

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** May 22, 2023

**ITEM:** S. 11<sup>th</sup> Street Warehouse, 225 S. 11<sup>th</sup> Street – Approve Site Plan to allow construction of a 31,670 sq ft warehouse building – Steffes Holdings LLC – SP-005925-2023

**Resolution: Approval of Site Plan**

**Background:** Nicole Neal with Civil Design Advantage, on behalf of the applicant and property owner, Steffes Holdings LLC, request approval of the Site Plan for the 2.9-acre property located at 225 S. 11<sup>th</sup> Street. The applicant proposes to construct an approximately 31,670 square foot warehouse building and associated site improvements for Renewal by Andersen.

**Staff Review & Comment:**

- **Financial Impact:** No City funding of the project. Staff time for processing of development application and inspections during construction.
- **History:** 275 S. 11<sup>th</sup> Street Plat of Survey Parcel '2022-22' (POS-005499-2022) to create a 2.9 acre parcel for transfer of ownership for future development was approved on April 4, 2022.
- **Key Development Aspects:**
  1. **Right-of Way Dedication:** In alignment with the City Council direction as part of the 2022 Plat of Survey, staff requested the 0.08 acres of right-of-way for S. 11<sup>th</sup> Street that currently is held by easement be deeded in fee title to the City of West Des Moines. The property owners have provided staff with this deed.
  2. **Architecture:** The proposed building is a two-story office and warehouse building clad primarily in white corrugated metal panel with dark accent brick at the first-floor level located along the front office portions of the building with a white standing seam metal roof. Staff is continuing to work with the applicant to determine an appropriate architectural element or transition point for the masonry along the south side façade to allow the brick to transition back to metal panel at the first-floor level as it wraps the side and rear façade of the building. The back (west) side of the building houses the loading docks and service areas to provide the undesirable areas of the building away from the street and public views of the building.
- **Traffic Impact Study Findings:** Traffic Impact Study was completed on March 30, 2023. The proposed development is expected to generate more traffic than previously estimated in full-build modeling for the area. The existing roadway geometry and traffic controls have adequate capacity to accommodate the increase in traffic. The planned access points on S. 11<sup>th</sup> Street have adequate spacing from upstream and downstream intersections. The planned throat distances from the public street to the first internal conflict points are adequate. A two-lane section for the driveway approaches is expected to operate with acceptable levels of service.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original

entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

**Outstanding Issues:** There are no outstanding issues.

**Planning and Zoning Commission Action:**

Date: May 22, 2023

Vote:

Recommendation:

**Recommendation:** Approve the Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The applicant agreeing to continue to work with staff to address final architectural plans prior to City Council approval.

**Lead Staff Member:** Kate Devine

**Approval Meeting Dates:**

Planning and Zoning Commission	May 22, 2023
City Council	

**Staff Report Reviews:**

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

**Publications (if applicable)**

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

**Council Subcommittee Review (if applicable)**

Subcommittee	Development & Planning
Date Reviewed	5/1/23
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

### Location Map



### Vicinity Map – Land Uses



# SITE PLAN FOR:

# S 11TH STREET WAREHOUSE

## WEST DES MOINES, IOWA

**VICINITY MAP**  
NOT TO SCALE



**OWNER/APPLICANT**

STEFFES HOLDINGS LLC  
517 RAILROAD AVENUE  
WEST DES MOINES, IA 50265-4726  
CONTACT: WENDY STEFFES  
EMAIL: WENDY@RBADESMOINES.COM  
PH: (515) 203-3707

**ENGINEER**

CIVIL DESIGN ADVANTAGE  
4121 NW URBAN DALE DRIVE  
URBAN DALE, IA 50322  
CONTACT: NIKKI NEAL  
EMAIL: NICOLEN@CDA-ENG.COM  
PH: (515) 369-4400

**SURVEYOR**

CIVIL DESIGN ADVANTAGE, LLC  
4121 NW URBAN DALE DRIVE  
URBAN DALE, IA 50322  
CONTACT: CHARLIE MCGLATHLEN  
EMAIL: CHARLIE@CDA-ENG.COM  
PH: (515) 369-4400

**ARCHITECT**

RAINS ARCHITECTURE  
CONTACT: JEFF RAINS  
EMAIL: JEFF@RAINSARCH.COM  
PH: (515) 314-8696

**SUBMITTAL DATES**

FIRST SUBMITTAL: 02/03/2023  
SECOND SUBMITTAL: 03/14/2023  
THIRD SUBMITTAL: 03/31/2023  
FOURTH SUBMITTAL: 04/26/2023

**LEGAL DESCRIPTION**

PARCEL '2022-22', AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 19085, PAGE 852, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN, ALL IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA AND CONTAINING 2.90 ACRES (126,476 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

**ZONING**

GI: GENERAL INDUSTRIAL

**PROJECT SITE ADDRESS**

225 S 11TH STREET

**EXISTING/ PROPOSED USE**

EXISTING: UNDEVELOPED

PROPOSED: WAREHOUSE

**DEVELOPMENT SUMMARY**

<b>SITE AREA</b>	2.90 AC (126,476 SF)
<b>SETBACKS</b>	
FRONT:	40 FT
SIDE:	35 FT
REAR:	0 FT
IF ADJOINING SIMILAR DISTRICT:	35 FT
PARKING (ALL SIDES):	10 FT
<b>OPEN SPACE</b>	
REQUIRED:	25,295 SF (20%)
OPEN SPACE PROVIDED:	27,910 SF (22%)
<b>IMPERVIOUS AREA</b>	
PROPOSED:	
BUILDING:	31,649 SF
LIGHT DUTY PAVING:	13,636 SF
STANDARD DUTY PAVING:	46,356 SF
HEAVY DUTY PAVING:	3,095 SF
SIDEWALK:	3,830 SF
TOTAL IMPERVIOUS AREA:	98,566 SF
<b>PARKING</b>	
REQUIRED:	
WAREHOUSE (14,674 SF) (0.75/1,000 SF GFA):	11 SPACES
GYM (4,760 SF) (0.75/1,000 SF GFA):	4 SPACES
OFFICE (12,215 SF) (3.5/1,000 SF GFA):	43 SPACES
MEZZANINE (11,468 SF) (0.75/1,000 SF GFA):	9 SPACES
TOTAL REQUIRED:	67 SPACES
PROVIDED:	
STANDARD:	65 SPACES
ACCESSIBLE:	4 SPACES
FUTURE:	23 SPACES
TOTAL PROVIDED:	92 SPACES

**DATE OF SURVEY**

08/09/2022

**BENCHMARKS**

**WDM BM 058**  
WEST DES MOINES STANDARD BENCHMARK LOCATED AT THE INTERSECTION OF 4TH STREET AND RAILROAD AVENUE, NORTHWEST CORNER OF INTERSECTION, 41 FEET WEST OF CENTERLINE OF 4TH STREET, 55± FEET NORTH OF CENTERLINE OF RAILROAD AVENUE  
NAV88=812.24  
WDM DATUM=38.23

**WDM BM 046**  
WEST DES MOINES STANDARD BENCHMARK LOCATED 560 SOUTH 18TH STREET, 48.5 FEET SOUTH OF THE NORTHWEST CORNER OF THE CITY OF WEST DES MOINES PUBLIC WORKS BUILDING, 4 FEET WEST OF THE BUILDING  
NAV88=819.97  
WDM DATUM=45.96

**INDEX OF SHEETS**

NO.	DESCRIPTION
C0.0	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY/DEMOLITION PLAN
C2.1	DIMENSION PLAN
C3.1-C3.2	GRADING PLAN
C4.1	EROSION AND SEDIMENT CONTROL PLAN
C5.1	UTILITY PLAN
C6.1-C6.4	DETAILS
L1.1	LANDSCAPE PLAN
L2.1	LANDSCAPE DETAILS

**GENERAL LEGEND**

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED	GAS MAIN
MINIMUM PROTECTION ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE



**UTILITY WARNING**

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

**CIVIL DESIGN ADVANTAGE**  
4121 NW URBAN DALE DRIVE, URBAN DALE, IA 50322  
PH: (515) 369-4400  
PROJECT NO. 2206.421  
CITY OF WEST DES MOINES NO. SP-005925-2023

REFER TO GEOTECH ENGINEERING REPORT NO. 231158 DATED MARCH 24, 2023 BY ALLENDER BUTZKE ENGINEERS INC. FOR GEOTECHNICAL REQUIREMENTS.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ANY CITY SUPPLEMENTAL SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

**PRELIMINARY NOT FOR CONSTRUCTION**

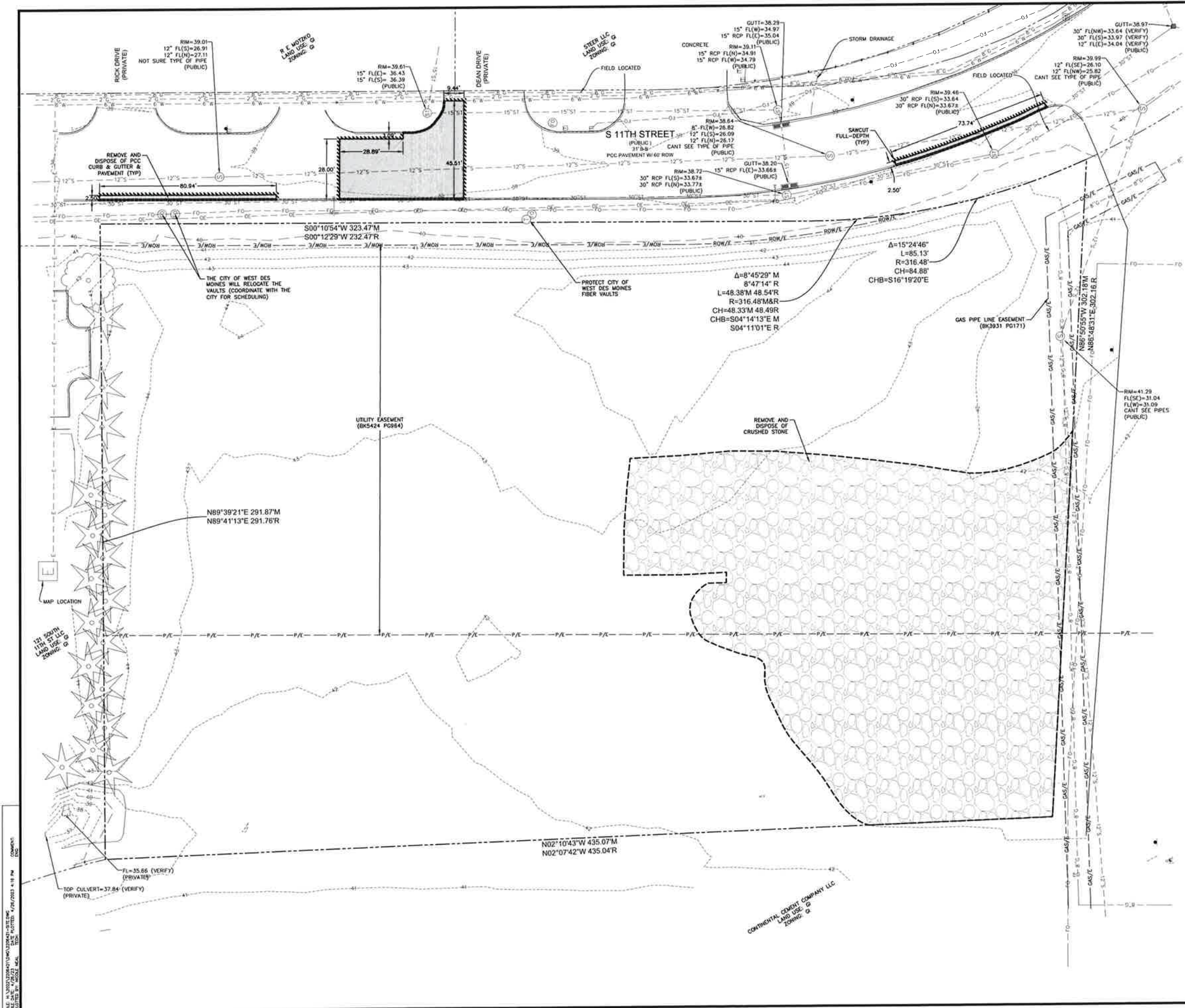
DATE: \_\_\_\_\_  
LICENSE RENEWAL DATE IS DECEMBER 31, 2024  
PAGES OR SHEETS COVERED BY THIS SEAL:  
SHEETS C0.0, C1.1, C2.1, C3.1-C3.2, C4.1, C5.1 AND C6.1-6.4

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

**PRELIMINARY NOT FOR CONSTRUCTION**

DATE: \_\_\_\_\_  
LICENSE RENEWAL DATE IS JUNE 30, 2024  
PAGES OR SHEETS COVERED BY THIS SEAL:  
SHEET L1.1 AND L2.1

FILE IN: URBAN DALE CITY OF WEST DES MOINES PROJECT NO. 2206.421 DATE: 08/09/2022 DRAWN BY: NIKKI NEAL CHECKED BY: NIKKI NEAL



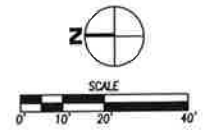
**DEMOLITION NOTES**

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:  
 A. CITY  
 B. APPROPRIATE UTILITY COMPANIES  
 C. OWNER  
 D. CIVIL DESIGN ADVANTAGE  
 E. ARCHITECT
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPERVISOR AND REGULATORY AGENCIES.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
11. CONTRACTOR SHALL REVIEW PAVEMENT REMOVAL LIMITS WITH WDM CONSTRUCTION DIVISION (515-222-3475) FOR ALL WORK WITHIN ROW PRIOR TO COMMENCING WORK.

**TRAFFIC CONTROL NOTES**

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. SIGNING, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON THE APPROACHES TO THE PUBLIC STREETS SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, FEDERAL HIGHWAY ADMINISTRATION).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

DATE	
REVISIONS	
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400 FAX: (515) 369-4410	DRAFTED: ENGINEER
 CIVIL DESIGN ADVANTAGE	
 RENEWAL ENGINEERING	
<b>S 11TH STREET WAREHOUSE</b> <b>TOPOGRAPHIC SURVEY/ DEMOLITION PLAN</b> WEST DES MOINES, IOWA 225 S. 11TH STREET	
DATE	04/26/2023
SHEET NUMBER	C1.1
	2206.421



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 PLOTTED BY: JACOB MALL  
 DATE: 04/26/2023 4:18 PM  
 COMMENT:

DATE	
REVISIONS	

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 DRAFTED: \_\_\_\_\_  
 ENGINEER: \_\_\_\_\_



WEST DES MOINES, IOWA

**S 11TH STREET WAREHOUSE**  
**DIMENSION PLAN**

225 S. 11TH STREET

DATE: 04/26/2023

SHEET NUMBER: **C2.1**  
 2206.421

**GENERAL NOTES**

- THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4" INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2" INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS, STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
- ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
- SIGNING, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON TH APPROACHES TO THE PUBLIC STREETS SHOULD BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, FEDERAL HIGHWAY ADMINISTRATION).

**WEST DES MOINES GENERAL NOTES**

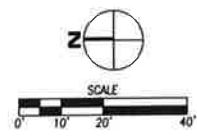
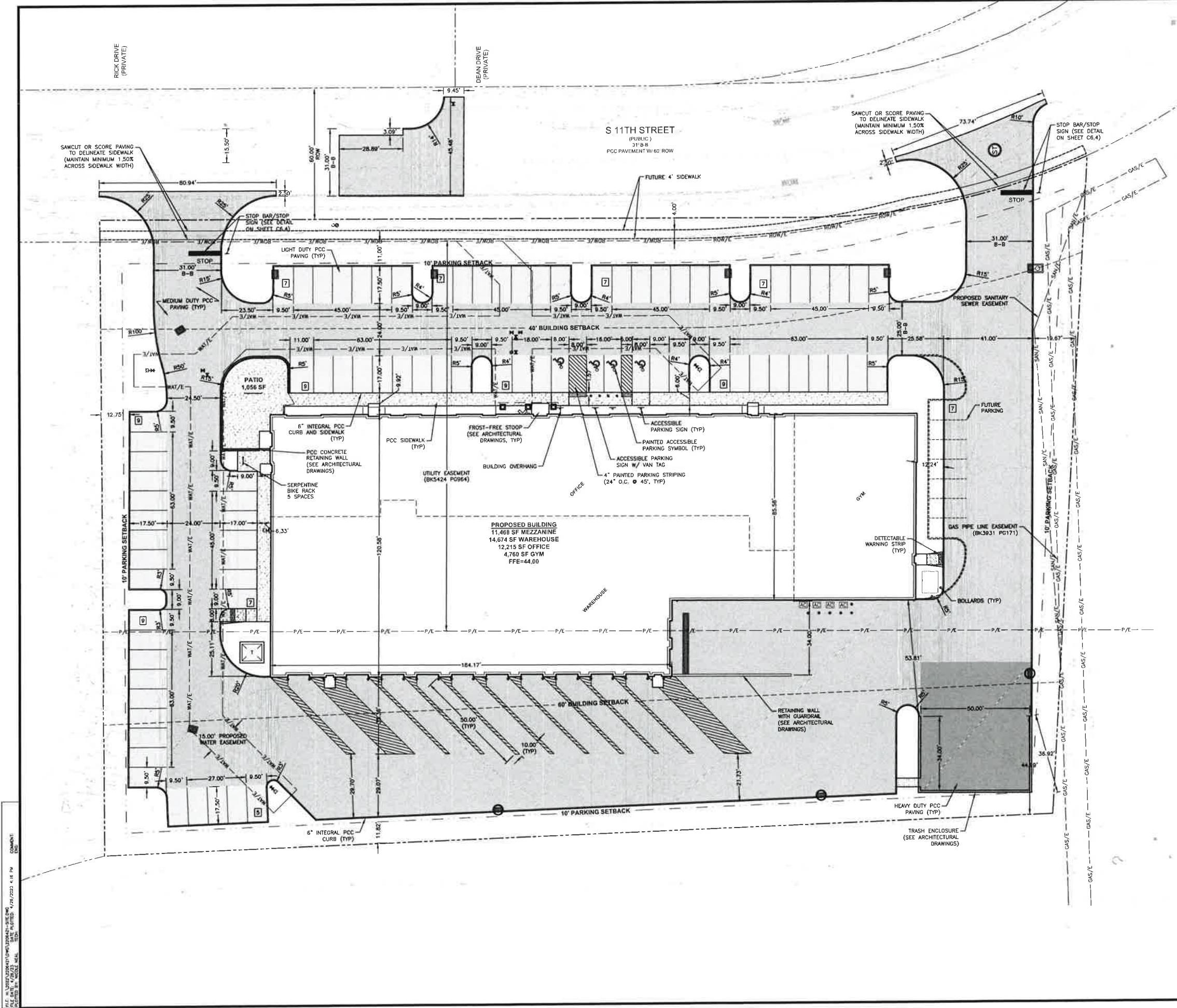
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION (315-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
- DESIGNATED BUFFERS SHALL BE LABELED AS A "NO BUILD AREA".
- ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALLPACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOT-CANDLE.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE 1993 DES MOINES METROPOLITAN DESIGN STANDARDS MANUAL AND ALL WDM ADDENDA.

**WEST DES MOINES CONTRACTOR NOTES**

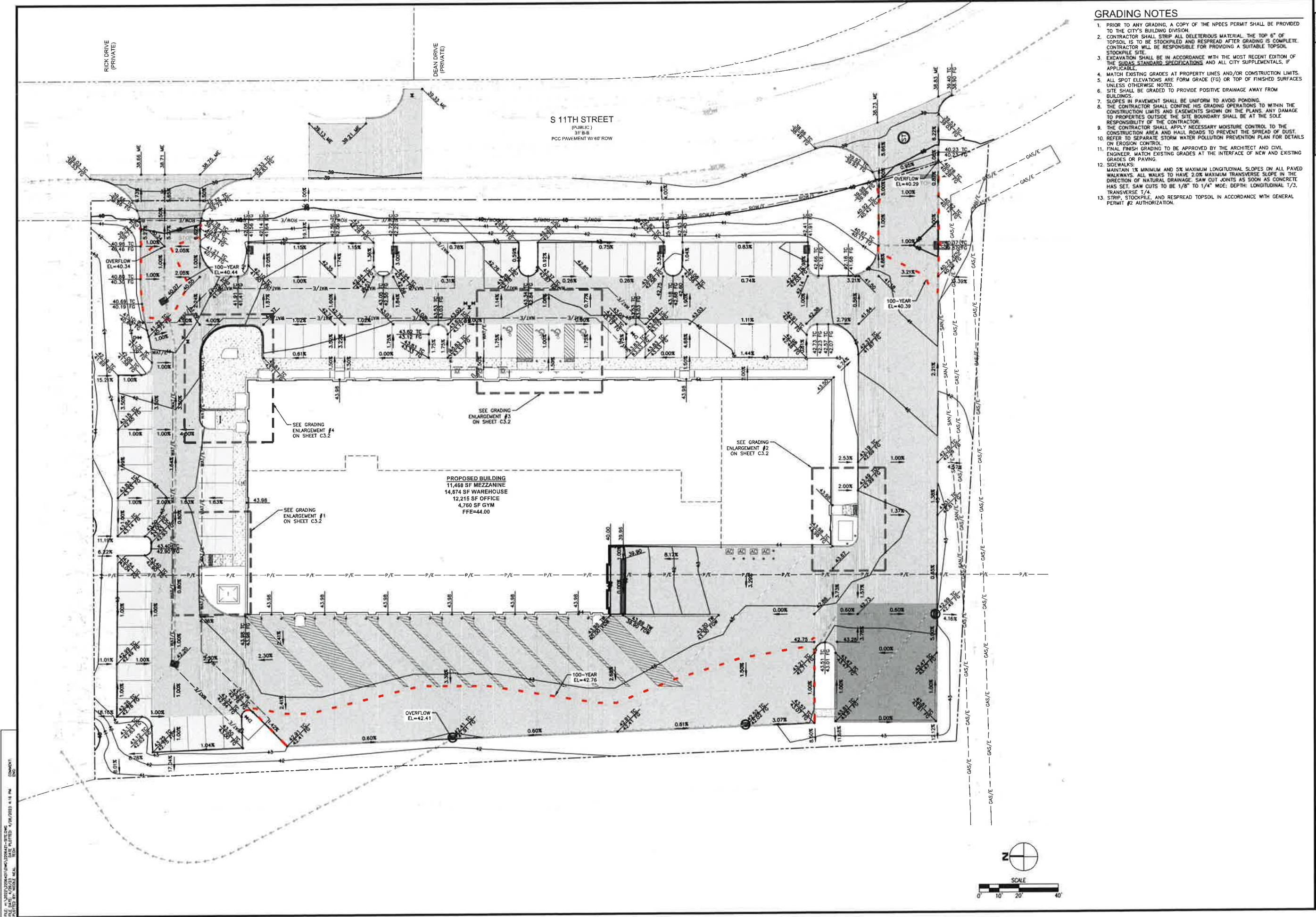
- ALL CONNECTIONS TO THE PUBLIC STORM SEWER SHALL BE CORE DRILLED AND SANITARY SEWE SHALL BE CONNECTED WITH A WYE.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 315-222-3479 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX CUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED. REMOVE TO THE EXISTING LONGITUDINAL JOINT 3' FROM THE BACK OF CURB FOR NEW DRIVEWAYS AND THE NORTH AND SOUTH REMOVAL LIMITS SHALL BE TO EXISTING TRANSVERSE JOINTS.
- COORDINATE STAGING AND TRAFFIC CONTROL WITH WDM EMERGENCY SERVICES.
- LANE CLOSURE NOTICES MUST BE SUBMITTED TO WEST DES MOINES PUBLIC SERVICES FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
- CONTRACTOR SHALL DISCUSS PAVEMENT REMOVAL LIMITS FOR ALL WORK WITHIN THE ROW PRIOR TO COMMENCING WORK.

**PAVEMENT THICKNESS**

1. SIDEWALK	4" P.C.C.	
2. SIDEWALK	6" P.C.C.	
3. LIGHT DUTY PCC PAVEMENT	6" P.C.C.	
4. MEDIUM DUTY PCC PAVEMENT	7" P.C.C.	
5. HEAVY DUTY PCC PAVEMENT	8" P.C.C.	



FILE: H:\2023\AUTUMN\11TH\STREET\WAREHOUSE\SITE PLAN.dwg  
 DATE: 04/26/2023 4:18 PM  
 COMMENT: DIMENSION PLAN  
 DRAWN BY: MOONIE HALL

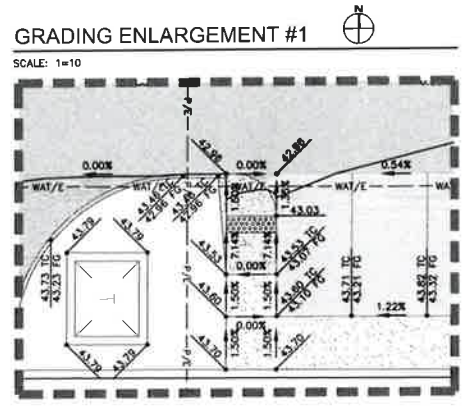
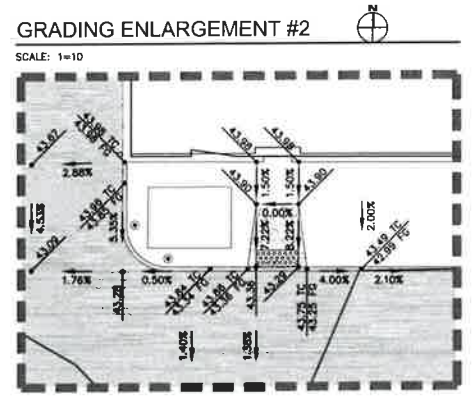
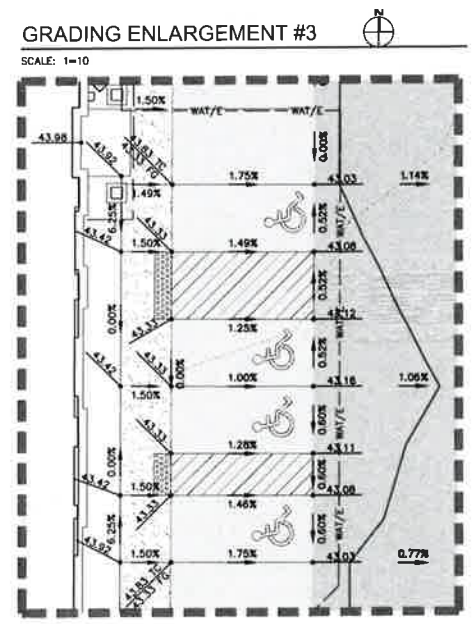
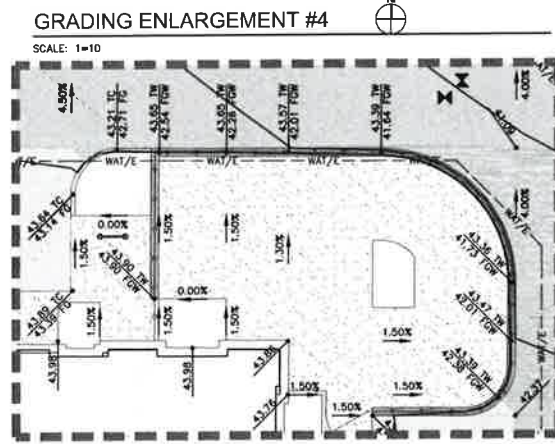


- ### GRADING NOTES
1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
  2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
  3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SURVAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
  4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
  5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
  6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
  7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
  8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HALL ROADS TO PREVENT THE SPREAD OF DUST.
  10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
  11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
  12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
  13. STRIP, STOCKPILE, AND RESPREAD TOPSOIL IN ACCORDANCE WITH GENERAL PERMIT #2 AUTHORIZATION.

DATE	
REVISIONS	
<b>4121 NW URBANDALE DRIVE</b> URBANDALE, IA 50322 PHONE: (515) 369-4400 FAX: (515) 369-4410	
 CIVIL DESIGN ADVANTAGE ENGINEER	
 WEST DES MOINES, IOWA	
<b>S 11TH STREET WAREHOUSE</b> <b>GRADING PLAN</b>	
225 S. 11TH STREET	
DATE:	04/26/2023
SHEET NUMBER:	C3.1 2206.421

FILE: S:\PROJECTS\2023\11TH STREET WAREHOUSE\DWG\C3.1.DWG  
 PLOT DATE: 04/26/2023 11:18 AM  
 PLOT BY: J. MOSELEY

DATE: 04/26/2023 10:00 AM  
DRAWN BY: J. WILSON  
CHECKED BY: M. L. WILSON  
PROJECT: 2206.421



DATE: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: \_\_\_\_\_ DRAFTED: \_\_\_\_\_

**ESA**  
CIVIL DESIGN ADVANTAGE

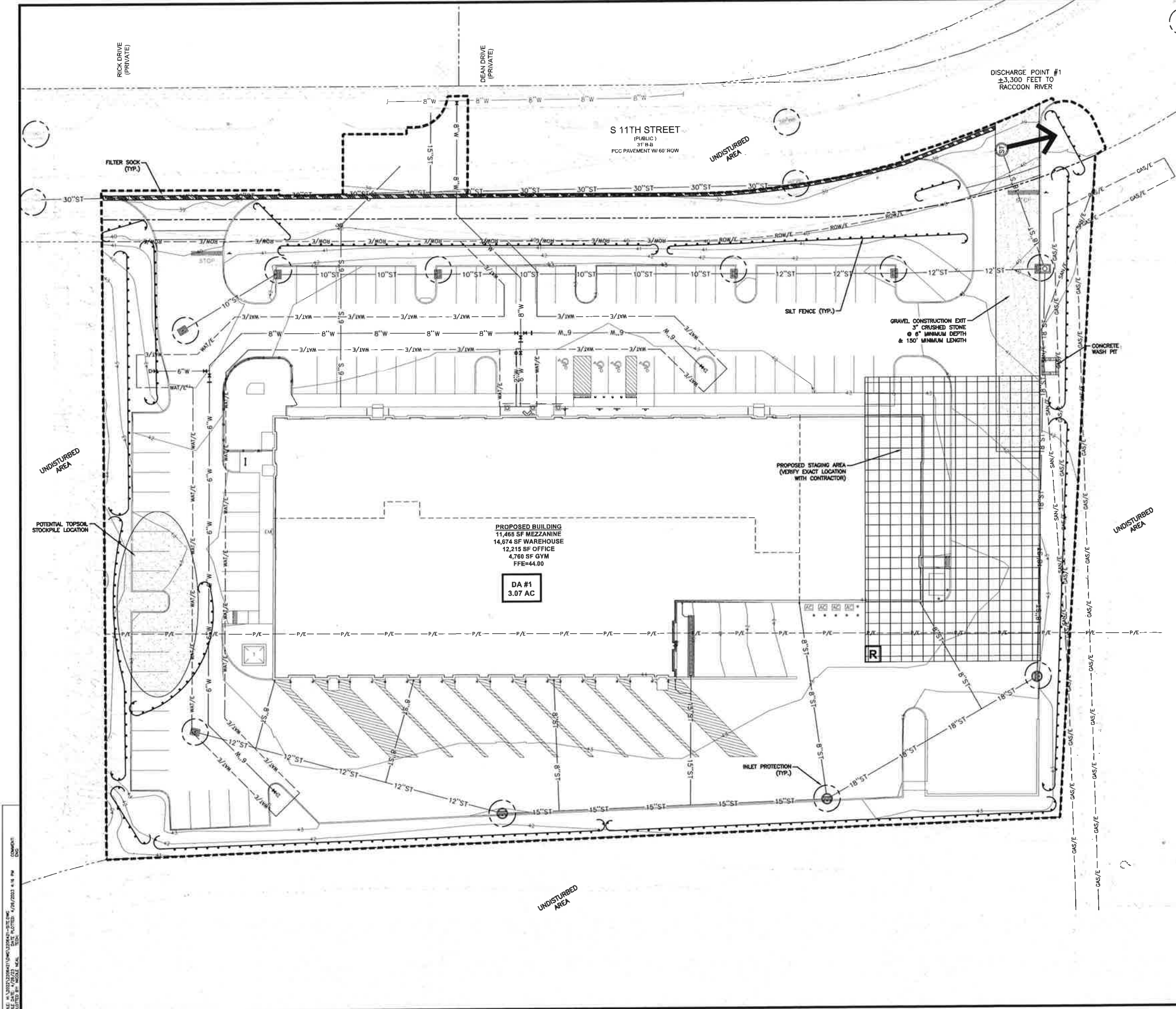
RENEWAL  
WEST DES MOINES, IOWA

**S 11TH STREET WAREHOUSE**  
GRADING PLAN

225 S. 11TH STREET

DATE: 04/26/2023  
SHEET NUMBER: **C3.2**  
2206.421





**STABILIZATION QUANTITIES**

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1,717
2	FILTER SOCK	LF	411
3	SEEDING, FERTILIZING, AND MULCHING	AC	0.61
4	INLET PROTECTION DEVICES	EA	15
5	CONCRETE WASHOUT PIT	EA	1

**DISCHARGE POINT SUMMARY**

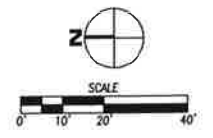
DISCHARGE POINT #1 TO RACCOON RIVER ±3,300 FT  
 TOTAL AREA DISTURBED TO DISCHARGE POINT 3.07 ACRES  
 STORAGE VOLUME REQUIRED (# OF ACRES\*3600 CU FT) 11,052 CU FT  
 VOLUME PROVIDED IN FILTER SOCK (411 LF @ 2.0 CU FT/LF OF SOCK) 822 CU FT  
 VOLUME PROVIDED IN SILT FENCE (1,717 LF @ 6.0 CU FT/LF OF FENCE) 10,302 CU FT  
 TOTAL VOLUME PROVIDED 11,124 CU FT

**SWPPP LEGEND**

- DRAINAGE ARROW X.XX %
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- DITCH CHECK
- INLET PROTECTION
- PORTABLE RESTROOM
- TEMPORARY STANDPIPE
- CONCRETE WASHOUT PIT
- AREA TO BE SEEDED
- STRAW MAT
- UNDISTURBED AREA
- RIP-RAP
- GRAVEL ENTRANCE
- STAGING AREA
- TEMPORARY SEDIMENT TRAP
- TEMPORARY SEDIMENT BASIN

**NOTES**

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.



DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 DRAFTED: \_\_\_\_\_  
 ENGINEER: \_\_\_\_\_  
**E A**  
 CIVIL DESIGN ADVANTAGE  
 RENEWAL  
 ANDERSEN  
 WEST DES MOINES, IOWA  
**S 11TH STREET WAREHOUSE**  
**EROSION AND SEDIMENT CONTROL PLAN**  
 225 S. 11TH STREET  
 DATE: 04/26/2023  
 SHEET NUMBER: **C4.1**  
 2206.421

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400 FAX: (515) 369-4410

CIVIL DESIGN ADVANTAGE ENGINEER: \_\_\_\_\_

WEST DES MOINES, IOWA

**S 11TH STREET WAREHOUSE**  
UTILITY PLAN

225 S. 11TH STREET

DATE: 04/26/2023

SHEET NUMBER: **C5.1**  
2208.421

**UTILITY NOTES**

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
- ALL UTILITIES SHALL BE BRUSHED TO 5 FEET FROM BUILDING. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT HIS OWNERS RISK. INSTALL 24" FENCE AT ALL PERMANENT STORM SEWER INTAKES.
- CONTRACTOR MUST CONTACT WDM CONSTRUCTION DIVISION (515-222-3475) 48-HOURS PRIOR TO STARTING OPEN CUTTING OF THE PUBLIC RIGHT-OF-WAY. BACKFILL AROUND THOSE STRUCTURES AND TRENCHES WITHIN THE PUBLIC ROW SHALL BE IN ACCORDANCE WITH WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS.

**WATER NOTES**

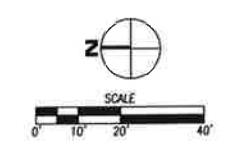
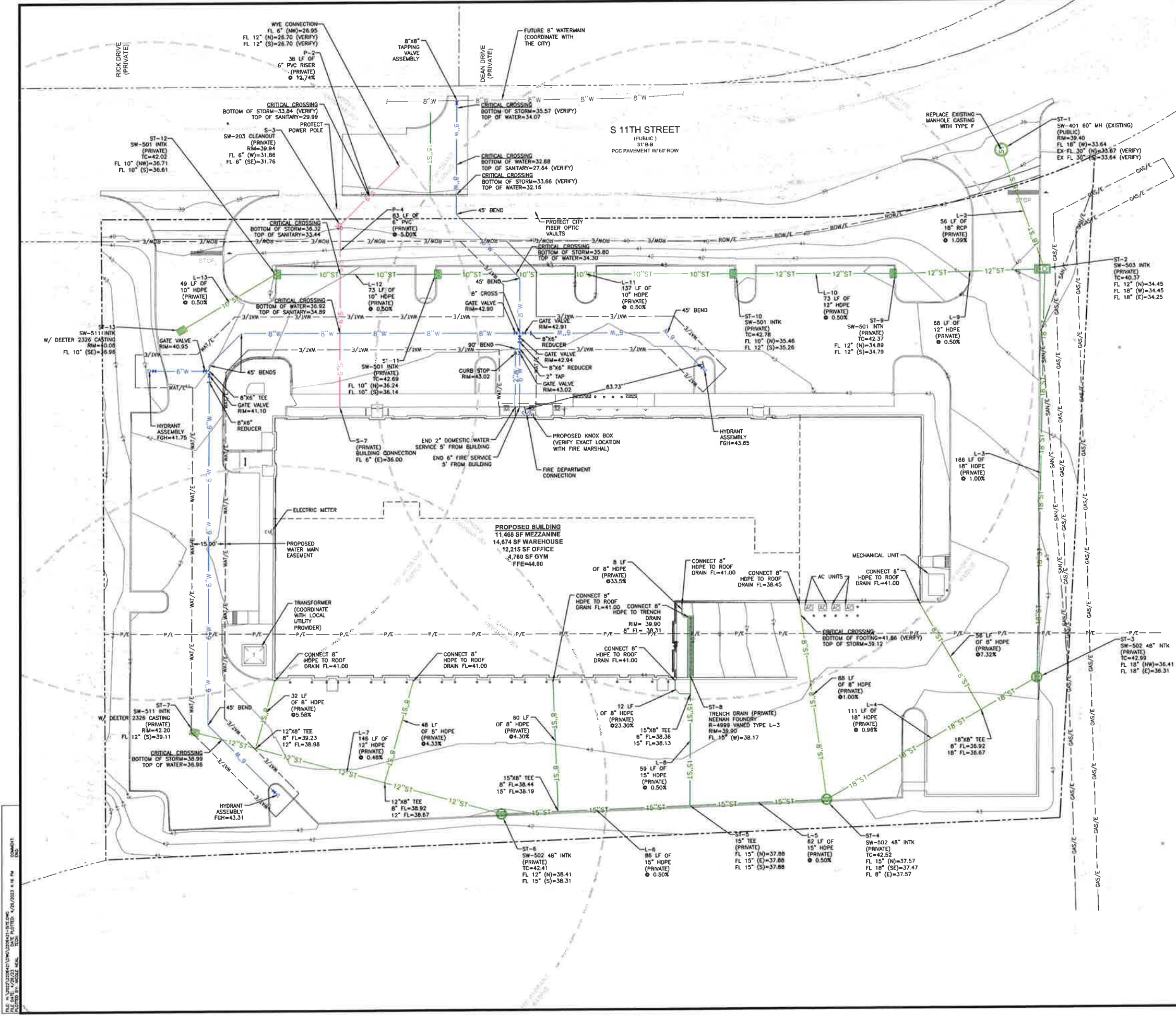
- MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
- ALL WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.

**WEST DES MOINES WATER WORKS STANDARD NOTES**

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS, AVAILABLE AT WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
- ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(ES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-150B. CONTRACTOR SHALL NOTIFY THEIR PROJECTS WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND, WHERE REQUIRED BY THE CITY OF WEST DES MOINES PLUMBING CODE, SHALL INSTALL A PRESSURE REDUCING VALVE(S) WITH EXPANSION TANK(S), WHERE REQUIRED. PRESSURE REDUCING VALVE(S) AND TANK(S) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METER(S) AND BACKFLOW PREVENTION ASSEMBLY(ES) SERVING THE SITE.

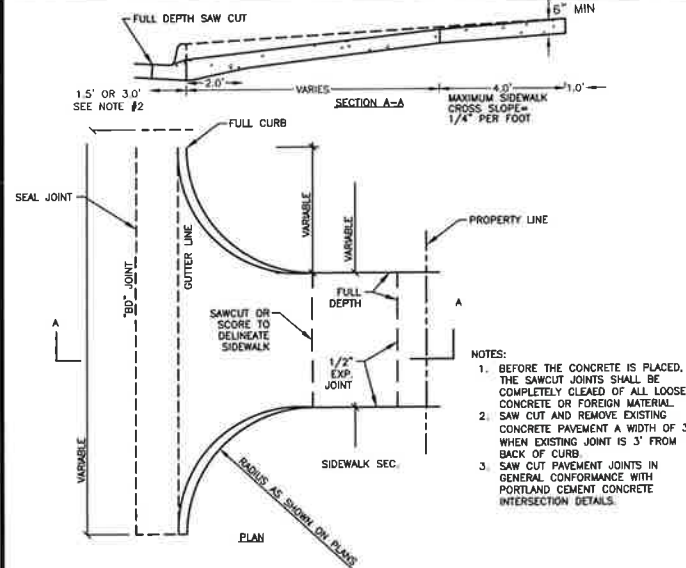
**PRIVATE WATER MAIN QUANTITIES**

HYDRANT ASSEMBLY	3 EA
6" SERVICE	339 LF
6" VALVE	2 EA
2" SERVICE	29 LF
CURB STOP	1 EA
8"x8" TEE	1 EA
8"x8" CROSS	1 EA
TAPPING SLEEVE AND VALVE	1 EA
6" SERVICE	278 LF
8"x8" REDUCER	3 EA
8" VALVE	4 EA



FILE IN "S:\PROJECTS\2023\11TH STREET WAREHOUSE\DWG" FOLDER  
 PROJECT: 11TH STREET WAREHOUSE  
 SHEET: C5.1  
 DATE: 04/26/2023 4:18 PM  
 COMMENT:

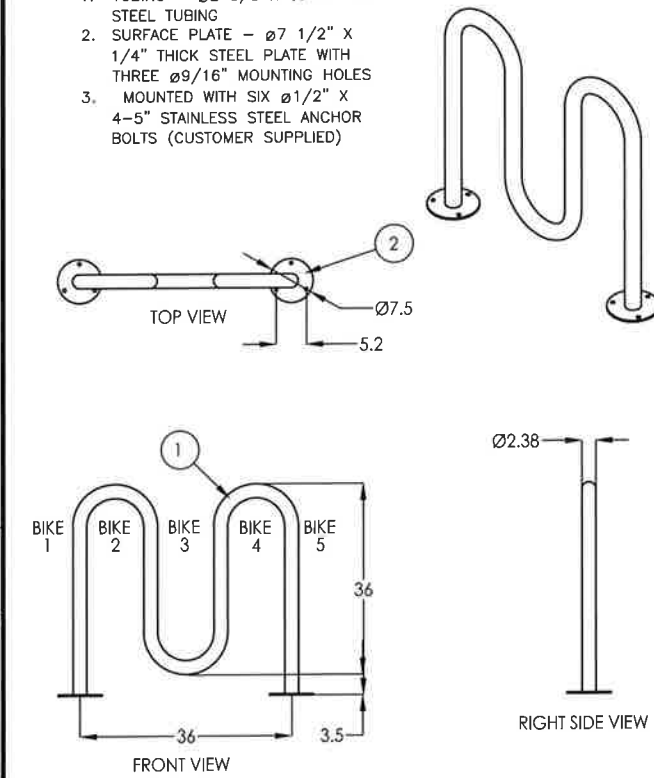
**13 WDM STANDARD DETAIL 7.18 COMMERCIAL DRIVEWAY**  
NOT TO SCALE



TITLE: ECHO BIKE RACK  
PRODUCT NO.: EC2-05-SW

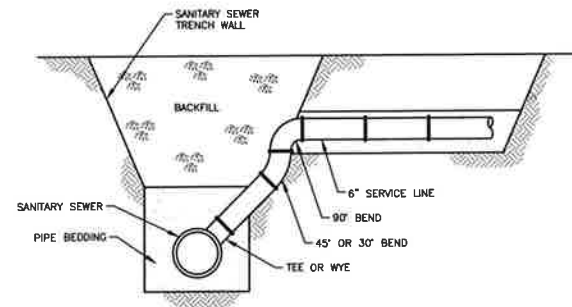
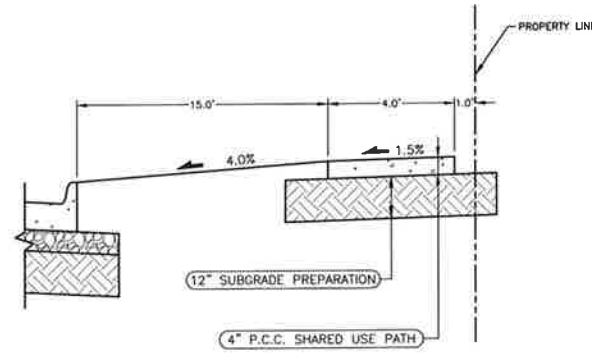
\*AVAILABLE IN POWDER COAT AND DURACOAT FINISHED

- MATERIALS LIST:
1. TUBING -  $\phi 2 \frac{3}{8}$  X 0.154" WALL STEEL TUBING
  2. SURFACE PLATE -  $\phi 7 \frac{1}{2}$  X  $\frac{1}{4}$ " THICK STEEL PLATE WITH THREE  $\phi 9/16$ " MOUNTING HOLES
  3. MOUNTED WITH SIX  $\phi 1/2$  X 4-5" STAINLESS STEEL ANCHOR BOLTS (CUSTOMER SUPPLIED)

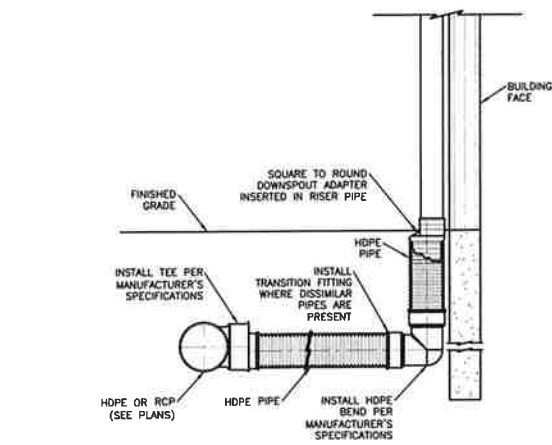


**12 BIKE RACK**  
NOT TO SCALE

**11 TYPICAL ROW SECTION**  
NOT TO SCALE

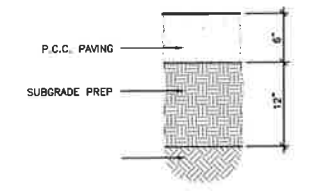


**10 SANITARY SEWER SERVICE RISER**  
NOT TO SCALE

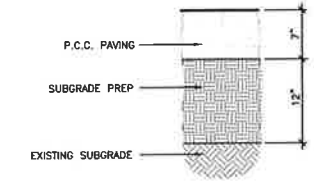


**9 ROOF DRAIN CONNECTION WITH TEE**  
NOT TO SCALE

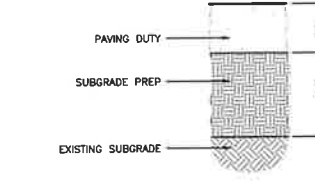
**8 LIGHT DUTY PCC PAVING**  
NOT TO SCALE



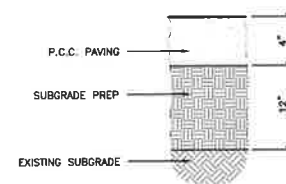
**7 MEDIUM DUTY PCC PAVING**  
NOT TO SCALE



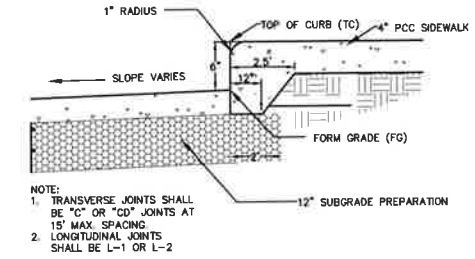
**4 HEAVY DUTY PCC PAVING**  
NOT TO SCALE



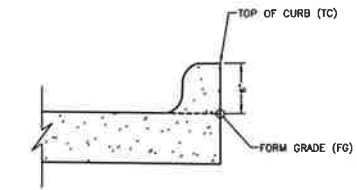
**6 PCC SIDEWALK**  
NOT TO SCALE



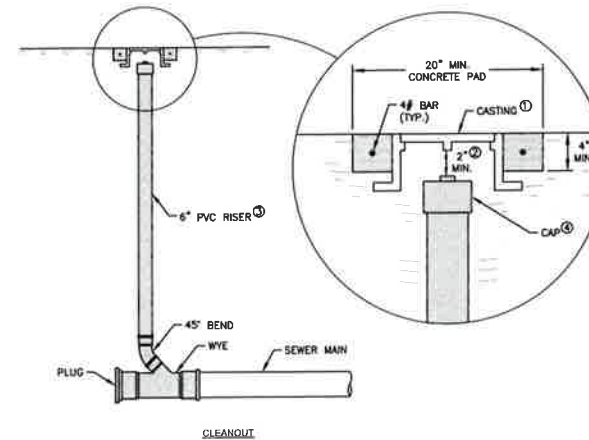
**3 6" INTEGRAL CURB AND SIDEWALK**  
NOT TO SCALE



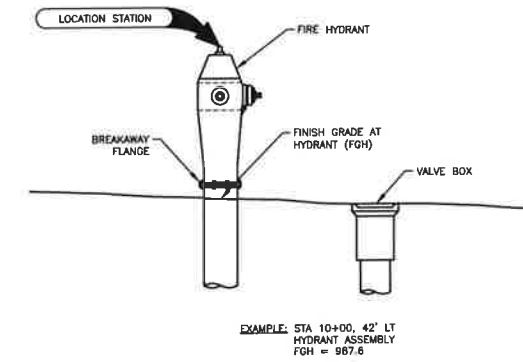
**2 INTEGRAL 6" STANDARD CURB**  
NOT TO SCALE



**5 SW-203 SANITARY SEWER CLEANOUT**  
NOT TO SCALE



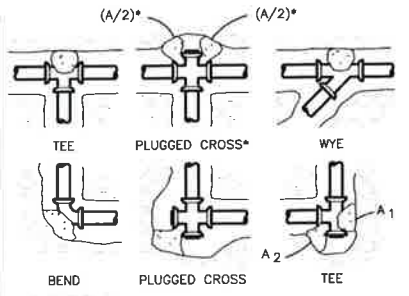
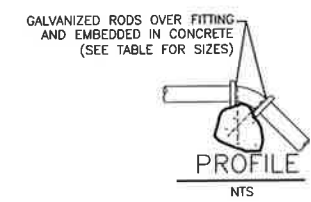
**1 HYDRANT ASSEMBLY SPOT ELEVATION REFERENCE**  
NOT TO SCALE



BEARING AREA OF THRUST BLOCKS IN SQ. FT. (HORIZONTAL BENDS)							
FITTING SIZE	TEE, WYE, PLUG, OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN		BEND ANGLE		
			A1	A2	45°	22 1/2°	11 1/4°
4	1.4	1.9	2.5	1.9	1.4	—	—
6	2.8	4.0	5.7	4.0	2.1	1.4	—
8	5.1	7.1	10.1	7.2	3.9	2.0	1.4
10	7.9	11.2	15.7	11.2	6.1	3.2	1.6
12	11.3	16.0	22.7	16.0	8.8	4.5	2.3
14	15.3	21.7	30.7	21.2	11.9	6.1	3.1
16	20.0	28.4	40.0	28.4	15.5	8.0	4.0
18	25.3	36.0	50.7	36.0	19.5	10.1	5.1
20	31.3	44.4	62.7	44.4	24.1	12.5	6.3
24	45.3	64.0	90.1	64.0	34.9	18.1	9.1

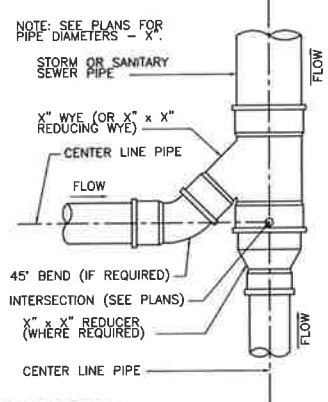
VOLUME OF THRUST BLOCK IN CU. YDS (VERTICAL BENDS)			
FITTING SIZE	BEND ANGLE		
	45°	22 1/2°	11 1/4°
4	1.5	0.6	0.3
6	3.6	1.4	0.6
8	5.3	2.0	0.8
10	8.0	3.1	1.2
12	11.3	4.3	1.7
14	15.3	5.7	2.4
16	19.7	7.5	3.1

FITTING SIZE	ROD SIZE	EMBEDMENT
12" AND LESS	#6	30"
14" - 16"	#8	36"

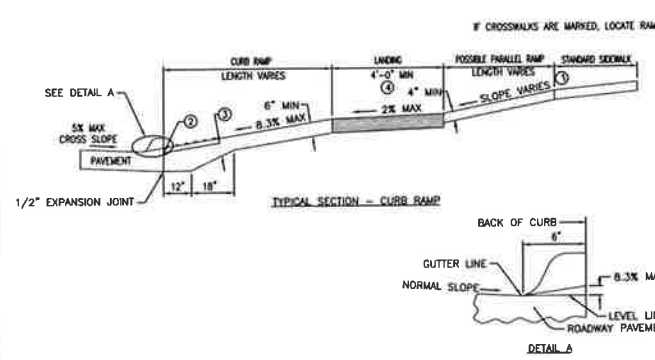


- NOTES:**
- KEEP CONCRETE CLEAR OF JOINT AND JOINT ACCESSORIES. CONCRETE THRUST BLOCKING SHALL BE POURED AGAINST UNDISTURBED EARTH.
  - REQUIRED VOLUMES OR BEARING AREAS AT FITTINGS SHALL BE AS SPECIFIED, AND ADJUSTED AS NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING PRESSURE(S).
  - THRUST BLOCK VOLUMES FOR VERTICAL BENDS HAVING UPWARD RESULTANT THRUSTS ARE BASED ON TEST PRESSURE OF 200 PSIG AND THE WEIGHT OF CONCRETE = 4050 LBS/CU YD. TO COMPUTE VOLUMES FOR DIFFERENT TEST PRESSURES, USE THE FOLLOWING EQUATION: VOLUME = (TEST PRESS./200) x (TABLE VALUE)
  - BEARING AREAS FOR HORIZONTAL BEND THRUST BLOCKS ARE BASED ON TEST PRESSURE OF 200 PSIG AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 LBS/SQ FT. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURES AND SOIL BEARING PRESSURE, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESS./200) x (2000/SOIL BEARING PRESSURE) x (TABLE VALUE).
  - THRUST BLOCKS FOR VERTICAL BENDS HAVING DOWNWARD RESULTANT THRUSTS SHALL BE THE SAME AS FOR HORIZONTAL BENDS.
  - BEARING AREAS, VOLUMES, AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER THIS STANDARD.
  - BEARING AREA OF THRUST BLOCK SHALL NOT BE LESS THAN 1.0 SQ FT.
  - VERTICAL BENDS THAT REQUIRE A THRUST BLOCK VOLUME EXCEEDING 5 CUBIC YARDS REQUIRE SPECIAL BLOCKING, SEE PLANS.

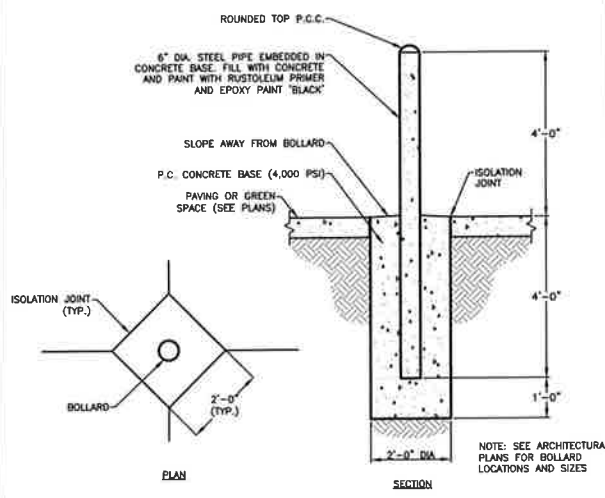
**8 THRUST BLOCKS**  
NOT TO SCALE



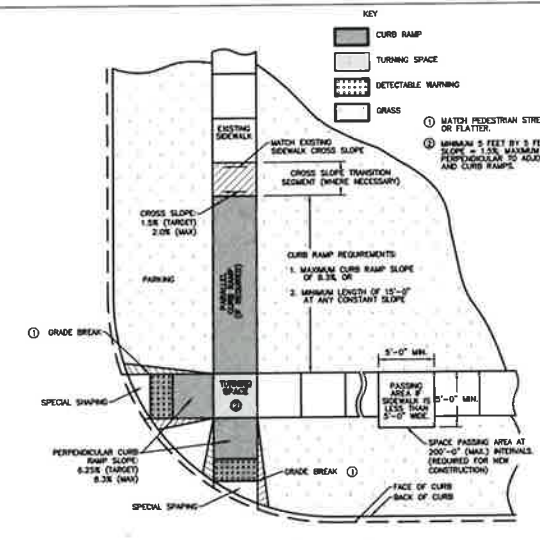
**6 WYE CONNECTION**  
NOT TO SCALE



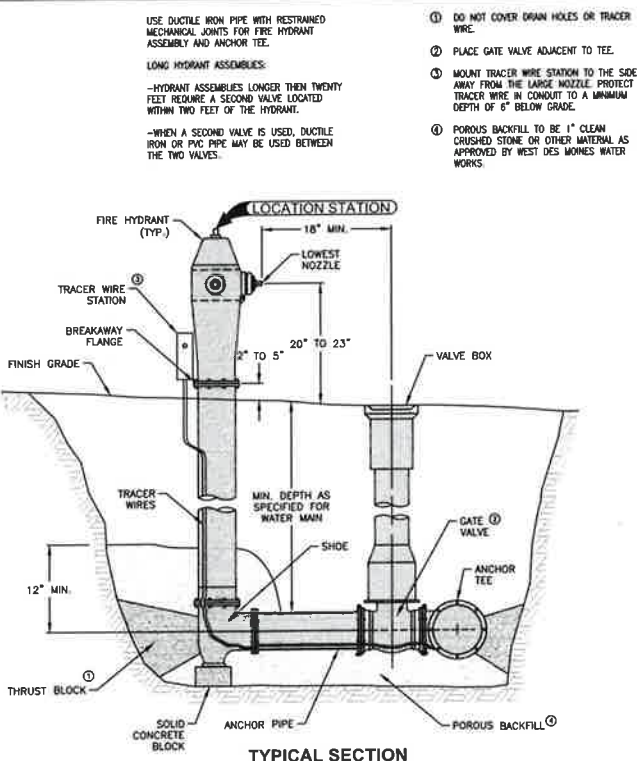
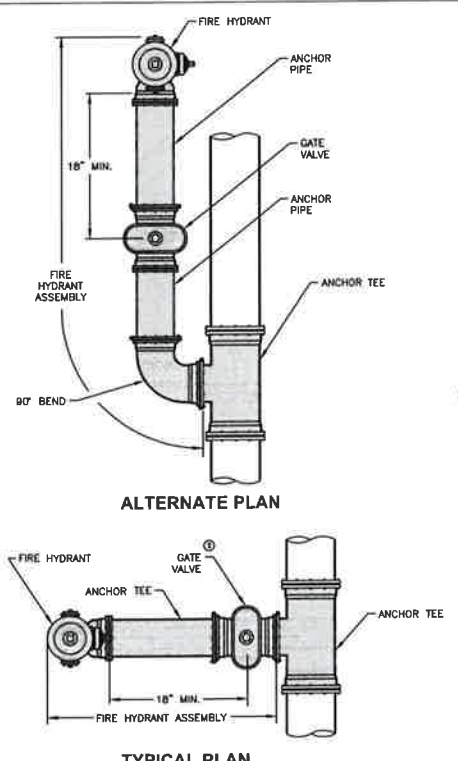
**3 CURB RAMPS GENERAL SECTION**  
NOT TO SCALE



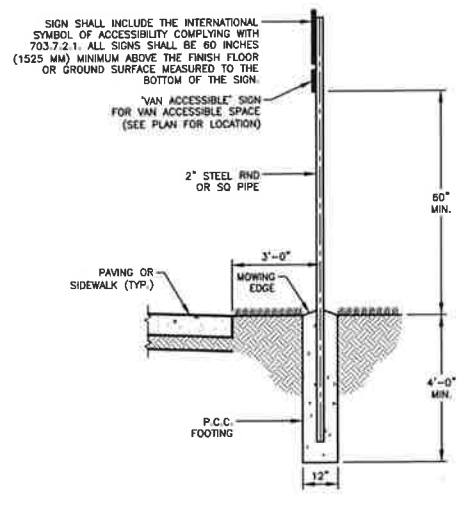
**5 BOLLARD**  
NOT TO SCALE



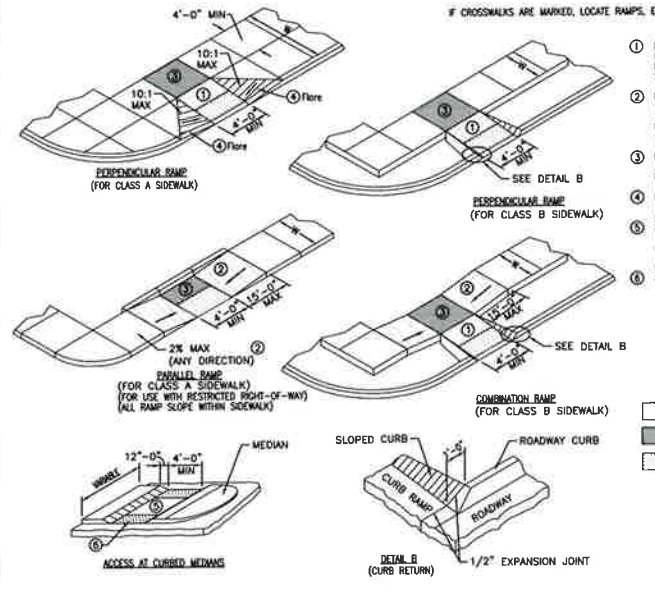
**2 GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK**  
NOT TO SCALE



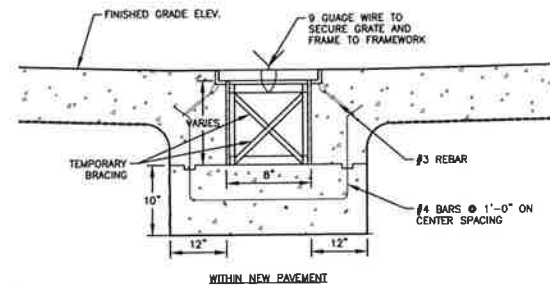
**7 HYDRANT ASSEMBLY - WEST DES MOINES WATER WORKS**  
NOT TO SCALE



**4 ACCESSIBLE PARKING SIGN**  
NOT TO SCALE

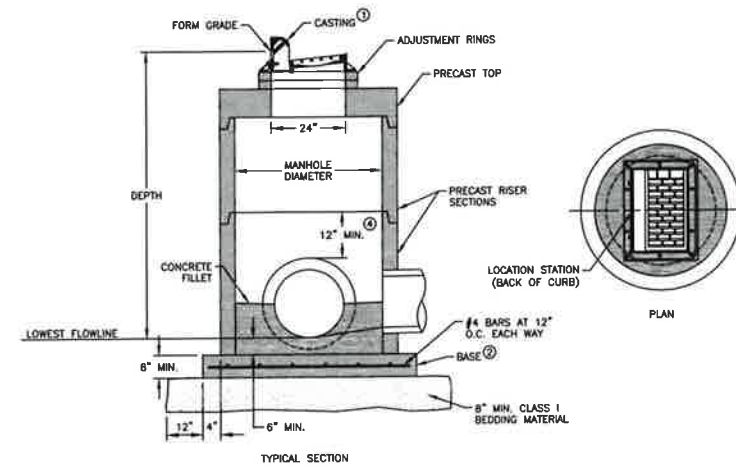


**1 CURB RAMPS OUTSIDE OF INTERSECTION RADIUS**  
NOT TO SCALE



NOTE: 1.) SEE MANUFACTURER'S RECOMMENDATIONS FOR CONSTRUCTION OF NEENAH STRUCTURE.  
NEENAH FOUNDRY COMPANY--CONSTRUCTION CASTINGS CATALOG "R" 12TH ED. PG 286-287  
2.) ALL REBAR USED IN THE STORM DRAIN IS EPOXY-COATED.

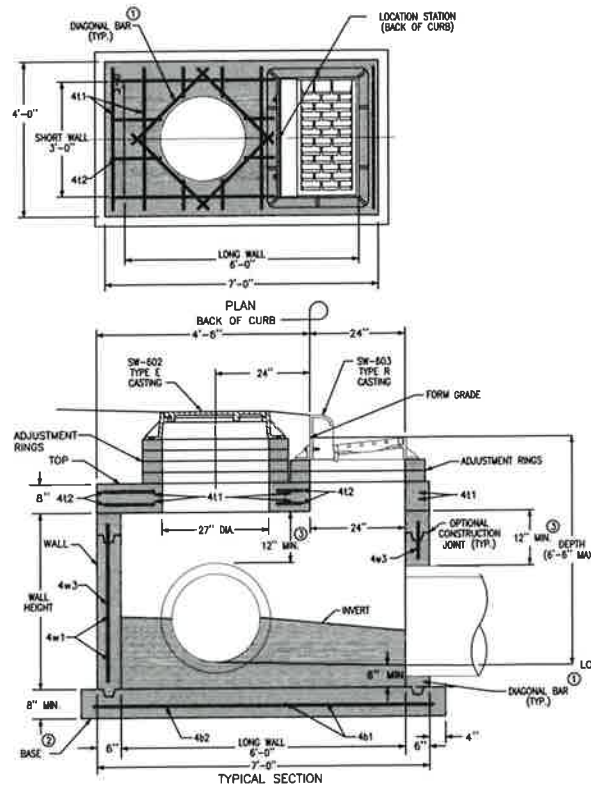
**4 TRENCH DRAIN - HEAVY DUTY, NEENAH**  
NOT TO SCALE



REFER TO SW-514 FOR BOXOUT DETAILS.  
 ① SW-603 TYPE R UNLESS TYPE Q IS SPECIFIED IN THE CONTRACT DOCUMENTS.  
 ② CAST-IN-PLACE BASE SHOWN. BASE MAY BE SQUARE. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.  
 ③ FOR ADDITIONAL CONFIGURATIONS, MAINTAIN A MINIMUM OF 12 INCHES OF CONCRETE BETWEEN VERTICAL EDGES OF PIPE OPENINGS.  
 ④ 12 INCH MINIMUM RISER HEIGHT ABOVE ALL PIPES.

Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	at 180° Separation	at 90° Separation
48	24	18
60	30	24
72	42	30
84	48	36
96	60	42

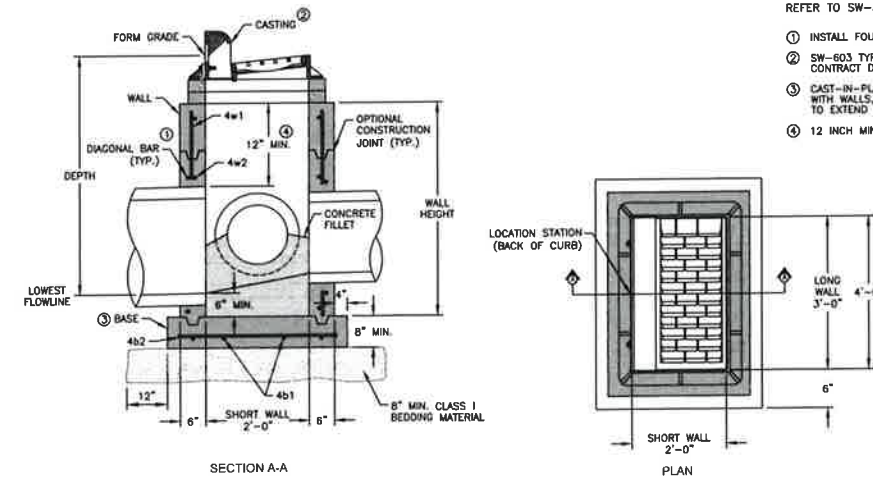
**2 SW-502 CIRCULAR SINGLE GRATE INTAKE**  
NOT TO SCALE



- ① INSTALL FOUR #4 DIAGONAL BARS AT MANHOLE OPENING AND AT ALL PIPE OPENINGS. REFER TO SW-514 FOR BOXOUT DETAILS.
- ② CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
- ③ 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.

MARK	SIZE	LOCATION	SHAPE	COUNT	LENGTH	SPACING
411	4	TOP	—	12	3'-8"	12"
412	4	TOP	—	8	4'-2"	12"
413	4	BASE	—	7	4'-2"	13"
414	4	BASE	—	5	7'-2"	10"
415	4	SHORT WALLS	VARIES	5	3'-8"	12"
416	4	LONG WALLS	VARIES	8	6'-8"	12"
417	4	WALLS	—	18	WALL HEIGHT MINUS 4"	13"

PIPE LOCATION	PRECAST STRUCTURE	CAST-IN-PLACE STRUCTURE
SHORT WALL	24"	30"
LONG WALL	30"	36"



REFER TO SW-514 FOR BOXOUT DETAILS.  
 ① INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS.  
 ② SW-603 TYPE R UNLESS TYPE Q IS SPECIFIED IN THE CONTRACT DOCUMENTS.  
 ③ CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.  
 ④ 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.

Mark	Size	Location	Shape	Length	Count	Spacing
411	4	Walls	—	Wall Height minus 4"	14	12"
412	4	Long Walls	—	3'-8"	Varies	12"
413	4	Short Walls	—	2'-8"	Varies	12"
414	4	Base	—	4'-2"	4	10"
415	4	Base	—	3'-2"	5	10"

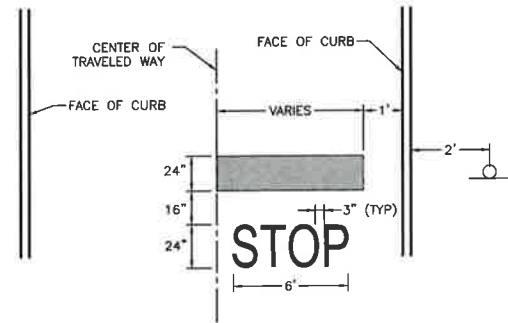
PIPE LOCATION	PRECAST STRUCTURE	CAST-IN-PLACE STRUCTURE
SHORT WALL	15"	18"
LONG WALL	24"	30"

**3 SW-503 SINGLE GRATE INTAKE WITH MANHOLE**  
NOT TO SCALE

**1 SW-501 SINGLE GRATE INTAKE**  
NOT TO SCALE

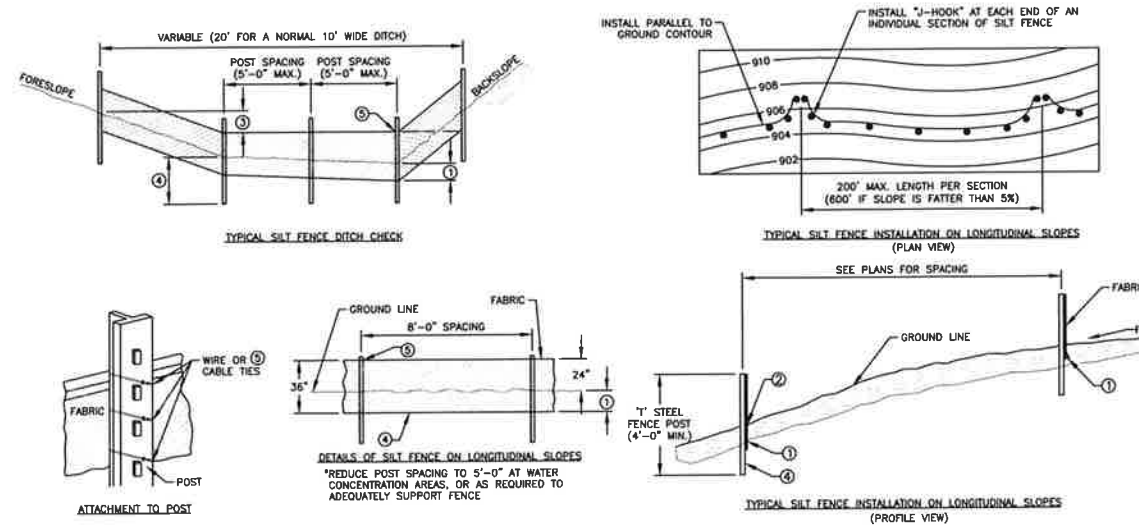
FILE IN: SW-503 (NEW) UNLESS OTHERWISE SPECIFIED - 7/27/2023 4:10 PM COMPANY: DDC

DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400 FAX: (515) 369-4410  
 DRAFTED: \_\_\_\_\_  
 ENGINEER: \_\_\_\_\_  
**ESA**  
 CIVIL DESIGN ADVANTAGE  
 WEST DES MOINES, IOWA  
**S 11TH STREET WAREHOUSE**  
 DETAILS  
 P225 S. 11TH STREET  
 DATE: 04/26/2023  
 SHEET NUMBER: **C6.3**  
 2206.421



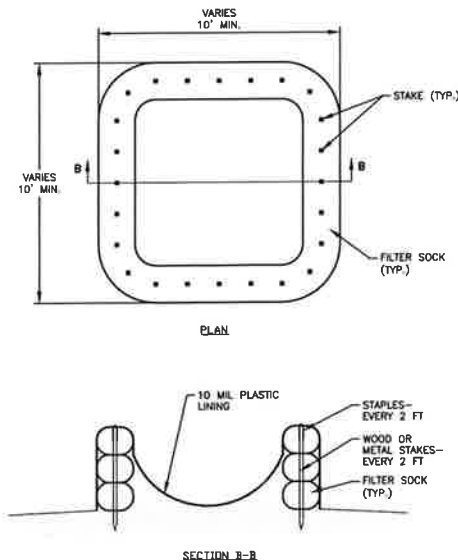
- NOTES:**
1. STOP BAR & TEXT TO BE DOUBLE COAT SOLID WHITE.
  2. STOP SIGN PER MUTCD R1-1. PLACE SIGN 2' FROM BACK OF CURB.

**5 STOP BAR**  
NOT TO SCALE



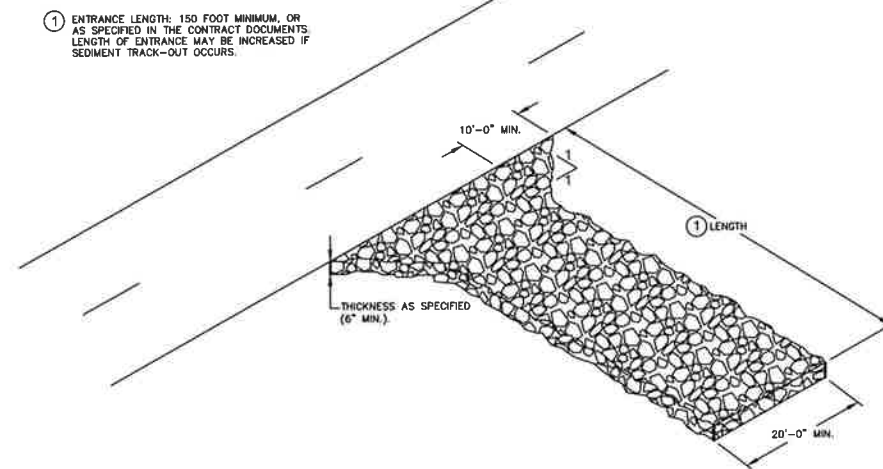
- GENERAL NOTES:**
1. INSERT 12 IN. OF FABRIC A MINIMUM OF 6 IN. DEEP (FABRIC MAY BE FOLDED BELOW THE GROUND LINE)
  2. COMPACT GROUND BY DRIVING ALONG EACH SIDE OF THE SILT FENCE AS REQUIRED TO SUFFICIENTLY SECURE THE FABRIC IN THE TRENCH TO PREVENT PULLOUT AND FLOW UNDER THE FENCE.
  3. IN DITCHES, EXTEND SILT FENCE UP SIDE SLOPE SO THE BOTTOM ELEVATION AT THE END OF THE FENCE IS A MINIMUM OF 2 IN. HIGHER THAN THE TOP OF THE FENCE IN THE LOW POINT OF THE DITCH.
  4. STEEL POSTS TO BE EMBEDDED 20 IN. UNLESS OTHERWISE ALLOWED BY THE JURISDICTIONAL ENGINEER.
  5. SECURE TOP OF ENGINEERING FABRIC TO STEEL POSTS USING WIRE OR PLASTIC TIES (50 LB. MIN.). SEE DETAILS OF ATTACHMENT TO POSTS.

**3 SILT FENCE**  
NOT TO SCALE



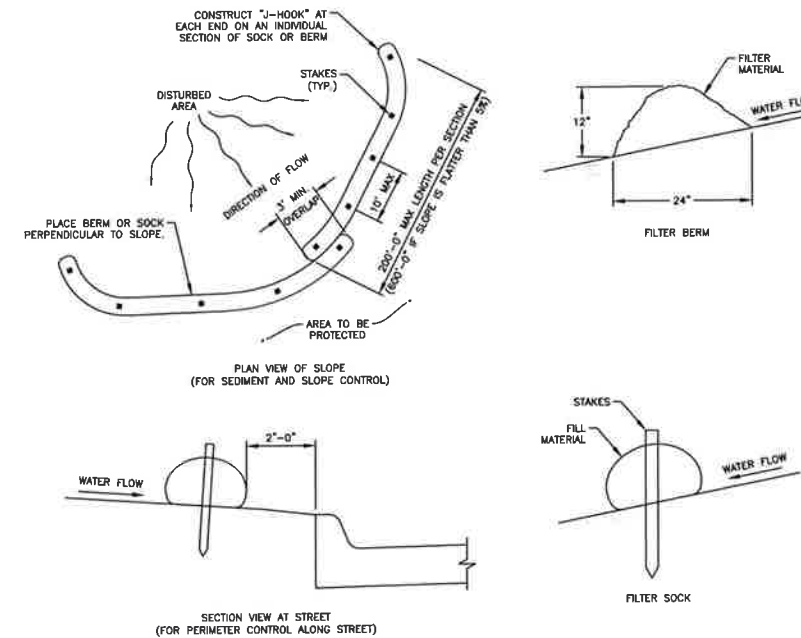
- NOTES:**
1. ACTUAL LAYOUT AND LOCATION TO BE DETERMINED IN FIELD BY THE CONTRACTOR.
  2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
  3. TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
  4. CLEAN OUT CONCRETE WASHOUT AREA WHEN 75% FULL.

**4 CONCRETE WASHOUT**  
NOT TO SCALE



1. ENTRANCE LENGTH: 150 FOOT MINIMUM, OR AS SPECIFIED IN THE CONTRACT DOCUMENTS. LENGTH OF ENTRANCE MAY BE INCREASED IF SEDIMENT TRACK-OUT OCCURS.

**2 STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**1 TYPICAL PLACEMENT OF FILTER BERM OF SOCK**  
NOT TO SCALE

DATE: 04/26/2023 4:12 PM  
DRAWN BY: J. MOORE  
CHECKED BY: J. MOORE  
PROJECT: 225 S. 11TH STREET

DATE	
REVISIONS	
<b>ESA</b> CIVIL DESIGN ADVANTAGE ENGINEER	
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400 FAX: (515) 369-4410	
<b>RENEWAL</b> ENGINEERING	
WEST DES MOINES, IOWA	
<b>S 11TH STREET WAREHOUSE</b> DETAILS	
225 S. 11TH STREET	
DATE:	04/26/2023
SHEET NUMBER:	C6.4
	2206.421

**LANDSCAPE NOTES**

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANT ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

**LANDSCAPE REQUIREMENTS**

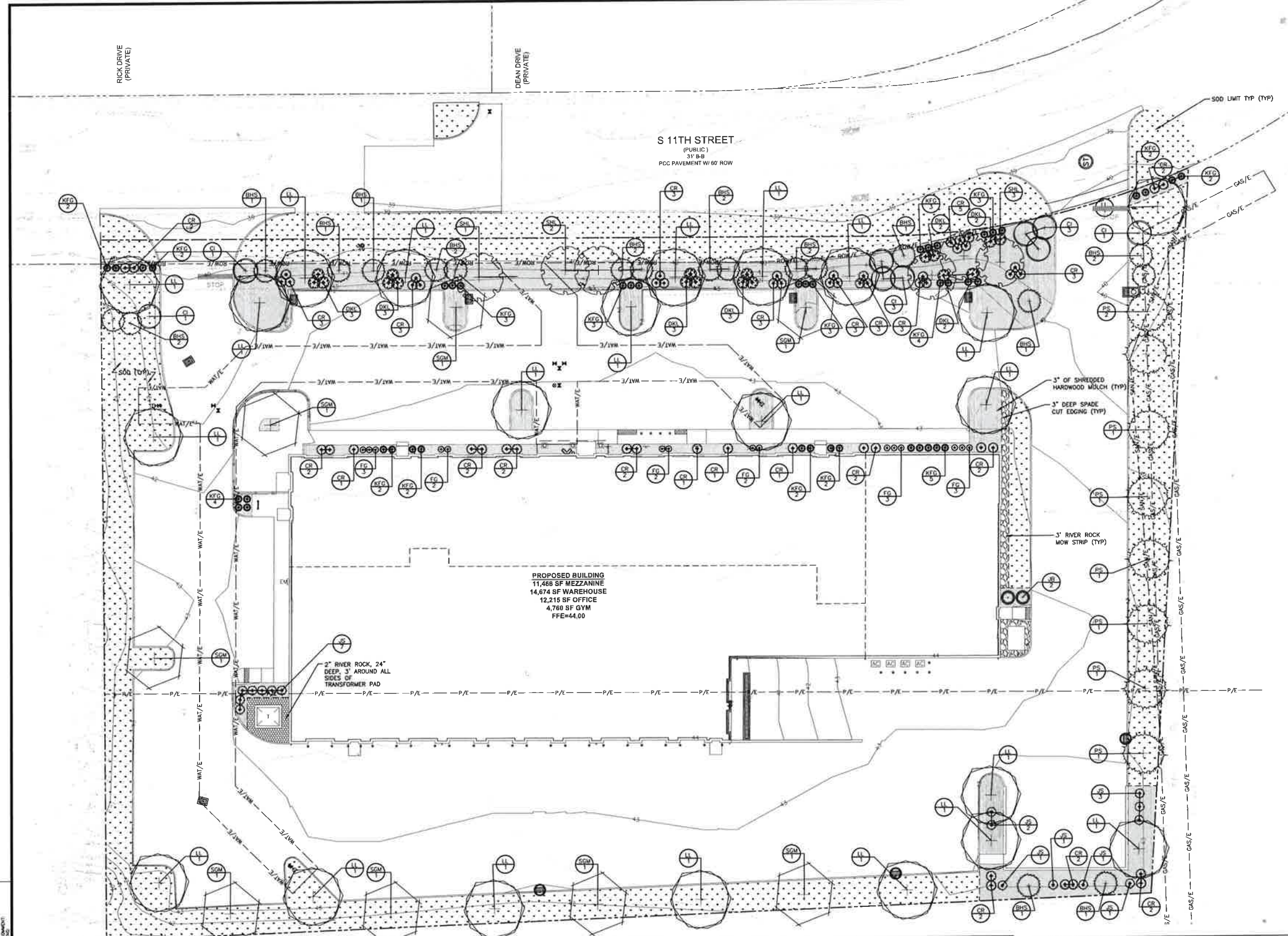
**OPEN SPACE REQUIREMENTS**  
 SITE: 126,476 SF (2.90 AC)  
 REQUIRED OPEN SPACE: 25,295 SF (20%)  
 PROVIDED OPEN SPACE: 27,889 SF (22%)

**OPEN SPACE LANDSCAPING REQUIREMENTS**  
 (2 TREES AND 3 SHRUBS PER 3,000 SF OF REQUIRED OPEN SPACE)  
 REQUIRED TREES: 18 TREES  
 PROVIDED TREES: 27 TREES

**OPEN SPACE LANDSCAPING PROVIDED**  
 (AT LEAST 35% OF TREES REQUIRED ON THE SITE SHALL BE EVERGREEN TREES)  
 PROVIDED DECIDUOUS TREES: 10 TREES (56%)  
 PROVIDED EVERGREEN TREES: 8 TREES (44%)  
 PROVIDED SHRUBS: 33 SHRUBS

**PARKING ISLAND LANDSCAPING REQUIREMENTS**  
 ONE TREE IN EACH 9' X 17' ISLAND  
 TWO TREES IN EACH 9' X 34' ISLAND  
 PARKING ISLANDS: 12  
 REQUIRED TREES: 13 TREES  
 PROVIDED TREES: 13 TREES

**BUFFER LANDSCAPING REQUIREMENTS**  
 (1 OVERSTORY TREE, 2 ORNAMENTAL OR EVERGREEN TREES, AND 6 SHRUBS PER 35 LF)  
 SOUTH 11TH STREET: 457 LF  
 REQUIRED LANDSCAPING: 13 OVERSTORY TREES  
 26 ORNAMENTAL/EVERGREEN TREES  
 78 SHRUBS  
 PROVIDED LANDSCAPING: 13 OVERSTORY TREES  
 9 ORNAMENTAL TREES  
 17 EVERGREEN TREES  
 78 SHRUBS



**PARKING ISLAND PLANT SCHEDULE**

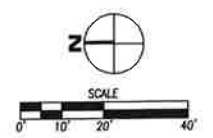
OVERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
LL	9	Littleleaf Linden	Tilia cordata	B&B, 2" CALIPER
SGM	4	Sienna Glen Maple	Acer x freemanii 'Sienna'	B&B, 2" CALIPER

**OPEN SPACE PLANT SCHEDULE**

EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BHS	2	Black Hills White Spruce	Picea glauca 'Densa'	B&B, 6' HEIGHT
PS	8	White Pine	Pinus strobus	B&B, 6' HEIGHT
OVERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
LL	4	Littleleaf Linden	Tilia cordata	B&B, 2" CALIPER
SOM	5	Sienna Glen Maple	Acer x freemanii 'Sienna'	B&B, 2" CALIPER
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
CR	20	Red Twig Dogwood	Cornus sericea	CONT, 3 GAL
JB	2	Blue Point Juniper	Juniperus chinensis 'Blue Point'	CONT, 3 GAL
JS	13	Skyrocket Eastern Redcedar	Juniperus virginiana 'Skyrocket'	CONT, 3 GAL
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
FG	15	Hemlin Fountain Grass	Pennisetum alopecuroides 'Hemlin'	CONT, 1 GAL
KFG	17	Karl Foerster Feather Reed Grass	Calamagrostis x oculiflora 'Karl Foerster'	CONT, 1 GAL

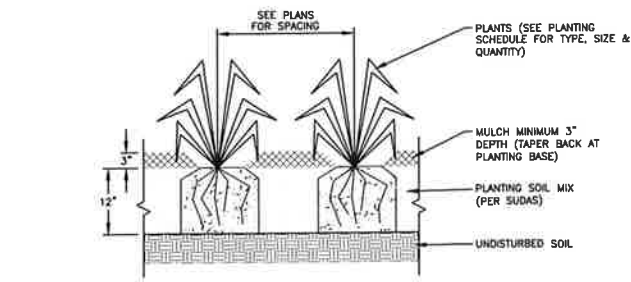
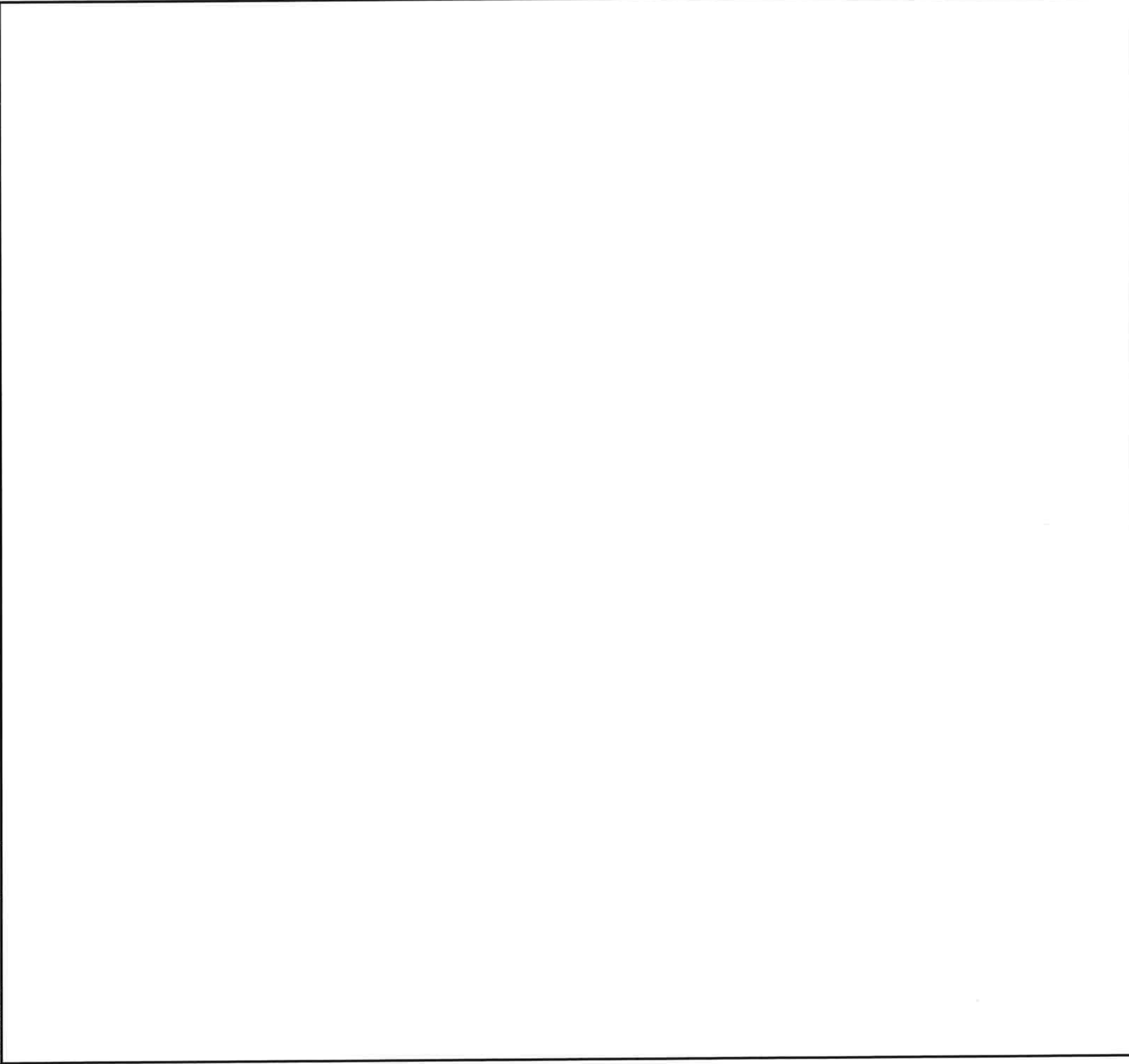
**SOUTH 11TH STREET BUFFER PLANT SCHEDULE**

EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BHS	16	Black Hills White Spruce	Picea glauca 'Densa'	B&B, 6' HEIGHT
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
CI	9	Thornless Cockspur Hawthorn	Crataegus crus-galli inermis	B&B, 1.5" CALIPER
OVERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
LL	7	Littleleaf Linden	Tilia cordata	B&B, 2" CALIPER
SKL	6	Skyline Honey Locust	Gleditsia triacanthos inermis 'Skyline'	B&B, 2" CALIPER
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
CR	33	Red Twig Dogwood	Cornus sericea	CONT, 3 GAL
DKL	18	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	CONT, 3 GAL
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
KFG	27	Karl Foerster Feather Reed Grass	Calamagrostis x oculiflora 'Karl Foerster'	CONT, 1 GAL

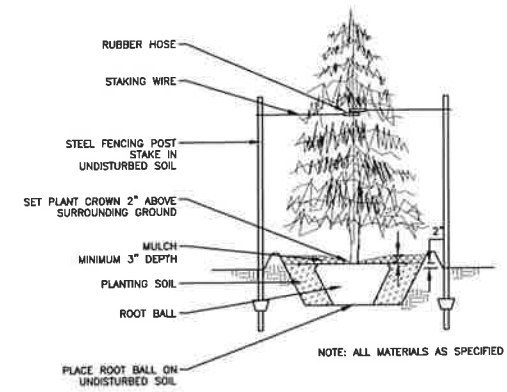


DATE: 04/26/2023 4:18 PM  
 DRAWN BY: J. H. HARRIS  
 CHECKED BY: M. J. HARRIS  
 PROJECT: S 11TH STREET WAREHOUSE  
 SHEET: L1.1

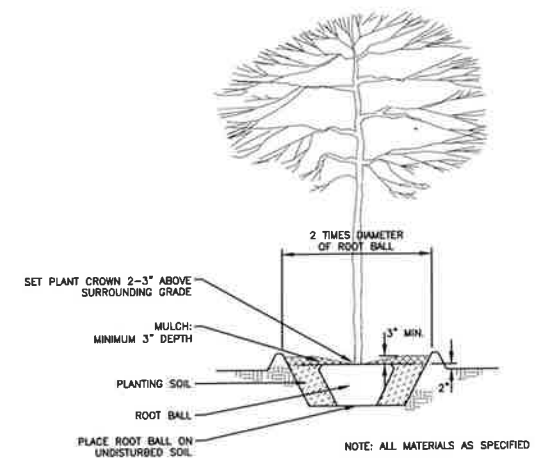
FILE IN: \\P0123456789\WORK\11TH ST WAREHOUSE\11TH ST WAREHOUSE - LANDSCAPE - 04/26/2023 4:14 PM  
 DRAWN BY: J. ANDERSON  
 CHECKED BY: M. ANDERSON



**1 SHRUB PLANTING**  
 NOT TO SCALE



**2 CONIFEROUS TREE PLANTING**  
 NOT TO SCALE



**3 DECIDUOUS TREE PLANTING**  
 NOT TO SCALE

DATE				
REVISIONS				
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400 FAX: (515) 369-4410				
			ENGINEER:	DRAFTED:
 CIVIL DESIGN ADVANTAGE				
 <small>RENEWAL IN AN DERSEN</small>				
<b>S 11TH STREET WAREHOUSE</b> <b>LANDSCAPE DETAILS</b> <small>WEST DES MOINES, IOWA</small>				
225 S. 11TH STREET				
DATE: 04/26/2023 SHEET NUMBER: <b>L2.1</b> 2206.421				



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**RAINS ARCHITECTURE**

3820 79TH ST, URBANDALE, IOWA 50322  
515-314-8696 jef@rainsarch.com

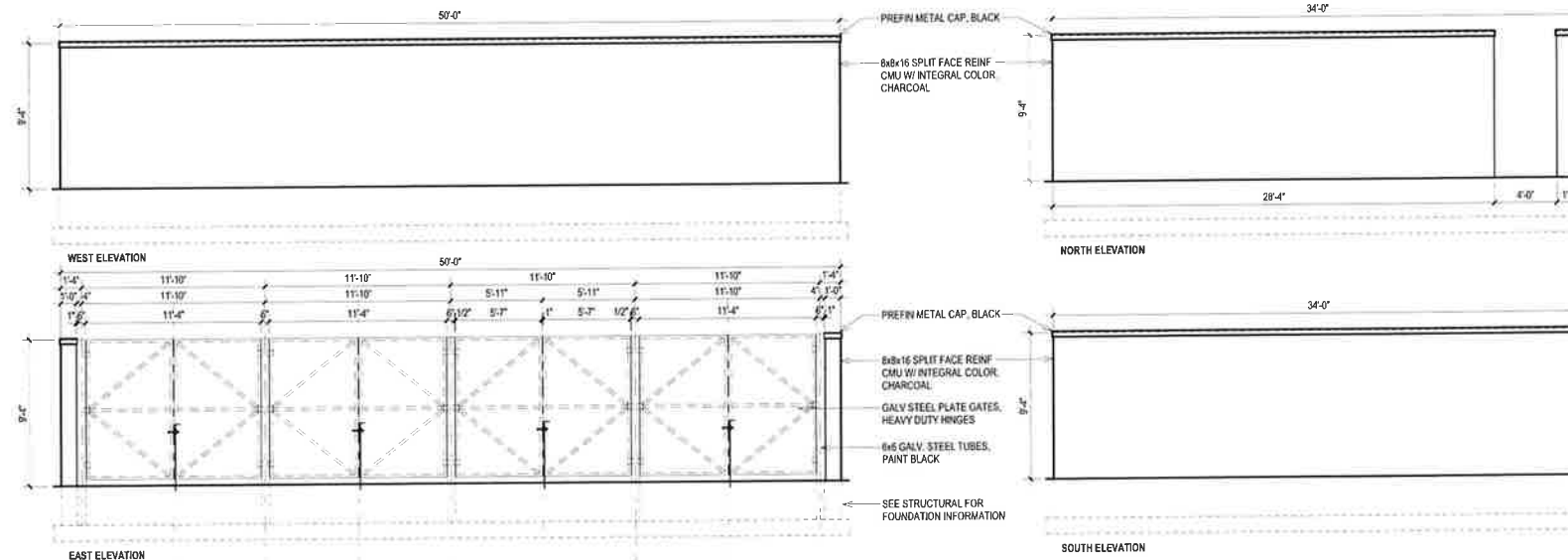
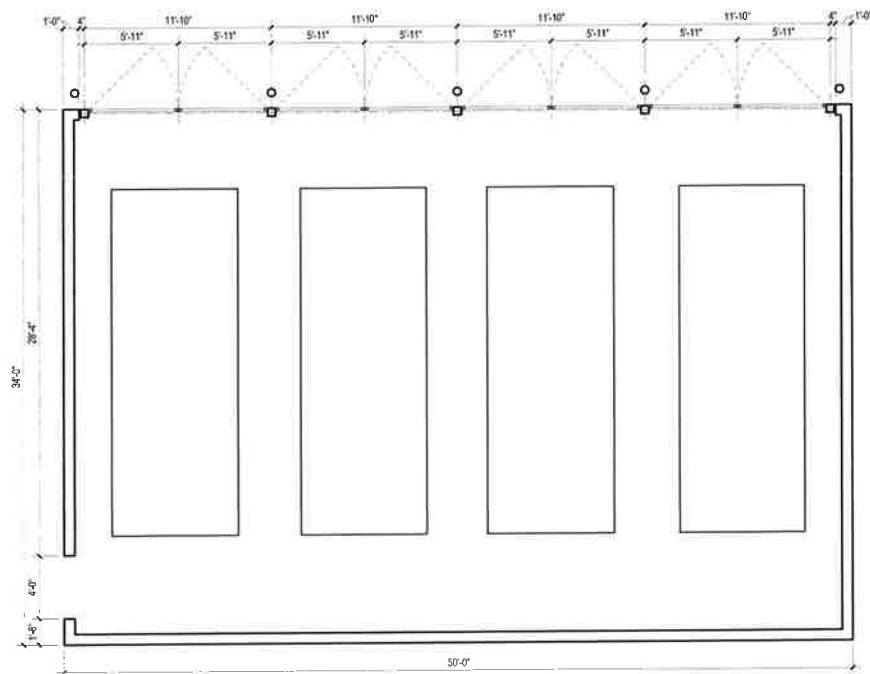
**GENERAL CONTRACTOR**  
HANSEN COMPANY, INC.  
5665 Greendale Road, Suite A, Johnston, IA 50131  
515-270-1117

**STRUCTURAL ENGINEER**  
STRUCTUREFY ENGINEERING  
5550 Wild Rose Ln Suite 400, WDM, IA 50266  
515-991-4176

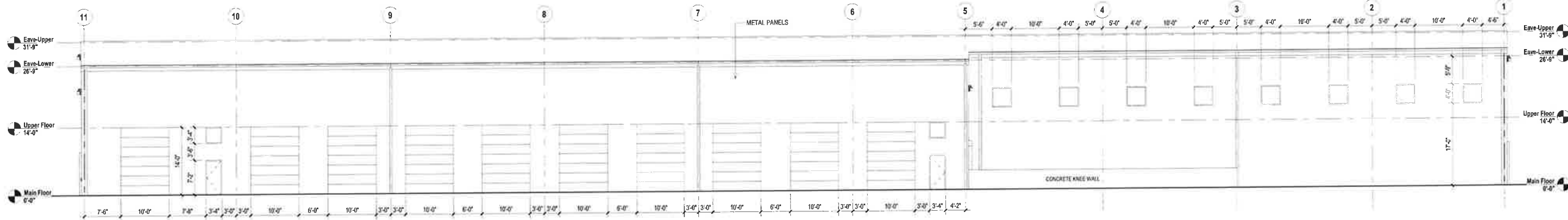
**CIVIL ENGINEERING**  
CIVIL DESIGN ADVANTAGE  
4121 NW Urbandale Drive, Urbandale, Iowa 50322  
515-369-4400

**EXTERIOR MATERIALS NOTES:**

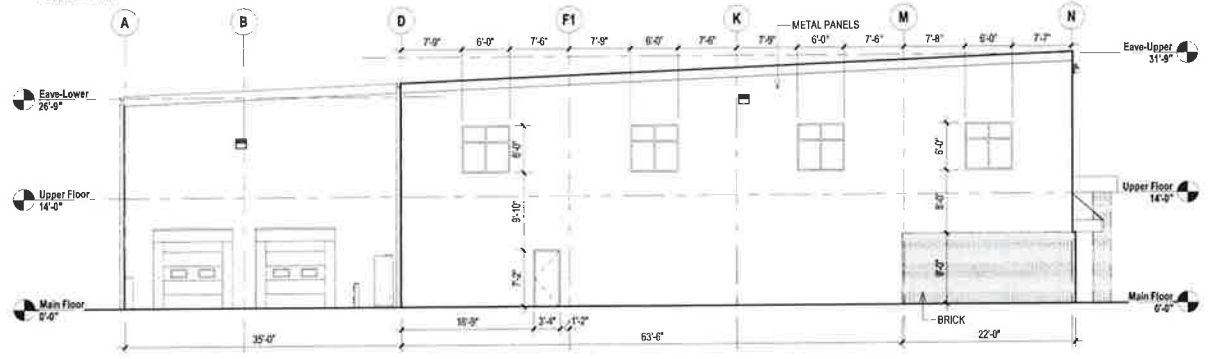
- METAL ROOF PANELS: BUTLER MR-24 STANDING SEAM PANELS, 24 GA. WHITE  
• <https://www.buttermfg.com/products/roof-systems/mr-24/>
- METAL WALL PANELS: BUTLER-RIB II 26 GA. CORRUGATED PANEL, WHITE, WITH MATCHING COLOR EXPOSED FASTENERS  
• <https://www.buttermfg.com/products/wall-systems/butler-ii-wall/>
- BRICK: GLEN GERY EBONITE VELOUR, UTILITY SIZE  
• <https://www.glen-gery.com/brick-est/ebonite-velour>
- METAL TRIM: FASCIA, GUTTERS, DOWNSPOUTS, BLACK
- TRASH ENCLOSURE CMU: CENTRAL SUPPLY 37G CHARCOAL SPLIT FACE, OR EQUAL  
• <https://www.centraisupply.com/concrete-block.html>



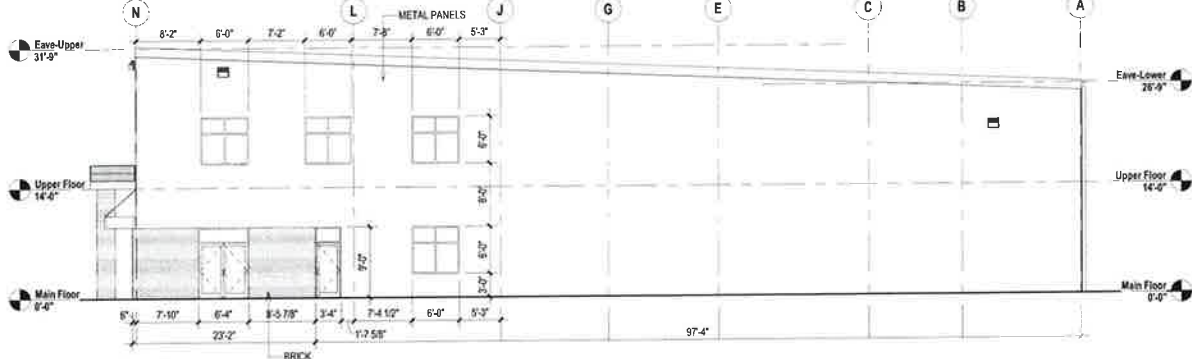
5 Trash Enclosure  
3/16" = 1'-0"



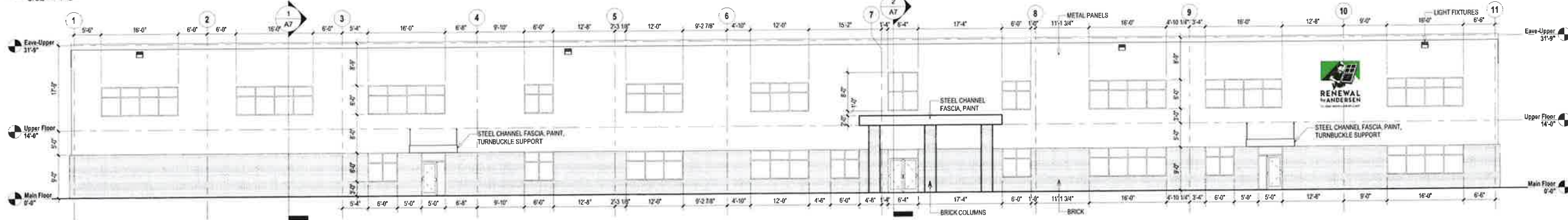
4 West Elevation  
3/32" = 1'-0"



3 South Elevation  
3/32" = 1'-0"



2 North Elevation  
3/32" = 1'-0"



1 East Elevation  
3/32" = 1'-0"

**Renewal by Andersen**  
225 South 11th Street  
West Des Moines, IA

Revisions	

ISSUE DATE: 04-24-23 PROJ. #: RA-22042  
EXTERIOR ELEVATIONS

2023-04-25 -- SITE PLAN SUBMITTAL

**A6**

THESE PLANS AND SPECIFICATIONS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS. ARCHITECT MAINTAINS OWNERSHIP OF SUCH AND ALL RIGHTS AND PRIVILEGES.

**RAINS ARCHITECTURE**

3820 79TH ST, URBANDALE, IOWA 50322  
515-314-8696 jeth@rainsarch.com

**GENERAL CONTRACTOR**  
HANSEN COMPANY, INC.  
5665 Greendale Road, Suite A, Johnston, IA 50131  
515-270-1117

**STRUCTURAL ENGINEER**  
STRUCTUREFY ENGINEERING  
5550 Wild Rose Ln Suite 400, WDM, IA 50266  
515-991-4176

**CIVIL ENGINEERING**  
CIVIL DESIGN ADVANTAGE  
4121 NW Urbandale Drive, Urbandale, Iowa 50322  
515-369-4400



**Renewal by Andersen**  
225 South 11th Street  
West Des Moines, IA

Revisions	

ISSUE DATE: 03/30/23 PROJ. #: RA-22042

RENDERINGS

2023-04-25 -- SITE PLAN SUBMITTAL

**R1**

**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION**

**NO. PZC-23-033**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant, and property owner, Steffes Holdings LLC, request approval of the Site Plan for the 2.9-acre property located at 225 S. 11<sup>th</sup> Street as depicted on the location map included in the staff report. The applicant requests approval to construct a 31,670 square foot office and warehouse building for Renewal by Anderson, and associated site improvements; and

**WHEREAS**, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

**NOW THEREFORE**, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-005925-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on May 22, 2023.

---

Andrew Conlin, Chair  
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on May 22, 2023, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

---

Recording Secretary