CITY OF WEST DES MOINES STAFF REPORT COMMUNICATION

Meeting Date: March 27, 2023

ITEM: The Pines at Glen Oaks, Southwest quadrant of I-35 Interstate and Mills Civic Parkway interchange – Approve a Preliminary Plat to create 33 lots for Multi Family Residential development - Paramount-Destination Homes, Inc. – PP-005395-2021

Resolution: Approval of Preliminary Plat

<u>Background</u>: James Myers with Paramount-Destination Homes, Inc., an Iowa Corporation, applicant, with permission from the property owner Gerald M. Kirke, as Trustee of the Gerald M. Kirke Revocable Family Trust under agreement dated January 5, 1989, requests approval of a Preliminary Plat for the approximately 8.13-acre property generally located at the southwest quadrant of I-35 and Mills Civic Parkway interchange. The applicant proposes to subdivide the property into 33 lots for rowhome development, 1 outlot for common areas, and 2 street lots to be dedicated to the City and the Iowa Department of Transportation. The related Site Plan for this project to allow the construction of 33 attached rowhomes and associated site improvements will be scheduled for a future meeting agenda.

Staff Review & Comment:

- *Financial Impact*: There is no City funding of this project; however, there is staff time for processing of development application and inspections during construction.
- Key Development Aspects:
 - The developer has worked with the Glen Oaks Owners Association (GOOA) to place additional landscaping and fencing along the property line between the properties at the request of the GOOA. The landscape plan reflects this agreement. It is not a requirement from the City.
 - 2. The parkland dedication area is located in the southern portion of the property. The parkland dedication will be documented during the final plat process.
- <u>Traffic Impact Study Findings</u>: A traffic analysis was completed with the Comprehensive Plan Land
 Use amendment and Rezoning completed in January 2023. That analysis studied the impact of
 38 townhomes on the surrounding public transportation system. At that time, the analysis indicated
 that there would be less traffic generated than had been previously studies. Recommendations
 given in previous studies for the surrounding public streets remain adequate.
 - Previous studies have shown that future levels of services for intersections in the vicinity fall below the desired level of service D standard. Studies have projected failing levels of service in the future at S. 60th Street and Mills Civic Parkway and Interstate 35 and Mills Civic Parkway, for example. However, the future congestion is not expected to worsen by this development since the site is still below the planned trip generations.
- <u>Development & Planning Subcommittee</u>: The Development and Planning Subcommittee discussed with the developer, the developer's request to reduce the setbacks along the property owned by the Glen Oaks Owners' Association on the east side of Glen Oaks Drive. At one point in the review process, the developer anticipated that a strip of land between Glen Oaks Drive and the subject property would be acquired by the developer which would have enabled standard setbacks on the west side of the property. The strip of land is owned by the Glen Oaks Owners' Association, and they did not want to relinquish the property as there is a berm and vegetation on the property they

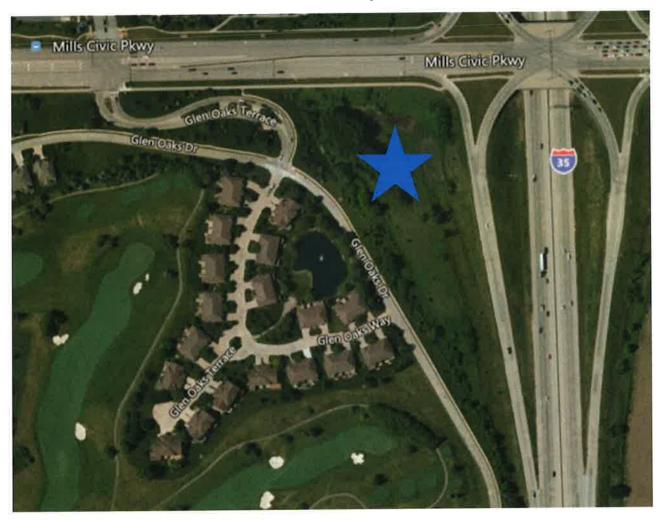
wanted to protect. The strip is undevelopable because of its small width. The Subcommittee recommended that the Planned Unit Development amendment that was being processed during the same time period be amended to include provisions for reduced setbacks.

Plat Validity: Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.

Outstanding Issues: There are no outstanding issues.

Planning an Date: Vote: Recommen		ssion Act 27, 2023	ion:				
Recommendation: Approve the Preliminary Plat request, subject to the applicant meeting all City Code requirements and the following:							
 The applicant acknowledging that prior to issuance of any building permits for buildings within The Pines at Glen Oaks development, that the associated Final Plat must be approved by the City Council and recorded with Polk County. 							
Lead Staff Member: Kara Tragesser Approval Meeting Dates:							
	Planning and Zoning Commission March 27, 2023						
City Council							
Staff Repor							
		•	oment Coordinator (or) 🖂 Legal Department				
City Council			tor	☐ Legal Department			
		opriati	ons/Finance		Agenda Acceptance		
Publications (if applicable) Council Subcommittee Review (if applicable)							
Published In:	Des Moines Reg Community Sect			Subcommittee	Deve	elopment & Planning	
Date(s) Published	n/a			Date Reviewed	10/3/	22	
Date(s) of Mailed Notices	n/a			Recommendation	⊠ Ye	es □ No □ Split	

Location Map



CITY CASE NUMBER (SP-005366-2021/PP-005395-2021)

SWC OF MILLS CIVIC PKWY & INTERSTATE 35

PROPOSED: MD - MEDIUM DENSITY RESIDENTIAL

ZONING EXISTING: NOT ZONED PROPOSED: GLEN OAKS PLANNED UNIT DEVELOPMENT - MEDIUM DENSITY

FROM MILLS CIVIC PKWY: 10 FROM I-35: 35 FROM WEST PROPERTY LINE: 0'

BUILDING HEIGHT
PROPOSED HEIGHT: 3 STORY - 43' 2 STORY - 34'

MAX FLOOR AREA RATIO

6" THICK NON-REINFORCED PCC DRIVEWAYS: 5" THICK NON-REINFORCED PCC
APPROACHES" 7" THICK NON-REINFORCED PCC
PROPOSED CURB 4" SLOPED CURB

SITE AREA 4.64 ACRES (202,130 SQ.FT.)

OPEN SPACE

EXISTING - 100% (202,288 SQ.FT.)

REQUIRED - 25% (50,532 SQ.FT.)

PROPOSED - 43% (86,617 SQ.FT.)

POSED - 57% (115,671 SQ.FT.)

ESTIMATED - 214,176 SQ.F.I. ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED. THE DISTURBED AREA FOR THIS SITE IS GREATER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS

PARKING
REQUIRED - 1 VISITOR SPACE PER 10 UNITS - 33 UNITS - 4 STALLS REQUIRED

WDM DATUM ADJUSTMENT
SI IDUEVED ELEVATIONS HAVE BEEN REVISED TO MATCH WDM DATUM (DROP 774,01)

PUBLIC IMPROVEMENTS

PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIMISION,
CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY
ENDINEER.

 $\frac{\text{FLOODPLAIN}}{\text{PER FEMA MAP \#19153C0320F, THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD}}$

FAA

FER FAA NOTICE CRITERIA TOOL, SITE DOES NOT EXCEED NOTICE CRITERIA UP TO 100 FT HEIGHT
(FOR POSSIBLE CRANE HEIGHT) AND THEREFORE FILING WITH THE FAA IS NOT REQUIRED

PRELIMINARY PLAT

THE PINES AT GLEN OAKS **SWC OF MILLS CIVIC PKWY & INTERSTATE 35** WEST DES MOINES, IA

VICINITY MAP



SHEET INDEX

C-102 - DEMO SHEET

C-104 - EASEMENT SHEET

C-105 - DIMENSION SHEET

C-108 - UTILITY SHEET C-109 - EROSION CONTROL SHEET

C-301 - DETAIL SHEET

DESCRIPTION: NAVD88 - FEET NAVD88 - FEET: 893.47 WDM DATUM - FEET: 119.46 SECTION:

LOCATION:

POLK SOUTHWEST CORNER OF E.P. TRUE AND S. 41ST STREET. 4.5 FEET WOUTH OF THE EAST-WEST BACK OF WALK AND 4.5 FEET WEST OF THE NORTH-SOUTH BACK OF WALK

BENCHMARK 128

BENCHMARK 127

STANDARD BENCHMARK

STANDARD BENCHMARK

DESCRIPTION:
NAVD88 - FEET:
WDM DATUM - FEET:
SECTION:
TOWNSHIP:
RANGE:
COUNTY:
LOCATION: 910 23 136 22 07

POLK
NW CORNER OF E.P. TRUE PARKWAY AND PRAIRIE VIEW DRIVE 61.5 FEET WEST OF THE TRAFFIC SIGNAL MANHOLE AND 8.5 FEET NORTH OF BACK OF WALK

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY – APPROVED PLANS ON FILE WITH THE CITY

LEGAL DESCRIPTION: Quit Claim Deed Bk 14240 Pg 939-940

Outlot O, Glen Oaks Plat 2, an Official Plat, recorded in Book: 6696, Page: 556 in the Office of the Polk County Recorder being in and forming a part of the City of West Des Moines, Polk County, Iowa, containing 8.13

DEVELOPER

PARAMOUNT - DESTINATION HOMES, INC 2540 73RD ST URBANDALE, IA 50322 PROJECT CONTACT: JAMIE MYERS PHONE: 515-440-1111
EMAIL: JAMIE@DESTINATIONHOMESIA COM

CITY CONTACT

CITY OF WEST DES MOINES 4200 MILLS CIVIC PKWY WEST DES MOINES, IA 50265 PROJECT CONTACT: KARA TRAGESSER EMAIL: KARA TRAGESSER@WDM.IOWA.GOV

OWNER/APPLICANT

GERALD KIRKE REVOCABLE TRUST WEST DES MOINES IA 50266 PROJECT CONTACT: SCOTT IVERS

SCOTT IVERSOWII DROSECORPORATE.COM

ENGINEER/ LAND SURVEYOR

PELDS DESIGN SERVICES
2323 DIXON ST
DES MOINES, IDWA 50316
PROJECT CONTACT: ELARA JONDLE
PHONE: (515) 265-8198
EMAIL: ELARA@PELDS.COM

2323 DIXON ST
DES MOINES, IA 50316
PROJECT CONTACT: DANIEL WILLRICH
PHONE: 515-265-8196
EMAIL: DANIEL@PELDS.COM

PELDS DESIGN SERVICES

PELDS DESIGN SERVICES

VOLDEMARS L PELDS, P.E. IA LIC NO 18842 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023 ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE



Architecture | Engineering | Surveying 2323 Dixon Street, Des Moines, Iowa 50316 PO Box 4626, Des Moines, Iowa 50305 Ph: 515 265 819

THE PINES AT GLEN OAKS SWC OF MILLS CIVIC PKWY & INTERSTATE 35 **WEST DES MOINES, IA**

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23 proprietti 20-148 - gladi soma ti verdermentang near registra plantaneari ke			C-001 - COVER SHEE		

IOWA ONECALL CONTACT LIST:

HOMAS STURMER@CENTURYLINK COM

(GOF) GLEN OAKS OWNERS ASSOCIATION CONTACT NAME: JAMES MCCLARNON

(UPN) UNITE PRIVATE NETWORKS, LLC CONTACT NAME : JOE KILZER CONTACT PHONE: 8164253556 CONTACT EMAIL: UPNGIS@UPNFIBER COM

(W16) IOWA DOT CONTACT NAME : SCOTT SMYTH CONTACT PHONE: 5152505290 CONTACT EMAIL: SCOTT.SMYTH@IOW

IWOM I WEST DES MOINES WATER WORKS CONTACT PHONE: 5152223510 CONTACT BHAIL: DESIGN_LOCATES@WDMWW.COM

C-001 - COVER SHEET C-002 - NOTE SHEET

C-101 - TOPO SHEET

C-103 - LOT LAYOUT SHEET

C-106 - GRADING SHEET C-107 - GRADING DETAILS

C-110 - LANDSCAPING SHEET C-201 - WATER PROFILE 1

C-202 - WATER PROFILE 2

(MC1) VERIZON CONTACT NAME: JOHN BACHELDER CONTACT PHONE: 9727297000 CONTACT EMAIL: JOHN: BACHELDER@VERIZON. CON

CALCULATED SECTION CORNER PARKING SPACE

ELEC VAULT **GUY ANCHOR** TEL. JUNCTION BOX CARLE TV JUNCTION BOX SANITARY SEWER MANHOLE STORM SEWER MANHOLE

AREA INTAKE VALVE FIRE HYDRANT WATER METER WATER VALVE WATER TEE

THROAT INTAKE FLARED END SECTION

FO FIBER OPTIC
G GAS LINE
OHE OVERHEAD ELEC - OHT - OVERHEAD TEL - SAN - SANITARY SEWER

LEGEND:

MORE OR LESS GUTTER ELEVATION TOP OF CURB ELEVATION 23,45/ ff23,45) EXISTING/ PROPOSED ELEVATION FLOWLINE ELEVATION
CONTROL POINT CALCULATED CORNER FOUND CORNER

STREET LIGHT POWER POLE LIGHT POLE AREA LIGHT

PROPOSED LITTLITY LINE

--- ST--- STORM SEWER ---- UGT --- UNDERGROUND TEL ____ W ___ WATER

- CATV - CABLE TELEVISION

REVISIONS:

FINISHED FLOOR

GENERAL NOTES

- THE CITY OF WEST DES MOINES MUST BE NOTIFIED BY ALL CONTRACTORS 4B HOURS PRIOR TO COMMENCING WORK
- ALL PROPOSED MATERIALS AND STRUCTURES SHALL BE APPROVED BY THE CITY OF WEST DES MOINES AND BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATION
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR, SIGNS, BARRICADES, AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS,"
- PELDS DESIGN SERVICES SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIE INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES,
- IF A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORD
 SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS
- 10. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNER'S REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WEST DES MOINES.
- 11. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OF RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- 13. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, PROVIDE WASTE AREAS OR DISPOSAL SITES OR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- ALL CONSTRUCTION WITHIN THE PUBLIC R.O.W/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF WEST DES MOINES.
- 15. THE CONTRACTOR SHALL CONTACT THE CITY OF WEST DES MOINES TO SCHEDULE ANY REQUIRED INSPECTIONS AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND
- 16. IN THE EVENT OF ANY CONFLICTING NOTES BETWEEN THE COVER SHEET AND ALL OTHER SHEETS, THE NOTES ON THE COVER SHEET SHALL SUPERCEDE ALL OTHERS
- 17. IN THE EVENT OF ANY CONFLICTING INFORMATION BETWEEN THE LABEL, ELECTRONIC CAD FILE. AND THE ELECTRONIC SURFACE. THE DESIGN ENGINEER SHALL BE CONTACTED FOR CLARIFICATION

SURVEY NOTES

SURVEY WORK WAS COMPLETED BY PELDS DESIGN SERVICES IN JANUARY 2020. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

STAKING NOTES

- IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER
- 2. IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A
- 340 STAKING DOES NOT RELIEVE CONTRACTOR OF UITIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

DEMO NOTES

- SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB
- 2 PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE, PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED, NO GRINDING WILL BE ALLOWED
- PROPERLY DISCONNECT ALL PUBLIC AND PRIVATE UTILITIES. AS NECESSARY.
- COMPLY WITH LOCAL STATE AND EFDERAL REGULATIONS TO REMOVE AND PROPERLY DISPOSE OF SIDEWALKS, STEPS.
- DRIVEWAYS, AND STRUCTURES (INCLUDING BOTH ABOVE GROUND AND BELOW GROUND ELEMENTS).
- COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE FUEL TANKS, SEPTIC TANKS, CISTERNS, AND ANY OTHER UNDERGROUND FACILITIES; AND TO PROPERLY DISPOSE OF ANY LIQUIDS OR PRODUCTS CONTAINED WITHIN THESE ITEMS.
- PLACE BACKFILL MATERIAL IN HOLES AND DEPRESSIONS, GRADE THE SITE, AND ESTABLISH GROUND COVER
- PROTECT EXISTING FIRE HYDRANTS, STREET LIGHTS, TRAFFIC SIGNALS, UTILITY POLES, FIRE ALARM BOXES, WIRE CABLES, UNDERGROUND UTILITIES, AND OTHER APPURTENANCES IN THE VICINITY OF THE DEMOLITION SITE
- 9... COMPLY WITH NOISE POLLUTION REQUIREMENTS AND ANY WORKING HOUR RESTRICTIONS OF THE JURISDICTION
- 10. MAINTAIN OR RE-ESTABLISH ALL TILES, ROADWAY SUBDRAINS, CULVERTS, OR OTHER DRAINAGE FACILITIES NOT IDENTIFIED IN THE CONTRACT DOCUMENTS FOR REMOVAL
- 11. IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR EACH SITE PRIOR TO INITIATING DEMOLITION BY PLACING ALL REQUIRED DEVICES; INCLUDE MEASURES TO PREVENT TRACKING OF MUD ONTO ADJACENT STREETS OR ALLEYS. 12. COMPLY WITH ALL APPLICABLE AIR POLLUTION REQUIREMENTS OF THE JURISDICTION, USE WATER OR APPROPRIATE
- CHEMICALS FOR CONTROL OF DUST IN THE DEMOLITION AREA, ON HAULING EQUIPMENT, ON ADJACENT ROADWAYS, AND WHEN GRADING THE SITE
- 13. TAKE STEPS TO PREVENT THE GENERATION OF LITTER DURING DEMOLITION AND COLLECT ALL LITTER FROM THE DEMOLITION AREA AT THE END OF EACH WORKING DAY, LOAD TRUCKS TO PREVENT LEAKAGE OR BLOWING OF DEBRIS.
- 14. REMOVE ALL CONCRETE, ASPHALT, OR MASONRY SLABS AND APPURTENANCES.
- 15. REMOVE AND DISPOSE OF ALL BRUSH, SHRUBS, TREES, LOGS, DOWNED TIMBER, AND OTHER YARD WASTE ON THE SITE UNLESS REMOVE AND DISPOSE OF ALL BROSH, STROBE, INEED, LOSS, DOWNED TIMBER, AND OTHER THAN WASTE ON THE STROBE OWNERS OF THE WILES OF OTHER WISE SPECIFIED IN THE CONTRACT DOCUMENTS. DO NOT MIX WITH DEMOLITION MATERIAL, REMOVES TUMPS TO A MINIMUM OF 2 FEET BELOW FINISH GRADE, PROTECT ANY TREES OR OTHER VEGETATION NOT DESIGNATED FOR REMOVAL BY PLACING A FENCE AT THE DRIP LINE ENCOMPASSING THE ENTIRE TREE AND KEEPING ALL OPERATIONS OUTSIDE OF THE FENCED IN AREA, INCLUDING STORAGE OF EQUIPMENT OR MATERIALS. AT NO ADDITIONAL COST TO THE CONTRACTING AUTI REPLACE ANY TREES THAT ARE DESIGNATED FOR PROTECTION BUT ARE DAMAGED BEYOND TREATMENT. THE ENGINEER WILL DETERMINE SIZE AND SPECIES OF THE REPLACEMENT TREE.
- 16. SAW-CUT ALL HARD SURFACING AT LOCATION OF REMOVAL LIMITS.
- 17. WHERE SELECTIVE DEMOLITION IS SHOWN AT PAVED AREAS, DEMOLISH THE EXISTING PAVING BACK TO AN EXISTING CONTROL IOINT NEAR THE LOCATION SHOWN

WETLAND NOTES

PELDS DESIGN SERVICES DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

DISCLAIMER

- THIS DRAWING IS BEING MADE AVAILABLE BY PELDS DESIGN SERVICES (P.D.S.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH P.D.S.'S AGREEMENT FOR PROFESSIONAL SERVICES, P.D.S. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF
- P.D.S DISCLAIMS ANY AND ALL LIABILITY OR RESPONSIBILITY FOR INFORMATION THAT DOES NOT BEAR THE ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL IN CHARGE

CIVIL ENGINEERING NOTES THE PINES AT GLEN OAKS **SWC OF MILLS CIVIC PKWY & INTERSTATE 35 WEST DES MOINES. IA**

UTILITY NOTES

- 1. QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- PIPE LENGTHS CALLED OUT ON PLANS DO NOT INCLUDE FLARED END SECTION, WHERE APPLICABLE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES, ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
- 4. THE CONTRACTOR SHALL RELOCATE EXISTING UTILITIES AS NECESSARY, SHOWN OR NOT SHOWN.
- 5. THE CONTRACTOR SHALL COORDINATE WITH THE CITY ON ALL SIZE, DEPTHS, AND MATERIALS OF ALL PROPOSED UTILITIES. 6. THE CONTRACTOR MUST PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES IF
- REQUIRED BY CITY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONNECTION OF
- DISCONNECTION OF A SERVICE LINE BI CONTRACTOR IS TO COMPLY WITH THE LATEST SUDAS SPECIFICATIONS FOR MAINTENANCE, INSTALLATION, AND TESTING FOR
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS.

 ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- 10. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REPOUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE, THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- 11. ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC
- 12. ALL STRUCTURE SIZES CALLED OUT ON PLANS ARE MINIMUM INSIDE WALL DIMENSIONS
- 13... ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
- 14. ALL STRUCTURES CALLED OUT AS "MODIFIED" OR "SPECIAL" SHALL BE ENGINEERED BY THE PRECASTER TO ENSURE STRUCTURE STABILITY, MODIFICATIONS INCLUDE ADDITIONAL WALL LENGTH TO ACCOUNT FOR LARGE PIPE DIAMETERS AND ADDITIONAL WALL WIDTH & BASE DEPTH TO ACCOUNT FOR DEEPER STRUCTURES, ANY AND ALL MODIFICATIONS TO STANDARD STRUCTURES SHALL BE CONSIDERED INCIDENTAL TO BID

ELECTRICAL SERVICE NOTES

- 15. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS
- 16. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE, PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

SANITARY SERVICE NOTES

17. SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATER MAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING

STORM WATER SERVICE NOTES

- 18. ALL STORM SEWER IN THE ROW SHALL BE RCP (CLASS III RCP), UNLESS OTHERWISE SPECIFIED.
- 19. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS, ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- 20. ALL SUMP SERVICE LINES SHALL HAVE TRACE WIRE

WATER SERVICE NOTES

- 21. WATER SERVICE SHALL BE TYPE K COPPER OR DIP. DEPENDING ON SIZE AND JURISDICTIONAL REQUIREMENTS, IF ONTAMINATED OR "HOT" SOILS, ENSURE APPROPRIATE PIPE IS BEING UTILIZED. SIZE OF WATER MAIN AS SHOWN ON PLANS.
- 22. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- 23. THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION. 3.
- 24. ANY AND ALL HYDRANT AND VALVE EXTENSIONS, TOGETHER WITH VERTICAL BENDS, SHALL BE CONSIDERED INCIDENTAL TO ATER MAIN CONSTRUCTION, NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR INCIDENTAL ITEMS.
- 25.4 ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5 FEET OF COVER UNLESS NOTED OTHERWISE.

EXISTING UTILITIES NOTE

THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE, THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION: IOWA ONE-CALL (1-800-292-8989).

UTILITY CONFLICT NOTES

- 1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION THAT ARE EITHER CALLED OUT ON THE PLANS OR NOT CALLED OUT.
- CONTRACTOR SHALL COMPLY WITH ALL DNR REQUIREMENTS FOR PIPE MATERIAL, PIPE JOINTS, AND ANY OTHER APPLICABLE REQUIREMENTS ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18" BELOW A WATER MAIN.
- 4. FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION NOTIFY PELDS DESIGN SERVICES PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.

SPECIFICATIONS NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR LIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF WEST DES MOINES SUPPLEMENTAL SPECIFICATIONS.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE PROJECT SPECIFICATIONS AND THE CITY OF WEST DES MOINES REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT, THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS SHALL GOVERN.
- FOR ALL SPECIFICATION DISCREPANCIES, THE PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF THE ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS TH

REQUIRED AS-BUILT NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO, IF REQUIRED BY CITY.
- CONTRACTOR SHALL CONTACT PELDS DESIGN SERVICES TO PERFORM SAID AS-BUILT SURVEYS
- IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

PAVING NOTES

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE, ALL AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF WEST DES MOINES SPECIFICATIONS AND THE LATEST VERSION OF SUDAS
- 2. SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- DETECTABLE WARNING PANEL(S) CALLED OUT ON PLANS SHALL BE PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD
- 4. SIDEWALKS SHALL HAVE EXPANSION JOINTS AT 100 FOOT INTERVALS AS REQUIRED BY CITY CODE
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A PARAMED SIGNARY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET,

PAVEMENT SAWCUT NOTES

- CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
- PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
- LONGITUDINAL IDINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL RESUDAS TYPE 1-1' OR 1-2' LONGITUDINAL JOINTS IN DRIVE CAMES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE 'L-1 OR IL JOINTS AND HAVE STEEL INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' OR TYPE 'K' JOINTS. ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

SOIL NOTES

- STRIP AND STOCKPILE THE TOP 8 INCHES OF SOIL ON ALL DISTURBED AREAS. GRADING CONTRACTOR SHALL STOCKPILE
- RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8 INCHES ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6 INCHES.
- TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE
- TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER: ACIDITY RANGE (PH) OF 5,5 TO 7,5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE
- 6. REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL SOILS INFORMATION INCLUDING BUT NOT LIMITED TO SUBGRADE INFORMATION FOOTING DESIGN, AND ANY POSSIBLE OVER EXCAVATION DUE TO POOR SOILS. PAVEMENT SECTIONS ON THE PLANS GOVERN OVER PAVEMENT THICKNESS IN THE SOILS REPORT.

GRADING NOTES

- 1. AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT
- LESS THAN 95% STANDARD PROCTOR PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 12 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT ANI RE-COMPACTED WITH ON-SITE FILL MATERIALS.
- ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD
- PROCTOR DENSITY 4. MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE
- 5. FINISH GRADE ON ALL NON-PAYED AREAS SHALL BE WITHIN 0.20 FT. AND PAYED AREAS SHALL BE WITHIN 0.10 FT OF THE PROPOSED GRADES SHOWN ON THE PLAN
- 6. MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1. THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL
- 8. MAXIMUM 2% CROSS-SLOPE DN ALL SIDEWALKS. GRADING AND FROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN. SWPPP, NPDES OCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS

LANDSCAPING NOTES

- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- 2. SEED OR SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE, SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES
- 3. STAKE SOD ON ALL SLOPES 4:1 OR GREATER.
- 4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- S. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI
- 6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. Z. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH OR BRICK CHIPS OR WASHED STONE AROUND ALL TREES. SHRUBS
- AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED B. PROVIDE 6MIL MINIMUM PLASTIC BELOW ROCK/BRICK.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- 10. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD
- 11. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED

CITY OF WEST DES MOINES NOTES

- 1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT
- 2. AN ON-SITE INSPECTION SHALL BE REQUESTED WITH THE BUILDING DIVISION AT (515) 222-3630, PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
- 3. CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE LITHITY INSTALLATION INSPECTIONS.
- 4. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. /EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
- 5. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O. W. / EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WOM ENGINEERING SERVICES 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS, IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
- 7. COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
- 8. LANE CLOSURE NOTICES MUST BE SUBMITTED TO WEST DES MOINES PUBLIC SERVICES FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE
- 9. ALL CONNECTIONS TO PUBLIC SEWERS SHALL BE CORE DRILLED

WEST DES MOINES WATER WORKS STANDARD NOTES

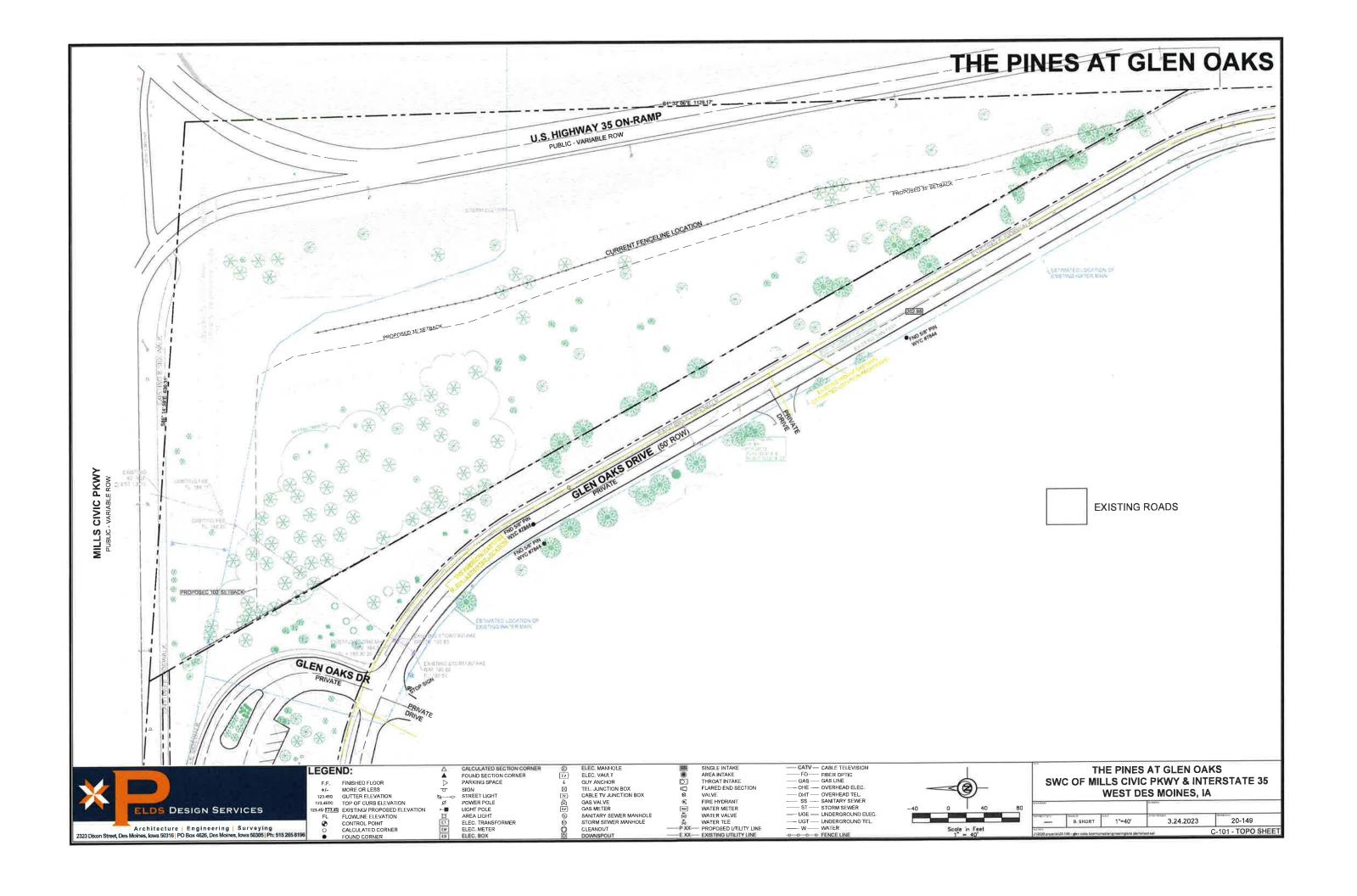
- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS, AVAILABLE AT https://www.wdmww.com/specs.aspx.
 ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
- 3. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMEN
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION, BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998, CONTRACTOR SHALL NOTIFY THEIR PROJECT'S WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM O 4 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND, WHERE REQUIRED BY THE CITY OF WEST DES MOINES PLUMBING CODE, SHALL INSTALL A PRESSURE REDUCING VALVE(S) WITH EXPANSION TANK(S), WHERE REQUIRED, PRESSURE REDUCING VALVE(S) AND TANK(S) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METER(S) AND BACKFLOW PREVENTION

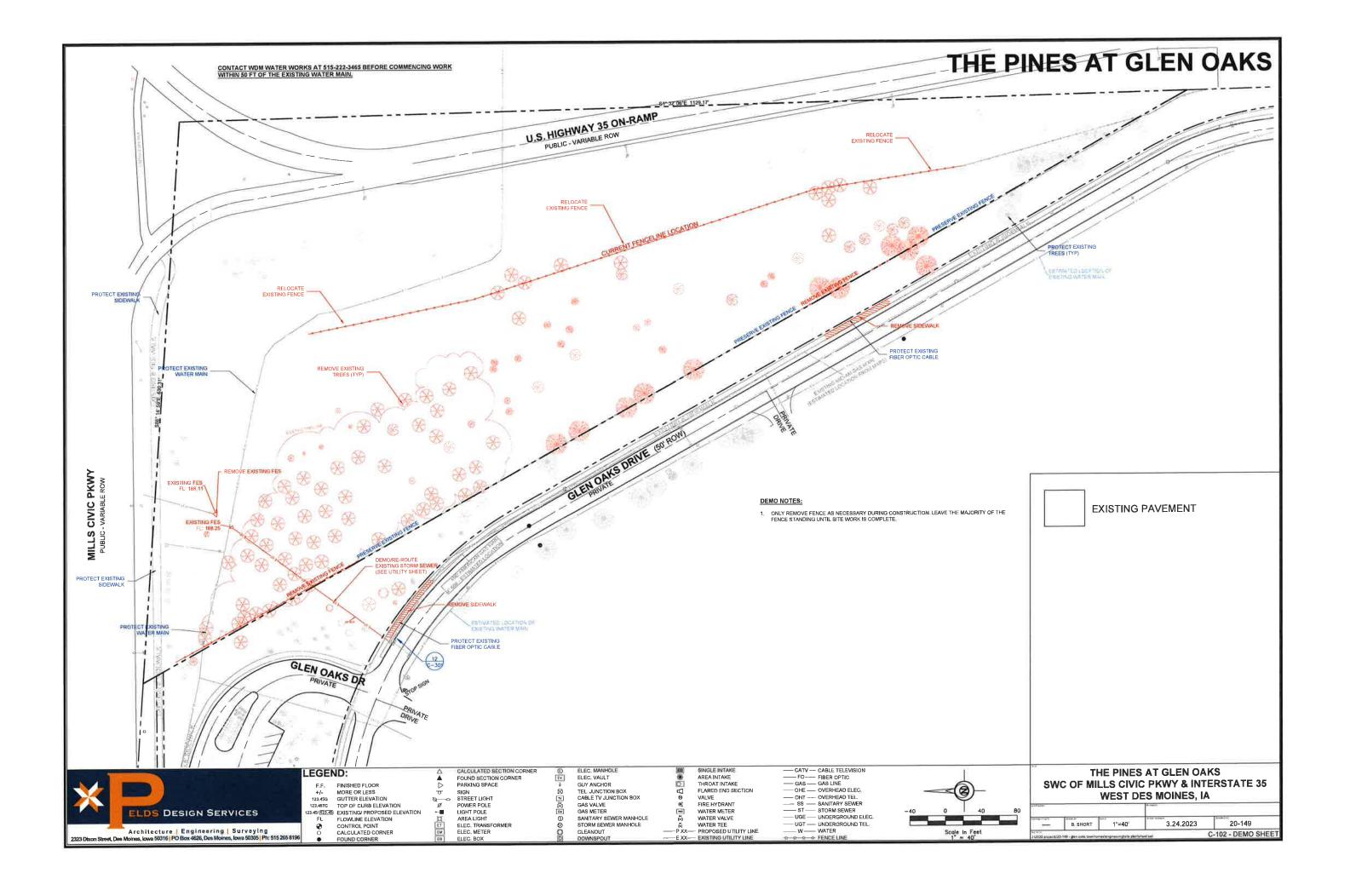


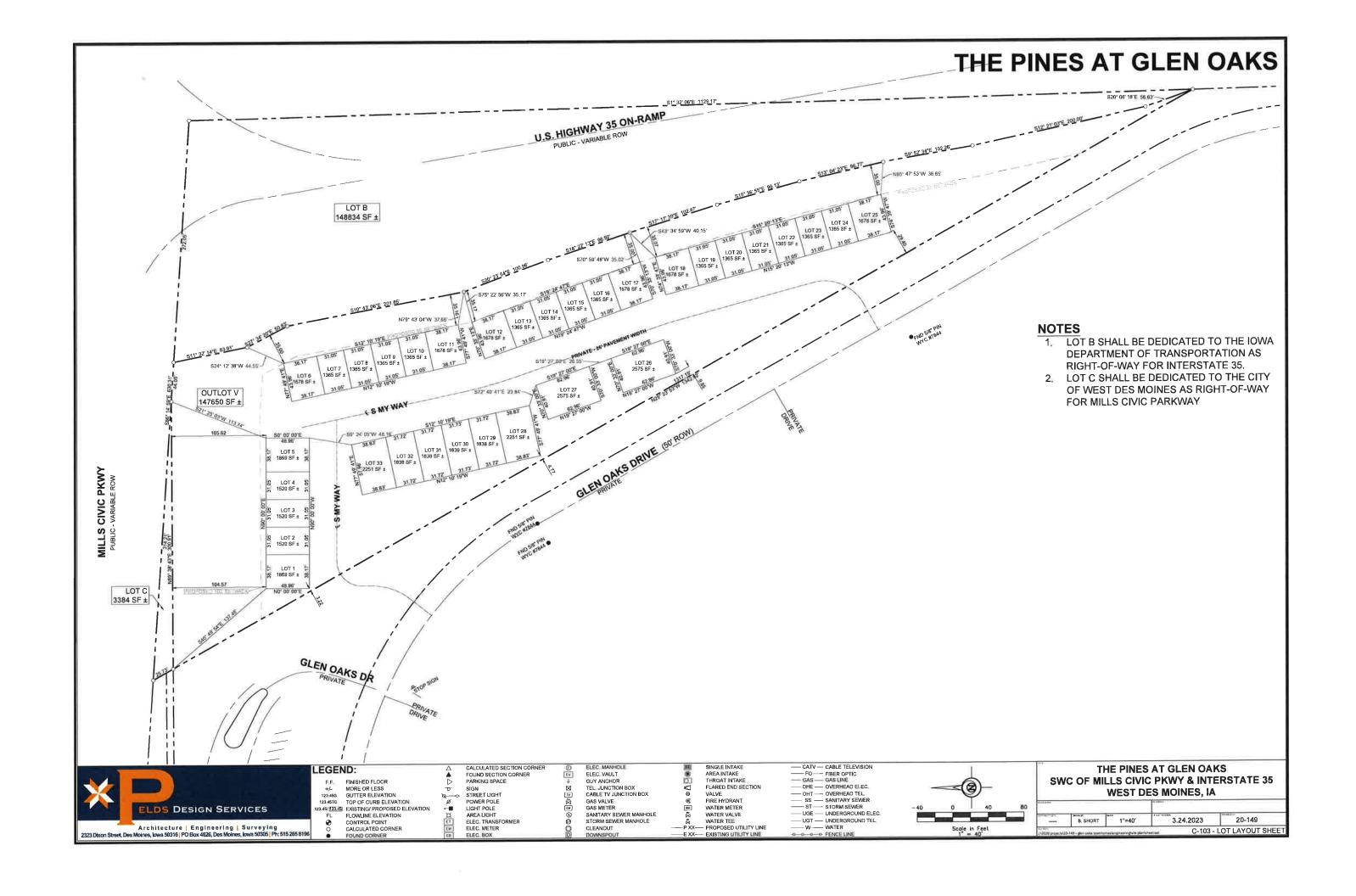
THE PINES AT GLEN OAKS **SWC OF MILLS CIVIC PKWY & INTERSTATE 35**

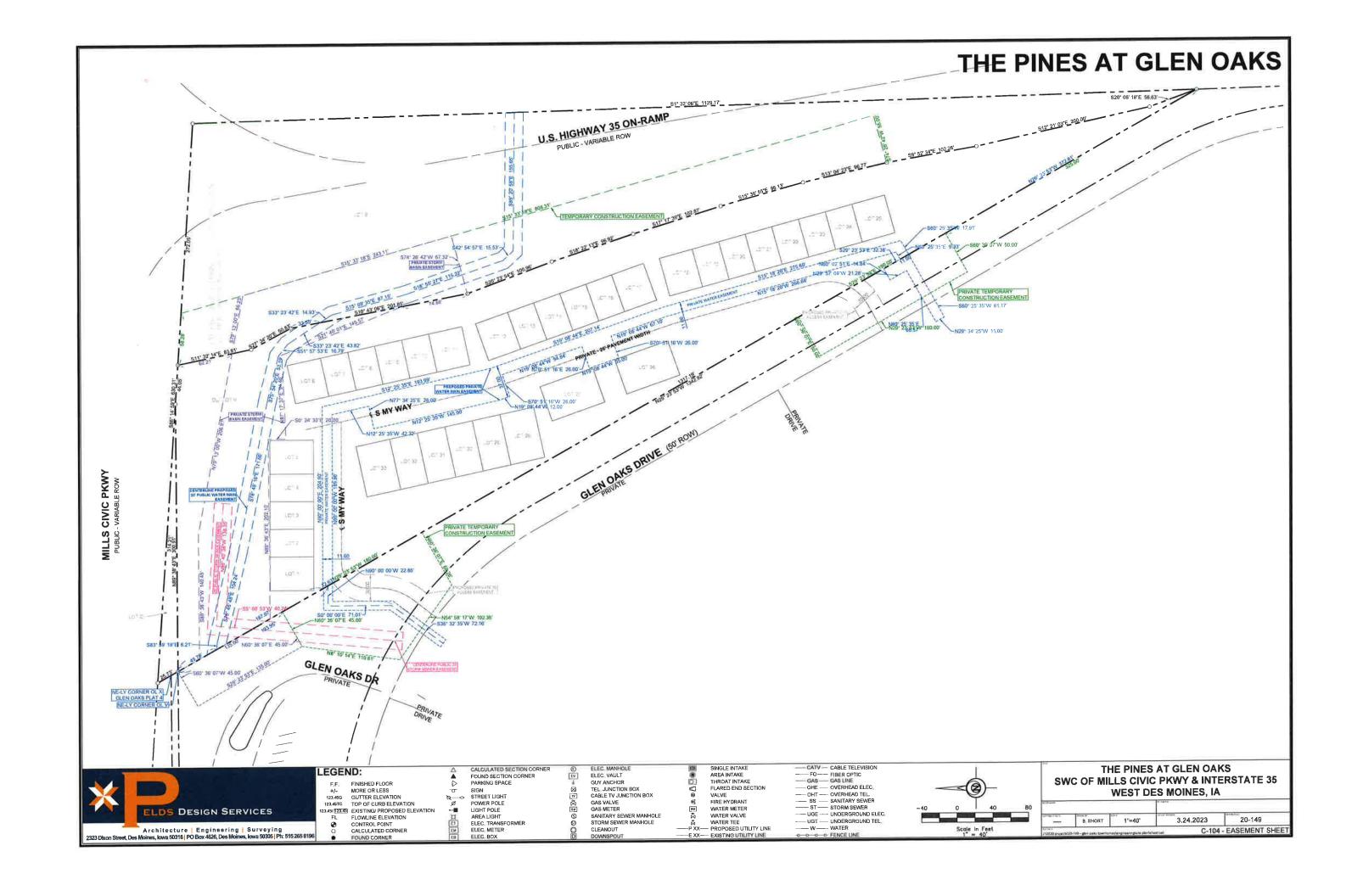
WEST DES MOINES. IA B. SHORT 3.24.2023 20-149

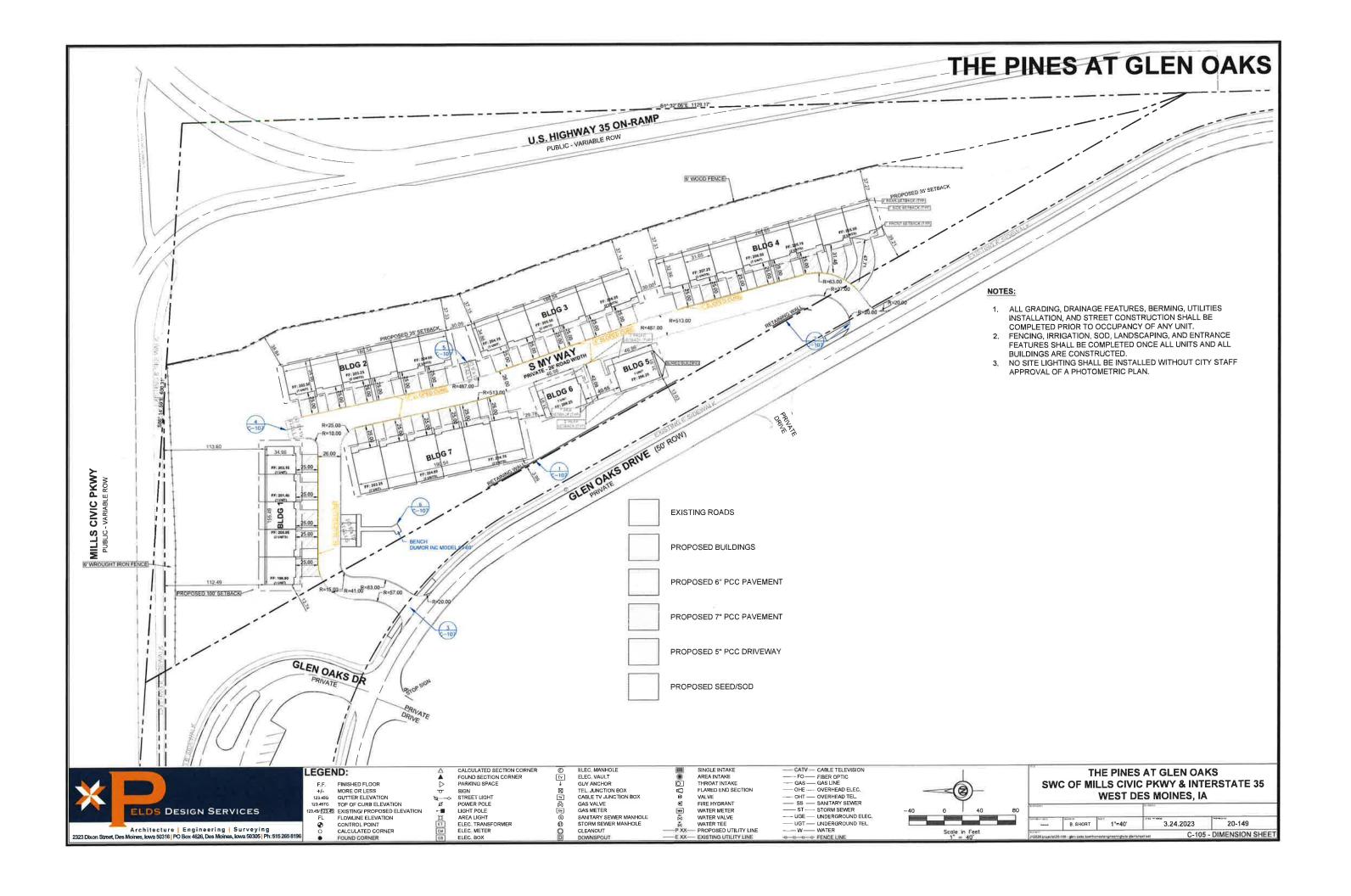
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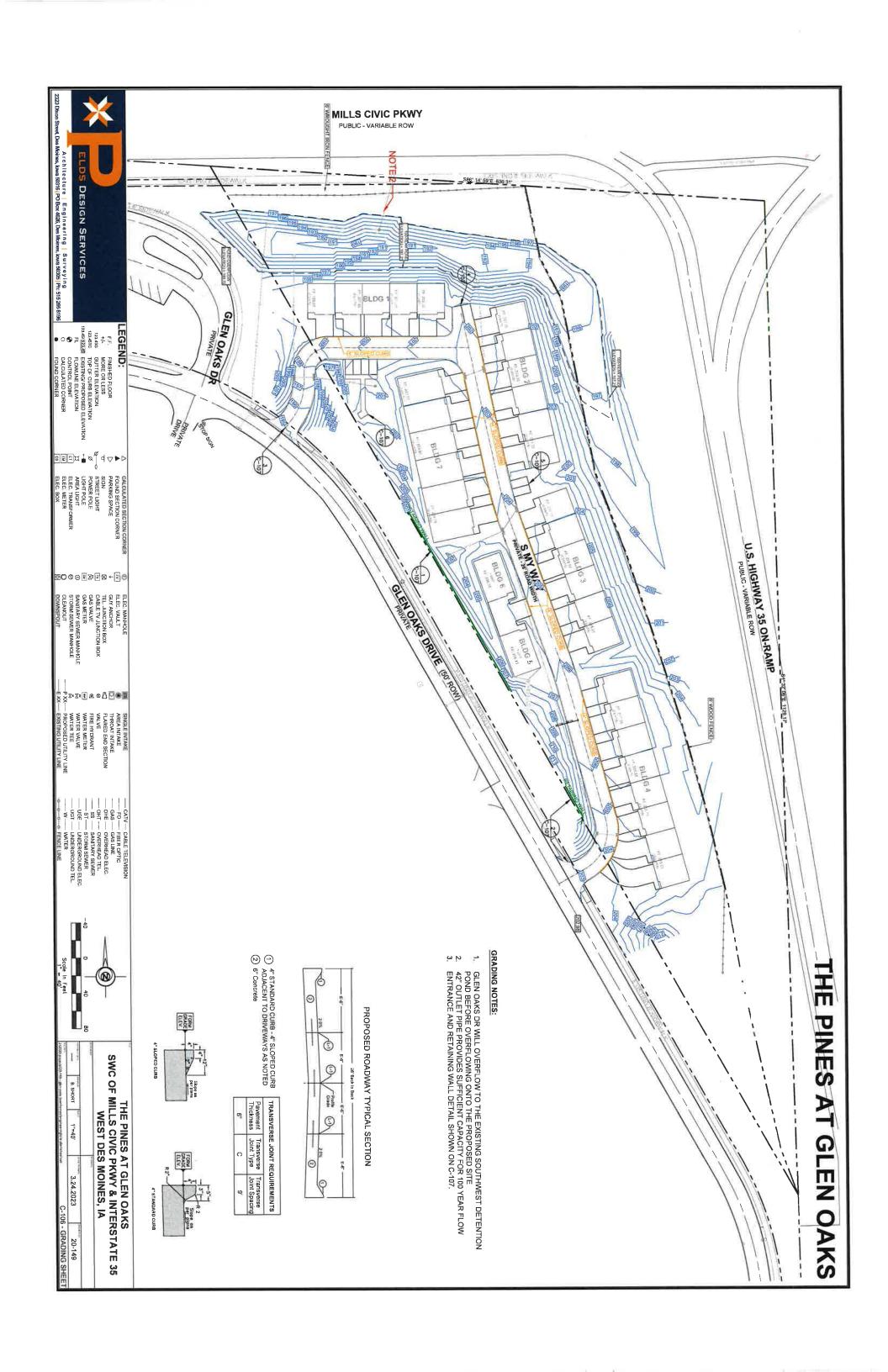


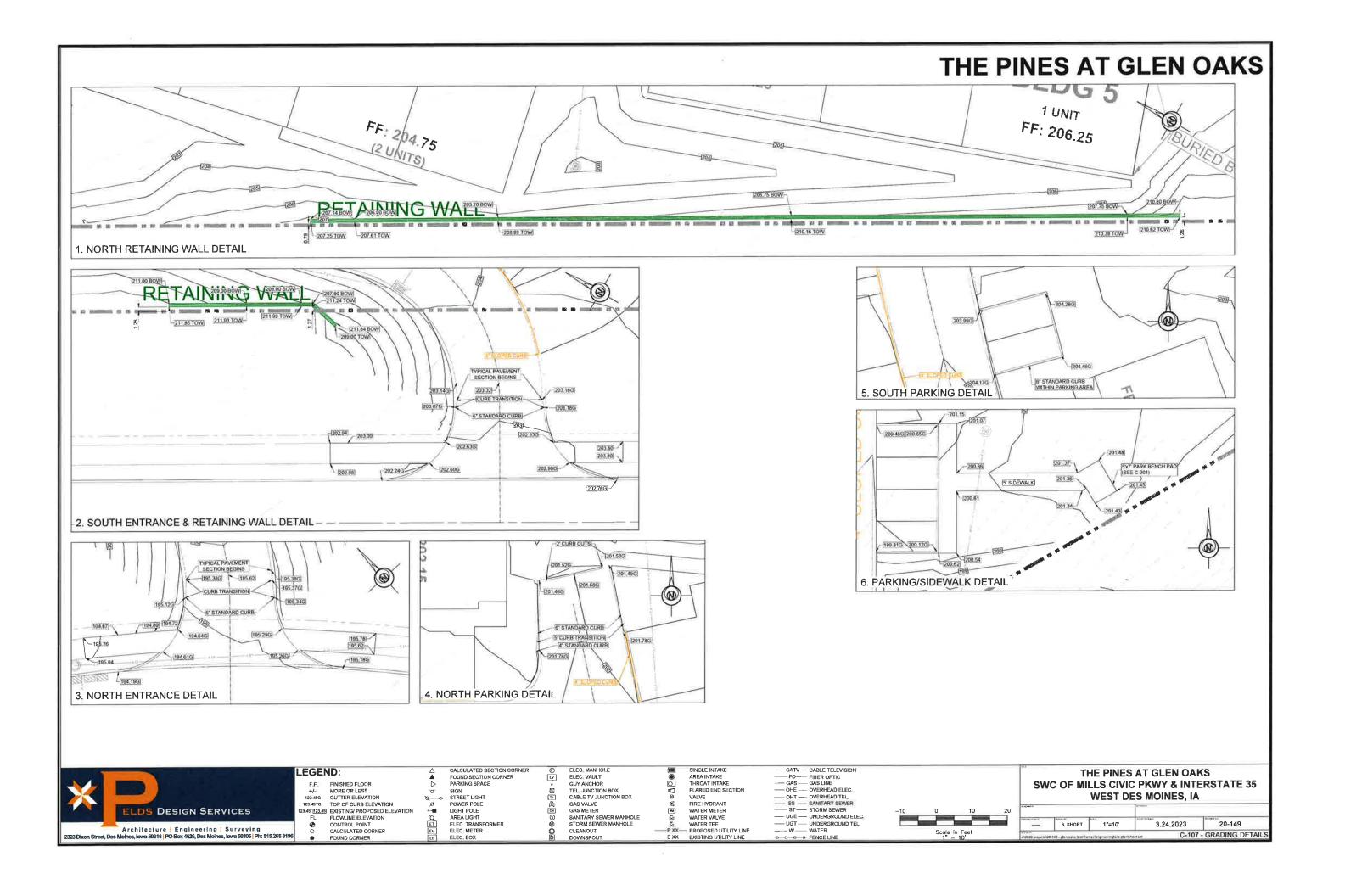


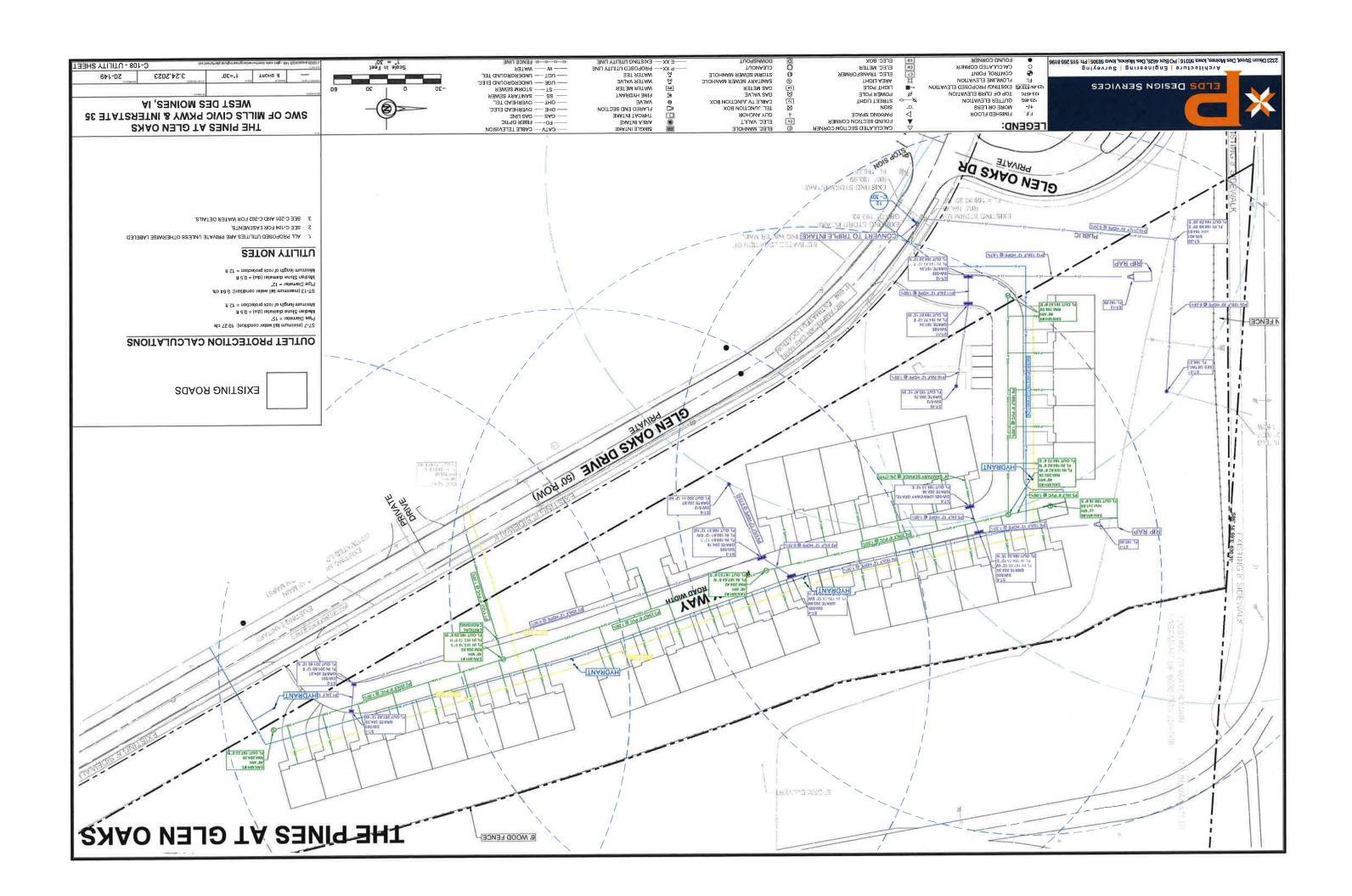


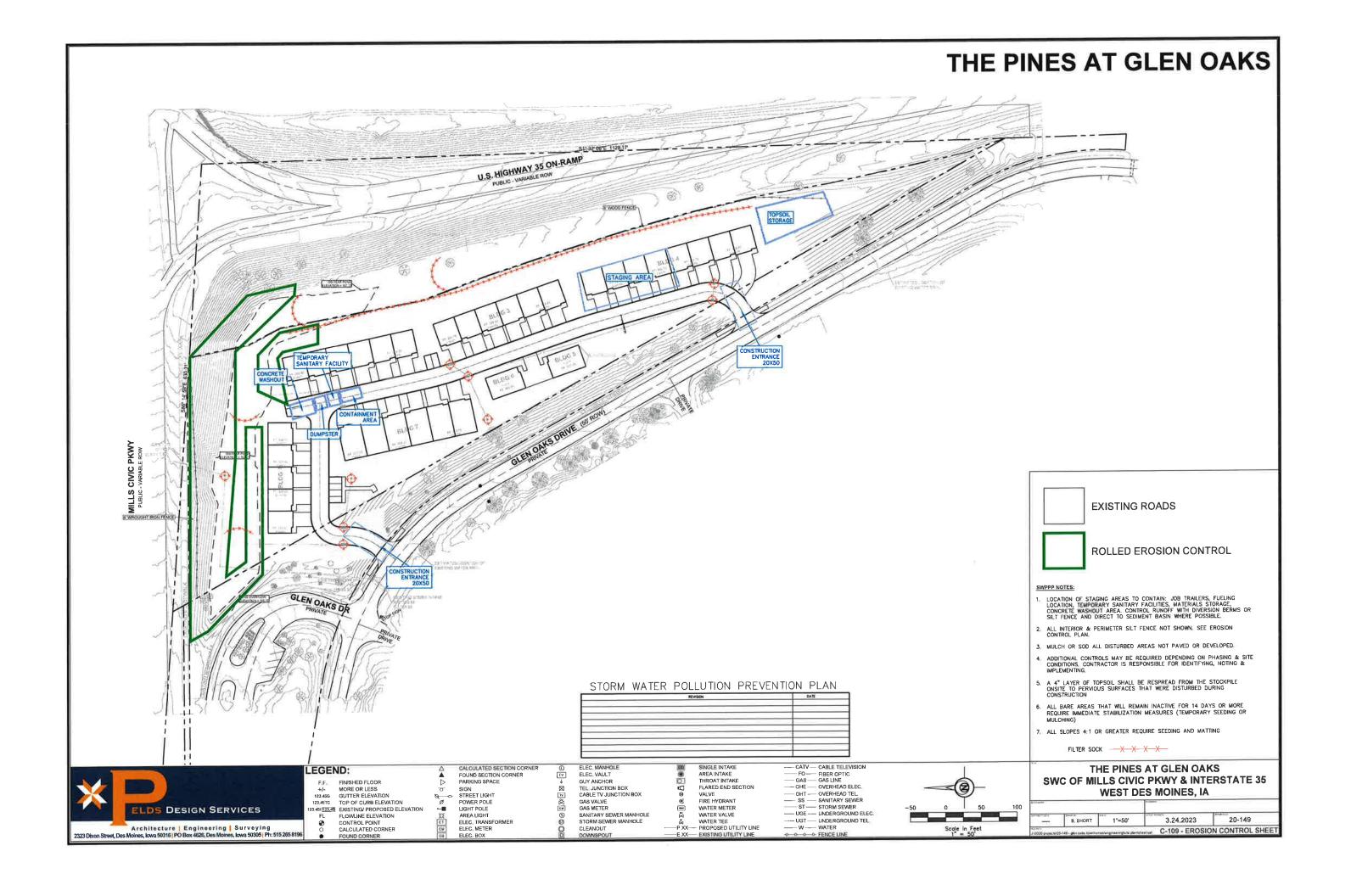


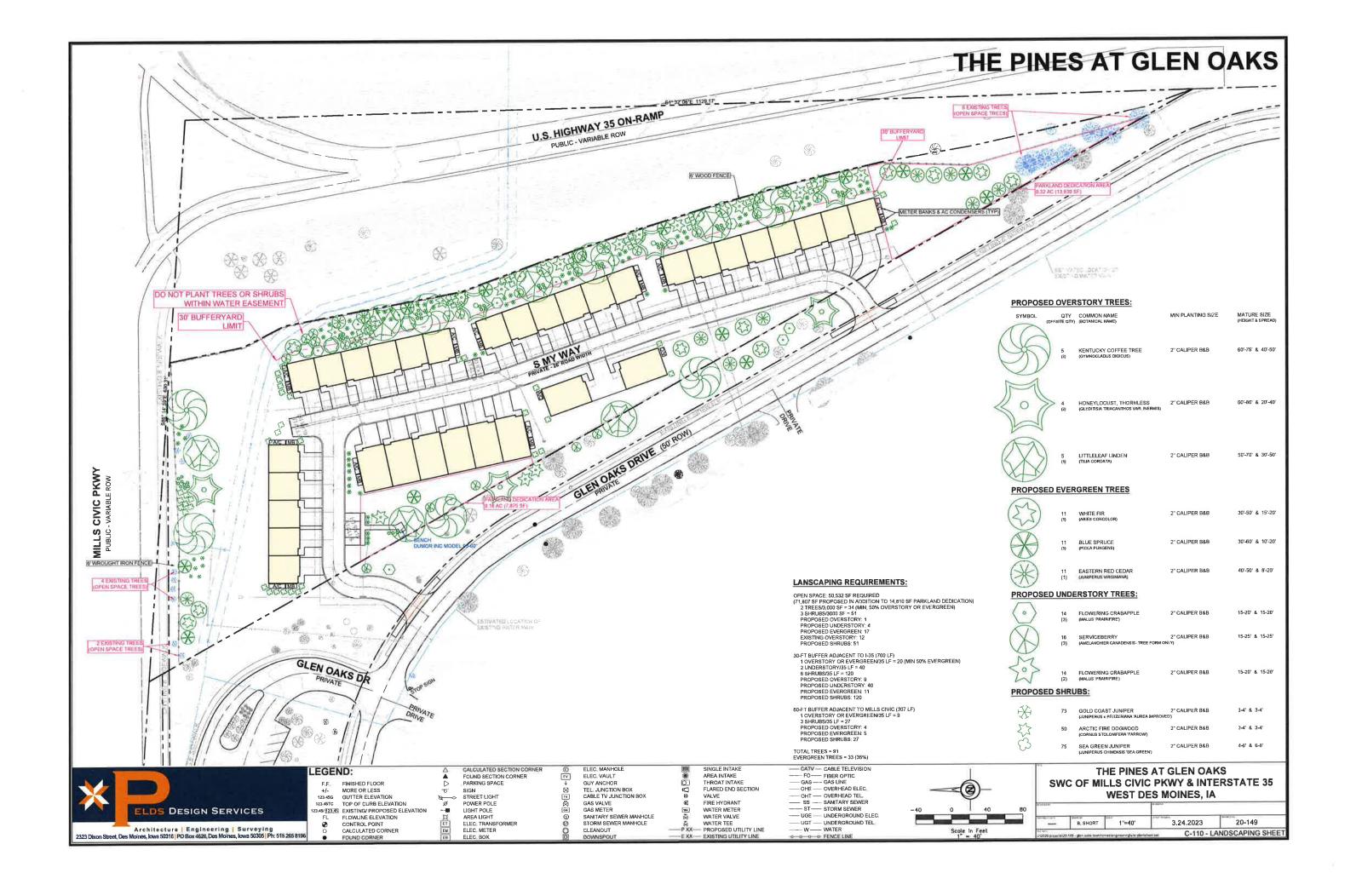


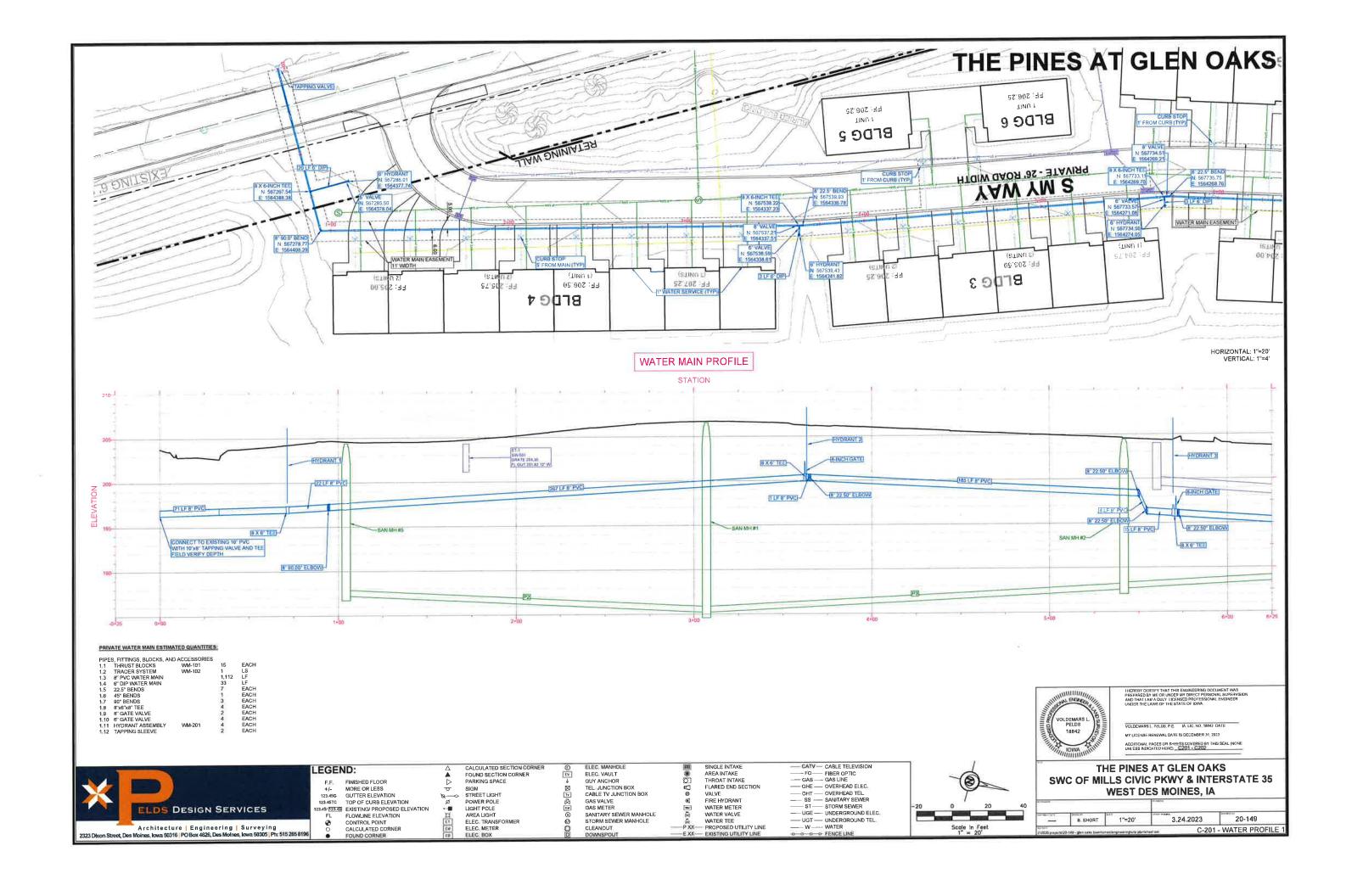


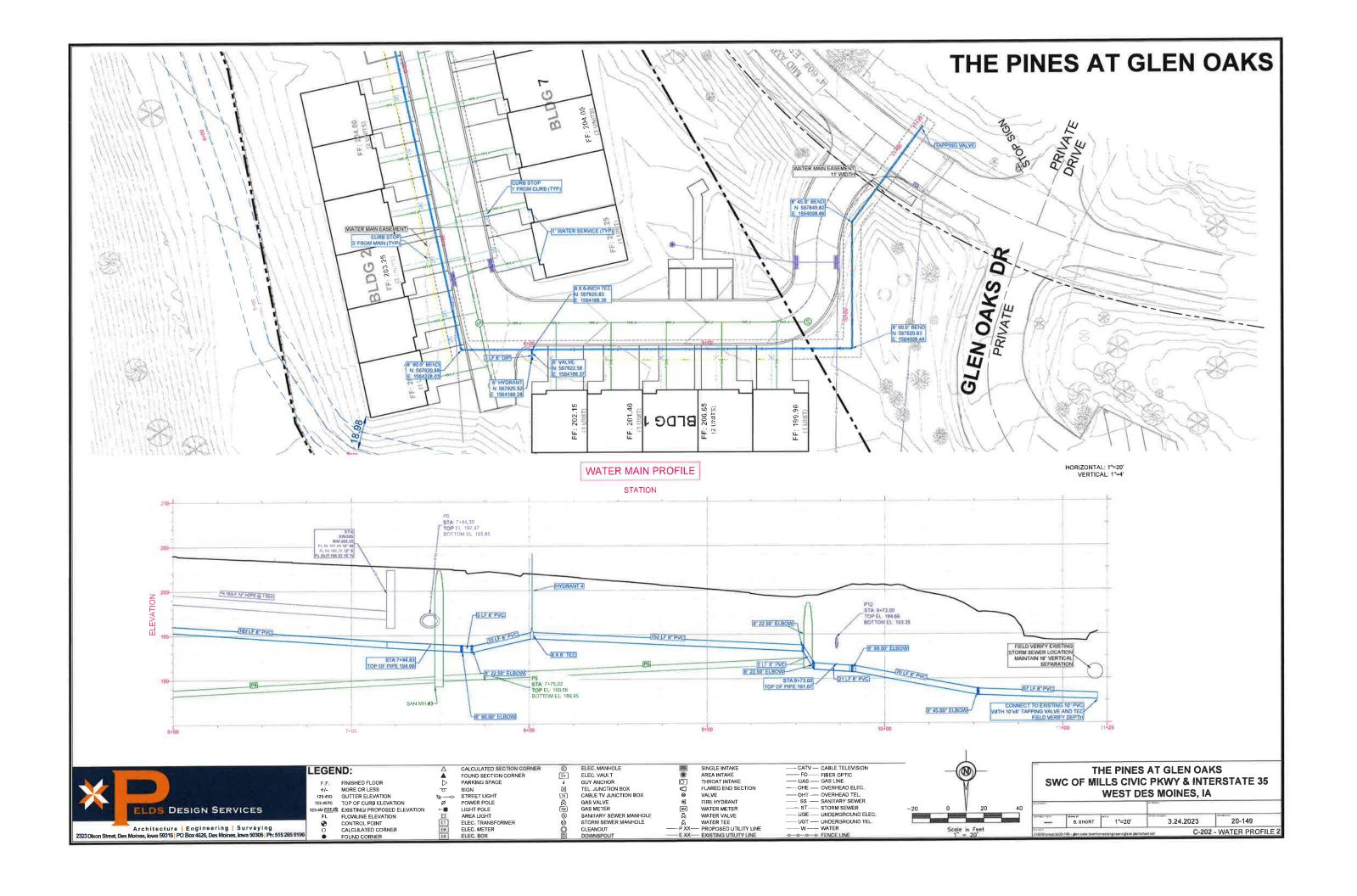


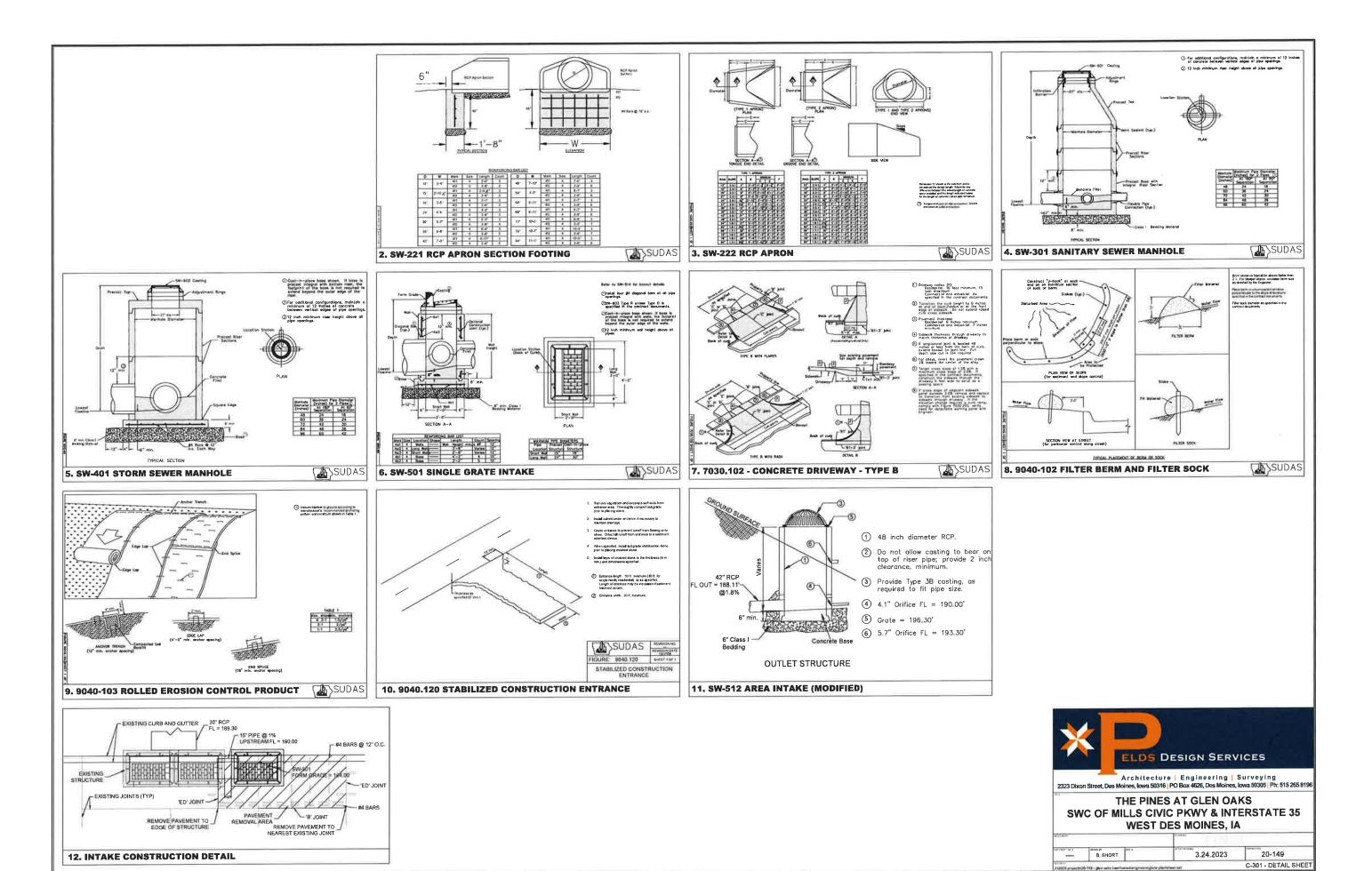












A RESOLUTION OF THE PLANNING AND ZONING COMMISSION NO. PZC-23-010

WHEREAS, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, James Myers with Paramount-Destination Homes, Inc., an Iowa Corporation, applicant, with permission from the property owner, Gerald M. Kirke, as Trustee of the Gerald M. Kirke Revocable Family Trust under agreement dated January 5, 1989, requests approval of a Preliminary Plat for the purpose of subdividing that approximately 8.13-acre property located at the southwest quadrant of the I35/Mills Civic Parkway interchange as depicted on the location map included in the staff report. The applicant proposes the creation of 33 footprint lots for multi-family development, 1 outlot for common areas, and 2 street lots to be dedicated to the City and the Iowa Department of Transportation; and

WHEREAS, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

NOW THEREFORE, the Planning and Zoning Commission of the City of West Moines recommends the City Council approve the Preliminary Plat (PP-005395-2021), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on March 27, 2023.

Jennifer Drake, Chair
Planning and Zoning Commission
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I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on <u>March 27, 2023</u>, by the following vote:

OllOWII	ig vote.
	AYES:
	NAYS:
	ABSTENTIONS:
	ABSENT:
ATTES	ST:
	Recording Secretary