

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: December 12, 2022

ITEM: Val Air Ballroom, 301 Ashworth Road – Approve Level 2 Minor Modification to Site Plan to allow building and site improvements and accept legal documents – VAB, LLC – MML2-005811-2022

Resolution: Approval of Level 2 Minor Modification to Site Plan and Acceptance of Associated Legal Documents

Background: Doug Saltsgaver with Engineering Resource Group, Inc., on behalf of the applicant and property owner, VAB, LLC, requests approval of the Level 2 Minor Modification to Site Plan for the approximately 8.5-acre property located at 301 Ashworth Road. The applicant proposes to renovate the interior and exterior of the existing Val Air Ballroom building and plant new landscaping around the building.

Staff Review & Comment:

- **Financial Impact:** As a part of a development agreement for this site, the City will be installing streetscape landscaping, street furniture, and ornamental stones along the site frontage at the time of reconstruction of Ashworth Road. This construction has not been budgeted at this time, so there is no specific timeframe of when this will occur. In addition, the development agreement proposes a 10-year property tax rebate and rebate of specific development fees for this site.
- **Key Development Aspects:**
 1. **Building/Site Modifications Proposed:** The applicant is proposing modifications to the interior and exterior of the Val Air Ballroom building. This will include raising the roof of the building to accommodate stage modifications and also change in building colors and modifications to the interior and exterior aspects of the HVAC system. There will also be new landscaping added to the site.
 2. **Mechanical Roof Top Unit (RTU) Screening:** Modifications to the HVAC system will necessitate the need for a new mechanical unit to be located on the roof of the building. City Code requires that RTU's be screened with the use of a parapet wall or other screening system. The roof of the Val Air Ballroom building is designed as a sloped roof, so there is no parapet wall that can be used for screening. The applicant is working with the State Historic Preservation Office (SHPO) for historical tax credits for the renovations to the building. The SHPO has indicated that adding screening to this unit would increase the visibility of this screening structure since the screen would need to be at a height to sufficiently screen the unit and be located 36" from the unit to allow for maintenance and thus would create a larger presence of the RTU and screen structure on the roof. The applicant is requesting a waiver of this screening requirement. To help reduce the impact of the unit on the roof, the applicant has placed the RTU behind the existing marquee tower at the building entrance to aid in hiding the unit. Also, the applicant will paint the RTU a color to match the roof to blend in with its surroundings. Staff recommends a condition of approval that the City Council grant a waiver from the RTU screening requirements.
 3. **Easements and Agreements:** The applicant has submitted executed documents for Sanitary Sewer Easement, Irrevocable offer of Right of Way, and Streetlight Agreement. The Sanitary Sewer Easement is for an existing sanitary sewer main located at the front of the property. The existing easement isn't wide enough to accommodate the depth of this sewer, so additional easement width is needed to cover the sewer depth. The Irrevocable Offer of Right of Way is for the future dedication of right of way at the time that Ashworth Road is widened/reconstructed in the future. The Streetlight Agreement is an agreement for the future installation of streetlights

along the frontage of the Val Air Ballroom site. This installation will most likely occur at the time of reconstruction of Ashworth Road.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date:

Vote:

Recommendation:

Recommendation: Approve the Level 2 Minor Modification to Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The City Council granting a waiver from the roof top unit screening requirement based on State Historic Preservation Office (SHPO) guidelines to reduce the impact of the RTU and the associated screening structure on the building.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Planning and Zoning Commission	December 12, 2022
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	11/21/22
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



Val Air Ballroom Rehabilitation Project

301 Ashworth Road - Permit Set/Construction Documents Revision Date: December 2, 2022

JURISDICTION

City of West Des Moines
Permit and Development Center
City Hall
4200 Mills Civic Parkway
West Des Moines, Iowa 50320
(515) 222-3600
Contact: Dennis Patrick
Building Official Administrator
(515) 222-3437
patrick@wdm.iowa.org

OWNER

Sam Summers
Des Moines, Iowa 50312-4203
Contact: Sam Summers
Tel. 515 419-3352
sam@firstfestconcerts.com

GENERAL CONTRACTOR

Hildreth Construction Services
2754 Cumming Avenue
Cumming, Iowa 50081
Contact: Mark Hildreth
Tel. 515 971-0124
hildreth@gmail.com

TYPE OF OCCUPANCY (Chapter 3):
TYPE A-3 (Assembly)

TYPE OF CONSTRUCTION (Chapter 6):
TYPE III-B

FIRE SUPPRESSION / LIFE SAFETY
Shall be "Design/Build" by the
Subcontractor & shall be submitted under
separate cover.

MECHANICAL / ELECTRICAL /
PLUMBING
Shall be "Design/Build" by the
Subcontractor & shall be submitted under
separate cover.

USE OF DOCUMENTS
Drawings, specifications and other
documents prepared by the architect are
instruments of the Architect's service and
are for the Owner's use solely with
respect to this Project. The Architect shall
retain all common law, statutory and
other reserved rights, including the
copyright. Upon completion of the Project
or termination of this Agreement, the
Owner's right to use the instruments of
service shall cease. When transmitting
copyright-protected information for use on
the Project, the transmitting party
represents that it is either the copyright
owner of information, or has permission
from the copyright owner to transmit the
information for its use on the Project.
Goche' Inclusions llc will be the design
architect for the project as well as the
architect of record.

ARCHITECT
Goche' Inclusions llc
2026 Country Club Boulevard
Ames, Iowa 50014
Contact: Peter P. Goche'
goche99@gmail.com
(515) 520 3384

I hereby certify that the portion of
this technical submission described
below was prepared by me or
under my direct supervision and
responsible charge. I am a duly
registered architect under the laws
of the state of Iowa.



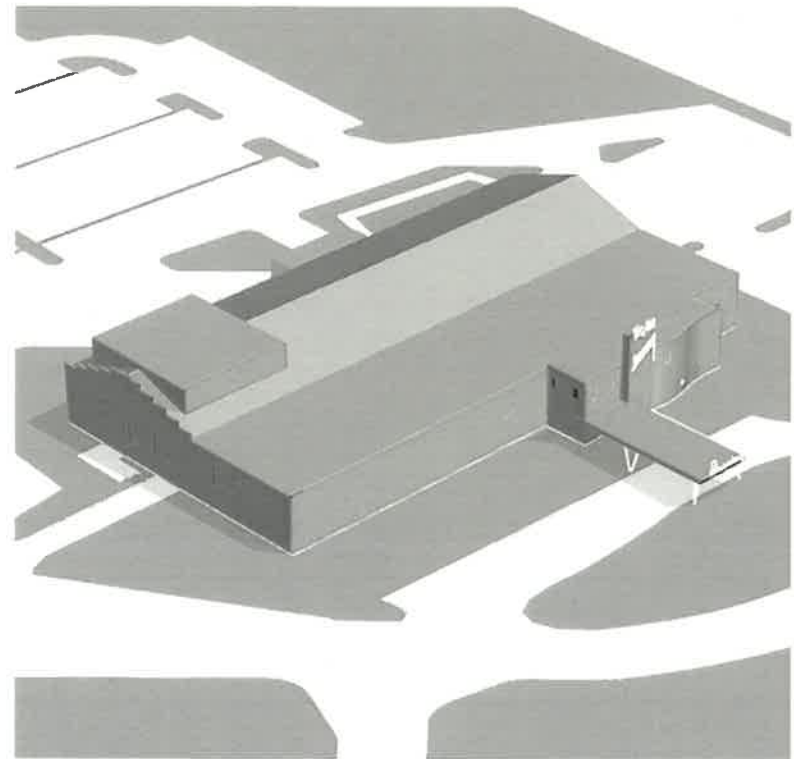
Peter P. Goche' AIA

Signature

Discipline: Architecture
Iowa Registration Number: 03748
License Renewal Date: June 30, 2024
Sheets covered by this seal: A1.0-
AB.1
Date Issued: September 8, 2022
Revised Issue: October 20, 2022



1 VICINITY PLAN
NTS
ZONING: CMC
PARCEL NO.: 32000982000000



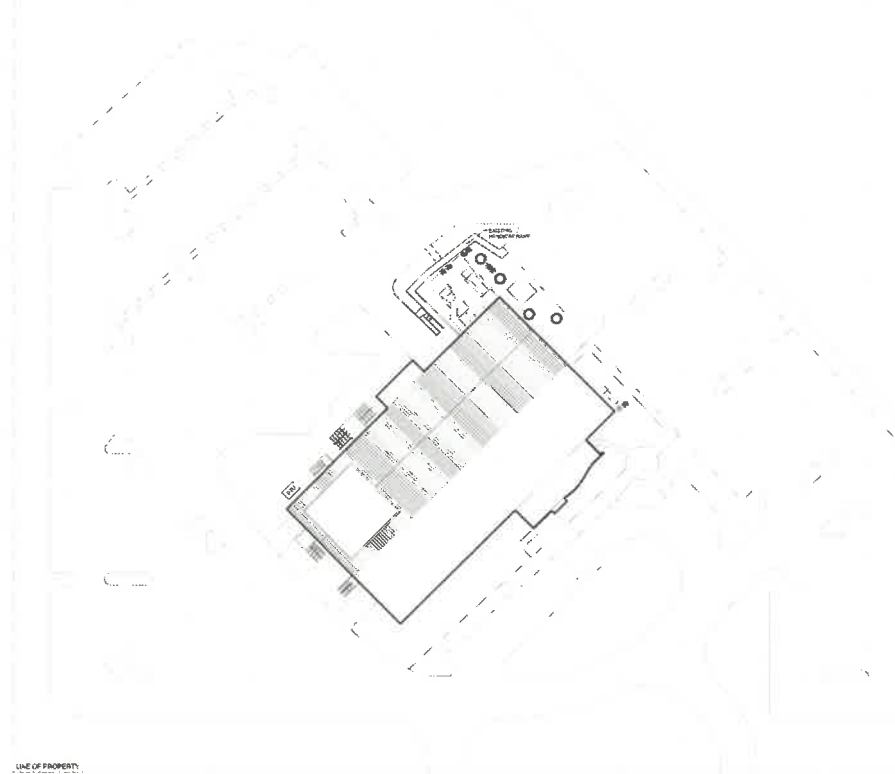
2 3D PERSPECTIVE (NTS)

GENERAL NOTES

- These documents and the design they represent are the property of Goche' Inclusions llc. No changes to these documents either in whole or in part may be made without written consent. Refer to civil, geotechnical, environmental, structural, mechanical, electrical, plumbing, fire and life-safety documents for additional information or requirements. References to other disciplines is conceptual for purposes of coordination with architectural design only.
- Before commencement of any work, contractor shall give all notices and obtain all permits. Contractor shall comply with all applicable codes, laws, ordinances, rules, regulations, requirements of governing agencies and authorities, hazardous material application and disposal requirements, etc.
- The ICC/ANSI is the American nation standard for accessible and usable buildings and facilities and is subject to legal interpretation through the judicial process. Reasonable care was exercised in interpreting the guidelines and all guidelines may not be indicated on these plans; however, failure to identify a guideline does not give this contractor the right to violate them. The contractor must comply with all guidelines as required by the ICC/ANSI A117.1-2003.
- These drawings represent the completed project, at time of substantial completion. The intent of the drawings is to include all items necessary for the proper execution and completion of the work. Unless otherwise noted, they do not represent the means and methods of construction. Sequencing and means and methods of construction shall be the sole responsibility of the general contractor.
- The drawings do not contain information with regard to construction safety procedures. The contractor is solely responsible for all construction safety and shall perform all work in accordance with governing authorities construction safety guidelines.
- Verify existing conditions prior to fabrication and prior to proceeding with the work, and notify the architect immediately of significant discrepancies which may impact aesthetics, durability, cost and/or schedules.
- Do not scale drawings in order to determine intended layout or dimensions. If dimensions are in question the contractor shall be responsible for obtaining clarification before continuing with work. Drawings are intended only as a graphically correct representation of work to be accomplished.
- Remove and replace material damaged during the course of construction to the satisfaction of the owner. Repair existing public facilities damaged during the course of construction to the satisfaction of the governing authority.
- All requirements not followed, including substitutions not properly approved and authorized, in writing, may be considered defective.
- Comply with all weather-related construction requirements. Do not build with or on frozen, saturated, contaminated or inappropriate substrates or conditions.
- By submitting shop drawings, product data and samples, the general contractor and sub-contractor has verified and approved the information contained within. The general contractor's review and approval shall be shown on each submittal prior to the submission to the architect.
- Contractor to verify all dimensions for purposes of cost estimating and construction.
- All new wall assemblies to be constructed in a manner that provides flat planes that are plumb and straight.
- All new ceiling planes are to be constructed in a manner that provides a level and flat surface.
- All exposed conduit to corner pull elbows at all 90 degree turns. Any conduit bends otherwise to be approved by architect.

SHEET INDEX

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- A2.3 LOWER LEVEL FLOOR PLAN
- A2.4 LOWER LEVEL EXISTING REFLECTED CEILING PLAN
- A2.5 LOWER LEVEL REFLECTED CEILING PLAN
- A2.6 UPPER LEVEL/MEZZANINE OFFICE DEMOLITION PLANS
- A2.7A UPPER LEVEL/MEZZANINE OFFICE PLANS
- A2.7B UPPER LEVEL FLOOR FINISH PLAN
- A2.8 UPPER LEVEL EXISTING REFLECTED CEILING PLAN
- A2.9A UPPER LEVEL/MEZZANINE OFFICE REFLECTED CEILING PLAN
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- A2.10 ENTRY CANOPY ROOF PLANS
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- A2.12 EXISTING ROOF PLAN
- A2.13 NEW ROOF PLAN
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- A3.1 EXTERIOR ELEVATIONS
- A4.0 BUILDING SECTIONS
- A5.0 WINDOW/COLUMN COVER DETAILS
- A6.0 ROOF/CEILING DETAILS
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- AB.0 EXTERIOR RAMP/DOCK HANDRAIL & GUARDRAIL DETAILS
- AB.1 INTERIOR RAMP HANDRAIL & GUARDRAIL DETAILS



3 PERIMETER PLAN
SCALE: 1/64" = 1'-0"

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY - APPROVED PLANS ON FILE WITH THE CITY

Val Air Ballroom Rehabilitation Project

Goche' Inclusions llc

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2026 Country Club Boulevard Ames, Iowa 50014
Tel 515 520 3384 goche99@gmail.com

Attribution of Credit
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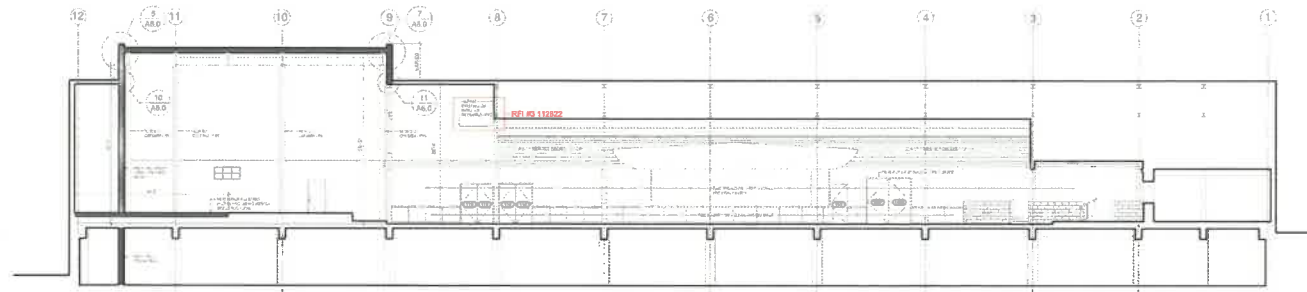
RFI #3 REVISIONS

Project No. 002-21
Date: December 2, 2022

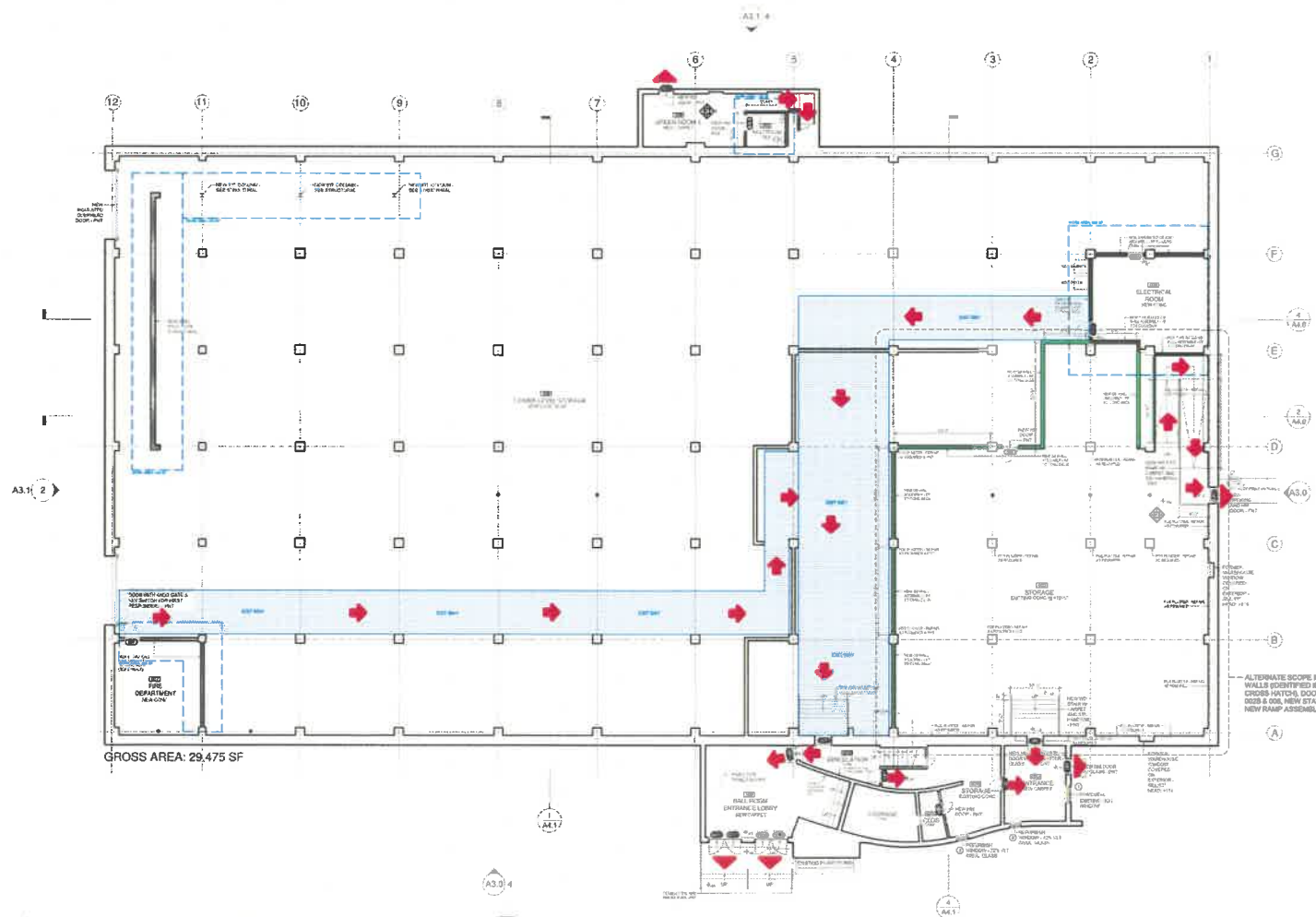
Code Reference
2018 International Building Code (IBC)
2018 International Existing Building Code (IEBC)
2009 American National Standard (ANSI)
2017 International Mechanical Code
2017 National Electric Code
2018 Uniform Plumbing Code
NFPA 54

NOTES/VICINITY PLAN
sheet A1.0

Val Air Ballroom Rehabilitation Project



1 CODE SECTION - LONGITUDINAL
1/16" = 1'-0"



2 CODE PLAN - LOWER LEVEL
1/16" = 1'-0"

OCCUPANCY SCHEDULE

LEVEL	NAME	ROOM OCCUPANCY	AREA	SF PER PERSON	PERSONS
LOWER LEVEL	001A	SPEAK EASY ENTRANCE	477 SF		
LOWER LEVEL	001B	CLOSET	45 SF	200 GROSS	1
LOWER LEVEL	001C	STORAGE	140 SF	200 GROSS	1
LOWER LEVEL	001D	CIRCULATION	95 SF		
LOWER LEVEL	002	BAR/GRILL	3,210 SF	15 NET	200
LOWER LEVEL	003-1	KITCHEN	432 SF	200 GROSS	3
LOWER LEVEL	003-2	WALK-IN COOLER	381 SF	200 GROSS	2
LOWER LEVEL	004	MEN'S RESTROOM	175 SF		
LOWER LEVEL	005	WOMEN'S RESTROOM	175 SF		
LOWER LEVEL	006	STORAGE	25,940 SF	200 GROSS	106
LOWER LEVEL	007	FIRE DEPARTMENT	338 SF	200 GROSS	2
LOWER LEVEL	008	ELECTRICAL ROOM	445 SF	200 GROSS	3
LOWER LEVEL	009	GREEN ROOM 1	277 SF	50 GROSS	6
LOWER LEVEL	010	RESTROOM	65 SF		
EVENT LEVEL	101	LOWER ENTRY FOYER	408 SF		
EVENT LEVEL	102	UPPER ENTRY FOYER	770 SF		
EVENT LEVEL	103	GENERAL CIRCULATION	3,312 SF		
EVENT LEVEL	104	DANCE FLOOR	7,454 SF	5 NET	1,491
EVENT LEVEL	105	MID-LEVEL LOUNGE	2,160 SF	125 NET	146+38
EVENT LEVEL	106	UPPER-LEVEL LOUNGE	1,830 SF	125 NET	67+208
EVENT LEVEL	107	BAR 2	685 SF	200 GROSS	4
EVENT LEVEL	108-110	BAR 1 STORAGE	324 SF	200 GROSS	2
EVENT LEVEL	111	WALK-IN COOLER	115 SF	200 GROSS	1
EVENT LEVEL	112	OFFICE	112 SF	150 GROSS	1
EVENT LEVEL	114	BATHROOM	80 SF		
EVENT LEVEL	115	BATHROOM	80 SF		
EVENT LEVEL	117	GREEN ROOM 2	383 SF	50 GROSS	6
EVENT LEVEL	118	GREEN ROOM 1	354 SF	50 GROSS	6
EVENT LEVEL	119 & 120	SIDE STAGE	1,338 SF	300 GROSS	6
EVENT LEVEL	122-1	IT ROOM	70 SF	300 GROSS	1
EVENT LEVEL	122-2	EQUIPMENT STORAGE	245 SF	300 GROSS	1
EVENT LEVEL	125	STAGE & BACK STAGE	2,370 SF	15 GROSS	172
EVENT LEVEL	126	HISTORIC STAGE/UP SEATING	664 SF	15 GROSS	45
EVENT LEVEL	127A	RAISED VIEWING DECK	778 SF	8 GROSS	158
EVENT LEVEL	128	MEN'S RESTROOMS	840 SF		
EVENT LEVEL	129	BAR 1	329 SF	200 GROSS	2
EVENT LEVEL	130	STORAGE	104 SF	200 GROSS	1
EVENT LEVEL	131	ELECTRICAL	94 SF	200 GROSS	1
EVENT LEVEL	132	EXISTING WALK-IN COOLER	125 SF	200 GROSS	1
EVENT LEVEL	133/134	STORAGE	543 SF	200 GROSS	3
EVENT LEVEL	135	WOMEN'S RESTROOM	825 SF		
EVENT LEVEL	136	WOMEN'S LOUNGE	205 SF	50 GROSS	6
EVENT LEVEL	137	FIRE COMMAND	106 SF	200 GROSS	1
UPPER LEVEL	200	STAIR	25 SF		1
UPPER LEVEL	201	RECEPTION	320 SF	150 GROSS	3
UPPER LEVEL	202	OFFICE	160 SF	150 GROSS	2
UPPER LEVEL	203	OFFICE	144 SF	150 GROSS	1
UPPER LEVEL	204	OFFICE	102 SF	150 GROSS	1
UPPER LEVEL	205	CLOSET	15 SF	200 GROSS	1
UPPER LEVEL	206	STORAGE	133 SF	200 GROSS	1

LEVEL	WORK AREA
LOWER LEVEL	2,330 SF
EVENT LEVEL	8,820 SF
UPPER LEVEL	0 SF
TOTAL WORKFLOOR AREA	11,150 / 59,905 SF = 19%

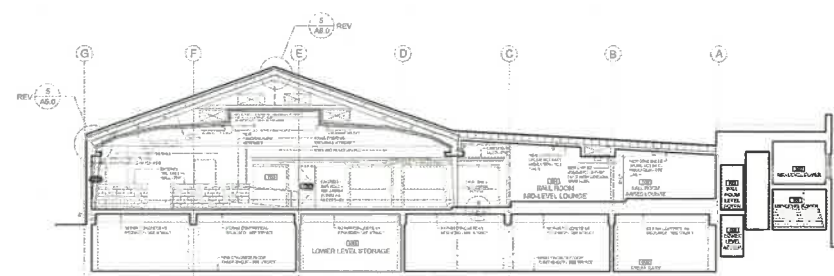
LOWER LEVEL GROSS AREA: 29,475 SF
EVENT LEVEL GROSS AREA: 29,475 SF
UPPER LEVEL GROSS AREA: 955 SF

USE AND OCCUPANCY CLASSIFICATION LEGEND



CODE PLAN LEGEND

DESCRIPTION	NOTE
EXIT - EXTERIOR	
EXIT ACCESS - INTERIOR	ASSEMBLY OCCUPANCIES OVER 50 - IBC
FIRE EXTINGUISHER	COMPLY WITH IFC906
FIRE EXTINGUISHER CABINET - SEMI-RECESSED	F.E.C.
1 HOUR RATED FLOOR ASSEMBLY	
1 HR RATED SEPARATION (OCCUPANCY SEPERATION)	



3 CODE SECTION - TRANSVERSE
1/16" = 1'-0"

Existing Building Code Information

CODE REFERENCE: 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

Description of Work:
In general, the project consist of remodeling an existing ballroom and associated spaces with a change of use in SE corner of the lower level from storage (S-1) to restaurant and bar (A-2).

Chapter 12 - Historic Buildings
Building shall be considered in compliance with Chapter 12 of the 2018 IEBC per the following report from registered design professional (Goche Inclusions llc) and the supporting letter from State Historic Preservation Office.

Registered Design Professional Report
The existing two story building is considered a historic rehabilitation. The building will be rehabilitated as Assembly Group A-3/A-2 and with Storage Group S and Business Group B. The property is registered on the National Register of Historic Places.

Zoning: CMC
Parcel No.: 320000952000000

PURSUANT THE IEBC 2018 CHAPET 12 - HISTORIC BUILDINGS, THIS ANALYSIS AND ACCOMPANYING DRAWING SET HAS BEEN PREPARED GIVEN ITS HISTORIC DESIGNATION REGISTERED DESIGN PROFESSIONAL REPORT

CODE SUMMARY

CODE REFERENCE: 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC) and 2018 INTERNATIONAL BUILDING CODE (IBC)

USE & OCCUPANCY CLASSIFICATION (Chapter 3): S-1 (LOWER LEVEL), ASSEMBLY GROUP A-3 (LEVEL ONE), BUSINESS GROUP B (MEZZANINE OFFICE LEVEL)

TYPE OF CONSTRUCTION (Section 602.2): TYPE V-B

AUTOMATIC SPRINKLER SYSTEM (Section 903): FIRE SPRINKLER TO BE PROVIDED

OCCUPANT LOAD (TABLE 1004.1.2): SEE OCCUPANT SCHEDULE ABOVE
OCCUPANT LOAD (TENANT SPACE 1/2/3 - TABLE 1004.1.2): 2,125 / 2,558

Per Section 1005.3.2, 576 INCHES OF DOOR WIDTH EXISTING - REQUIRED = OCCUPANT LOAD FACTOR x .2 (MEANS OF EGRESS CAPACITY FACTOR)

Code Reference
2018 International Existing Building Code (IEBC)
2018 International Building Code (IBC)
2009 American National Standard (ANSI)
2017 International Mechanical Code
2017 National Electrical Code
2018 Uniform Plumbing Code
NFPA 954

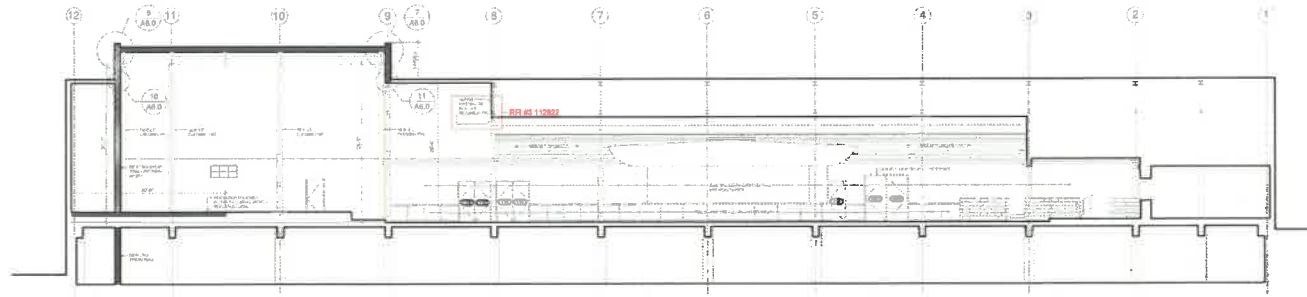
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Val Air Ballroom Rehabilitation Project

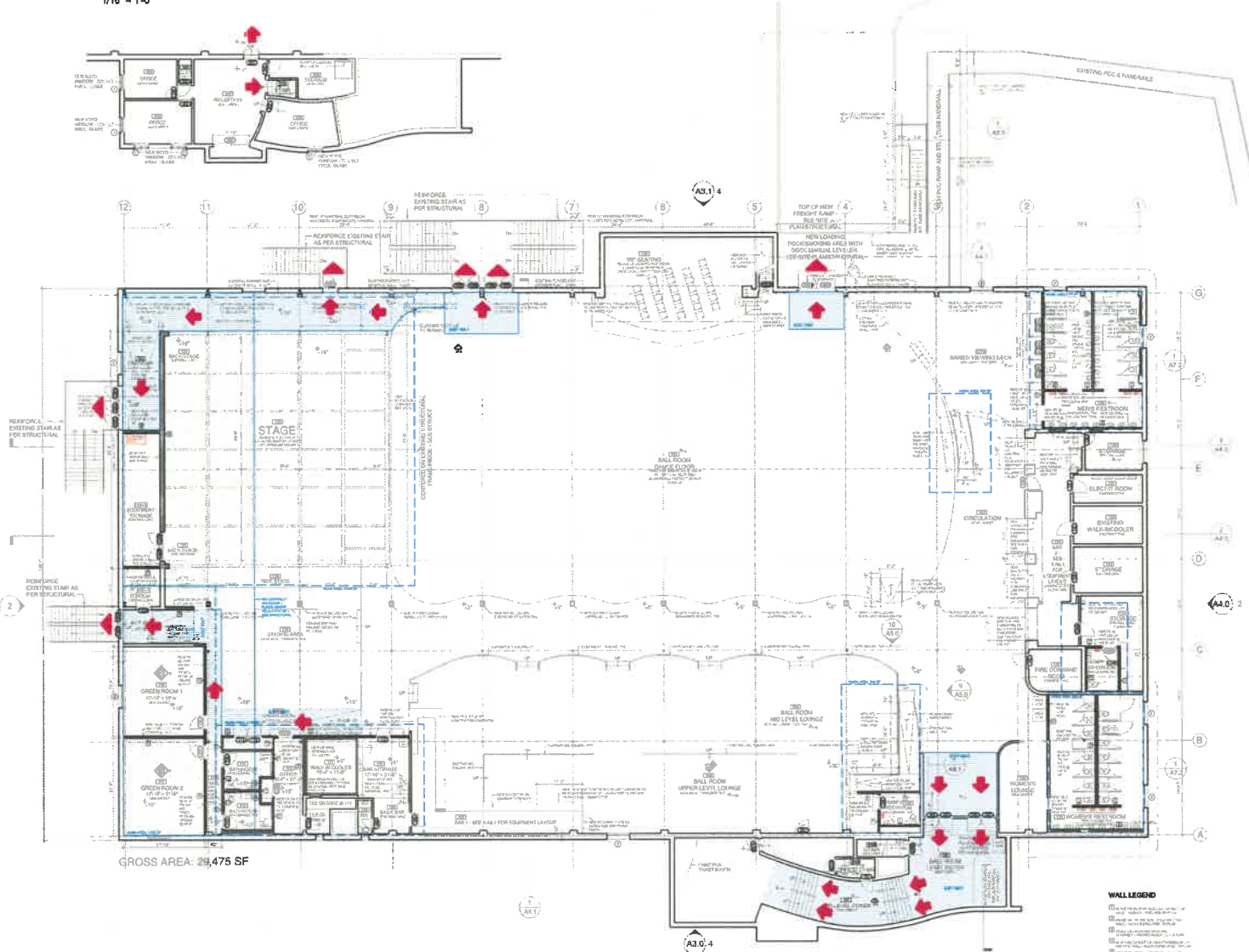
Goche' Inclusions llc
Peter P. Goche', AIA
2026 Country Club Boulevard Ames, Iowa 50014
Tel 515 520 3384 goche99@gmail.com

CODE PLANS & SECTIONS
sheet **A1.1**

Val Air Ballroom Rehabilitation Project



1 CODE PLAN - LONGITUDINAL SECTION
1/16" = 1'-0"



2 CODE PLAN - UPPER LEVEL
1/16" = 1'-0"

OCCUPANCY SCHEDULE

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LOWER LEVEL	001A	SPEAK EASY ENTRANCE	477 SF		
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LOWER LEVEL	001C	STORAGE	140 SF	200 GROSS	1
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LOWER LEVEL	002	BAR/GRILL	3,016 SF	15 NET	200
LOWER LEVEL	003-A	KITCHEN	432 SF	200 GROSS	3
LOWER LEVEL	003-B	WALK-IN COOLER	201 SF	200 GROSS	2
LOWER LEVEL	004	MEAT RESTROOM	175 SF		
LOWER LEVEL	005	WOMEN'S RESTROOM	175 SF		
LOWER LEVEL	006	STORAGE	20,940 SF	200 GROSS	105
LOWER LEVEL	007	FIRE DEPARTMENT	338 SF	200 GROSS	2
LOWER LEVEL	008	ELECTRICAL ROOM	448 SF	200 GROSS	3
LOWER LEVEL	009	GREEN ROOM 3	277 SF	50 GROSS	6
LOWER LEVEL	010	RESTROOM	55 SF		
EVENT LEVEL	101	LOWER ENTRY FOYER	405 SF		
EVENT LEVEL	102	UPPER ENTRY FOYER	770 SF		
EVENT LEVEL	103	GENERAL CIRCULATION	3,312 SF		
EVENT LEVEL	104	DANCE FLOOR	7,454 SF	5 NET	1,491
EVENT LEVEL	105	MEZ LEVEL LOUNGE	2,190 SF	155 NET	14,838
EVENT LEVEL	106	UPPER LEVEL LOUNGE	1,200 SF	155 NET	8,728
EVENT LEVEL	107	BAR 2	855 SF	200 GROSS	4
EVENT LEVEL	108-110	BAR 2 STORAGE	354 SF	200 GROSS	2
EVENT LEVEL	111	WALK-IN COOLER	118 SF	200 GROSS	1
EVENT LEVEL	112	OFFICE	112 SF	150 GROSS	1
EVENT LEVEL	114	BATHROOM	80 SF		
EVENT LEVEL	115	BATHROOM	80 SF		
EVENT LEVEL	117	GREEN ROOM 2	383 SF	50 GROSS	8
EVENT LEVEL	118	GREEN ROOM 1	354 SF	50 GROSS	8
EVENT LEVEL	119 & 120	SIDE STAGE	1,338 SF	300 GROSS	5
EVENT LEVEL	122-1	IT ROOM	70 SF	300 GROSS	1
EVENT LEVEL	122-2	EQUIPMENT STORAGE	245 SF	300 GROSS	1
EVENT LEVEL	125	STAGE & BACK STAGE	2,570 SF	15 GROSS	172
EVENT LEVEL	126	HISTORIC STAGE/SEATING	664 SF	14 GROSS	48
EVENT LEVEL	127A	RAISED VIEWING DECK	775 SF	5 GROSS	155
EVENT LEVEL	128	MEN'S RESTROOMS	840 SF		
EVENT LEVEL	129	BAR 1	328 SF	200 GROSS	2
EVENT LEVEL	130	STORAGE	104 SF	200 GROSS	1
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EVENT LEVEL	133/134	STORAGE	643 SF	200 GROSS	3
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EVENT LEVEL	138	WOMEN'S LOUNGE	206 SF	50 GROSS	6
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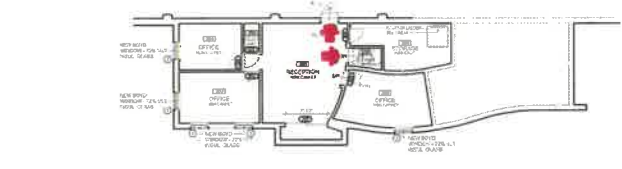
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USE AND OCCUPANCY CLASSIFICATION LEGEND



CODE PLAN LEGEND

DESCRIPTION	NOTE
EXIT - EXTERIOR	
EXIT ACCESS - INTERIOR	ASSEMBLY OCCUPANCIES OVER 50 - IBC
F	FIRE EXTINGUISHER COMPLY WITH IFC306
F _{REC}	FIRE EXTINGUISHER CABINET - SEMI-RECESSED F.E.C.
1 HOUR RATED FLOOR ASSEMBLY	
1 HR RATED SEPARATION (OCCUPANCY SEPARATION)	



3 CODE PLAN - OFFICE MEZZANINE
1/16" = 1'-0"

Existing Building Code Information

CODE REFERENCE: 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 Description of Work:
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CODE SUMMARY
 CODE REFERENCE: 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC) and 2018 INTERNATIONAL BUILDING CODE (IBC)
 USE & OCCUPANCY CLASSIFICATION (Chapter 3): B-1 (LOWER LEVEL), ASSEMBLY GROUP A-3 (LEVEL ONE), BUSINESS GROUP B (MEZZANINE OFFICE LEVEL)
 TYPE OF CONSTRUCTION (Section 602.2): TYPE V-B
 AUTOMATIC SPRINKLER SYSTEM (Section 903): FIRE SPRINKLER TO BE PROVIDED
 OCCUPANT LOAD (TABLE 1004.1.2): SEE OCCUPANT SCHEDULE ABOVE
 OCCUPANT LOAD (TENANT SPACE 1/275 - TABLE 1004.1.2): 2,125 / 2,558
 Per Section 1005.3.2, 576 INCHES OF DOOR WIDTH EXISTING - REQUIRED = OCCUPANT LOAD FACTOR x 2 (MEANS OF EGRESS CAPACITY FACTOR)

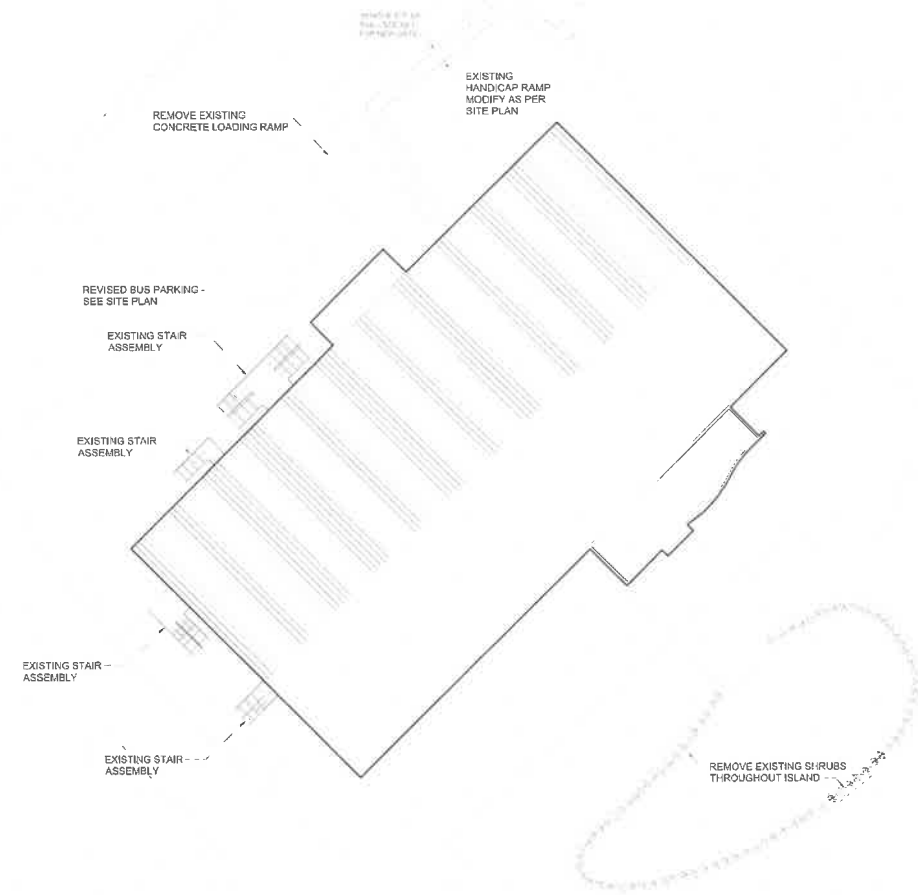
Code Reference
 2018 International Existing Building Code (IEBC)
 2018 International Building Code (IBC)
 2009 American National Standard (ANSI)
 2018 International Mechanical Code
 2018 National Electric Code
 2018 Uniform Plumbing Code
 NFPA 54

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LINE OF PROPERTY

ASHWORTH ROAD

1 SITE PLAN - EXISTING
1/32" = 1'-0"



Code Reference
 2018 International Existing Building Code (IEBC)
 2018 International Building Code (IBC)
 2009 American National Standard (ANSI)
 2018 International Mechanical Code
 2017 National Electric Code
 2018 Uniform Plumbing Code
 NFCC NFPA 64

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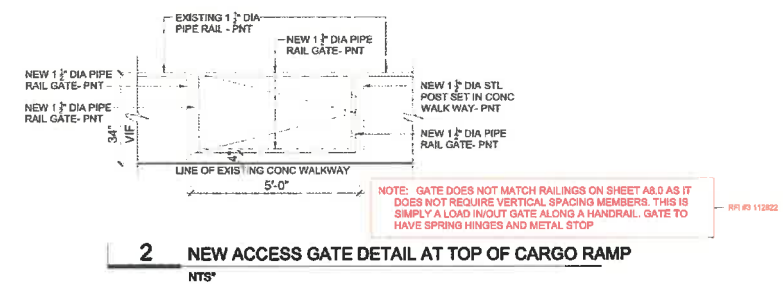
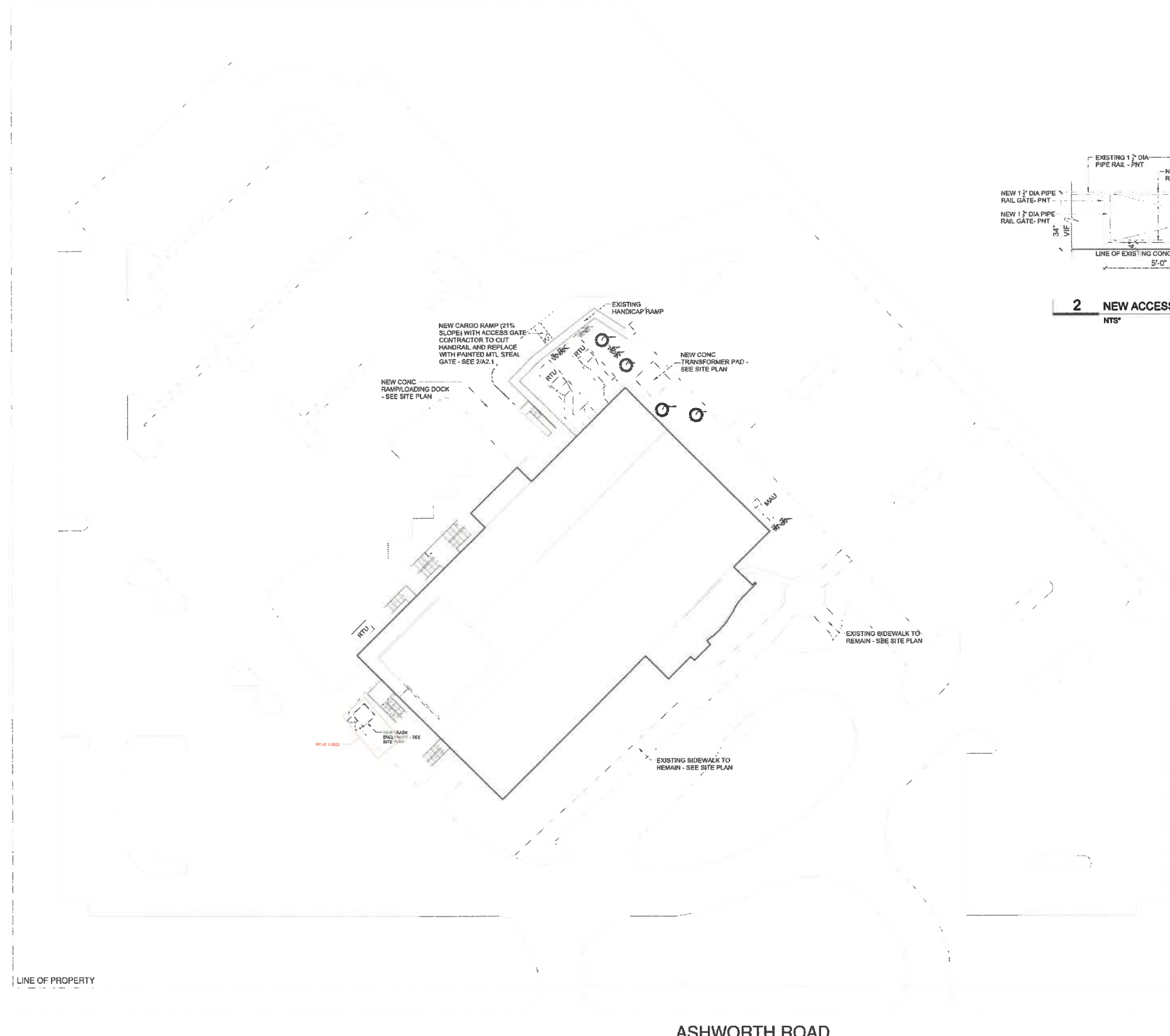
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EXISTING SITE PLAN
 sheet **A2.0**

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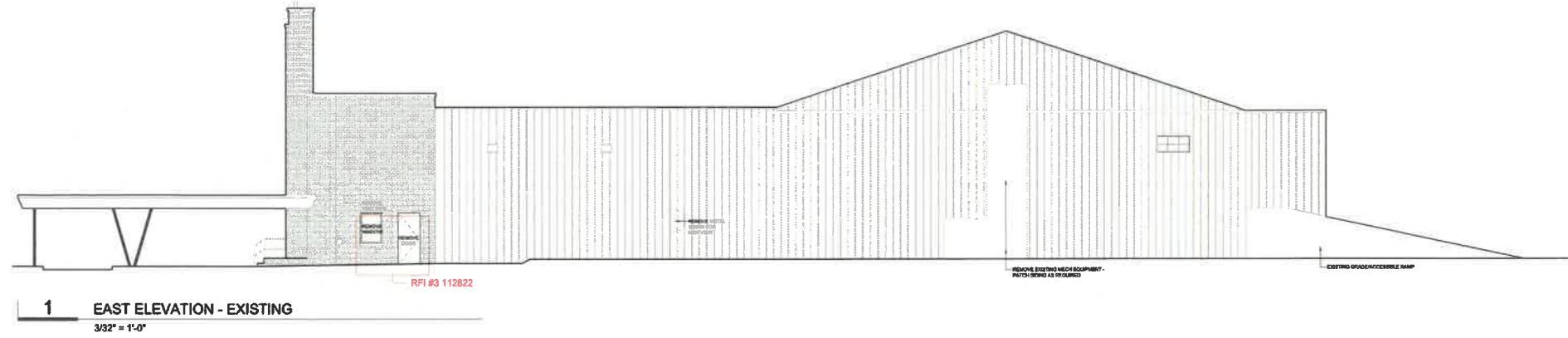
Code Reference
 2018 International Existing Building Code (IEBC)
 2018 International Building Code (IBC)
 2009 American National Standard (ANSI)
 2017 International Mechanical Code
 2017 National Electric Code
 2018 Uniform Plumbing Code
 NFPA 54

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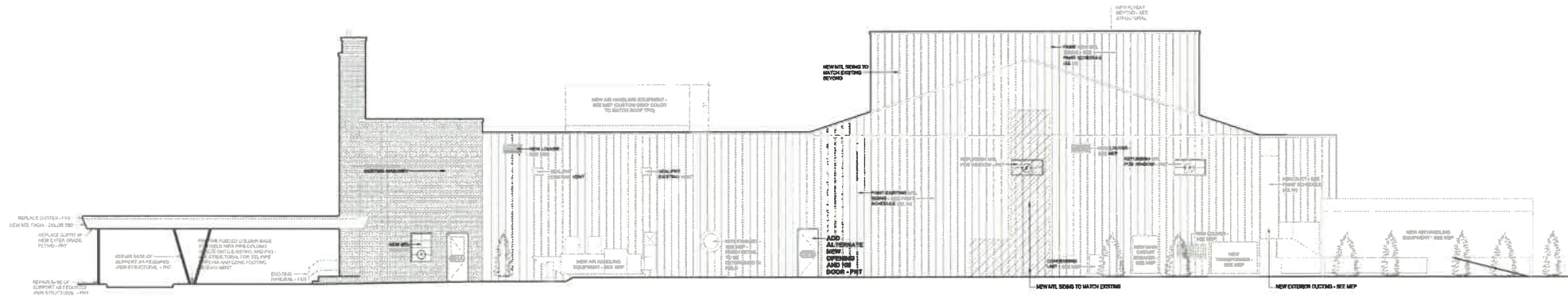
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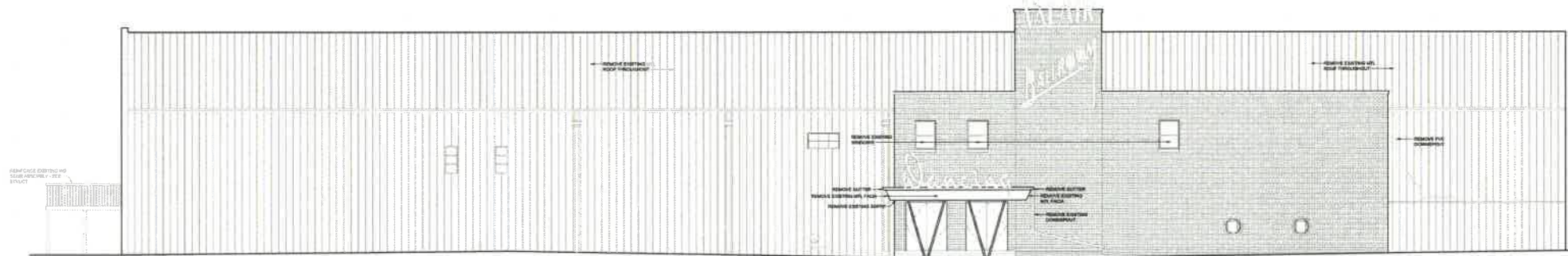
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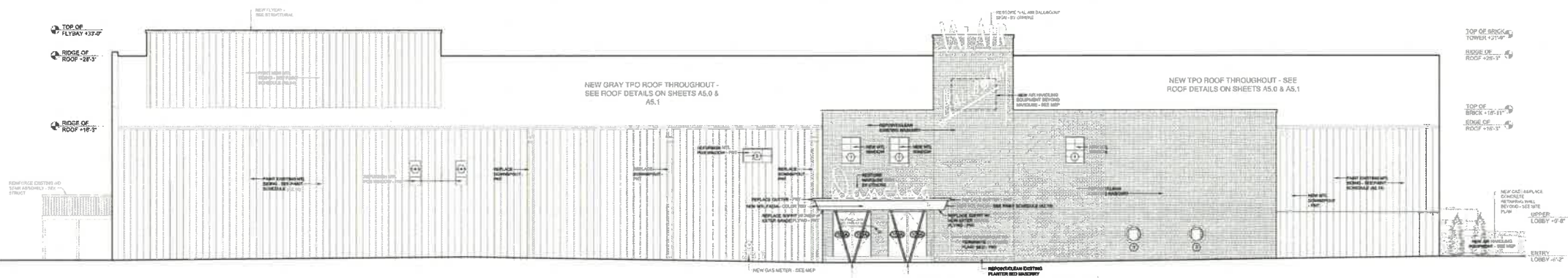
1 EAST ELEVATION - EXISTING
3/32" = 1'-0"



2 EAST ELEVATION - NEW
3/32" = 1'-0"



3 SOUTH ELEVATION - EXISTING
3/32" = 1'-0"



4 SOUTH ELEVATION - NEW
3/32" = 1'-0"

Code Reference
 2018 International Existing Building Code (IEBC)
 2018 International Building Code (IBC)
 2009 American National Standard (ANSI)
 2018 International Mechanical Code
 2017 National Electric Code
 2018 Uniform Plumbing Code
 NFPA 54

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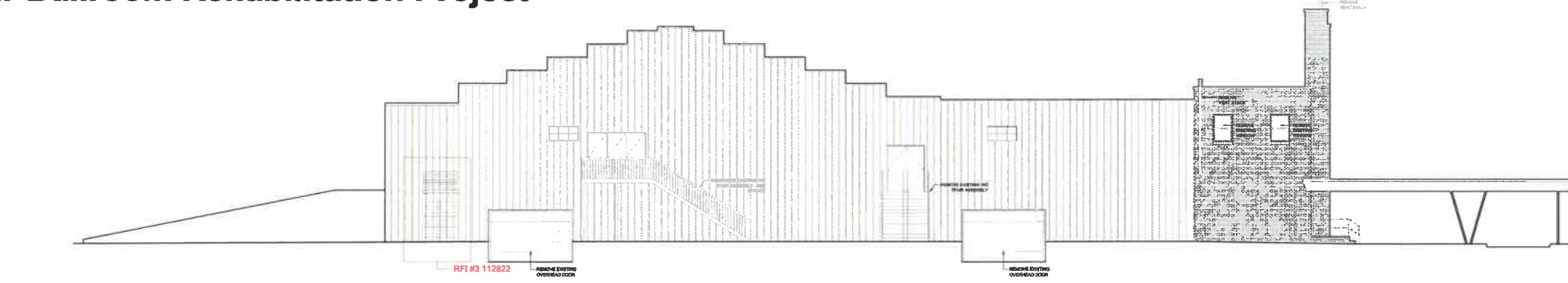
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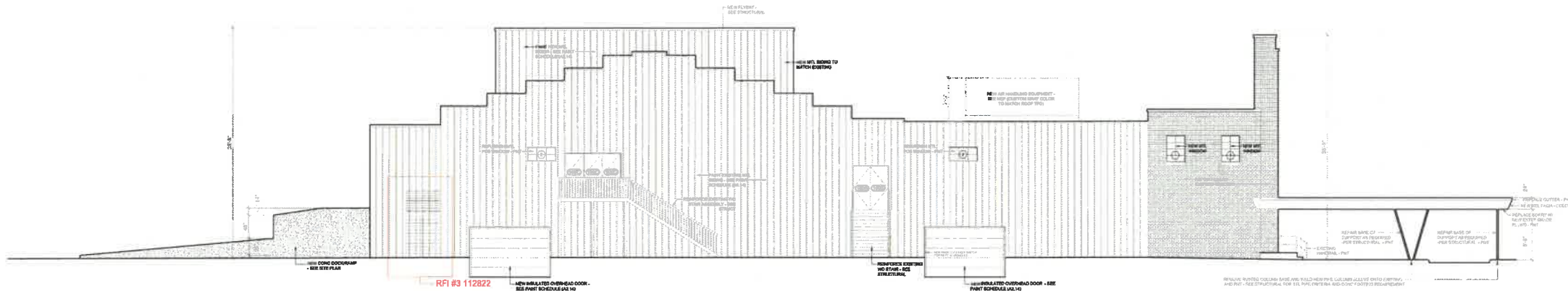
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EXTERIOR ELEVATIONS
 sheet **A3.0**

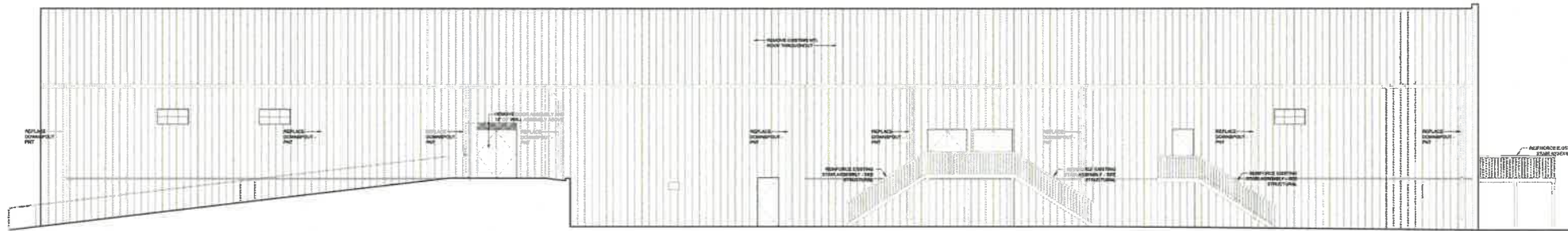
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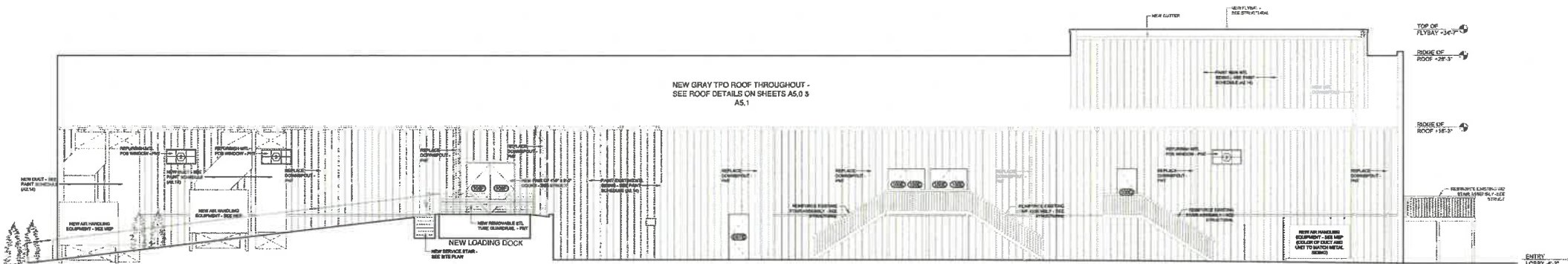
1 WEST ELEVATION - EXISTING
3/32" = 1'-0"



2 WEST ELEVATION - NEW
3/32" = 1'-0"



3 NORTH ELEVATION - EXISTING
3/32" = 1'-0"



4 NORTH ELEVATION - NEW
3/32" = 1'-0"

Code Reference
 2018 International Existing Building Code (IEBC)
 2018 International Building Code (IBC)
 2009 American National Standard (ANSI)
 2018 International Mechanical Code
 2017 National Electric Code
 2018 Uniform Plumbing Code
 NFCC NIFPA 54

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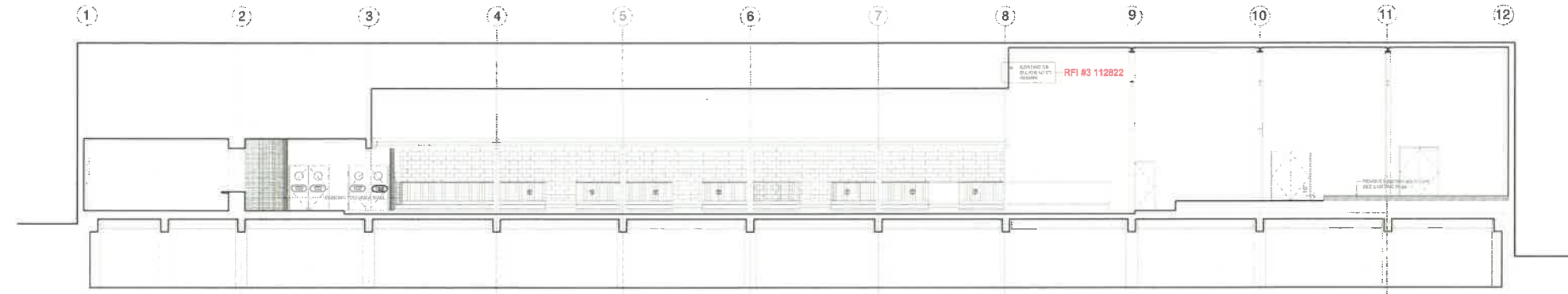
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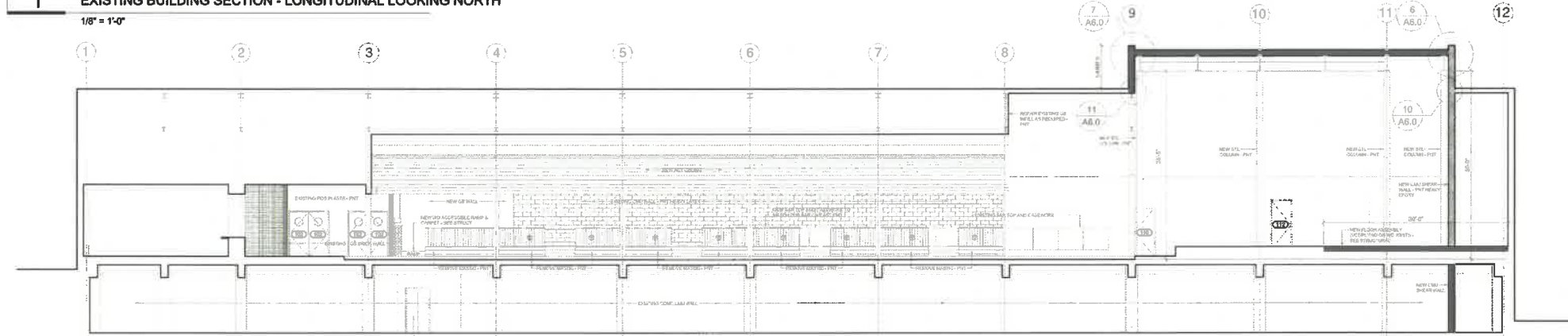
EXTERIOR ELEVATIONS

sheet **A3.1**

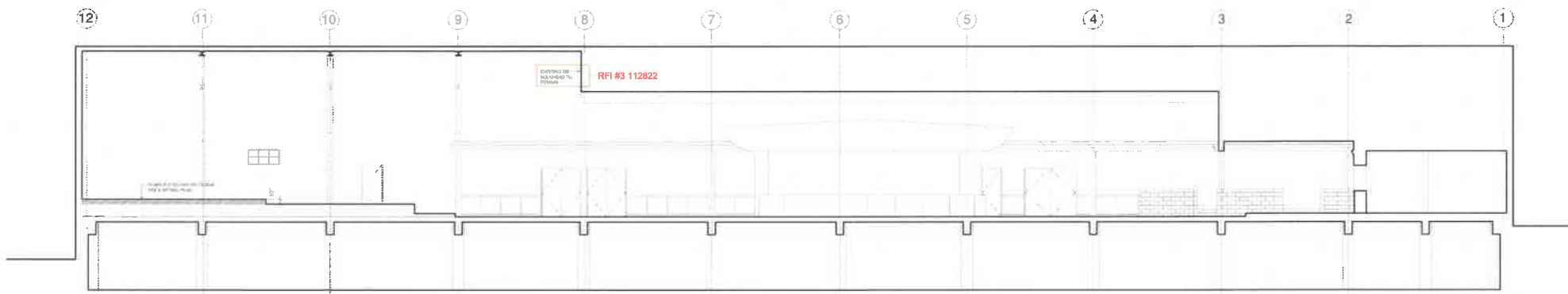
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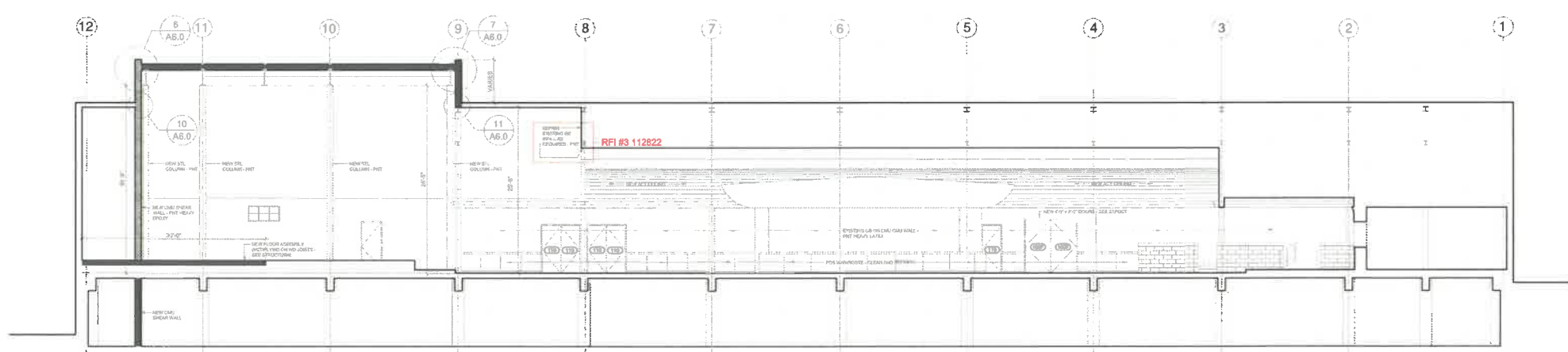
1 EXISTING BUILDING SECTION - LONGITUDINAL LOOKING NORTH
1/8" = 1'-0"



2 NEW BUILDING SECTION - LONGITUDINAL LOOKING NORTH
1/8" = 1'-0"



3 EXISTING BUILDING SECTION - LONGITUDINAL LOOKING SOUTH
1/8" = 1'-0"



4 NEW BUILDING SECTION - LONGITUDINAL LOOKING SOUTH
1/8" = 1'-0"

Code Reference
 2018 International Existing Building Code (IEBC)
 2018 International Building Code (IBC)
 2009 American National Standard (ANSI)
 2018 International Mechanical Code
 2018 National Electric Code
 2018 Uniform Plumbing Code
 NFCC NFPA 54

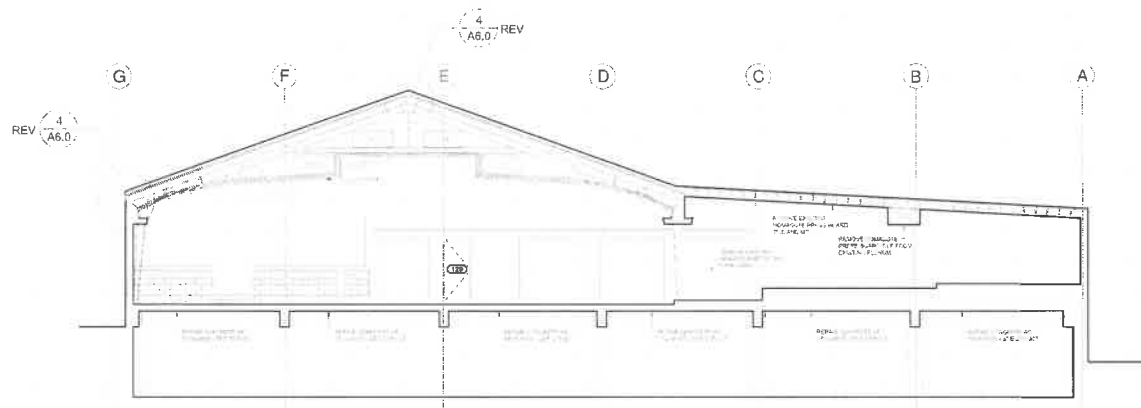
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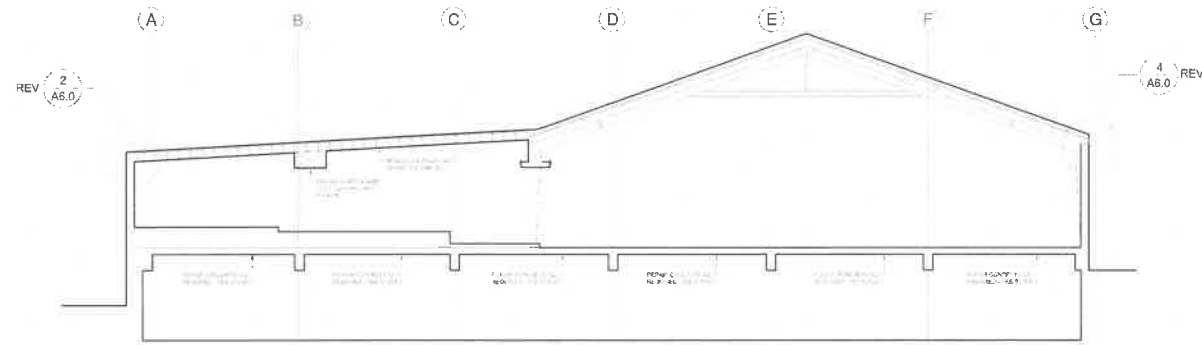
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LONGITUDINAL BUILDING SECTIONS
 sheet **A4.0**

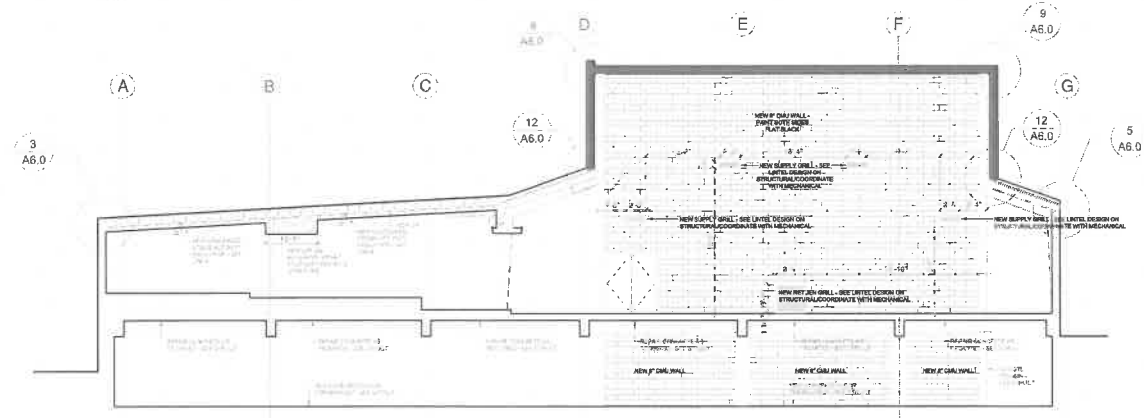
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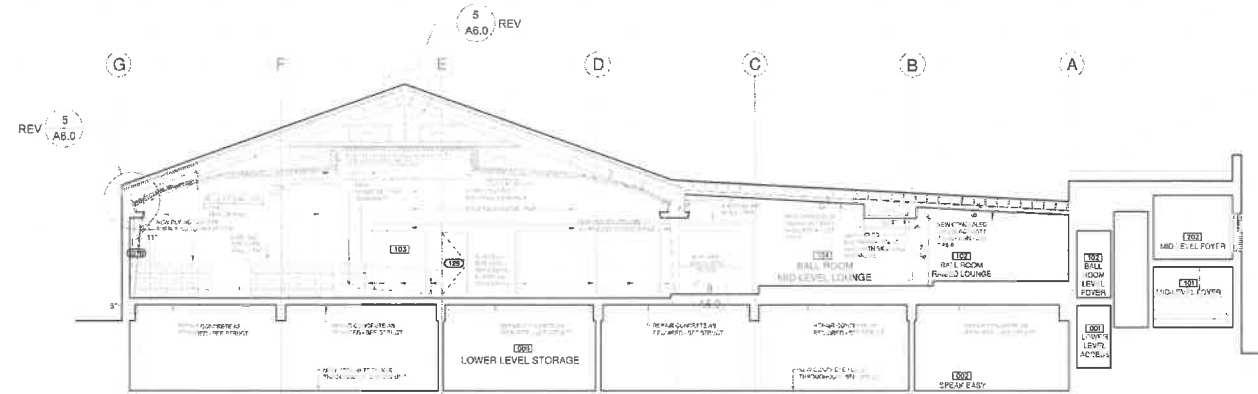
2 EXISTING BUILDING SECTION - TRANSVERSE LOOKING EAST
3/32" = 1'-0"



1 EXISTING BUILDING SECTION - TRANSVERSE LOOKING EAST
3/32" = 1'-0"



3 EXISTING BUILDING SECTION - TRANSVERSE LOOKING EAST
3/32" = 1'-0"



4 NEW BUILDING SECTION - TRANSVERSE LOOKING EAST
3/32" = 1'-0"



5 NEW PARTIAL BUILDING SECTION - LOOKING NORTH
3/32" = 1'-0"

Code Reference
 2018 International Building Code (IEBC)
 2018 International Building Code (IBC)
 2009 American National Standard (ANSI)
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 2017 National Electric Code
 2018 Uniform Plumbing Code
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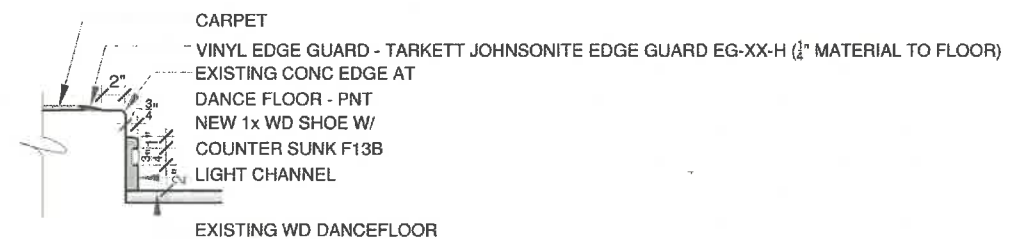
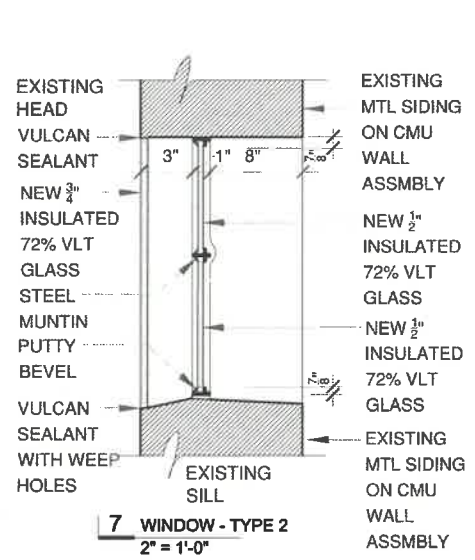
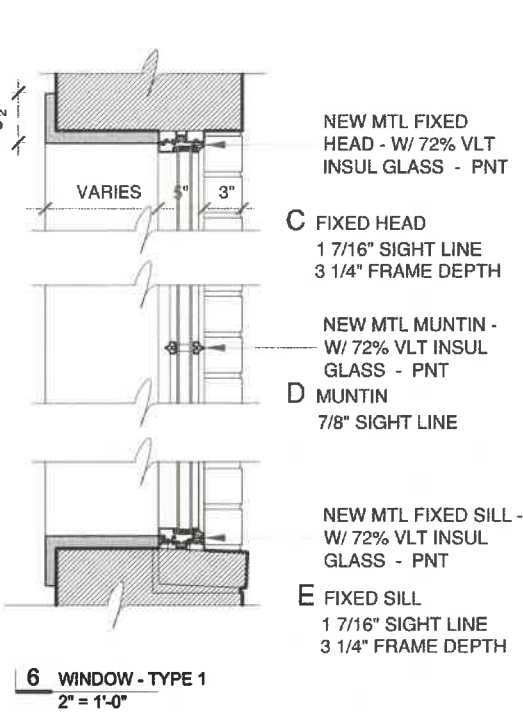
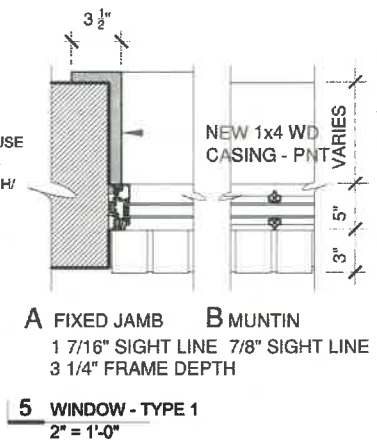
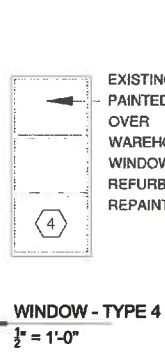
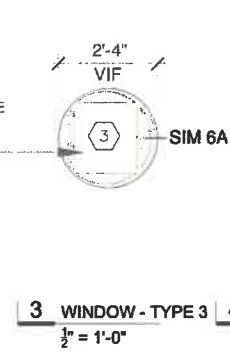
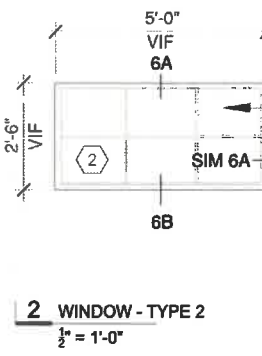
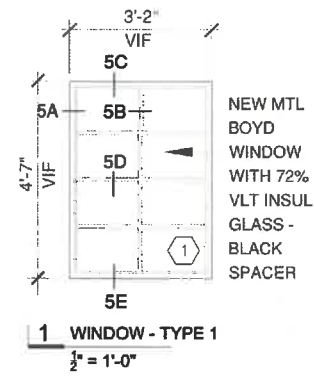
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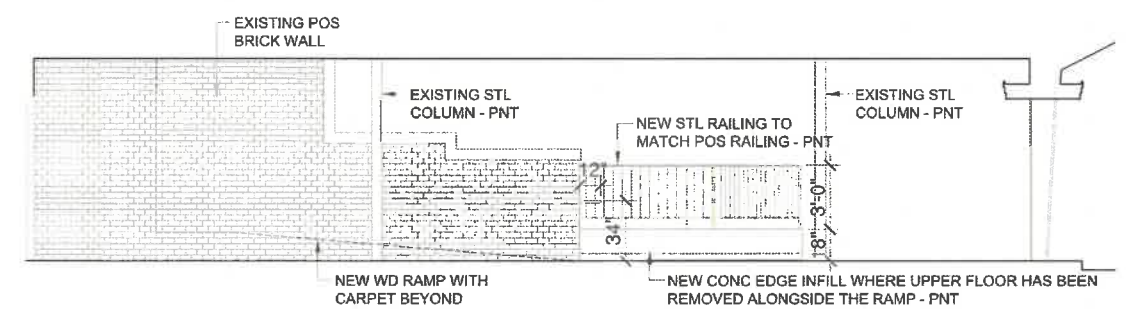
TRANSVERSE BUILDING SECTIONS

sheet **A4.1**

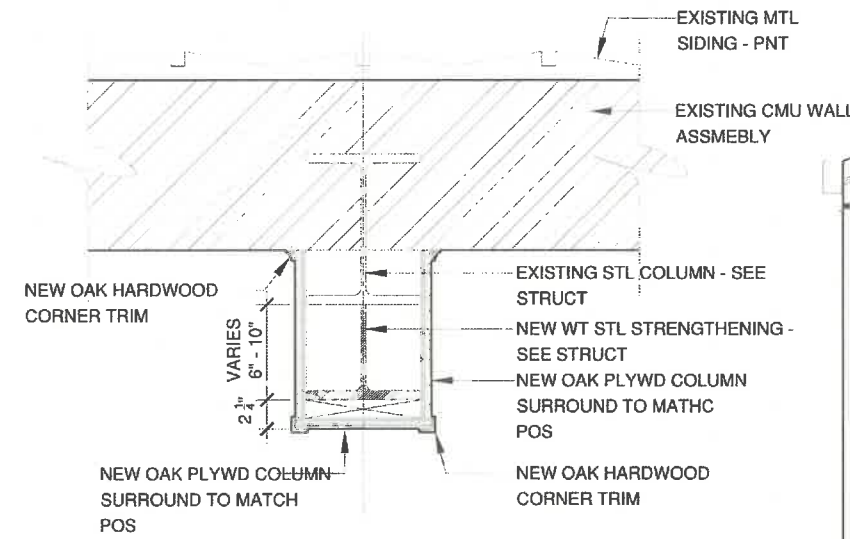
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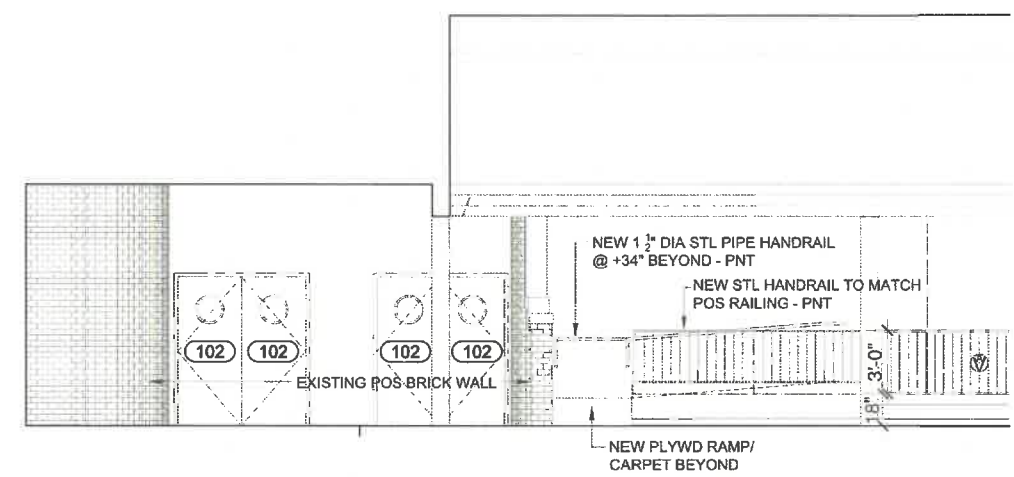
8 DETAIL - DANCE FLOOR EDGE
2" = 1'-0"



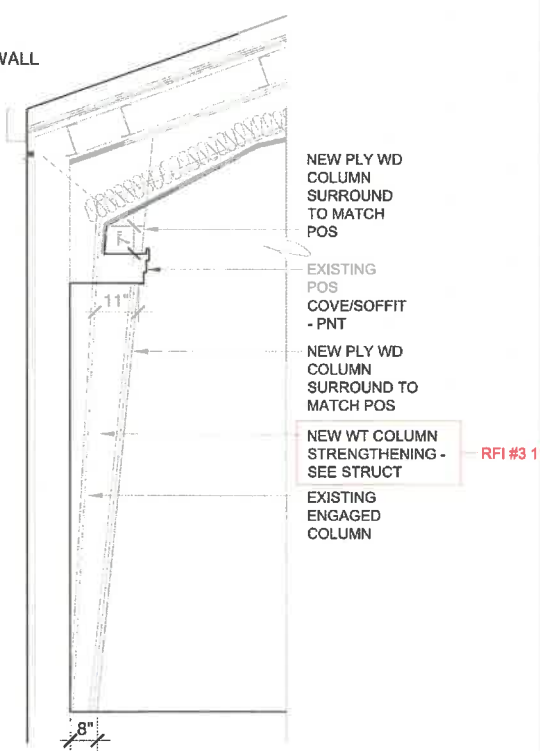
9 INTERIOR ELEVATION OF NEW RAMP TO UPPER LOUNGE LOOKING NE
1/4" = 1'-0"



11 NORTH WALL COLUMN SURROUND DETAIL
1/2" = 1'-0"



10 INTERIOR ELEVATION OF NEW RAMP TO UPPER LOUNGE LOOKING NW
1/4" = 1'-0"



12 NORTH WALL COLUMN SURROUND DETAIL
1/2" = 1'-0"

Val Air Ballroom Rehabilitation Project

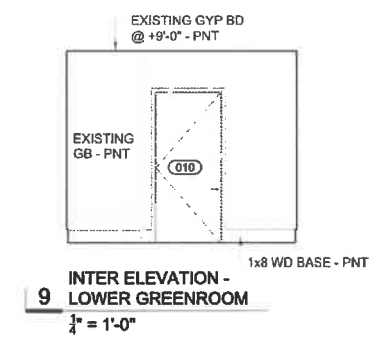
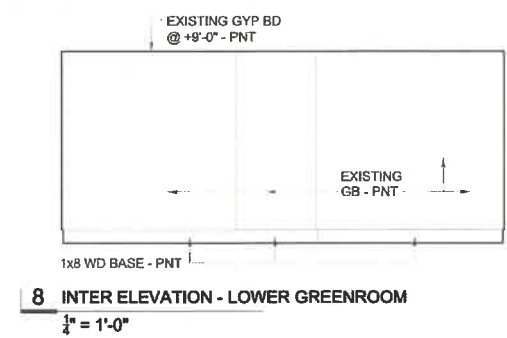
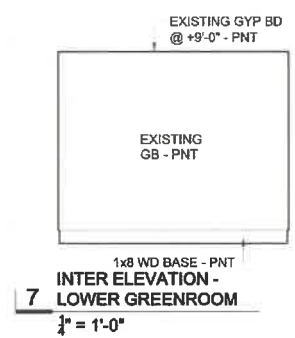
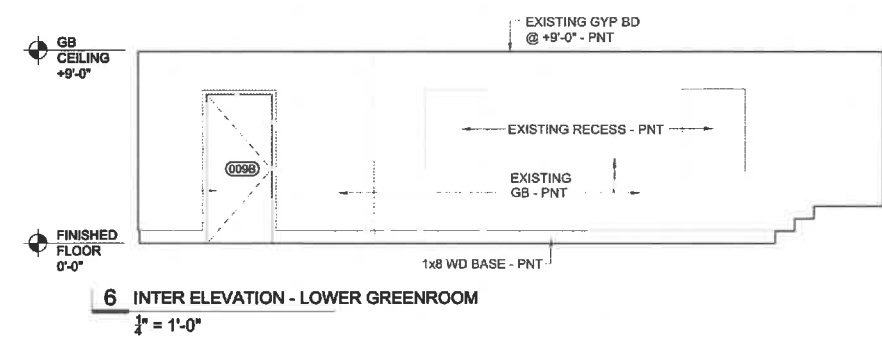
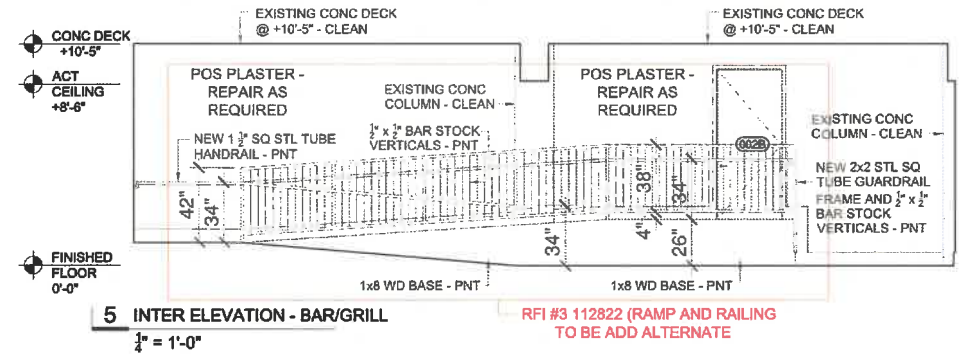
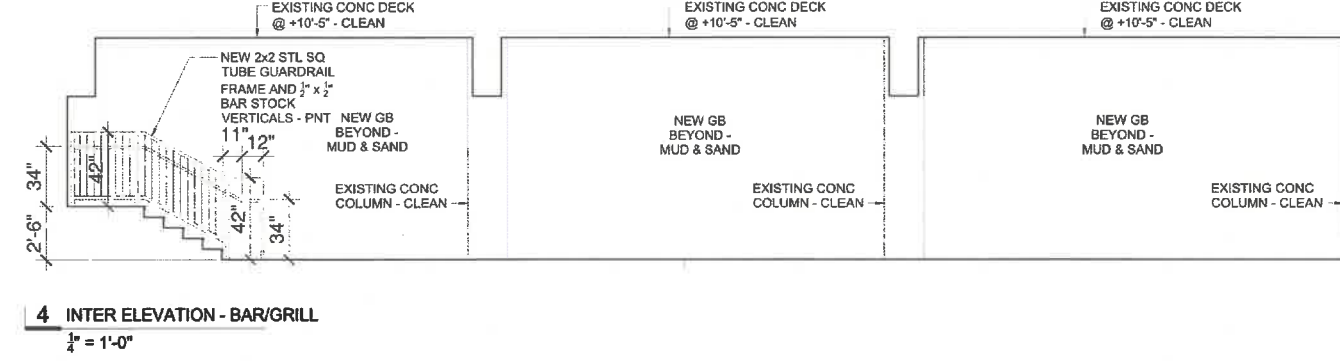
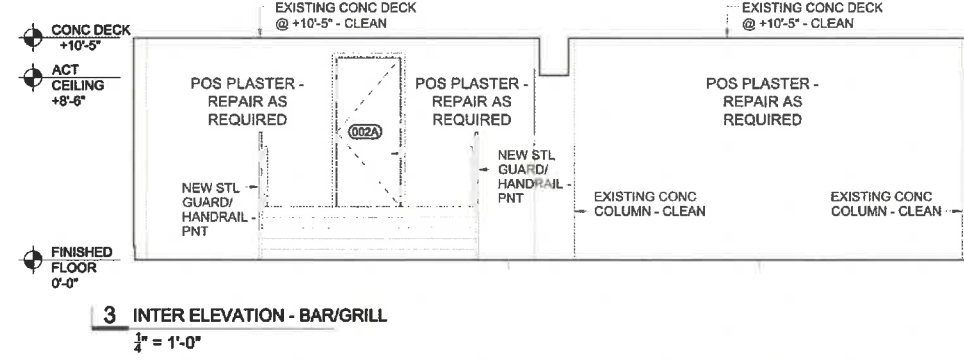
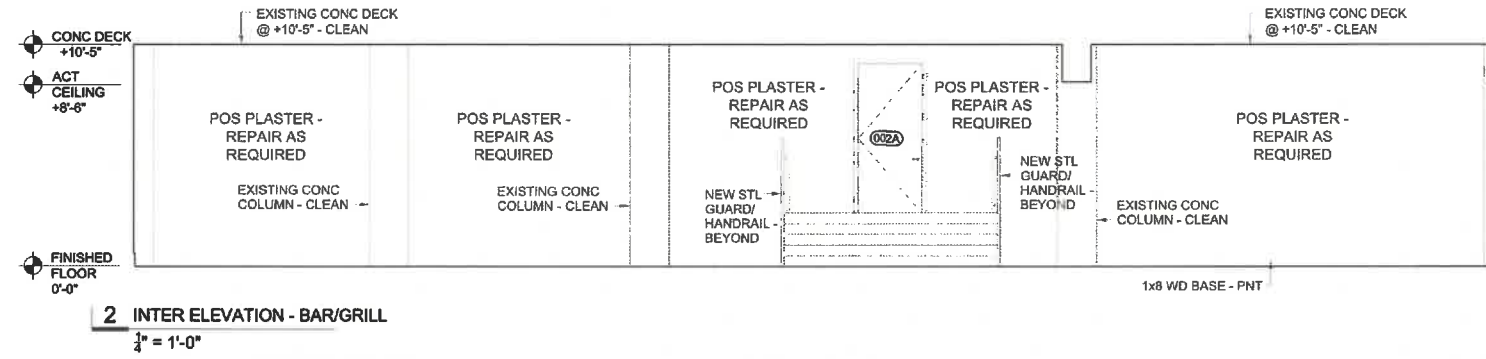
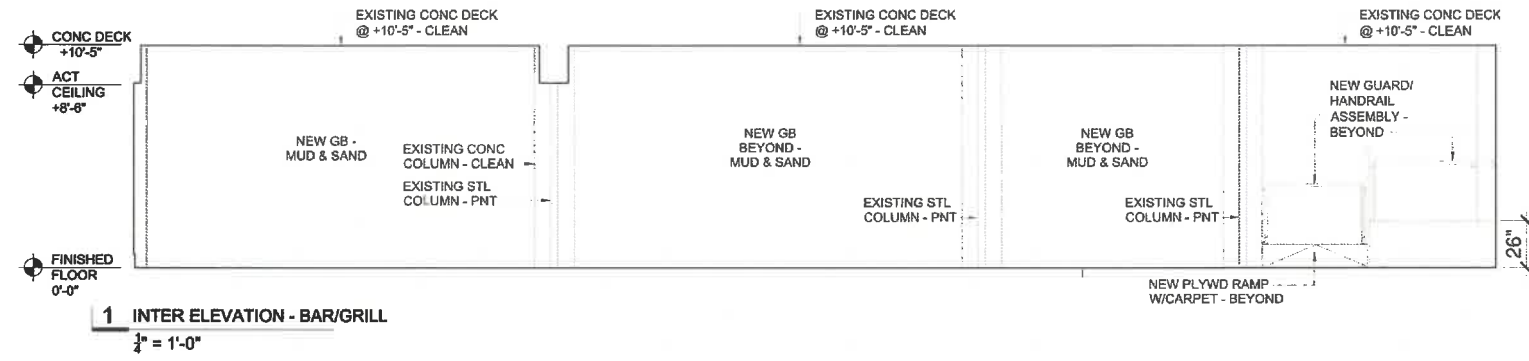
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Code Reference
2018 International Building Code (IEBC)
2018 International Building Code (IBC)
2009 American National Standard (ANSI)
2018 International Mechanical Code
2017 National Electric Code
2018 Uniform Plumbing Code
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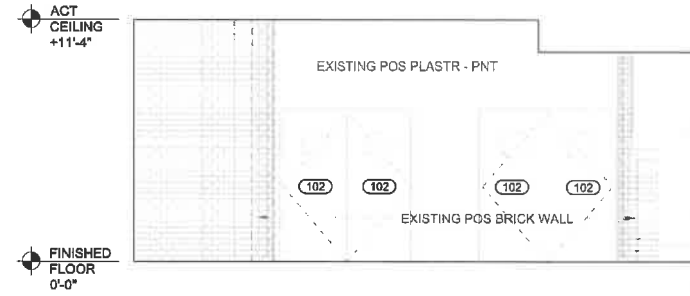
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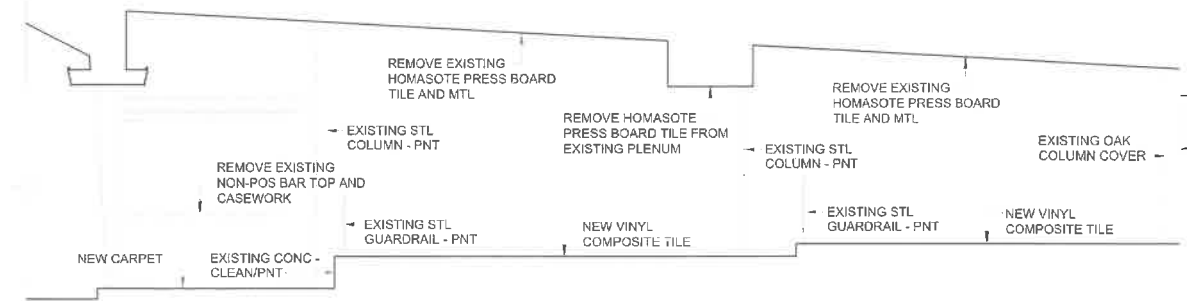
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EXTERIOR STAIR DETAILS

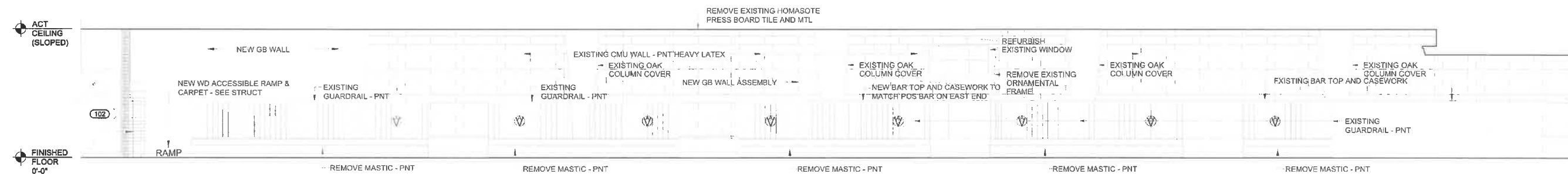
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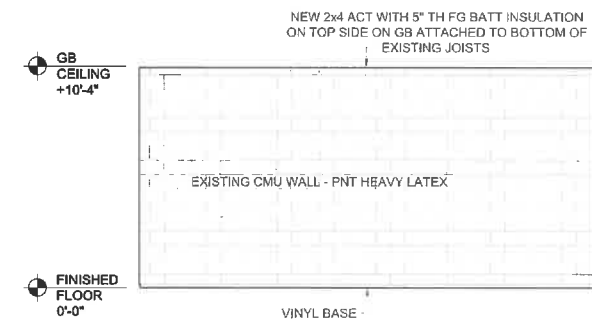
1 INTER ELEVATION - UPPER ENTRANCE
1/4" = 1'-0"



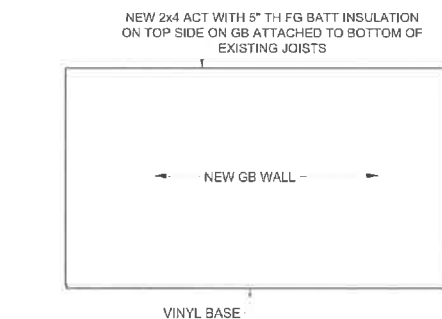
2 INTER ELEVATION - UPPER LOUNGE
1/4" = 1'-0"



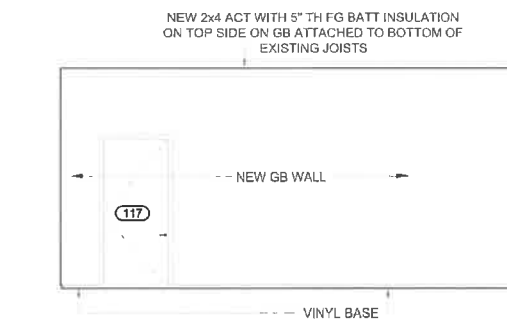
3 INTER ELEVATION - UPPER LOUNGE
1/4" = 1'-0"



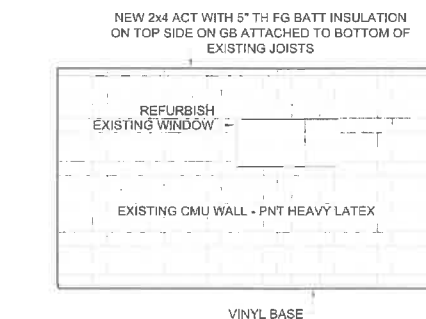
4 INTER ELEVATION - GREEN ROOM 2
1/4" = 1'-0"



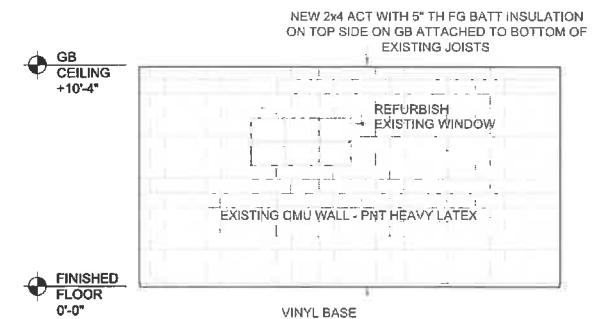
5 INTER ELEVATION - GREEN ROOM 2
1/4" = 1'-0"



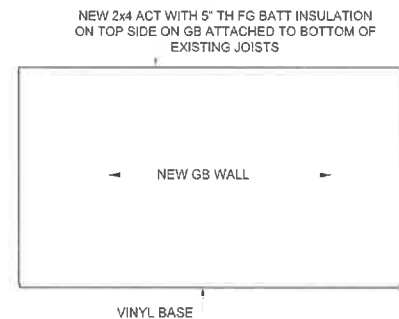
6 INTER ELEVATION - GREEN ROOM 2
1/4" = 1'-0"



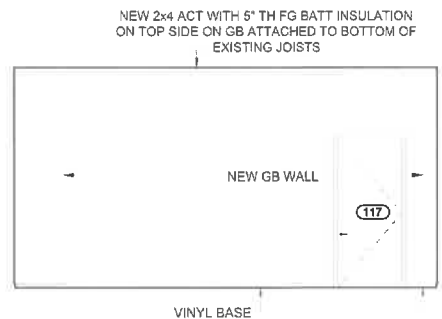
7 INTER ELEVATION - GREEN ROOM 2
1/4" = 1'-0"



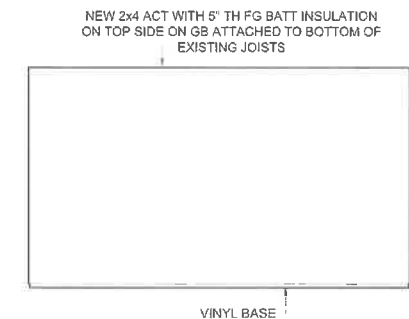
8 INTER ELEVATION - GREEN ROOM 1
1/4" = 1'-0"



9 INTER ELEVATION - GREEN ROOM 1
1/4" = 1'-0"



10 INTER ELEVATION - GREEN ROOM 1
1/4" = 1'-0"



11 INTER ELEVATION - GREEN ROOM 1
1/4" = 1'-0"

Code Reference
2018 International Existing Building Code (IEBC)
2018 International Building Code (IBC)
2009 American National Standard (ANSI)
2018 International Mechanical Code
2017 National Electric Code
2018 Uniform Plumbing Code
NFPA 54

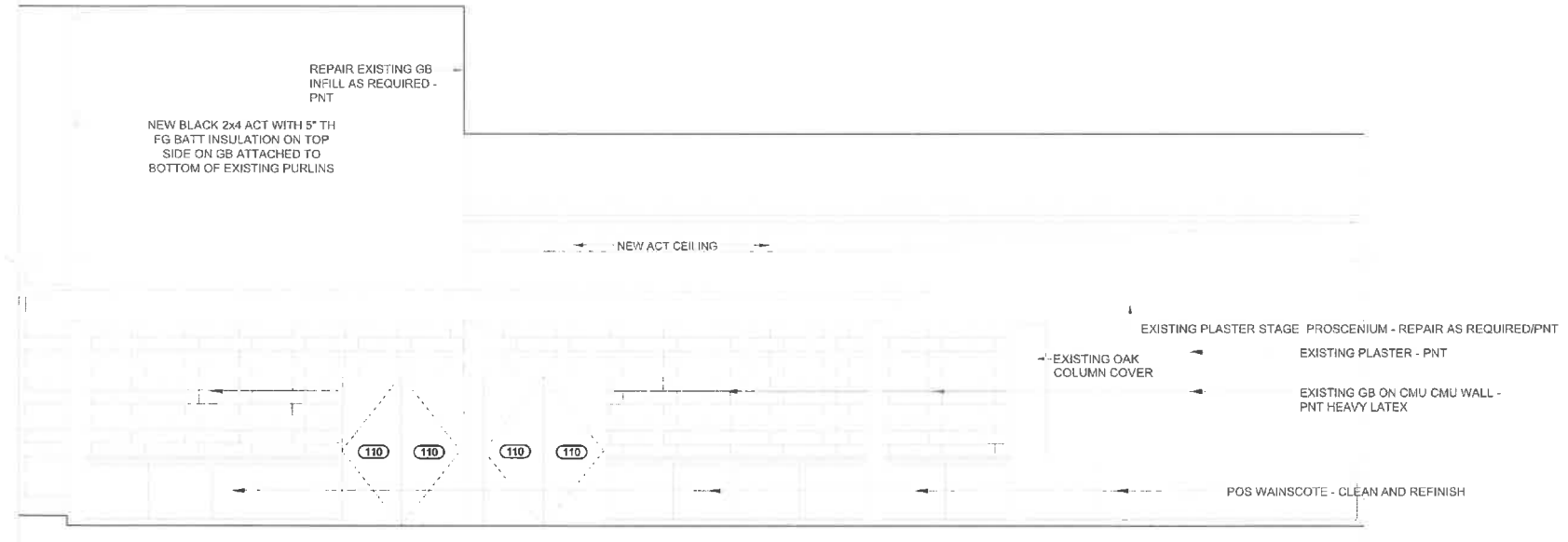
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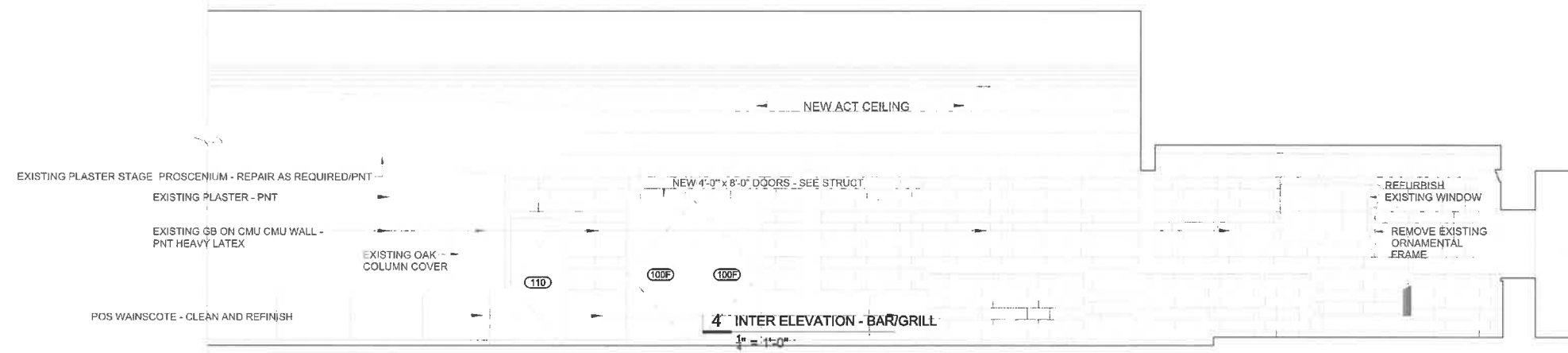
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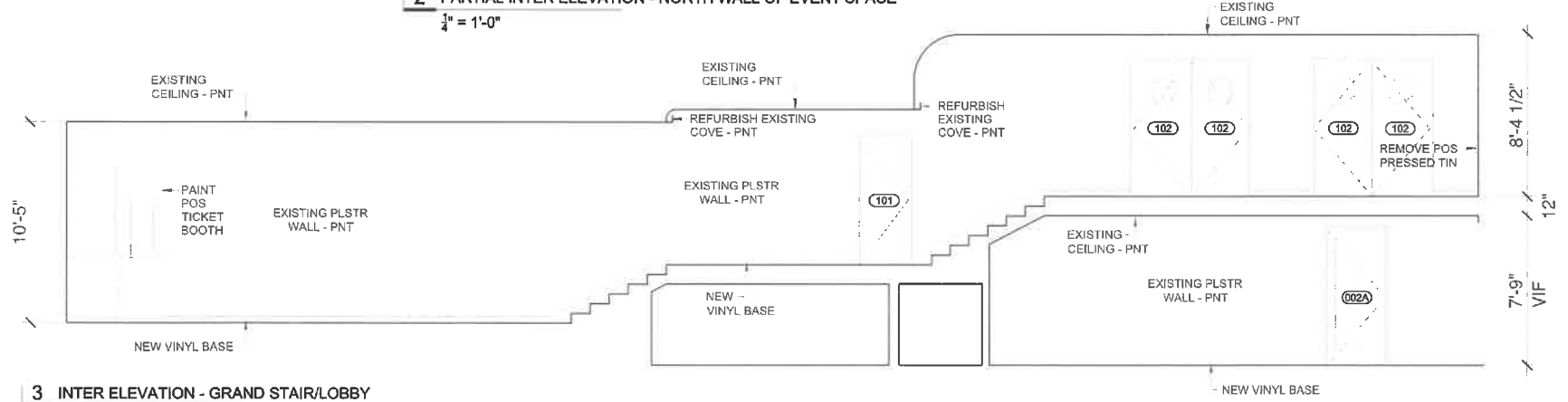
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1 PARTIAL INTER ELEVATION - NORTH WALL OF EVENT SPACE
 $\frac{1}{4}'' = 1'-0''$



2 PARTIAL INTER ELEVATION - NORTH WALL OF EVENT SPACE
 $\frac{1}{4}'' = 1'-0''$



3 INTER ELEVATION - GRAND STAIR/LOBBY
 $\frac{1}{4}'' = 1'-0''$

Code Reference
 2018 International Building Code (IEBC)
 2018 International Building Code (IBC)
 2009 American National Standard (ANSI)
 2016 International National Standard (ANSI)
 2017 National Electric Code
 2018 Uniform Plumbing Code
 NFCC NFPA 54

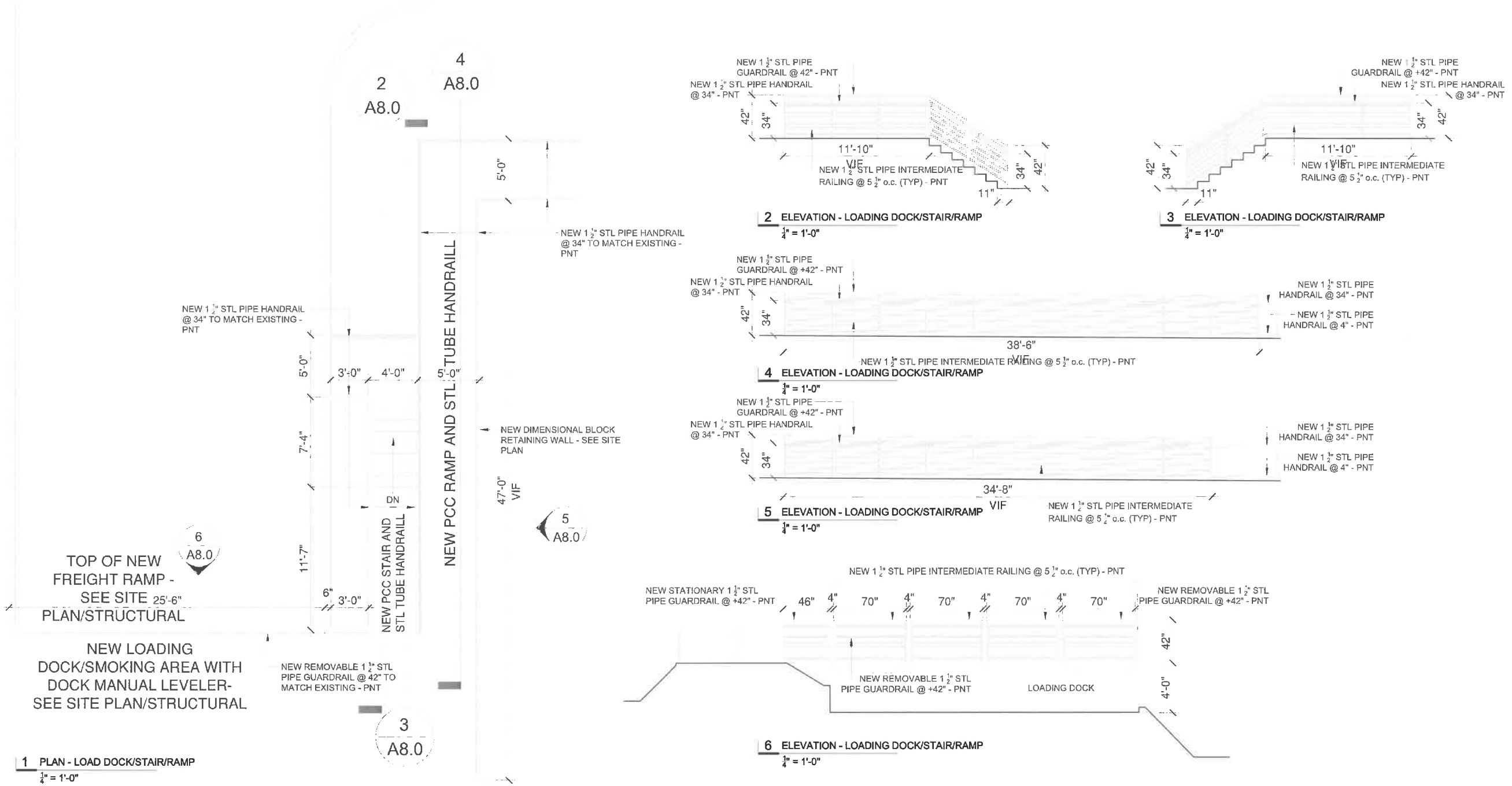
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2018 Uniform Plumbing Code
NFPA 96A 64

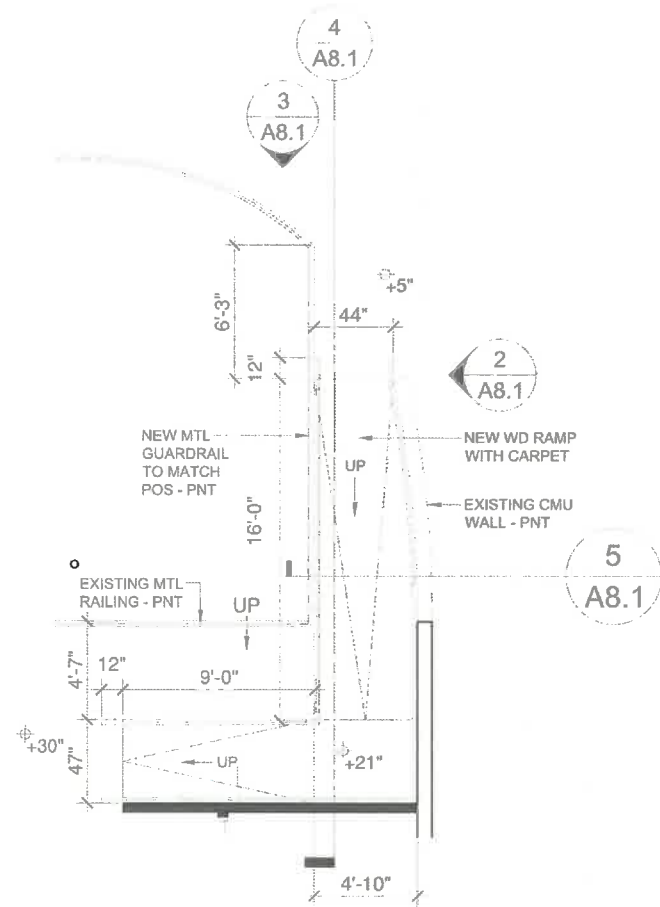
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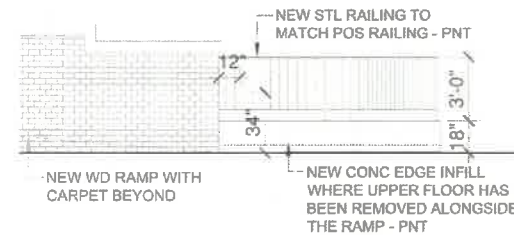
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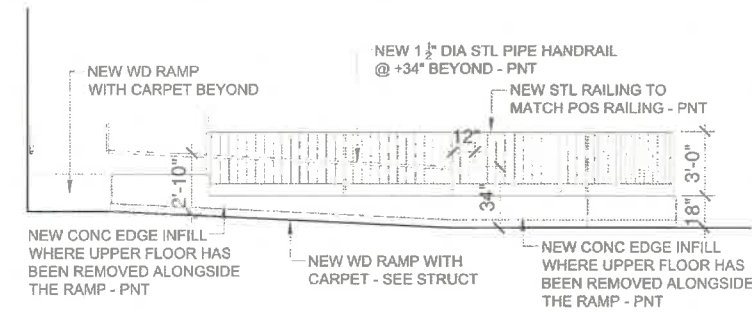
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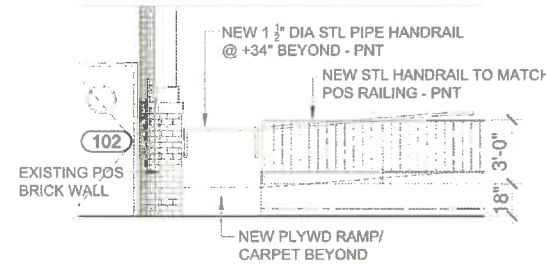
1 PLAN - INTERIOR RAMP @ UPPER LEVEL LOUNGE
1/4" = 1'-0"



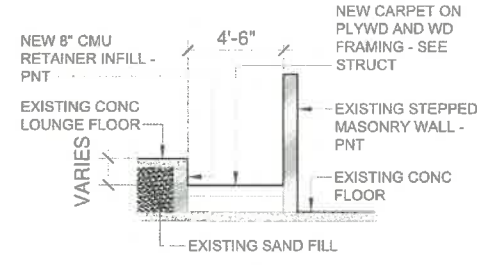
2 ELEVATION - INTERIOR RAMP @ UPPER LEVEL LOUNGE
1/4" = 1'-0"



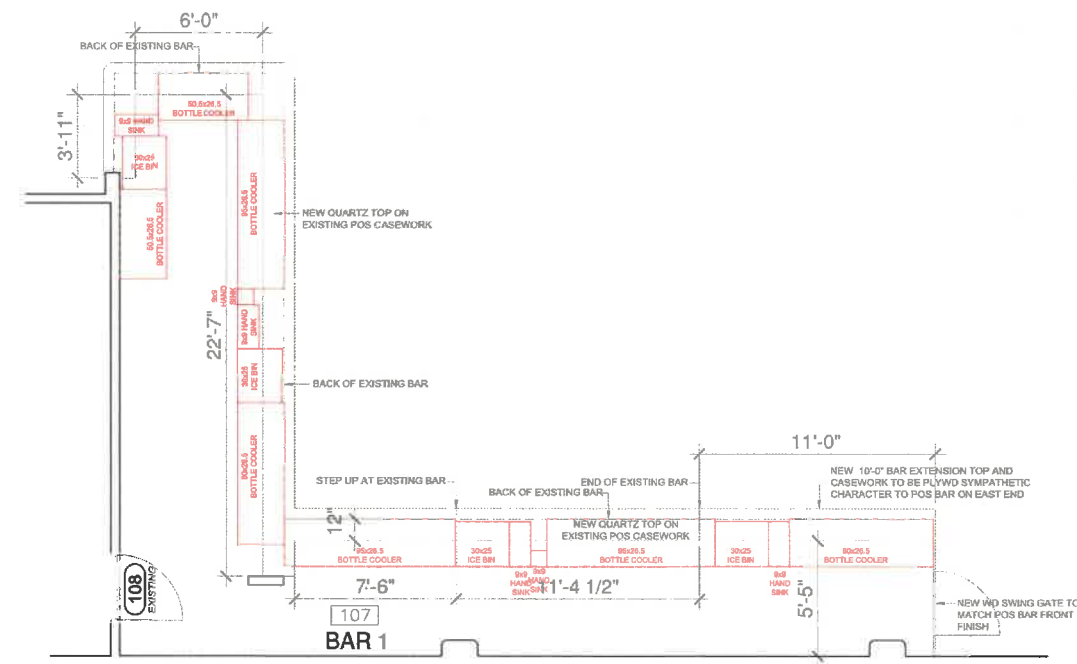
4 ELEVATION - INTERIOR RAMP @ UPPER LEVEL LOUNGE
1/4" = 1'-0"



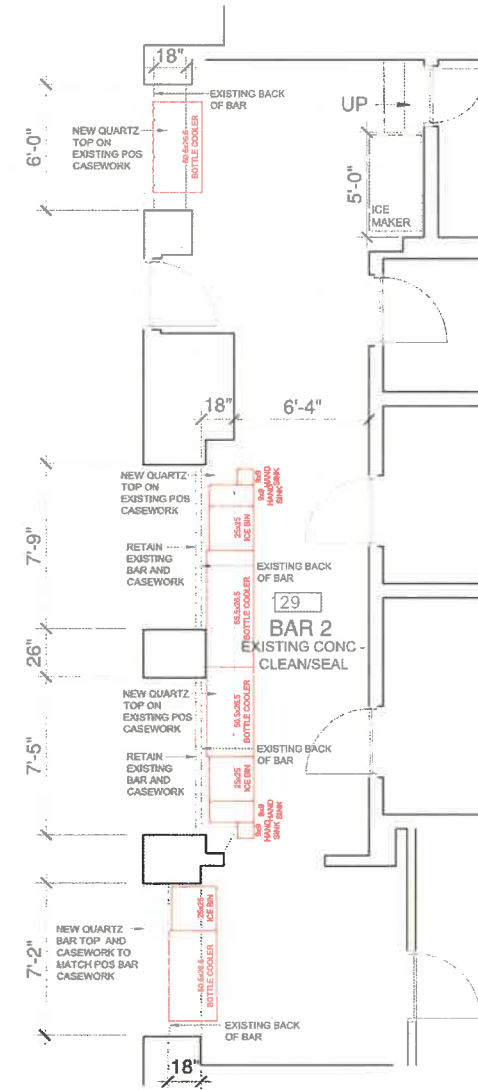
3 ELEVATION - INTERIOR RAMP @ UPPER LEVEL LOUNGE
1/4" = 1'-0"



3 SECTION - INTERIOR RAMP @ LOUNGE
1/4" = 1'-0"



6 PLAN - BAR 1 EQUIPMENT LAYOUT
1/4" = 1'-0"



7 PLAN - BAR 2 EQUIPMENT LAYOUT
1/4" = 1'-0"

Code Reference
2018 International Existing Building Code (IEBC)
2018 International Building Code (IBC)
2009 American National Standard (ANSI)
2018 International Mechanical Code
2018 International Electric Code
2018 Uniform Plumbing Code
NFPA 54

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Val Air Ballroom Rehabilitation Project

Goche' Inclusions llc
Peter P. Goche', AIA

2026 Country Club Boulevard Ames, Iowa 50014
Tel 515 520 3384 goche99@gmail.com

EXTERIOR STAIR
DETAILS
sheet **A8.1**

NOTE:
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LEGAL DESCRIPTION:

LOT 169 IN CLEGG PARK PLAT 4, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, EXCEPTING THEREFROM THE FOLLOWING TRACT OF LAND: BEGINNING AT THE SOUTHEASTERLY CORNER OF SAID LOT 169, THENCE WEST ON THE SOUTH LINE THEREOF 230 FEET, THENCE NORTH AT RIGHT ANGLES TO SAID SOUTH LINE TO A POINT ON THE NORTHEASTERLY LINE OF SAID LOT, THENCE SOUTHEASTERLY ON SAID NORTHEASTERLY LINE TO BEGINNING.

CONTAINING 8.5 AC, 369,519 SF

OWNER/DEVELOPER:

SAMUEL K SUMMERS
500 E LOCUST ST STE 500
DES MOINES, IA 50309

SITE ADDRESS:

301 ASHWORTH RD

UTILITIES OWNERSHIP:

STORM SEWERS	CITY OF WEST DES MOINES
SANITARY SEWERS	CITY OF WEST DES MOINES
WATER	WEST DES MOINES WATER WORKS
NATURAL GAS	MIDAMERICAN ENERGY
ELECTRIC	MIDAMERICAN ENERGY
TELEPHONE	CENTURY LINK
FIBER OPTIC	AUREON NETWORK SERVICES

CONSTRUCTION SCHEDULE:

ITEM	BEGINS	COMPLETES
DEMOLITION	11/22	05/24
BUILDING RENOVATIONS	11/22	05/24
PAVING	11/22	05/24
LANDSCAPING	04/23	05/24

IMPERVIOUS SURFACE:

SITE AREA = 369,519 SF
EXISTING IMPERVIOUS AREA = 209,367 SF
BUILDING FOOTPRINT = 29,800 SF
Δ IN IMPERVIOUS AREA = +1,394 SF
PROPOSED IMPERVIOUS AREA = 210,761 SF

OPEN SPACE:

25% REQUIRED = 92,380 SF
PROPOSED = 159,403 (43%)

PARKING

REQUIRED:

AUDITORIUM & THEATERS
1 SPACE / 4 SEATS
OR
20 SPACES / 1,000 GFA
29,800 / 1,000 = 29.8 X 20
596 TOTAL STALLS REQUIRED

EXISTING:

429 EXISTING STALLS (8 ACCESSIBLE STALLS)

P.C.C. PAVING:

- ALL SUBGRADE UNDER SLAB TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY FOR A MINIMUM OF 12" DEPTH.
- MOISTEN SUBGRADE PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
- AGGREGATE SHALL BE CLASS 3.
- CONCRETE SURFACES SHALL BE BURLAP FINISH. CHECK SURFACE WITH TEMPLATE NO DEVIATION OVER 1/8" IN 10' IS PERMITTED. ALL CONCRETE SHALL SLOPE TO DRAIN.
- ALL CONCRETE SHALL BE CURED WITH AN ASTM C309 TYPE 2, WATER BASED WHITE PIGMENTED CURING COMPOUND PER IDOT SEC. 4105.
- SAW CUT JOINTS AS SOON AS CONCRETE HAS SET ENOUGH TO PREVENT RAVELING AND PRIOR TO ANY CRACKING.
- SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
- LONGITUDINAL JOINT SPACING SHALL NOT BE GREATER THAN 12'. TRANSVERSE SPACING SHALL NOT BE GREATER THAN 15'. JOINT LAYOUT SHALL BE APPROVED BY THE ENGINEER.
- BAR AT LONGITUDINAL JOINTS TO BE 1/2" X 30" DEFORMED AT 30" O.C.
- ALL JOINTS SHALL BE FILLED.
- THE CONTRACTOR TO BARRICADE SLAB FOR 14 DAYS AFTER PLACING.
- ON SITE PAVING THICKNESS SHALL BE AS FOLLOWS: 6" SIDEWALKS, 7" DRIVEWAYS, AND PARKING STALLS.
- SUBMIT DESIGN MIX AS DESIGNED BY INDEPENDENT TESTING LABORATORY PRIOR TO PLACING ANY CONCRETE.
- ALL WORK TO COMPLY WITH CURRENT ACI STANDARDS.
- THE CONTRACTOR SHALL PAINT PARKING STALLS.
- ALL DEBRIS SPILLED ON THE CITY STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.

BUILDING TYPE:

AUDITORIUM/CONCERT/
EVENTS BUILDING

ZONING:

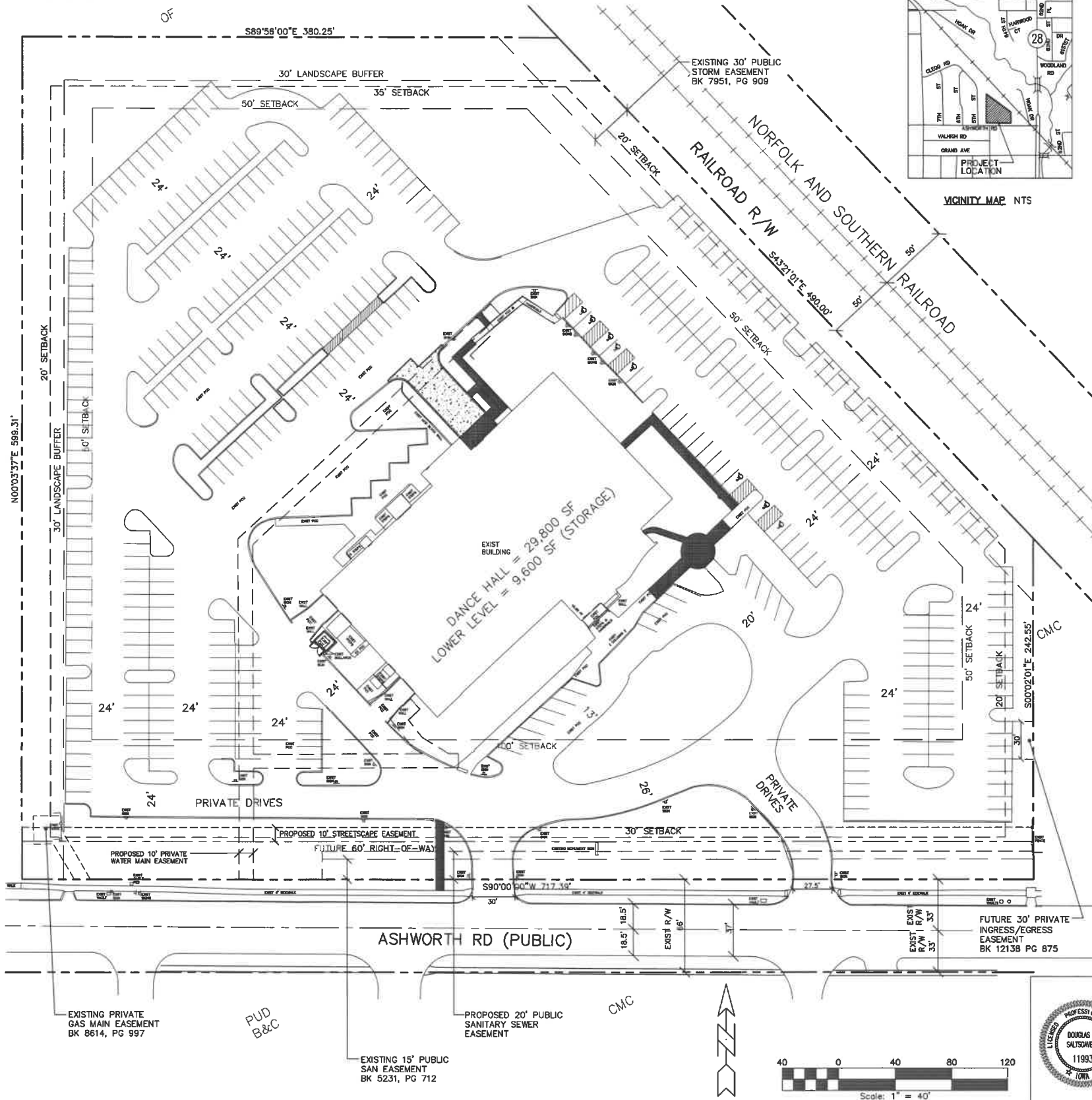
CMC

SETBACKS:

FY = 100'
SY = 50'
RY = 50'

USE

EXISTING: CONCERT HALL
PROPOSED: CONCERT HALL; RESTAURANT & BAR



INDEX OF SHEETS

- PROJECT MAP
- GEOMETRIC PLAN
- ACCESSIBLE RAMP PLAN
- GRADING PLAN
- GRADING PLAN - 2
- UTILITY PLAN
- DEMOLITION PLAN
- LANDSCAPING PLAN
- STREETSCAPE PLAN
- DETAIL SHEET

WEST DES MOINES BENCHMARK:

BENCHMARK: 055
1300 BLOCK OF BUFFALO ROAD, 130 FEET WEST OF CENTERLINE OF NORFOLK AND SOUTHERN RAILROAD TRACKS
ELEVATION = 834.61 FEET

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS
- ALL DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- ALL CONSTRUCTION PROCEDURES AND MATERIALS TO MEET OR EXCEED MINIMUM REQUIREMENTS OF THE CITY.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY AND ALL APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE CITY PROPER NOTICE FOR THEIR REQUIRED INSPECTIONS.
- WORK SHALL INCLUDE CONNECTION TO EXISTING PUBLIC UTILITIES AND ANY AND ALL FITTINGS, CLEANOUTS AND APPURTENANCES REQUIRED BY CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEARING & GRUBBING THE SITE, AND REMOVAL & DISPOSAL OF ANY DELETERIOUS AND EXCESS MATERIALS FROM THE SITE.
- ANY DAMAGE DONE TO THE EXISTING FENCES, YARDS OR OTHER IMPROVEMENTS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK INCLUDING SIDEWALK AND DRIVEWAY APPROACH.
- THE CONTRACTOR SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES, OR AS DIRECTED BY THE CITY.
- A SIDEWALK AND DRIVEWAY APPROACH PERMIT WILL BE REQUIRED OF THE DEVELOPER OR CONTRACTOR.
- ALL WORK IN CITY ROW SHALL BE DONE IN ACCORDANCE WITH CURRENT EDITION OF SUDAS AND THE CITY OF WEST DES MOINES GENERAL SUPPLEMENTAL SPECIFICATIONS TO SUDAS.
- ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT.
- PRIVATE WATER AND SEWER SERVICES MUST MEET UNIFORM PLUMBING CODE (UPC) AND ALL CITY OF WEST DES MOINES AMENDMENTS TO UPC. IN ADDITION, PRIVATE "MAIN" SEWER MUST MEET UPC. DEVELOPER / CONTRACTOR IS RESPONSIBLE FOR VERIFYING PIPE MATERIAL REQUIREMENTS PRIOR TO CONSTRUCTION.
- SIGNAGE SHALL BE MONUMENT OR DIRECTORY BUT IN NO CASE SHALL BE PORTABLE SIGNAGE.
- ALL NEW UTILITY METERS, TRANSFORMERS, GROUND-MOUNTED EQUIPMENT, AND OTHER UTILITIES SHALL BE LACED ALONG THE REAR OR SIDE FACADES THAT ARE INTERNAL TO THE SITE TO THE SATISFACTION OF THE CITY'S PLANNING ADMINISTRATOR.
- THE SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF PLAN APPROVAL.
- ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION / COMPLETION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- AN ON-SITE INSPECTION SHALL BE REQUESTED WITH BUILDING DIVISION AT (515)-222-3630.
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3485 TO RESERVE A METER.
- CONTACT BUILDING INSPECTION (515)-222-3630 A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515)-222-3485 A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALL PACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOT-CANDLE OR LESS.
- ANY BOLLARDS PROPOSED FOR THE SITE SHOULD BE PREFINISHED OR PAINTED TO MATCH THE ADJACENT WALL OR STRUCTURE TO LIMIT VISUAL CLUTTER ON THE PROPERTY.
- ANY WALL MOUNTED DUCT WORK SHOULD BE PAINTED TO MATCH THE WALL BEHIND.

VAL AIR BALLROOM - PROJECT MAP

ERG
Engineering Resource Group, Inc.
Engineers and Surveyors
2413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 288-4653

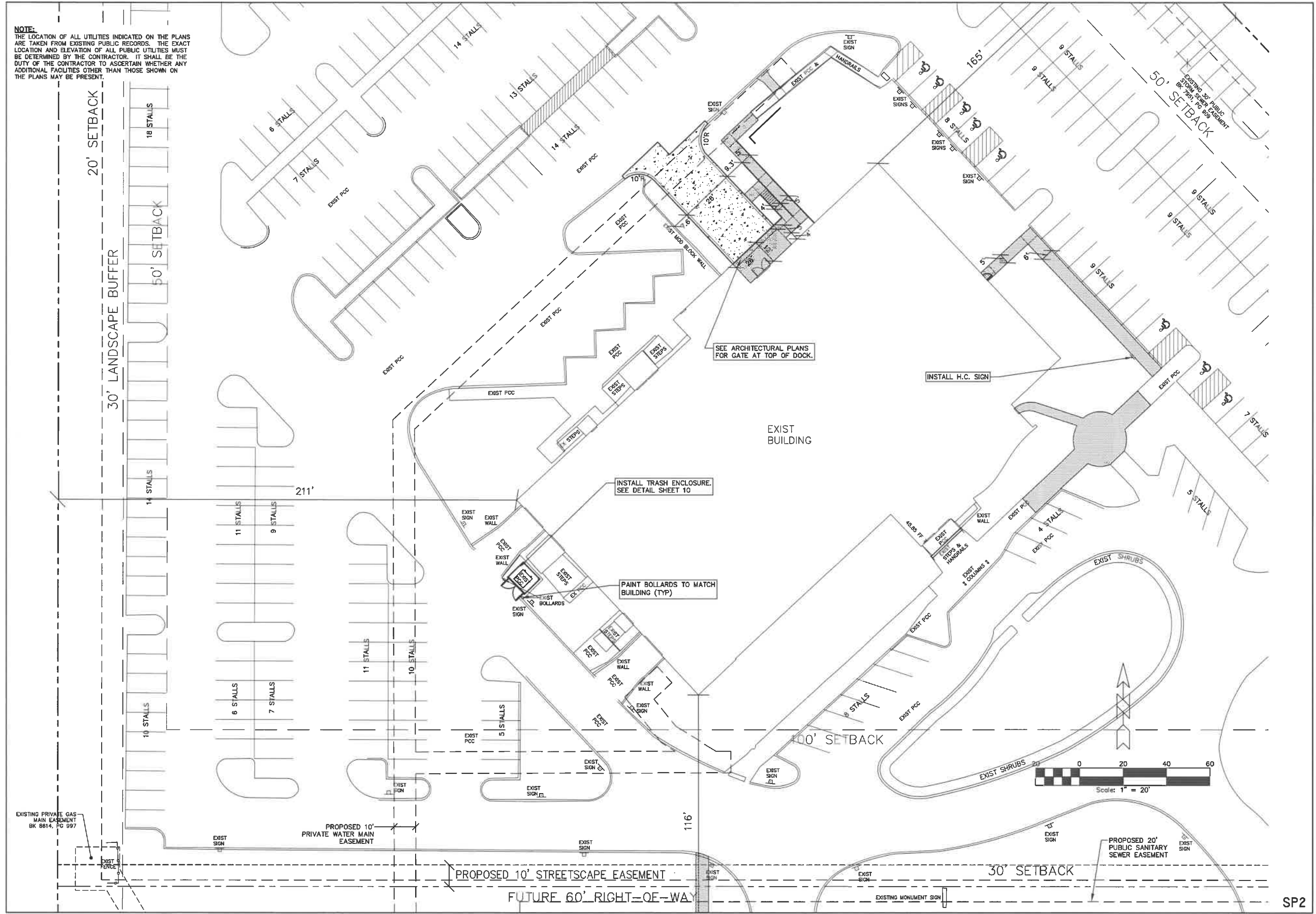


ENGINEERING CERTIFICATION
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT, SPECIFICATION OR REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
DOUGLAS J. SAUTSOMER, P.E. (11993) DATE: _____
MY REGISTRATION RENEVAL DATE IS DECEMBER 31, 2025.
PAGES OR SHEETS COVERED BY THIS SEAL: _____

SPI

22-010

NOTE:
 THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



VAL AIR BALLROOM - GEOMETRIC PLAN

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 DUNSMITH, ALABAMA 36824
 (334) 286-4653

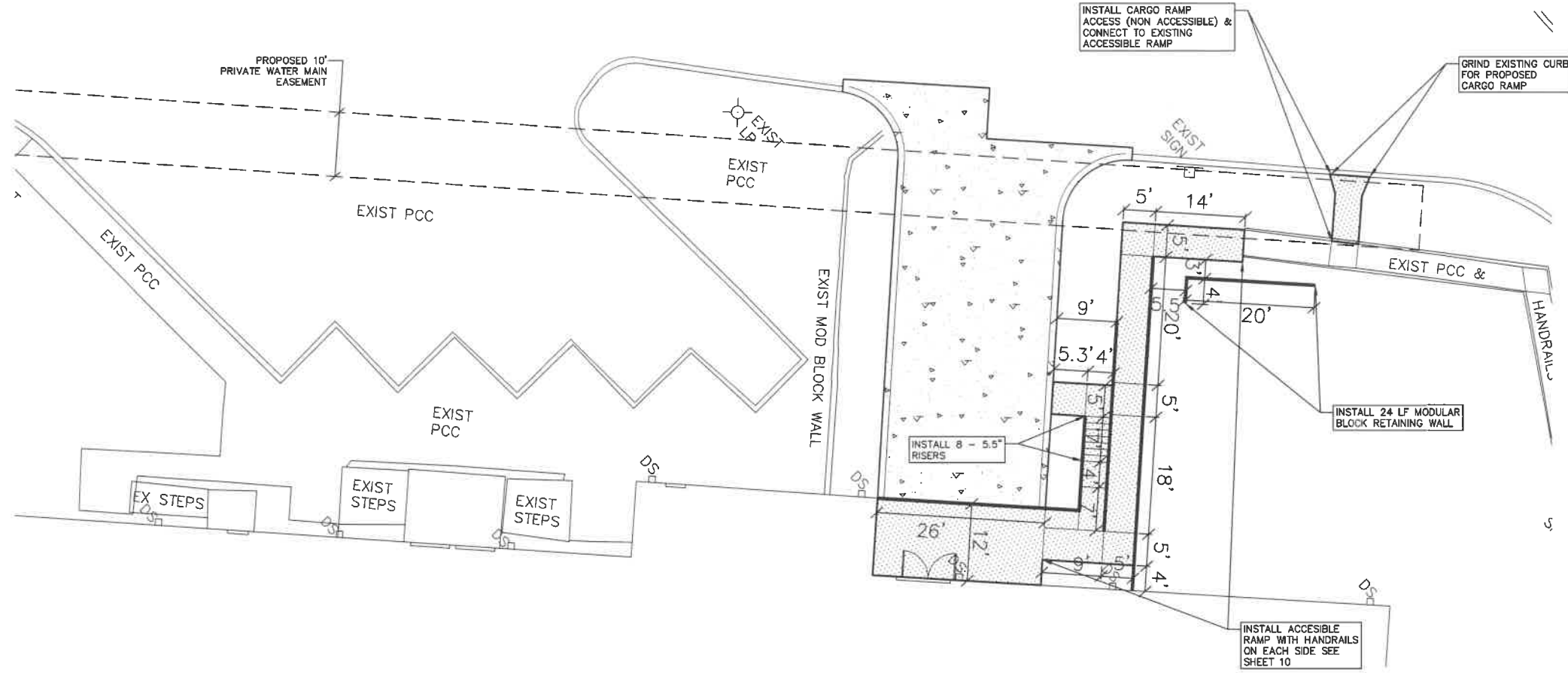
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		FILE NO.:	22-010
		DATE:	11/23/2022
		DRAWN BY:	PJV

SP2

22-010

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VAL AIR BALLROOM - ACCESSIBLE RAMP PLAN

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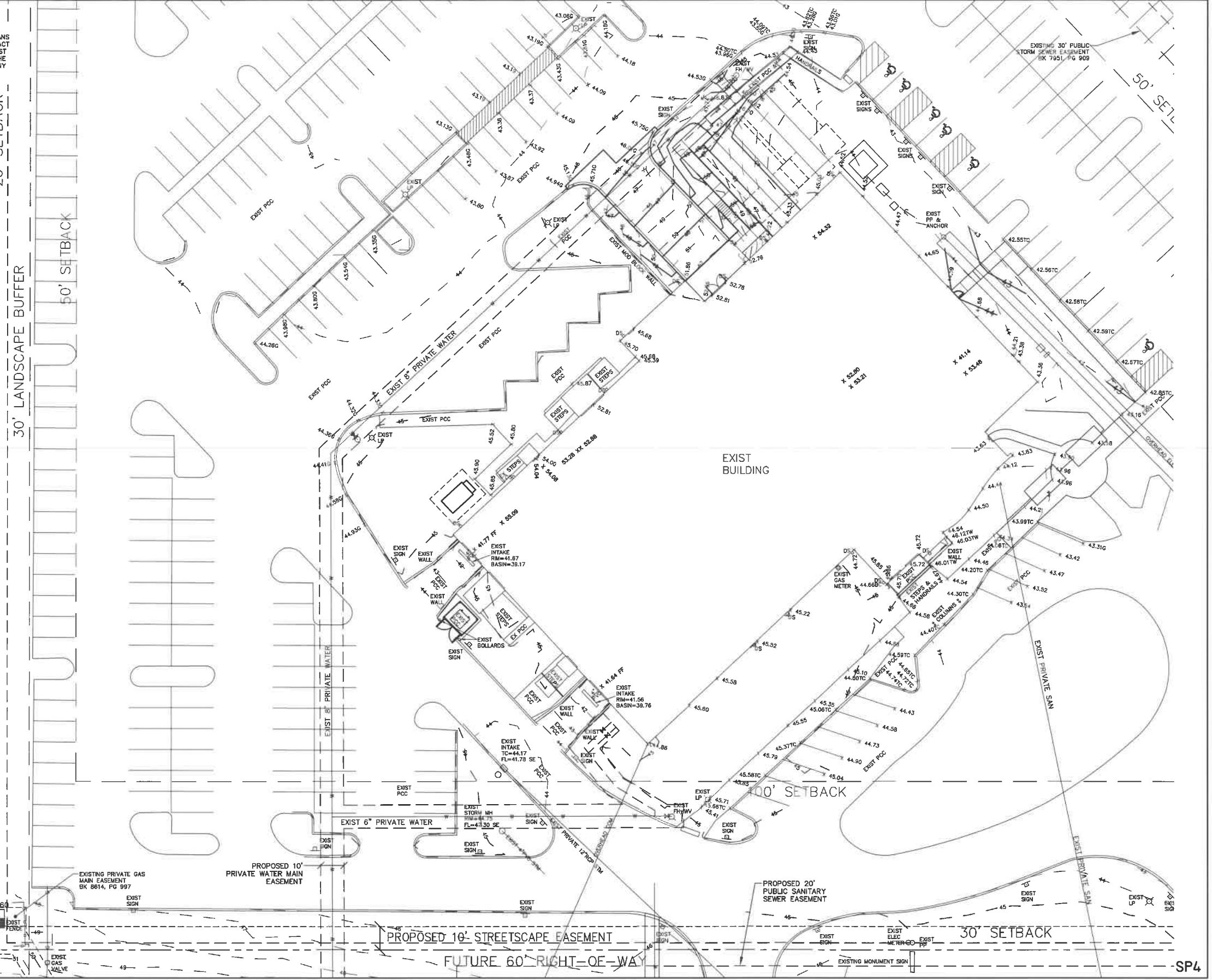
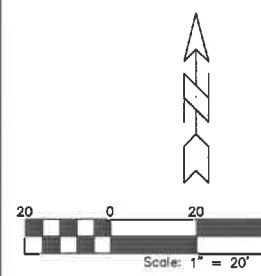
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		FILE NO.:	22-010

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GRADING NOTES:

1. REMOVE ALL EXISTING ORGANIC MATERIAL TO 6" MINIMUM DEPTH.
2. PROOF ROLL THE EXPOSED SUB GRADE.
3. NATIVE SOILS MAY BE REUSED FOR COMMON FILL AFTER THEY ARE SORTED TO REMOVE ALL DELETERIOUS MATERIALS SUCH AS CONCRETE, BRICKS AND OTHER RUBBLE. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE. ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
4. ANY SOFT SPOTS DISCOVERED DURING PROOF ROLLING SHALL BE UNDERCUT AND RECOMPACTED.
5. ALL PAVEMENTS SHALL HAVE A MINIMUM OF 12" OF SELECT, COMPACTED MATERIAL OF CL OR ML CLASSIFICATION DIRECTLY BELOW THE BOTTOM OF SLAB.
6. FILL SHALL BE PLACED IN UNIFORM LIFTS HAVING A MAXIMUM LOOSE THICKNESS OF 9". COMPACTION BELOW SLABS AND PAVING AND WALKS SHALL BE AT LEAST 95% OF STANDARD PROCTOR (ASTM D-998) MAXIMUM DRY DENSITY. COMPACT TO 90% AT OTHER LOCATIONS. MAINTAIN MOISTURE CONTENT OF CONTROLLED FILL ABOVE OPTIMUM DURING PLACEMENT AND COMPACTION.
7. THE ENTIRE SITE SHALL BE FINE GRADED WITH ELEVATION TOLERANCE OF 0.1 FOOT.
8. OBSERVATION AND TESTING OF FILL OPERATION SHALL BE BY THE SOILS ENGINEER HIRED BY THE CONTRACTOR.
9. ALL PROPOSED SPOT ELEVATIONS ARE TO TOP OF PAVEMENT OR FINISH GRADE, UNLESS OTHERWISE NOTED.



VAL AIR BALLROOM - GRADING PLAN

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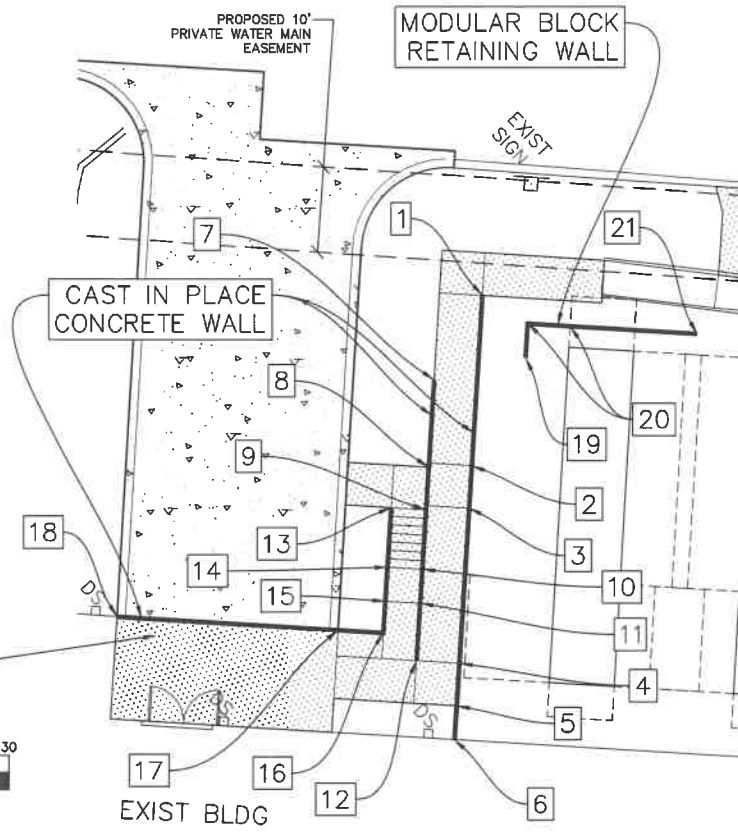
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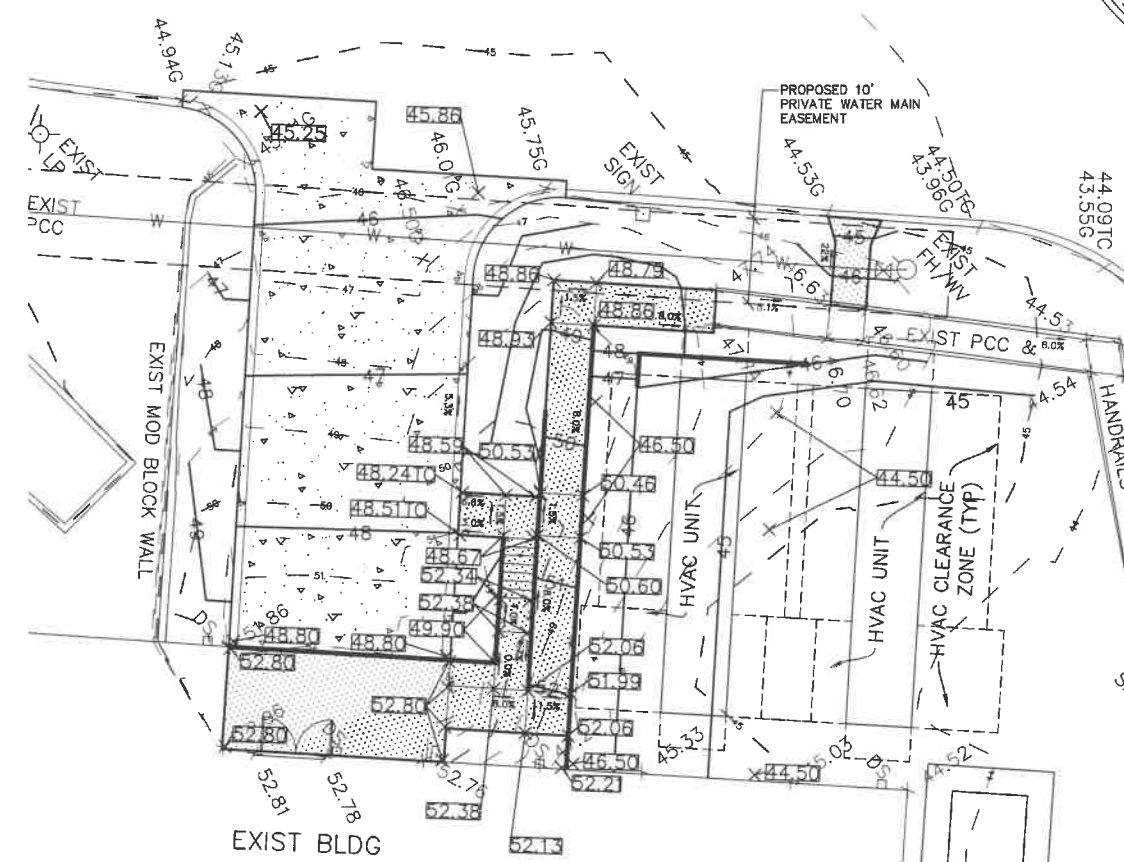
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WALL ELEVATION				
POINT	TOP OF WALL ELEVATION	BOTTOM OF WALL ELEVATION	BOTTOM WALL DIRECTION	WALL HEIGHT (FT)
1	48.86	48.86	-	-
2	50.46	46.50	EAST	3.96
3	50.53	46.50	EAST	4.03
4	51.99	46.50	EAST	5.49
5	52.06	46.50	EAST	5.56
6	52.21	46.50	EAST	5.71
7	49.75	49.75	-	-
8	50.53	48.59	WEST	1.94
9	50.64	48.67	WEST	1.97
10	52.34	51.20	EAST	1.14
11	52.38	51.52	EAST	0.86
12	52.06	52.06	-	-
13	49.13	48.67	WEST	0.46
14	52.34	49.90	WEST	2.44
15	52.38	49.90	WEST	2.48
16	52.38	49.90	NORTH	2.48
17	52.80	48.80	NORTH	4.00
18	52.80	48.80	NORTH	4.00
19	46.00	46.00	-	-
20	48.00	46.00	WEST	2
21	46.00	46.00	-	-

RETAINING WALL ELEVATIONS

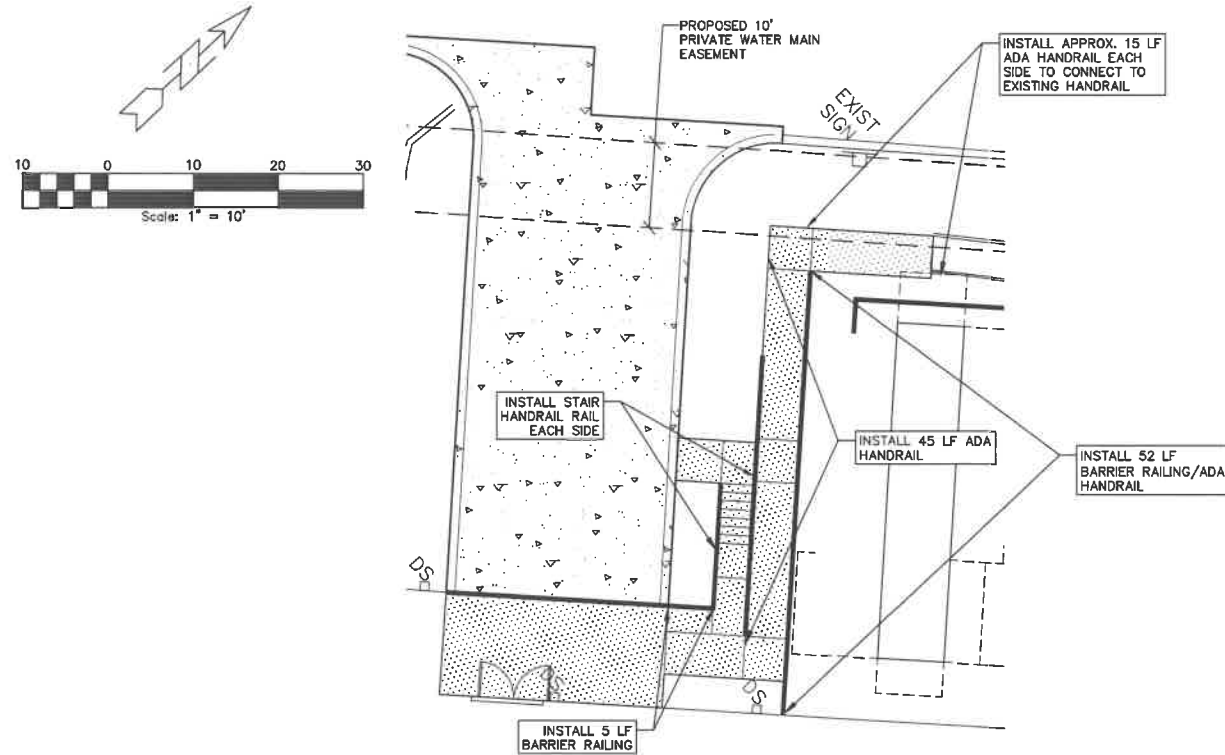


NORTH ACCESSIBLE RAMP ACCESS & TRUCK RAMP

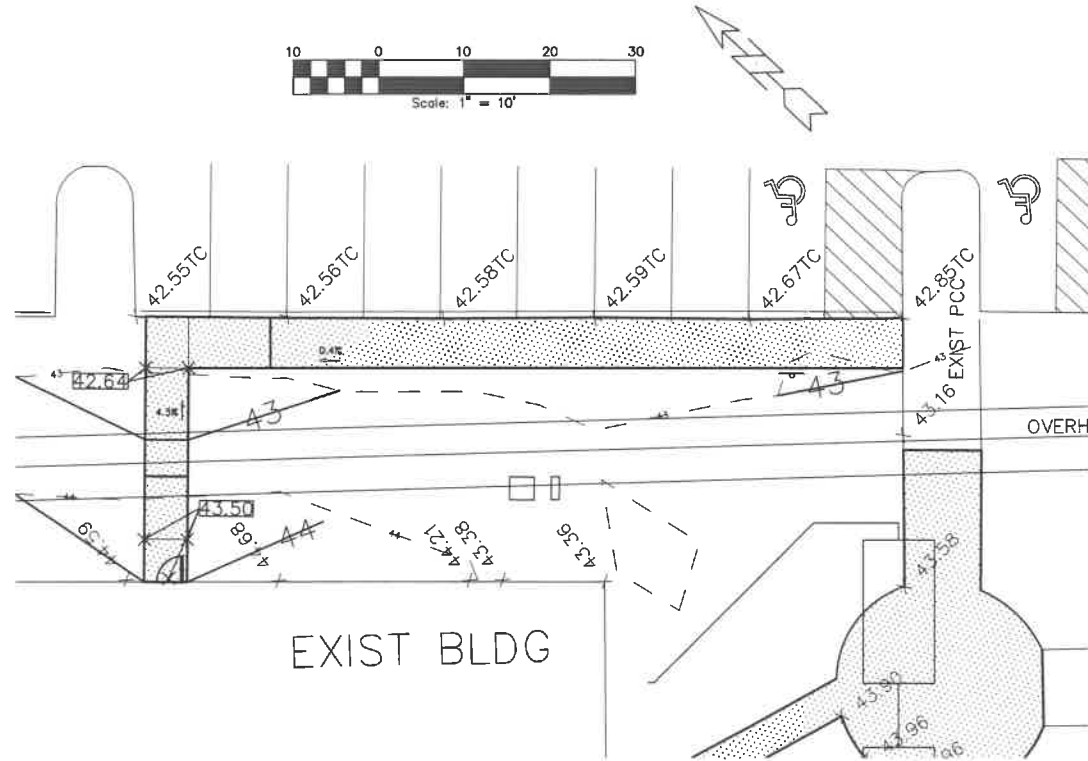


RETAINING WALL RAILINGS

ADA HANDRAIL SHALL BE 1-1/2" STEEL TUBE, PAINTED.
BARRIER RAILING SHALL NOT ALLOW 4" SPHERE TO PASS
STAIR HANDRAIL SHALL BE PER STAIR DETAIL ON DETAIL SHEET



NORTHEAST BUILDING ACCESS



VAL AIR BALLROOM - GRADING PLAN - 2

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DUNCAN, MI 48128
(810) 288-4888

22-010

DRAWN BY: PJJ
DATE: 11/23/2022

DESIGNED BY: DJS
CHECKED BY:

SCALE: 1" = 20'
DWG: 22-010-GRD-2.dwg
FIELD BOOK:

LOCATION:

NO.:

REVISION:

DATE:

BY:

FOR:

SHEET 5 OF 10

FILE NO.: 22-010

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SANITARY SEWERS

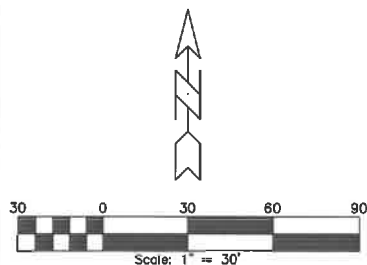
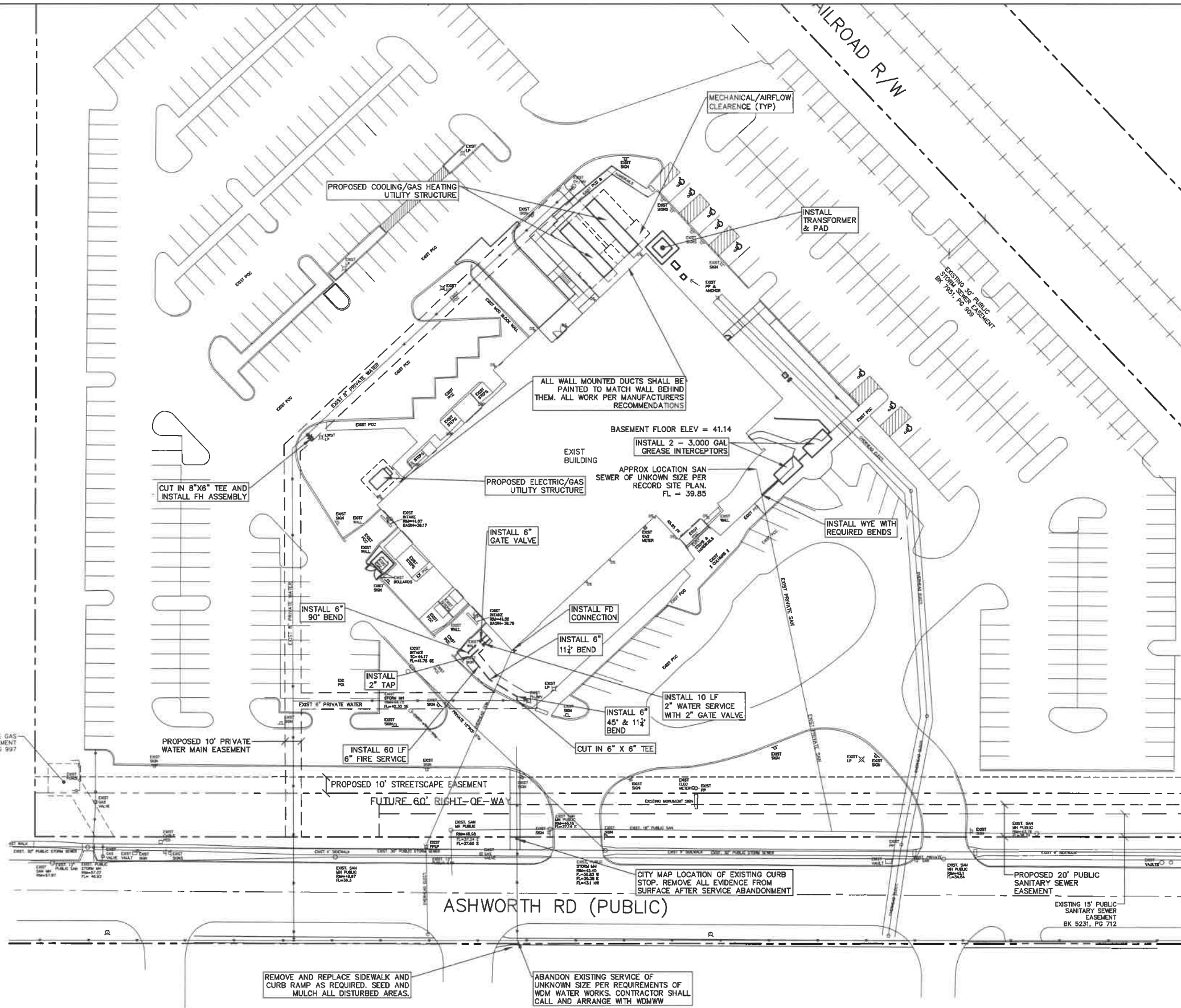
1. THE SITE CONTRACTOR TO INSTALL PIPE TO WITHIN FIVE (5) FEET OF BUILDING.
2. THE CONTRACTOR SHALL INSTALL ANY AND ALL FITTING AND APPURTENANCE AS REQUIRED BY PLUMBING CODE WHETHER SHOWN OR NOT.

WATER SERVICE:

1. CONTRACTORS SHALL ARRANGE FOR AND PAY FOR ANY REQUIRED TAPS TO MAINS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CITY OF WEST DES MOINES CODES.
3. ALL BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR

WATER QUANTITIES:

- | | |
|---------------------------|-------|
| 1. FH ASSEMBLY | 1 EA |
| 2. 6" FIRE SERVICE | 60 LF |
| 3. 2" WATER SERVICE | 10 LF |
| 4. 2" TAP | 1 EA |
| 5. CUT IN 6" X 6" TEE | 1 EA |
| 6. CUT IN 8" X 6" TEE | 1 EA |
| 7. 2" GATE VALVE | 1 EA |
| 8. 6" GATE VALVE | 1 EA |
| 9. FD CONNECTION | 1 EA |
| 10. 90° 6" BEND | 1 EA |
| 11. 45° & 11 1/2° 6" BEND | 1 EA |
| 12. 11 1/2° BEND | 1 EA |



VAL AIR BALLROOM - UTILITY PLAN

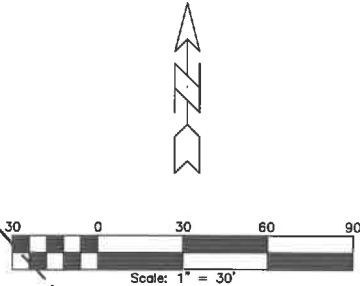
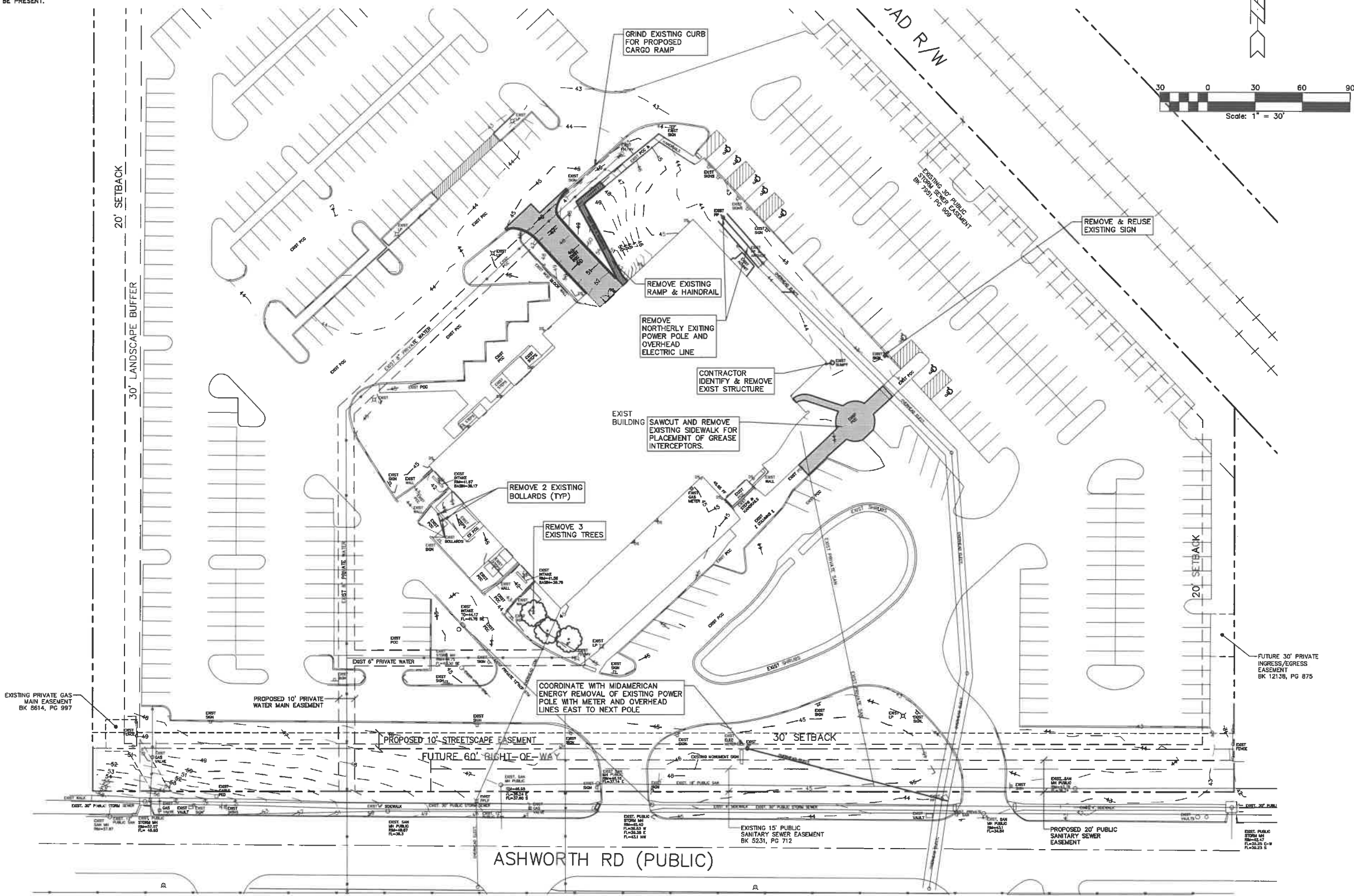
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VAL AIR BALLROOM - DEMOLITION PLAN

NO.	REVISION	DATE	BY	FOR	LOCATION	SCALE:	DESIGNED BY:	DRAWN BY:	P.L.V.
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								10	22-010

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 DES PLAINES, IL 60018
 (815) 298-4883

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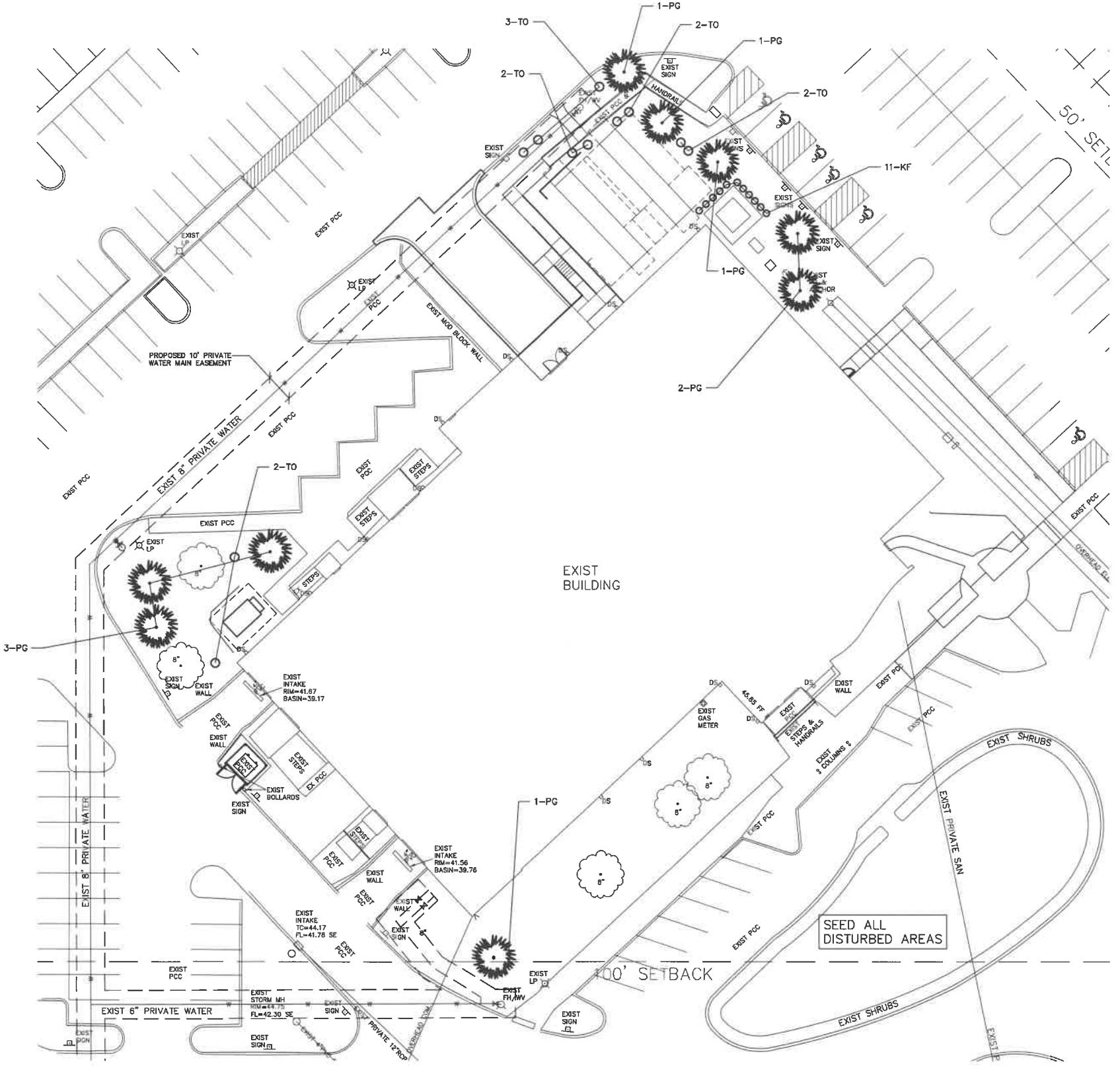
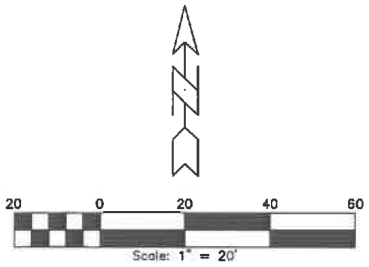
NOTE:
THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

PLANT SCHEDULE:

Code	Common Name	Botanical Name	Quantity	Min. Planting Size
PG	White Spruce	<i>Picea glauca</i> 'Densata'	9	6' tall
TO	Emerald Green Arborvitae	<i>Thuja occidentalis</i> 'Emerald Green'	11	6' tall
KF	Feather Reed Grass	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	11	3 gallon

PLANTS PROVIDED
= 8 EVERGREEN TREES
= 11 TALL SHRUBS
= 11 ORNAMENTAL GRASSES

SEE SHEET 9 FOR STREETSCAPE LANDSCAPING PLAN



VAL AIR BALLROOM - LANDSCAPING PLAN

ERG
Engineering Resource Group, Inc.
Engineers and Surveyors
2413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 266-4868

SP8

22-010

NO.	REVISION	DATE	BY	FOR:	
SCALE:	1" = 20'	DESIGNED BY:	DJS	DRAWN BY:	PJV
DWG:	22-010-LND.dwg	CHECKED BY:		DATE:	11/23/2022
FIELD BOOK:		SHEET	B	OF	10
		FILE NO.:	22-010		22-010

NOTE:
THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

PLANT SCHEDULE:

Code	Common Name	Botanical Name	Quantity	Min. Planting Size
AF	'Jeffersred' Autumn Blaze Maple	Acer x freemanii 'Jeffersred'	5	1.5" cal.
GT	Thornless Honeylocust	Gleditsia triacanthos var. inermis	5	1.5" cal.
TC	Littleleaf Linden	Tilia cordata	4	1.5" cal.
AC	Shadbowl Serviceberry (Clump)	Amelanchier Canadensis	5	6" tall
CA	Pagoda Dogwood	Cornus alternifolia	6	6" tall
CC	Eastern Redbud	Cercis Canadensis	5	6" tall
CH	Thornless Cockspar Hawthorn	Crataegus crus-galli var. inermis	6	6" tall
MS	'Spring Snow' Crabapple	Malus x 'Spring Snow'	5	6" tall
EC	Compact Burning Bush	Euonymus alatus 'Compactus'	34	3 gallon
JP	Sea Green Juniper	Juniperus x 'Pfitzeriana'	32	3 gallon
SJ	'Neon Flash' Spirea	Spiraea japonica 'Neon Flash'	33	3 gallon
TM	Common Yew	Taxus x media 'Densiformis'	33	3 gallon

STREETSCAPE CALCULATIONS:

LANDSCAPING:

1 OVERSTORY TREE / 50 LF
2 UNDERSTORY TREE / 50 LF
10 SHRUBS / 50 LF

680 LF OF STREET FRONTAGE

REQUIRED:
14 OVERSTORY TREES
27 UNDERSTORY TREES
132 SHRUBS

PROVIDED:
14 OVERSTORY
27 UNDERSTORY
132 SHRUBS

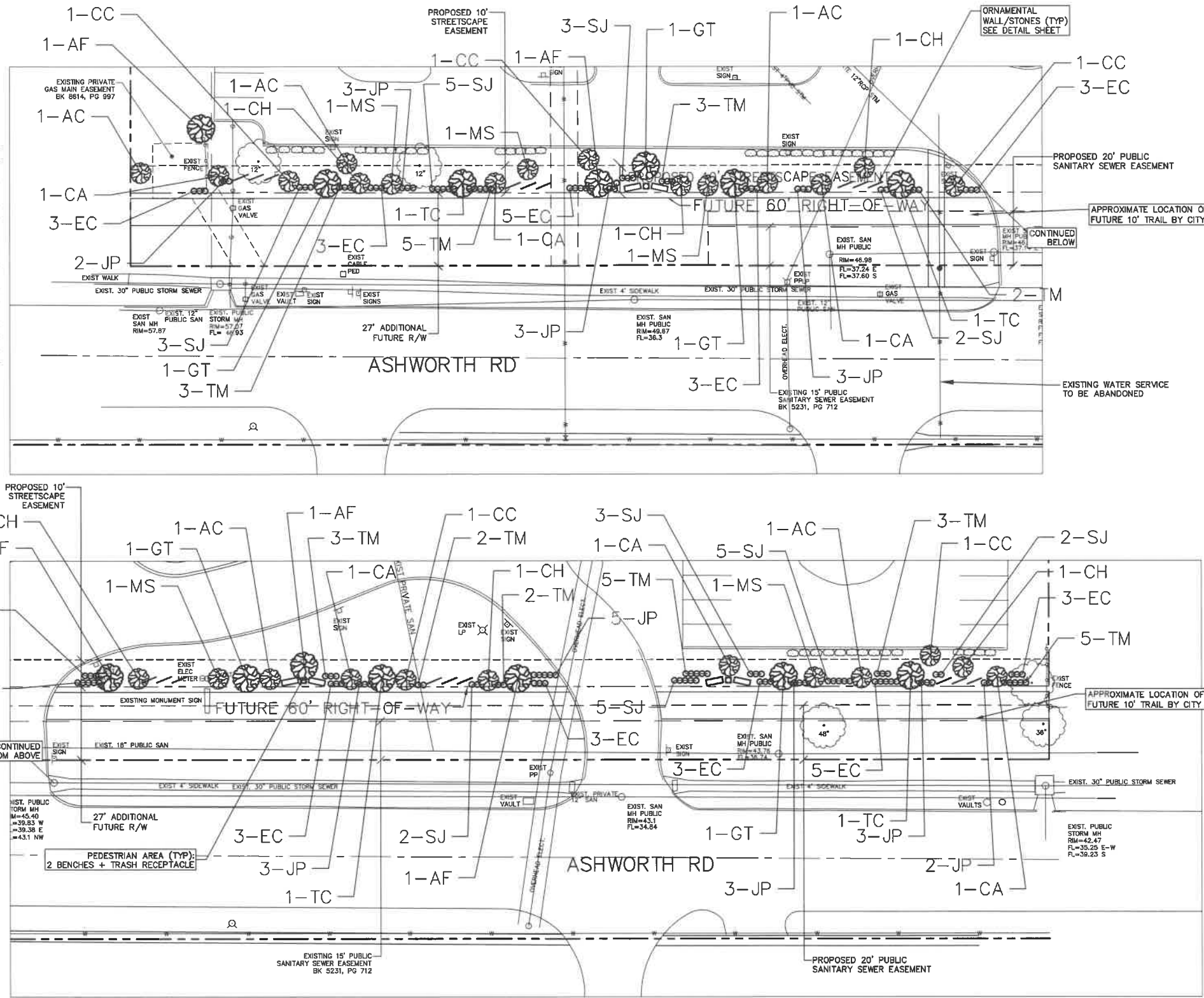
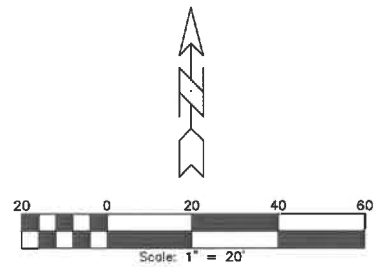
PEDESTRIAN AREA:

2 BENCHES / 200 LF
1 TRASH RECEPTACLE / 200 LF

660 LF OF STREET FRONTAGE

REQUIRED:
7 BENCHES
4 TRASH RECEPTACLES

PROVIDED:
6 BENCHES
3 TRASH RECEPTACLES

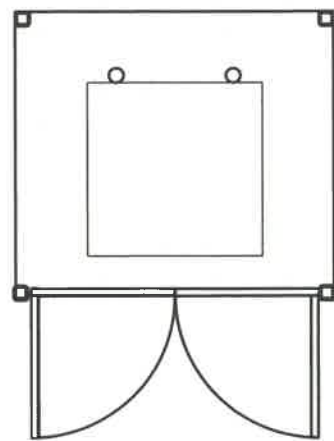
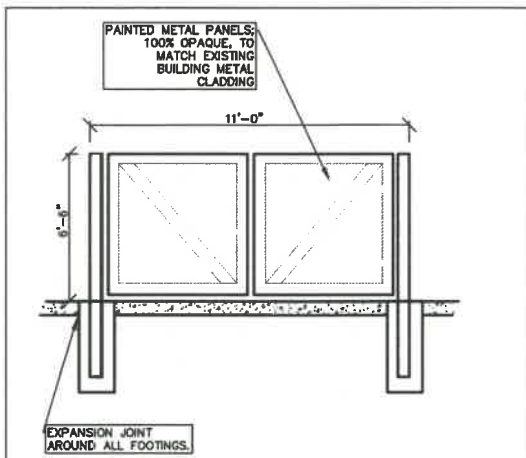


CONSTRUCTION OF IMPROVEMENT ON THIS SHEET SHALL BE DEFERRED UNTIL RECONSTRUCTION OF ASHWORTH ROAD.

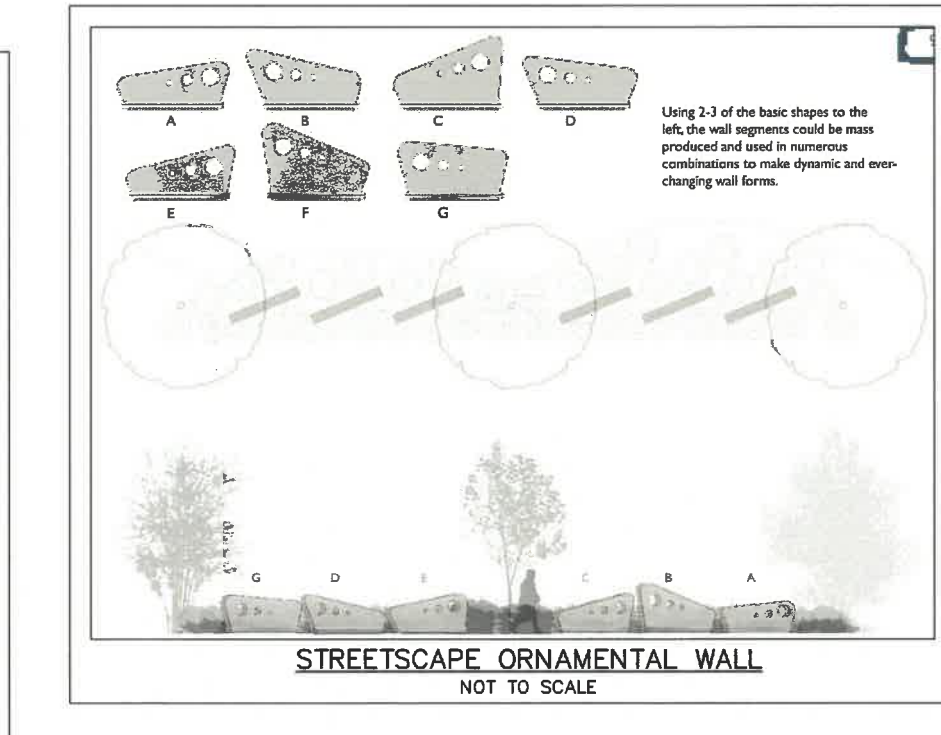
VAL AIR BALLROOM - STREETSCAPE PLAN

NO.	REVISION	DATE	BY	FOR
LOCATION:		SCALE:	DESIGNED BY:	DRAWN BY:
27-010-LND-STREET.dwg		1" = 20'	DJS	PLV
FIELD BOOK:		DWG. NO.:	CHECKED BY:	DATE:
9		22-010-LND-STREET.dwg	11/23/2022	11/23/2022
		SHEET:	OF:	FILE NO.:
		9	10	22-010

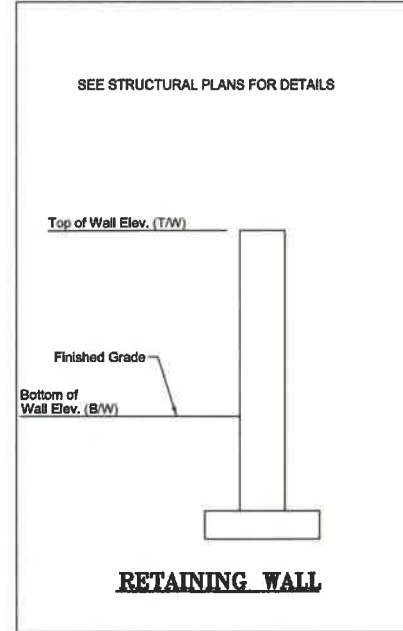
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DES MOINES, IOWA 50312
(515) 280-4623



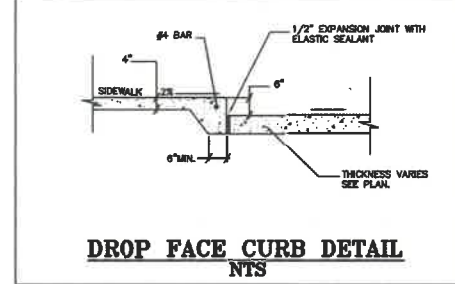
TRASH ENCLOSURE DETAIL
NTS



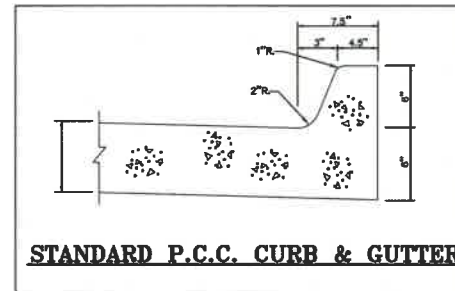
STREETSCAPE ORNAMENTAL WALL
NOT TO SCALE



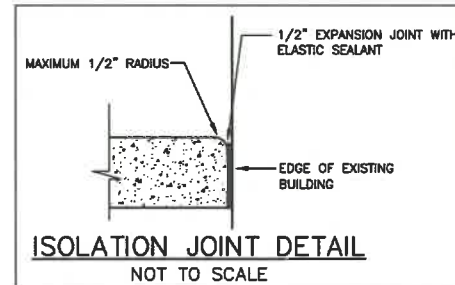
RETAINING WALL



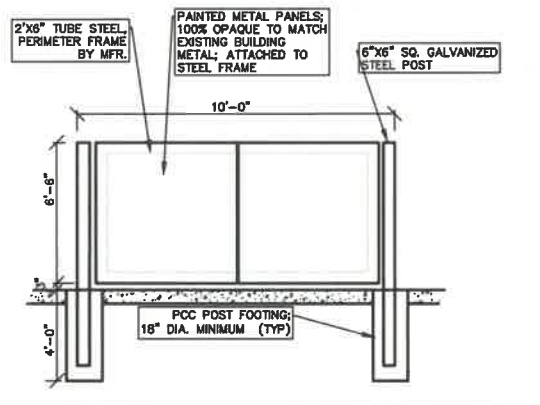
DROP FACE CURB DETAIL
NTS



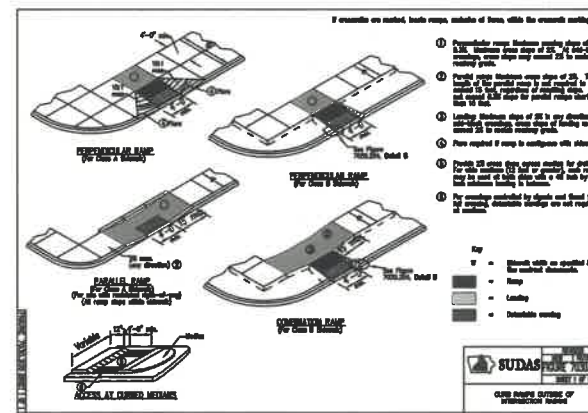
STANDARD P.C.C. CURB & GUTTER



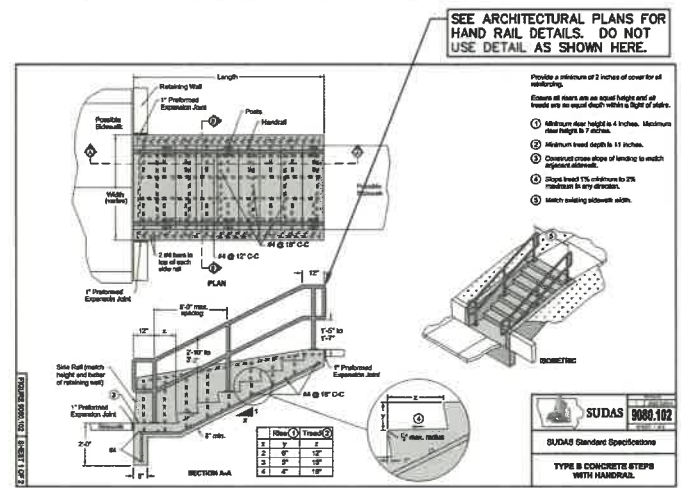
ISOLATION JOINT DETAIL
NOT TO SCALE



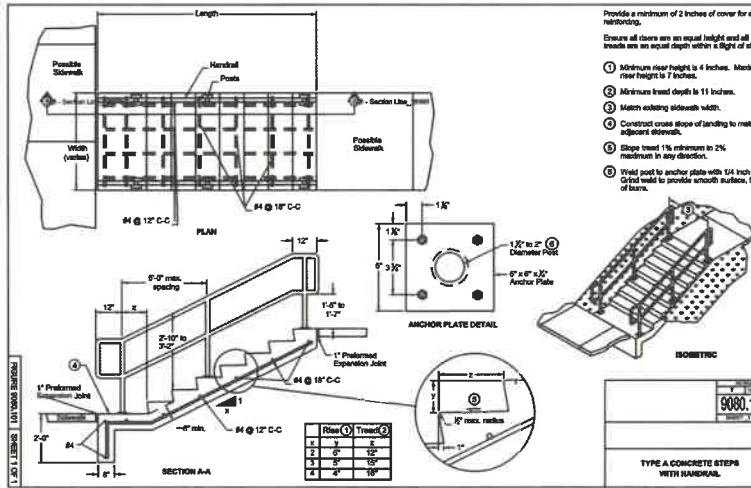
TRASH ENCLOSURE DETAIL
NTS



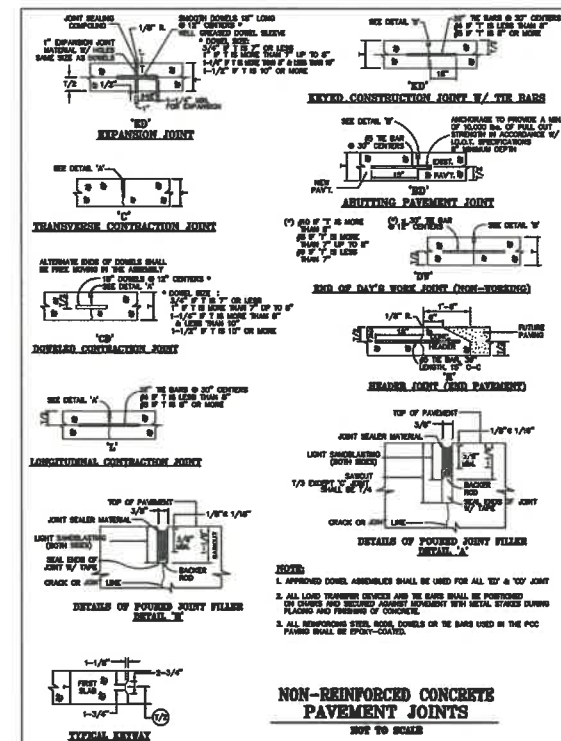
9080.101
TYPE A CONCRETE STEPS WITH HANDRAILS.



9080.102
TYPE B CONCRETE STEPS WITH HANDRAILS.



9080.101
TYPE A CONCRETE STEPS WITH HANDRAILS.



9080.103
NON-REINFORCED PAVEMENT JOINTS NOT TO SCALE.

VAL AIR BALLROOM - DETAIL SHEET

SCALE:	22-010-DTL.dwg	LOCATION:	DESIGNED BY: DJS	DRAWN BY: P/JY	DATE: 11/23/2022	
	DWG.					SHEET 10
	FIELD BOOK:					10
						22-010
NO.	FOR:					
	DATE					
	REVISION					
	FILE NO. 22-010					

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A RESOLUTION OF THE PLANNING AND ZONING COMMISSION

NO. PZC-22-114

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, VAB, LLC, request approval of the Level 2 Minor Modification to Site Plan for the approximately 8.5-acre property located at 301 Ashworth Road as depicted on the location map included in the staff report. The applicant requests approval to renovate the existing Val Air Ballroom building and plant new landscaping around the building; and

WHEREAS, the Minor Modification Level 2 request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Level 2 Minor Modification to Site Plan (MML2-005811-2022), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on December 12, 2022.

Jennifer Drake, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on December 12, 2022, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary