATION**
1/4" = 1'-0" 0' 6'



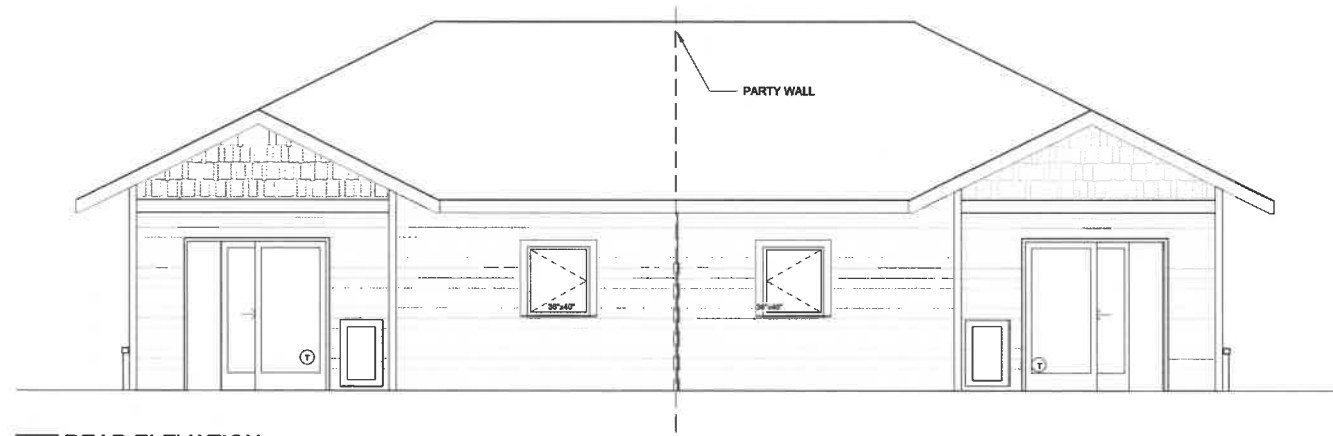
3 **RIGHT ELEVATION**
1/8" = 1'-0" 0' 12'



4 **LEFT ELEVATION**
1/8" = 1'-0" 0' 12'



5 **HIP ROOF**
1/8" = 1'-0" 0' 12'



2 **REAR ELEVATION**
1/4" = 1'-0" 0' 6'

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Picket Fences Small Rental Homes

88th & Mills W Des Moines

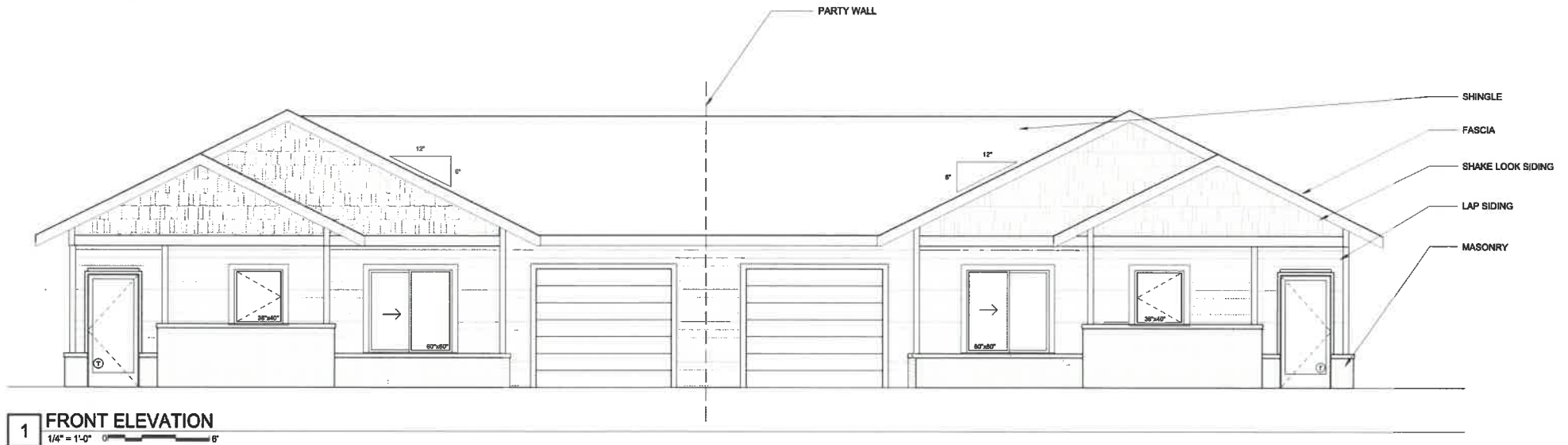
ELEVATIONS- ONE BED NO GARAGE DUPLEX-HIP

PERMIT SET 2022.06.11

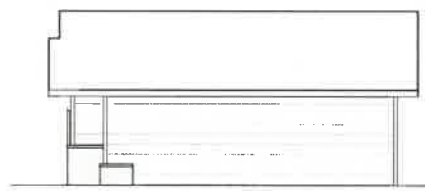
JOB NO. > 5213240

A202

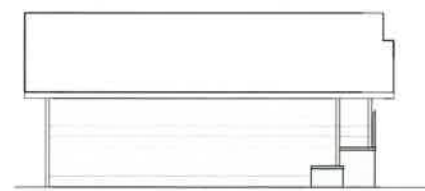
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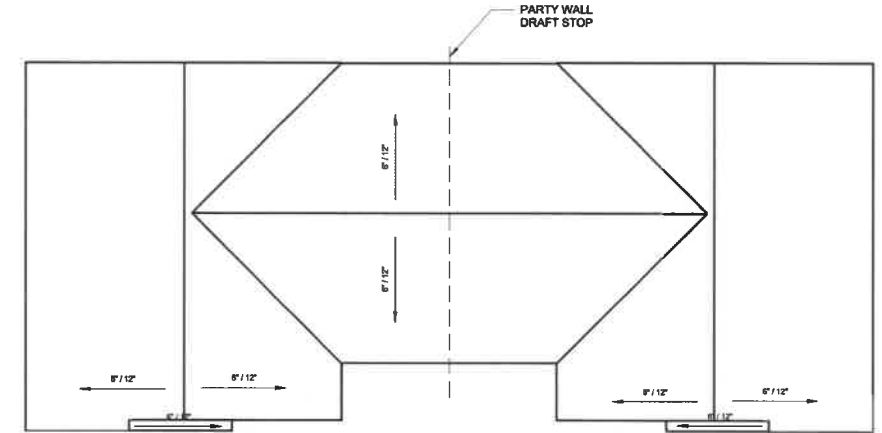
1 FRONT ELEVATION
1/4" = 1'-0" 0" 12" 6"



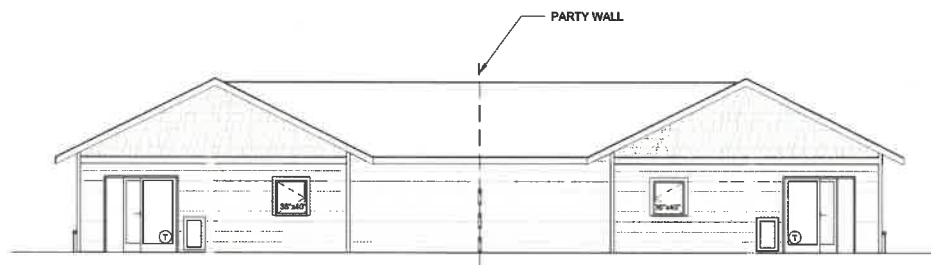
3 RIGHT ELEVATION
1/8" = 1'-0" 0" 12"



4 LEFT ELEVATION
1/8" = 1'-0" 0" 12"



5 GABLE ROOF
1/8" = 1'-0" 0" 12"



2 REAR ELEVATION
1/8" = 1'-0" 0" 12"

Pickel Fences Small Rental Homes
88th & Mills W Des Moines
ELEVATIONS- ONE BED WITH GARAGE DUPLEX

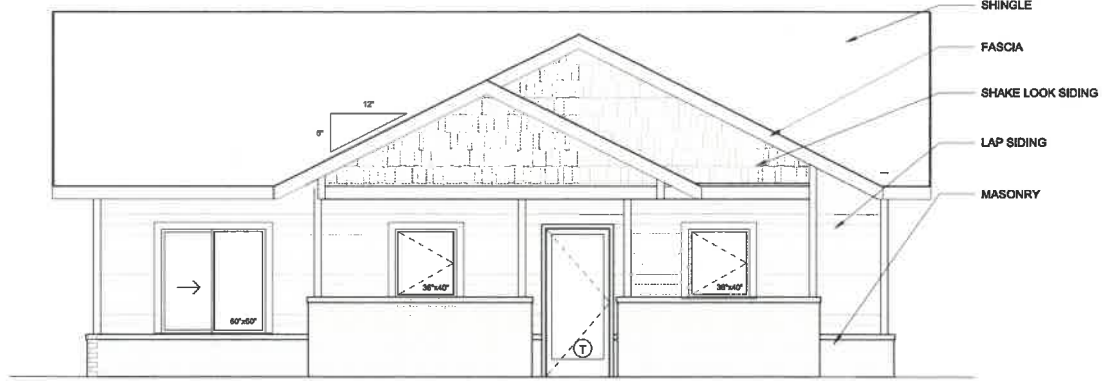
PERMIT SET 2022.08.11

JOB NO. > 5213240

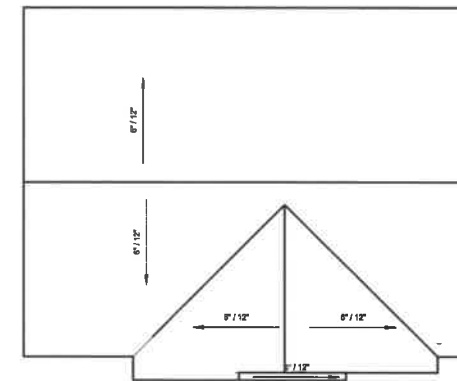
A203

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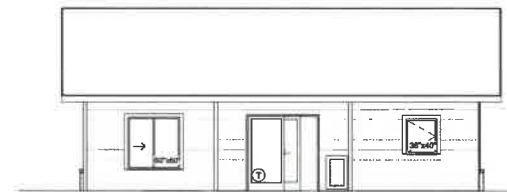
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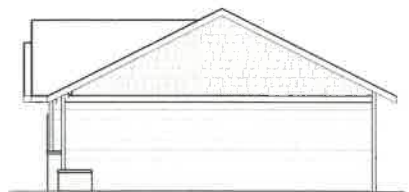
1 FRONT ELEVATION
1/4" = 1'-0" 0" 6'



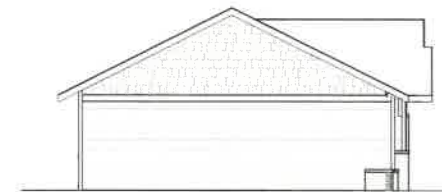
5 GABLE ROOF
1/8" = 1'-0" 0" 12'



2 REAR ELEVATION
1/8" = 1'-0" 0" 12'



3 RIGHT ELEVATION
1/8" = 1'-0" 0" 12'



4 LEFT ELEVATION
1/8" = 1'-0" 0" 12'

Picket Fences Small Rental Homes
88th & Mills W Des Moines
ELEVATIONS - TWO BED NO GARAGE

PERMIT SET 2022.09.11

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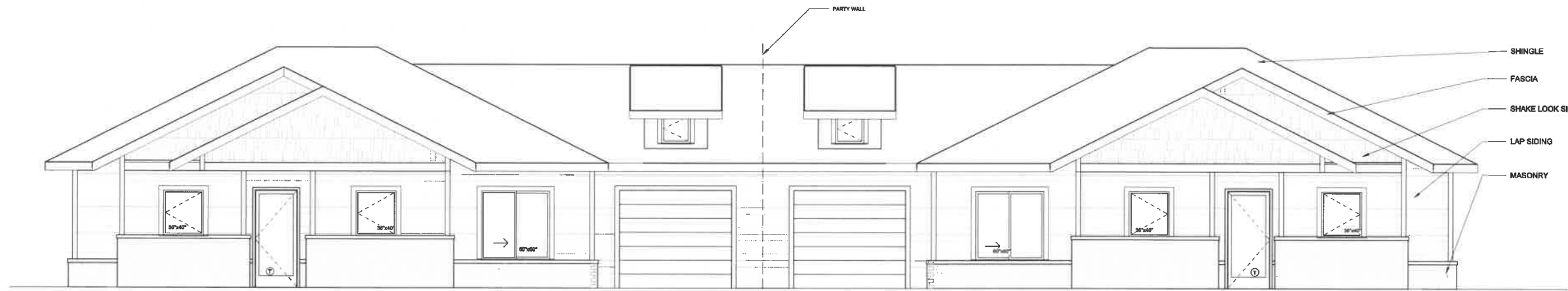
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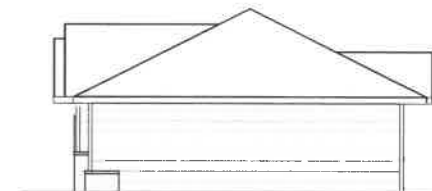
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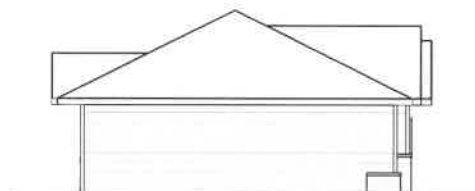
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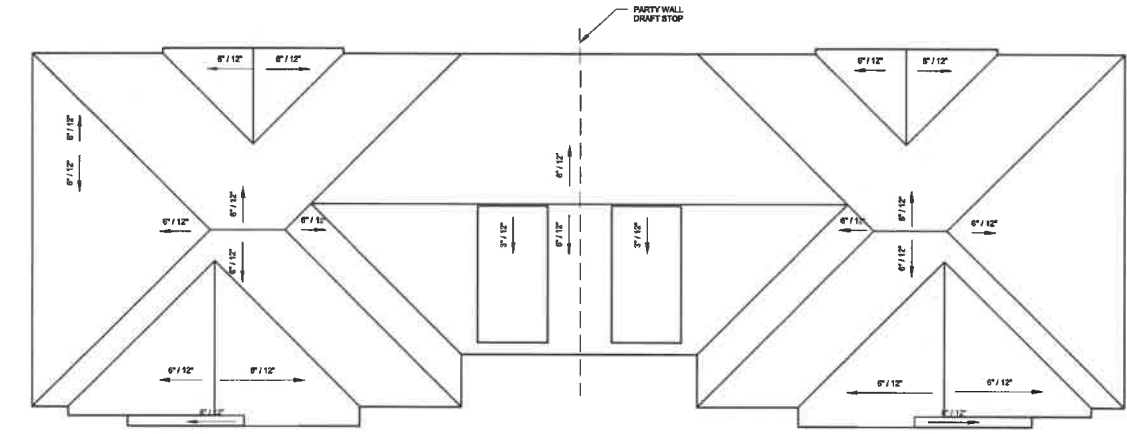
1 FRONT ELEVATION
1/4" = 1'-0" 0' 6"



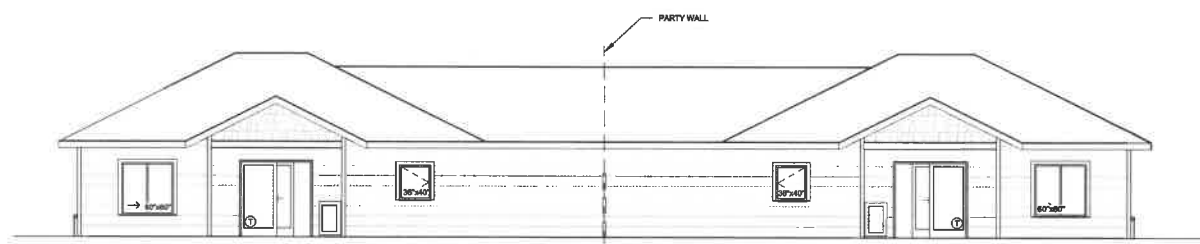
3 RIGHT ELEVATION
1/8" = 1'-0" 0' 12"



4 LEFT ELEVATION
1/8" = 1'-0" 0' 12"



5 HIP ROOF
1/8" = 1'-0" 0' 12"



2 REAR ELEVATION
1/8" = 1'-0" 0' 12"

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PERMIT SET 2022.08.11

JOB NO. > 5213240



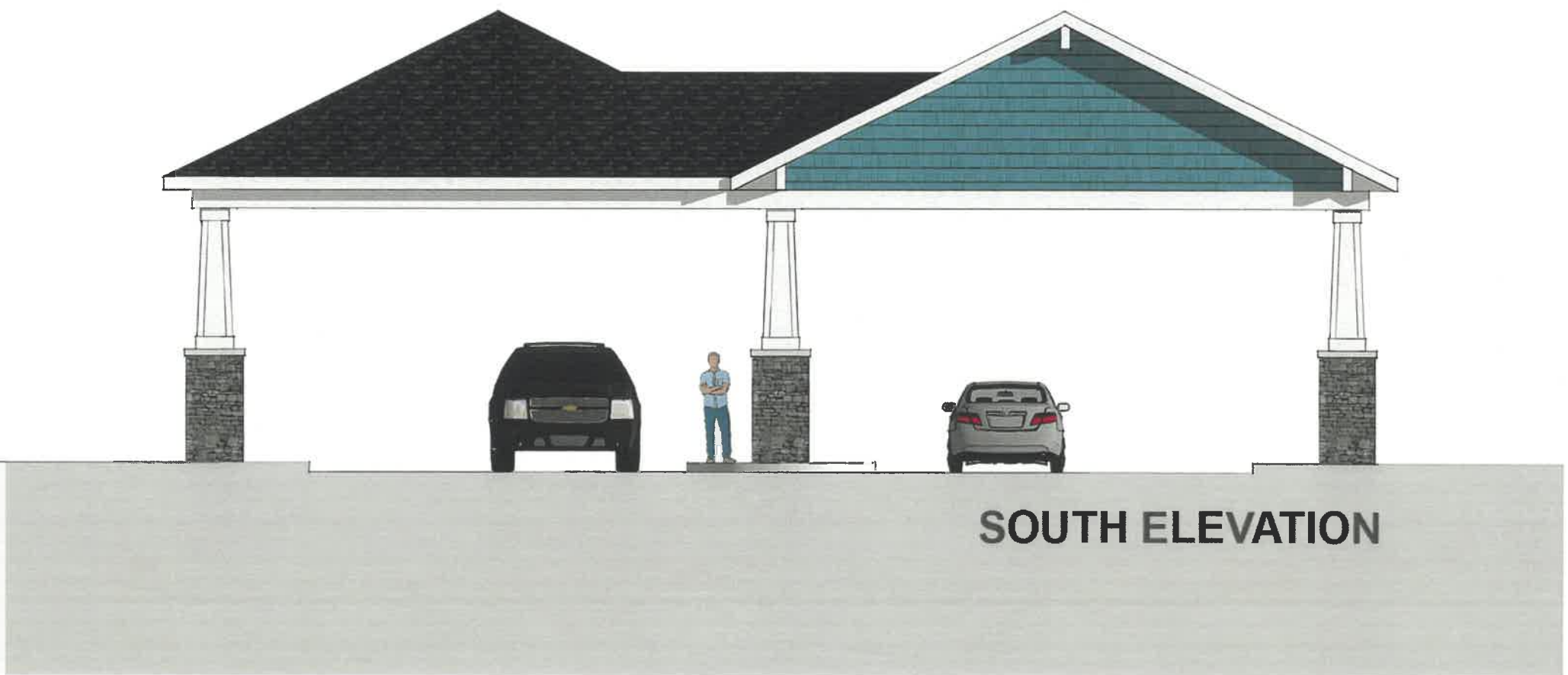
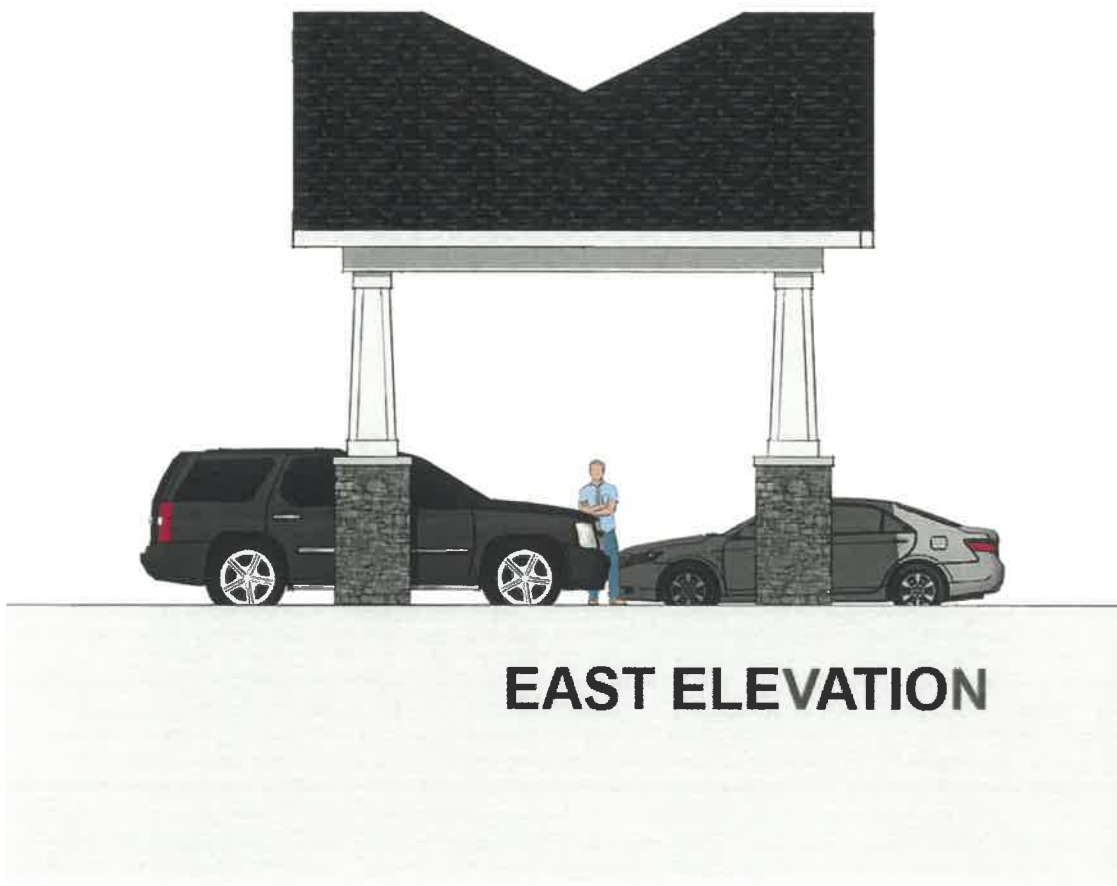
1 TYP. END WALL VISIBLE FROM ROADWAY

1/4" = 1'-0" 0' 6'

SMALL RENTAL HOMES

88th & Mills W Des Moines

2022.09.08



PICKET FENCES SMALL RENTAL HOMES MATERIAL BOARD

PALETTE A:



WOOD SHAKE:
"JAMES HARDIE"
TIMBER BARK

BANDING:
"JAMES HARDIE"
PEARL GRAY

LAP SIDING:
"JAMES HARDIE"
COBBLESTONE

STONE:
"CENTURION STONE"
OHIO LIMESTONE-
TULSA

PALETTE B:



WOOD SHAKE:
"JAMES HARDIE"
BOOTHBAY

BANDING:
"JAMES HARDIE"
SPEARL GRAY

LAP SIDING:
"JAMES HARDIE"
COBBLESTONE

STONE:
"BELDEN BRICK"
BELCREST 360

PALETTE C:



WOOD SHAKE:
"JAMES HARDIE"
MOUNTAIN SAGE

BANDING:
"JAMES HARDIE"
PEARL GRAY

LAP SIDING:
"JAMES HARDIE"
COBBLESTONE

STONE:
"BELDEN BRICK"
461-463 VeTour

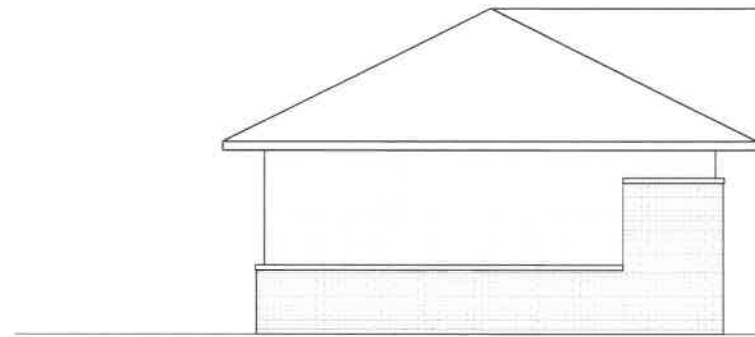
Y | X | W | V | U | T | S | R | P | N | M | L | K | J | H | G | F | E | D | C | B | A

15

14

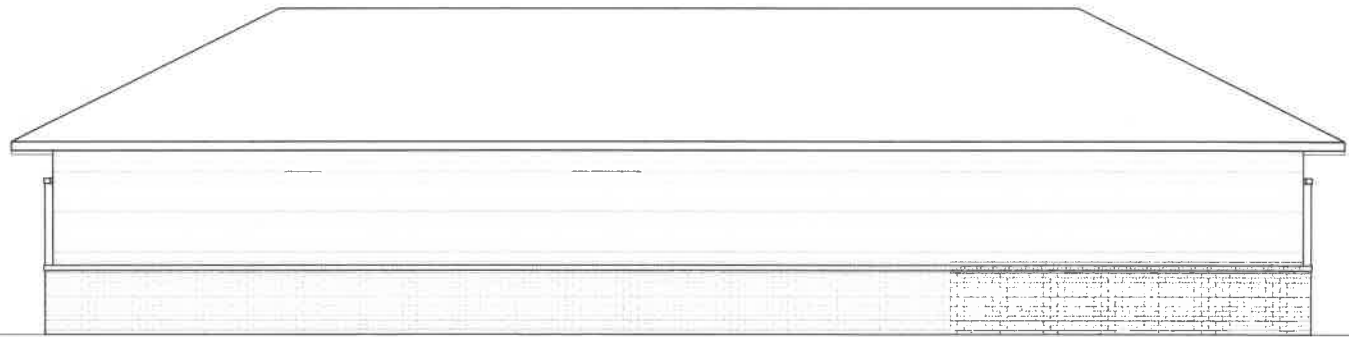
13

12



1 LEFT ELEVATION

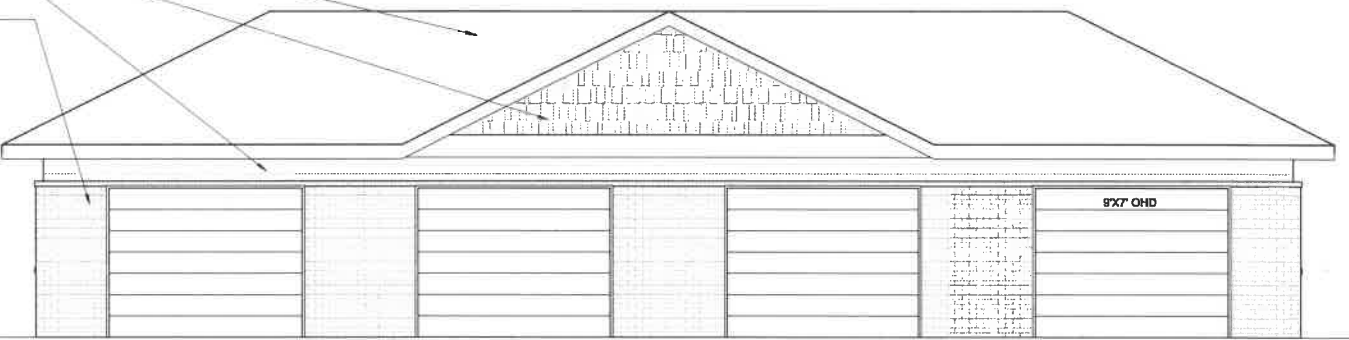
1/4" = 1'-0" 0 6'



2 REAR ELEVATION

1/4" = 1'-0" 0 6'

- SHINGLES TO MATCH HOUSE UNITS
- SHAKE LOOK SIDING
- LAP SIDING
- MASONRY



4 FRONT ELEVATION

1/4" = 1'-0" 0 6'

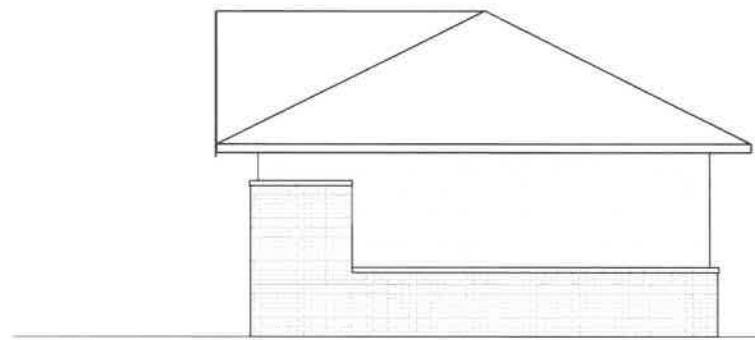
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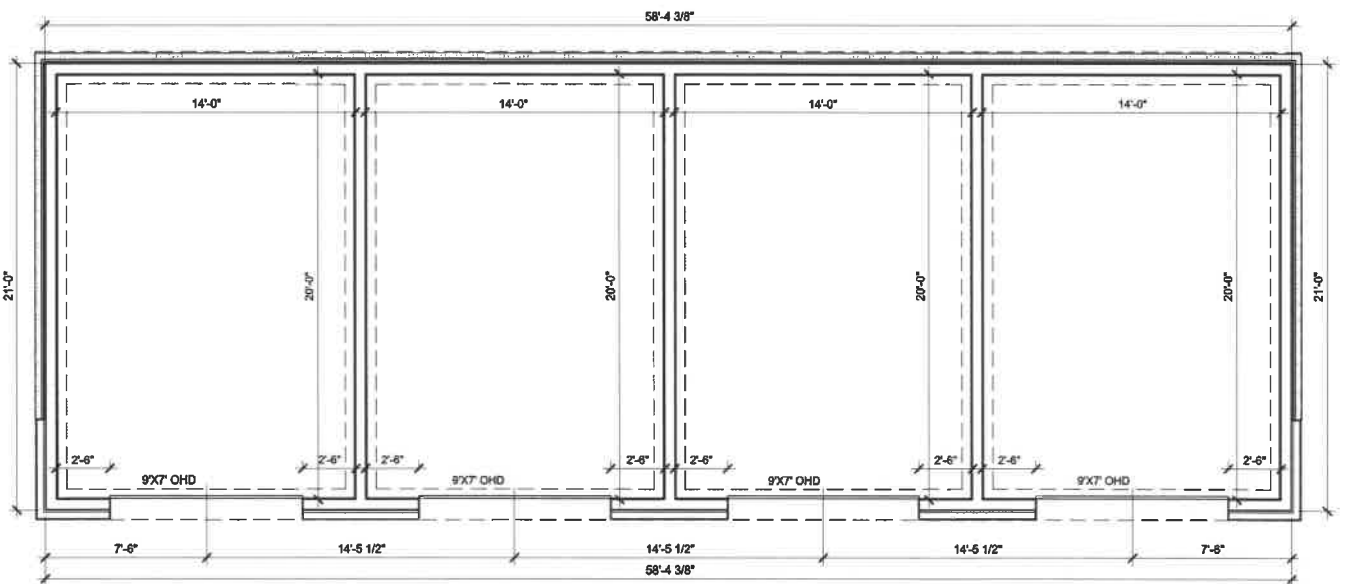


3 RIGHT ELEVATION

1/4" = 1'-0" 0 6'

6

5



5 FLOOR PLAN

1/4" = 1'-0" 0 6'

3

2

1

4

3

2

1

1

Y | X | W | V | U | T | S | R | P | N | M | L | K | J | H | G | F | E | D | C | B | A



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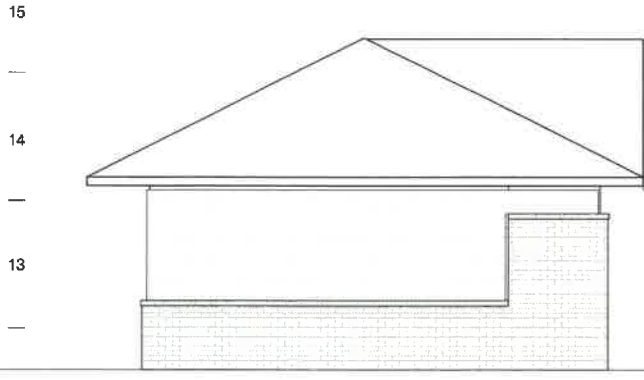
Preliminary
Not For
Construction

Jerry Slusky
Small Rental Homes
88th & Mills West Des Moines, IA
4 DOOR DETACHED GARAGE UNITS

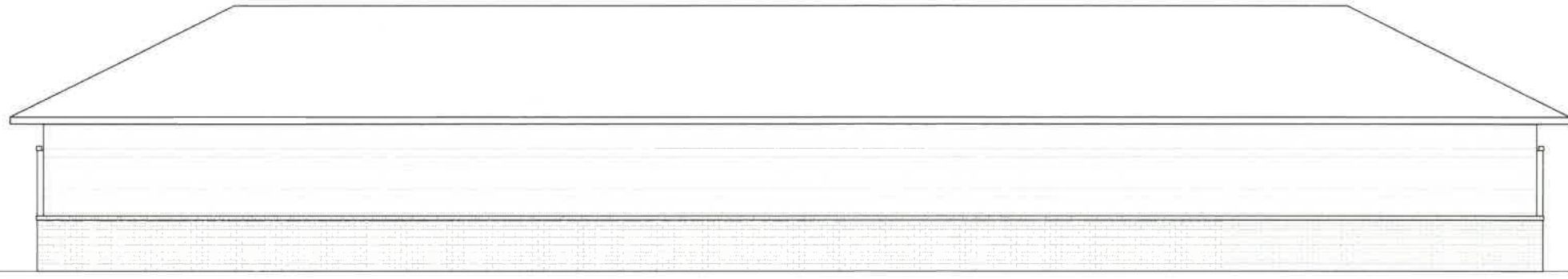
PERMIT SET	DATE
	2022.07.13

JOB NO. > 5213240

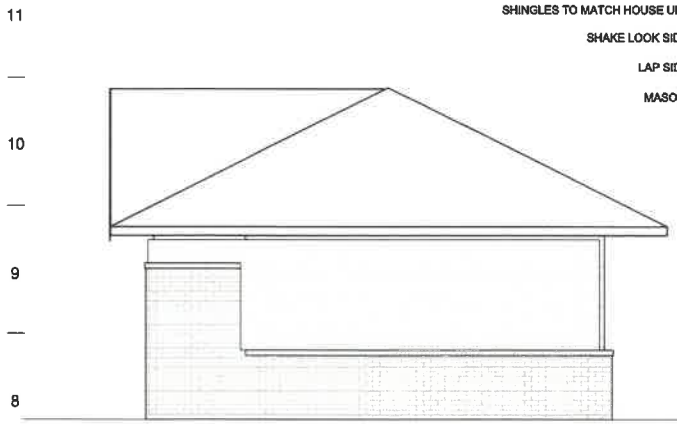
A109



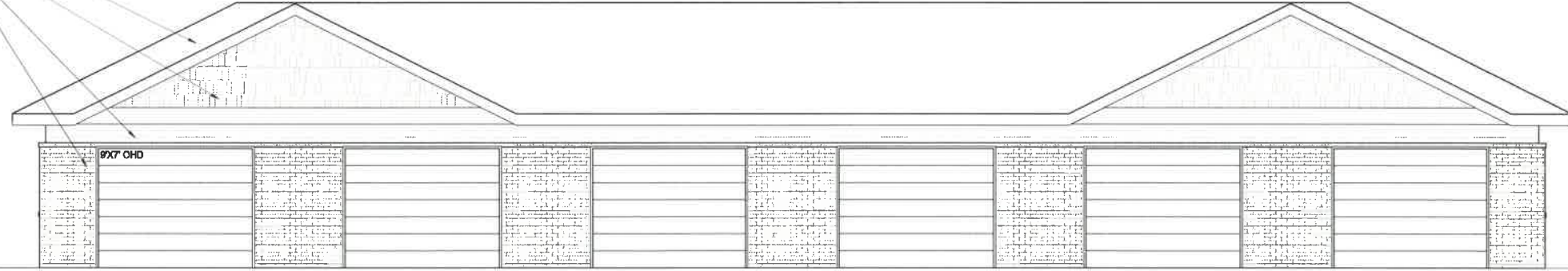
1 LEFT ELEVATION
1/4" = 1'-0" 0 5'



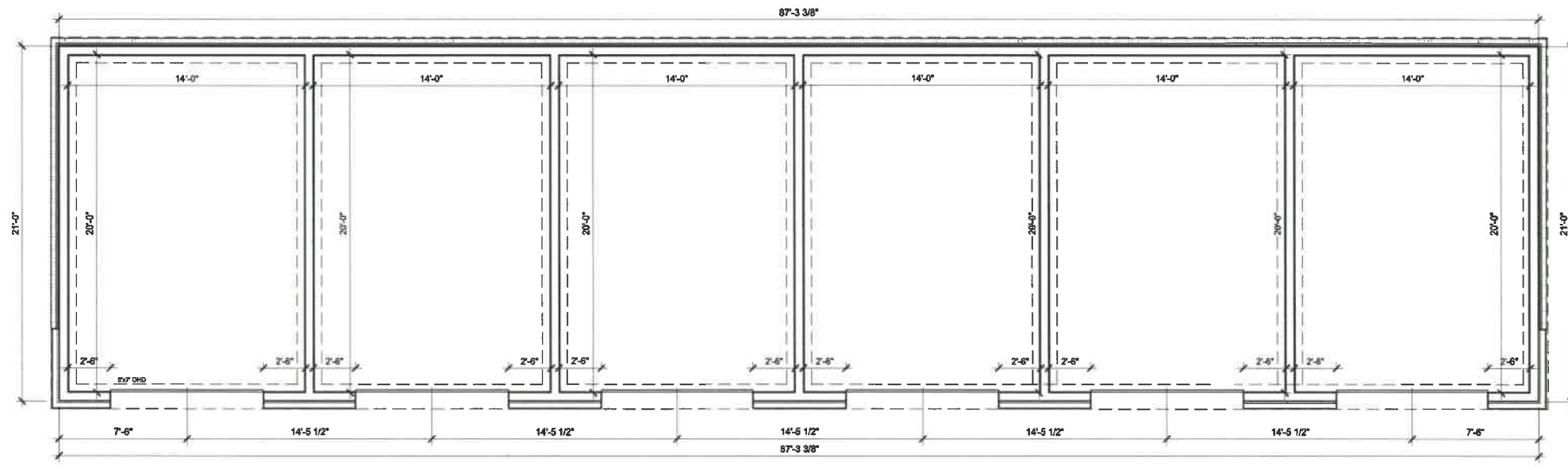
2 REAR ELEVATION
1/4" = 1'-0" 0 5'



3 RIGHT ELEVATION
1/4" = 1'-0" 0 5'



4 FRONT ELEVATION
1/4" = 1'-0" 0 5'



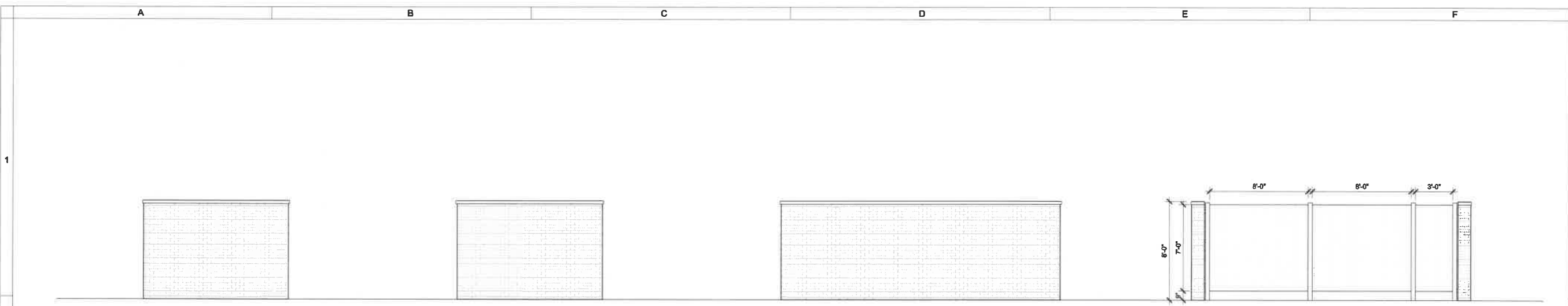
5 FLOOR PLAN
1/4" = 1'-0" 0 5'

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Preliminary
Not For
Construction

Jerry Slusky
Small Rental Homes
88th & Mills West Des Moines, IA
6 DOOR DETACHED GARAGE UNITS

PERMIT SET 2022.07.15

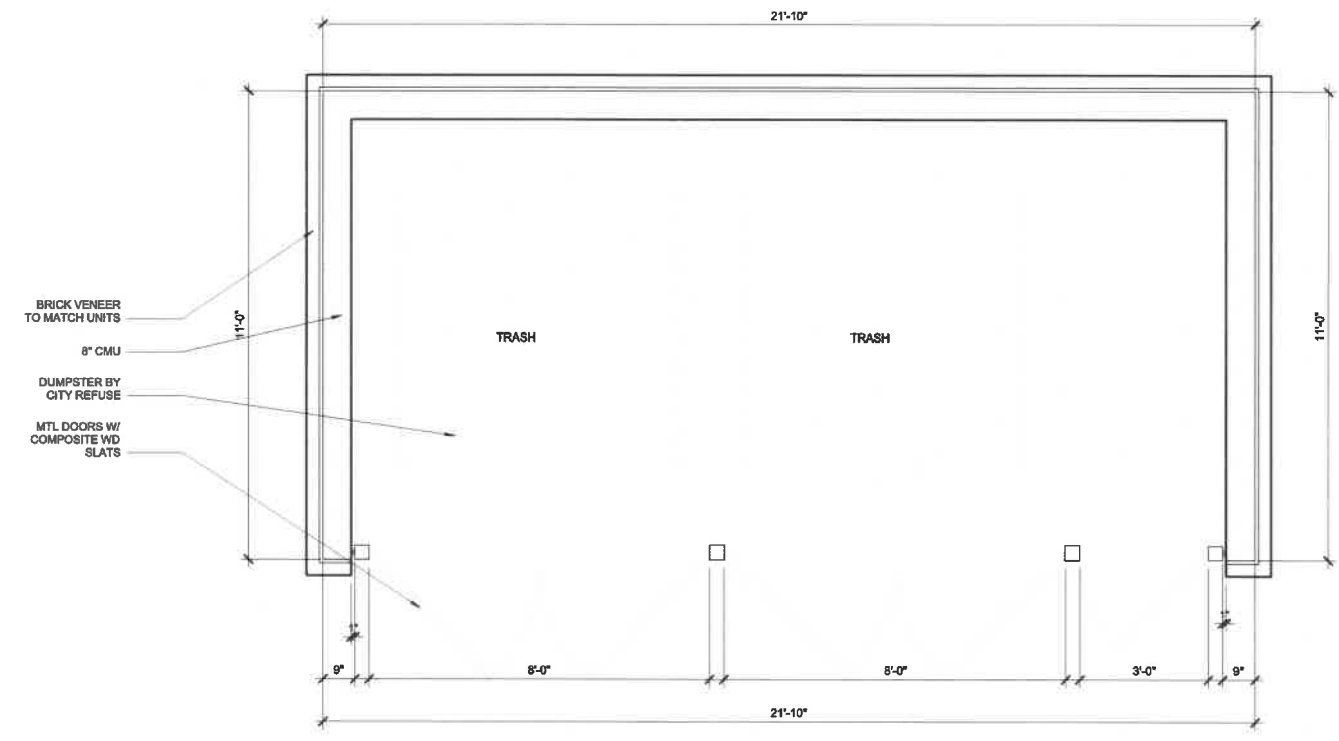


A2 TRASH ENCLOSURE LEFT ELEVATION
1/4" = 1'-0" 0" 6"

B2 TRASH ENCLOSURE RIGHT ELEVATION
1/4" = 1'-0" 0" 6"

D2 TRASH ENCLOSURE REAR ELEVATION
1/4" = 1'-0" 0" 6"

E2 TRASH ENCLOSURE FRONT ELEVATION
1/4" = 1'-0" 0" 6"



C4 TRASH ENCLOSURE PLAN
1/2" = 1'-0" 0" 3"

Autodesk Inventor 2023
Project: 5213240
Date: 10/12/23
Time: 10:00 AM

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION
NO. PZC-22-090

WHEREAS, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, the applicant, Picket Fence Communities, LLC, and property owner, Hurd Riverview, LLC, requests approval of a Preliminary Plat for the purpose of subdividing that approximately 22.82-acre property generally located at the northeast corner of S. 88th Street and Mills Civic Parkway as depicted on the location map included in the staff report. The applicant proposes the creation of 1 lot for multi-family development, 7 lots for single family development, and 1 street lot to be dedicated to the city; and

WHEREAS, additionally, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant Picket Fence Communities, LLC, and property owner, Hurd Riverview, LLC, requests approval of the Site Plan for the approximately 22.82-acre property located at the northeast corner of S. 88th Street and Mills Civic Parkway for the purpose of constructing 1 and 2 story, single family detached and bi-attached homes within lot 1, along with associated site improvements; and

WHEREAS, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

WHEREAS, the Site Plan complies with the findings stated in the applicable provisions of Title 9, Chapter 1, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Preliminary Plat and Site Plan (PPSP-005675-2022), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on September 26, 2022.

Jennifer Drake, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on September 26, 2022, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary