

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** March 27, 2023

**ITEM:** The Pines at Glen Oaks, Southwest quadrant of I-35 Interstate and Mills Civic Parkway interchange – Approve a Preliminary Plat to create 33 lots for Multi Family Residential development - Paramount-Destination Homes, Inc. – PP-005395-2021

**Resolution: Approval of Preliminary Plat**

**Background:** James Myers with Paramount-Destination Homes, Inc., an Iowa Corporation, applicant, with permission from the property owner Gerald M. Kirke, as Trustee of the Gerald M. Kirke Revocable Family Trust under agreement dated January 5, 1989, requests approval of a Preliminary Plat for the approximately 8.13-acre property generally located at the southwest quadrant of I-35 and Mills Civic Parkway interchange. The applicant proposes to subdivide the property into 33 lots for rowhome development, 1 outlot for common areas, and 2 street lots to be dedicated to the City and the Iowa Department of Transportation. The related Site Plan for this project to allow the construction of 33 attached rowhomes and associated site improvements will be scheduled for a future meeting agenda.

**Staff Review & Comment:**

- **Financial Impact:** There is no City funding of this project; however, there is staff time for processing of development application and inspections during construction.
- **Key Development Aspects:**
  1. The developer has worked with the Glen Oaks Owners Association (GOOA) to place additional landscaping and fencing along the property line between the properties at the request of the GOOA. The landscape plan reflects this agreement. It is not a requirement from the City.
  2. The parkland dedication area is located in the southern portion of the property. The parkland dedication will be documented during the final plat process.
- **Traffic Impact Study Findings:** A traffic analysis was completed with the Comprehensive Plan Land Use amendment and Rezoning completed in January 2023. That analysis studied the impact of 38 townhomes on the surrounding public transportation system. At that time, the analysis indicated that there would be less traffic generated than had been previously studies. Recommendations given in previous studies for the surrounding public streets remain adequate.

Previous studies have shown that future levels of services for intersections in the vicinity fall below the desired level of service D standard. Studies have projected failing levels of service in the future at S. 60<sup>th</sup> Street and Mills Civic Parkway and Interstate 35 and Mills Civic Parkway, for example. However, the future congestion is not expected to worsen by this development since the site is still below the planned trip generations.

- **Development & Planning Subcommittee:** The Development and Planning Subcommittee discussed with the developer, the developer's request to reduce the setbacks along the property owned by the Glen Oaks Owners' Association on the east side of Glen Oaks Drive. At one point in the review process, the developer anticipated that a strip of land between Glen Oaks Drive and the subject property would be acquired by the developer which would have enabled standard setbacks on the west side of the property. The strip of land is owned by the Glen Oaks Owners' Association, and they did not want to relinquish the property as there is a berm and vegetation on the property they

wanted to protect. The strip is undevelopable because of its small width. The Subcommittee recommended that the Planned Unit Development amendment that was being processed during the same time period be amended to include provisions for reduced setbacks.

- **Plat Validity:** Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.

**Outstanding Issues:** There are no outstanding issues.

**Planning and Zoning Commission Action:**

Date: March 27, 2023

Vote:

Recommendation:

**Recommendation:** Approve the Preliminary Plat request, subject to the applicant meeting all City Code requirements and the following:

1. The applicant acknowledging that prior to issuance of any building permits for buildings within The Pines at Glen Oaks development, that the associated Final Plat must be approved by the City Council and recorded with Polk County.

**Lead Staff Member:** Kara Tragesser

**Approval Meeting Dates:**

Planning and Zoning Commission	March 27, 2023
City Council	

**Staff Report Reviews:**

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

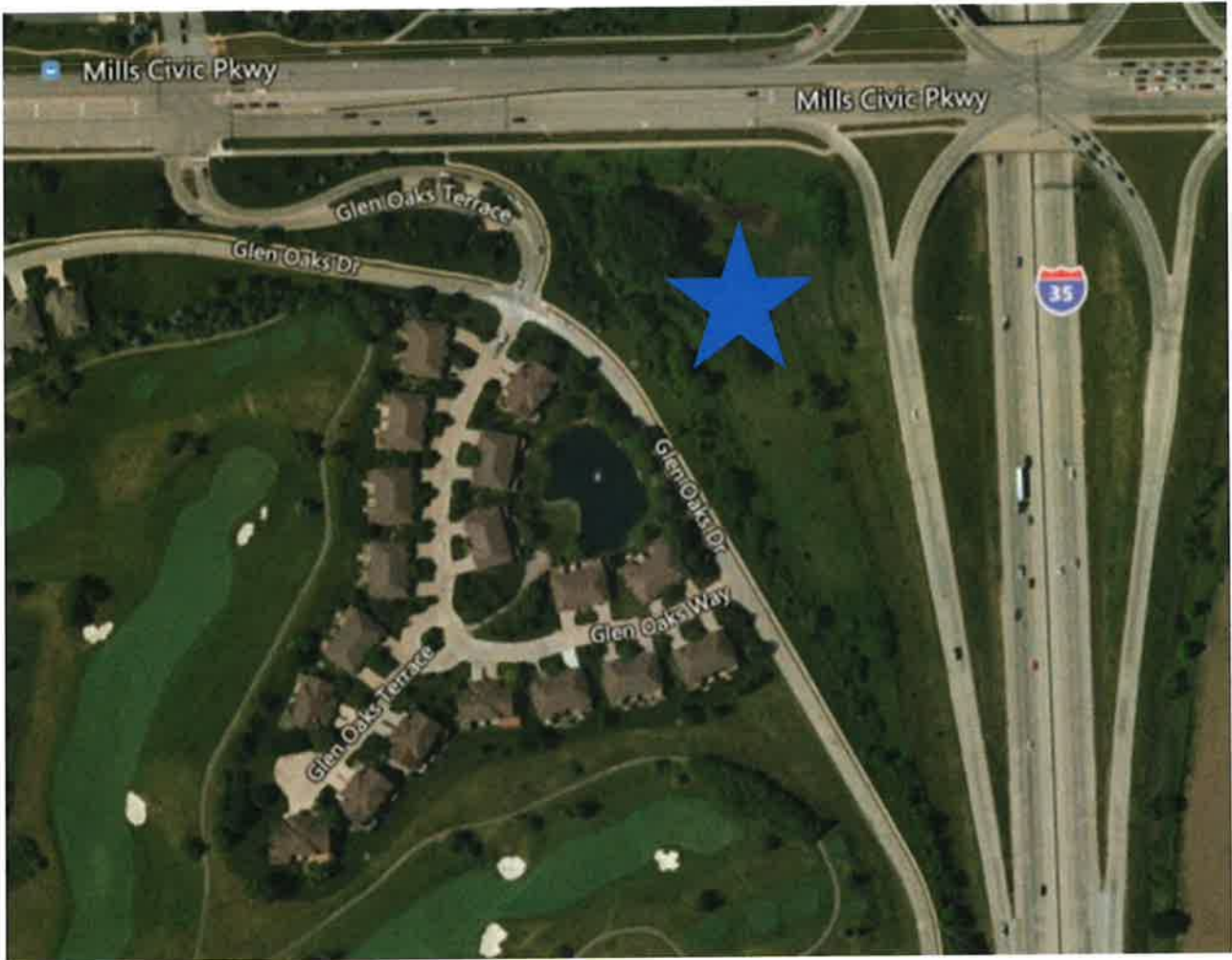
**Publications (if applicable)**

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

**Council Subcommittee Review (if applicable)**

Subcommittee	Development & Planning
Date Reviewed	10/3/22
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



**CITY CASE NUMBER**  
 (SP-005366-2021/PP-005365-2021)

**SITE ADDRESS**  
 SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
 WEST DES MOINES, IA 50266

**COMPREHENSIVE PLAN LAND USE**  
 EXISTING: NA - VACANT LOT  
 PROPOSED: MD - MEDIUM DENSITY RESIDENTIAL

**ZONING**  
 EXISTING: NOT ZONED  
 PROPOSED: GLEN OAKS PLANNED UNIT DEVELOPMENT - MEDIUM DENSITY

**SETBACKS**  
 FROM MILLS CIVIC PKWY: 100'  
 FROM I-35: 35'  
 FROM WEST PROPERTY LINE: 0'

**BUILDINGS**  
 EXISTING - NONE  
 PROPOSED - 3 STORY - 25 UNITS - 31' x 35' (4 BUILDINGS)  
 2 STORY - 8 UNITS - 32' x 48' (3 BUILDINGS)

**BUILDING USES**  
 MULTI-FAMILY RESIDENTIAL

**BUILDING HEIGHT**  
 PROPOSED HEIGHT: 3 STORY - 43' 2 STORY - 34'

**MAX FLOOR AREA RATIO**  
 NONE

**PAVING**  
 ROADS: 6" THICK NON-REINFORCED PCC  
 DRIVEWAYS: 5" THICK NON-REINFORCED PCC  
 APPROACHES: 7" THICK NON-REINFORCED PCC  
 PROPOSED CURB: 4" SLOPED CURB

**SITE AREA**  
 4.64 ACRES (202,130 SQ.FT.)

**OPEN SPACE**  
 EXISTING - 100% (202,288 SQ.FT.)  
 REQUIRED - 25% (50,532 SQ.FT.)  
 PROPOSED - 43% (86,817 SQ.FT.)

**IMPERVIOUS SPACE**  
 EXISTING - 0 SQ.FT.  
 PROPOSED - 57% (115,871 SQ.FT.)

**DISTURBED AREAS**  
 ESTIMATED - 214,176 SQ.FT.  
 ALL DISTURBED AREAS SHALL BE SEEDED OR SOODED.  
 THE DISTURBED AREA FOR THIS SITE IS GREATER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS REQUIRED.

**PARKING**  
 REQUIRED - 1 VISITOR SPACE PER 10 UNITS - 33 UNITS - 4 STALLS REQUIRED  
 PROPOSED - 8 STALLS

**WDM DATUM ADJUSTMENT**  
 SURVEYED ELEVATIONS HAVE BEEN REVISED TO MATCH WDM DATUM (DROP 774.01)

**PUBLIC IMPROVEMENTS**  
 PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER

**FLOODPLAIN**  
 PER FEMA MAP #19153C0320F, THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD

**FAA**  
 PER FAA NOTICE CRITERIA TOOL, SITE DOES NOT EXCEED NOTICE CRITERIA UP TO 100 FT HEIGHT (FOR POSSIBLE CRANE HEIGHT) AND THEREFORE FILING WITH THE FAA IS NOT REQUIRED

# PRELIMINARY PLAT

## FOR

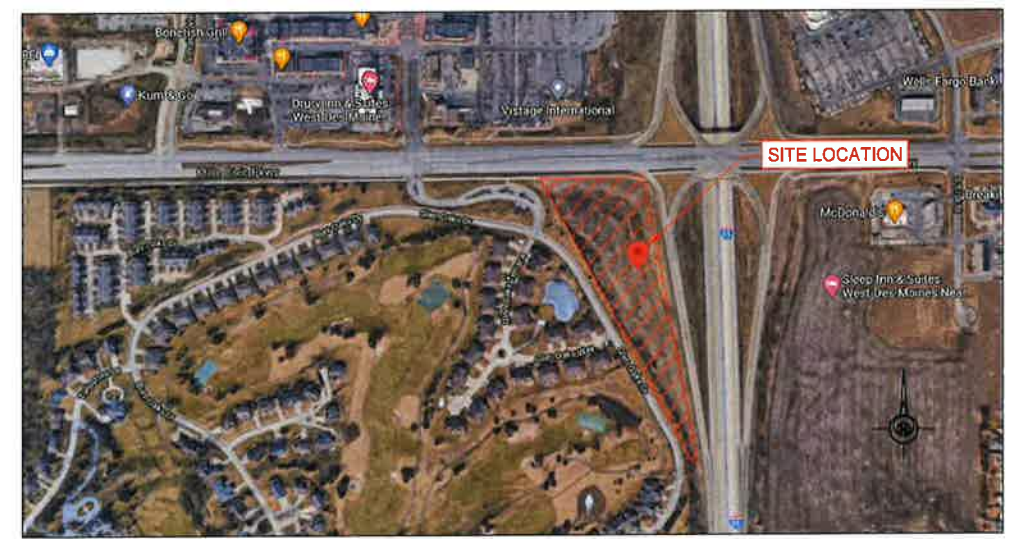
# THE PINES AT GLEN OAKS

## SWC OF MILLS CIVIC PKWY & INTERSTATE 35

# WEST DES MOINES, IA

**LEGAL DESCRIPTION:** Quit Claim Deed Bk 14240 Pg 939-940  
 Outlot O, Glen Oaks Plat 2, an Official Plat, recorded in Book 6690, Page 556 in the Office of the Polk County Recorder being in and forming a part of the City of West Des Moines, Polk County, Iowa, containing 8.13 acres, more or less.

VICINITY MAP



PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY - APPROVED PLANS ON FILE WITH THE CITY

<p><b>DEVELOPER</b></p> <p>PARAMOUNT - DESTINATION HOMES, INC        2540 73RD ST        URBANDALE, IA 50322        PROJECT CONTACT: JAMIE MYERS        PHONE: 515-440-1111        EMAIL: JAMIE@DESTINATIONHOMESIA.COM</p>	<p><b>ENGINEER/ LAND SURVEYOR</b></p> <p>PELDS DESIGN SERVICES        2323 DIXON ST        DES MOINES, IOWA 50316        PROJECT CONTACT: ELARA JONDLE        PHONE: (515) 265-8196        EMAIL: ELARA@PELDS.COM</p>
<p><b>CITY CONTACT</b></p> <p>CITY OF WEST DES MOINES        4200 MILLS CIVIC PKWY        WEST DES MOINES, IA 50265        PROJECT CONTACT: KARA TRAGESSER        PHONE: 515-222-3620        EMAIL: KARA.TRAGESSER@WDM.IOWA.GOV</p>	<p><b>ARCHITECT</b></p> <p>PELDS DESIGN SERVICES        2323 DIXON ST        DES MOINES, IA 50316        PROJECT CONTACT: DANIEL WILLRICH        PHONE: 515-265-8196        EMAIL: DANIEL@PELDS.COM</p>
<p><b>OWNER/APPLICANT</b></p> <p>GERALD KIRKE REVOCABLE TRUST        5465 MILLS CIVIC PKWY STE 400        WEST DES MOINES, IA 50266        PROJECT CONTACT: SCOTT IVERS        PHONE:        EMAIL: SCOTT.IVERS@WILDROSECORPORATE.COM</p>	

SHEET INDEX

- C-001 - COVER SHEET
- C-002 - NOTE SHEET
- C-101 - TOPO SHEET
- C-102 - DEMO SHEET
- C-103 - LOT LAYOUT SHEET
- C-104 - EASEMENT SHEET
- C-105 - DIMENSION SHEET
- C-106 - GRADING SHEET
- C-107 - GRADING DETAILS
- C-108 - UTILITY SHEET
- C-109 - EROSION CONTROL SHEET
- C-110 - LANDSCAPING SHEET
- C-201 - WATER PROFILE 1
- C-202 - WATER PROFILE 2
- C-301 - DETAIL SHEET

BENCHMARK 127

DESCRIPTION: STANDARD BENCHMARK  
 NAVD88 - FEET: 893.47  
 WDM DATUM - FEET: 119.46  
 SECTION: 08  
 TOWNSHIP: T78N  
 RANGE: R25W  
 COUNTY: POLK  
 LOCATION: SOUTHWEST CORNER OF E.P. TRUE AND S. 41ST STREET, 4.5 FEET WOUTH OF THE EAST-WEST BACK OF WALK AND 4.5 FEET WEST OF THE NORTH-SOUTH BACK OF WALK

BENCHMARK 128

DESCRIPTION: STANDARD BENCHMARK  
 NAVD88 - FEET: 910.23  
 WDM DATUM - FEET: 136.22  
 SECTION: 07  
 TOWNSHIP: T78N  
 RANGE: R25W  
 COUNTY: POLK  
 LOCATION: NW CORNER OF E.P. TRUE PARKWAY AND PRAIRIE VIEW DRIVE, 61.5 FEET WEST OF THE TRAFFIC SIGNAL MANHOLE AND 8.5 FEET NORTH OF BACK OF WALK.

IOWA ONECALL CONTACT LIST:

<p>(MS2G) MIDAMER-GAS        CONTACT NAME: CRAIG RANFELD        CONTACT PHONE: 5152526632        CONTACT EMAIL: MECDSDDESIGNLOCATES@MIDAMERICAN.COM</p>	<p>(T15) MEDIACOM COMMUNICATIONS CORP        CONTACT NAME: PAUL MAY        CONTACT PHONE: 5152467252        CONTACT EMAIL: PMAY@MEDIACOMCC.COM</p>
<p>(CT10A01) CENTURYLINK        CONTACT NAME: TOM STURMER        CONTACT PHONE: 3094539927        CONTACT EMAIL: THOMAS.STURMER@CENTURYLINK.COM</p>	<p>(UPN) UNITE PRIVATE NETWORKS, LLC        CONTACT NAME: JOE KILZER        CONTACT PHONE: 8164253556        CONTACT EMAIL: UPNIGIS@UPNFBER.COM</p>
<p>(GOF) GLEN OAKS OWNERS ASSOCIATION        CONTACT NAME: JAMES MCCLARNON        CONTACT PHONE: 5153275468        CONTACT EMAIL: JAMESMCCLARNON@AOL.COM</p>	<p>(W16) IOWA DOT        CONTACT NAME: SCOTT SMYTH        CONTACT PHONE: 5152505290        CONTACT EMAIL: SCOTT.SMYTH@IOWADOT.US</p>
<p>(GDK) GLEN OAKS OWNERS ASSOCIATION        CONTACT NAME: JAMES MCCLARNON        CONTACT PHONE: 5153275468        CONTACT EMAIL: JAMESMCCLARNON@AOL.COM</p>	<p>(WDM) WEST DES MOINES WATER WORKS        CONTACT NAME: WILLIAM MABUCE        CONTACT PHONE: 5152223510        CONTACT EMAIL: DESIGN_LOCATES@WDMWWW.COM</p>
<p>(MS2E) MIDAMER-ELEC        CONTACT NAME: CRAIG RANFELD        CONTACT PHONE: 5152526632        CONTACT EMAIL: MECDSDDESIGNLOCATES@MIDAMERICAN.COM</p>	<p>(WDT) WEST DES MOINES TRAFFIC        CONTACT NAME: JIM DICKINSON        CONTACT PHONE: 5152223482        CONTACT EMAIL: JIM.DICKINSON@WDM.IOWA.GOV</p>
<p>(MC1) VERIZON        CONTACT NAME: JOHN BACHELDER        CONTACT PHONE: 9127297000        CONTACT EMAIL: JOHN.BACHELDER@VERIZON.COM</p>	

REVISIONS:

LEGEND:

F.F.	FINISHED FLOOR	▲	CALCULATED SECTION CORNER	⊕	ELEC. MANHOLE	⊠	SINGLE INTAKE	---	CATV --- CABLE TELEVISION
+/-	MORE OR LESS	▲	FOUND SECTION CORNER	⊕	ELEC. VAULT	⊠	AREA INTAKE	---	FO --- FIBER OPTIC
123.456	GUTTER ELEVATION	▲	PARKING SPACE	⊕	GUY ANCHOR	⊠	THROAT INTAKE	---	G --- GAS LINE
123.457C	TOP OF CURB ELEVATION	▲	SIGN	⊕	TEL. JUNCTION BOX	⊠	FLARED END SECTION	---	OHT --- OVERHEAD ELEC.
123.458	EXISTING/ PROPOSED ELEVATION	▲	STREET LIGHT	⊕	CABLE TV JUNCTION BOX	⊠	VALVE	---	OHT --- OVERHEAD TEL.
FL	FLOWLINE ELEVATION	▲	POWER POLE	⊕	GAS VALVE	⊠	FIRE HYDRANT	---	SAN --- SANITARY SEWER
○	CONTROL POINT	▲	LIGHT POLE	⊕	GAS METER	⊠	WATER METER	---	ST --- STORM SEWER
○	CALCULATED CORNER	▲	AREA LIGHT	⊕	SANITARY SEWER MANHOLE	⊠	WATER VALVE	---	UGE --- UNDERGROUND ELEC.
●	FOUND CORNER	▲	ELEC. TRANSFORMER	⊕	STORM SEWER MANHOLE	⊠	WATER TEE	---	UGT --- UNDERGROUND TEL.
		▲	ELEC. METER	⊕	CLEANOUT	⊠	PROPOSED UTILITY LINE	---	W --- WATER
		▲	ELEC. BOX	⊕	DOWNSPOUT	⊠	EXISTING UTILITY LINE	---	--- FENCE LINE

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

VOLDEBARS L. PELDS, P.E. IA LIC. NO. 18842 DATE: 18842

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023

ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE): C001 - C301

**PELDS DESIGN SERVICES**

Architecture | Engineering | Surveying

2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

**THE PINES AT GLEN OAKS**

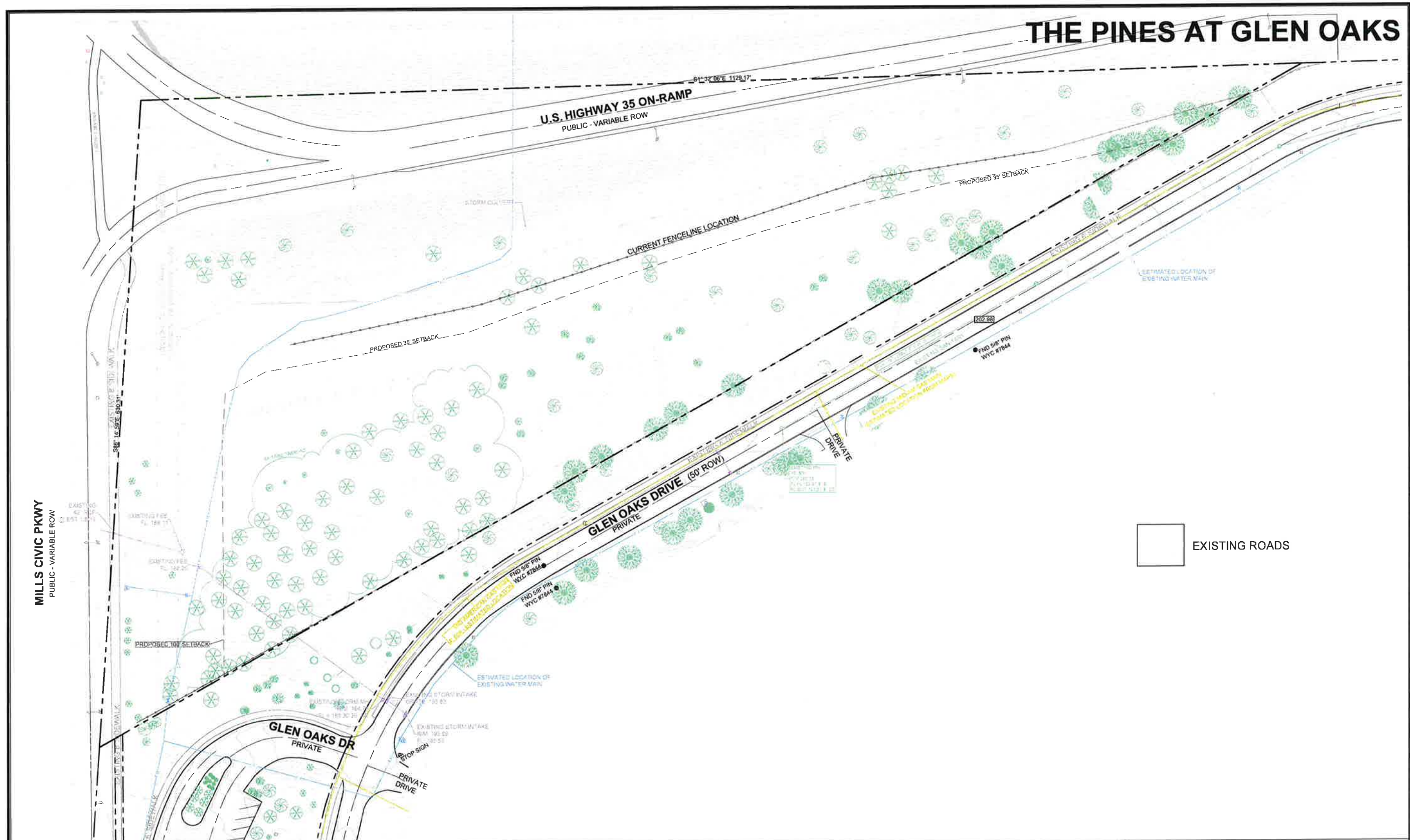
**SWC OF MILLS CIVIC PKWY & INTERSTATE 35**

**WEST DES MOINES, IA**

WDM BM 127 & 128		FINAL	
B. SHORT	3.24.2023	20-149	
C-001 - COVER SHEET			



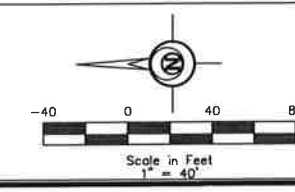
# THE PINES AT GLEN OAKS



EXISTING ROADS

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 Architecture | Engineering | Surveying  
 2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

LEGEND:	
F.F.	FINISHED FLOOR
M.O.L.	MORE OR LESS
123.45G	GUTTER ELEVATION
123.45TC	TOP OF CURB ELEVATION
123.45E	EXISTING PROPOSED ELEVATION
FL	FLOWLINE ELEVATION
CP	CONTROL POINT
CC	CALCULATED CORNER
FC	FOUND CORNER
SC	CALCULATED SECTION CORNER
FC	FOUND SECTION CORNER
PS	PARKING SPACE
S	SIGN
SL	STREET LIGHT
PL	POWER POLE
LP	LIGHT POLE
AL	AREA LIGHT
ET	ELEC. TRANSFORMER
EM	ELEC. METER
EB	ELEC. BOX
MC	ELEC. MANHOLE
EV	ELEC. VAULT
GA	GUY ANCHOR
TJ	TEL. JUNCTION BOX
CTJB	CABLE TV JUNCTION BOX
GV	GAS VALVE
GM	GAS METER
SSM	SANITARY SEWER MANHOLE
SSMH	SANITARY SEWER MANHOLE
CS	CLEANOUT
DS	DOWNSPOUT
SI	SINGLE INTAKE
AI	AREA INTAKE
TI	THROAT INTAKE
FES	FLARED END SECTION
V	VALVE
FH	FIRE HYDRANT
WM	WATER METER
WT	WATER TEE
WV	WATER VALVE
PXX	PROPOSED UTILITY LINE
EXX	EXISTING UTILITY LINE
CATV	CABLE TELEVISION
FO	FIBER OPTIC
GAS	GAS LINE
OHE	OVERHEAD ELEC.
OHT	OVERHEAD TEL.
SS	SANITARY SEWER
ST	STORM SEWER
UGE	UNDERGROUND ELEC.
UGT	UNDERGROUND TEL.
W	WATER
FENCE	FENCE LINE



**THE PINES AT GLEN OAKS**  
 SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
 WEST DES MOINES, IA

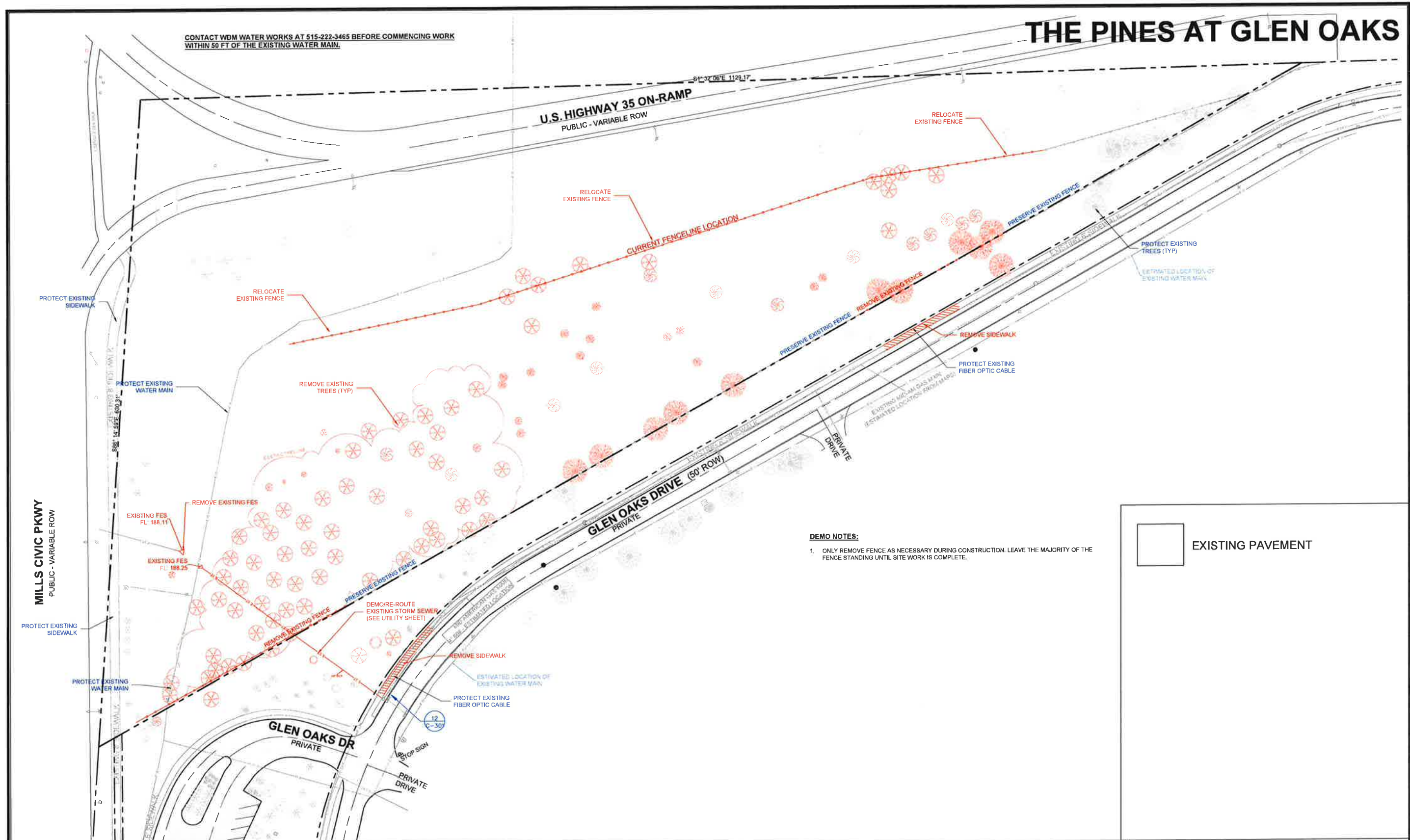
DATE	DESCRIPTION	BY	CHECKED
3.24.2023	B. SHORT		

Scale in Feet  
1" = 40'

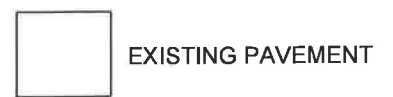
C-101 - TOPO SHEET

# THE PINES AT GLEN OAKS

CONTACT WDM WATER WORKS AT 515-222-3465 BEFORE COMMENCING WORK  
WITHIN 50 FT OF THE EXISTING WATER MAIN.

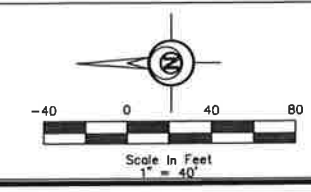


**DEMO NOTES:**  
1. ONLY REMOVE FENCE AS NECESSARY DURING CONSTRUCTION. LEAVE THE MAJORITY OF THE FENCE STANDING UNTIL SITE WORK IS COMPLETE.



**LEGEND:**

▲	CALCULATED SECTION CORNER	⊕	ELEC. MANHOLE	⊠	SINGLE INTAKE	— CATV —	CABLE TELEVISION
▲	FOUND SECTION CORNER	⊕	ELEC. VAULT	⊠	AREA INTAKE	— FO —	FIBER OPTIC
□	PARKING SPACE	⊕	GUY ANCHOR	⊠	THROAT INTAKE	— GAS —	GAS LINE
⊠	SIGN	⊕	TEL. JUNCTION BOX	⊠	FLARED END SECTION	— OHE —	OVERHEAD ELEC.
⊠	STREET LIGHT	⊕	CABLE TV JUNCTION BOX	⊠	VALVE	— OHT —	OVERHEAD TEL.
⊠	POWER POLE	⊕	GAS VALVE	⊠	FIRE HYDRANT	— SS —	SANITARY SEWER
⊠	LIGHT POLE	⊕	GAS METER	⊠	WATER METER	— ST —	STORM SEWER
⊠	AREA LIGHT	⊕	SANITARY SEWER MANHOLE	⊠	WATER VALVE	— UGT —	UNDERGROUND ELEC.
⊠	ELEC. TRANSFORMER	⊕	STORM SEWER MANHOLE	⊠	WATER TEE	— UGT —	UNDERGROUND TEL.
⊠	ELEC. METER	⊕	CLEANOUT	— P XX —	PROPOSED UTILITY LINE	— W —	WATER
⊠	ELEC. BOX	⊕	DOWNSPOUT	— E XX —	EXISTING UTILITY LINE	— F —	FENCE LINE

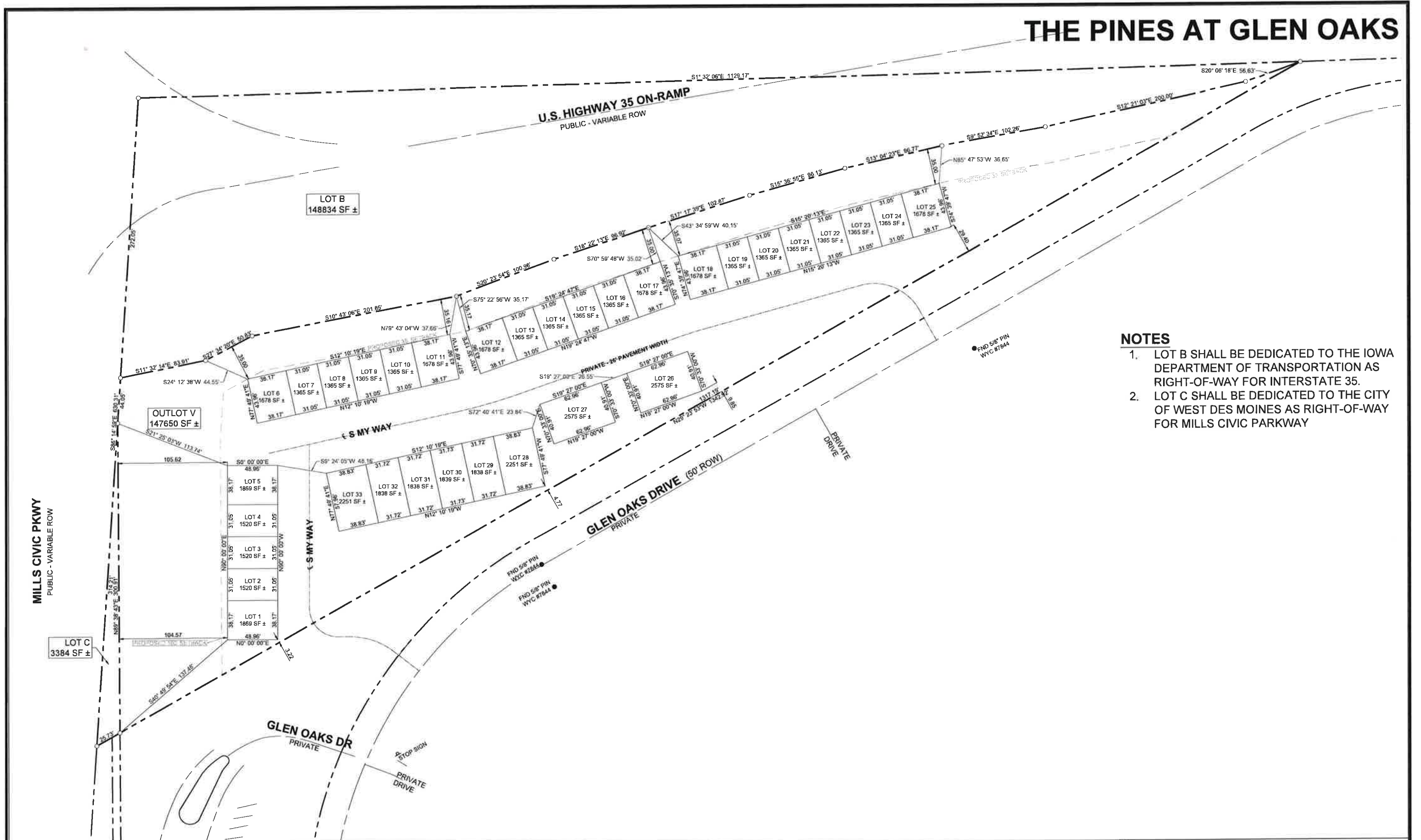


**THE PINES AT GLEN OAKS**  
SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
WEST DES MOINES, IA

DATE	DESCRIPTION	BY	APP'D
3.24.2023	B. SHORT	1"=40'	20-149

C-102 - DEMO SHEET

# THE PINES AT GLEN OAKS

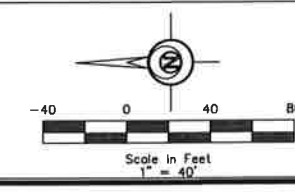


## NOTES

1. LOT B SHALL BE DEDICATED TO THE IOWA DEPARTMENT OF TRANSPORTATION AS RIGHT-OF-WAY FOR INTERSTATE 35.
2. LOT C SHALL BE DEDICATED TO THE CITY OF WEST DES MOINES AS RIGHT-OF-WAY FOR MILLS CIVIC PARKWAY

**P ELDs DESIGN SERVICES**  
 Architecture | Engineering | Surveying  
 2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

LEGEND:	
△	CALCULATED SECTION CORNER
▲	FOUND SECTION CORNER
□	PARKING SPACE
⊥	SIGN
⊙	STREET LIGHT
⊕	POWER POLE
⊖	LIGHT POLE
⊗	AREA LIGHT
⊘	ELEC. TRANSFORMER
⊙	ELEC. METER
⊚	ELEC. BOX
⊙	ELEC. MANHOLE
⊙	ELEC. VAULT
⊙	GUY ANCHOR
⊙	TEL. JUNCTION BOX
⊙	CABLE TV JUNCTION BOX
⊙	GAS VALVE
⊙	GAS METER
⊙	SANITARY SEWER MANHOLE
⊙	STORM SEWER MANHOLE
⊙	CLEANOUT
⊙	DOWNSPOUT
⊙	SINGLE INTAKE
⊙	AREA INTAKE
⊙	THROAT INTAKE
⊙	FLARED END SECTION
⊙	VALVE
⊙	FIRE HYDRANT
⊙	WATER METER
⊙	WATER VALVE
⊙	WATER TEE
⊙	PROPOSED UTILITY LINE
⊙	EXISTING UTILITY LINE
⊙	CATV - CABLE TELEVISION
⊙	FO - FIBER OPTIC
⊙	GAS - GAS LINE
⊙	OHE - OVERHEAD ELEC.
⊙	OHT - OVERHEAD TEL.
⊙	SS - SANITARY SEWER
⊙	ST - STORM SEWER
⊙	UGE - UNDERGROUND ELEC.
⊙	UGT - UNDERGROUND TEL.
⊙	W - WATER
⊙	FENCE LINE

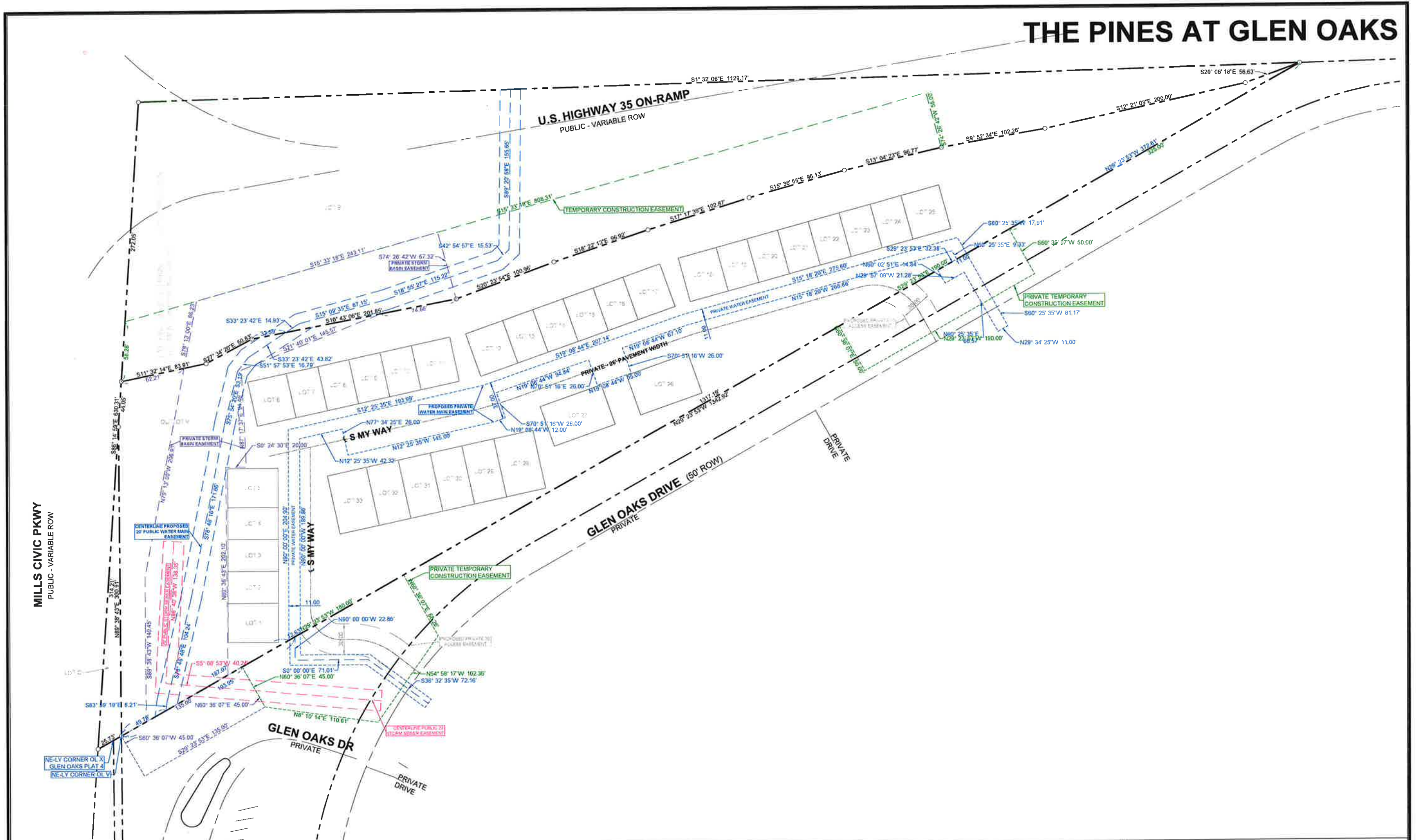


**THE PINES AT GLEN OAKS**  
 SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
 WEST DES MOINES, IA

DATE	BY	SCALE	PROJECT NO.	SHEET NO.
3.24.2023	B. SHORT	1"=40'	20-149	C-103 - LOT LAYOUT SHEET

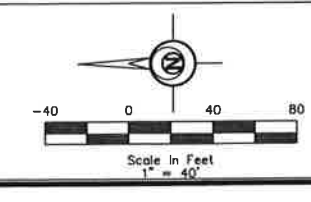


# THE PINES AT GLEN OAKS



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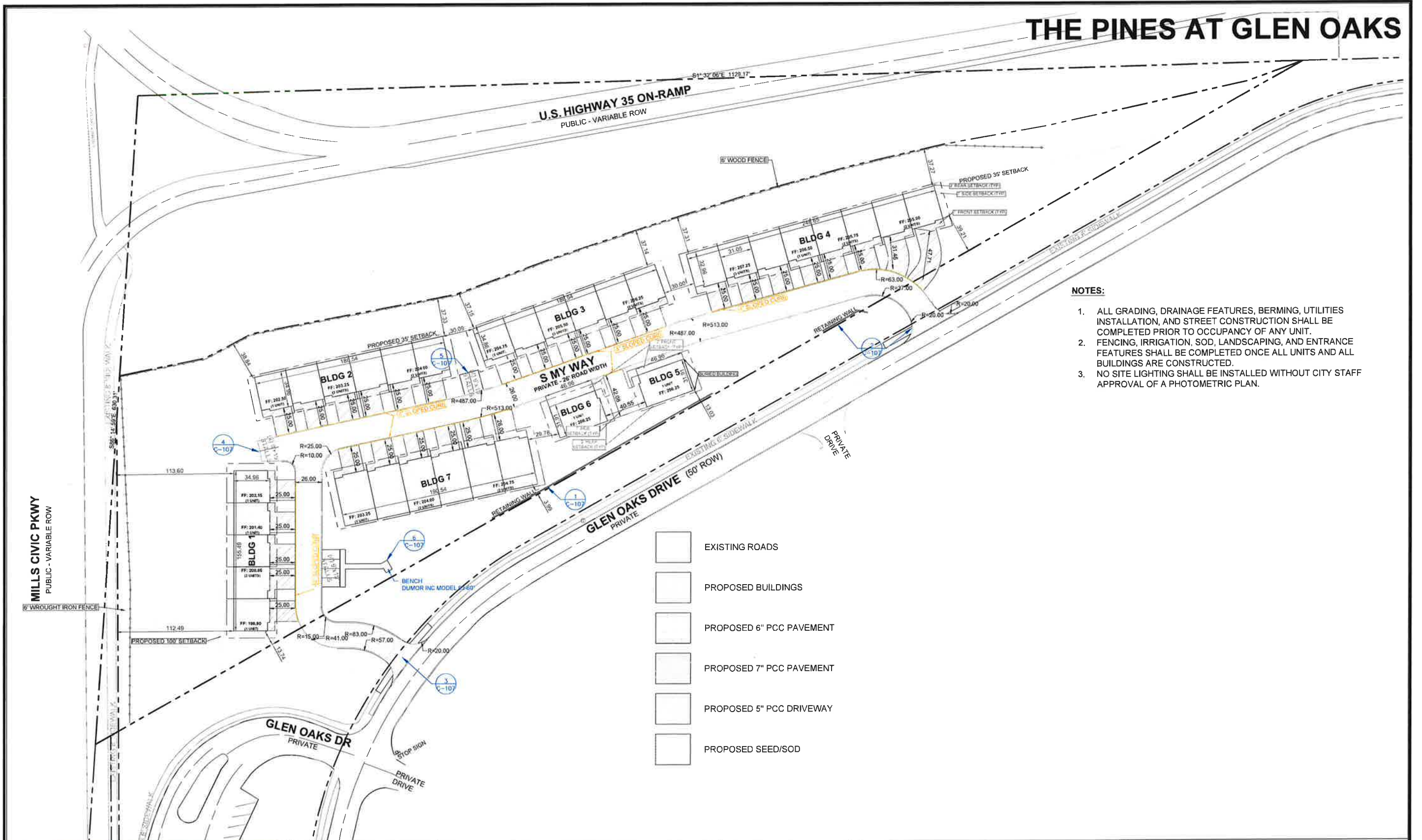
LEGEND:	
F.F.	FINISHED FLOOR
+/-	MORE OR LESS
123.450	GUTTER ELEVATION
123.450	TOP OF CURB ELEVATION
123.45 / 123.45	EXISTING PROPOSED ELEVATION
FL	FLOWLINE ELEVATION
CP	CONTROL POINT
○	CALCULATED CORNER
●	FOUND CORNER
△	CALCULATED SECTION CORNER
▲	FOUND SECTION CORNER
□	PARKING SPACE
○	SIGN
○	STREET LIGHT
○	POWER POLE
○	LIGHT POLE
○	AREA LIGHT
○	ELEC. TRANSFORMER
○	ELEC. METER
○	ELEC. BOX
○	ELEC. MANHOLE
○	ELEC. VAULT
○	GUY ANCHOR
○	TEL. JUNCTION BOX
○	CABLE TV JUNCTION BOX
○	GAS VALVE
○	GAS METER
○	SANITARY SEWER MANHOLE
○	STORM SEWER MANHOLE
○	CLEANOUT
○	DOWNSPOUT
○	SINGLE INTAKE
○	AREA INTAKE
○	THROAT INTAKE
○	FLARED END SECTION
○	VALVE
○	FIRE HYDRANT
○	WATER METER
○	WATER VALVE
○	WATER TEE
○	PROPOSED UTILITY LINE
○	EXISTING UTILITY LINE
○	CATV - CABLE TELEVISION
○	FO - FIBER OPTIC
○	GAS - GAS LINE
○	OHE - OVERHEAD ELEC.
○	DHT - OVERHEAD TEL.
○	SS - SANITARY SEWER
○	ST - STORM SEWER
○	UGE - UNDERGROUND ELEC.
○	UGT - UNDERGROUND TEL.
○	W - WATER
○	FENCE LINE



**THE PINES AT GLEN OAKS**  
 SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
 WEST DES MOINES, IA

DATE	3.24.2023	SHEET NO.	20-149
SCALE	1"=40'	TITLE	C-104 - EASEMENT SHEET

# THE PINES AT GLEN OAKS



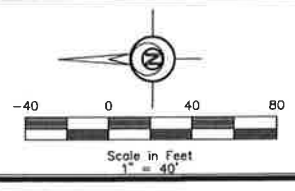
**NOTES:**

1. ALL GRADING, DRAINAGE FEATURES, BERMING, UTILITIES INSTALLATION, AND STREET CONSTRUCTION SHALL BE COMPLETED PRIOR TO OCCUPANCY OF ANY UNIT.
2. FENCING, IRRIGATION, SOD, LANDSCAPING, AND ENTRANCE FEATURES SHALL BE COMPLETED ONCE ALL UNITS AND ALL BUILDINGS ARE CONSTRUCTED.
3. NO SITE LIGHTING SHALL BE INSTALLED WITHOUT CITY STAFF APPROVAL OF A PHOTOMETRIC PLAN.

- EXISTING ROADS
- PROPOSED BUILDINGS
- PROPOSED 6" PCC PAVEMENT
- PROPOSED 7" PCC PAVEMENT
- PROPOSED 5" PCC DRIVEWAY
- PROPOSED SEED/SOD

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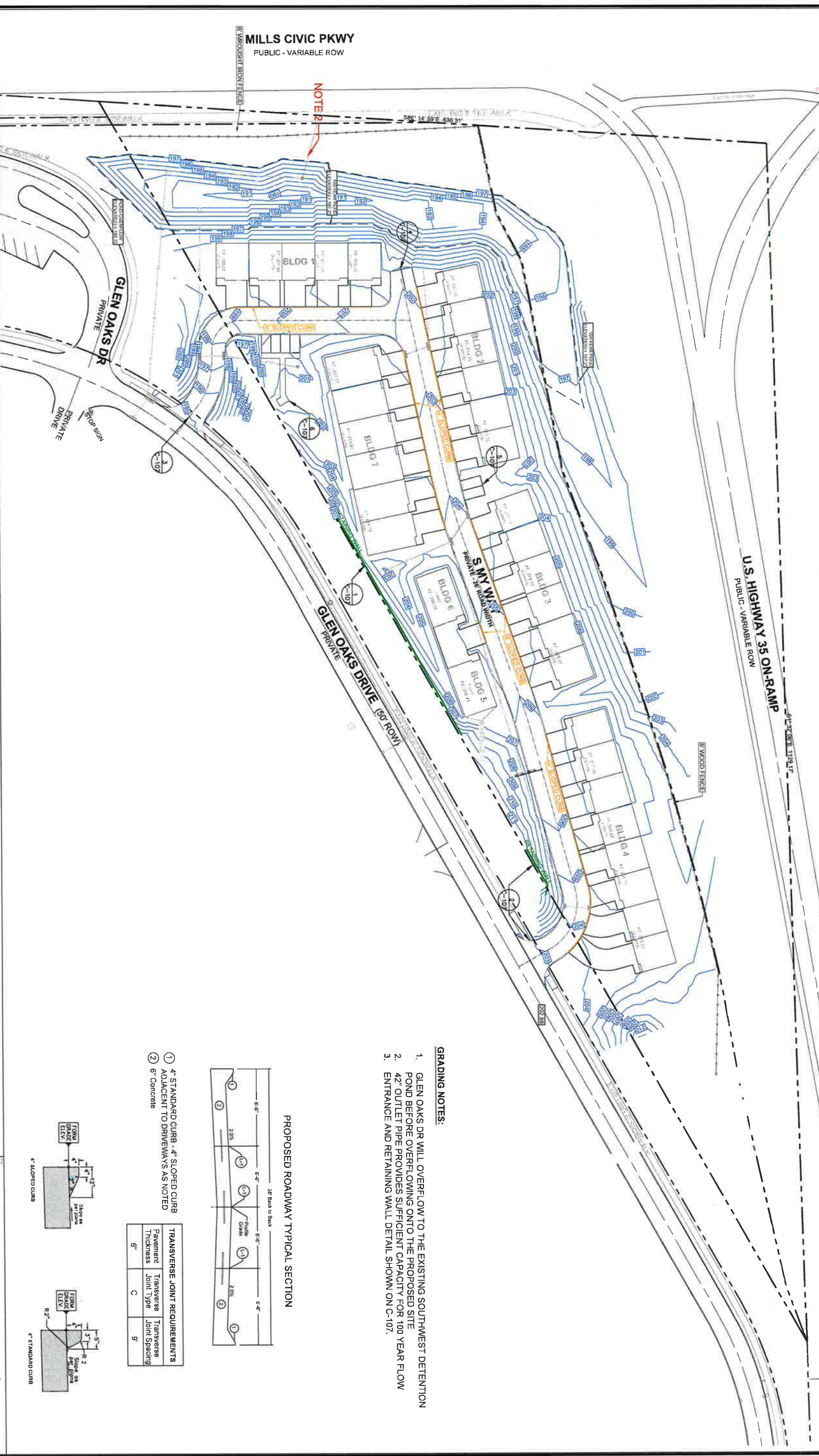
LEGEND:	
F.F.	FINISHED FLOOR
+/-	MORE OR LESS
123.45G	GUTTER ELEVATION
123.45TC	TOP OF CURB ELEVATION
123.45/123.45	EXISTING PROPOSED ELEVATION
FL	FLOWLINE ELEVATION
CP	CONTROL POINT
CC	CALCULATED CORNER
FC	FOUND CORNER
SC	CALCULATED SECTION CORNER
FC	FOUND SECTION CORNER
PS	PARKING SPACE
S	STREET LIGHT
PP	POWER POLE
LP	LIGHT POLE
AL	AREA LIGHT
ET	ELEC. TRANSFORMER
EM	ELEC. METER
EB	ELEC. BOX
EMH	ELEC. MANHOLE
EV	ELEC. VAULT
GA	GUY ANCHOR
TJB	TEL. JUNCTION BOX
GTJB	GAS TV. JUNCTION BOX
GV	GAS VALVE
GM	GAS METER
SSMH	SANITARY SEWER MANHOLE
SSMH	STORM SEWER MANHOLE
CN	CLEANOUT
DP	DOWNSPOUT
SI	SINGLE INTAKE
AI	AREA INTAKE
TI	THROAT INTAKE
FES	FLARED END SECTION
V	VALVE
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
WT	WATER TEE
WTT	PROPOSED UTILITY LINE
WXT	EXISTING UTILITY LINE
CTV	CABLE TELEVISION
FO	FIBER OPTIC
GL	GAS LINE
OHE	OVERHEAD ELEC.
OHT	OVERHEAD TEL.
SS	SANITARY SEWER
ST	STORM SEWER
UG	UNDERGROUND ELEC.
UGT	UNDERGROUND TEL.
W	WATER
FL	FENCE LINE



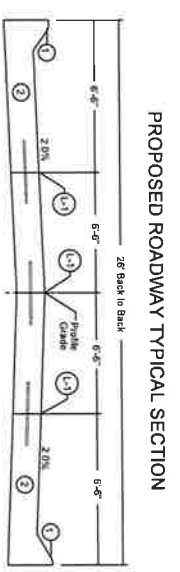
**THE PINES AT GLEN OAKS**  
 SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
 WEST DES MOINES, IA

DATE	3.24.2023	PROJECT	20-149
SCALE	1"=40'	SHEET	C-105 - DIMENSION SHEET

# THE PINES AT GLEN OAKS

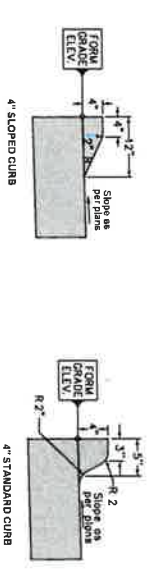


- GRADING NOTES:**
1. GLEN OAKS DR WILL OVERFLOW TO THE EXISTING SOUTHWEST DETENTION POND BEFORE OVERFLOWING ONTO THE PROPOSED SITE
  2. 42" OUTLET PIPE PROVIDES SUFFICIENT CAPACITY FOR 100 YEAR FLOW
  3. ENTRANCE AND RETAINING WALL DETAIL SHOWN ON C-107.



**TRANSVERSE JOINT REQUIREMENTS**

Pavement Thickness	Transverse Joint Type	Transverse Joint Spacing
6"	C	9'



**LEGEND:**

F.F.	FINISHED FLOOR	▲	CALCULATED SECTION CORNER
+/-	MORE OR LESS	▽	FOUND SECTION CORNER
123.456	GUTTER ELEVATION	□	PARKING SPACE
123.456/123.456	TOP OF CURB ELEVATION	⊙	SIGN
123.456/123.456	EXISTING PROPOSED ELEVATION	⊕	POWER LIGHT
123.456/123.456	FLUMLINE ELEVATION	⊖	AREA LIGHT
⊕	CONTROL POINT	⊖	LIGHT POLE
⊖	CALCULATED CORNER	⊖	AREA LIGHT
⊖	FOUND CORNER	⊖	ELEC. METER
		⊖	ELEC. BOX

⊕	ELEC. MANHOLE	⊕	SINGLE INTAKE
⊕	ELEC. VAULT	⊕	AREA INTAKE
⊕	GUY ANCHOR	⊕	THROAT INTAKE
⊕	TEL. JUNCTION BOX	⊕	TRUNKED END SECTION
⊕	CABLE TV JUNCTION BOX	⊕	VALVE
⊕	GAS VALVE	⊕	FIRE HYDRANT
⊕	GAS SERVICE MANHOLE	⊕	FIRE METER
⊕	STORM SEWER MANHOLE	⊕	WATER METER
⊕	CLEANOUT	⊕	WATER VALVE
⊕	DOWNSPOUT	⊕	PROPOSED UTILITY LINE
		⊕	EXISTING UTILITY LINE

—	CATV — CABLE TELEVISION
—	FIBER OPTIC
—	GAS OVERHEAD ELEC.
—	OVERHEAD TEL.
—	SS — SANITARY SEWER
—	ST — STORM SEWER
—	UG — UNDERGROUND ELEC.
—	UG — UNDERGROUND TEL.
—	W — WATER
—	FENCE LINE

**Scale**  
Scale in Feet  
1" = 40'

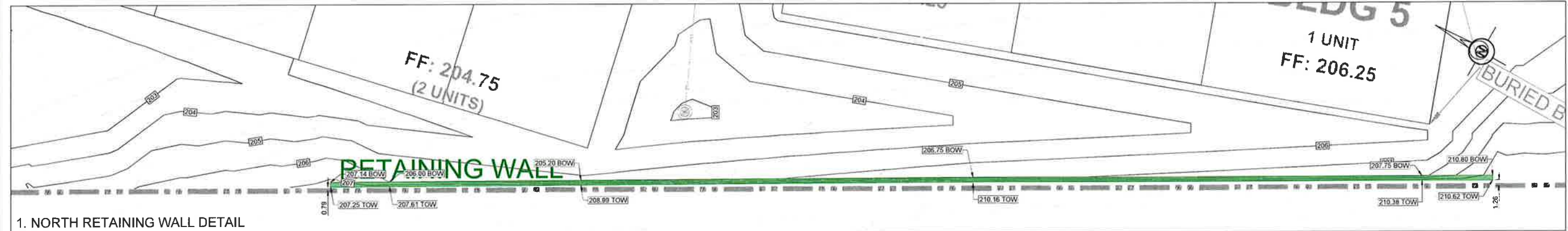
**THE PINES AT GLEN OAKS**  
SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
WEST DES MOINES, IA

DATE: 3.24.2023  
DRAWN BY: 20-149  
CHECKED BY: C-108 - GRADING SHEET

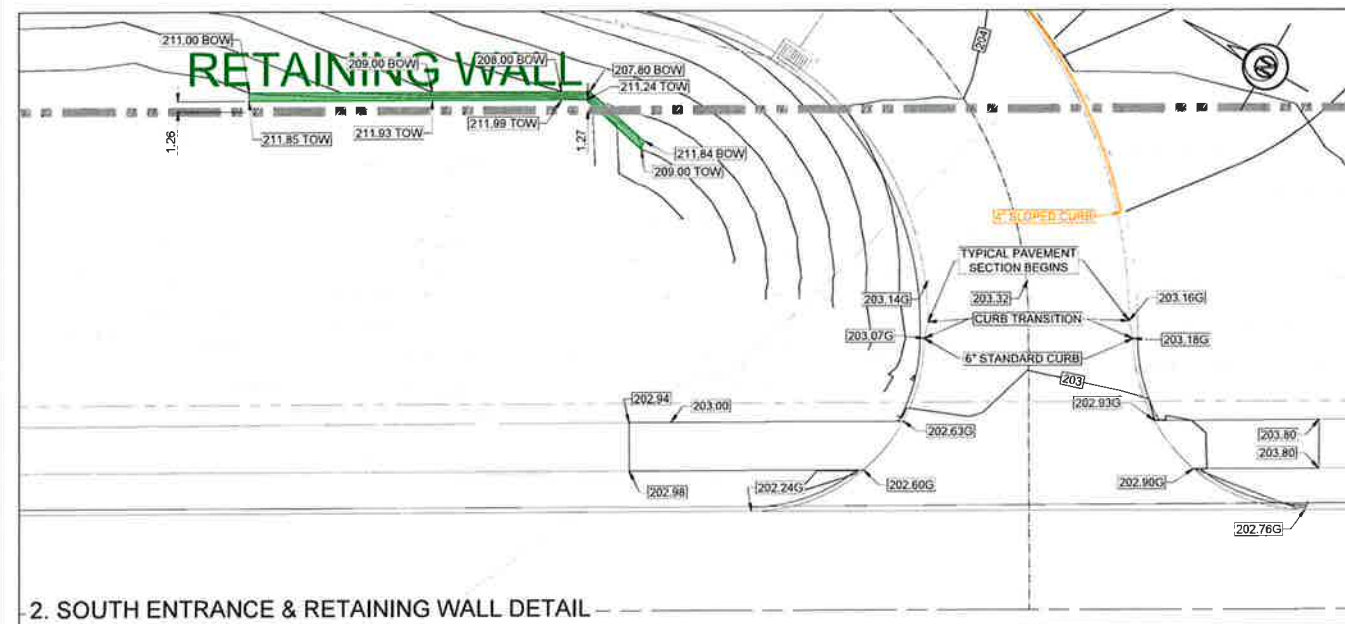
**P ELD'S DESIGN SERVICES**

Architecture | Engineering | Surveying  
 2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4026, Des Moines, Iowa 50326 | Ph: 515.266.8195

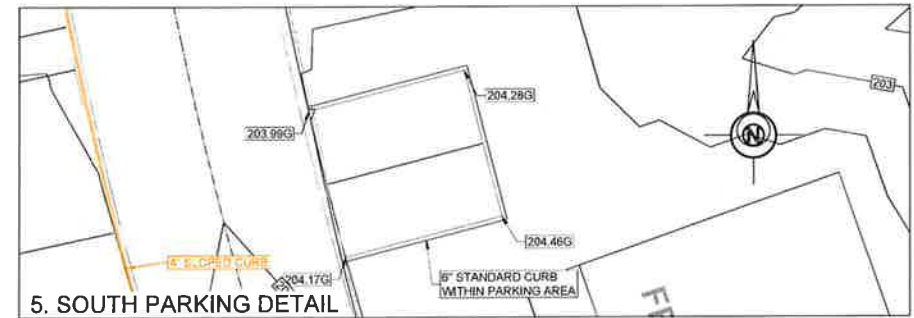
# THE PINES AT GLEN OAKS



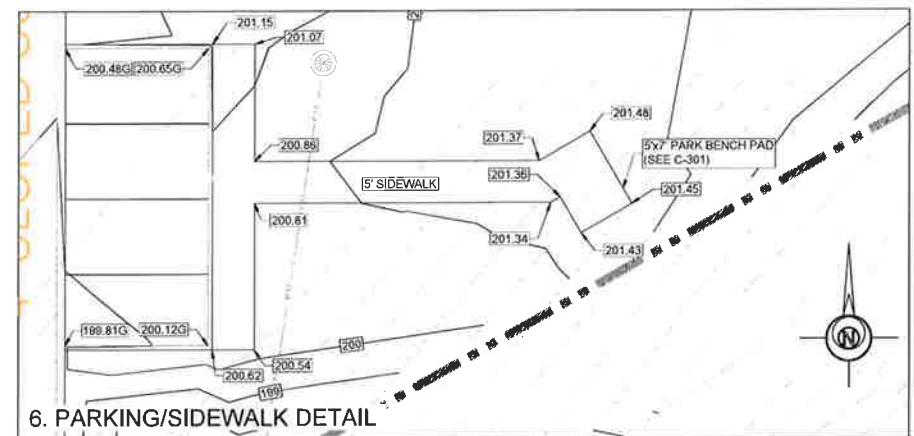
1. NORTH RETAINING WALL DETAIL



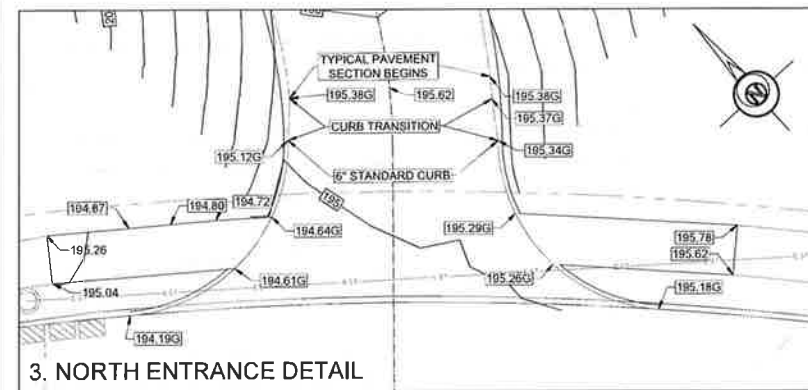
2. SOUTH ENTRANCE & RETAINING WALL DETAIL



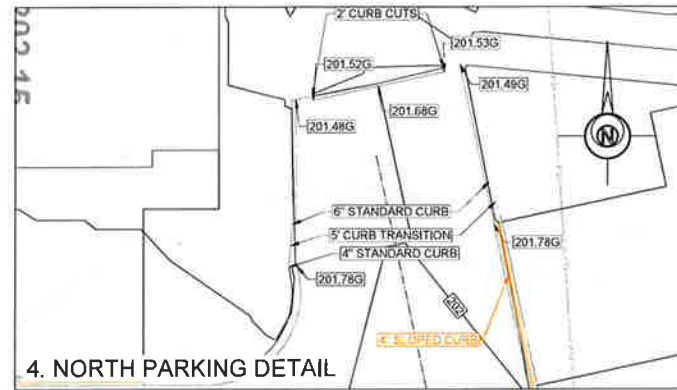
5. SOUTH PARKING DETAIL



6. PARKING/SIDEWALK DETAIL



3. NORTH ENTRANCE DETAIL

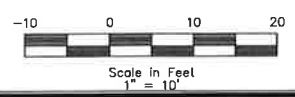


4. NORTH PARKING DETAIL



**LEGEND:**

F.F. FINISHED FLOOR +/- MORE OR LESS 123.456 GUTTER ELEVATION 123.457C TOP OF CURB ELEVATION 123.458/123.459 EXISTING/PROPOSED ELEVATION FL FLOWLINE ELEVATION CP CONTROL POINT O CALCULATED CORNER ● FOUND CORNER	△ CALCULATED SECTION CORNER ▲ FOUND SECTION CORNER □ PARKING SPACE SIGN S STREET LIGHT P POWER POLE L LIGHT POLE A AREA LIGHT T TRANSFORMER E ELEC. METER B ELEC. BOX	○ ELEC. MANHOLE ELEC. VAULT ↓ GUY ANCHOR T TEL. JUNCTION BOX C CABLE TV JUNCTION BOX V VALVE G GAS VALVE S GAS METER SM SANITARY SEWER MANHOLE SWM STORM SEWER MANHOLE CLEANOUT DOWNSPOUT	□ SINGLE INTAKE □ AREA INTAKE □ THROAT INTAKE □ FLARED END SECTION □ VALVE F FIRE HYDRANT W WATER METER W WATER VALVE W WATER TEE P XX PROPOSED UTILITY LINE E XX EXISTING UTILITY LINE	— CATV — CABLE TELEVISION — FO — FIBER OPTIC — GAS — GAS LINE — OHE — OVERHEAD ELEC. — OHT — OVERHEAD TEL. — SS — SANITARY SEWER — ST — STORM SEWER — UGE — UNDERGROUND ELEC. — UGT — UNDERGROUND TEL. — W — WATER — W — WATER	○ ○ ○ ○ ○ FENCE LINE
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**THE PINES AT GLEN OAKS**  
**SWC OF MILLS CIVIC PKWY & INTERSTATE 35**  
**WEST DES MOINES, IA**

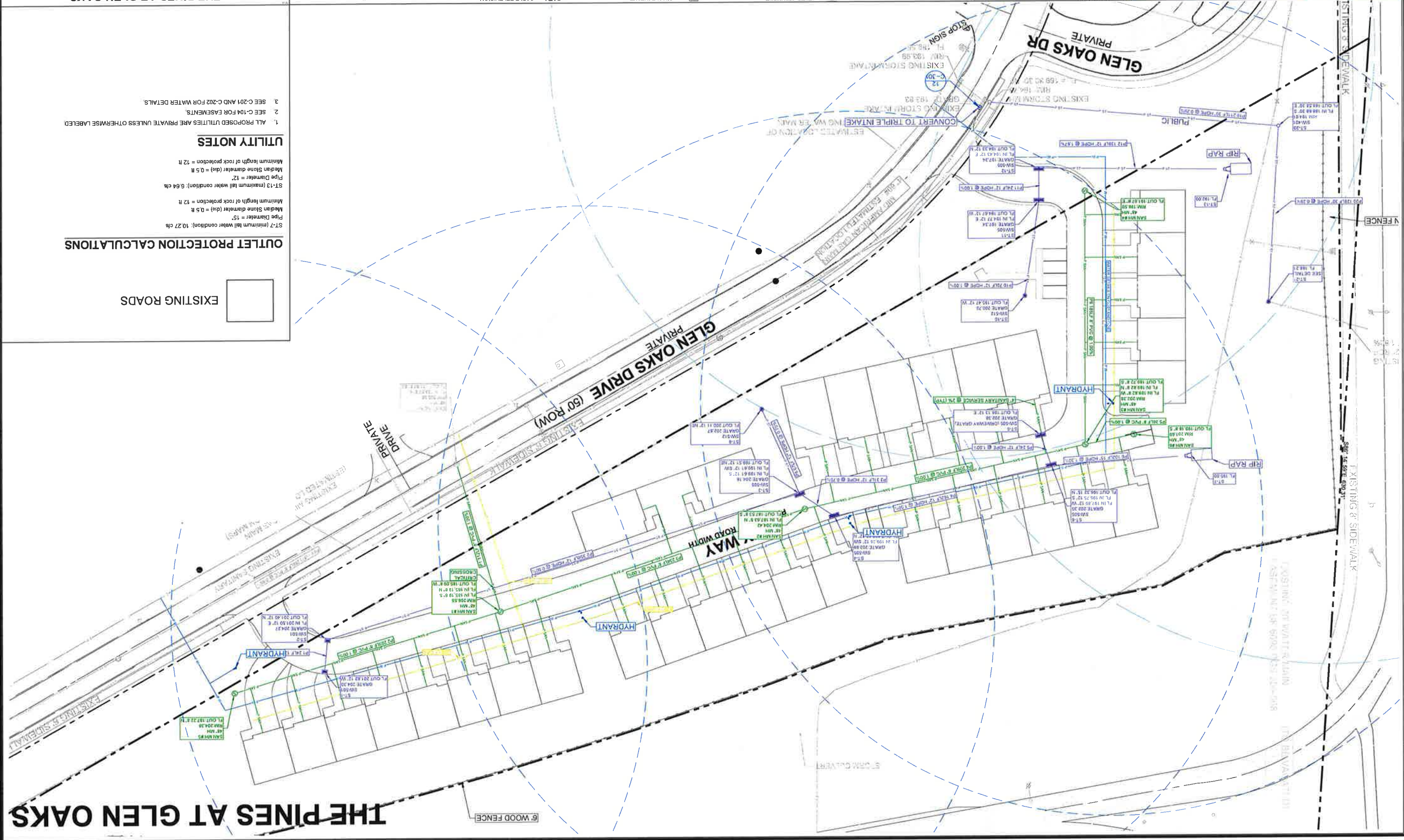
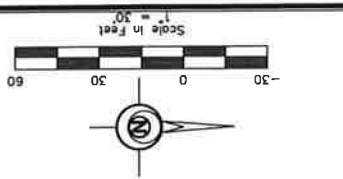
DATE	BY	SCALE	DATE	NO.
3.24.2023	B. SHORT	1"=10'	20-149	C-107 - GRADING DETAILS

**LEGEND:**

●	FOUND CORNER
○	CALCULATED CORNER
○	CONTROL POINT
○	FLOAMING ELEVATION
○	EXISTING PROPOSED ELEVATION
○	TOP OF CURB ELEVATION
○	GUTTER ELEVATION
○	FINISHED FLOOR
○	MORE OR LESS
○	123 4567
○	123 4567

△	CALCULATED SECTION CORNER
△	FOUND SECTION CORNER
△	PARKING SPACE
△	SIGN
△	STREET LIGHT
△	POWER POLE
△	AREA LIGHT
△	ELEC. TRANSFORMER
△	ELEC. METER
△	ELEC. BOX
△	CLEANOUT
△	DOWNSPOUT
△	ELEC. MANHOLE
△	FLARED END SECTION
△	THROAT INTAKE
△	AREA INTAKE
△	SINGLE INTAKE

△	PROPOSED UTILITY LINE
△	EXISTING UTILITY LINE
△	WATER TEE
△	WATER VALVE
△	WATER METER
△	FIRE HYDRANT
△	VALVE
△	FLARED END SECTION
△	GAS LINE
△	RIBER OPTIC
△	CABLE TELEVISION
△	UNDERGROUND TEL.
△	UNDERGROUND ELEC.
△	STORM SEWER
△	SANITARY SEWER
△	STORM SEWER
△	UNDERGROUND TEL.
△	UNDERGROUND ELEC.
△	WATER
△	FENCE LINE



**UTILITY NOTES**

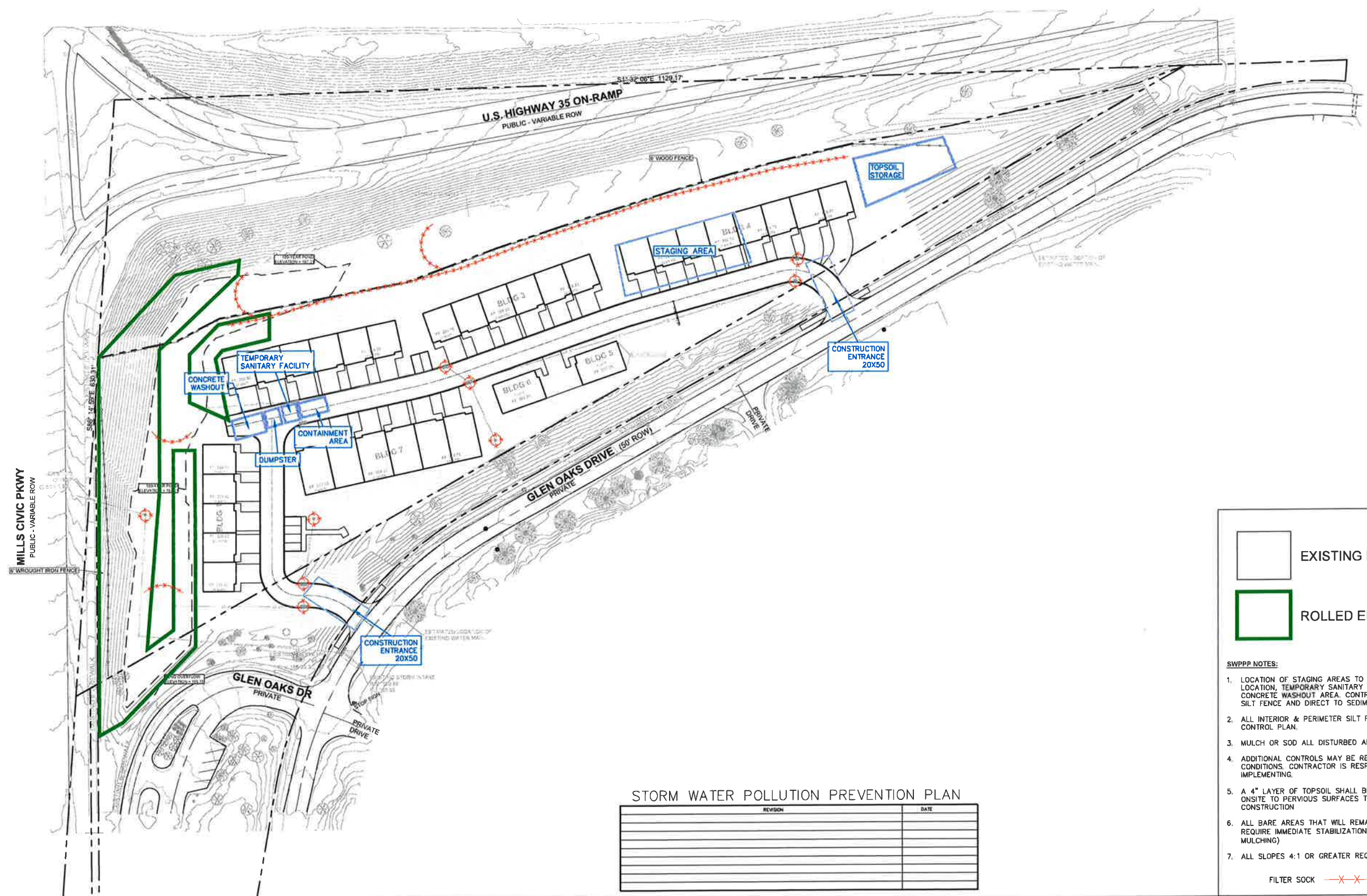
1. ALL PROPOSED UTILITIES ARE PRIVATE UNLESS OTHERWISE LABELED
2. SEE C-104 FOR EASEMENTS
3. SEE C-201 AND C-202 FOR WATER DETAILS

Minimum length of rock protection = 12 ft  
 Median Stone diameter (d50) = 0.5 ft  
 Pipe Diameter = 12"  
 ST-13 (maximum ball water condition): 6.64 cfs  
 Minimum length of rock protection = 12 ft  
 Median Stone diameter (d50) = 0.5 ft  
 Pipe Diameter = 15"  
 ST-7 (minimum ball water condition): 10.27 cfs

**OUTLET PROTECTION CALCULATIONS**

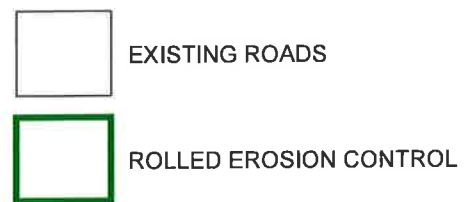
EXISTING ROADS

# THE PINES AT GLEN OAKS



## STORM WATER POLLUTION PREVENTION PLAN

REVISION	DATE



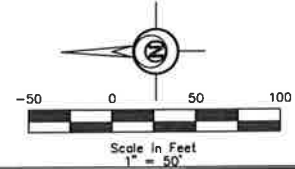
- SWPPP NOTES:**
1. LOCATION OF STAGING AREAS TO CONTAIN: JOB TRAILERS, FUELING LOCATION, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, CONCRETE WASHOUT AREA. CONTROL RUNOFF WITH DIVERSION BERMS OR SILT FENCE AND DIRECT TO SEDIMENT BASIN WHERE POSSIBLE.
  2. ALL INTERIOR & PERIMETER SILT FENCE NOT SHOWN. SEE EROSION CONTROL PLAN.
  3. MULCH OR SOD ALL DISTURBED AREAS NOT PAVED OR DEVELOPED.
  4. ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON PHASING & SITE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING, NOTING & IMPLEMENTING.
  5. A 4" LAYER OF TOPSOIL SHALL BE RESPREAD FROM THE STOCKPILE ONSITE TO PVIOUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION.
  6. ALL BARE AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR MORE REQUIRE IMMEDIATE STABILIZATION MEASURES (TEMPORARY SEEDING OR MULCHING).
  7. ALL SLOPES 4:1 OR GREATER REQUIRE SEEDING AND MATTING.

FILTER SOCK — X X X X

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**LEGEND:**

▲	CALCULATED SECTION CORNER	⊙	ELEC. MANHOLE	⊠	SINGLE INTAKE	—	CATV — CABLE TELEVISION
▲	FOUND SECTION CORNER	⊙	ELEC. VAULT	⊠	AREA INTAKE	—	FO — FIBER OPTIC
□	PARKING SPACE	⊙	GUY ANCHOR	⊠	THROAT INTAKE	—	GAS — GAS LINE
⊙	SIGN	⊙	TEL. JUNCTION BOX	⊠	FLARED END SECTION	—	OHE — OVERHEAD ELEC.
⊙	STREET LIGHT	⊙	CABLE TV JUNCTION BOX	⊠	VALVE	—	OHT — OVERHEAD TEL.
⊙	POWER POLE	⊙	GAS VALVE	⊠	FIRE HYDRANT	—	SS — SANITARY SEWER
⊙	LIGHT POLE	⊙	GAS METER	⊠	WATER METER	—	ST — STORM SEWER
⊙	AREA LIGHT	⊙	SANITARY SEWER MANHOLE	⊠	WATER VALVE	—	UGE — UNDERGROUND ELEC.
⊙	ELEC. TRANSFORMER	⊙	STORM SEWER MANHOLE	⊠	WATER TEE	—	UGT — UNDERGROUND TEL.
⊙	ELEC. METER	⊙	CLEANOUT	⊠	PROPOSED UTILITY LINE	—	W — WATER
⊙	FOUND CORNER	⊙	DOWNSPOUT	⊠	EXISTING UTILITY LINE	—	⊠ — FENCE LINE



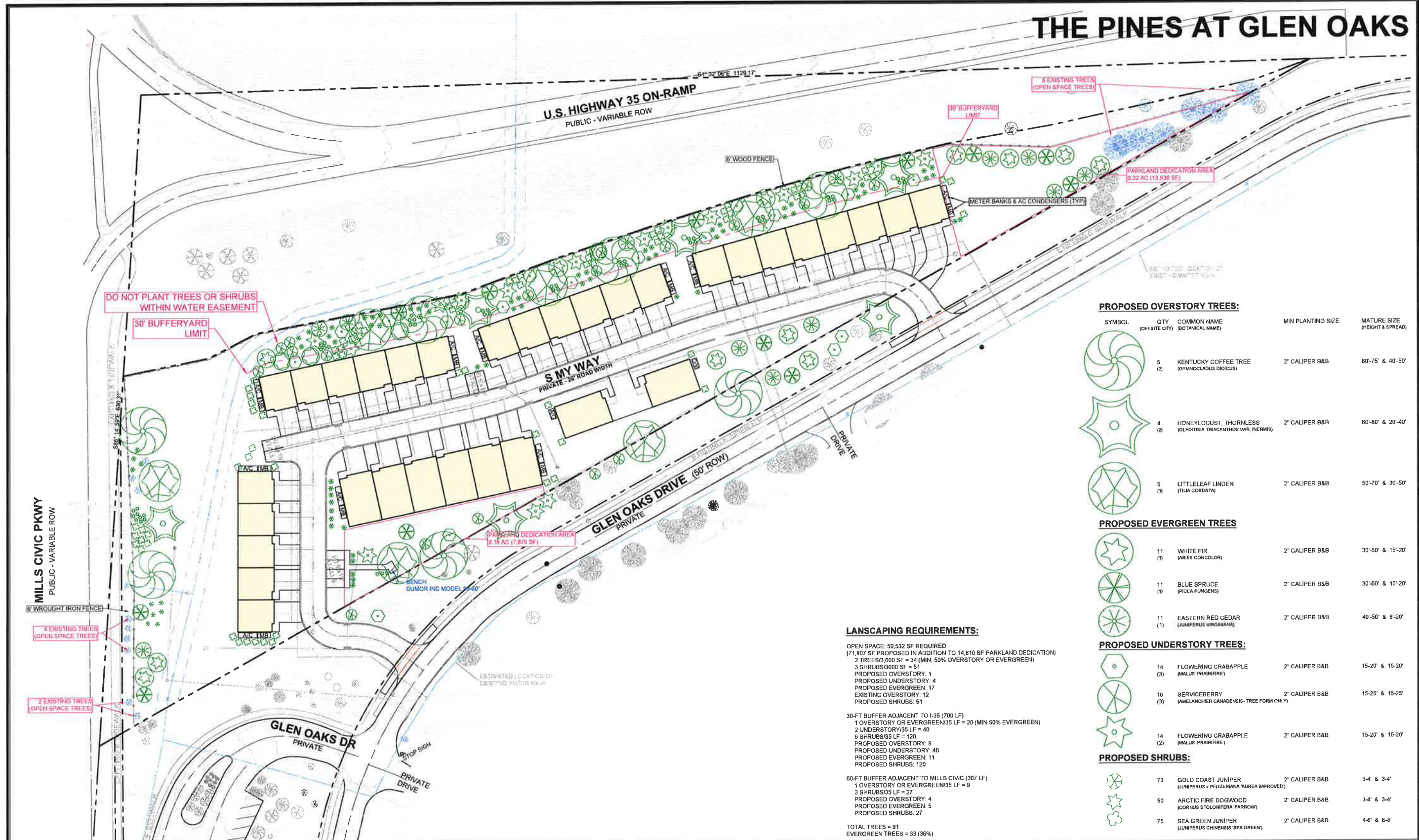
**THE PINES AT GLEN OAKS**  
**SWC OF MILLS CIVIC PKWY & INTERSTATE 35**  
**WEST DES MOINES, IA**

DATE	3.24.2023	PROJECT	20-149
SCALE	1"=50'	DATE	3.24.2023
PROJECT	B. SHORT	DATE	3.24.2023

Scale in Feet  
1" = 50'

C-109 - EROSION CONTROL SHEET

# THE PINES AT GLEN OAKS



PROPOSED OVERSTORY TREES:				
SYMBOL	QTY (OFFSITE QTY)	COMMON NAME (BOTANICAL NAME)	MIN PLANTING SIZE	MATURE SIZE (HEIGHT & SPREAD)
	5 (2)	KENTUCKY COFFEE TREE (GYMNOCLADUS DIOICUS)	2" CALIPER B&B	60'-75' & 40'-50'
	4 (2)	HONEYLOCUST, THORNLESS (GLEDTISIA TRIACANTHOS VAR. INERMIS)	2" CALIPER B&B	60'-80' & 20'-40'
	5 (1)	LITTLELEAF LINDEN (TILIA CORDATA)	2" CALIPER B&B	50'-70' & 30'-50'
PROPOSED EVERGREEN TREES				
	11 (1)	WHITE FIR (ABIES CONCOLOR)	2" CALIPER B&B	30'-50' & 15'-20'
	11 (1)	BLUE SPRUCE (PICEA PLUNGENS)	2" CALIPER B&B	30'-60' & 10'-20'
	11 (1)	EASTERN RED CEDAR (JUNIPERUS VIRGINIANA)	2" CALIPER B&B	40'-50' & 8'-20'
PROPOSED UNDERSTORY TREES:				
	14 (3)	FLOWERING CRABAPPLE (MALUS PRAIRIFIRE)	2" CALIPER B&B	15'-20' & 15'-20'
	16 (3)	SERVICEBERRY (AMELANCHIER CANADENSIS - TREE FORM ONLY)	2" CALIPER B&B	15'-25' & 15'-25'
	14 (2)	FLOWERING CRABAPPLE (MALUS PRAIRIFIRE)	2" CALIPER B&B	15'-20' & 15'-20'
PROPOSED SHRUBS:				
	73	GOLD COAST JUNIPER (JUNIPERUS x PRITZERIANA 'AUREA IMPROVED')	2" CALIPER B&B	3'-4' & 3'-4'
	50	ARCTIC FIRE DOGWOOD (CORNUS STOLONIFERA FARROW)	2" CALIPER B&B	3'-4' & 3'-4'
	75	SEA GREEN JUNIPER (JUNIPERUS CHINENSIS 'SEA GREEN')	2" CALIPER B&B	4'-6' & 6'-8'

**LANDSCAPING REQUIREMENTS:**

OPEN SPACE: 50,532 SF REQUIRED (71,807 SF PROPOSED IN ADDITION TO 14,810 SF PARKLAND DEDICATION)  
 2 TREES/3,000 SF = 34 (MIN. 50% OVERSTORY OR EVERGREEN)  
 3 SHRUBS/3000 SF = 51  
 PROPOSED OVERSTORY: 1  
 PROPOSED UNDERSTORY: 4  
 PROPOSED EVERGREEN: 17  
 EXISTING OVERSTORY: 12  
 PROPOSED SHRUBS: 51

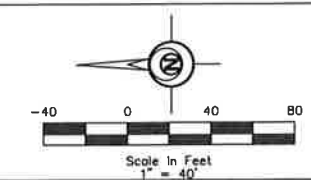
30-FT BUFFER ADJACENT TO I-35 (700 LF)  
 1 OVERSTORY OR EVERGREEN/35 LF = 20 (MIN 50% EVERGREEN)  
 2 UNDERSTORY/35 LF = 40  
 6 SHRUBS/35 LF = 120  
 PROPOSED OVERSTORY: 8  
 PROPOSED UNDERSTORY: 40  
 PROPOSED EVERGREEN: 11  
 PROPOSED SHRUBS: 120

60-FT BUFFER ADJACENT TO MILLS CIVIC (307 LF)  
 1 OVERSTORY OR EVERGREEN/35 LF = 9  
 3 SHRUBS/35 LF = 27  
 PROPOSED OVERSTORY: 4  
 PROPOSED EVERGREEN: 5  
 PROPOSED SHRUBS: 27

TOTAL TREES = 91  
 EVERGREEN TREES = 33 (36%)

LEGEND:					
	FINISHED FLOOR		ELEC. MANHOLE		SINGLE INTAKE
	MORE OR LESS		ELEC. VAULT		AREA INTAKE
	GUTTER ELEVATION		GUY ANCHOR		THROAT INTAKE
	TOP OF CURB ELEVATION		TEL. JUNCTION BOX		FLARED END SECTION
	EXISTING/PROPOSED ELEVATION		CABLE TV JUNCTION BOX		VALVE
	FLOWLINE ELEVATION		GAS VALVE		FIRE HYDRANT
	CONTROL POINT		GAS METER		WATER METER
	CALCULATED CORNER		SANITARY SEWER MANHOLE		WATER VALVE
	FOUND CORNER		STORM SEWER MANHOLE		WATER TEE
			CLEANOUT		PROPOSED UTILITY LINE
			DOWNSPOUT		EXISTING UTILITY LINE
					CABLE TELEVISION
					FIBER OPTIC
					GAS LINE
					OVERHEAD ELEC.
					OVERHEAD TEL.
					SANITARY SEWER
					STORM SEWER
					UNDERGROUND ELEC.
					UNDERGROUND TEL.
					WATER
					FENCE LINE

**PELDS DESIGN SERVICES**  
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**THE PINES AT GLEN OAKS**  
 SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
 WEST DES MOINES, IA

DATE	3.24.2023	SHEET NO.	20-149
BY	B. SHORT	SCALE	1"=40'

C-110 - LANDSCAPING SHEET

# THE PINES AT GLEN OAKS

BLDG 5  
1 UNIT  
F.F.: 206.25

BLDG 6  
1 UNIT  
F.F.: 206.25

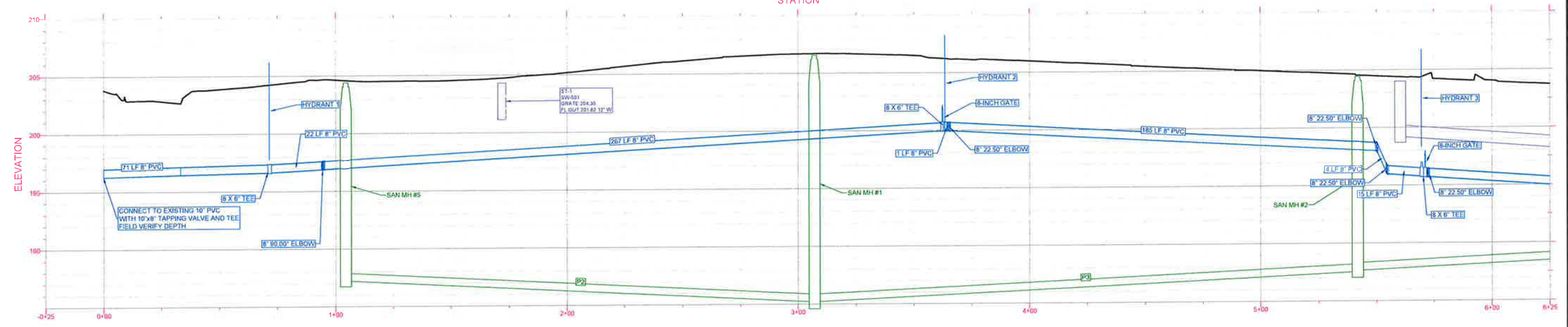
S MY WAY  
PRIVATE - 26' ROAD WIDTH

BLDG 3  
10 UNITS  
F.F.: 206.50

BLDG 4  
12 UNITS  
F.F.: 205.75

## WATER MAIN PROFILE

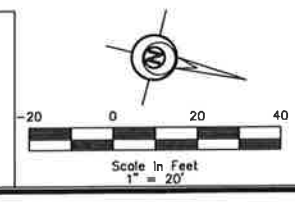
HORIZONTAL: 1"=20'  
VERTICAL: 1"=4'



**PRIVATE WATER MAIN ESTIMATED QUANTITIES:**

PIPES, FITTINGS, BLOCKS, AND ACCESSORIES		
1.1 THRUST BLOCKS	WM-101	15 EACH
1.2 TRACER SYSTEM	WM-102	1 LS
1.3 8" PVC WATER MAIN		1,112 LF
1.4 6" DIP WATER MAIN		33 LF
1.5 22.5" BENDS		7 EACH
1.6 45° BENDS		1 EACH
1.7 90° BENDS		3 EACH
1.8 8"x6"x8" TEE		4 EACH
1.9 8" GATE VALVE		2 EACH
1.10 6" GATE VALVE		4 EACH
1.11 HYDRANT ASSEMBLY	WM-201	4 EACH
1.12 TAPPING SLEEVE		2 EACH

LEGEND:	
△	CALCULATED SECTION CORNER
▲	FOUND SECTION CORNER
□	PARKING SPACE
⊂	SIGN
☉	STREET LIGHT
☪	POWER POLE
⊙	LIGHT POLE
⊛	AREA LIGHT
⊜	ELEC. TRANSFORMER
⊞	ELEC. METER
⊠	ELEC. BOX
○	ELEC. MANHOLE
⊖	ELEC. VAULT
⊔	GUY ANCHOR
⊞	TEL. JUNCTION BOX
⊞	CABLE TV JUNCTION BOX
⊞	GAS VALVE
⊞	GAS METER
⊞	SANITARY SEWER MANHOLE
⊞	STORM SEWER MANHOLE
⊞	CLEANOUT
⊞	DOWNSPOUT
⊞	SINGLE INTAKE
⊞	AREA INTAKE
⊞	THROAT INTAKE
⊞	FLARED END SECTION
⊞	VALVE
⊞	FIRE HYDRANT
⊞	WATER METER
⊞	WATER VALVE
⊞	WATER TEE
⊞	PROPOSED UTILITY LINE
⊞	EXISTING UTILITY LINE
—	CATV — CABLE TELEVISION
—	FO — FIBER OPTIC
—	GAS — GAS LINE
—	OHE — OVERHEAD ELEC.
—	OHT — OVERHEAD TEL.
—	SS — SANITARY SEWER
—	ST — STORM SEWER
—	UGE — UNDERGROUND ELEC.
—	UGT — UNDERGROUND TEL.
—	W — WATER



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

VOLDMARS L. FELDS  
18842

VOLDMARS L. FELDS P.E. I.A. LIC. NO. 18842 DATE: \_\_\_\_\_  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023

ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE) C201 - C202

**THE PINES AT GLEN OAKS**  
**SWC OF MILLS CIVIC PKWY & INTERSTATE 35**  
**WEST DES MOINES, IA**

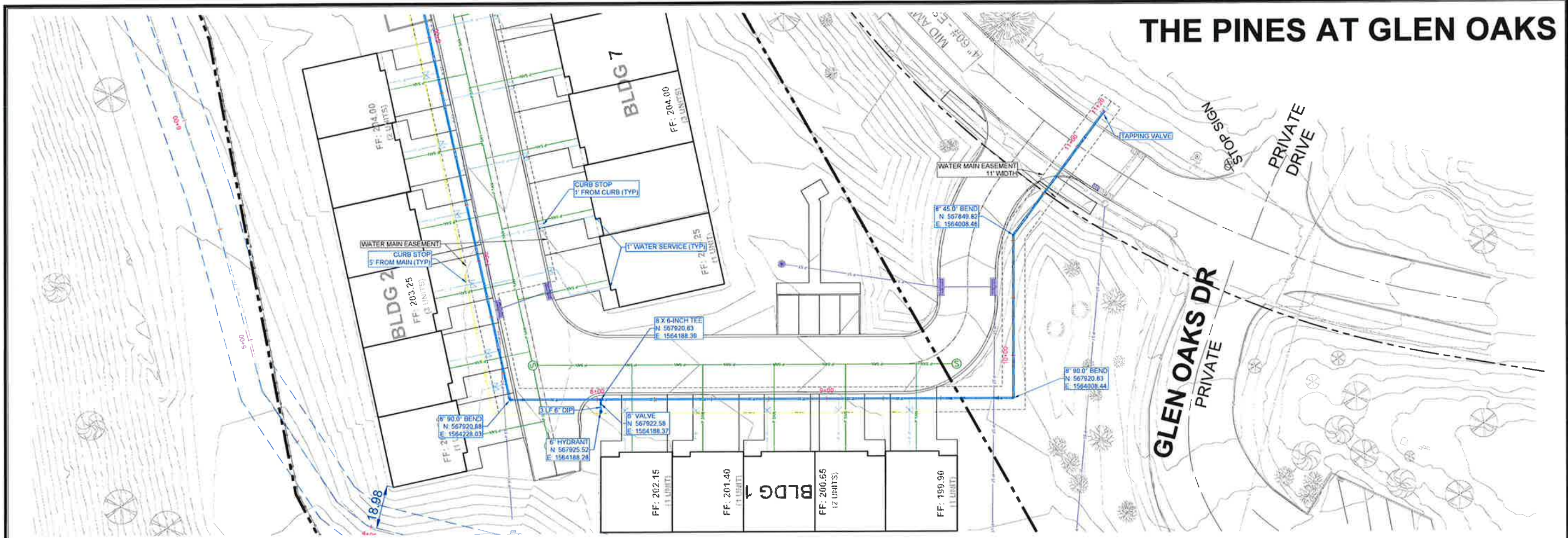
PROJECT NO.	DATE	SCALE	SHEET NO.
B. SHORT	3.24.2023	1"=20'	20-149

C-201 - WATER PROFILE 1

**PELDS DESIGN SERVICES**  
Architecture | Engineering | Surveying  
2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 6196



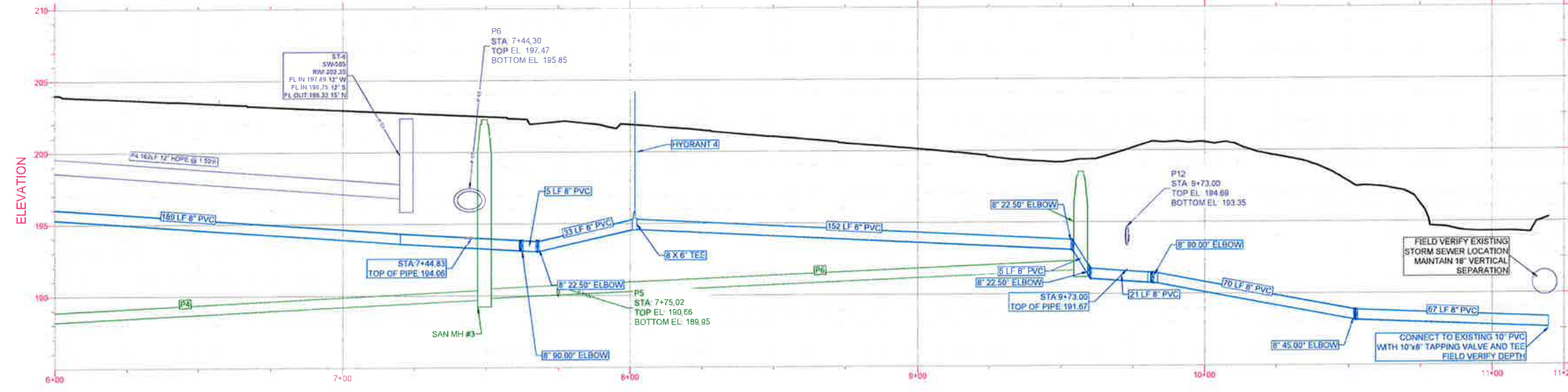
# THE PINES AT GLEN OAKS



**WATER MAIN PROFILE**

HORIZONTAL: 1"=20'  
VERTICAL: 1"=4'

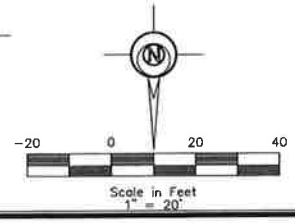
STATION



**PELDS DESIGN SERVICES**  
 Architecture | Engineering | Surveying  
 2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 9196

**LEGEND:**

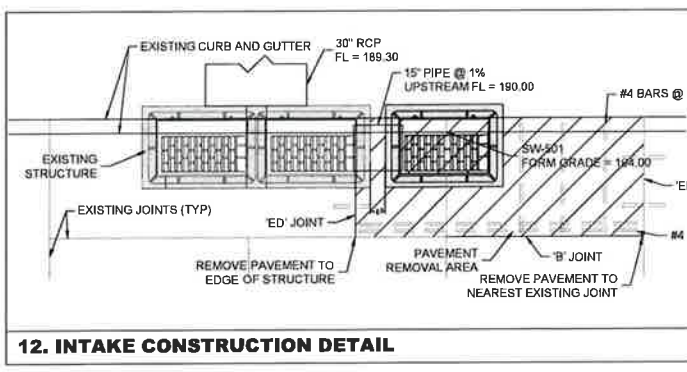
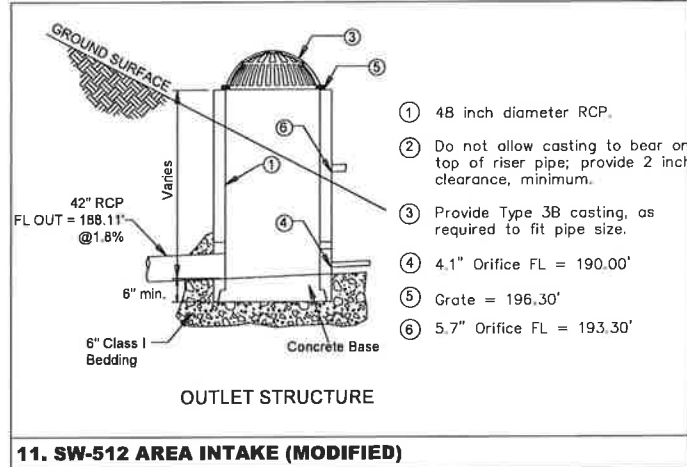
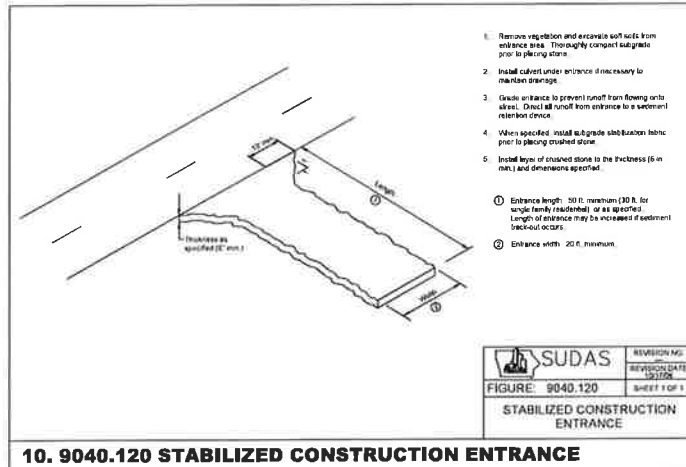
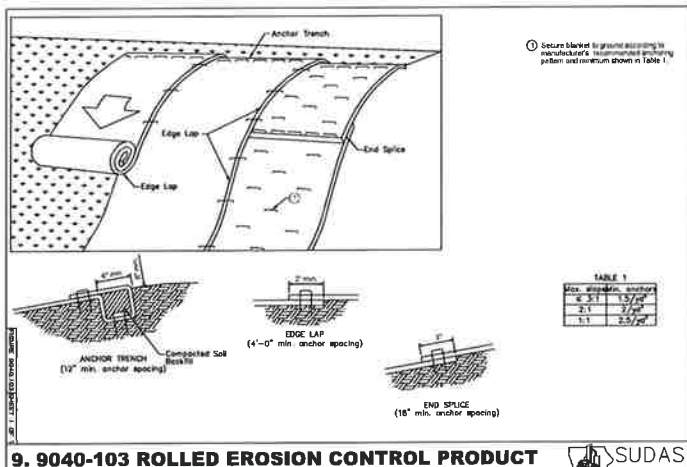
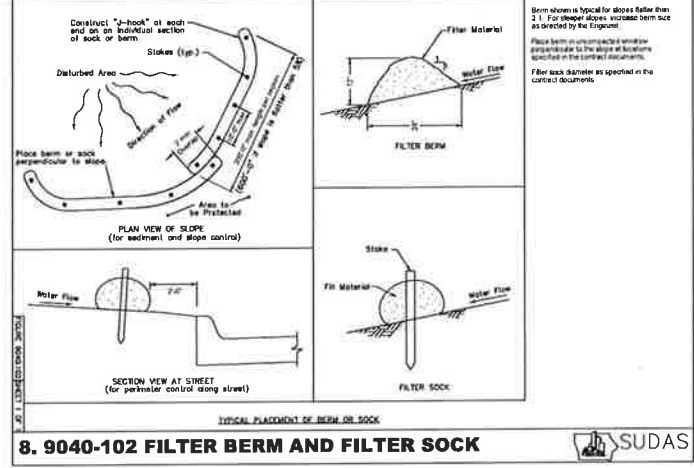
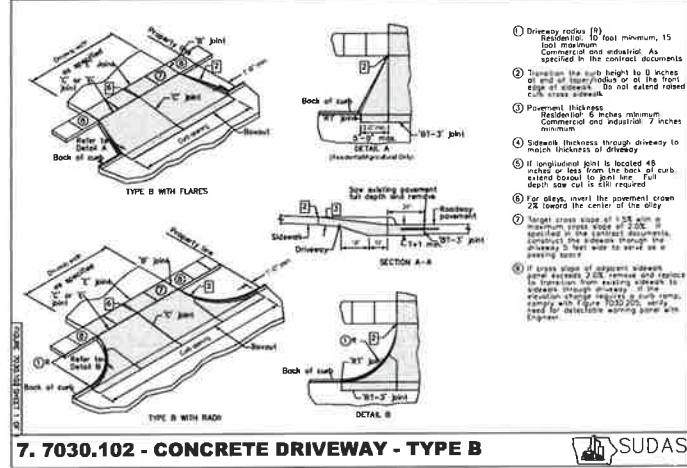
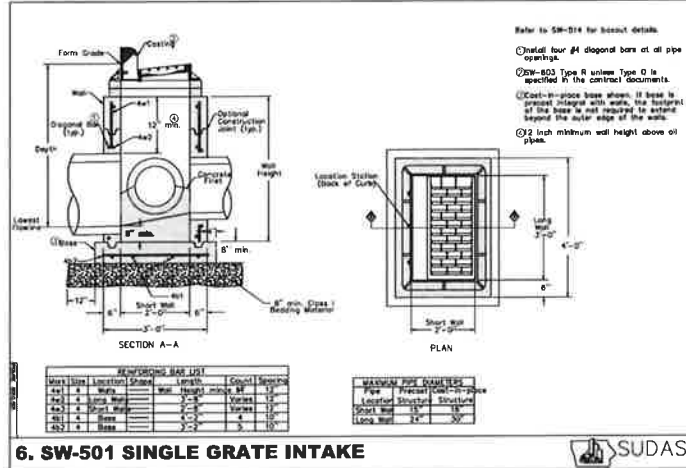
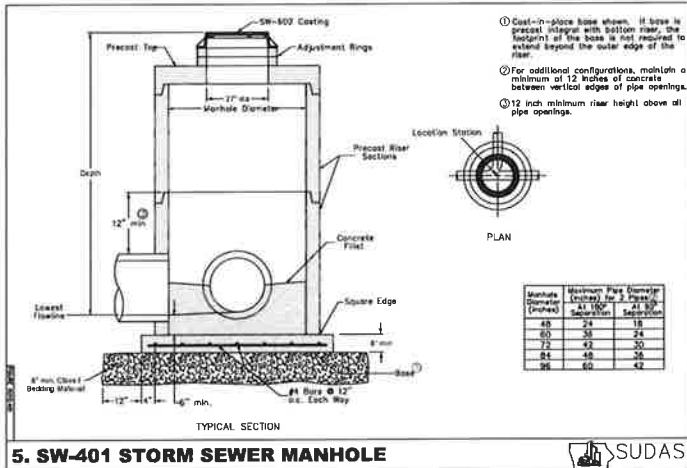
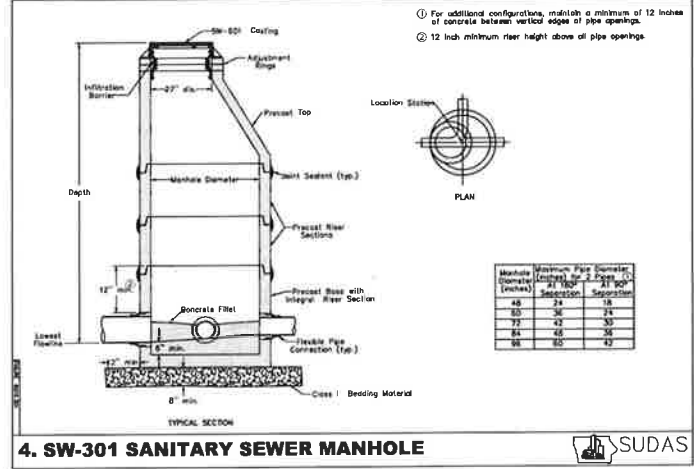
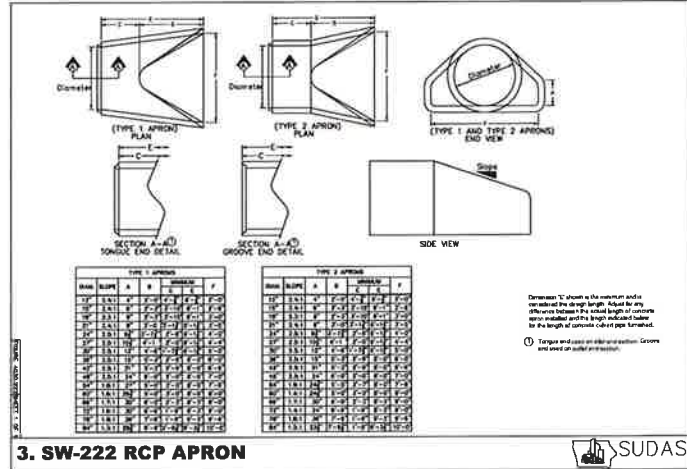
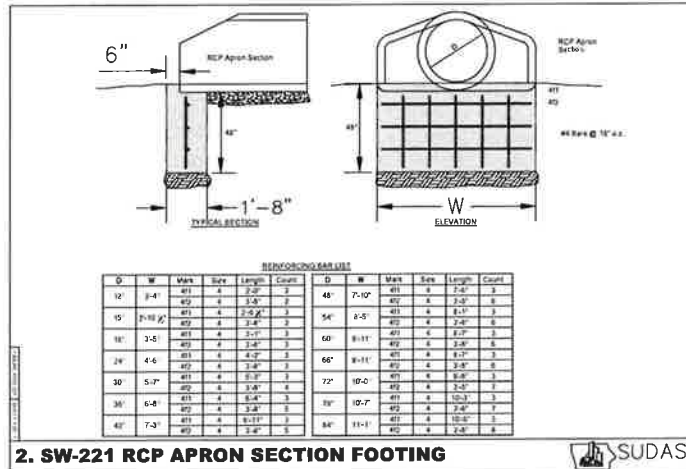
FF. FINISHED FLOOR MORE OR LESS	▲ FOUND SECTION CORNER	⊕ ELEC. MANHOLE	— SINGLE INTAKE	— CATV — CABLE TELEVISION
4+/- MORE OR LESS	□ FOUND SECTION CORNER PARKING SPACE	[ ] ELEC. VAULT	— AREA INTAKE	— FO — FIBER OPTIC
123.456 GUTTER ELEVATION	○ SIGN	⊕ GUY ANCHOR	— THROAT INTAKE	— GAS — GAS LINE
123.456 TOP OF CURB ELEVATION	⊕ POWER LIGHT	⊕ TEL. JUNCTION BOX	— FLARED END SECTION	— OHE — OVERHEAD ELEC.
123.456 EXISTING/PROPOSED ELEVATION	⊕ LIGHT POLE	⊕ CABLE TV JUNCTION BOX	— VALVE	— OHT — OVERHEAD TEL.
FL FLOWLINE ELEVATION	⊕ AREA LIGHT	⊕ GAS VALVE	⊕ FIRE HYDRANT	— SS — SANITARY SEWER
123.456 CONTROL POINT	⊕ ELEC. TRANSFORMER	⊕ GAS METER	⊕ WATER METER	— ST — STORM SEWER
○ CALCULATED CORNER	⊕ ELEC. METER	⊕ SANITARY SEWER MANHOLE	⊕ WATER VALVE	— UGE — UNDERGROUND ELEC.
● FOUND CORNER	⊕ ELEC. BOX	⊕ STORM SEWER MANHOLE	⊕ WATER TEE	— UGT — UNDERGROUND TEL.
		⊕ CLEANOUT	⊕ WATER TEE	— W — WATER
		⊕ DOWNSPOUT	— P XX — PROPOSED UTILITY LINE	— FENCE LINE
			— E XX — EXISTING UTILITY LINE	



**THE PINES AT GLEN OAKS**  
 SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
 WEST DES MOINES, IA

DATE	BY	SCALE	NO.
3.24.2023	B. SHORT	1"=20'	20-149

C-202 - WATER PROFILE 2



**P** ELDS DESIGN SERVICES

Architecture | Engineering | Surveying

2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

**THE PINES AT GLEN OAKS**

SWC OF MILLS CIVIC PKWY & INTERSTATE 35

WEST DES MOINES, IA

DATE: 3.24.2023

PROJECT: 20-149

J:\2023\proj\9040-102 - glen oaks townhome\design\sheet\sheet.dwg

C-301 - DETAIL SHEET

**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION**

**NO. PZC-23-010**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, James Myers with Paramount-Destination Homes, Inc., an Iowa Corporation, applicant, with permission from the property owner, Gerald M. Kirke, as Trustee of the Gerald M. Kirke Revocable Family Trust under agreement dated January 5, 1989, requests approval of a Preliminary Plat for the purpose of subdividing that approximately 8.13-acre property located at the southwest quadrant of the I35/Mills Civic Parkway interchange as depicted on the location map included in the staff report. The applicant proposes the creation of 33 footprint lots for multi-family development, 1 outlot for common areas, and 2 street lots to be dedicated to the City and the Iowa Department of Transportation; and

**WHEREAS**, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

**NOW THEREFORE**, the Planning and Zoning Commission of the City of West Moines recommends the City Council approve the Preliminary Plat (PP-005395-2021), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on March 27, 2023.

\_\_\_\_\_  
Jennifer Drake, Chair  
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on March 27, 2023, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

\_\_\_\_\_  
Recording Secretary