

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** May 1, 2023

**ITEM:** The Pines at Glen Oaks, Southwest quadrant of Interstate-35 and Mills Civic Parkway interchange – Approve a Site Plan for 33 dwelling units for Multi Family Residential development - Paramount-Destination Homes, Inc. – SP-005366-2021

**Resolution: Approval of Site Plan**

**Background:** James Myers with Paramount-Destination Homes, Inc., an Iowa Corporation, applicant, with permission from the property owner Gerald M. Kirke, as Trustee of the Gerald M. Kirke Revocable Family Trust under agreement dated January 5, 1989, requests approval of a Site Plan for the 4.64-acre property generally located at the southwest quadrant of I-35 and Mills Civic Parkway interchange. The applicant proposes to construct 33 dwelling units in a rowhome development (7 dwelling units per acre). The Preliminary Plat to create 33 lots, one for each dwelling unit, was approved by the City Council on April 3, 2023.

**Staff Review & Comment:**

- Financial Impact: There is no City funding of this project; however, there is staff time for processing of development application and inspections during construction.
- Key Development Aspects:
  1. The developer has worked with the Glen Oaks Owners Association (GOOA) to place additional landscaping and fencing along the property line between the properties at the request of the GOOA. The landscape plan reflects this agreement. It is not a requirement from the City.
  2. The parkland dedication will consist of recreation improvements on-site.
- Traffic Impact Study Findings: A traffic analysis was completed with the Comprehensive Plan Land Use amendment and Rezoning completed in January 2023. That analysis studied the impact of 38 townhomes on the surrounding public transportation system. At that time, the analysis indicated that there would be less traffic generated than had been previously studied. Recommendations given in previous studies for the surrounding public streets remain adequate.  
  
Previous studies have shown that future levels of services for intersections in the vicinity fall below the desired level of service D standard. Studies have projected failing levels of service in the future at S. 60<sup>th</sup> Street and Mills Civic Parkway and Interstate 35 and Mills Civic Parkway, for example. However, the future congestion is not expected to worsen by this development since the site is still below the planned trip generations.
- Development & Planning Subcommittee: The Development and Planning Subcommittee discussed with the developer, the developer's request to reduce the setbacks along the property line adjoining property owned by the Glen Oaks Owners' Association on the east side of Glen Oaks Drive. The Subcommittee recommended that the Planned Unit Development be amended to include provisions for reduced setbacks.
- Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above

grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

**Outstanding Issues:** There are no outstanding issues.

**Planning and Zoning Commission Action:**

Date: May 8, 2023

Vote:

Recommendation:

**Recommendation:** Approve the Site Plan request, subject to the applicant meeting all City Code requirements and the following:

1. The applicant acknowledging and agreeing that prior to issuance of any building permits for buildings within The Pines at Glen Oaks development, that the associated Final Plat must be approved by the City Council and recorded with Polk County.
2. Prior to commencing work within the Glen Oaks Owners' Association ground as illustrated within the Site Plan, that the applicant provides a drawing with the Glen Oaks Owners' Association signature thus acknowledging that grading will commence on the developer's property and there are impacts to the Association's ground.

**Lead Staff Member:** Kara Tragesser

**Approval Meeting Dates:**

Planning and Zoning Commission	May 8, 2023
City Council	

**Staff Report Reviews:**

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

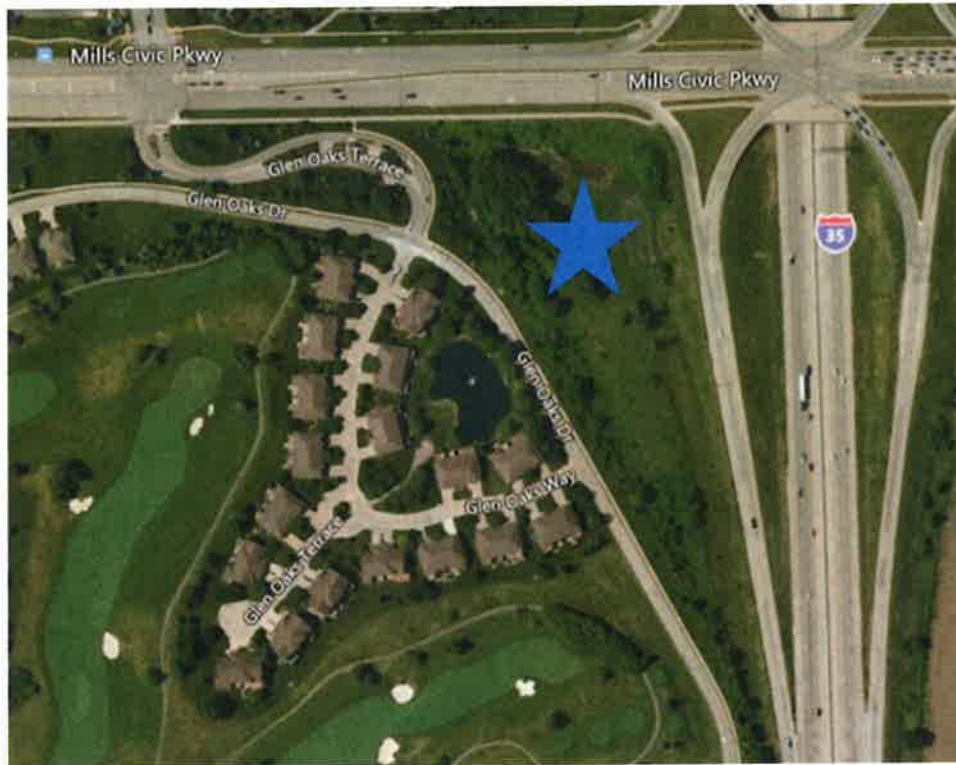
**Publications (if applicable)**

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

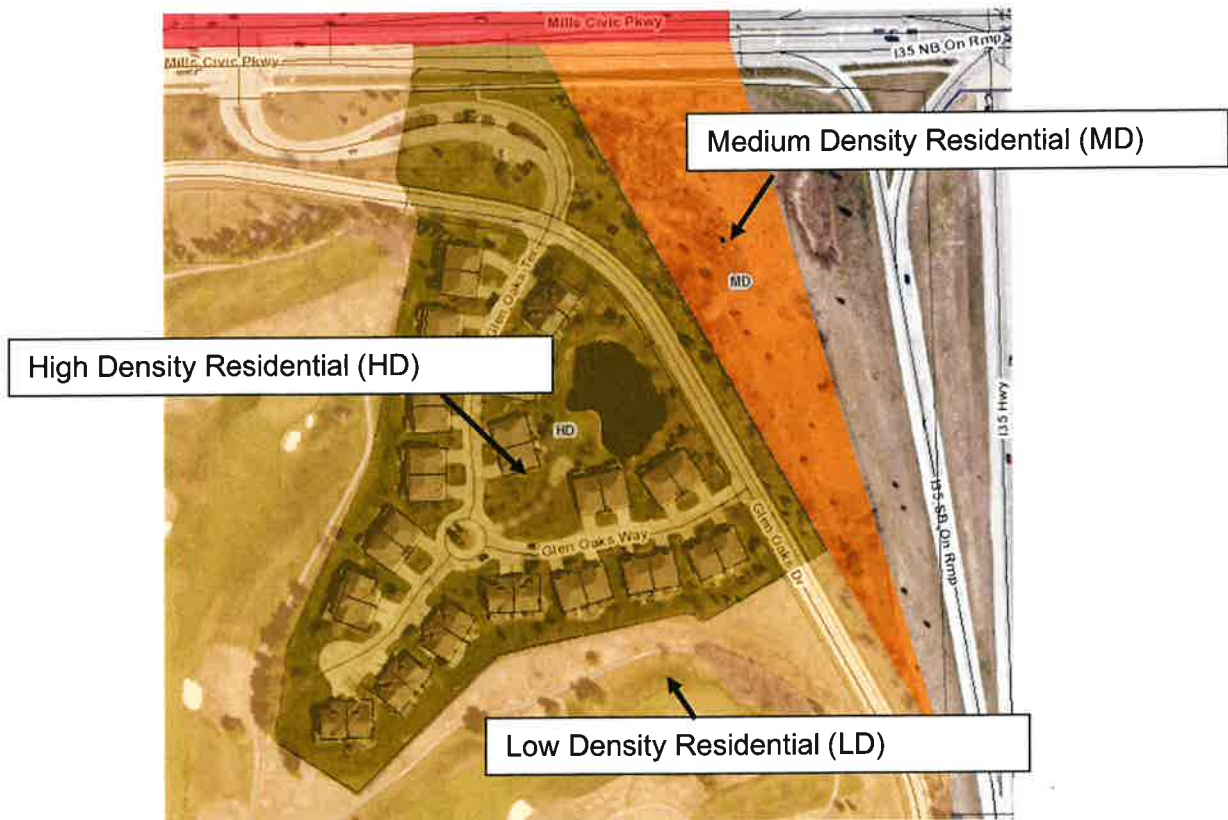
**Council Subcommittee Review (if applicable)**

Subcommittee	Development & Planning
Date Reviewed	10/3/22
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

### Location Illustration



### Surrounding Land Use Illustration



**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION**  
**NO. PZC-23-023**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, James Myers with Paramount-Destination Homes, Inc., an Iowa Corporation, applicant, with permission from the property owner, Gerald M. Kirke, as Trustee of the Gerald M. Kirke Revocable Family Trust under agreement dated January 5, 1989, requests approval of a Site Plan for the purpose of constructing 33 dwelling units in a rowhome development on that 4.64-acre property located at the southwest quadrant of the I-35/Mills Civic Parkway interchange as depicted on the location map included in the staff report; and

**WHEREAS**, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

**NOW THEREFORE**, the Planning and Zoning Commission of the City of West Moines recommends the City Council approve the Site Plan (SP-005366-2021), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on May 8, 2023.

\_\_\_\_\_  
Andrew Conlin, Chair  
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on May 8, 2023, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

\_\_\_\_\_  
Recording Secretary

CITY CASE NUMBER  
(SP-005366-2021/PP-005395-2021)

SITE ADDRESS  
SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
WEST DES MOINES, IA 50266

COMPREHENSIVE PLAN LAND USE  
EXISTING: NA - VACANT LOT  
PROPOSED: MD - MEDIUM DENSITY RESIDENTIAL

ZONING  
EXISTING: NOT ZONED  
PROPOSED: GLEN OAKS PLANNED UNIT DEVELOPMENT - MEDIUM DENSITY

SETBACKS  
FROM MILLS CIVIC PKWY: 100'  
FROM I-35: 35'  
FROM WEST PROPERTY LINE: 0'

BUILDINGS  
EXISTING - NONE  
PROPOSED - 3 STORY - 25 UNITS - 31' x 35' (4 BUILDINGS)  
2 STORY - 8 UNITS - 32' x 48' (3 BUILDINGS)

BUILDING USES  
MULTI-FAMILY RESIDENTIAL

BUILDING HEIGHT  
PROPOSED HEIGHT: 3 STORY - 43' 2 STORY - 34'

MAX FLOOR AREA RATIO  
NONE

PAVING  
ROADS: 6" THICK NON-REINFORCED PCC  
DRIVEWAYS: 5" THICK NON-REINFORCED PCC  
APPROACHES: 7" THICK NON-REINFORCED PCC  
PROPOSED CURB: 4" SLOPED CURB

SITE AREA  
4.54 ACRES (202,130 SQ.FT.)

OPEN SPACE  
EXISTING - 100% (202,200 SQ.FT.)  
REQUIRED - 25% (50,532 SQ.FT.)  
PROPOSED - 43% (86,817 SQ.FT.)

IMPERVIOUS SPACE  
EXISTING - 0 SQ.FT.  
PROPOSED - 57% (115,671 SQ.FT.)

DISTURBED AREAS  
ESTIMATED - 214,176 SQ.FT.  
ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED.  
THE DISTURBED AREA FOR THIS SITE IS GREATER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS REQUIRED.

PARKING  
REQUIRED - 1 VISITOR SPACE PER 10 UNITS - 33 UNITS - 4 STALLS REQUIRED  
PROPOSED - 8 STALLS

WDM DATUM ADJUSTMENT  
SURVEYED ELEVATIONS HAVE BEEN REVISED TO MATCH WDM DATUM (DROP 774.01)

PUBLIC IMPROVEMENTS  
PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER

FLOODPLAIN  
PER FEMA MAP #18153C0320F, THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD

FAA  
PER FAA NOTICE CRITERIA TOOL, SITE DOES NOT EXCEED NOTICE CRITERIA UP TO 100 FT HEIGHT (FOR POSSIBLE CRANE HEIGHT) AND THEREFORE FILING WITH THE FAA IS NOT REQUIRED

LEGAL DESCRIPTION: Quit Claim Deed Bk 14240 Pg 939-940  
Outlot C, Glen Oaks Plat 2, an Official Plat, recorded in Book 6696, Page: 556 in the Office of the Polk County Recorder being in and forming a part of the City of West Des Moines, Polk County, Iowa, containing 8.13 acres, more or less.

# SITE PLAN

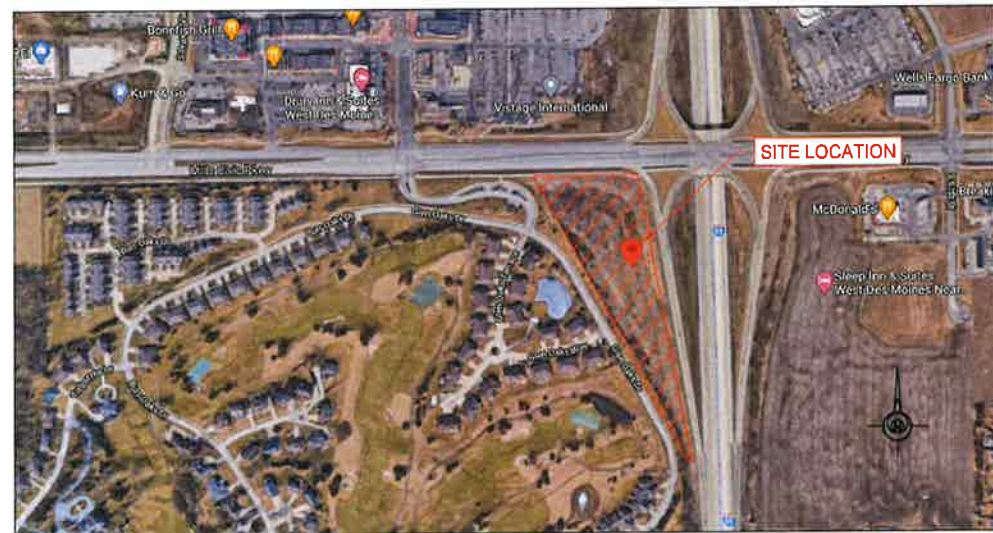
FOR

## THE PINES AT GLEN OAKS

### SWC OF MILLS CIVIC PKWY & INTERSTATE 35

### WEST DES MOINES, IA

VICINITY MAP



**DEVELOPER**  
PARAMOUNT - DESTINATION HOMES, INC  
2540 73RD ST  
URBANDALE, IA 50322  
PROJECT CONTACT: JAMIE MYERS  
PHONE: 515-440-1111  
EMAIL: JAMIE@DESTINATIONHOMESIA.COM

**ENGINEER/ LAND SURVEYOR**  
PELDS DESIGN SERVICES  
2323 DIXON ST  
DES MOINES, IOWA 50316  
PROJECT CONTACT: ELARA JONDLE  
PHONE: (515) 265-8186  
EMAIL: ELARA@PELDS.COM

**CITY CONTACT**  
CITY OF WEST DES MOINES  
4200 MILLS CIVIC PKWY  
WEST DES MOINES, IA 50265  
PROJECT CONTACT: KARA TRAGESSER  
PHONE: 515-222-3620  
EMAIL: KARA.TRAGESSER@WDM.IOWA.GOV

**ARCHITECT**  
PELDS DESIGN SERVICES  
2323 DIXON ST  
DES MOINES, IA 50316  
PROJECT CONTACT: DANIEL WILLRICH  
PHONE: 515-265-8186  
EMAIL: DANIEL@PELDS.COM

**OWNER/APPLICANT**  
GERALD KIRKE REVOCABLE TRUST  
5465 MILLS CIVIC PKWY STE 400  
WEST DES MOINES, IA 50266  
PROJECT CONTACT: SCOTT IVERS  
PHONE: —  
EMAIL: SCOTT.IVERS@WILDROSECORPORATE.COM

#### SHEET INDEX

- C-001 - COVER SHEET
- C-002 - NOTE SHEET
- C-101 - TOPO SHEET
- C-102 - DEMO SHEET
- C-103 - LOT LAYOUT SHEET
- C-104 - EASEMENT SHEET
- C-105 - DIMENSION SHEET
- C-106 - GRADING SHEET
- C-107 - GRADING DETAILS
- C-108 - UTILITY SHEET
- C-109 - EROSION CONTROL SHEET
- C-110 - LANDSCAPING SHEET
- C-201 - WATER PROFILE 1
- C-202 - WATER PROFILE 2
- C-301 - DETAIL SHEET

#### BENCHMARK 127

DESCRIPTION: STANDARD BENCHMARK  
NAVD88 - FEET: 893.47  
WDM DATUM - FEET: 119.46  
SECTION: 08  
TOWNSHIP: T78N  
RANGE: R25W  
COUNTY: POLK  
LOCATION: SOUTHWEST CORNER OF E.P. TRUE AND S. 41ST STREET, 4.5 FEET WEST OF THE EAST-WEST BACK OF WALK AND 4.5 FEET WEST OF THE NORTH-SOUTH BACK OF WALK.

#### BENCHMARK 128

DESCRIPTION: STANDARD BENCHMARK  
NAVD88 - FEET: 910.23  
WDM DATUM - FEET: 136.22  
SECTION: 07  
TOWNSHIP: T78N  
RANGE: R25W  
COUNTY: POLK  
LOCATION: NW CORNER OF E.P. TRUE PARKWAY AND PRAIRIE VIEW DRIVE, 61.5 FEET WEST OF THE TRAFFIC SIGNAL MANHOLE AND 8.5 FEET NORTH OF BACK OF WALK.

#### IOWA ONECALL CONTACT LIST:

[M526] MIDAMER GAS  
CONTACT NAME: CRAIG RANFELD  
CONTACT PHONE: 5152526632  
CONTACT EMAIL: MECDSDSIGNLOCATES@MIDAMERICAN.COM

[C1UA03] CENTURYLINK  
CONTACT NAME: TOM STURMER  
CONTACT PHONE: 3034539927  
CONTACT EMAIL: THOMAS.STURMER@CENTURYLINK.COM

[IGOF] GLEN OAKS OWNERS ASSOCIATION  
CONTACT NAME: JAMES MCCLARNON  
CONTACT PHONE: 5153275468  
CONTACT EMAIL: JAMESMCCLARNON@AOL.COM

[GOK] GLEN OAKS OWNERS ASSOCIATION  
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[M52F] MIDAMER-ELEC  
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[MCL] VERIZON  
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CONTACT PHONE: 9727297000  
CONTACT EMAIL: JOHN.BACHELDER@VERIZON.COM

[T15] MEDIACOM COMMUNICATIONS CORP  
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CONTACT PHONE: 5152462252  
CONTACT EMAIL: PMAY@MEDIACOMCC.COM

[UPN] UNITE PRIVATE NETWORKS, LLC  
CONTACT NAME: JOE KILZER  
CONTACT PHONE: 8164253556  
CONTACT EMAIL: UPNGDS@UPNFIBER.COM

[W16] IOWA DOT  
CONTACT NAME: SCOTT SMYTH  
CONTACT PHONE: 5152505290  
CONTACT EMAIL: SCOTT.SMYTH@IOWADOT.IA

[WDM] WEST DES MOINES WATER WORKS  
CONTACT NAME: WILLIAM MABUCE  
CONTACT PHONE: 5152223510  
CONTACT EMAIL: DESIGN\_LOCATES@WDMWWW.COM

[WDT] WEST DES MOINES TRAFFIC  
CONTACT NAME: JIM DICKINSON  
CONTACT PHONE: 5152223482  
CONTACT EMAIL: JIM.DICKINSON@WDM.IOWA.GOV

#### REVISIONS:

#### LEGEND:

F.F.	FINISHED FLOOR	▲	CALCULATED SECTION CORNER	⊕	ELEC. MANHOLE	— CATV —	CABLE TELEVISION
+/-	MORE OR LESS	▲	FOUND SECTION CORNER	⊕	ELEC. VAULT	— FO —	FIBER OPTIC
123.456	GUTTER ELEVATION	▲	PARKING SPACE	⊕	GUY ANCHOR	— G —	GAS LINE
123.456	TOP OF CURB ELEVATION	▲	SIGN	⊕	TEL. JUNCTION BOX	— OHE —	OVERHEAD ELEC.
123.456 / 123.456	EXISTING/ PROPOSED ELEVATION	▲	STREET LIGHT	⊕	CABLE TV JUNCTION BOX	— OHT —	OVERHEAD TEL.
FL	FLOWLINE ELEVATION	▲	POWER POLE	⊕	GAS VALVE	— SAN —	SANITARY SEWER
○	CONTROL POINT	▲	AREA LIGHT	⊕	GAS METER	— ST —	STORM SEWER
○	CALCULATED CORNER	▲	ELEC. TRANSFORMER	⊕	SANITARY SEWER MANHOLE	— UGE —	UNDERGROUND ELEC.
○	FOUND CORNER	▲	ELEC. METER	⊕	STORM SEWER MANHOLE	— UGT —	UNDERGROUND TEL.
		▲	ELEC. BOX	⊕	CLEANOUT	— W —	WATER
		▲		⊕	DOWNSPOUT	— W —	WATER
		▲		⊕		— F —	FENCE LINE

PROFESSIONAL ENGINEER & SURVEYOR  
VOLDEMARS L. PELDS  
18842  
IOWA

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

*Voldears L. Pelds* 4.19.2023  
VOLDEMARS L. PELDS, P.E. IA LIC. NO. 18842 DATE: 4.19.2023  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023  
ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE)  
SCALE (SEE INDICATED HEARD) C-001 - C-301

**PELDS DESIGN SERVICES**  
Architecture | Engineering | Surveying  
2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

**THE PINES AT GLEN OAKS**  
SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
WEST DES MOINES, IA

WDM BM 127 & 128

8 SHORT 4.19.2023 20-149

C-001 - COVER SHEET

## GENERAL NOTES

1. THE CITY OF WEST DES MOINES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
2. ALL PROPOSED MATERIALS AND STRUCTURES SHALL BE APPROVED BY THE CITY OF WEST DES MOINES AND BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
4. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES, AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
5. PELDS DESIGN SERVICES SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
6. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
7. IF A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING.
8. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
9. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
10. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNER'S REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WEST DES MOINES.
11. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
13. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES OR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
14. ALL CONSTRUCTION WITHIN THE PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF WEST DES MOINES.
15. THE CONTRACTOR SHALL CONTACT THE CITY OF WEST DES MOINES TO SCHEDULE ANY REQUIRED INSPECTIONS AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS.
16. IN THE EVENT OF ANY CONFLICTING NOTES BETWEEN THE COVER SHEET AND ALL OTHER SHEETS, THE NOTES ON THE COVER SHEET SHALL SUPERCEDE ALL OTHERS.
17. IN THE EVENT OF ANY CONFLICTING INFORMATION BETWEEN THE LABEL, ELECTRONIC CAD FILE, AND THE ELECTRONIC SURFACE, THE DESIGN ENGINEER SHALL BE CONTACTED FOR CLARIFICATION.

## SURVEY NOTES

1. SURVEY WORK WAS COMPLETED BY PELDS DESIGN SERVICES IN JANUARY 2020. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

## STAKING NOTES

1. IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
2. IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
3. STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

## DEMO NOTES

1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
4. PROPERLY DISCONNECT ALL PUBLIC AND PRIVATE UTILITIES, AS NECESSARY.
5. COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE AND PROPERLY DISPOSE OF SIDEWALKS, STEPS, DRIVEWAYS, AND STRUCTURES (INCLUDING BOTH ABOVE GROUND AND BELOW GROUND ELEMENTS).
6. COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE FUEL TANKS, SEPTIC TANKS, CISTERNS, AND ANY OTHER UNDERGROUND FACILITIES; AND TO PROPERLY DISPOSE OF ANY LIQUIDS OR PRODUCTS CONTAINED WITHIN THESE ITEMS.
7. PLACE BACKFILL MATERIAL IN HOLES AND DEPRESSIONS, GRADE THE SITE, AND ESTABLISH GROUND COVER.
8. PROTECT EXISTING FIRE HYDRANTS, STREET LIGHTS, TRAFFIC SIGNALS, UTILITY POLES, FIRE ALARM BOXES, WIRE CABLES, UNDERGROUND UTILITIES, AND OTHER APPURTENANCES IN THE VICINITY OF THE DEMOLITION SITE.
9. COMPLY WITH NOISE POLLUTION REQUIREMENTS AND ANY WORKING HOUR RESTRICTIONS OF THE JURISDICTION.
10. MAINTAIN OR RE-ESTABLISH ALL TILES, ROADWAY SUBDRAINS, CULVERTS, OR OTHER DRAINAGE FACILITIES NOT IDENTIFIED IN THE CONTRACT DOCUMENTS FOR REMOVAL.
11. IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR EACH SITE PRIOR TO INITIATING DEMOLITION BY PLACING ALL REQUIRED DEVICES; INCLUDE MEASURES TO PREVENT TRACKING OF MUD ONTO ADJACENT STREETS OR ALLEYS.
12. COMPLY WITH ALL APPLICABLE AIR POLLUTION REQUIREMENTS OF THE JURISDICTION. USE WATER OR APPROPRIATE CHEMICALS FOR CONTROL OF DUST IN THE DEMOLITION AREA, ON HAULING EQUIPMENT, ON ADJACENT ROADWAYS, AND WHEN GRADING THE SITE.
13. TAKE STEPS TO PREVENT THE GENERATION OF LITTER DURING DEMOLITION AND COLLECT ALL LITTER FROM THE DEMOLITION AREA AT THE END OF EACH WORKING DAY. LOAD TRUCKS TO PREVENT LEAKAGE OR BLOWING OF DEBRIS.
14. REMOVE ALL CONCRETE, ASPHALT, OR MASONRY SLABS AND APPURTENANCES.
15. REMOVE AND DISPOSE OF ALL BRUSH, SHRUBS, TREES, LOGS, DOWNED TIMBER, AND OTHER YARD WASTE ON THE SITE UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. DO NOT MIX WITH DEMOLITION MATERIAL. REMOVE STUMPS TO A MINIMUM OF 2 FEET BELOW FINISH GRADE. PROTECT ANY TREES OR OTHER VEGETATION NOT DESIGNATED FOR REMOVAL BY PLACING A FENCE AT THE DRIP LINE ENCOMPASSING THE ENTIRE TREE AND KEEPING ALL OPERATIONS OUTSIDE OF THE FENCED IN AREA. INCLUDING STORAGE OF EQUIPMENT OR MATERIALS. AT NO ADDITIONAL COST TO THE CONTRACTING AUTHORITY, REPLACE ANY TREES THAT ARE DESIGNATED FOR PROTECTION BUT ARE DAMAGED BEYOND TREATMENT. THE ENGINEER WILL DETERMINE SIZE AND SPECIES OF THE REPLACEMENT TREE.
16. SAW-CUT ALL HARD SURFACING AT LOCATION OF REMOVAL LIMITS.
17. WHERE SELECTIVE DEMOLITION IS SHOWN AT PAVED AREAS, DEMOLISH THE EXISTING PAVING BACK TO AN EXISTING CONTROL JOINT NEAR THE LOCATION SHOWN.

## WETLAND NOTES

1. PELDS DESIGN SERVICES DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

## DISCLAIMER

1. THIS DRAWING IS BEING MADE AVAILABLE BY PELDS DESIGN SERVICES (P.D.S.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH P.D.S.'S AGREEMENT FOR PROFESSIONAL SERVICES. P.D.S. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.
2. P.D.S. DISCLAIMS ANY AND ALL LIABILITY OR RESPONSIBILITY FOR INFORMATION THAT DOES NOT BEAR THE ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL IN CHARGE.

# CIVIL ENGINEERING NOTES FOR THE PINES AT GLEN OAKS SWC OF MILLS CIVIC PKWY & INTERSTATE 35 WEST DES MOINES, IA

## UTILITY NOTES

1. QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
2. PIPE LENGTHS CALLED OUT ON PLANS DO NOT INCLUDE FLARED END SECTION, WHERE APPLICABLE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL RELOCATE EXISTING UTILITIES AS NECESSARY, SHOWN OR NOT SHOWN.
5. THE CONTRACTOR SHALL COORDINATE WITH THE CITY ON ALL SIZE, DEPTHS, AND MATERIALS OF ALL PROPOSED UTILITIES.
6. THE CONTRACTOR MUST PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES IF REQUIRED BY CITY.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
8. CONTRACTOR IS TO COMPLY WITH THE LATEST SUDAS SPECIFICATIONS FOR MAINTENANCE, INSTALLATION, AND TESTING FOR CONSTRUCTION.
9. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
10. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
11. ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
12. ALL STRUCTURE SIZES CALLED OUT ON PLANS ARE MINIMUM INSIDE WALL DIMENSIONS.
13. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
14. ALL STRUCTURES CALLED OUT AS "MODIFIED" OR "SPECIAL" SHALL BE ENGINEERED BY THE PRECASTER TO ENSURE STRUCTURE STABILITY. MODIFICATIONS INCLUDE ADDITIONAL WALL LENGTH TO ACCOUNT FOR LARGE PIPE DIAMETERS AND ADDITIONAL WALL WIDTH & BASE DEPTH TO ACCOUNT FOR DEEPER STRUCTURES. ANY AND ALL MODIFICATIONS TO STANDARD STRUCTURES SHALL BE CONSIDERED INCIDENTAL TO BID.

## ELECTRICAL SERVICE NOTES

15. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
16. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

## SANITARY SERVICE NOTES

17. SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATER MAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.

## STORM WATER SERVICE NOTES

18. ALL STORM SEWER IN THE ROW SHALL BE RCP (CLASS III RCP), UNLESS OTHERWISE SPECIFIED.
  19. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
  20. ALL SUMP SERVICE LINES SHALL HAVE TRACE WIRE.
- ## WATER SERVICE NOTES
21. WATER SERVICE SHALL BE TYPE K COPPER OR DIP, DEPENDING ON SIZE AND JURISDICTIONAL REQUIREMENTS. IF CONTAMINATED OR "HOT" SOILS, ENSURE APPROPRIATE PIPE IS BEING UTILIZED. SIZE OF WATER MAIN AS SHOWN ON PLANS.
  22. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
  23. THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION.
  24. ANY AND ALL HYDRANT AND VALVE EXTENSIONS, TOGETHER WITH VERTICAL BENDS, SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR INCIDENTAL ITEMS.
  25. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5 FEET OF COVER UNLESS NOTED OTHERWISE.

## EXISTING UTILITIES NOTE

1. THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION. IOWA ONE-CALL (1-800-292-8989).

## UTILITY CONFLICT NOTES

1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC.. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION THAT ARE EITHER CALLED OUT ON THE PLANS OR NOT CALLED OUT.
3. CONTRACTOR SHALL COMPLY WITH ALL DNR REQUIREMENTS FOR PIPE MATERIAL, PIPE JOINTS, AND ANY OTHER APPLICABLE REQUIREMENTS ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18" BELOW A WATER MAIN.
4. FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY PELDS DESIGN SERVICES PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.

## SPECIFICATIONS NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF WEST DES MOINES SUPPLEMENTAL SPECIFICATIONS.
2. IN THE EVENT OF A DISCREPANCY BETWEEN THE PROJECT SPECIFICATIONS AND THE CITY OF WEST DES MOINES REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT, THE CITY OF WEST DES MOINES STANDARD SPECIFICATIONS SHALL GOVERN.
3. FOR ALL SPECIFICATION DISCREPANCIES, THE PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF THE ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.

## REQUIRED AS-BUILT NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO, IF REQUIRED BY CITY.
2. CONTRACTOR SHALL CONTACT PELDS DESIGN SERVICES TO PERFORM SAID AS-BUILT SURVEYS.
3. IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

## PAVING NOTES

1. THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF WEST DES MOINES SPECIFICATIONS AND THE LATEST VERSION OF SUDAS.
2. SEE DETAILS FOR ALL PAVEMENT THICKNESS.
3. DETECTABLE WARNING PANEL(S) CALLED OUT ON PLANS SHALL BE PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
4. SIDEWALKS SHALL HAVE EXPANSION JOINTS AT 100 FOOT INTERVALS AS REQUIRED BY CITY CODE.
5. ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

## PAVEMENT SAWCUT NOTES

1. CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
2. PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
3. LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE 'L-1' OR 'L-2' JOINTS AND HAVE STEEL. INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' OR TYPE 'K' JOINTS. ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

## SOIL NOTES

1. STRIP AND STOCKPILE THE TOP 8 INCHES OF SOIL ON ALL DISTURBED AREAS. GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING.
2. RESPADE TOPSOIL TO A MINIMUM DEPTH OF 8 INCHES ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6 INCHES.
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
6. REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL SOILS INFORMATION INCLUDING BUT NOT LIMITED TO SUBGRADE INFORMATION, FOOTING DESIGN, AND ANY POSSIBLE OVER EXCAVATION DUE TO POOR SOILS. PAVEMENT SECTIONS ON THE PLANS GOVERN OVER PAVEMENT THICKNESS IN THE SOILS REPORT.

## GRADING NOTES

1. AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
2. PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 12 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RE-COMPACTED WITH ON-SITE FILL MATERIALS.
3. ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
4. MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
5. FINISH GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FT, AND PAVED AREAS SHALL BE WITHIN 0.10 FT OF THE PROPOSED GRADES SHOWN ON THE PLAN.
6. MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
7. THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
8. MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS.
9. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.

## LANDSCAPING NOTES


1. ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SEED OR SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAKE SOD ON ALL SLOPES 4:1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
7. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH OR BRICK CHIPS OR WASHED STONE AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
8. PROVIDE 6MIL MINIMUM PLASTIC BELOW ROCK/BRICK.
9. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
10. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
11. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

## CITY OF WEST DES MOINES NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
2. AN ON-SITE INSPECTION SHALL BE REQUESTED WITH THE BUILDING DIVISION AT (515) 222-3630, PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS.
3. CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
4. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
5. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
6. IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
7. COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
8. LANE CLOSURE NOTICES MUST BE SUBMITTED TO WEST DES MOINES PUBLIC SERVICES FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
9. ALL CONNECTIONS TO PUBLIC SEWERS SHALL BE CORE DRILLED.

## WEST DES MOINES WATER WORKS STANDARD NOTES

1. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS, AVAILABLE AT <https://www.wdmww.com/specs.aspx>.
2. ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
3. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-199B. CONTRACTOR SHALL NOTIFY THEIR PROJECT'S WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND, WHERE REQUIRED BY THE CITY OF WEST DES MOINES PLUMBING CODE, SHALL INSTALL A PRESSURE REDUCING VALVE(S) WITH EXPANSION TANK(S), WHERE REQUIRED, PRESSURE REDUCING VALVE(S) AND TANK(S) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METER(S) AND BACKFLOW PREVENTION ASSEMBLY(IES) SERVING THE SITE.



**ELDS DESIGN SERVICES**

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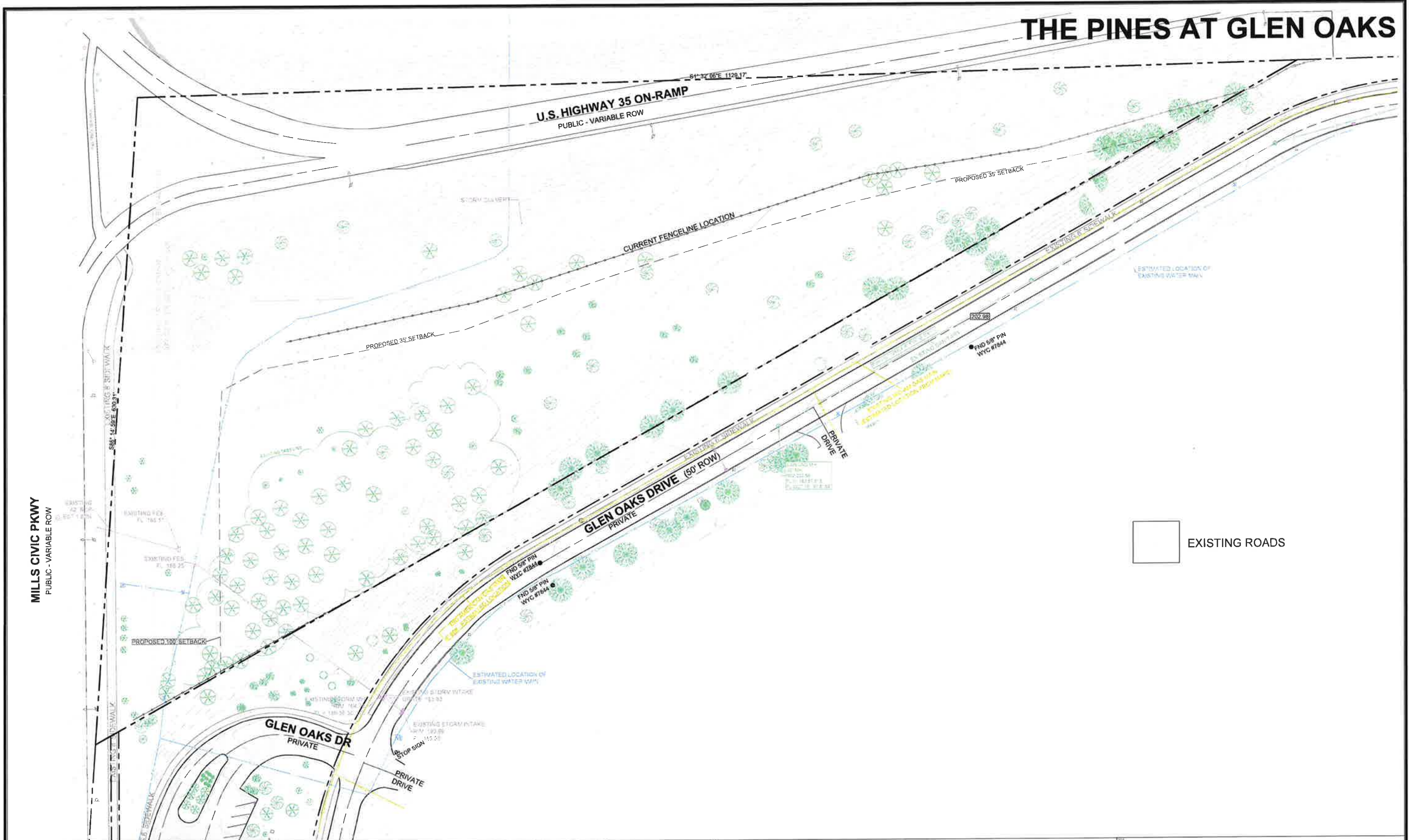
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**THE PINES AT GLEN OAKS**  
**SWC OF MILLS CIVIC PKWY & INTERSTATE 35**  
**WEST DES MOINES, IA**

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	B. SHORT	DATE	3.28.2023	20-149
<small>2023 Project: 2023-149 - Glen Oaks Swc Homecoming Greenplate Urbanist Est</small>				<b>C-002 - NOTE SHEET</b>

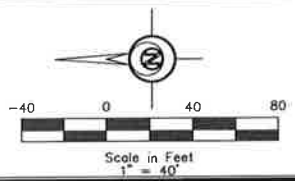
# THE PINES AT GLEN OAKS



EXISTING ROADS

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LEGEND:	
F.F.	FINISHED FLOOR
M/L	MORE OR LESS
123.450	GUTTER ELEVATION
123.45TC	TOP OF CURB ELEVATION
123.45/123.53	EXISTING/PROPOSED ELEVATION
FL	FLOWLINE ELEVATION
CP	CONTROL POINT
OC	CALCULATED CORNER
FC	FOUND CORNER
SC	CALCULATED SECTION CORNER
FS	FOUND SECTION CORNER
PS	PARKING SPACE
S	SIGN
SL	STREET LIGHT
PP	POWER POLE
LP	LIGHT POLE
AL	AREA LIGHT
ET	ELEC. TRANSFORMER
EM	ELEC. METER
EB	ELEC. BOX
EMH	ELEC. MAN-HOLE
EV	ELEC. VAULT
GA	GUY ANCHOR
TJ	TEL. JUNCTION BOX
CTJ	CABLE TV JUNCTION BOX
GV	GAS VALVE
GM	GAS METER
SSM	SANITARY SEWER MANHOLE
SSMH	STORM SEWER MANHOLE
CN	CLEANOUT
DP	DOWNSPOUT
SI	SINGLE INTAKE
AI	AREA INTAKE
TI	THROAT INTAKE
FES	FLARED END SECTION
V	VALVE
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
WT	WATER TEE
PXX	PROPOSED UTILITY LINE
EXX	EXISTING UTILITY LINE
FO	FIBER OPTIC
GL	GAS LINE
OHE	OVERHEAD ELEC.
OHT	OVERHEAD TEL.
SS	SANITARY SEWER
ST	STORM SEWER
UGE	UNDERGROUND ELEC.
UGT	UNDERGROUND TEL.
W	WATER
CATV	CABLE TELEVISION



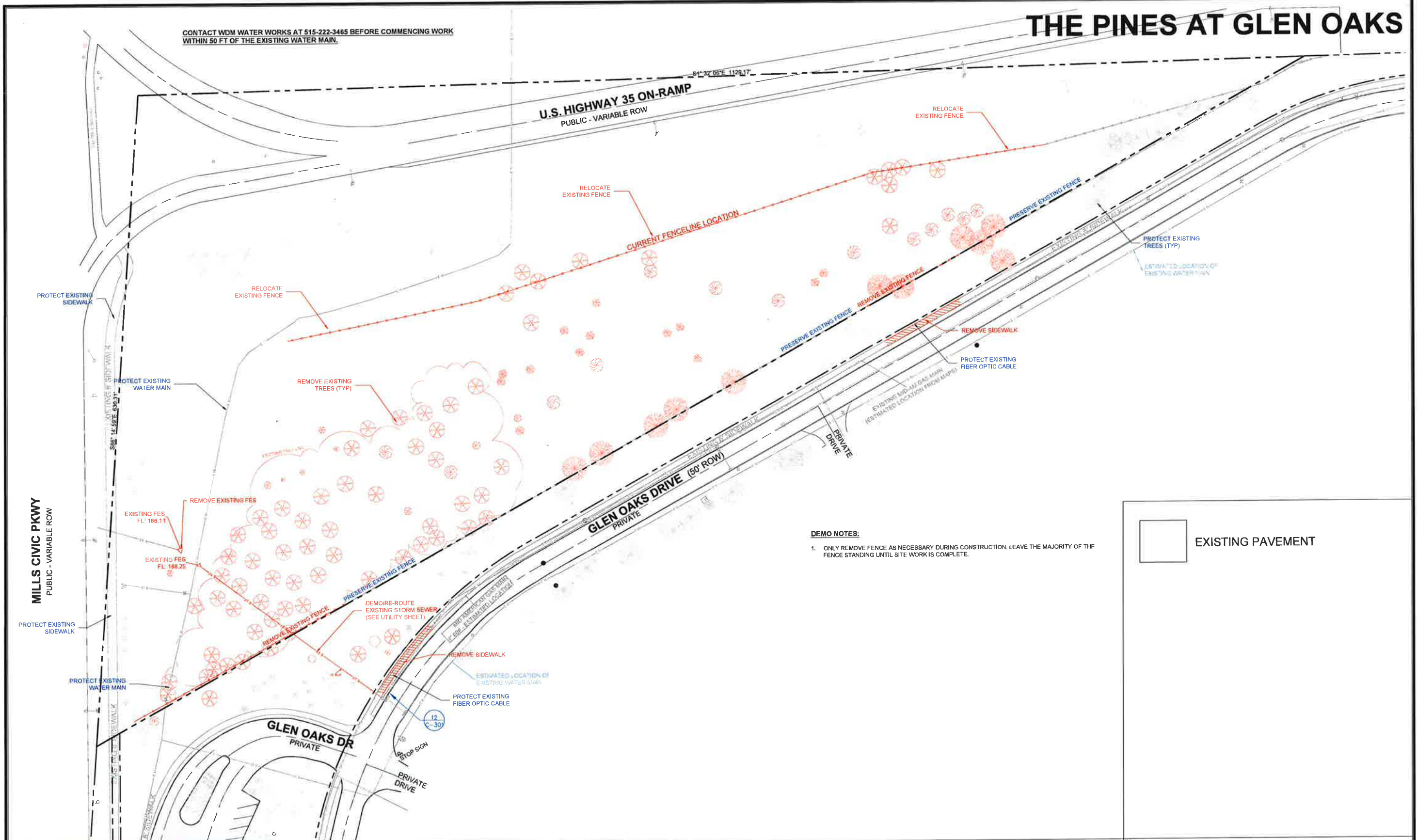
**THE PINES AT GLEN OAKS**  
**SWC OF MILLS CIVIC PKWY & INTERSTATE 35**  
**WEST DES MOINES, IA**

DATE	3.28.2023	PROJECT NO.	20-149
DRAWN BY	B. SHORT	SCALE	1"=40'

C-101 - TOPO SHEET

# THE PINES AT GLEN OAKS

CONTACT WDM WATER WORKS AT 515-222-3465 BEFORE COMMENCING WORK WITHIN 50 FT OF THE EXISTING WATER MAIN.



**DEMO NOTES:**  
 1. ONLY REMOVE FENCE AS NECESSARY DURING CONSTRUCTION. LEAVE THE MAJORITY OF THE FENCE STANDING UNTIL SITE WORK IS COMPLETE.

EXISTING PAVEMENT

**THE PINES AT GLEN OAKS**  
**SWC OF MILLS CIVIC PKWY & INTERSTATE 35**  
**WEST DES MOINES, IA**

B SHORT	1"=40'	3.28.2023	20-149
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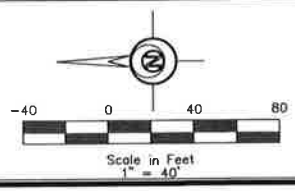
C-102 - DEMO SHEET

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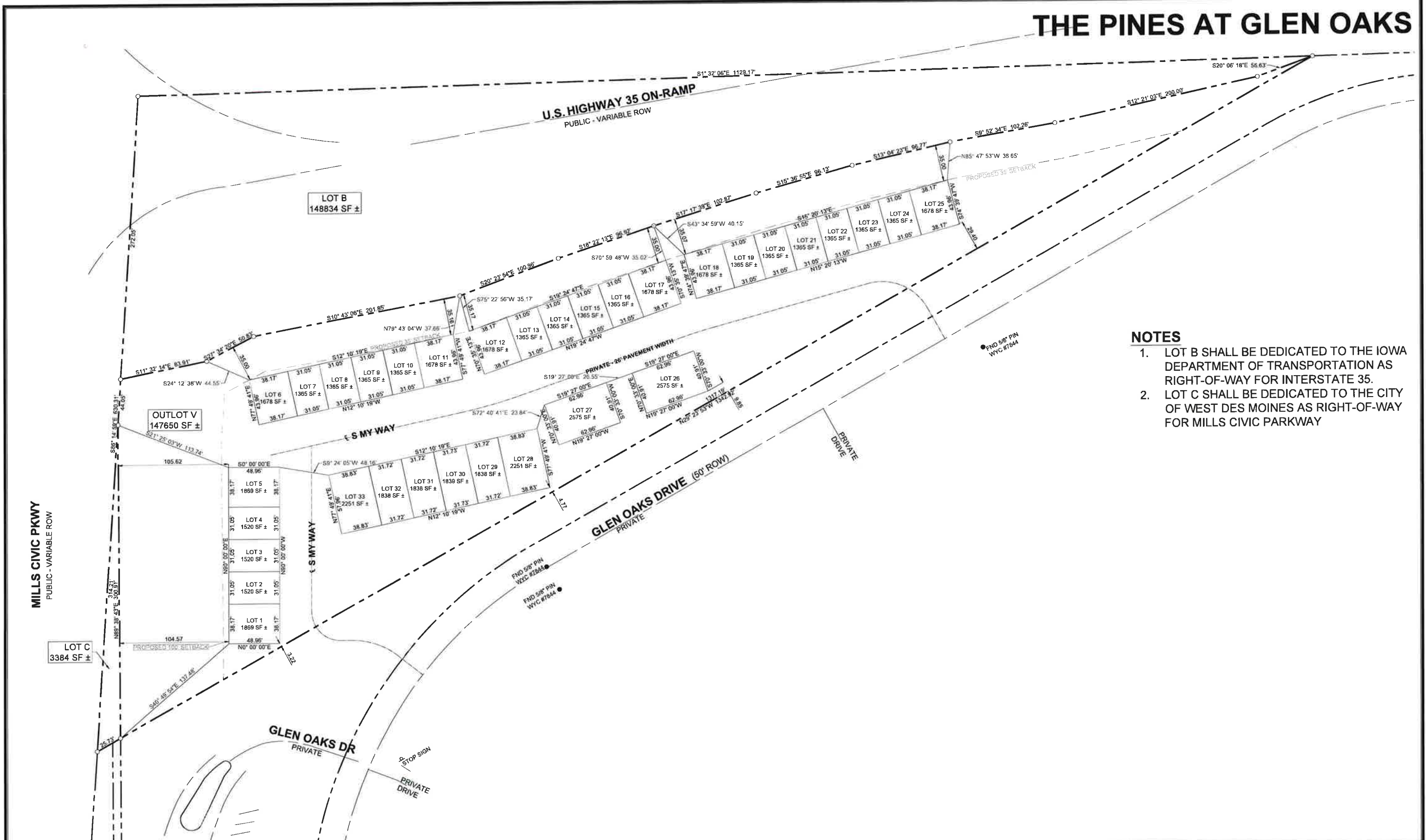
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<p><b>LEGEND:</b></p> <p>F.F. FINISHED FLOOR          +/- MORE OR LESS          123.45G GUTTER ELEVATION          123.45TC TOP OF CURB ELEVATION          123.45U EXISTING/PROPOSED ELEVATION          FL FLOWLINE ELEVATION          CP CONTROL POINT          OC CALCULATED CORNER          FC FOUND CORNER</p>	<p>▲ CALCULATED SECTION CORNER          ▴ FOUND SECTION CORNER          □ PARKING SPACE          ○ SIGN          ⚡ STREET LIGHT          ⚡ POWER POLE          ⚡ LIGHT POLE          ⚡ AREA LIGHT          ⚡ ELEC. TRANSFORMER          ⚡ ELEC. METER          ⚡ ELEC. BOX</p>	<p>⊕ ELEC. MANHOLE          Ⓛ ELEC. VAULT          Ⓜ GUY ANCHOR          Ⓜ TEL. JUNCTION BOX          Ⓜ CABLE TV JUNCTION BOX          Ⓜ GAS VALVE          Ⓜ GAS METER          Ⓜ SANITARY SEWER MANHOLE          Ⓜ STORM SEWER MANHOLE          Ⓜ CLEANOUT          Ⓜ DOWNSPOUT</p>	<p>⊕ SINGLE INTAKE          ⊕ AREA INTAKE          ⊕ THROAT INTAKE          ⊕ FLARED END SECTION          ⊕ VALVE          ⊕ FIRE HYDRANT          ⊕ WATER METER          ⊕ WATER VALVE          ⊕ WATER TEE          ⊕ PROPOSED UTILITY LINE          ⊕ EXISTING UTILITY LINE</p>	<p>— CATV — CABLE TELEVISION          — FO — FIBER OPTIC          — GAS — GAS LINE          — OHE — OVERHEAD ELEC.          — OHT — OVERHEAD TEL.          — SS — SANITARY SEWER          — ST — STORM SEWER          — UGE — UNDERGROUND ELEC.          — UGT — UNDERGROUND TEL.          — W — WATER          — FENCE LINE</p>
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# THE PINES AT GLEN OAKS

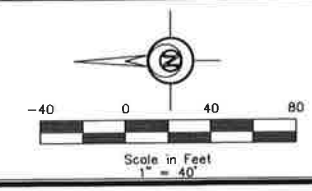


## NOTES

1. LOT B SHALL BE DEDICATED TO THE IOWA DEPARTMENT OF TRANSPORTATION AS RIGHT-OF-WAY FOR INTERSTATE 35.
2. LOT C SHALL BE DEDICATED TO THE CITY OF WEST DES MOINES AS RIGHT-OF-WAY FOR MILLS CIVIC PARKWAY

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LEGEND:	
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123.45G	GUTTER ELEVATION
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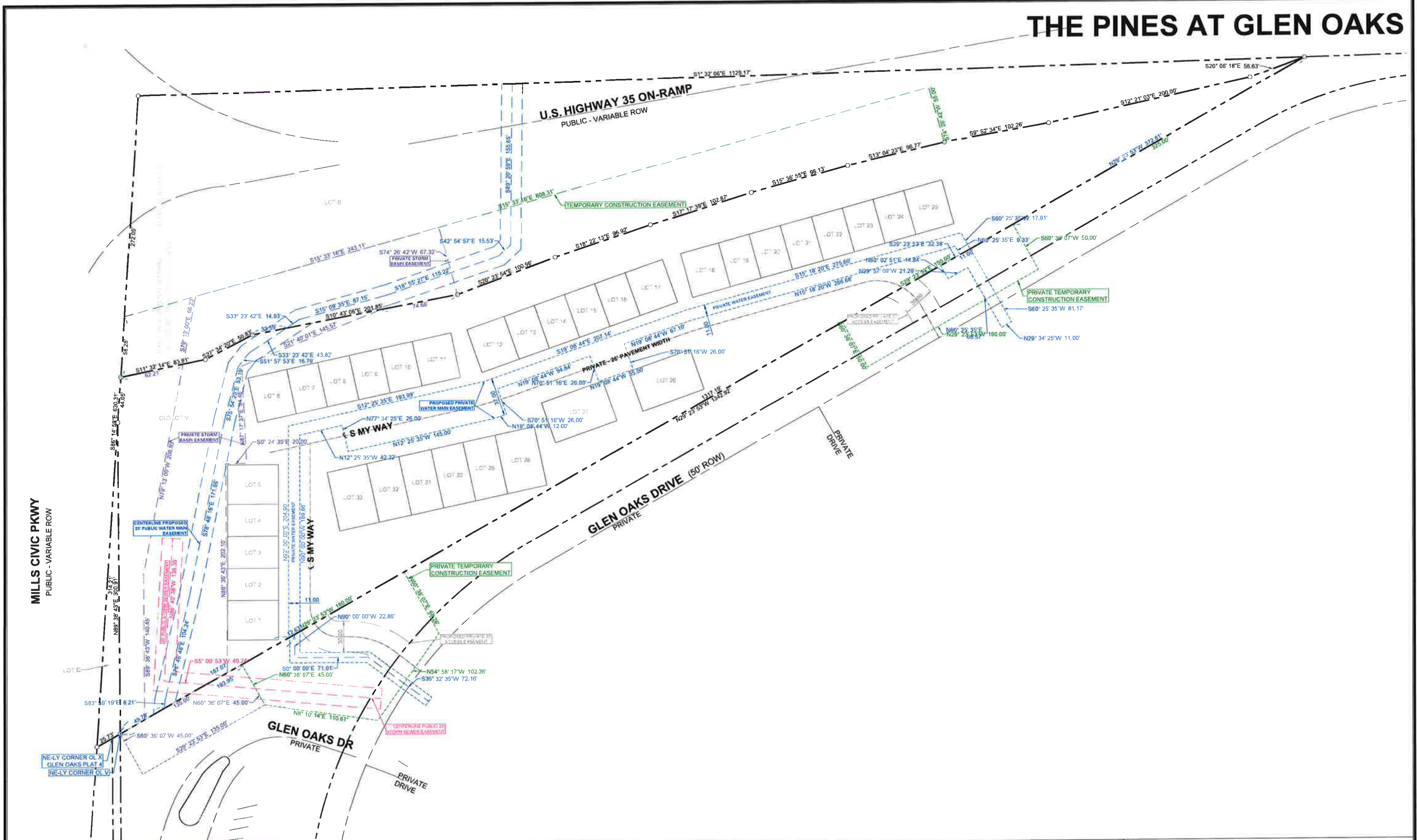


**THE PINES AT GLEN OAKS**  
**SWC OF MILLS CIVIC PKWY & INTERSTATE 35**  
**WEST DES MOINES, IA**

DATE	3.28.2023	PROJECT	20-149
DRAWN BY	B. SHORT	SCALE	1"=40'

C-103 - LOT LAYOUT SHEET

# THE PINES AT GLEN OAKS



MILLS CIVIC PKWY  
PUBLIC - VARIABLE ROW

U.S. HIGHWAY 35 ON-RAMP  
PUBLIC - VARIABLE ROW

GLEN OAKS DRIVE (50' ROW)  
PRIVATE

GLEN OAKS DR  
PRIVATE

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**LEGEND:**

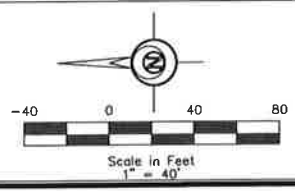
- F.F. FINISHED FLOOR
- +/- MORE OR LESS
- 123.45G GUTTER ELEVATION
- 123.45TC TOP OF CURB ELEVATION
- 123.45E EXISTING/PROPOSED ELEVATION
- FL FLOWLINE ELEVATION
- CP CONTROL POINT
- OC CALCULATED CORNER
- FC FOUND CORNER

- ▲ CALCULATED SECTION CORNER
- ▲ FOUND SECTION CORNER
- PARKING SPACE
- ▽ SIGN
- STREET LIGHT
- POWER POLE
- LIGHT POLE
- AREA LIGHT
- ELEC. TRANSFORMER
- ELEC. METER
- ELEC. BOX

- ELEC. MANHOLE
- ELEC. VAULT
- GUY ANCHOR
- TEL. JUNCTION BOX
- CABLE TV JUNCTION BOX
- GAS VALVE
- GAS METER
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- CLEANOUT
- DOWNSPOUT

- SINGLE INTAKE
- AREA INTAKE
- THROAT INTAKE
- FLARED END SECTION
- VALVE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- WATER TEE
- PROPOSED UTILITY LINE
- EXISTING UTILITY LINE

- CATV — CABLE TELEVISION
- FO — FIBER OPTIC
- GAS — GAS LINE
- OHE — OVERHEAD ELEC.
- OHT — OVERHEAD TEL.
- SS — SANITARY SEWER
- ST — STORM SEWER
- UGE — UNDERGROUND ELEC.
- UGT — UNDERGROUND TEL.
- W — WATER

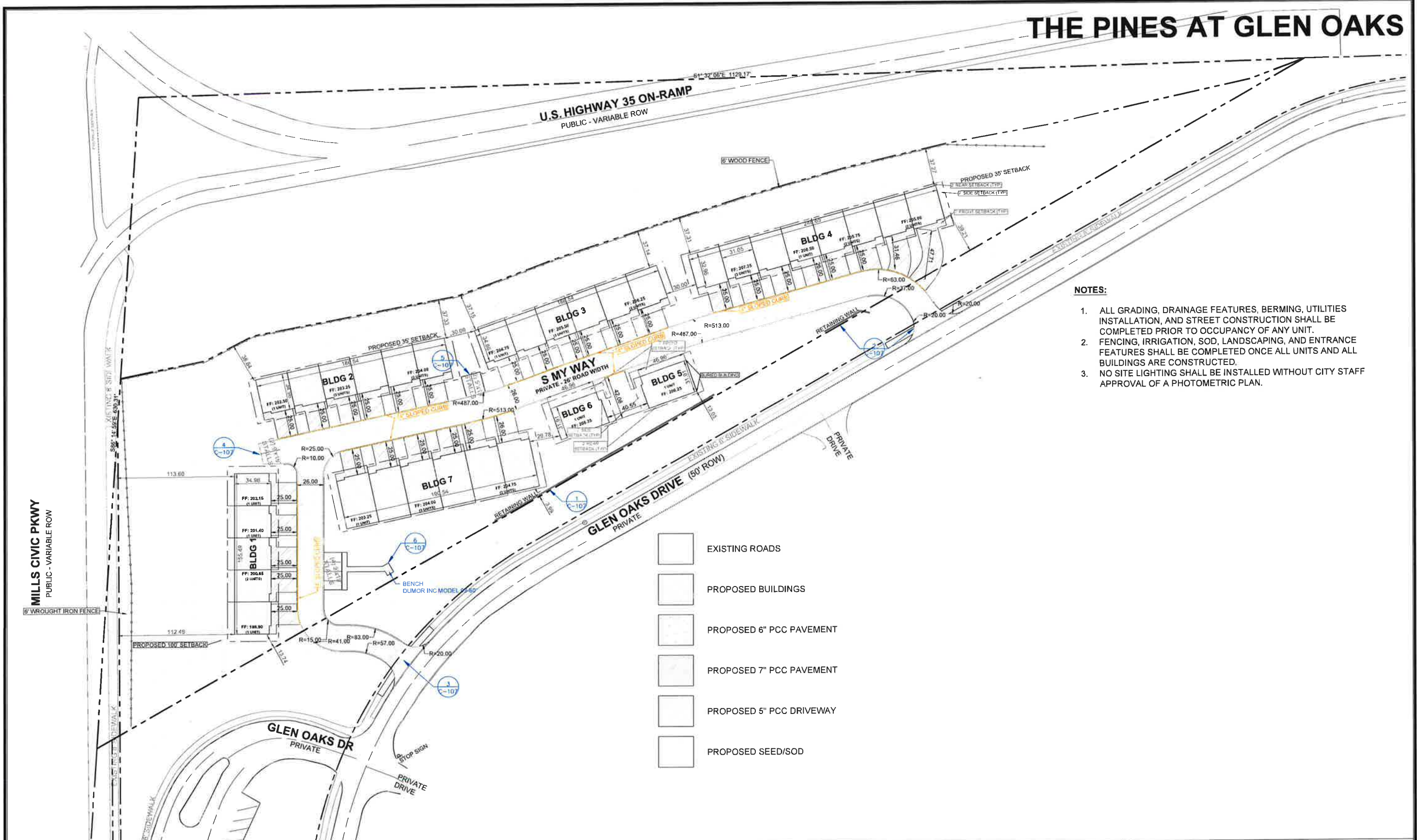


**THE PINES AT GLEN OAKS**  
SWC OF MILLS CIVIC PKWY & INTERSTATE 35  
WEST DES MOINES, IA

DATE	DESCRIPTION	BY	SCALE	DATE	NO.
3.28.2023			1"=40'	3.28.2023	20-149

C-104 - EASEMENT SHEET

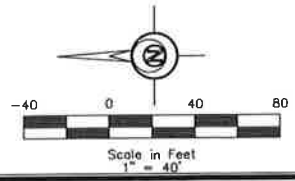
# THE PINES AT GLEN OAKS



- NOTES:**
1. ALL GRADING, DRAINAGE FEATURES, BERMING, UTILITIES INSTALLATION, AND STREET CONSTRUCTION SHALL BE COMPLETED PRIOR TO OCCUPANCY OF ANY UNIT.
  2. FENCING, IRRIGATION, SOD, LANDSCAPING, AND ENTRANCE FEATURES SHALL BE COMPLETED ONCE ALL UNITS AND ALL BUILDINGS ARE CONSTRUCTED.
  3. NO SITE LIGHTING SHALL BE INSTALLED WITHOUT CITY STAFF APPROVAL OF A PHOTOMETRIC PLAN.

- EXISTING ROADS
- PROPOSED BUILDINGS
- PROPOSED 6" PCC PAVEMENT
- PROPOSED 7" PCC PAVEMENT
- PROPOSED 5" PCC DRIVEWAY
- PROPOSED SEED/SOD

LEGEND:									
F.F.	FINISHED FLOOR	▲	CALCULATED SECTION CORNER	⊕	ELEC. MANHOLE	⊠	SINGLE INTAKE	— CATV	CABLE TELEVISION
+/-	MORE OR LESS	△	FOUND SECTION CORNER	⊕	ELEC. VAULT	⊠	AREA INTAKE	— FO	FIBER OPTIC
123.45G	GUTTER ELEVATION	□	PARKING SPACE	⊕	GUY ANCHOR	⊠	THROAT INTAKE	— GAS	GAS LINE
123.45TC	TOP OF CURB ELEVATION	⊕	SIGN	⊕	TEL. JUNCTION BOX	⊠	FLARED END SECTION	— OHE	OVERHEAD ELEC.
123.45E	EXISTING/PROPOSED ELEVATION	⊕	STREET LIGHT	⊕	CABLE TV JUNCTION BOX	⊠	VALVE	— OHT	OVERHEAD TEL.
FL	FLOWLINE ELEVATION	⊕	POWER POLE	⊕	GAS VALVE	⊕	FIRE HYDRANT	— SS	SANITARY SEWER
○	CONTROL POINT	⊕	LIGHT POLE	⊕	GAS METER	⊕	WATER METER	— ST	STORM SEWER
○	CALCULATED CORNER	⊕	ELEC. TRANSFORMER	⊕	SANITARY SEWER MANHOLE	⊕	WATER VALVE	— UGE	UNDERGROUND ELEC.
●	FOUND CORNER	⊕	ELEC. METER	⊕	STORM SEWER MANHOLE	⊕	WATER TEE	— UGT	UNDERGROUND TEL.
		⊕	ELEC. TRANSFER	⊕	CLEANOUT	⊕	— W	— W	WATER
		⊕	ELEC. BOX	⊕	DOWNSPOUT	⊕	— P XX	— P XX	PROPOSED UTILITY LINE
		⊕		⊕		⊕	— E XX	— E XX	EXISTING UTILITY LINE
		⊕		⊕		⊕	—	—	FENCE LINE

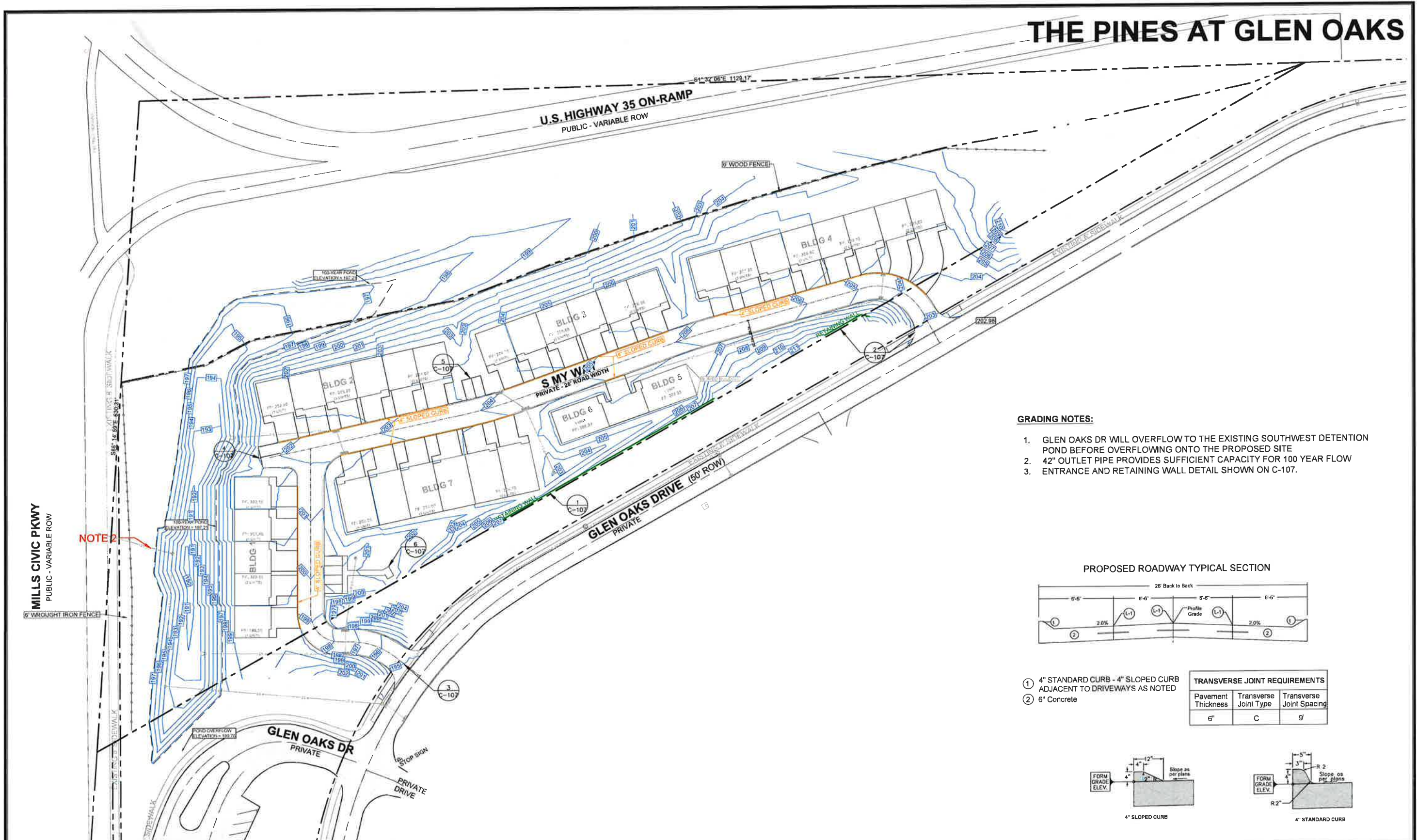


**THE PINES AT GLEN OAKS**  
**SWC OF MILLS CIVIC PKWY & INTERSTATE 35**  
**WEST DES MOINES, IA**

DATE: 3.28.2023	PROJECT: 20-149
SCALE: 1"=40'	DATE: 3.28.2023
C-105 - DIMENSION SHEET	

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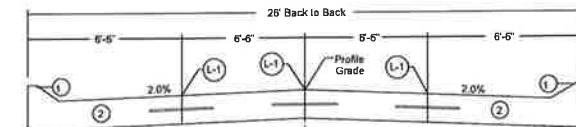
# THE PINES AT GLEN OAKS



### GRADING NOTES:

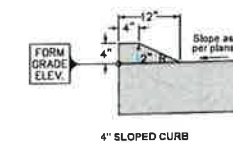
- GLEN OAKS DR WILL OVERFLOW TO THE EXISTING SOUTHWEST DETENTION POND BEFORE OVERFLOWING ONTO THE PROPOSED SITE
- 42" OUTLET PIPE PROVIDES SUFFICIENT CAPACITY FOR 100 YEAR FLOW
- ENTRANCE AND RETAINING WALL DETAIL SHOWN ON C-107.

### PROPOSED ROADWAY TYPICAL SECTION

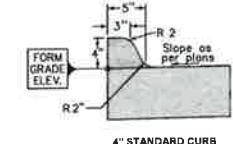


- ① 4" STANDARD CURB - 4" SLOPED CURB ADJACENT TO DRIVEWAYS AS NOTED
- ② 6" Concrete

TRANSVERSE JOINT REQUIREMENTS		
Pavement Thickness	Transverse Joint Type	Transverse Joint Spacing
6"	C	9'



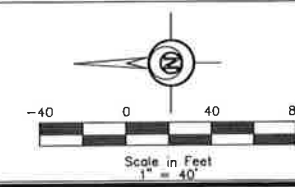
4" SLOPED CURB



4" STANDARD CURB

### LEGEND:

<ul style="list-style-type: none"> <li>F.F. FINISHED FLOOR</li> <li>+/- MORE OR LESS</li> <li>123.45G GUTTER ELEVATION</li> <li>123.45TC TOP OF CURB ELEVATION</li> <li>123.45E EXISTING/PROPOSED ELEVATION</li> <li>FL FLOWLINE ELEVATION</li> <li>CP CONTROL POINT</li> <li>OC CALCULATED CORNER</li> <li>FC FOUND CORNER</li> </ul>	<ul style="list-style-type: none"> <li>▲ CALCULATED SECTION CORNER</li> <li>△ FOUND SECTION CORNER</li> <li>□ PARKING SPACE</li> <li>▽ SIGN</li> <li>○ STREET LIGHT</li> <li>○ POWER POLE</li> <li>○ LIGHT POLE</li> <li>○ AREA LIGHT</li> <li>○ ELEC. TRANSFORMER</li> <li>○ ELEC. METER</li> <li>○ ELEC. BOX</li> </ul>	<ul style="list-style-type: none"> <li>○ ELEC. MANHOLE</li> <li>○ ELEC. VAULT</li> <li>○ GUY ANCHOR</li> <li>○ TEL. JUNCTION BOX</li> <li>○ CABLE TV JUNCTION BOX</li> <li>○ GAS VALVE</li> <li>○ GAS METER</li> <li>○ SANITARY SEWER MANHOLE</li> <li>○ STORM SEWER MANHOLE</li> <li>○ CLEANOUT</li> <li>○ DOWNSPOUT</li> </ul>	<ul style="list-style-type: none"> <li>○ SINGLE INTAKE</li> <li>○ AREA INTAKE</li> <li>○ THROAT INTAKE</li> <li>○ FLARED END SECTION</li> <li>○ VALVE</li> <li>○ FIRE HYDRANT</li> <li>○ WATER METER</li> <li>○ WATER VALVE</li> <li>○ WATER TEE</li> <li>○ PROPOSED UTILITY LINE</li> <li>○ EXISTING UTILITY LINE</li> <li>○ FENCE LINE</li> </ul>	<ul style="list-style-type: none"> <li>— CATV — CABLE TELEVISION</li> <li>— FO — FIBER OPTIC</li> <li>— GAS — GAS LINE</li> <li>— OHE — OVERHEAD ELEC.</li> <li>— OHT — OVERHEAD TEL.</li> <li>— SS — SANITARY SEWER</li> <li>— ST — STORM SEWER</li> <li>— UGE — UNDERGROUND ELEC.</li> <li>— UGT — UNDERGROUND TEL.</li> <li>— W — WATER</li> </ul>
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**THE PINES AT GLEN OAKS**  
**SWC OF MILLS CIVIC PKWY & INTERSTATE 35**  
**WEST DES MOINES, IA**

DATE: 3.28.2023	PROJECT: 20-149	DRAWN BY: B. SHORT	SCALE: 1"=40'
C-106 - GRADING SHEET			

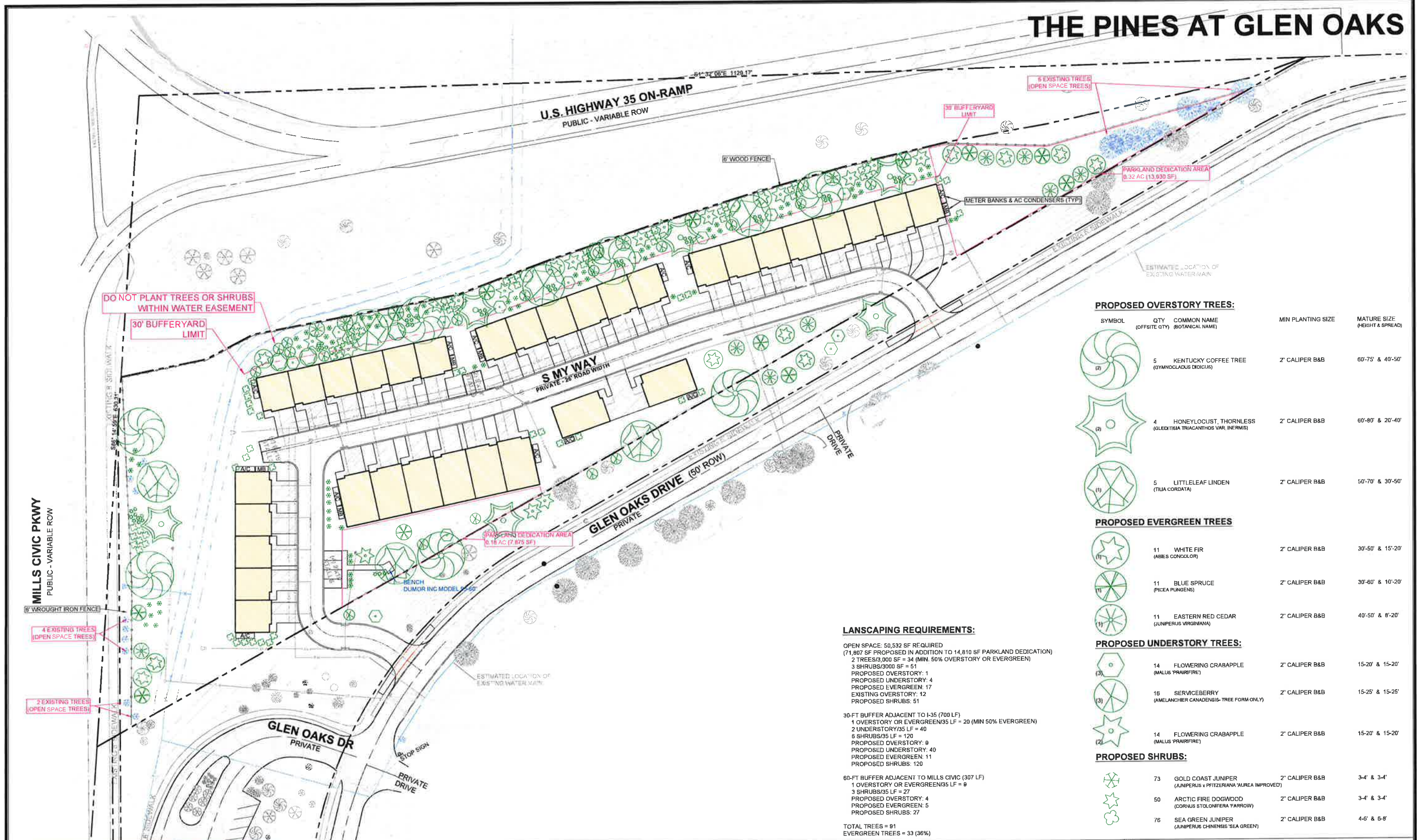
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# THE PINES AT GLEN OAKS



### PROPOSED OVERSTORY TREES:

SYMBOL	QTY (OFFSITE QTY)	COMMON NAME (BOTANICAL NAME)	MIN PLANTING SIZE	MATURE SIZE (HEIGHT & SPREAD)
	5	KENTUCKY COFFEE TREE (GYMNOCLADUS DIOICUS)	2" CALIPER B&B	60'-75' & 40'-50'
	4	HONEYLOCUST, THORNLESS (GLEDTIBIA TRIACANTHOS VAR. INERMIS)	2" CALIPER B&B	60'-80' & 20'-40'
	5	LITTLELEAF LINDEN (TILIA CORDATA)	2" CALIPER B&B	50'-70' & 30'-50'

### PROPOSED EVERGREEN TREES:

	11	WHITE FIR (ABIES CONCOLOR)	2" CALIPER B&B	30'-50' & 15'-20'
	11	BLUE SPRUCE (PICEA PLUNGENS)	2" CALIPER B&B	30'-60' & 10'-20'
	11	EASTERN RED CEDAR (JUNIPERUS VIRGINIANA)	2" CALIPER B&B	40'-50' & 8'-20'
	14	FLOWERING CRABAPPLE (MALUS PRAIRIFIRE)	2" CALIPER B&B	15'-20' & 15'-20'
	16	SERVICEBERRY (AMELANCHIER CANADENSIS-TREE FORM ONLY)	2" CALIPER B&B	15'-25' & 15'-25'
	14	FLOWERING CRABAPPLE (MALUS PRAIRIFIRE)	2" CALIPER B&B	15'-20' & 15'-20'

### PROPOSED SHRUBS:

	73	GOLD COAST JUNIPER (JUNIPERUS x PFTIZERIANA 'AUREA IMPROVED')	2" CALIPER B&B	3'-4' & 3'-4'
	50	ARCTIC FIRE DOGWOOD (CORNUS STOLONIFERA 'FARROW')	2" CALIPER B&B	3'-4' & 3'-4'
	76	SEA GREEN JUNIPER (JUNIPERUS CHINENSIS 'SEA GREEN')	2" CALIPER B&B	4'-6' & 5'-8'

### LANDSCAPING REQUIREMENTS:

OPEN SPACE: 50,532 SF REQUIRED  
 (71,807 SF PROPOSED IN ADDITION TO 14,810 SF PARKLAND DEDICATION)  
 2 TREES/3,000 SF = 34 (MIN. 50% OVERSTORY OR EVERGREEN)  
 3 SHRUBS/3000 SF = 51  
 PROPOSED OVERSTORY: 1  
 PROPOSED UNDERSTORY: 4  
 PROPOSED EVERGREEN: 17  
 EXISTING OVERSTORY: 17  
 PROPOSED SHRUBS: 51

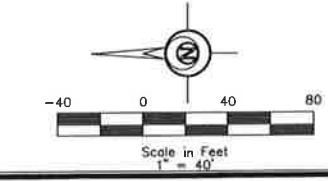
30-FT BUFFER ADJACENT TO I-35 (700 LF)  
 1 OVERSTORY OR EVERGREEN/35 LF = 20 (MIN 50% EVERGREEN)  
 2 UNDERSTORY/35 LF = 40  
 6 SHRUBS/35 LF = 120  
 PROPOSED OVERSTORY: 0  
 PROPOSED UNDERSTORY: 40  
 PROPOSED EVERGREEN: 11  
 PROPOSED SHRUBS: 120

60-FT BUFFER ADJACENT TO MILLS CIVIC (307 LF)  
 1 OVERSTORY OR EVERGREEN/35 LF = 9  
 3 SHRUBS/35 LF = 27  
 PROPOSED OVERSTORY: 4  
 PROPOSED EVERGREEN: 5  
 PROPOSED SHRUBS: 27

TOTAL TREES = 81  
 EVERGREEN TREES = 33 (36%)

### LEGEND:

F.F.	FINISHED FLOOR	▲	CALCULATED SECTION CORNER	⊕	ELEC. MANHOLE	— CATV —	CABLE TELEVISION
+/-	MORE OR LESS	▲	FOUND SECTION CORNER	⊕	ELEC. VAULT	— FO —	FIBER OPTIC
123.45G	GUTTER ELEVATION	□	PARKING SPACE	⊕	GUY ANCHOR	— GAS —	GAS LINE
123.45TC	TOP OF CURB ELEVATION	□	SIGN	⊕	TEL. JUNCTION BOX	— OHE —	OVERHEAD ELEC.
123.45/123.45	EXISTING/PROPOSED ELEVATION	□	STREET LIGHT	⊕	CABLE TV JUNCTION BOX	— OHT —	OVERHEAD TEL.
FL	FLOWLINE ELEVATION	□	POWER POLE	⊕	GAS VALVE	— SS —	SANITARY SEWER
⊙	CONTROL POINT	□	LIGHT POLE	⊕	GAS METER	— ST —	STORM SEWER
○	CALCULATED CORNER	□	AREA LIGHT	⊕	SANITARY SEWER MANHOLE	— UGE —	UNDERGROUND ELEC.
●	FOUND CORNER	□	ELEC. TRANSFORMER	⊕	STORM SEWER MANHOLE	— UGT —	UNDERGROUND TEL.
		□	ELEC. METER	⊕	CLEANOUT	— W —	WATER
		□	ELEC. BOX	⊕	DOWNSPOUT	— XX —	PROPOSED UTILITY LINE
		□		⊕		— EX —	EXISTING UTILITY LINE



**THE PINES AT GLEN OAKS**  
**SWC OF MILLS CIVIC PKWY & INTERSTATE 35**  
**WEST DES MOINES, IA**

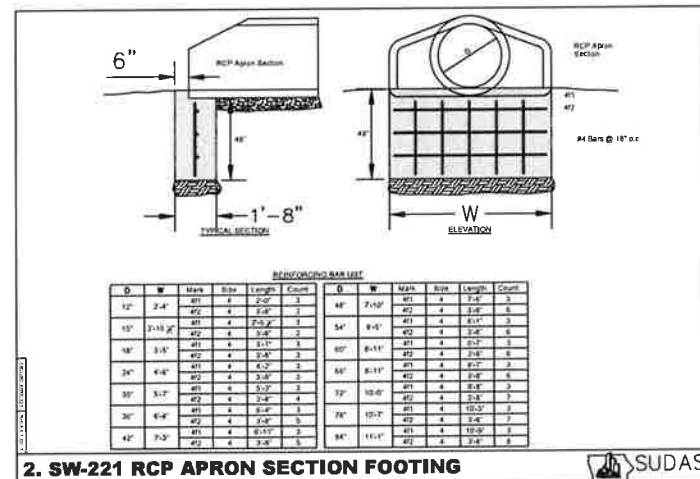
DATE: 3.28.2023  
 SHEET: 20-149  
 PROJECT: C-110 - LANDSCAPING SHEET

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④ BUILDING 1 - THREE BEDROOM UNITS - LEFT ELEVATION



③ BUILDING 1 - THREE BEDROOM UNITS - RIGHT ELEVATION



② BUILDING 1 - THREE BEDROOM UNITS - REAR ELEVATION



① BUILDING 1 - THREE BEDROOM UNITS - FRONT ELEVATION

THE PINES AT GLEN OAKS  
WEST DES MOINES, IA/VA

REVISION DATE

PERMIT

BUILDING 1 - THREE BEDROOM UNITS - EXTERIOR ELEVATIONS



⑤ BUILDING 3 - THREE BR UNITS - LEFT ELEVATION



⑤ BUILDING 2 - THREE BR UNITS - RIGHT ELEVATION



⑤ BUILDING 2 - THREE BR UNITS - LEFT ELEVATION



⑤ BUILDING 2 - THREE BR UNITS - RIGHT ELEVATION



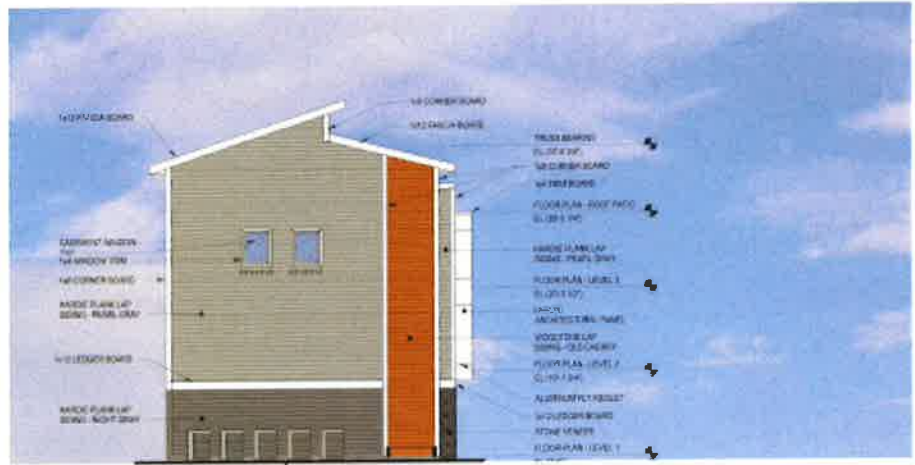
② BUILDING 2 & 3 - THREE BEDROOM UNITS - REAR ELEVATION



② BUILDING 2 & 3 - THREE BEDROOM UNITS - FRONT ELEVATION

14 THE PINES AT GLEN OAKS  
 WEST DES MOINES, IOWA

PERMIT



4 BUILDING 4 - THREE BEDROOM UNITS - LEFT ELEVATION



3 BUILDING 4 - THREE BEDROOM UNITS - RIGHT ELEVATION



2 BUILDING 4 - THREE BEDROOM UNITS - REAR ELEVATION

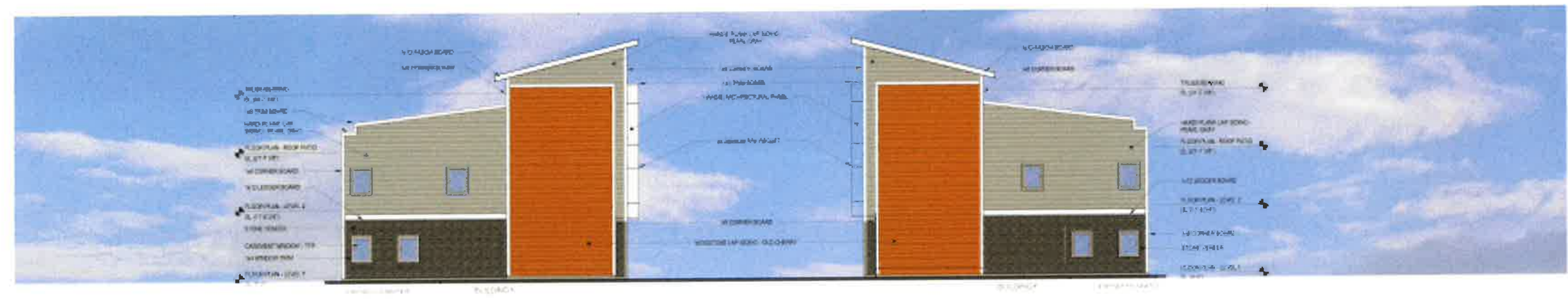


1 BUILDING 4 - THREE BEDROOM UNITS - FRONT ELEVATION

THE PINES AT GLEN OAKS  
WEST DES MOINES, IOWA

REVISION  
DATE

PERMIT



6 BUILDINGS 5 & 6 - SIDE ELEVATION



5 BUILDINGS 5 & 6 - SIDE ELEVATION



4 BUILDING 5 - REAR ELEVATION



3 BUILDING 5 - FRONT ELEVATION



2 BUILDING 6 - REAR ELEVATION



1 BUILDING 6 - FRONT ELEVATION

THE PINES AT GLEN OAKS  
 WEST DES MOINES, IOWA  
 REVISION 05/17/2017

PERMIT

BUILDING 5 & 6 -  
 EXTERIOR ELEVATIONS



④ BUILDING 7 - LEFT ELEVATION



③ BUILDING 7 - RIGHT ELEVATION



② BUILDING 7 - REAR ELEVATION



① BUILDING 7 - 2 STORY - FRONT ELEVATION

PROJECT NAME  
**THE PINES AT GLEN OAKS**  
 WEST DES MOINES, IOWA

REVISION  
 DATE: 1/20/18

PERMIT

DATE: 1/20/18  
 11:00 AM  
**BUILDING 7 - EXTERIOR ELEVATIONS**