

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: April 24, 2023

ITEM: Jordan Creek Point Lot 2, 6840 & 6880 EP True Parkway – Approve Site Plan to allow construction of two 17,000 square foot retail buildings – Jordan Creek Point, LLC – SP-005942-2023

Resolution: Approval of Site Plan

Background: Josh Trygstad with Civil Design Advantage, on behalf of the applicant and property owner, Jordan Creek Point, LLC, requests approval of the Site Plan for the approximately 5.4-acre property located at 6840 & 6880 EP True Parkway. The applicant proposes to construct two 17,000 square foot retail buildings and associated site improvements on Lot 2 of the two lot Jordan Creek Point development. Two buildings to the west of Lot 2 are already under construction and new tenants are preparing to move in.

Staff Review & Comment:

- **Financial Impact:** No City funding of the project; however, there is staff time for processing of the development application and inspections during construction.
- **History:** On August 16, 2021, at the request of the applicant, the City Council voted to remove this property from the Town Center Overlay District to allow development of the parcel to be more consistent with the more recent all commercial developments in the area rather than being tied to the Overlay District requirements.

On April 4, 2022, the City Council approved a preliminary plat for this lot along with the west portion of the development. In addition, a site plan was approved at the same time for development of the west portion of the site for two retail buildings that are now nearing completion. The final plat for this entire site (both Lots 1 & 2) was approved by the City Council on May 2, 2022.

- **Key Development Aspects:**
 1. **Buffers:** A 30' landscape buffer will be planted along EP True Parkway and 68th Street just as was completed in front of Lot 1 along EP True Parkway.
- **Traffic Impact Study Findings:** The proposed development is expected to generate the same amount of traffic as what was assumed in the March 2022 traffic study for Lot 1 and less traffic than estimated in earlier traffic studies. Recommendations for the surrounding public streets that were given in the March 2022 traffic study remain adequate for the proposed development of Lot 2.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: April 24, 2023

Vote:

Recommendation:

Recommendation: Approve the Site Plan request, subject to the applicant meeting all City Code requirements.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

| | |
|--------------------------------|----------------|
| Planning and Zoning Commission | April 24, 2023 |
| City Council | |

Staff Report Reviews:

| | | |
|------------------------------|---|---|
| Planning & Zoning Commission | <input checked="" type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director | <input checked="" type="checkbox"/> Legal Department |
| City Council | <input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance | <input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance |

Publications (if applicable)

| | |
|---------------------------|---------------------------------------|
| Published In: | Des Moines Register Community Section |
| Date(s) Published | n/a |
| Date(s) of Mailed Notices | n/a |

Council Subcommittee Review (if applicable)

| | |
|----------------|---|
| Subcommittee | Development & Planning |
| Date Reviewed | Not reviewed |
| Recommendation | <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split |

Location Map



Vicinity Map – Land Uses



PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY – APPROVED PLANS ON FILE WITH THE CITY

THE BACK SIDE OF ANY ROOF PROJECTIONS OR PARAPETS VISIBLE FROM THE PEDESTRIAL LEVEL WILL REQUIRE FINISH MATERIALS ON THE BACK TO MATCH THE FRONT OF THE PROJECTION OR PARAPET

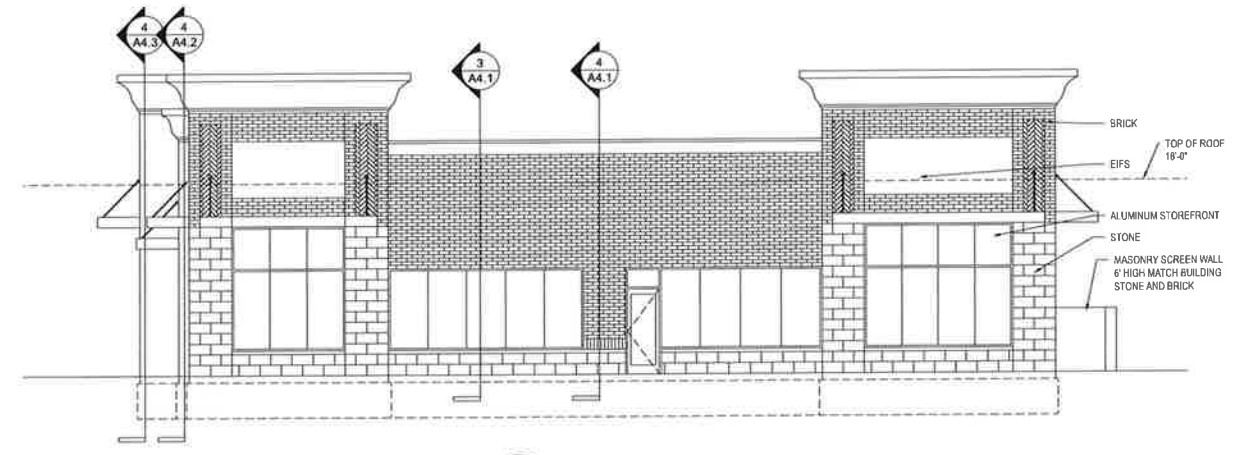
RTU UNITS ARE APPROXIMATELY 4' TALL



1 NORTH ELEVATION
A2.1 1/8" = 1'-0"



2 EAST ELEVATION
A2.1 1/8" = 1'-0"



3 WEST ELEVATION
A2.1 1/8" = 1'-0"

THE BACK SIDE OF ANY ROOF PROJECTIONS OR PARAPETS VISIBLE FROM THE PEDESTRIAL LEVEL WILL REQUIRE FINISH MATERIALS ON THE BACK TO MATCH THE FRONT OF THE PROJECTION OR PARAPET

RTU UNITS ARE APPROXIMATELY 4' TALL



4 SOUTH ELEVATION
A2.1 1/8" = 1'-0"

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JORDAN CREEK POINTE
Shell Documents
6840 EP True Parkway
West Des Moines, IA 50266

DATE
03-10-23

REVISED

SHEET
A2.1

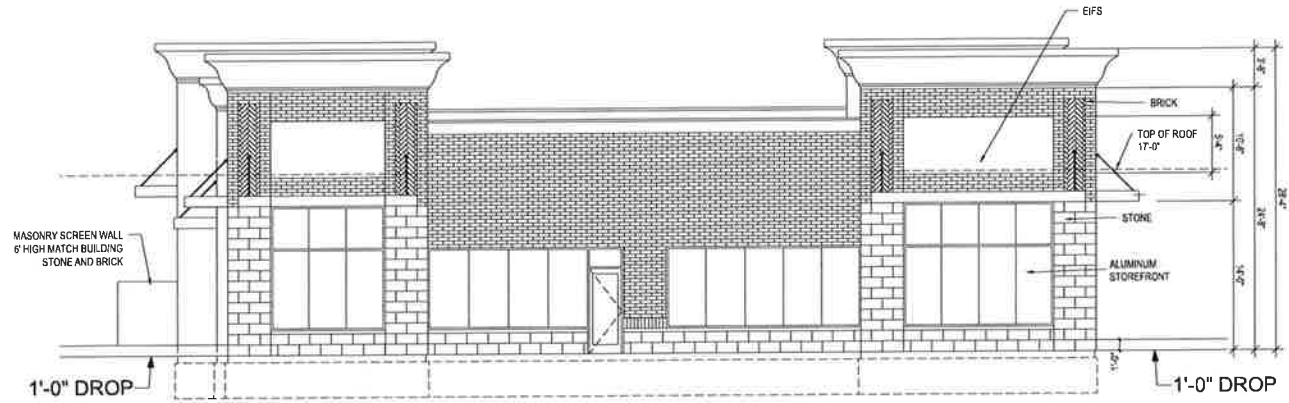
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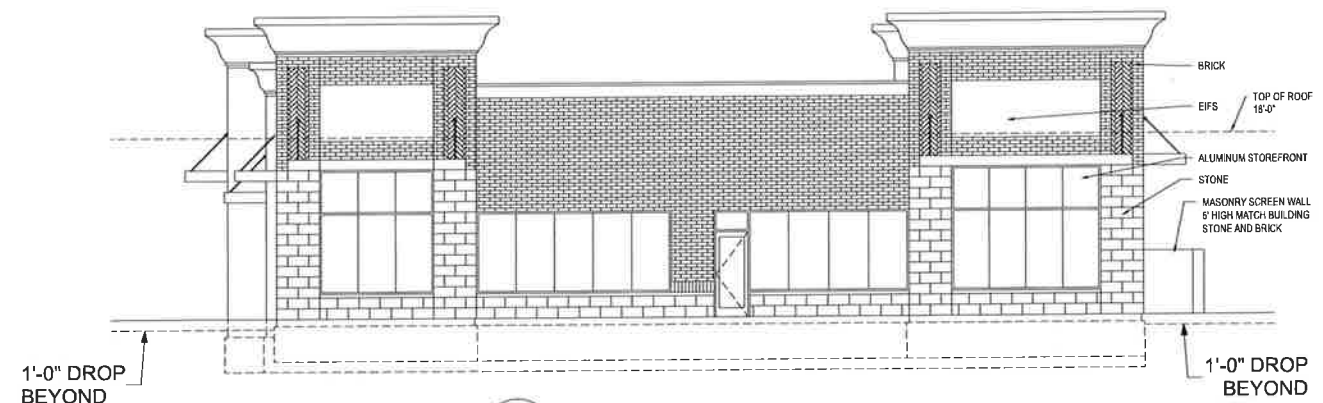


1 NORTH ELEVATION
A2.1 1/8" = 1'-0"

1'-0" DROP IN BUILDING



2 EAST ELEVATION
A2.1 1/8" = 1'-0"



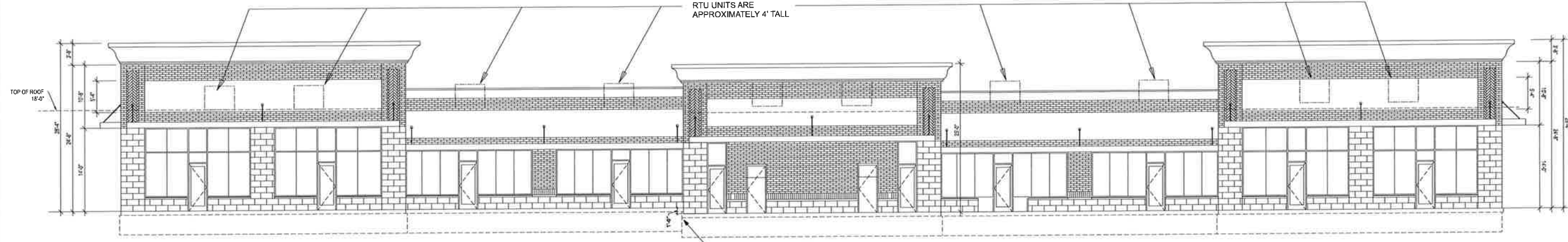
3 WEST ELEVATION
A2.1 1/8" = 1'-0"

1'-0" DROP BEYOND

1'-0" DROP BEYOND

THE BACK SIDE OF ANY ROOF PROJECTIONS OR PARAPETS VISIBLE FROM THE PEDESTRIAL LEVEL WILL REQUIRE FINISH MATERIALS ON THE BACK TO MATCH THE FRONT OF THE PROJECTION OR PARAPET

RTU UNITS ARE APPROXIMATELY 4' TALL



4 SOUTH ELEVATION
A2.1 1/8" = 1'-0"

1'-0" DROP IN BUILDING



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STONE - NG Stone (or EQ)
Walnut



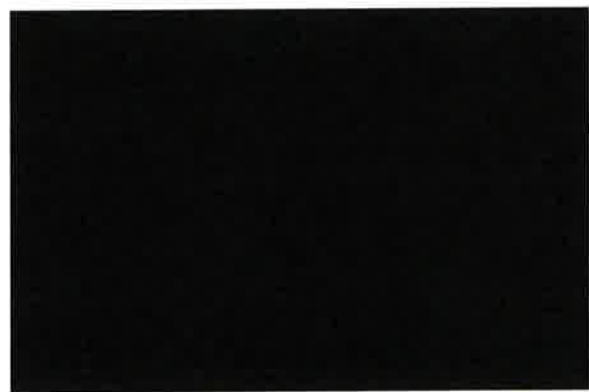
STOREFRONT GLASS



BRICK - Brampton Brick (or EQ)
Crawford Medium



STUCCO - Tinted to match stone



STOREFRONT & CANOPY
Black Anodized Aluminum

JORDAN CREEK POINTE
Shell Documents
6840 EP True Parkway
West Des Moines, IA 50266

DATE
03-10-23

REVISED

EXTERIOR
MATERIALS

ALL COLOR SCHEMES TO MATCH PHASE 1 BUILDINGS



STONE - NG Stone (or EQ)
Walnut



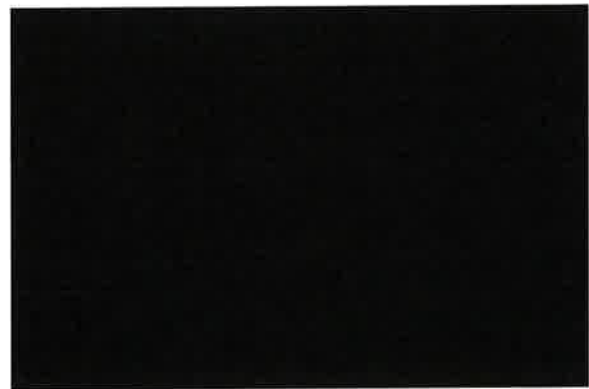
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JORDAN CREEK POINTE
Shell Documents
6880 EP True Parkway
West Des Moines, IA 50266

DATE
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REVISED

EXTERIOR MATERIALS

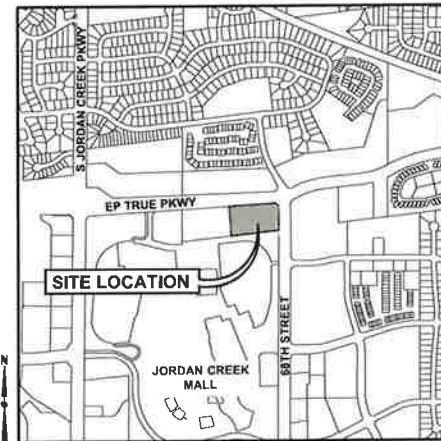
ALL COLOR SCHEMES TO MATCH PHASE 1 BUILDINGS

SITE PLAN FOR: JORDAN CREEK POINT - LOT 2

WEST DES MOINES, IOWA

VICINITY MAP

NOT TO SCALE



OWNER/ APPLICANT

JORDAN CREEK POINT, LLC
9500 UNIVERSITY AVE, UNIT 2112
WEST DES MOINES, IA 50266

ENGINEER/ SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410
CONTACT: JOSH TRYGSTAD
EMAIL: JOSHT@CDA-ENG.COM

ARCHITECT

MARTY BARKLEY
ACCURATE COMMERCIAL
9500 UNIVERSITY AVE, UNIT 2112
WEST DES MOINES, IA 50266
(515) 333-5160

SUBMITTAL DATES

FIRST SUBMITTAL: 02/24/2023
SECOND SUBMITTAL: 04/03/2023
THIRD SUBMITTAL: 04/14/2023
FOURTH SUBMITTAL: 04/19/2023

LEGAL DESCRIPTION

LOT 2, JORDAN CREEK POINT PLAT 1, AN OFFICIAL PLAT WITHIN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA, CONTAINING 5.43 ACRES (236,727 SF), SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ZONING

REED'S CROSSING PUD, PARCEL G

EXISTING/ PROPOSED USE

EXISTING: UNDEVELOPED
PROPOSED: COMMERCIAL

DEVELOPMENT SUMMARY

LOT 2:

BUILDING AREA

RETAIL/RESTAURANT: 34,692 SF (2 BUILDINGS TOTAL)

VEHICLE PARKING

COMMERCIAL (1 SPACE/225 SF): 155 SPACES

PROVIDED:

STANDARD: 263 SPACES
ACCESSIBLE: 8 SPACES

BICYCLE PARKING

1 BICYCLE PARKING SPACE / 500 SF OF GROSS LEASABLE AREA

BICYCLE PARKING REQUIRED: 70
BICYCLE PARKING PROVIDED: 70

OPEN SPACE CALCULATION:

TOTAL LOT AREA = 236,727 SF (5.43 AC.)
BUILDING = 34,692 SF
PAVED AREAS = 93,776 SF
SIDEWALK = 9,729 SF
PATIO = 2,809 SF
OTHER = 0 SF
TOTAL IMPERVIOUS = 141,006 SF

OPEN SPACE REQUIRED: = 59,182 SF (25%)
OPEN SPACE PROVIDED: = 95,721 SF (40.4%)

ALL PARKING AREAS SHALL INCLUDE LANDSCAPE AREAS, ISLANDS, SCREENS, ETC., EQUAL TO NOT LESS THAN TEN PERCENT (10%) OF THE TOTAL PAVED AREA AND ASSOCIATED DRIVES. SUCH LANDSCAPED AREA SHALL BE IN ADDITION TO THE OPEN SPACE REQUIREMENTS FOR THE PROJECT AREA. LANDSCAPED ISLANDS WITHIN THE PARKING AREA SHALL HAVE GROUND COVER OF GRASS (I.E., SOD), SHRUBS OR OTHER ACCEPTABLE LIVING PLANT LIFE, UNLESS AN ALTERNATE GROUND COVER IS SPECIFICALLY APPROVED AS PART OF THE SITE PLAN REVIEW BY THE CITY.

PARKING AREA OPEN SPACE REQUIRED = 9,377 SF
PARKING AREA OPEN SPACE PROVIDED = 12,594 SF

REED'S CROSSING PUD SETBACKS

EP TRUE: 30 FT PARKING/ 70 FT BUILDING SETBACK
68TH ST: 30 FT PARKING/ 50 FT BUILDING SETBACK
WEST SIDE YARD: 0 FT SETBACKS
SOUTH: 15 FT PARKING SETBACK/ 50 FT BUILDING SETBACK

DATE OF SURVEY

MAY 6, 2021

BENCHMARKS

STANDARD BENCHMARK #124 @ MEDIAN ON EAST SIDE OF INTERSECTION OF JORDAN CREEK PARKWAY AND MILLS CIVIC PARKWAY
ELEVATION=977.66

STANDARD BENCHMARK #128 @ NORTHWEST CORNER OF E.P. TRUE PARKWAY AND PRAIRIE VIEW DRIVE.
ELEVATION=910.23

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SPRING 2023
ANTICIPATED FINISH DATE = SPRING 2024

PROJECT SITE ADDRESS

BUILDING #1
6880 E.P. TRUE PKWY
WEST DES MOINES, IOWA 50266

BUILDING #2
6840 E.P. TRUE PKWY
WEST DES MOINES, IOWA 50266

INDEX OF SHEETS

| NO. | DESCRIPTION |
|-----------|-----------------------------------|
| CO.0 | COVER SHEET |
| CO.1 | PHASING PLAN |
| C1.1-C1.2 | DIMENSION PLAN |
| C2.1-C2.2 | GRADING PLAN |
| C3.1-C3.2 | UTILITY PLAN |
| C4.1 | EROSION AND SEDIMENT CONTROL PLAN |
| C5.1-C5.8 | DETAILS |
| L1.1-L1.2 | LANDSCAPE PLAN |

GENERAL LEGEND

PROPOSED

| | |
|------------------------------|-------------|
| PROJECT BOUNDARY | --- |
| LOT LINE | --- |
| SECTION LINE | --- |
| CENTER LINE | --- |
| RIGHT OF WAY | ---R/W--- |
| PERMANENT EASEMENT | ---P/E--- |
| TEMPORARY EASEMENT | --- |
| TYPE SW-501 STORM INTAKE | |
| TYPE SW-503 STORM INTAKE | |
| TYPE SW-505 STORM INTAKE | |
| TYPE SW-506 STORM INTAKE | |
| TYPE SW-513 STORM INTAKE | |
| TYPE SW-401 STORM MANHOLE | |
| TYPE SW-402 STORM MANHOLE | |
| TYPE SW-301 SANITARY MANHOLE | |
| STORM/SANITARY CLEANOUT | |
| WATER VALVE | |
| FIRE HYDRANT ASSEMBLY | |
| SIGN | |
| DETECTABLE WARNING PANEL | |
| STORM SEWER STRUCTURE NO. | |
| STORM SEWER PIPE NO. | |
| SANITARY SEWER STRUCTURE NO. | |
| SANITARY SEWER PIPE NO. | |
| SANITARY SEWER WITH SIZE | ---S---S--- |
| SANITARY SERVICE | ---S--- |
| STORM SEWER | ---ST--- |
| STORM SERVICE | ---ST--- |
| WATERMAIN WITH SIZE | ---B"W--- |
| WATER SERVICE | ---W--- |
| SAWCUT (FULL DEPTH) | ---/---/--- |
| SILT FENCE | ---/---/--- |

EXISTING

| | |
|---------------------------|-------------|
| SANITARY MANHOLE | |
| WATER VALVE BOX | |
| FIRE HYDRANT | |
| WATER CURB STOP | |
| WELL | |
| STORM SEWER MANHOLE | |
| STORM SEWER SINGLE INTAKE | |
| STORM SEWER DOUBLE INTAKE | |
| FLARED END SECTION | |
| ROOF DRAIN/ DOWNSPOUT | |
| DECIDUOUS TREE | |
| CONIFEROUS TREE | |
| DECIDUOUS SHRUB | |
| CONIFEROUS SHRUB | |
| ELECTRIC POWER POLE | |
| GUY ANCHOR | |
| STREET LIGHT | |
| POWER POLE W/ TRANSFORMER | |
| UTILITY POLE W/ LIGHT | |
| ELECTRIC BOX | |
| ELECTRIC TRANSFORMER | |
| ELECTRIC MANHOLE OR VAULT | |
| TRAFFIC SIGN | |
| TELEPHONE JUNCTION BOX | |
| TELEPHONE MANHOLE/VAULT | |
| TELEPHONE POLE | |
| GAS VALVE BOX | |
| CABLE TV JUNCTION BOX | |
| CABLE TV MANHOLE/VAULT | |
| MAIL BOX | |
| BENCHMARK | |
| SOIL BORING | |
| UNDERGROUND TV CABLE | ---TV--- |
| GAS MAIN | ---G--- |
| FIBER OPTIC | ---FO--- |
| UNDERGROUND TELEPHONE | ---T--- |
| OVERHEAD ELECTRIC | ---OE--- |
| UNDERGROUND ELECTRIC | ---UE--- |
| FIELD TILE | ---FT--- |
| SANITARY SEWER W/ SIZE | ---B"S--- |
| STORM SEWER W/ SIZE | ---S"SCP--- |
| WATER MAIN W/ SIZE | ---B"W--- |



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE, URBANDALE, IA 50322

PH: (515) 369-4400 Fax: (515) 369-4410

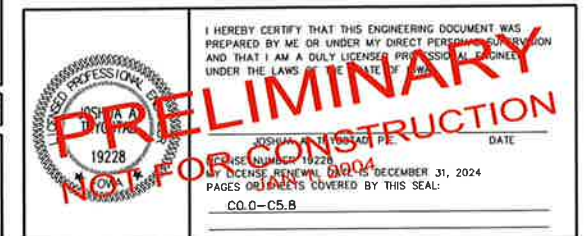
PROJECT NO. 2212.853

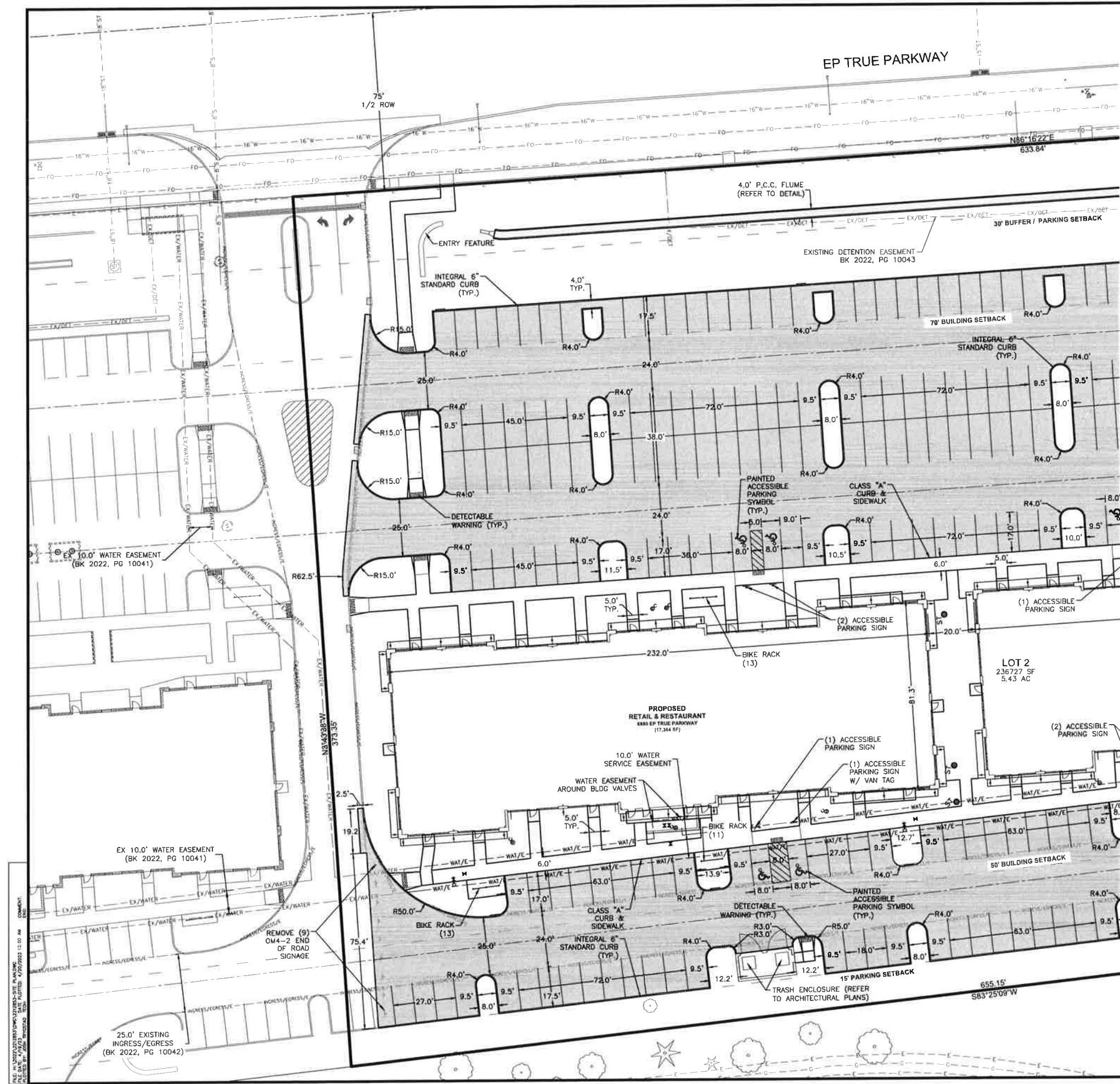
SITE IS SUBJECT TO AN EXECUTED STORM WATER MANAGEMENT FACILITY MAINTENANCE COVENANT AND PERMANENT EASEMENT AGREEMENT. REFER TO BOOK 2022, PAGE 10043.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF WEST DES MOINES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, THE 1993 DES MOINES METRO DESIGN STANDARDS WITH THE WEST DES MOINES ADDENDA, THE WEST DES MOINES WATER WORKS GENERAL SUPPLEMENTAL SPECIFICATIONS FOR WATER INFRASTRUCTURE, THE PUBLIC RIGHTS-OF WAY ACCESSIBILITY GUIDELINES (PROWAG), AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.





GENERAL NOTES

1. THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS AND THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS, NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
6. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE, OR PROPERTY LINE UNLESS OTHERWISE NOTED.
7. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS, STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
18. NO OUTDOOR DUMPSTERS ARE PROPOSED AT THIS TIME.
19. TEMPORARY TURNAROUNDS SHALL BE ABLE TO HANDLE A MINIMUM VEHICLE OF 75,000 POUNDS.
20. SIDEWALK DESIGN AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE PUBLIC ROW ACCESSIBILITY GUIDELINES (PROWAG).
21. CHAPTER 12 OF THE 2013 EDITION OF THE STATEWIDE URBAN DESIGN STANDARDS (SUDAS) IS THE MOST CURRENT DESIGN REFERENCE MATERIAL AVAILABLE FOR CONSTRUCTION OF PUBLIC SIDEWALKS IN IOWA.
22. ALL EASEMENTS ARE EXISTING UNLESS OTHERWISE NOTED.

DEMOLITION NOTES

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE ARCHITECT
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
4. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
5. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
6. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
7. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
8. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

PAVEMENT THICKNESS

- | | |
|---------------------------------|-----------|
| 1. SIDEWALKS (PUBLIC / PRIVATE) | 4" P.C.C. |
| 2. SIDEWALK RAMPS | 6" P.C.C. |
| 3. LIGHT-DUTY PAVEMENT | 6" P.C.C. |
| 4. HEAVY-DUTY PAVEMENT | 7" P.C.C. |
| 5. SIDEWALKS IN DRIVEWAYS | 7" P.C.C. |
| 6. DUMPSTER PADS | 8" P.C.C. |
| 7. TIE-IN PAVING WITHIN R.O.W. | 9" P.C.C. |

| | | | | | |
|------------------|------------|------------|------------|------------|------------|
| DATE | 04/19/2023 | 04/19/2023 | 04/19/2023 | 04/19/2023 | 04/19/2023 |
| REVISIONS | | | | | |
| FOURTH SUBMITTAL | | | | | |
| THIRD SUBMITTAL | | | | | |
| SECOND SUBMITTAL | | | | | |
| FIRST SUBMITTAL | | | | | |

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

TECH: _____

ENGINEER: _____

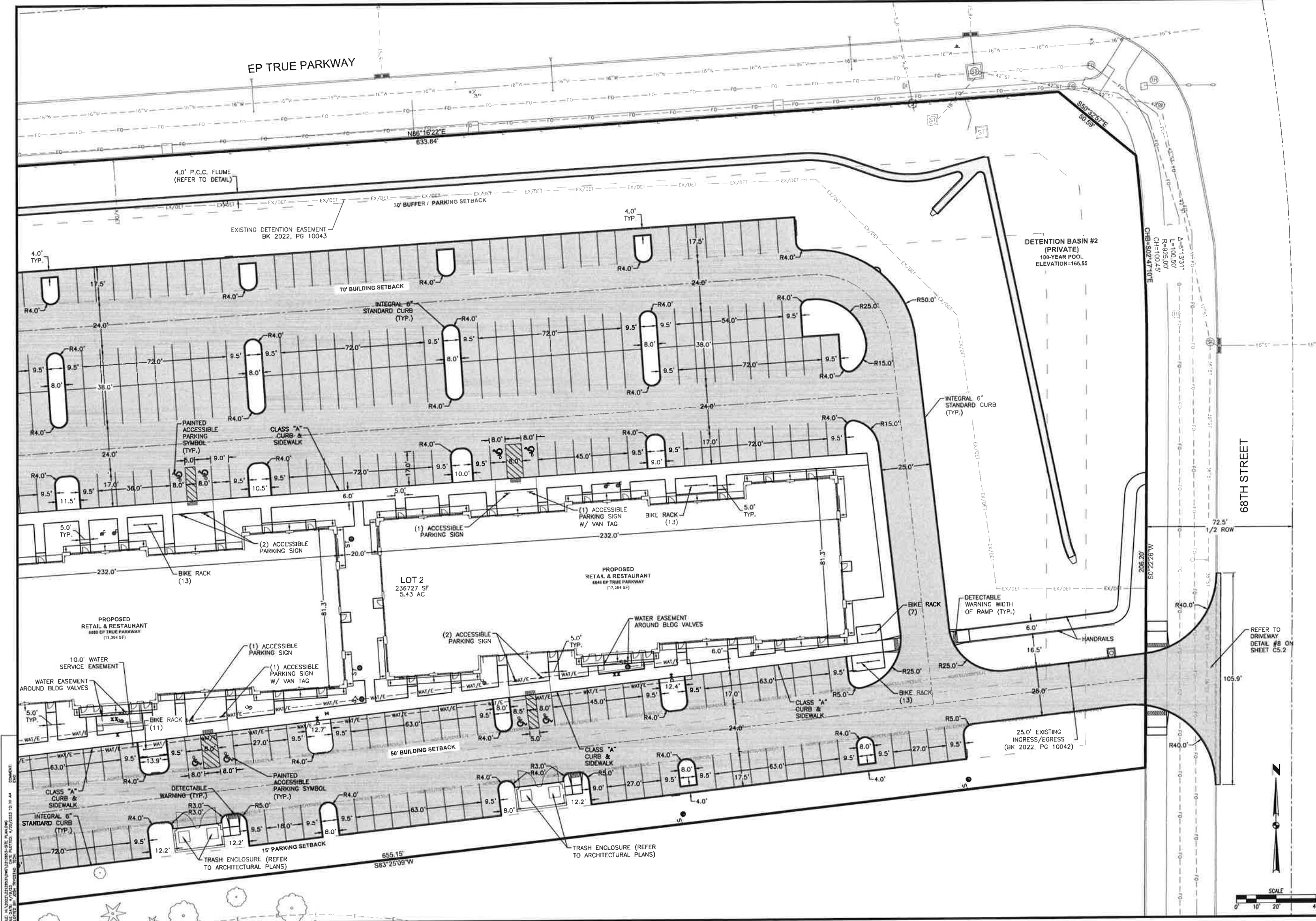
CIVIL DESIGN ADVANTAGE

JORDAN CREEK POINT - LOT 2

DIMENSION PLAN

C1.1

2212.853



| DATE | REVISIONS |
|------------|------------------|
| 04/19/2023 | FOURTH SUBMITTAL |
| 04/14/2023 | THIRD SUBMITTAL |
| 04/03/2023 | SECOND SUBMITTAL |
| 02/24/2023 | FIRST SUBMITTAL |

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



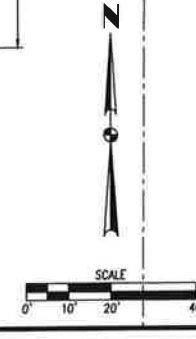
CIVIL DESIGN ADVANTAGE ENGINEER
 WEST DES MOINES, IOWA

JORDAN CREEK POINT - LOT 2
DIMENSION PLAN

C1.2
 2212.853

TECH:

ENGINEER:





| REVISIONS | DATE |
|------------------|------------|
| FOURTH SUBMITTAL | 04/19/2023 |
| THIRD SUBMITTAL | 04/14/2023 |
| SECOND SUBMITTAL | 04/03/2023 |
| FIRST SUBMITTAL | 02/24/2023 |

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400



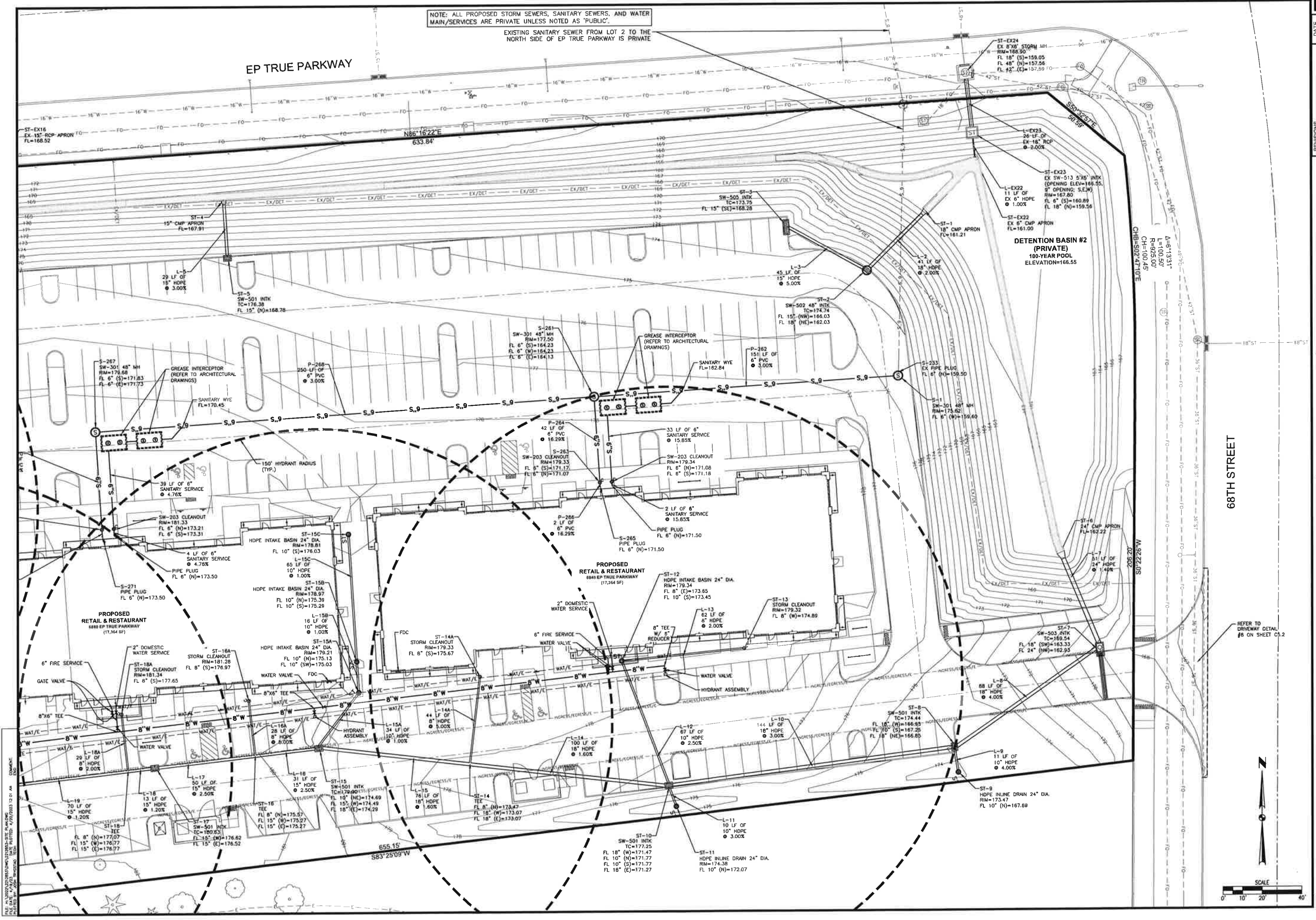
CIVIL DESIGN ADVANTAGE
ENGINEER
WEST DES MOINES, IOWA

JORDAN CREEK POINT - LOT 2
GRADING PLAN

C2.2
2212.853



NOTE: ALL PROPOSED STORM SEWERS, SANITARY SEWERS, AND WATER MAIN/SERVICES ARE PRIVATE UNLESS NOTED AS 'PUBLIC'.
EXISTING SANITARY SEWER FROM LOT 2 TO THE NORTH SIDE OF EP TRUE PARKWAY IS PRIVATE.



| DATE | REVISIONS |
|------------|------------------|
| 04/19/2023 | FOURTH SUBMITTAL |
| 04/14/2023 | THIRD SUBMITTAL |
| 04/03/2023 | SECOND SUBMITTAL |
| 02/24/2023 | FIRST SUBMITTAL |

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400



WEST DES MOINES, IOWA
ENGINEER:

JORDAN CREEK POINT - LOT 2

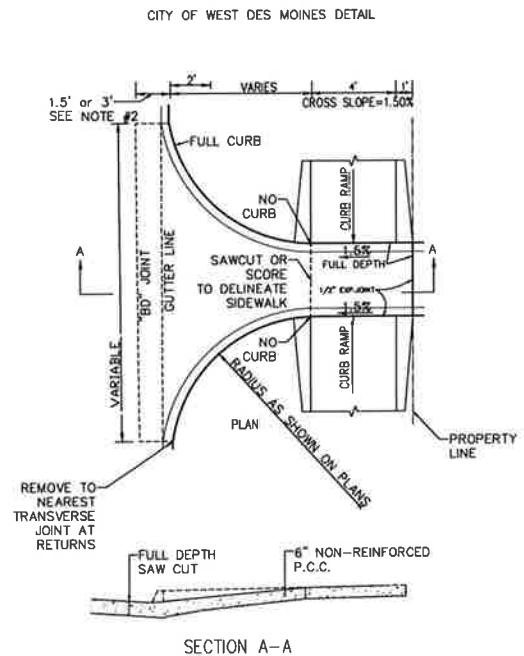
UTILITY PLAN

C3.2
2212.853

68TH STREET

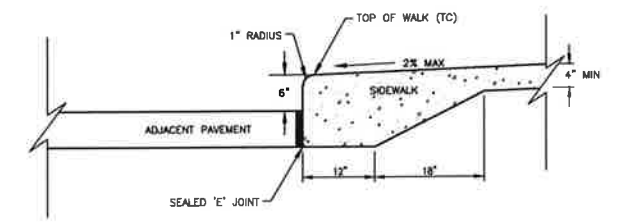


REFER TO DRIVEWAY DETAIL #6 ON SHEET C5.2

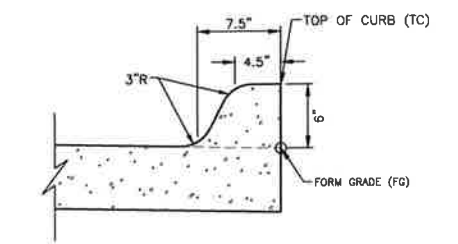


NOTES:
 1. BEFORE THE CONCRETE IS PLACED, THE SAW CUT JOINTS SHALL BE COMPLETELY CLEANED OF ALL LOOSE CONCRETE OR FOREIGN MATERIAL.
 2. SAW CUT AND REMOVE EXISTING CONCRETE PAVEMENT A WIDTH OF 3" WHEN EXISTING JOINT IS 3" FROM BACK OF CURB.
 3. SAW CUT PAVEMENT JOINTS IN GENERAL CONFORMANCE WITH PORTLAND CEMENT CONCRETE INTERSECTION DETAILS.

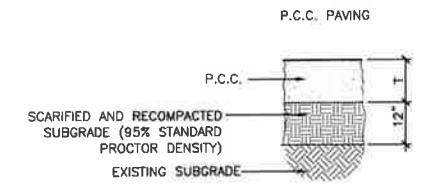
8 DRIVEWAY DETAIL
NOT TO SCALE



4 CLASS 'A' INTEGRAL CURB AND SIDEWALK W/ SPOT ELEVATION REFERENCE
NOT TO SCALE



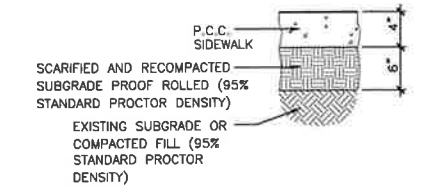
5 6\"/> STANDARD CURB W/ SPOT ELEVATION REFERENCE
NOT TO SCALE



| THICKNESS 'T' | |
|---------------|--------|
| PAVING TYPE | P.C.C. |
| LIGHT DUTY | 6" |
| HEAVY DUTY | 7" |
| PUBLIC | 9" |

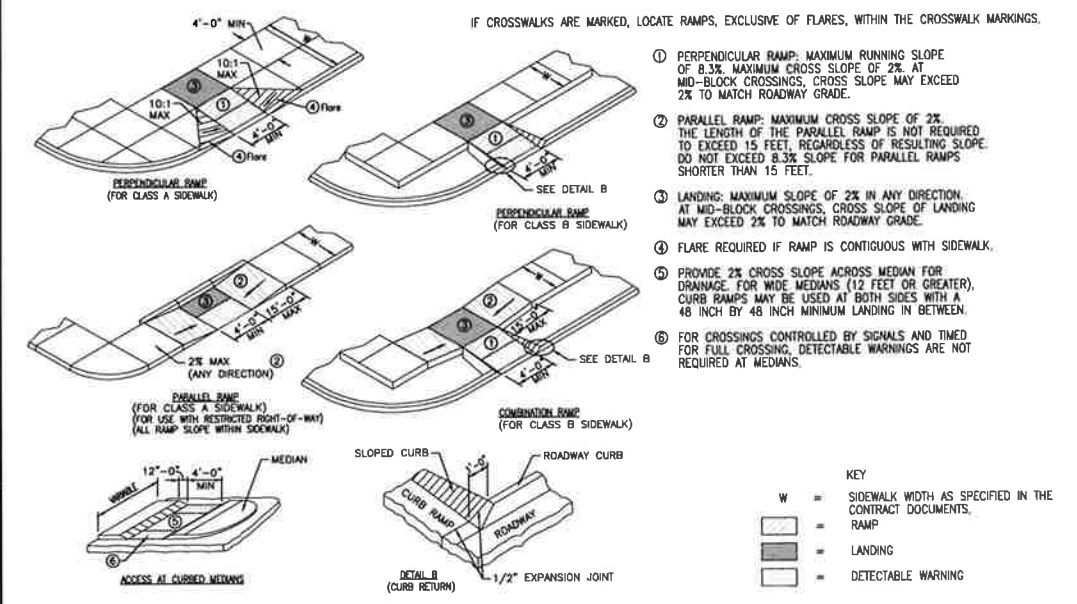
NOTE:
 1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.

6 P.C.C. PAVING
NOT TO SCALE



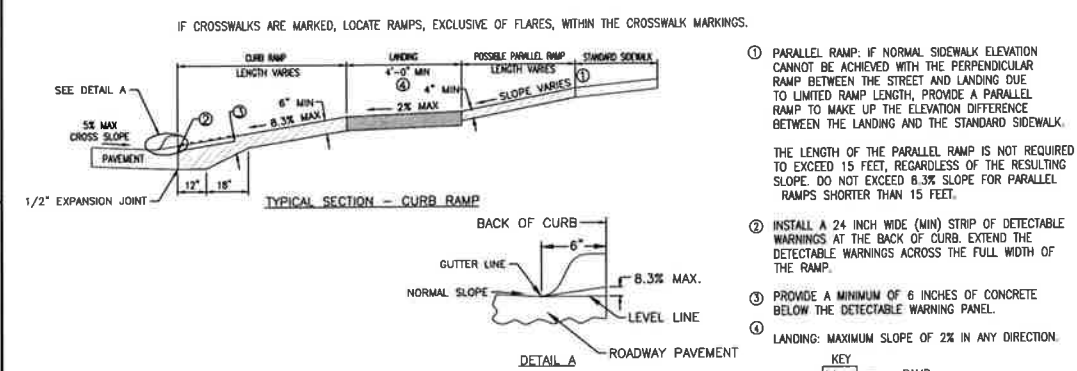
NOTE:
 1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING.

7 P.C.C. SIDEWALK
NOT TO SCALE



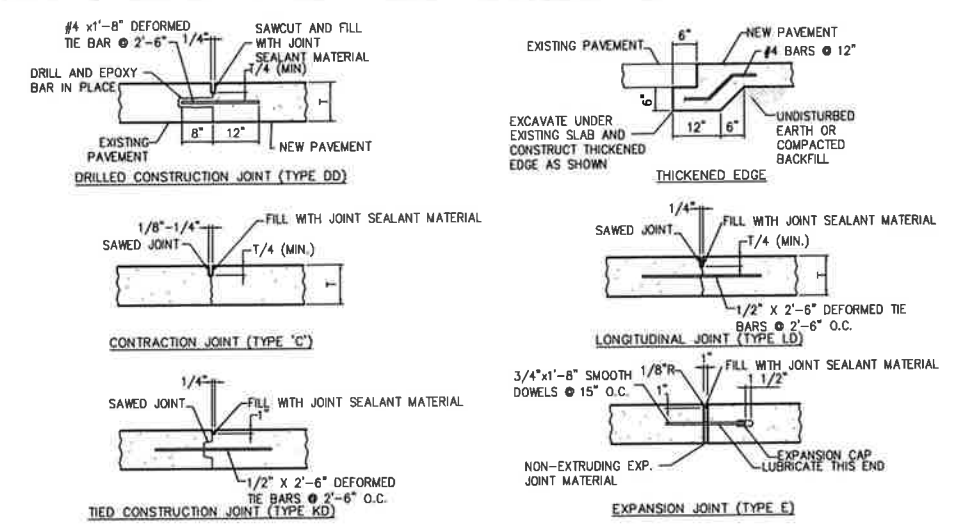
CURB RAMPS OUTSIDE OF INTERSECTION RADIUS

1 CURB RAMPS OUTSIDE OF INTERSECTION
NOT TO SCALE

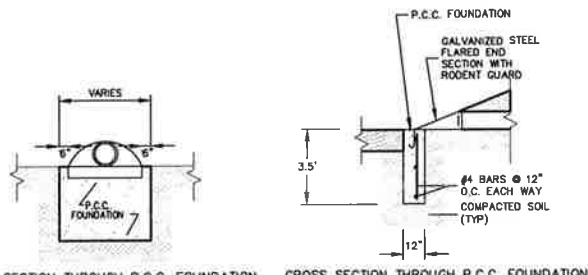


CURB RAMPS - GENERAL SECTION

2 CURB RAMPS - GENERAL SECTION
NOT TO SCALE

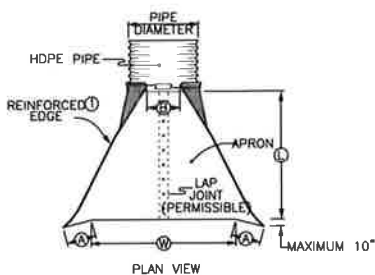


3 PAVEMENT JOINTING
NOT TO SCALE

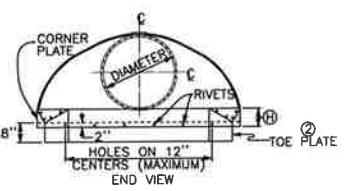


CROSS SECTION THROUGH P.C.C. FOUNDATION CROSS SECTION THROUGH P.C.C. FOUNDATION

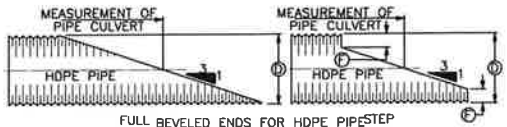
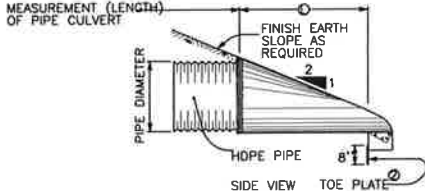
4 METAL FLARED END SECTION FOOTING
NOT TO SCALE



| PIPE DIM. | A | B | H | L | W |
|-----------|-----|-----|-----|-----|------|
| 15" | 6" | 8" | 6" | 26" | 30" |
| 18" | 7" | 9" | 6" | 31" | 36" |
| 21" | 8" | 11" | 6" | 36" | 42" |
| 24" | 9" | 12" | 6" | 42" | 48" |
| 30" | 12" | 15" | 7" | 52" | 60" |
| 36" | 14" | 18" | 9" | 63" | 72" |
| 42" | 16" | 21" | 10" | 73" | 84" |
| 48" | 18" | 27" | 12" | 84" | 90" |
| 54" | 18" | 30" | 12" | 84" | 102" |
| 60" | 18" | 33" | 12" | 87" | 114" |
| 66" | 18" | 36" | 12" | 87" | 120" |
| 72" | 18" | 39" | 12" | 87" | 126" |
| 78" | 18" | 42" | 12" | 87" | 132" |
| 84" | 18" | 45" | 12" | 87" | 138" |
| 90" | 24" | 37" | 11" | 87" | 144" |
| 96" | 25" | 35" | 12" | 87" | 150" |

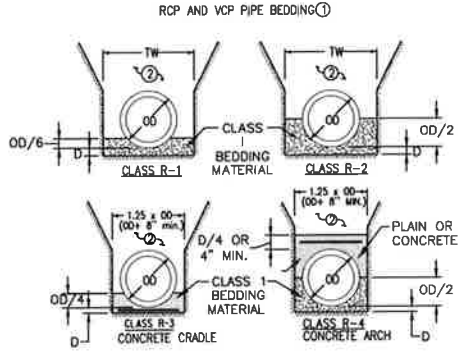


| BEVEL | ① | ② |
|-------|-----|-----|
| 54" | 3" | 3" |
| 60" | 6" | 6" |
| 66" | 9" | 9" |
| 72" | 12" | 12" |
| 78" | 15" | 15" |
| 84" | 18" | 18" |
| 90" | 21" | 21" |
| 96" | 24" | 24" |



5 CORRUGATED METAL PIPE APRON
NOT TO SCALE

KEY
 OD = OUTSIDE DIAMETER OF PIPE
 OS = OUTSIDE SPAN OF PIPE
 TW = TRENCH WIDTH AT TOP OF PIPE:
 MIN. = OD+18 INCHES
 MAX. = 1.25XOD+12 INCHES OR
 54 INCHES (WHICHEVER IS GREATER)
 D = DEPTH OF BEDDING MATERIAL BELOW PIPE:
 OD/8 OR OS/8, OR 4 INCHES
 (WHICHEVER IS GREATER)



CLASS III RCP

| Pipe Diameter (inches) | Class R-1 Bedding | Class R-2 Bedding | Class R-3 & R-4 Bedding |
|------------------------|-------------------|-------------------|-------------------------|
| 12 | 7' | 10' | 15' |
| 15 | 8' | 10' | 15' |
| 18 | 8' | 11' | 16' |
| 21 | 8' | 11' | 16' |
| 24 | 8' | 12' | 17' |
| 27 | 10' | 15' | 20' |
| 30 | 11' | 15' | 20' |
| 33 | 11' | 15' | 20' |
| 36 | 11' | 15' | 20' |
| 42 | 11' | 15' | 20' |
| 48 | 11' | 15' | 20' |
| 54 | 11' | 15' | 20' |
| 60 | 11' | 15' | 20' |
| 66 | 11' | 15' | 20' |
| 72 | 11' | 15' | 20' |

ALLOWABLE BURY DEPTH CLASS IV RCP

| Pipe Diameter (inches) | Class R-1 Bedding | Class R-2 Bedding | Class R-3 & R-4 Bedding |
|------------------------|-------------------|-------------------|-------------------------|
| 12 | 12' | 15' | 23' |
| 15 | 12' | 16' | 23' |
| 18 | 13' | 16' | 23' |
| 21 | 13' | 16' | 23' |
| 24 | 16' | 17' | 23' |
| 27 | 19' | 20' | 23' |
| 30 | 19' | 20' | 23' |
| 33 | 19' | 20' | 23' |
| 36 | 19' | 20' | 23' |
| 42 | 18' | 27' | 23' |
| 48 | 18' | 26' | 23' |
| 54 | 18' | 25' | 23' |
| 60 | 18' | 25' | 23' |
| 66 | 18' | 25' | 23' |
| 72 | 18' | 24' | 23' |

EXTRA STRENGTH VCP

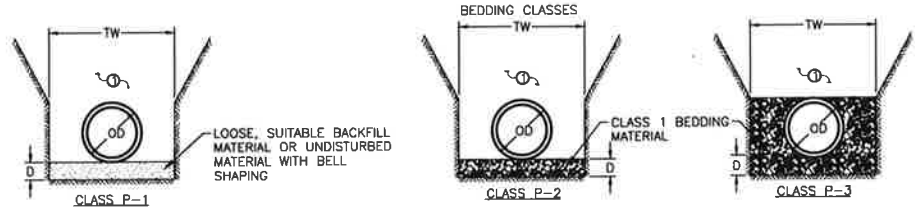
| Pipe Diameter (inches) | Class R-1 Bedding | Class R-2 Bedding | Class R-3 & R-4 Bedding |
|------------------------|-------------------|-------------------|-------------------------|
| 6 | 25' | 30' | 30' |
| 8 | 20' | 26' | 30' |
| 10 | 18' | 23' | 30' |
| 12 | 16' | 20' | 30' |
| 15 | 15' | 19' | 30' |
| 18 | 14' | 18' | 30' |
| 21 | 15' | 22' | 30' |
| 24 | 18' | 26' | 30' |
| 27 | 20' | 30' | 30' |
| 30 | 19' | 29' | 30' |
| 33 | 20' | 30' | 30' |
| 36 | 20' | 30' | 30' |
| 39 | 18' | 29' | 30' |
| 42 | 18' | 28' | 30' |

CLASS V RCP

| Pipe Diameter (inches) | Class R-1 Bedding | Class R-2 Bedding | Class R-3 & R-4 Bedding |
|------------------------|-------------------|-------------------|-------------------------|
| 12 | 18' | 23' | 35' |
| 15 | 19' | 24' | 35' |
| 18 | 19' | 23' | 35' |
| 21 | 25' | 40' | 40' |
| 24 | 34' | 40' | 40' |
| 27 | 40' | 40' | 40' |
| 30 | 40' | 40' | 40' |
| 33 | 40' | 40' | 40' |
| 36 | 40' | 40' | 40' |
| 42 | 37' | 40' | 40' |
| 48 | 35' | 40' | 40' |
| 54 | 33' | 40' | 40' |
| 60 | 32' | 40' | 40' |
| 66 | 31' | 40' | 40' |
| 72 | 31' | 40' | 40' |

- ① USE BEDDING CLASS R-1 OR R-2 UNLESS SPECIFIED OTHERWISE.
- ② PLACE REMAINDER OF BEDDING AND BACKFILL MATERIALS AS SPECIFIED IN THE CONTRACT DOCUMENTS.

1 RIGID GRAVITY PIPE TRENCH BEDDING
NOT TO SCALE



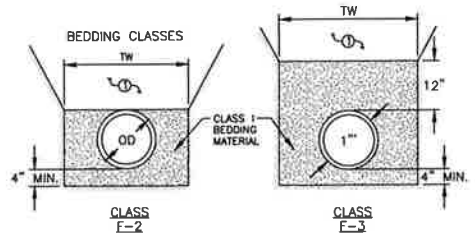
ALLOWABLE BURY DEPTH

| PIPE DIAMETER | CLASS P-1 BEDDING | CLASS P-2 BEDDING | CLASS P-3 BEDDING |
|---------------|-------------------|-------------------|-------------------|
| 4" | 40' | 40' | 40' |
| 6" | 40' | 40' | 40' |
| 8" | 40' | 40' | 40' |
| 10" | 36' | 40' | 40' |
| 12" | 31' | 40' | 40' |
| 14" | 26' | 40' | 40' |
| 16" | 23' | 37' | 40' |
| 18" | 20' | 34' | 40' |
| 20" | 18' | 32' | 40' |
| 24" | 16' | 29' | 38' |
| 30" | 13' | 23' | 31' |
| 36" | 13' | 22' | 30' |
| 42" | 13' | 21' | 29' |
| 48" | 13' | 19' | 27' |
| 54" | 13' | 19' | 27' |

- ① PLACE REMAINDER OF BEDDING AND BACKFILL MATERIAL AS SPECIFIED IN THE CONTRACT DOCUMENTS

KEY
 OD = OUTSIDE DIAMETER OF PIPE
 TW = TRENCH WIDTH AT TOP OF PIPE:
 MIN. = OD+18 INCHES OR 1.25XOD+12 INCHES
 (WHICHEVER IS GREATER)
 D = DEPTH OF BEDDING MATERIAL BELOW PIPE:
 MIN. = OD/8 OR 4 INCHES
 (WHICHEVER IS GREATER)

2 PRESSURE PIPE BEDDING
NOT TO SCALE

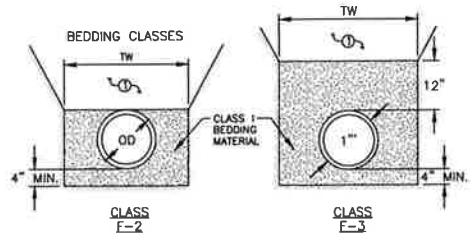


ALLOWABLE BEDDING CLASSES

| PIPE MATERIAL | STORM SEWER | SANITARY SEWER |
|---------------|-------------|----------------|
| HDPE | F-2, F-3 | NOT ALLOWED |
| PVC | NOT ALLOWED | F-3 |

KEY
 OD = OUTSIDE DIAMETER OF PIPE
 TW = TRENCH WIDTH AT TOP OF PIPE:
 MIN. = OD+18 INCHES OR 1.25XOD+12 INCHES
 (WHICHEVER IS GREATER)

3 FLEXIBLE GRAVITY PIPE TRENCH BEDDING
NOT TO SCALE



- ① PLACE REMAINDER OF BEDDING AND BACKFILL MATERIALS AS SPECIFIED IN THE CONTRACT DOCUMENTS.

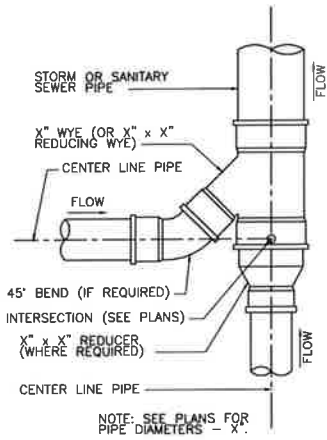
REVISIONS

| DATE | DESCRIPTION |
|------------|------------------|
| 04/19/2023 | FOURTH SUBMITTAL |
| 04/17/2023 | THIRD SUBMITTAL |
| 04/03/2023 | SECOND SUBMITTAL |
| 02/24/2023 | FIRST SUBMITTAL |

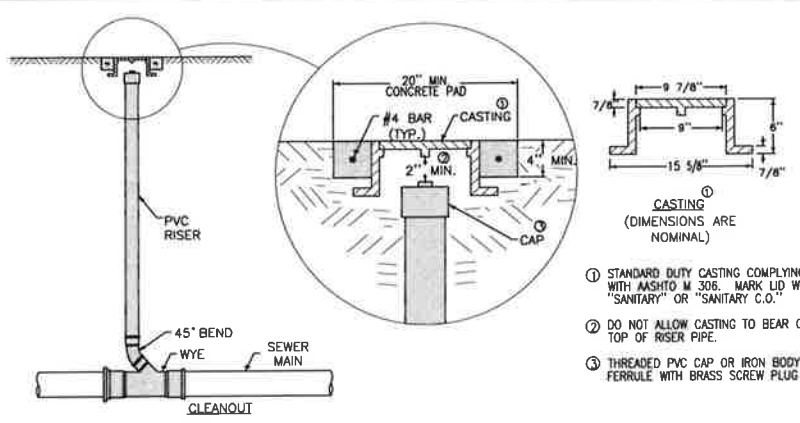
4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



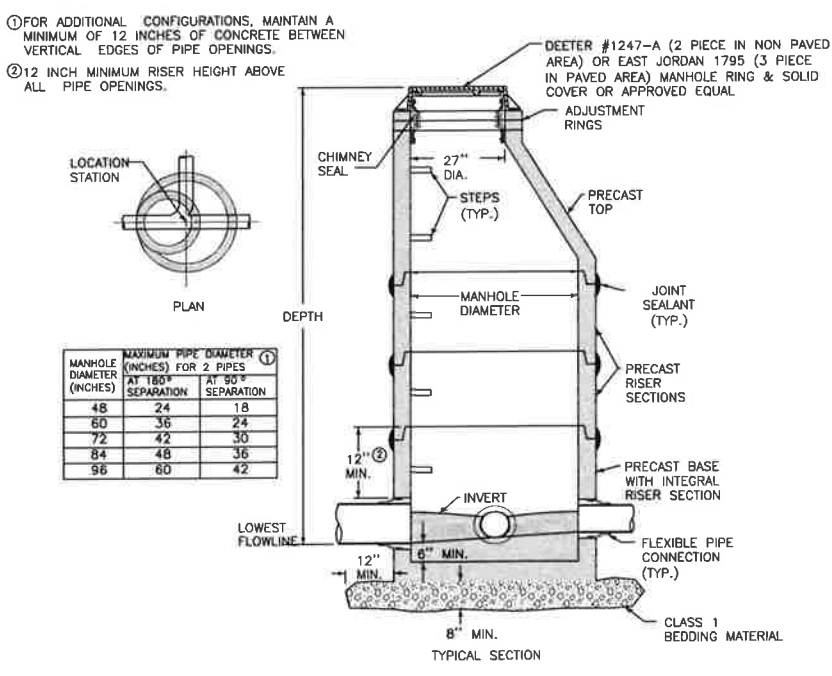
JORDAN CREEK POINT - LOT 2
DETAILS



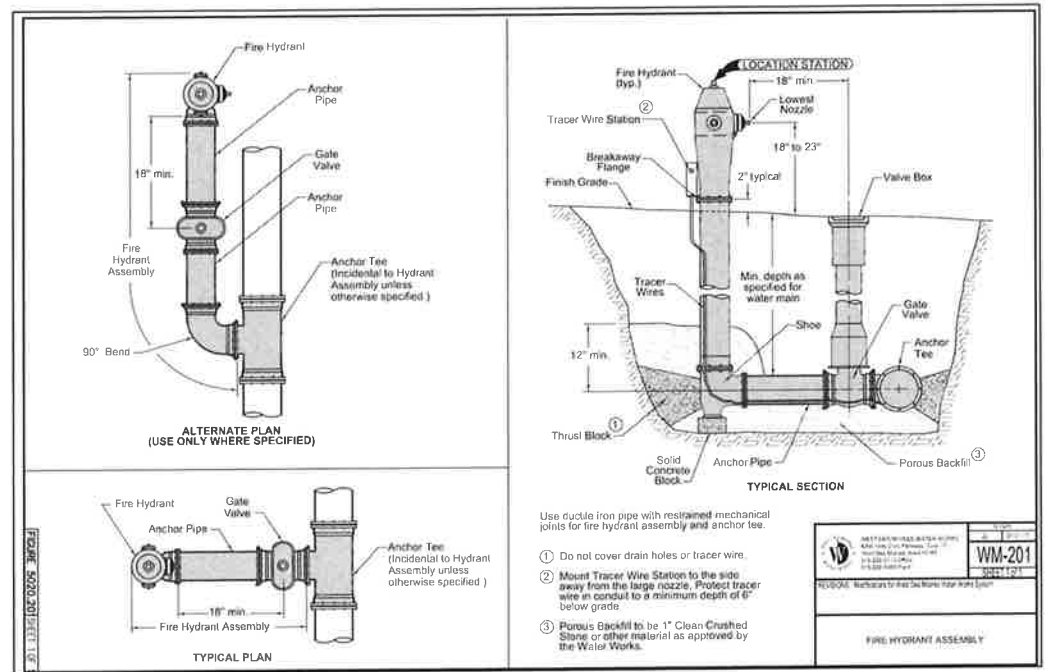
3 WYE CONNECTION
NOT TO SCALE



4 SW-203 SANITARY CLEANOUT
NOT TO SCALE



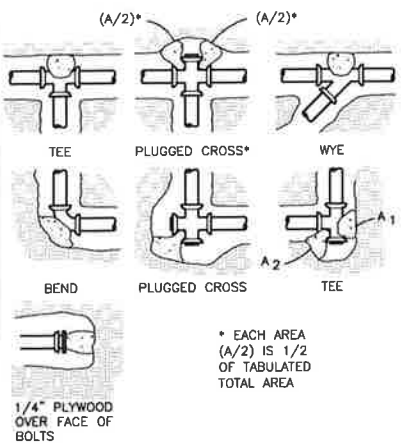
5 SW-301 CIRCULAR SANITARY SEWER MANHOLE
NOT TO SCALE



1 WDMWW FIRE HYDRANT ASSEMBLY
NOT TO SCALE

BEARING AREA OF THRUST BLOCKS IN SQ. FT. (HORIZONTAL BENDS)

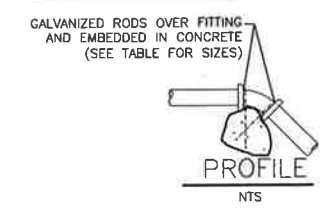
| FITTING SIZE | TEE, WYE, 90° BEND, PLUG, OR CAP | | | TEE PLUGGED ON RUN | | | BEND ANGLE | | |
|--------------|----------------------------------|------|------|--------------------|------|----|------------|---------|---------|
| | A1 | A2 | A3 | A1 | A2 | A3 | 45° | 22 1/2° | 11 1/4° |
| 4 | 1.4 | 1.9 | 2.5 | 1.9 | 1.4 | — | — | — | — |
| 6 | 2.8 | 4.0 | 5.7 | 4.0 | 2.1 | — | 1.4 | — | — |
| 8 | 5.1 | 7.1 | 10.1 | 7.2 | 3.9 | — | 2.0 | 1.4 | — |
| 10 | 7.9 | 11.2 | 15.7 | 11.2 | 6.1 | — | 3.2 | 1.6 | — |
| 12 | 11.3 | 16.0 | 22.7 | 16.0 | 8.8 | — | 4.5 | 2.3 | — |
| 14 | 15.3 | 21.7 | 30.7 | 21.2 | 11.9 | — | 6.1 | 3.1 | — |
| 16 | 20.0 | 28.4 | 40.0 | 28.4 | 15.5 | — | 8.0 | 4.0 | — |
| 18 | 25.3 | 36.0 | 50.7 | 36.0 | 19.5 | — | 10.1 | 5.1 | — |
| 20 | 31.3 | 44.4 | 62.7 | 44.4 | 24.1 | — | 12.5 | 6.3 | — |
| 24 | 45.3 | 64.0 | 90.1 | 64.0 | 34.9 | — | 18.1 | 9.1 | — |



VOLUME OF THRUST BLOCK IN CU. YDS. (VERTICAL BENDS)

| FITTING SIZE | BEND ANGLE | | |
|--------------|------------|---------|---------|
| | 45° | 22 1/2° | 11 1/4° |
| 4 | 1.5 | 0.6 | 0.3 |
| 6 | 3.6 | 1.4 | 0.6 |
| 8 | 5.3 | 2.0 | 0.8 |
| 10 | 8.0 | 3.1 | 1.2 |
| 12 | 11.3 | 4.3 | 1.7 |
| 14 | 15.3 | 5.7 | 2.4 |
| 16 | 19.7 | 7.5 | 3.1 |

| FITTING SIZE | ROD SIZE | EMBEDMENT |
|--------------|----------|-----------|
| 12" AND LESS | #8 | 30" |
| 14" - 16" | #8 | 36" |



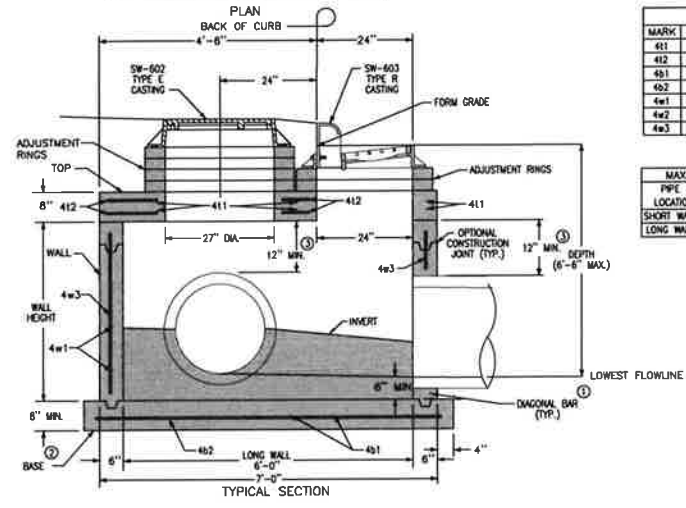
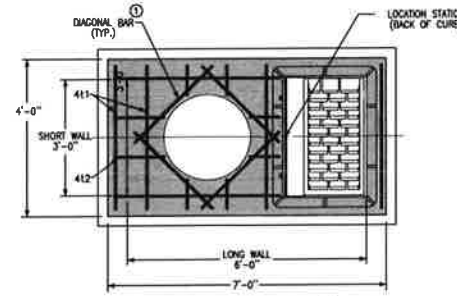
2 THRUST BLOCKING
NOT TO SCALE

- NOTES:
- KEEP CONCRETE CLEAR OF JOINT AND JOINT ACCESSORIES.
 - CONCRETE THRUST BLOCKING SHALL BE POURED AGAINST UNDISTURBED EARTH.
 - REQUIRED VOLUMES OR BEARING AREAS AT FITTINGS SHALL BE AS SPECIFIED, AND ADJUSTED AS NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING PRESSURE(S).
 - THRUST BLOCK VOLUMES FOR VERTICAL BENDS HAVING UPWARD RESULTANT THRUSTS ARE BASED ON TEST PRESSURE OF 200 PSIG AND THE WEIGHT OF CONCRETE = 4050 LBS/CU YD. TO COMPUTE VOLUMES FOR DIFFERENT TEST PRESSURES, USE THE FOLLOWING EQUATION: VOLUME = (TEST PRESS./200) x (TABLE VALUE)
 - BEARING AREAS FOR HORIZONTAL BEND THRUST BLOCKS ARE BASED ON TEST PRESSURE OF 200 PSIG AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 LBS/SQ FT. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURES AND SOIL BEARING PRESSURE, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESS./200) x (2000/SOIL BEARING PRESSURE) x (TABLE VALUE).
 - THRUST BLOCKS FOR VERTICAL BENDS HAVING DOWNWARD RESULTANT THRUSTS SHALL BE THE SAME AS FOR HORIZONTAL BENDS.
 - BEARING AREAS, VOLUMES, AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER THIS STANDARD.
 - BEARING AREA OF THRUST BLOCK SHALL NOT BE LESS THAN 1.0 SQ FT.
 - VERTICAL BENDS THAT REQUIRE A THRUST BLOCK VOLUME EXCEEDING 5 CUBIC YARDS REQUIRE SPECIAL BLOCKING. SEE PLANS.

FILE: H:\2024\2183\DWG\2183-SW-301-PLAN.rvt
 PROJECT: SW-301-PLAN.rvt
 DATE: 04/19/2023 10:02 AM
 COMMENTS:

| | | | | | | | |
|------|------------|--|------------------|--|---|-------|--|
| DATE | 04/19/2023 | ES&A CIVIL DESIGN ADVANTAGE WEST DES MOINES, IOWA | REVISIONS | | 4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400 | TECH: | |
| | | | FOURTH SUBMITTAL | | | | |
| | | | THIRD SUBMITTAL | | | | |
| | | | SECOND SUBMITTAL | | | | |
| | | | FIRST SUBMITTAL | | | | |

C5.4
2212.853



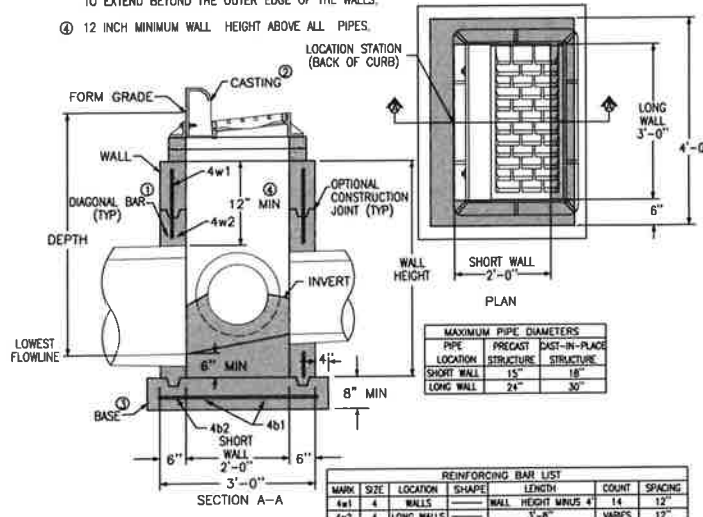
- INSTALL FOUR #4 DIAGONAL BARS AT MANHOLE OPENING AND AT ALL PIPE OPENINGS. REFER TO SW-514 FOR BOXOUT DETAILS.
- INSTALL FOUR #4 DIAGONAL BARS AT MANHOLE OPENING AND AT ALL PIPE OPENINGS.
- CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
- 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.

| MARK | SIZE | LOCATION | SHAPE | COUNT | LENGTH | SPACING |
|------|------|-------------|-------|--------|----------------------|---------|
| 411 | 4 | TOP | --- | 12 | 3'-8" | 12" |
| 412 | 4 | TOP | --- | 8 | 4'-2" | 12" |
| 4b1 | 4 | BASE | --- | 7 | 4'-2" | 13" |
| 4b2 | 4 | BASE | --- | 5 | 7'-2" | 10" |
| 4w1 | 4 | SHORT WALLS | --- | VARIES | 3'-8" | 12" |
| 4w2 | 4 | LONG WALLS | --- | VARIES | 6'-8" | 12" |
| 4w3 | 4 | WALLS | --- | 18 | WALL HEIGHT MINUS 4" | 13" |

| PIPE LOCATION | PRECAST STRUCTURE | CAST-IN-PLACE STRUCTURE |
|---------------|-------------------|-------------------------|
| SHORT WALL | 24" | 30" |
| LONG WALL | 30" | 36" |

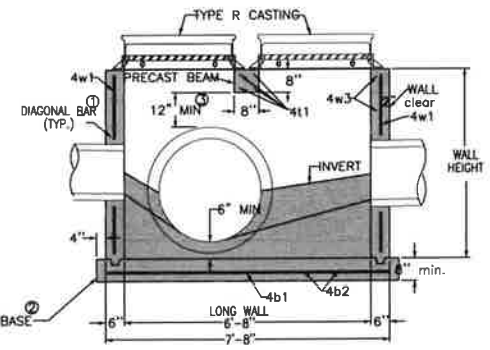
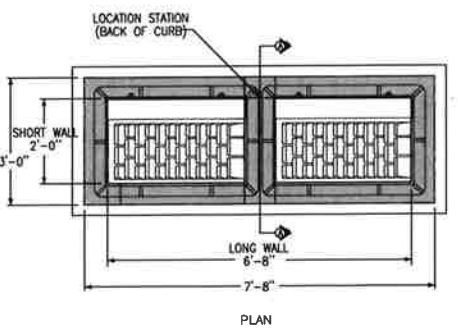
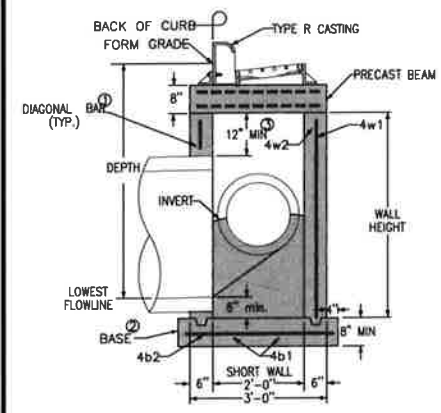
3 SW-503 SINGLE GRATE INTAKE WITH MANHOLE
NOT TO SCALE

- REFER TO SW-514 FOR BOXOUT DETAILS
- INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS.
 - SW-603 TYPE R UNLESS TYPE Q IS SPECIFIED IN THE CONTRACT DOCUMENTS.
 - CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
 - 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.



| MARK | SIZE | LOCATION | SHAPE | COUNT | LENGTH | SPACING |
|------|------|-------------|-------|--------|--------|---------|
| 4w1 | 4 | WALLS | --- | 14 | 12" | 12" |
| 4w2 | 4 | LONG WALLS | --- | VARIES | 12" | 12" |
| 4w3 | 4 | SHORT WALLS | --- | VARIES | 12" | 12" |
| 4b1 | 4 | BASE | --- | 4 | 10" | 10" |
| 4b2 | 4 | BASE | --- | 5 | 10" | 10" |

1 SW-501 SINGLE GRATE INTAKE
NOT TO SCALE



- INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS.
- CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
- 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.

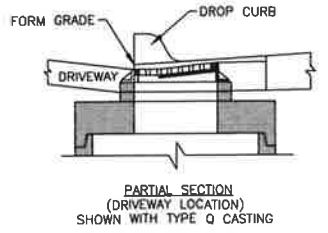
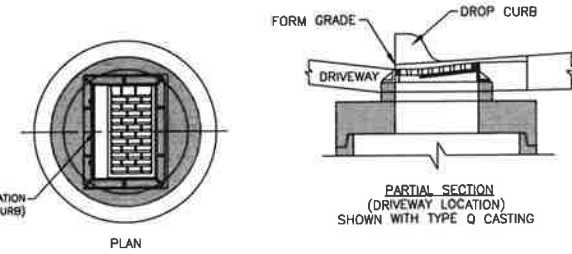
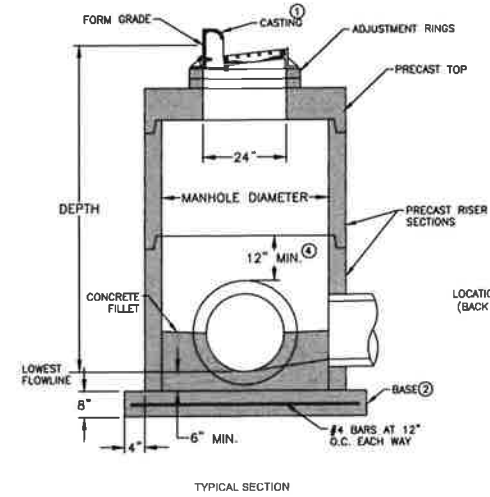
| MARK | SIZE | LOCATION | SHAPE | COUNT | LENGTH | SPACING |
|------|------|-------------|-------|--------|----------------------|---------|
| 411 | 4 | BEAM | --- | 4 | 2'-8" | 4" |
| 4b1 | 4 | BASE | --- | 4 | 7'-10" | 10" |
| 4b2 | 4 | BASE | --- | 8 | 3'-2" | 12" |
| 4w1 | 4 | WALLS | --- | 20 | WALL HEIGHT MINUS 4" | 12" |
| 4w2 | 4 | LONG WALLS | --- | VARIES | 7'-4" | 12" |
| 4w3 | 4 | SHORT WALLS | --- | VARIES | 2'-8" | 12" |

| PIPE LOCATION | PRECAST STRUCTURE | CAST-IN-PLACE STRUCTURE |
|---------------|-------------------|-------------------------|
| SHORT WALL | 15" | 18" |
| LONG WALL | 60" | 66" |

4 SW-505 DOUBLE GRATE INTAKE
NOT TO SCALE

| MANHOLE DIAMETER (INCHES) | MAXIMUM PIPE DIAMETER (INCHES) FOR 2 PIPES | |
|---------------------------|--|-------------------|
| | AT 180° SEPARATION | AT 90° SEPARATION |
| 48 | 24 | 18 |
| 60 | 36 | 24 |
| 72 | 42 | 30 |
| 84 | 48 | 36 |
| 96 | 60 | 42 |

- REFER TO SW-514 FOR BOXOUT DETAILS.
- SW-603 TYPE R UNLESS TYPE Q IS SPECIFIED IN THE CONTRACT DOCUMENTS.
 - CAST-IN-PLACE BASE SHOWN. BASE MAY BE SQUARE. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
 - FOR ADDITIONAL CONFIGURATIONS, MAINTAIN A MINIMUM OF 12 INCHES OF CONCRETE BETWEEN VERTICAL EDGES OF PIPE OPENINGS.
 - 12 INCH MINIMUM RISER HEIGHT ABOVE ALL PIPES.



2 SW-502 CIRCULAR SINGLE GRATE INTAKE
NOT TO SCALE

FILE: J:\2023\23100\DWG\23100-121.DWG DATE: 11/14/2023 10:25 AM
 DRAWN BY: JMM CHECKED BY: JMM
 PROJECT: JORDAN CREEK POINT - LOT 2

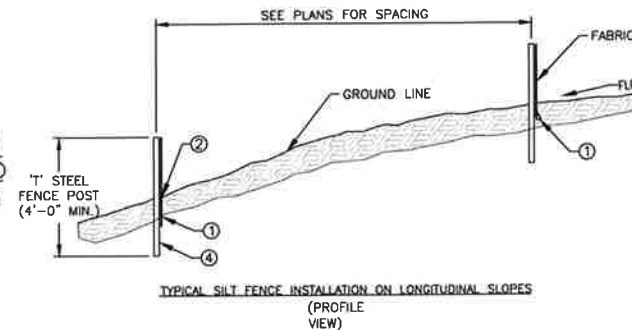
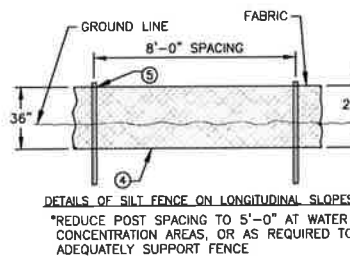
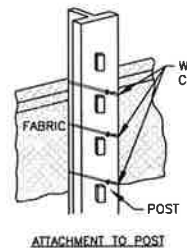
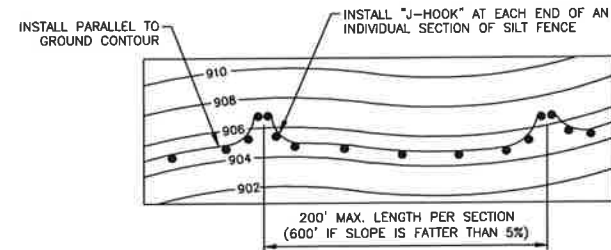
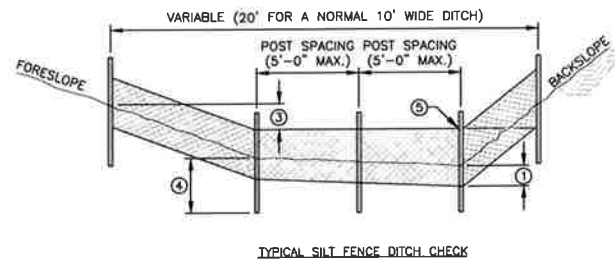
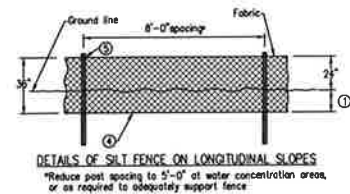
| DATE | REVISIONS |
|------------|------------------|
| 04/19/2023 | FOURTH SUBMITTAL |
| 04/12/2023 | THIRD SUBMITTAL |
| 04/03/2023 | SECOND SUBMITTAL |
| 02/24/2023 | FIRST SUBMITTAL |

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

TECH: _____
ENGINEER: _____

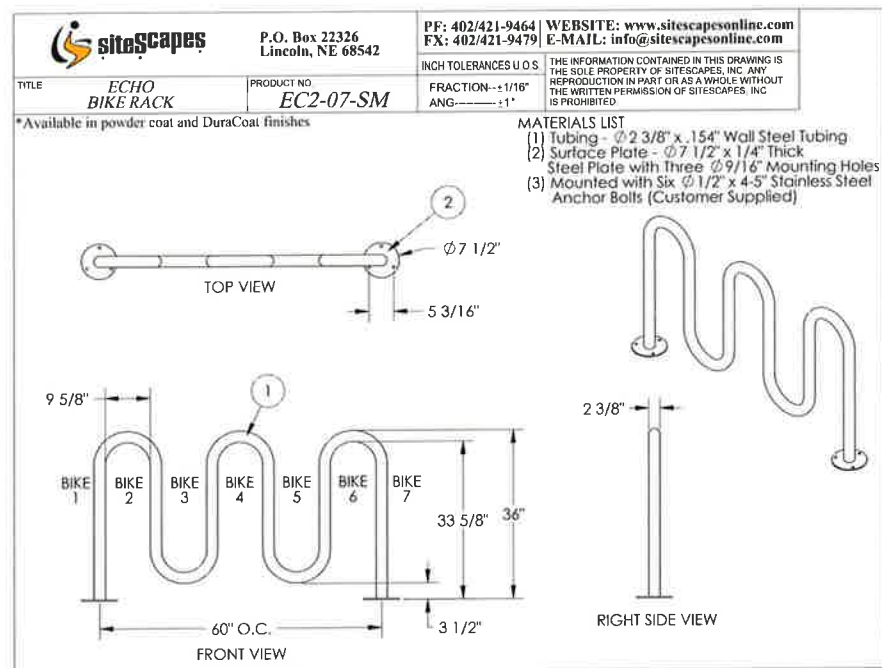
JORDAN CREEK POINT - LOT 2
DETAILS

C5.5
22.12.853

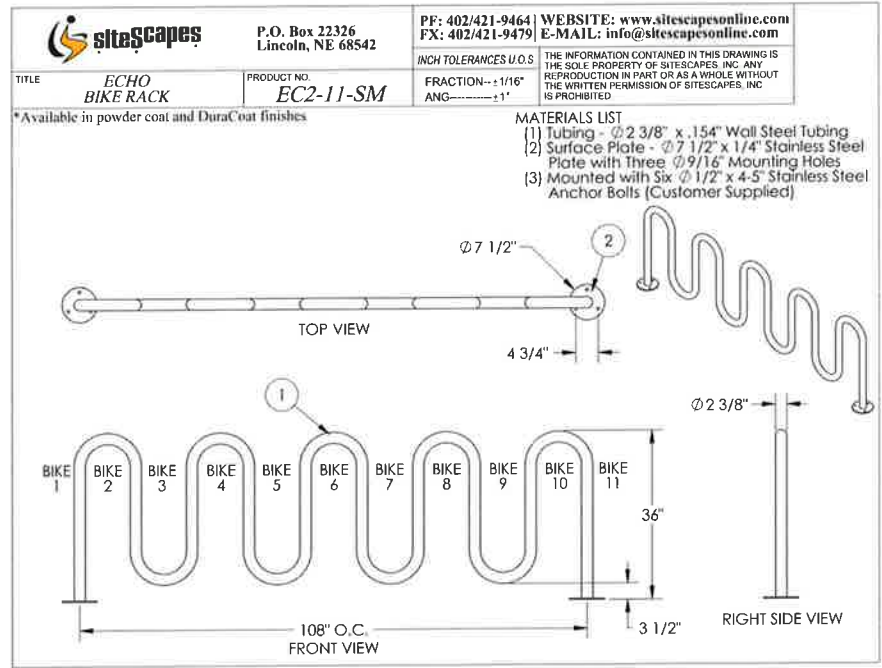


- GENERAL NOTES:**
 INSTALL SILT FENCE ACCORDING TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS AND AT LOCATIONS SHOWN IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE JURISDICTIONAL ENGINEER.
- INSERT 1/2 IN. OF FABRIC A MINIMUM OF 6 IN. DEEP (FABRIC MAY BE FOLDED BELOW THE GROUND LINE)
 - COMPACT GROUND BY DRIVING ALONG EACH SIDE OF THE SILT FENCE AS REQUIRED TO SUFFICIENTLY SECURE THE FABRIC IN THE TRENCH TO PREVENT PULLOUT AND FLOW UNDER THE FENCE.
 - IN DITCHES, EXTEND SILT FENCE UP SIDE SLOPE SO THE BOTTOM ELEVATION AT THE END OF THE FENCE IS A MINIMUM OF 2 IN. HIGHER THAN THE TOP OF THE FENCE IN THE LOW POINT OF THE DITCH.
 - STEEL POSTS TO BE EMBEDDED 20 IN. UNLESS OTHERWISE ALLOWED BY THE JURISDICTIONAL ENGINEER.
 - SECURE TOP OF ENGINEERING FABRIC TO STEEL POSTS USING WIRE OR PLASTIC TIES (50 LB. MIN.). SEE DETAILS OF "ATTACHMENT TO POSTS."

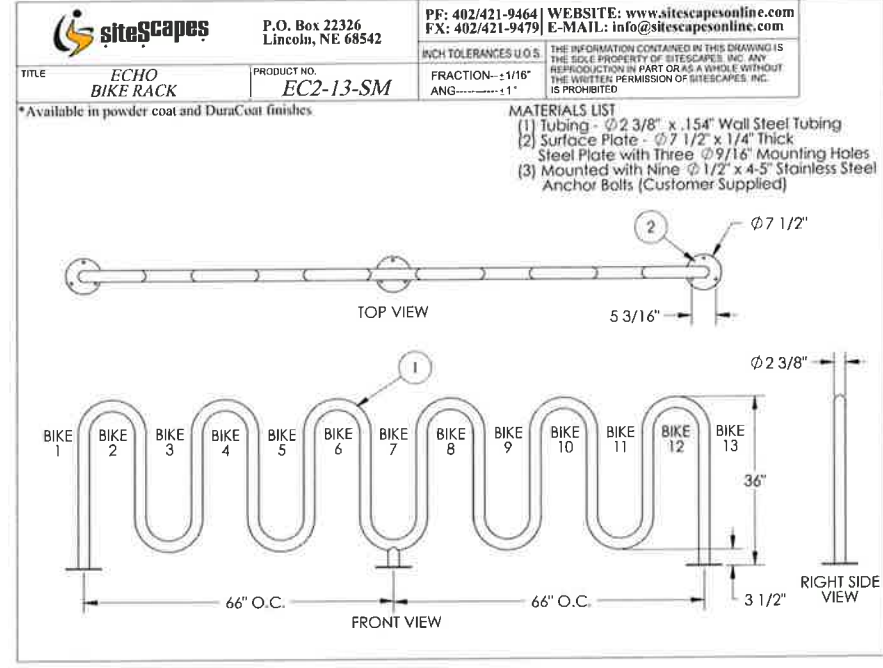
1 SILT FENCE
 NOT TO SCALE



4 BIKE RACK (7 BIKE CAPACITY)
 NOT TO SCALE



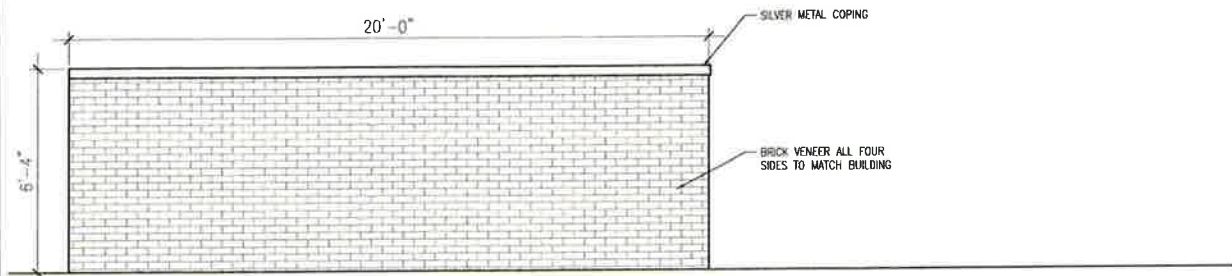
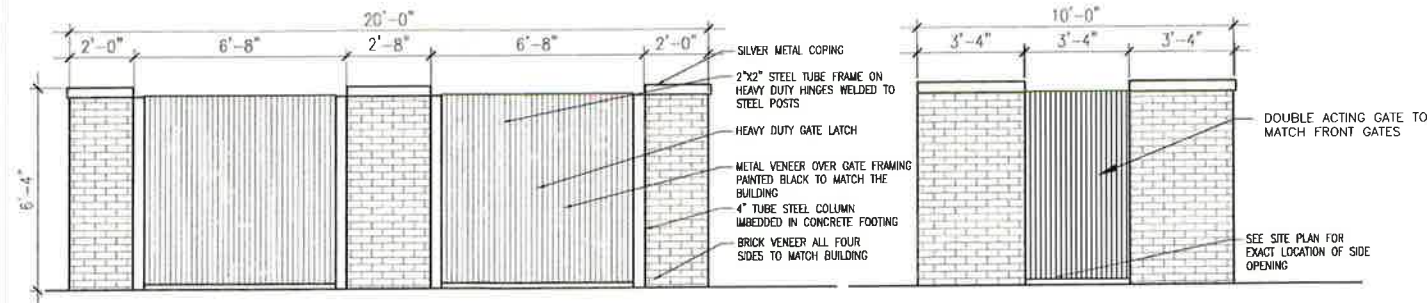
3 BIKE RACK (11 BIKE CAPACITY)
 NOT TO SCALE



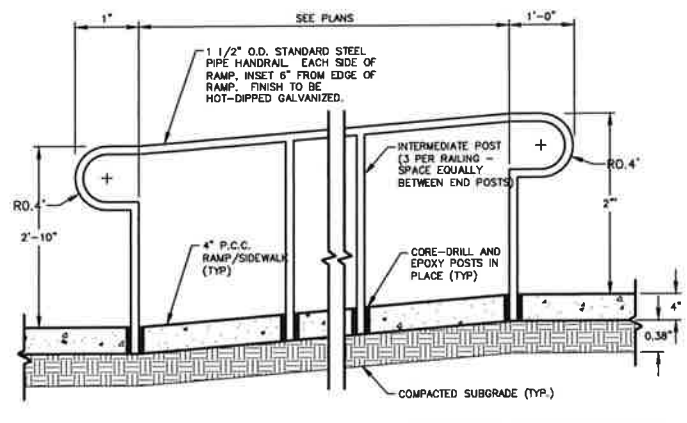
2 BIKE RACK (13 BIKE CAPACITY)
 NOT TO SCALE

1. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES.
 FILE DATE: 04/19/2023. DATE PLOTTED: 02/20/2023 10:02 AM. COMPANY: SITASCAPES, INC. PROJECT: JORDAN CREEK POINT - LOT 2. DRAWING NO.: 2212.853. SHEET NO.: 022942023.

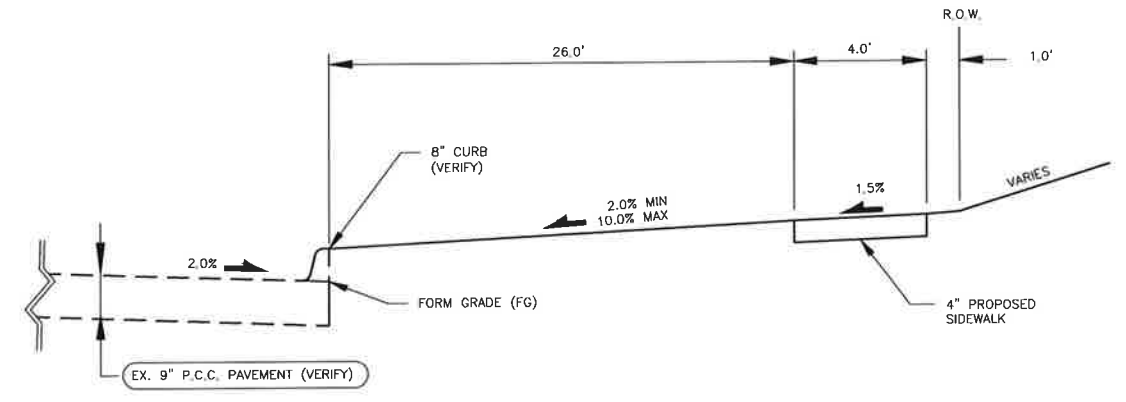
| | |
|-----------------------------------|--|
| DATE | 04/19/2023 |
| REVISIONS | FOURTH SUBMITTAL THIRD SUBMITTAL SECOND SUBMITTAL FIRST SUBMITTAL |
| TECH: | 4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400 |
| ENGINEER: | CIVIL DESIGN ADVANTAGE |
| WEST DES MOINES, IOWA | |
| JORDAN CREEK POINT - LOT 2 | |
| DETAILS | |
| C5.7 | |
| 2212.853 | |



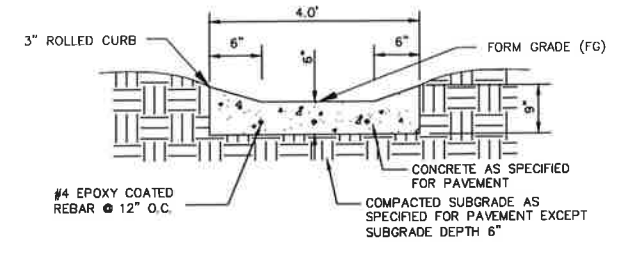
3 TRASH ENCLOSURE
NOT TO SCALE



4 HANDRAILS
NOT TO SCALE



1 TYPICAL SECTION - EP TRUE PARKWAY - PUBLIC SIDEWALK
NOT TO SCALE



2 P.C.C. FLUME
NOT TO SCALE

FILE # 20240118/URBANDALE DRIVE - SITE PLAN/IMP. 12.02.24
 PROJECT # 20240118/URBANDALE DRIVE - SITE PLAN/IMP. 12.02.24
 DRAWN BY: J. W. HARRIS
 CHECKED BY: J. W. HARRIS
 DATE: 12/02/24

| | |
|-----------|------------------|
| DATE | 01/19/2023 |
| REVISIONS | FOURTH SUBMITTAL |
| | THIRD SUBMITTAL |
| | SECOND SUBMITTAL |
| | FIRST SUBMITTAL |
| TECH: | |
| ENGINEER: | |

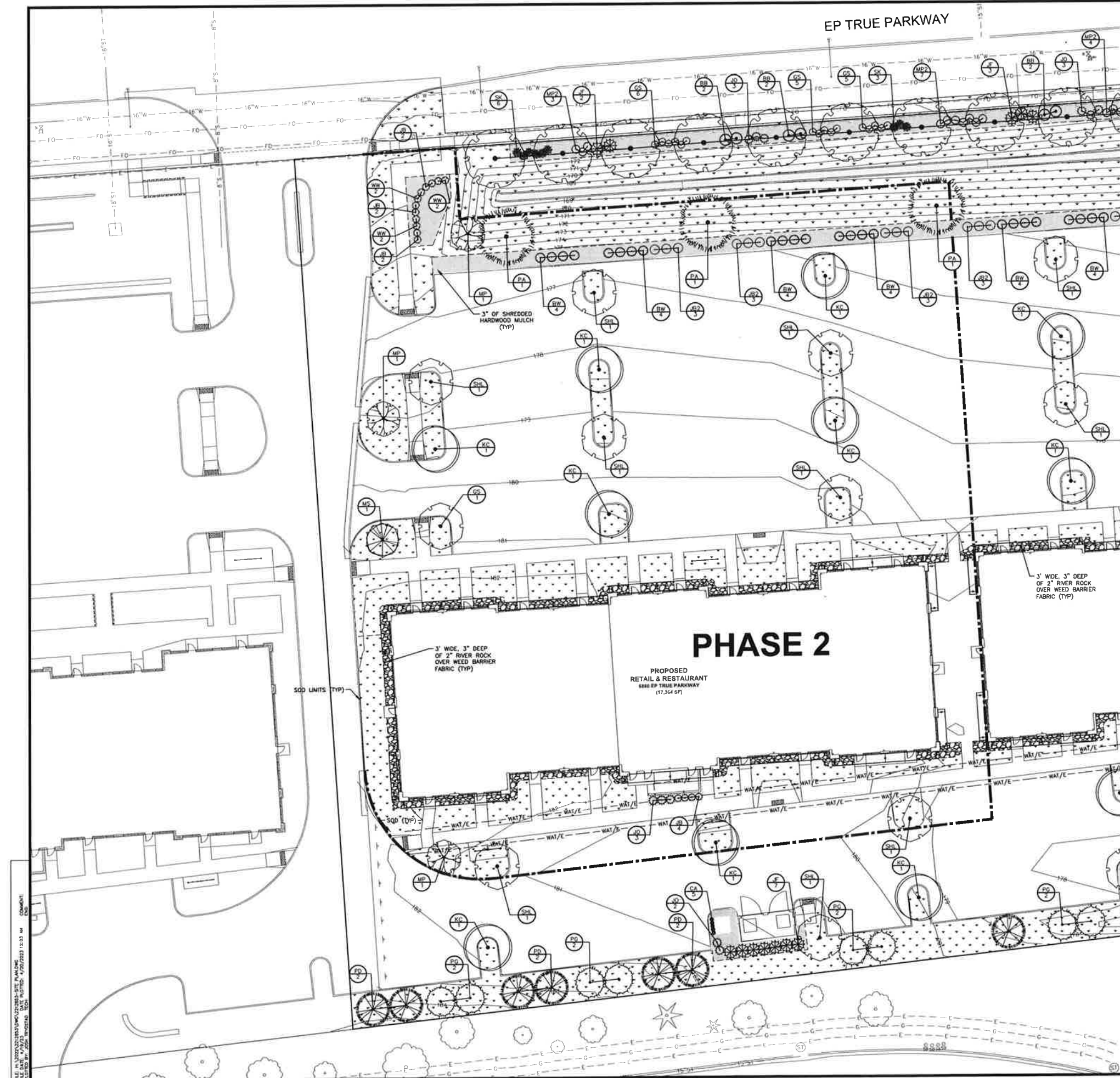
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ESA
CIVIL DESIGN ADVANTAGE

JORDAN CREEK POINT - LOT 2
DETAILS

WEST DES MOINES, IOWA

C5.8
2212.853



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE 2023 SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF WEST DES MOINES SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. MINERAL MULCH OVER WEED BARRIER SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS.
9. ALL EDGING SHALL BE STEEL.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

LANDSCAPING REQUIREMENTS

OPEN SPACE
 REQUIRED:
 2 TREES / 3 SHRUBS / 3,000 SF REQ. OPEN SPACE W/ 50% OVERSTORY/EVERGREEN
 59,182 SF REQ. OPEN SPACE / 3000 = 19.73 LANDSCAPE UNITS
 X2 TREES = 40 TREES REQUIRED
 X3 SHRUBS = 60 SHRUBS REQUIRED

PROVIDED:
 61 TREES
 73 SHRUBS

PARKING LANDSCAPE
 REQUIRED:
 PARKING LOT ADJ. LANDSCAPE AREAS, PARKING ISLANDS, AND SCREENS TO EQUAL 10% OF TOTAL PAVED AREA
 93,776 SF TOTAL PAVED AREA x 10% = 9,377 SF

PROVIDED:
 TOTAL ISLAND, SCREEN, AND ADJ. LANDSCAPE AREAS = 12,594 SF (13.3%)

TREES REQUIRED PER ISLANDS = 1
 TREES PROVIDED = 36

LANDSCAPE BUFFER
 REQUIRED:
 640 LF ALONG EP TRUE PKWY / 35 = 18.3 LANDSCAPE UNITS
 X6 = 110 SHRUBS
 X1 = 19 OVERSTORY TREES

337 LF ALONG 68TH STREET / 35 = 9.6 LANDSCAPE UNITS
 X6 = 58 SHRUBS
 X1 = 10 OVERSTORY TREES

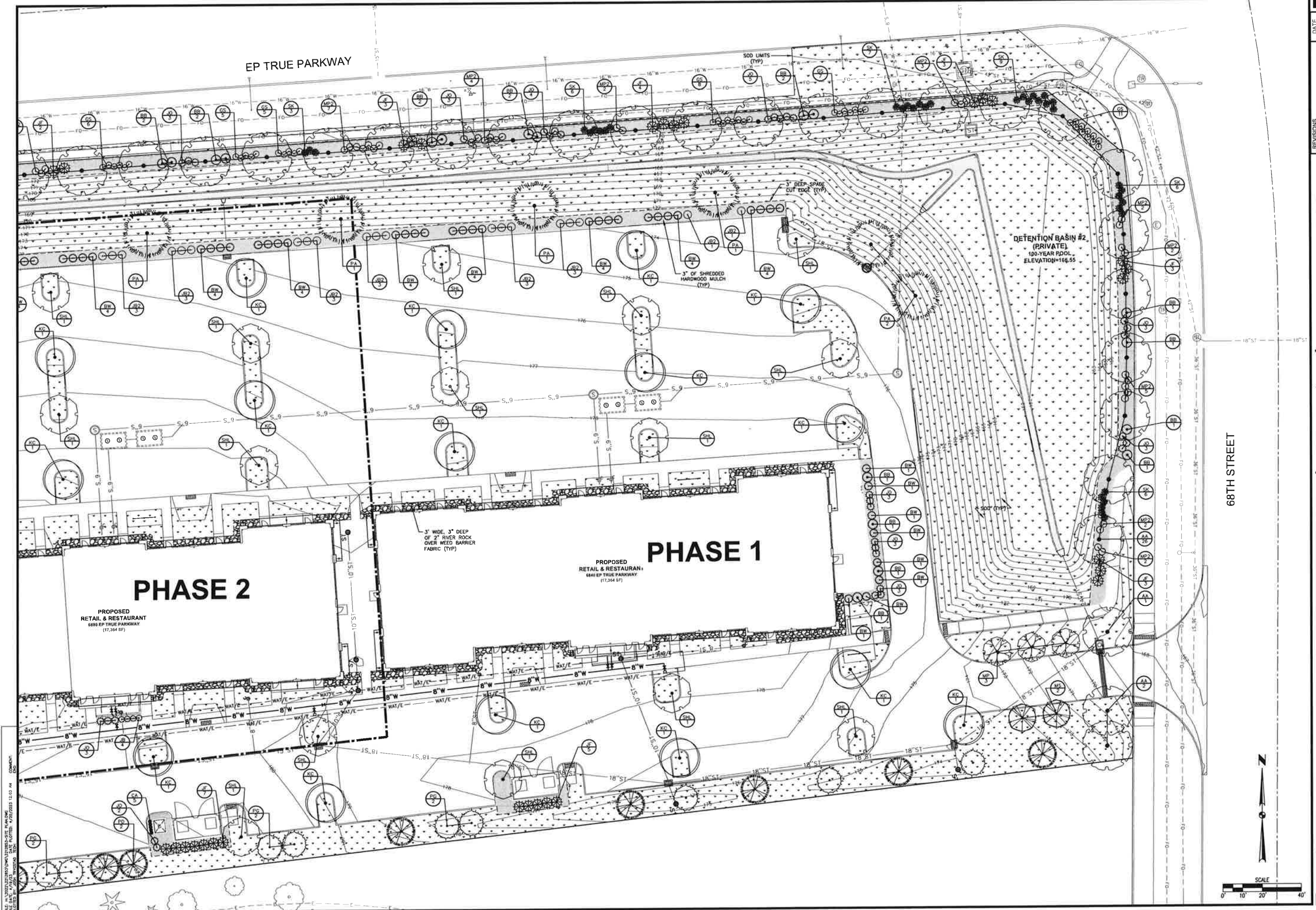
PROVIDED:
 175 SHRUBS
 29 OVERSTORY TREES

PLANT SCHEDULE

| EVERGREEN TREES | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE | CAL |
|-----------------|-----|---------------------------------|---|--------------------|--------|
| PA | 7 | Norway Spruce | Picea abies | B&B, 6' HEIGHT | 6' HEI |
| PD | 11 | Douglas Fir | Pseudotsuga menziesii | B&B, 6' HEIGHT | |
| PG | 11 | Colorado Blue Spruce | Picea pungens 'Glauca' | B&B, 6' HEIGHT | |
| ORIENTAL TREES | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE | CAL |
| MP | 6 | Prairifire Crab Apple | Malus x 'Prairifire' | B&B, 1.5' CALIPER | |
| MS | 3 | Spring Snow Crab Apple | Malus x 'Spring Snow' | B&B, 1.5' CALIPER | |
| OVERSTORY TREES | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE | CAL |
| AA | 29 | Autumn Blaze Red Maple | Acer rubrum 'Autumn Blaze' | B&B, 2" CALIPER | |
| KC | 18 | Kentucky Coffeetree | Gymnocladia dioica | B&B | 2" |
| SHL | 17 | Shademaster Honey Locust | Gleditsia triacanthos inermis 'Shademaster' | B&B, 2" | |
| SHRUBS | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE | CAL |
| BB | 18 | Compact Burning Bush | Euonymus alatus 'Compactus' | 3 GAL | |
| BW | 44 | Wintergreen Boxwood | Buxus microphylla 'Wintergreen' | 15" HEIGHT | |
| GS | 43 | Gold Mound Spirea | Spiraea x bumalda 'Goldmound' | 3 GAL | |
| JB | 10 | Crimson Pygmy Japanese Barberry | Berberis thunbergii 'Crimson Pygmy' | 3 GAL | |
| JB2 | 20 | Blue Star Juniper | Juniperus squamata 'Blue Star' | 24" HEIGHT | |
| JF | 30 | Sea Green Juniper | Juniperus chinensis 'Sea Green' | 24" HEIGHT | |
| JO | 35 | Old Gold Juniper | Juniperus chinensis 'Old Gold' | 3 GAL | |
| MP2 | 32 | Purple Eulalia Grass | Miscanthus sinensis 'Purpureascens' | 3 GAL | |
| SK | 43 | Miss Kim Korean Lilac | Syringa pubescens 'Miss Kim' | 36" HEIGHT | |
| WW | 6 | Spilled Wine Weigela | Weigela florida 'Bakrospliv' | 3 GAL | |
| PERENNIALS | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE | CAL |
| CA | 5 | Feather Reed Grass | Cologramme x Acutiflora | 1 QT. | |



DATE: 04/19/2023, 04/14/2023, 04/03/2023, 02/24/2023
 REVISIONS: FOURTH SUBMITTAL, THIRD SUBMITTAL, SECOND SUBMITTAL, FIRST SUBMITTAL
 4121 NW URBANDALE DRIVE, URBANDALE, IA 50322, PHONE: (515) 369-4400
 TECH: [blank]
 CIVIL DESIGN ADVANTAGE ENGINEER
JORDAN CREEK POINT - LOT 2
LANDSCAPE PLAN
 L1.1
 22.12.853



| REVISIONS | DATE |
|------------------|------------|
| FOURTH SUBMITTAL | 04/19/2023 |
| THIRD SUBMITTAL | 04/14/2023 |
| SECOND SUBMITTAL | 04/03/2023 |
| FIRST SUBMITTAL | 02/24/2023 |

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400



WEST DES MOINES, IOWA
ENGINEER

JORDAN CREEK POINT - LOT 2
LANDSCAPE PLAN

L1.2
2212.853

TECH: _____

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION
NO. PZC-23-018

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant and property owner, Jordan Creek Point, LLC, request approval of the Site Plan for the approximately 5.4-acre property located at 6840 & 6880 EP True Parkway as depicted on the location map included in the staff report. The applicant requests approval to construct two 17,000 square foot retail buildings, and associated site improvements; and

WHEREAS, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-005942-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on April 24, 2023.

Andrew Conlin, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on April 24, 2023, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary