

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: May 22, 2023

ITEM: Law Enforcement Center, 250 Mills Civic Parkway – Approve Major Modification to Site Plan to allow construction of a garage extension and additional parking stalls – City of West Des Moines – MaM-005908-2023

Resolution: Approval of Major Modification to Site Plan

Background: Josh Clayworth, Engineering Services, on behalf of the City of West Des Moines, requests approval of the Major Modification to Site Plan for the approximately 1.5-acre property located at 250 Mills Civic Parkway. The project involves the construction of a 2,600 sf garage extension and additional parking stalls on the west side of the facility. Plans also include interior improvements of the former jail area with HVAC equipment improvements. The project has been coordinated with the Parks & Recreation Department to ensure the proposed project does not impact the adjacent disc golf course.

Staff Review & Comment:

- **History:** This property is the location of the West Des Moines Law Enforcement Center; per the County Assessor's site, constructed in 1991.
- **Key Development Aspects:**
 1. **Roof Ladders:** The City has discouraged roof ladders to be permanently mounted elements on the exterior of buildings. The applicant has requested the allowance for a permanent exterior roof ladder access due to security issues as an interior ladder access would be located in the evidence room which cannot have non-police personnel having access to the room. Based off the security issues, staff believes that the applicant's concerns are sufficient to allow for the exterior roof ladder. Staff has requested that the ladder be finished in the same color as the exterior in order for it to blend in.
 2. **Landscape Islands and Tree Diamonds:** Landscape islands shall be placed, at minimum, every eighteen (18) stalls within a row of parking. Tree diamonds within a row of parking shall be evenly spaced between landscape islands, however, shall be spaced no farther than nine (9) parking stalls from another landscape pod or island. The required incorporation of landscape islands and tree diamonds within the off-street parking field have been achieved by using the green strip between the new and existing parking area.
 3. **MidAmerican Overhead Utility Easement:** There is an existing one hundred fifty (150) ft MidAmerican overhead utility easement that the proposed parking on the west side encroaches into. The easement prohibits construction of buildings, structures, plants or other objects within the easements. The project manager coordinated with MidAmerican (owner of the transmission lines) and was advised that MidAmerican will allow parking within their easements, but the parking and other improvements must be twenty-five (25) feet away from the face of any structures within the easement.
- **Traffic Impact Study Findings:** No anticipated impacts from the proposed project improvements, thus, no traffic impact study was done for this project.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original

entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: May 22, 2023

Vote:

Recommendation:

Recommendation: Approve the Major Modification to Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The Applicant shall provide a final Stormwater Management Plan prior to proceeding to City Council.
2. The Applicant shall provide a final Stormwater Pollution Prevention Plan prior to proceeding to City Council.

Lead Staff Member: Kate Devine

Approval Meeting Dates:

Planning and Zoning Commission	May 22, 2023
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning		
Date Reviewed	2/20/23		
Recommendation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Split

Location Map



Vicinity Map – Land Uses



A RESOLUTION OF THE PLANNING AND ZONING COMMISSION

NO. PZC-23-031

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant, and property owner, City of West Des Moines, request approval of the Major Modification to Site Plan for the approximately 1.5-acre property located at 250 Mills Civic Parkway as depicted on the location map included in the staff report. The applicant requests approval to allow construction of a garage extension and additional parking stalls, and associated site improvements; and

WHEREAS, the Major Modification to Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Major Modification to Site Plan (MaM-005908-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on May 22, 2023.

Andrew Conlin, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on May 22, 2023, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary

City of West Des Moines (0510-027-2022)
Law Enforcement Center Garage Conversion & HVAC Improvements

250 Mills Civic Pkwy
West Des Moines, IA 50265

LOCATION MAP



PROJECT IMAGE



PROFESSIONAL REGISTRATIONS

<p>THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION. I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.</p> <p>SIGNATURE: <i>Kristofer J. Orth</i> NAME: KRISTOFER J. ORTH DATE: 03/10/2023 LICENSE RENEWAL DATE: 06/30/2023</p> <p>PAGES OR DIVISIONS COVERED: A3.1</p>	<p>THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION. I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.</p> <p>SIGNATURE: <i>Robert Brandon Lott</i> NAME: ROBERT BRANDON LOTT, PE DATE: 03-10-2023 LICENSE RENEWAL DATE: 12-31-2023 LICENSE NUMBER: 27313</p> <p>PAGES OR DIVISIONS COVERED: CO.1, CD1.1, C1.1 - C3.3</p>
<p>THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.</p> <p>SIGNATURE: <i>Samuel J. Kessel</i> NAME: SAMUEL J. KESSEL DATE: 03/10/2023 LICENSE RENEWAL DATE: 06/23/2023</p> <p>PAGES OR DIVISIONS COVERED: CD1.2, L1.1, L2.1</p>	

DRAWING LIST

GENERAL	COVER- MAJOR MODIFICATION (REVISED SITE PLAN)
CIVIL	LEGEND, ABBREVIATIONS AND GENERAL NOTES
CO.1	EXISTING CONDITIONS AND DEMOLITION PLAN
CD1.1	TREE REMOVALS PLAN
C1.1	LAYOUT PLAN
C2.1	GRADING PLAN
C3.1	EROSION CONTROL DETAILS
C3.2	SITE DETAILS
C3.3	SITE DETAILS
LANDSCAPE ARCHITECTURE	
L1.1	PLANTING PLAN
L2.1	PLANTING DETAILS
ARCHITECTURAL	
A3.1	EXTERIOR ELEVATIONS

MAJOR MODIFICATION
Law Enforcement Center Garage Conversion & HVAC I

City of West Des Moines
(0510-027-2022)

PROJECT NO.:0221006.00

DATE: 03/10/2023

SYMBOL LEGEND

NOTE: NOT ALL SYMBOLS ARE USED IN CONSTRUCTION DOCUMENTS

EXISTING CONDITIONS

Table listing existing conditions symbols: BENCHMARK, CONTROL POINT, PK NAIL, IRON PIPE, RIGHT-OF-WAY MARKER, BOLLARD, BORE HOLE, SIGN, MAILBOX, SATELLITE, FLOW LINE, DECIDUOUS TREE W/ SIZE, EVERGREEN TREE W/ SIZE, UTILITY DOWN CUY, UTILITY POLE, UTILITY POLE DROP, UTILITY POLE + TRANSFORMER, TRAFFIC HANDLE BOX, COMMUNICATION BOX, ELECTRICAL METER, LOT LIGHT, STREET LIGHT, TRAFFIC SIGNAL MAST ARM.

NEW DEVELOPMENT

Table listing new development symbols: SILT FILTER FENCE, DITCH CHECK, CONCRETE CURB GUTTER TYPE PER PLAN, REGULAR PAN, CONCRETE CURB GUTTER TYPE PER PLAN, INVERTED PAN, INLET PROTECTION, INDICATES "BEST MANAGEMENT PRACTICE" EROSION CONTROL MEASURE AS DEFINED IN THE ILLINOIS URBAN MANUAL, NO. REGULAR PARKING SPACES PROVIDED, ADJUST UTILITY TO FINISH GRADE, FLOOD ROUTE, FLOW LINE, PIPE BOLLARD, UTILITY POLE, UTILITY POLE DROP, UTILITY POLE TRANSFORMER, LIGHT POLE, WALL-MOUNTED LIGHT, HANDICAP PARKING SIGN, SAW CUT LINE, APPROXIMATE LIMITS OF DEVELOPMENT, UTILITY REMOVAL, ABANDONED UTILITY, SITE ELEMENT REMOVAL, UTILITY LINE.

Table listing removal hatch symbols: SANITARY MANHOLE, SEWER CLEANOUT, GAS METER, GAS MARKER, STORM INLET (CURB TYPE), STORM INLET (GRATE TYPE), STORM INLET (MANHOLE TYPE), STORM MANHOLE, FIRE HYDRANT, YARD HYDRANT, SHUTOFF VALVE, VALVE, RECORD INFORMATION, PROPERTY LINE, RIGHT-OF-WAY, FENCE LINE, CONTOUR LINE MAJOR, BUILDING LINE.

REMOVAL HATCH

Table listing removal hatch symbols: CONCRETE PAVEMENT REMOVAL, TREE/BUSH REMOVAL, CURB REMOVAL, LIGHT DUTY P.C. CONCRETE PAVEMENT, P.C. CONCRETE SIDEWALK, DOORWAY THRESHOLD, PERMANENT SEEDING, EROSION CONTROL BLANKET.

NEW DEVELOPMENT HATCH

Table listing new development hatch symbols: LIGHT DUTY P.C. CONCRETE PAVEMENT, P.C. CONCRETE SIDEWALK, DOORWAY THRESHOLD, PERMANENT SEEDING, EROSION CONTROL BLANKET.

ABBREVIATIONS

Table of abbreviations: AND, APPROXIMATE, ALT, AVE, BACK OF CURB, BOULEVARD, BENCH MARK, BEST MGMT. PRACTICE, BOTTOM, BACK OF WALK, CURB AND GUTTER, CENTER TO CENTER, CAST-IN-PLACE, CENTERLINE, CORRUGATED METAL PIPE, CONCRETE, COMBINED SEWER, COURT, CENTER, CULVERT, DEPARTMENT, DIA, DRIVE, DRAIN TILE, DWGS, DRAWINGS, EAST, ELEVATION, ELEVATION, ELEVATION, ELEVATION, FINISH, FLOOR LINE, FORCE MAIN, FOOTING, GROUND ELEVATION, GALVANI, ED, GATE VALVE, HEADWALL, HOT MI ASPHALT, HORIZONTAL, HIGH WATER, HIGHWAY, INSIDE DIAMETER, ILLINOIS DEPARTMENT OF TRANSPORTATION, JOINT, LATITUDE, LINEAR FEET, LONGITUDE, LUMP SUM, LEFT, MA, MAJUM, METAL END SECTION, MIN, MINIMUM, MISCELLANEOUS, NORTH, NUMBER, NOT TO SCALE, OUTSIDE DIAMETER, PAVEMENT ELEVATION, POINT OF CURVATURE, POINT OF CURVE, POINT OF INTERSECTION.

GENERAL NOTES

- GENERAL NOTES: ALL WORK SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, PLUS GENERAL SUPPLEMENTAL SPECIFICATIONS, AND APPLICABLE SUPPLEMENTAL SPECIFICATIONS, DEVELOPMENTAL SPECIFICATIONS, AND SPECIAL PROVISIONS. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO LOCATE AND PROTECT ALL UNDERGROUND FACILITIES/UTILITIES DURING CONSTRUCTION OPERATIONS. ANY DAMAGE TO ANY UTILITIES SHALL BE PROMPTLY REPORTED TO THE OWNER. CONTRACTOR SHALL FULLY PROTECT ALL SURROUNDING PROPERTIES FROM ANY AND ALL DAMAGE DURING DEMOLITION OPERATIONS AND SHALL BE FULLY RESPONSIBLE FOR REPAIRING TO A CONDITION ACCEPTABLE TO THE OWNER AND ARCHITECT) ANY AND ALL DAMAGE THAT DOES OCCUR. CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROLS AND RELATED APURTENANCES THAT ARE REQUIRED BY ANY APPLICABLE CODES AND ORDINANCES, DURING ALL DEMOLITION OPERATIONS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE SAFETY AND SECURITY OF THE PROJECT SITE AND ITS SURROUNDINGS DURING DEMOLITION OPERATIONS. ALL DEMOLISHED EXISTING MATERIALS, SYSTEMS, AND CONSTRUCTIONS SHALL BE DISPOSED OF IN A LAWFUL MANNER, AND WRITTEN RECORDS OF THE FINAL DESTINATION FOR THESE MATERIALS, SYSTEMS, AND CONSTRUCTIONS (INCLUDING ANY IDENTIFIED HAZARDOUS ITEMS) SHALL BE PROVIDED TO THE OWNER AND ARCHITECT. EXISTING SITE SHALL BE CLEANED ON A DAILY BASIS THROUGHOUT THE DURATION OF DEMOLITIONS OPERATIONS AND NO DEBRIS OR PRODUCTS OF DEMOLITION SHALL BE ALLOWED TO ACCUMULATE OUTSIDE THE BOUNDARIES OF THE SITE. CONTRACTOR SHALL FULLY COORDINATE ALL PROJECT DEMOLITION OPERATIONS. CONTRACTOR SHALL CONTINUOUSLY COMPARE ALL LINES, GRADES, AND OTHER INFORMATION APPEARING ON THE PLANS WITH THE ACTUAL LINES, GRADES, AND SITE CONDITIONS. ANY DISCREPANCIES THAT MAY AFFECT THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER IN WRITING FOR DISPOSITION BEFORE CONTRACTOR PROCEEDS WITH THE WORK. CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR THE WORK COMPLETED PRIOR TO THE REPORT TO THE OWNER AND ENGINEER, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR CORRECTION OF THE WORK PRIOR TO THE REPORT TO THE OWNER AND ENGINEER. CONTRACTOR SHALL REMOVE EARTHEN MATERIALS, EXISTING SURFACES, AND STRUCTURES AS REQUIRED. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OFF-SITE AND SHALL BE INCIDENTAL TO THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, UNLESS NOTED. THIS WILL INCLUDE BUT NOT BE LIMITED TO BUILDING PERMIT AND IOWA NPDES PERMIT. THE CONTRACTOR SHALL PROVIDE ANY FINANCIAL SURETIES REQUIRED AS PART OF ANY PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND SUBMITTING UTILITY AS-BUILT DRAWINGS TO THE OWNER AND ENGINEER AT EACH RESPECTIVE UTILITY COMPLETION, AND WITHIN 14 DAYS OF RECEIPT OF THE CERTIFICATE OF SUBSTANTIAL COMPLETION. CONSTRUCTION STAKING, LAYOUT, AND GRADING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR USING THE BASIC TOPOGRAPHIC SURVEY CONTROLS PROVIDED IN THE PLANS. CONTRACTOR SHALL VERIFY SURVEY CONTROLS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES IN THE SURVEY CONTROLS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION. ANY ADDITIONAL SURVEY CONTROLS REQUIRED FOR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES. 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ALL EARTHWORK, GRADING AND BACKFILLING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE "SUBSURFACE EXPLORATION, LEC GARAGE PARKING ADDITIONS", DATED SEPTEMBER 30, 2022, BY TEAM SERVICES. THE GENERAL CONTRACTOR, AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS. PRIOR TO ANY EXCAVATION CONTRACTORS SHALL CALL THE TOLL FREE IOWA ONE CALL NUMBER 1-800-292-8989. SITE DEMOLITION NOTES: EXISTING UTILITIES TO REMAIN, WHICH ARE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, SHALL BE REPAIRED AND/OR REPLACED WITHOUT ADDITIONAL COMPENSATION. CONFLICTS WITH PROPOSED CONSTRUCTION AND UTILITIES TO REMAIN ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONSTRUCTION MANAGER FOR COORDINATION WITH THE OWNER'S REPRESENTATIVE, ENGINEER, AND UTILITY COMPANY. NO DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL TAKE PLACE WITHIN PUBLIC RIGHT-OF-WAY UNTIL ALL PERMITS ARE SECURED. 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ANY DISCREPANCIES THAT MAY AFFECT THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER IN WRITING FOR DISPOSITION BEFORE CONTRACTOR PROCEEDS WITH THE WORK. CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR THE WORK COMPLETED PRIOR TO THE REPORT TO THE OWNER AND ENGINEER, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR CORRECTION OF THE WORK PRIOR TO THE REPORT TO THE OWNER AND ENGINEER. CONTRACTOR SHALL REMOVE EARTHEN MATERIALS, EXISTING SURFACES, AND STRUCTURES AS REQUIRED. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OFF-SITE AND SHALL BE INCIDENTAL TO THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, UNLESS NOTED. THIS WILL INCLUDE BUT NOT BE LIMITED TO BUILDING PERMIT AND IOWA NPDES PERMIT. THE CONTRACTOR SHALL PROVIDE ANY FINANCIAL SURETIES REQUIRED AS PART OF ANY PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND SUBMITTING UTILITY AS-BUILT DRAWINGS TO THE OWNER AND ENGINEER AT EACH RESPECTIVE UTILITY COMPLETION, AND WITHIN 14 DAYS OF RECEIPT OF THE CERTIFICATE OF SUBSTANTIAL COMPLETION. CONSTRUCTION STAKING, LAYOUT, AND GRADING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR USING THE BASIC TOPOGRAPHIC SURVEY CONTROLS PROVIDED IN THE PLANS. CONTRACTOR SHALL VERIFY SURVEY CONTROLS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES IN THE SURVEY CONTROLS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION. ANY ADDITIONAL SURVEY CONTROLS REQUIRED FOR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS INCORPORATED INTO THE WORK FOR ENGINEER REVIEW AND APPROVAL A MINIMUM OF 2 WEEKS PRIOR TO ORDERING. REFERENCES TO "INSPECTION" OR "INSPECTOR" IN THE SPECIFICATIONS SHALL NOT CREATE, IMPOSE, OR GIVE RISE TO ANY DUTY OWED BY THE OWNER OR ENGINEER TO THE CONTRACTOR, ANY SUBCONTRACTOR, OR ANY SUPPLIER. WHERE SECTION, SUB-SECTION, SUBDIVISION, OR PROPERTY MONUMENTS ARE ENCOUNTERED, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED BEFORE SUCH MONUMENTS ARE REMOVED. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL PROPERTY MARKERS UNTIL AN OWNER OR AUTHORIZED SURVEYOR HAS WITNESSED OR REFERENCED THEIR LOCATION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY WORK IN AND AROUND UTILITY-OWNED INFRASTRUCTURE AND MAKE THEM AWARE OF WORK TO BE PERFORMED. ANY SIDEWALKS, FENCES, AND OTHER ITEMS NOT SHOWN TO BE REMOVED, BUT DAMAGED DURING CONSTRUCTION, SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. ALL EARTHWORK, GRADING AND BACKFILLING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE "SUBSURFACE EXPLORATION, LEC GARAGE PARKING ADDITIONS", DATED SEPTEMBER 30, 2022, BY TEAM SERVICES. THE GENERAL CONTRACTOR, AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND BECOMING FAMILIAR WITH ALL CONSTRUCTION DOCUMENTS. PRIOR TO ANY EXCAVATION CONTRACTORS SHALL CALL THE TOLL FREE IOWA ONE CALL NUMBER 1-800-292-8989. SITE DEMOLITION NOTES: EXISTING UTILITIES TO REMAIN, WHICH ARE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, SHALL BE REPAIRED AND/OR REPLACED WITHOUT ADDITIONAL COMPENSATION. CONFLICTS WITH PROPOSED CONSTRUCTION AND UTILITIES TO REMAIN ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONSTRUCTION MANAGER FOR COORDINATION WITH THE OWNER'S REPRESENTATIVE, ENGINEER, AND UTILITY COMPANY. NO DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL TAKE PLACE WITHIN PUBLIC RIGHT-OF-WAY UNTIL ALL PERMITS ARE SECURED. ALL PAVEMENT TO BE REMOVED SHALL BE SAWCUT FULL DEPTH. CONTRACTOR SHALL EMPLOY ALL MEASURES NECESSARY DURING DEMOLITION TO CONTROL EROSION AND INSURE THAT SEDIMENT DOES NOT LEAVE THE SITE. TRACKING OF DIRT ONTO PUBLIC STREETS AND ALLEYS SHALL BE CLEANED IMMEDIATELY, AND ALL SEDIMENT AND EROSION CONTROL ITEMS SHALL BE INSTALLED PRIOR TO CLEARING AND DEMOLITION WORK.

- CLEARING, GRUBBING AND SELECT DEMOLITION AS NECESSARY. EARTH MOVING AND MASS GRADING. INSTALLATION OF UTILITIES. BUILDING CONSTRUCTION. PAVING OF SIDEWALKS AND PARKING LOT. FINAL GRADING OF SITE, LANDSCAPING AND RESEEDING OF DISTURBED AREAS. ALL EARTHEN AREAS DISTURBED DURING CONSTRUCTION SHALL BE PERMANENTLY SEEDED AND EROSION CONTROL BLANKET SHALL BE INSTALLED PER SUDAS SPECIFICATIONS IN AREAS SHOWN ON THE EROSION CONTROL PLAN. SITE UTILITY NOTES: REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIES AND EACT LOCATIONS. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. ALL UTILITY TRENCHES UNDER OR WITHIN 2' OF EXISTING OR PROPOSED PAVEMENT, SIDEWALK OR BUILDING SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL. GRANULAR MATERIAL SHALL BE IMPORTED UNLESS EXISTING GRANULAR MATERIALS ARE SPECIFICALLY APPROVED BY THE OWNER'S REPRESENTATIVE. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL WATER MAINS AND SEWERS. IF SEPARATION IS NOT POSSIBLE, WATER MAIN ENCASUREMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE. WATER MAINS SHALL CROSS ABOVE SEWERS WITH A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHILE STILL MAINTAINING THE REQUIRED DEPTH OF COVER. IF PROPER SEPARATION IS NOT POSSIBLE, OR IF THE WATER MAIN MUST BE ROUTED UNDER THE SEWER, WATER MAIN ENCASUREMENT SHALL BE REQUIRED OR THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE. STORM SEWER SHALL BE AS NOTED ON THE PLANS IN CONFORMANCE WITH THE FOLLOWING: PVC STORM SEWER PIPING, ASTM D 3034, SDR 21 (WATER MAIN QUALITY) BELL-AND-SPIGOT ENDS, ASTM F 48, ELASTOMERIC SEALS FOR GASKETED JOINTS PVC STORM SEWER PIPING, ASTM D 3034, SDR 35 BELL-AND-SPIGOT ENDS, ASTM F 48, ELASTOMERIC SEALS FOR GASKETED JOINTS ALL CLEANOUT RIMS SHALL BE CONSTRUCTED FLUSH WITH THE FINISHED GROUND SURFACE. CONTRACTOR SHALL COORDINATE ALL UTILITY LINES THAT ENTER THE BUILDING. IN GENERAL, PLUMBING PLANS SHOW ALL INTERIOR BUILDING PIPING AND PIPING UP TO 5- FEET OUTSIDE THE BUILDING. CIVIL PLANS SHOW SITE PIPING BEGINNING FROM 5- FEET OUTSIDE THE BUILDING. CONTRACTOR SHALL COORDINATE ALL UTILITY LINE CROSSINGS TO ENSURE ALL PIPES MAINTAIN MINIMUM COVER, MINIMUM CLEARANCES, AND PROPER SEPARATION. GRAVITY LINES SHALL HAVE PRECEDENCE OVER PRESSURIZED LINES.

PROPERTY OWNER: CITY OF WEST DES MOINES, 4200 MILLS CIVIC PKWY, WEST DES MOINES, IA 50265. SITE ADDRESS: 250 MILLS CIVIC PKWY, WEST DES MOINES, IA 50265. COMPREHENSIVE PLAN: PARKS GREENWAYS, EXISTING PUBLIC SAFETY FACILITY. ZONING DISTRICT: RS-15 SINGLE FAMILY RESIDENTIAL. PARKING REQUIREMENTS: 12 SPACES. IMPERVIOUS SURFACE: 16%. PROJECT AREA = 63,525 SF (1.46 AC).

BENCHMARK INFORMATION table with columns: CONTROL POINTS, IRON ROD, ELEVATION. Includes project benchmark details and city of West Des Moines benchmarks.



14225 UNIVERSITY AVENUE, SUITE 110 WAUKEE, IOWA 50263 (515) 225-3469 / info@f-w.com

DATE DESCRIPTION table with columns: DATE, DESCRIPTION. Includes revision history for the project.

MAJOR MODIFICATION (REVISED SITE PLAN)

City of West Des Moines (0510-02 -2022). Law Enforcement Center Garage Conversion & HVAC Improvements. 250 Mills Civic Pkwy, West Des Moines, IA 50265.

DESIGNED: TWA, DRAWN: TWA, REVIEWED: LMT, FIELD BOOK NO. table.

LEGEND, ABBREVIATIONS AND GENERAL NOTES

C0.1 PROJECT NO.: 0221006.00

Vertical text on the left margin containing project identification and revision information.



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DATE: 03/10/2023
DESCRIPTION: CITY OF WDM COMMENTS

MAJOR MODIFICATION
(REVISED SITE PLAN)

City of West Des Moines

**Law Enforcement
Center Garage
Conversion & HVAC
Improvements**

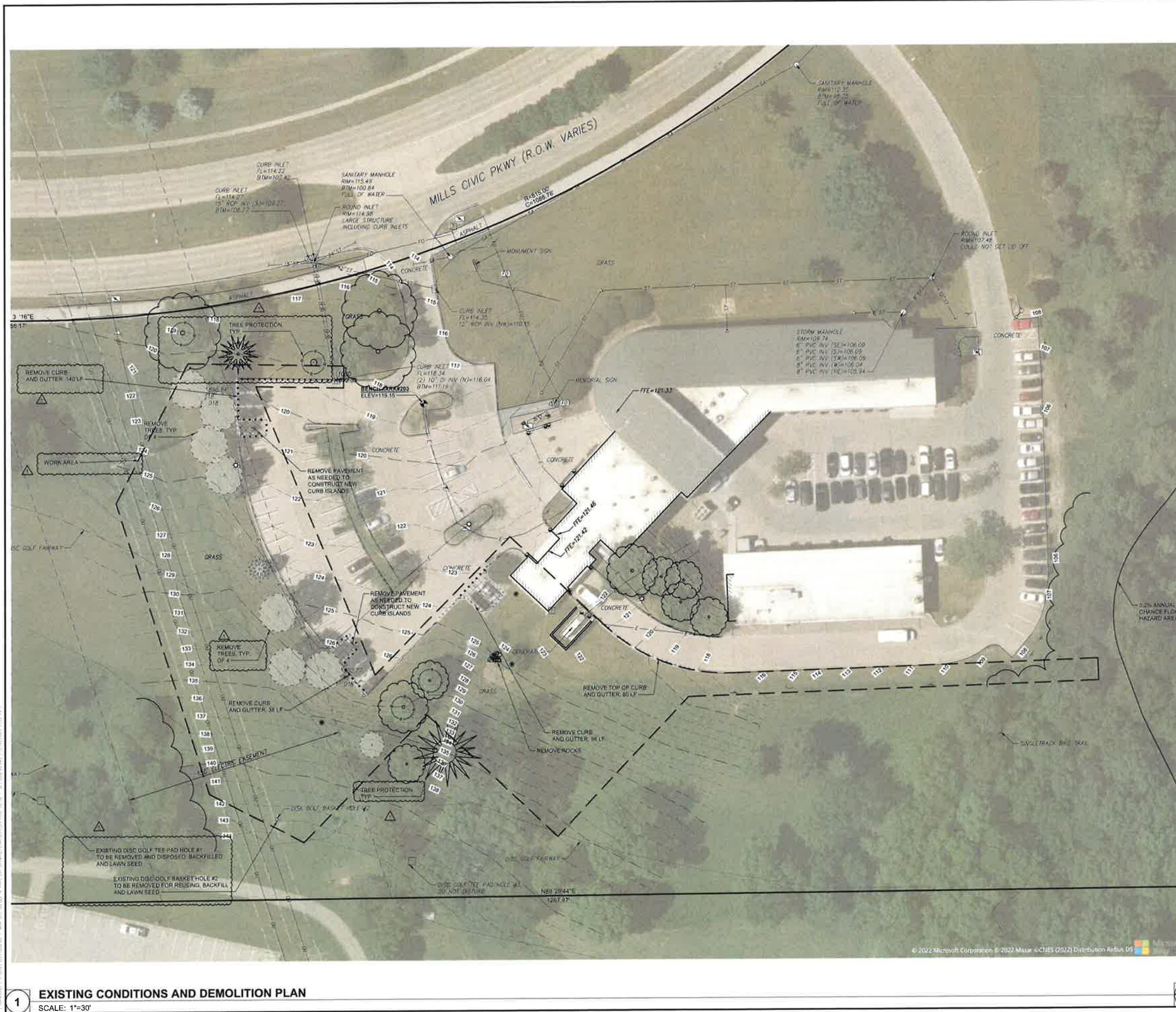
250 Mills Civic Pkwy
West Des Moines, IA 50265

DATE: 01/19/2023
DESIGNED: TWA
DRAWN: TWA
REVIEWED: LMT
FIELD BOOK NO.:

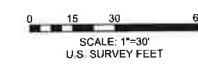
**EXISTING
CONDITIONS AND
DEMOLITION PLAN**

CD1.1

PROJECT NO.: 0221006.00



1 EXISTING CONDITIONS AND DEMOLITION PLAN
SCALE: 1"=30'



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#	DATE:	DESCRIPTION:
1	03/10/2023	CITY OF WDM COMMENTS

MAJOR MODIFICATION (REVISED SITE PLAN)

PROJECT
City of West Des Moines

Law Enforcement Center Garage Conversion & HVAC Improvements

250 Mills Civic Pkwy
West Des Moines, IA 50265

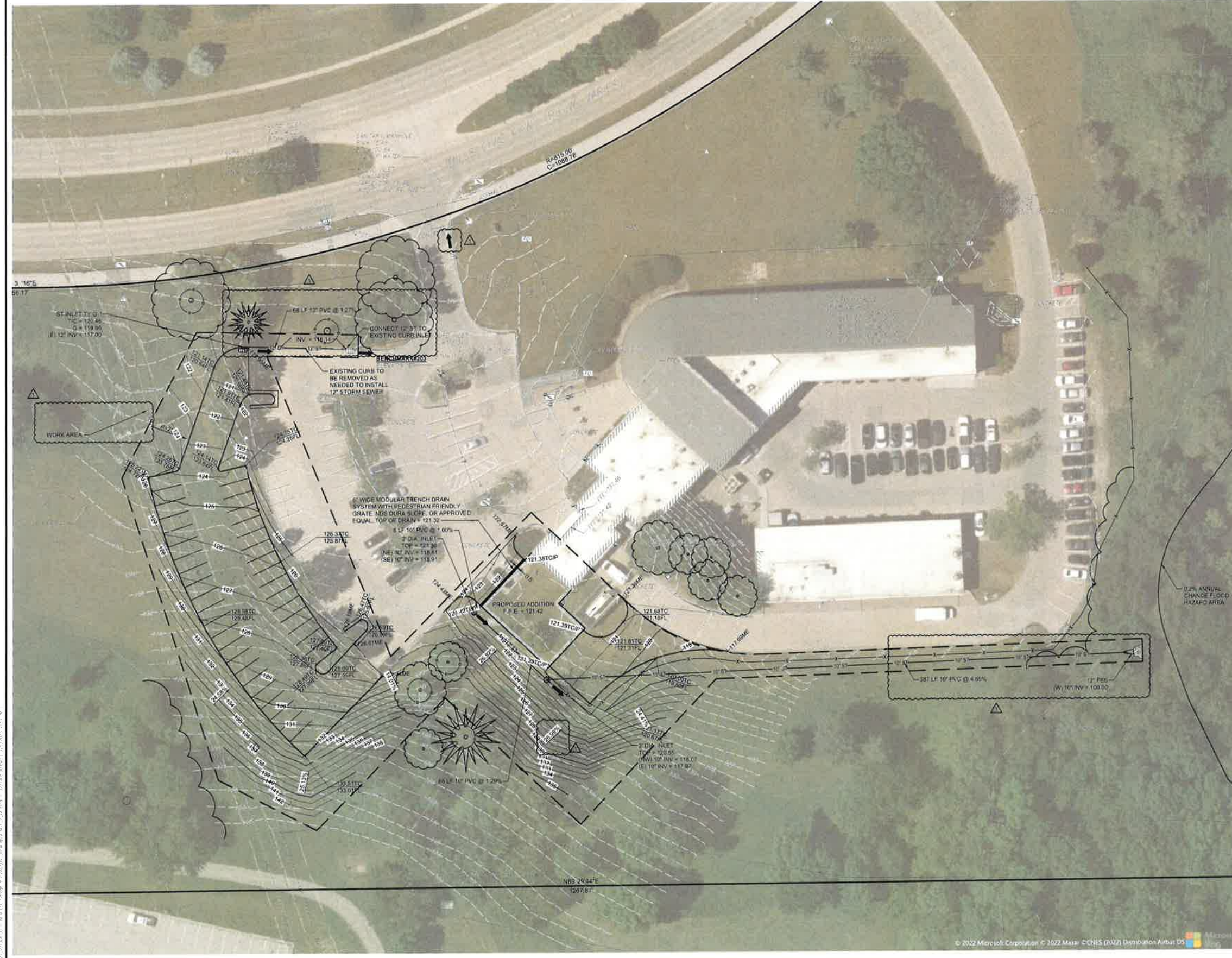
DATE:	01/19/2023
DESIGNED:	TWA
DRAWN:	TWA
REVIEWED:	LMT
FIELD BOOK NO.:	

GRADING PLAN

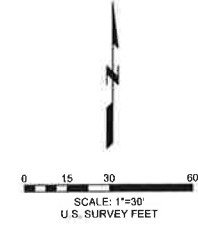
SHEET NUMBER

C2.1

PROJECT NO.: 0221006.00



1 GRADING PLAN
SCALE: 1"=30'



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#	DATE	DESCRIPTION
1	03/10/2023	CITY OF WDM COMMENTS
2	04/04/2023	CITY OF WDM COMMENTS #2

MAJOR MODIFICATION (REVISED SITE PLAN)

PROJECT
City of West Des Moines
(0510-02 -2022)

Law Enforcement Center Garage Conversion & HVAC Improvements

250 Mills Civic Pkwy
West Des Moines, IA 50265

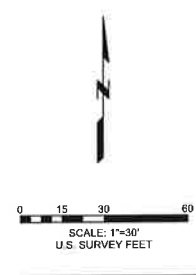
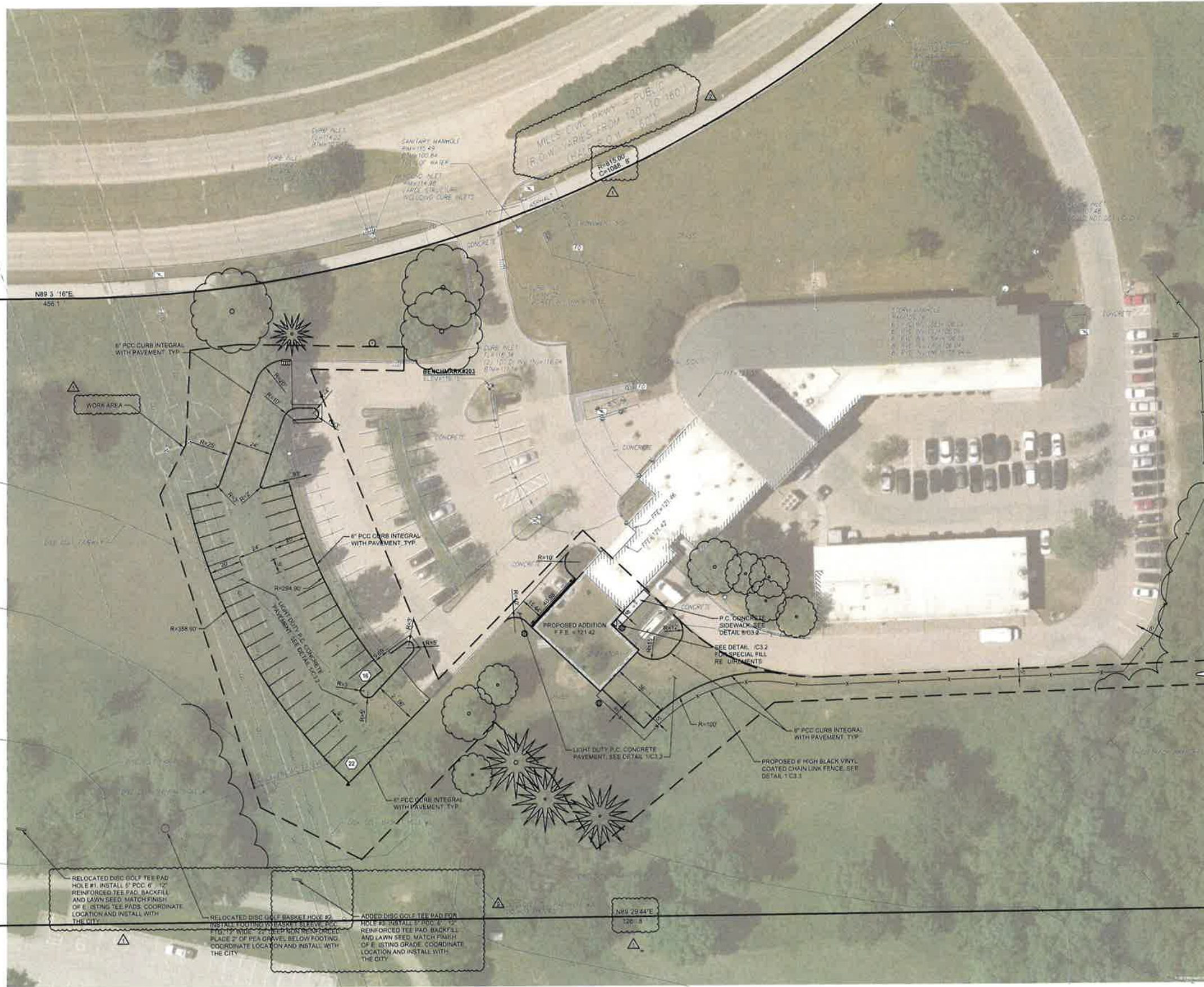
DATE:	01/19/2023
DESIGNED:	TWA
DRAWN:	TWA
REVIEWED:	LMT
FIELD BOOK NO.:	

LAYOUT PLAN

SHEET NUMBER

C1.1

PROJECT NO.: 0221006.00



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1 LAYOUT PLAN SCALE: 1"=30"



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ISSUE #	DATE	DESCRIPTION



137 E. GRAND AVENUE, SUITE 101
DES MOINES, IOWA 50319
Phone: (515) 259-3100
Email: DesMoines@boltonmenk.com
www.boltonmenk.com

MAJOR MODIFICATION (REVISED SITE PLAN)

PROJECT:
City of West Des Moines

Law Enforcement Center Garage Conversion & HVAC Improvements

250 Mills Civic Pkwy
West Des Moines, IA 50265

DATE: 03/10/2023

DESIGNED: NW

DRAWN: NW

REVIEWED: SK

FIELD BOOK NO.:

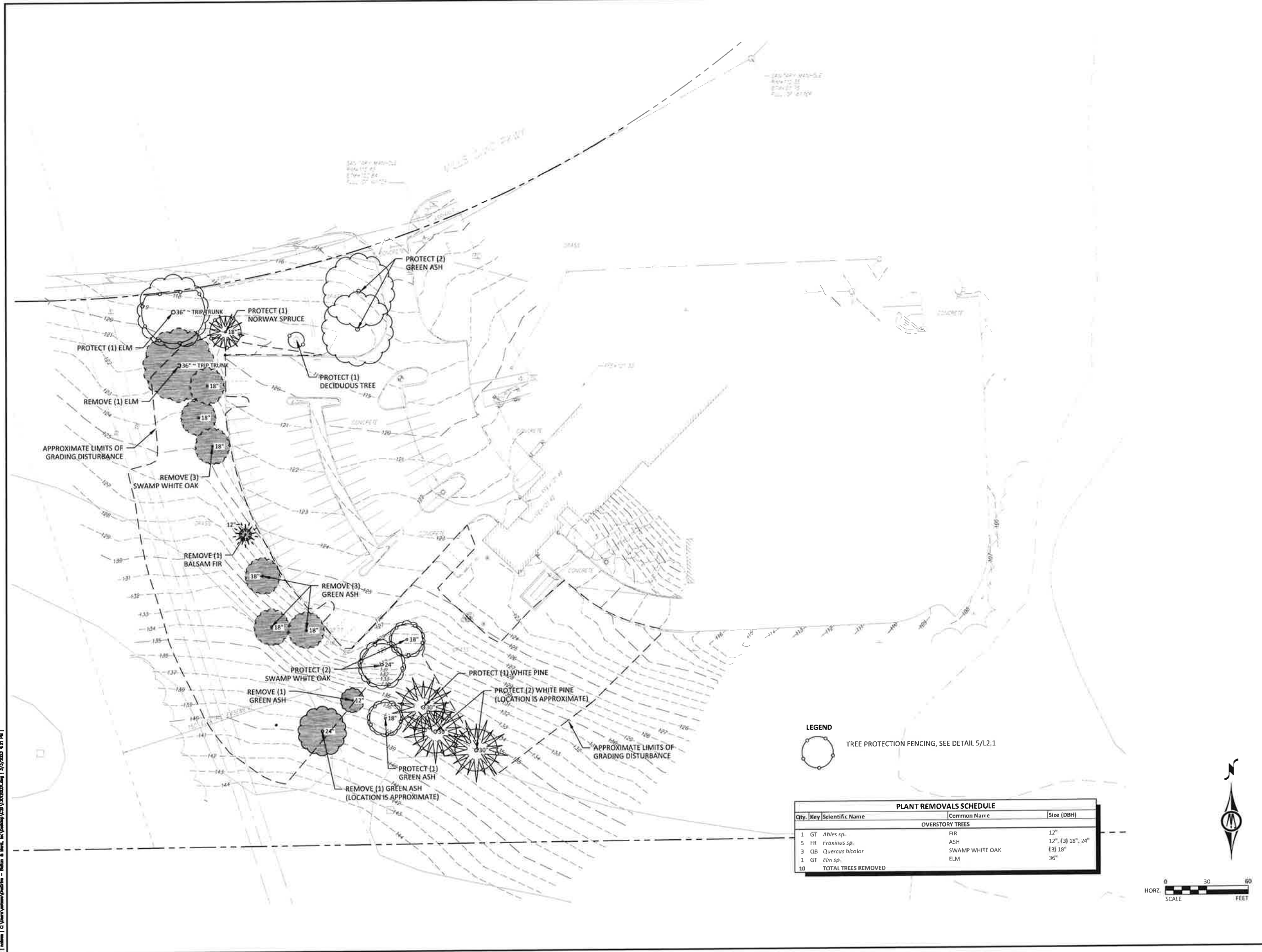
SHEET TITLE:

TREE REMOVALS PLAN

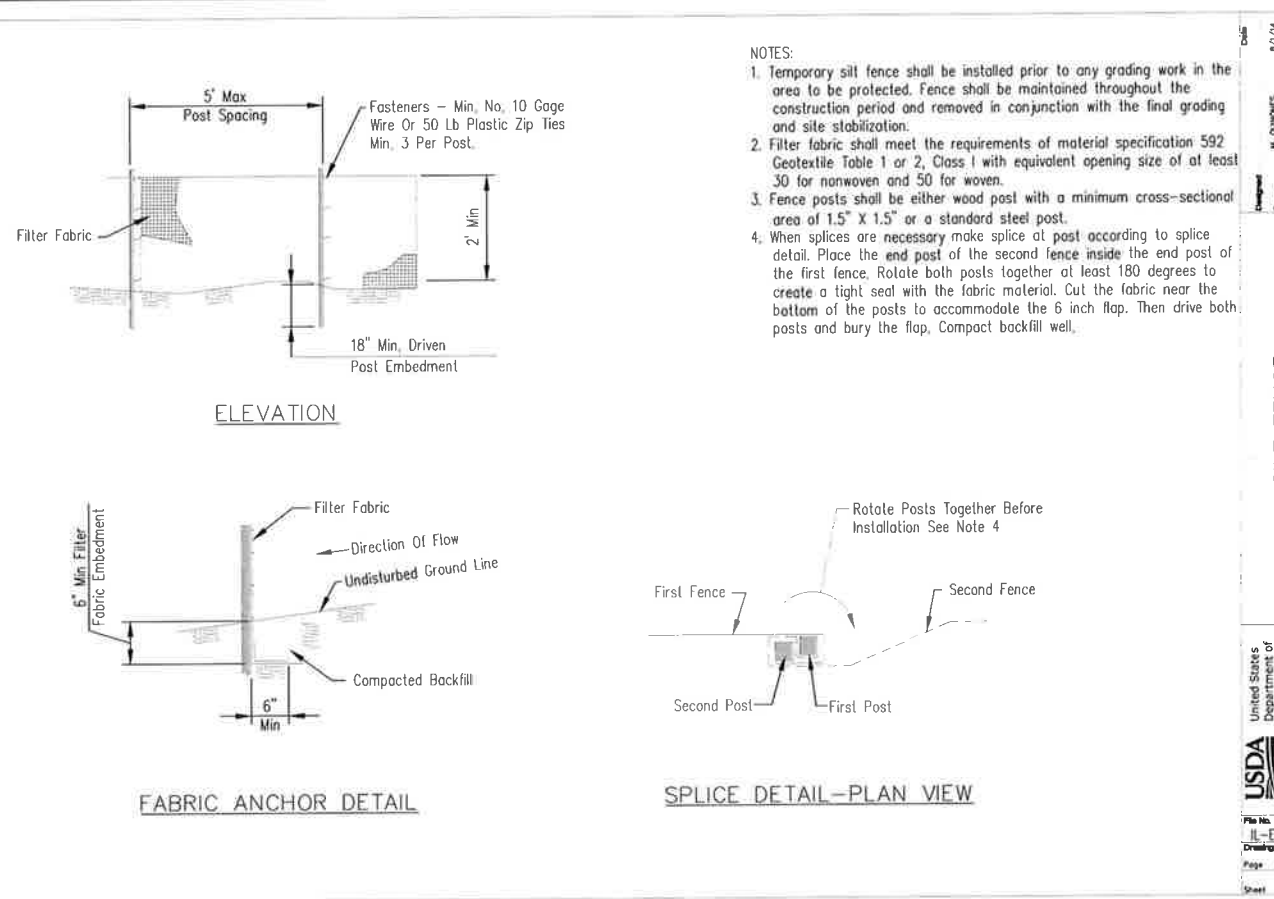
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CD1.2

PROJECT NO.: 0221006.00



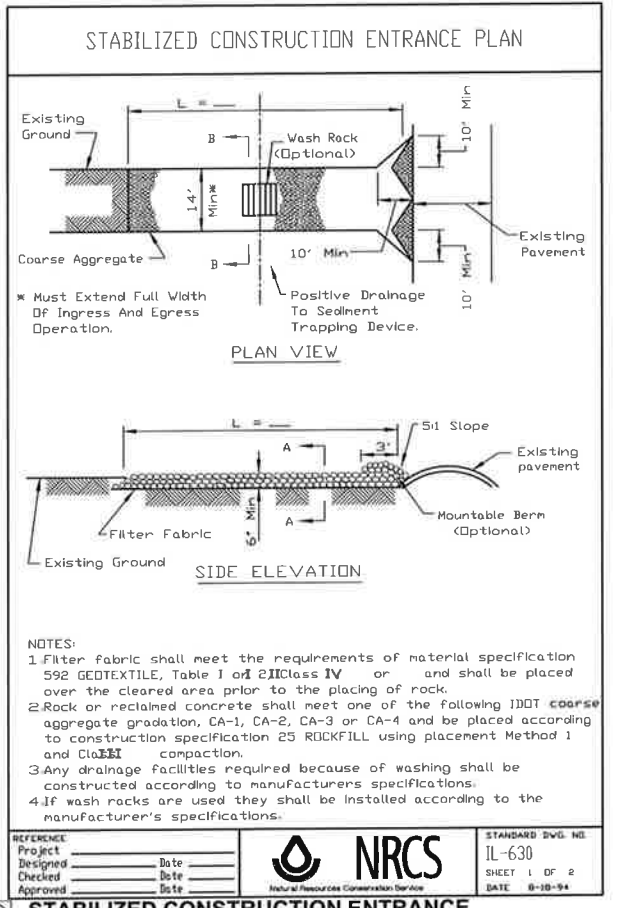
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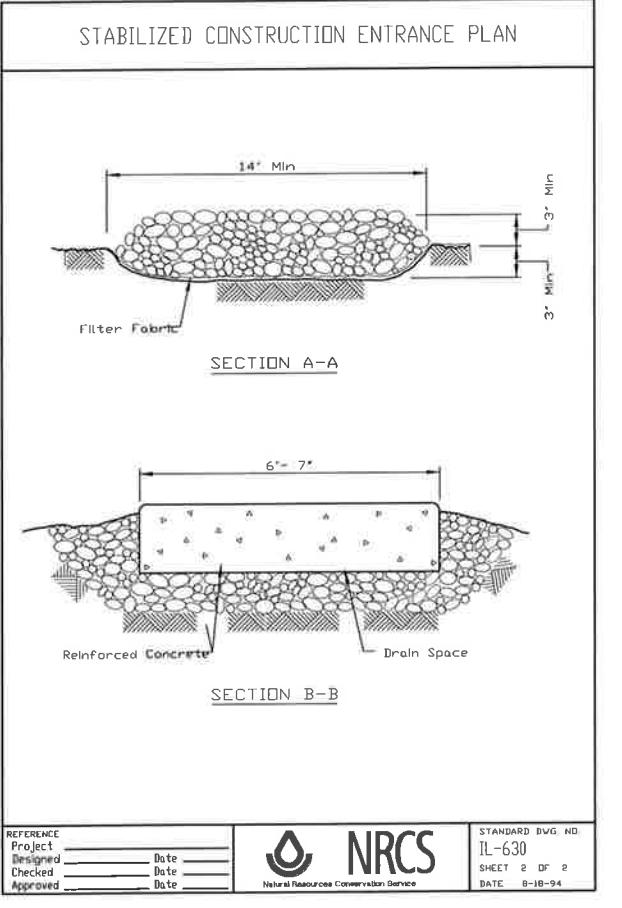
- NOTES:
1. Temporary silt fence shall be installed prior to any grading work in the area to be protected. Fence shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
 3. Fence posts shall be either wood post with a minimum cross-sectional area of 1.5" X 1.5" or a standard steel post.
 4. When splices are necessary make splice at post according to splice detail. Place the end post of the second fence inside the end post of the first fence. Rotate both posts together at least 180 degrees to create a tight seal with the fabric material. Cut the fabric near the bottom of the posts to accommodate the 6 inch flap. Then drive both posts and bury the flap, Compact backfill well.

Date: 8/7/14
 Designer: M. DONOHUE
 Checker:
 Approver:
 United States Department of Agriculture
 Natural Resources Conservation Service

5 SILT FENCE
SCALE: NOT TO SCALE



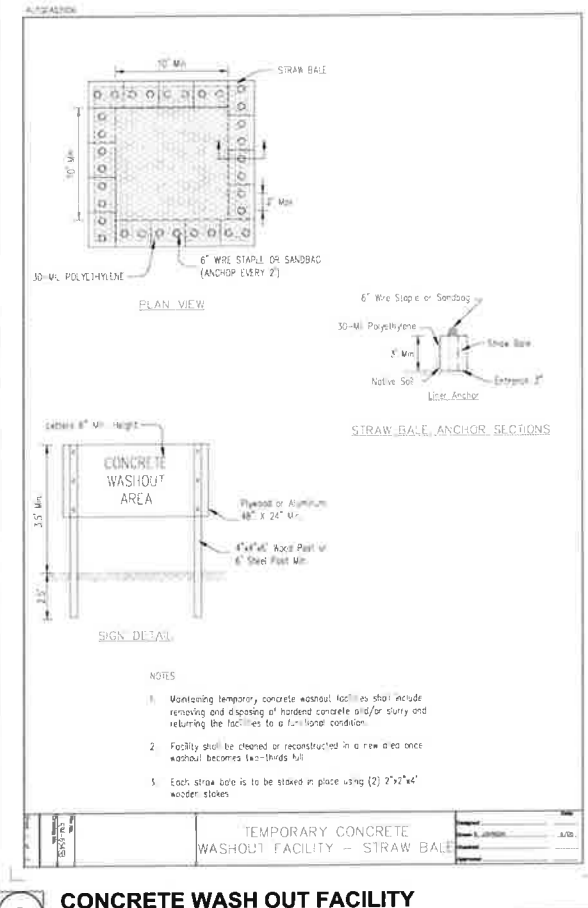
3 STABILIZED CONSTRUCTION ENTRANCE
SCALE: NOT TO SCALE



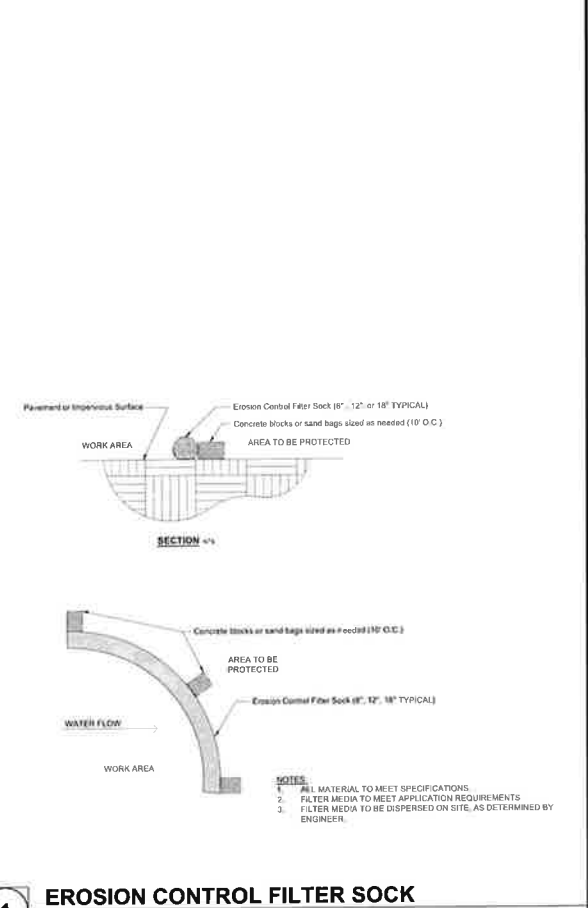
REFERENCE: Project, Date, Design, Date, Checked, Date, Approved, Date

NRCS
STANDARD DWG. NO. IL-630
SHEET 1 OF 2
DATE: 8-18-94

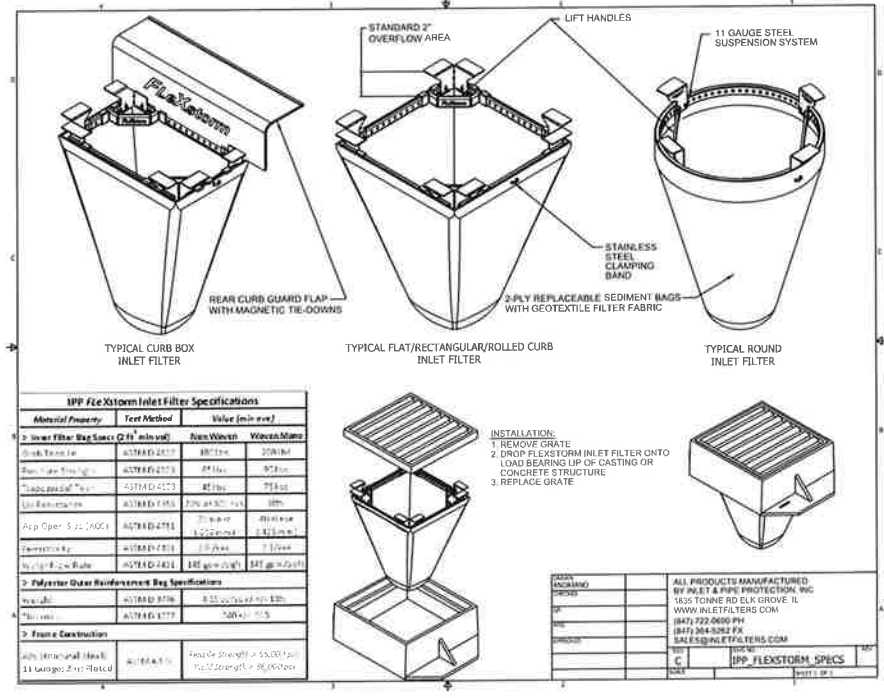
4 INLET PROTECTION
SCALE: NOT TO SCALE



2 CONCRETE WASH OUT FACILITY
SCALE: NOT TO SCALE



1 EROSION CONTROL FILTER SOCK
SCALE: NOT TO SCALE



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PROJECT: City of West Des Moines

#	DATE:	DESCRIPTION:

MAJOR MODIFICATION
(REVISED SITE PLAN)

PROJECT: City of West Des Moines

Law Enforcement Center Garage Conversion & HVAC Improvements

250 Mills Civic Pkwy
West Des Moines, IA 50265

DATE: 01/19/2023
DESIGNED: TWA
DRAWN: TWA
REVIEWED: LMT

EROSION CONTROL DETAILS

C3.1

PROJECT NO.: 0221006.00

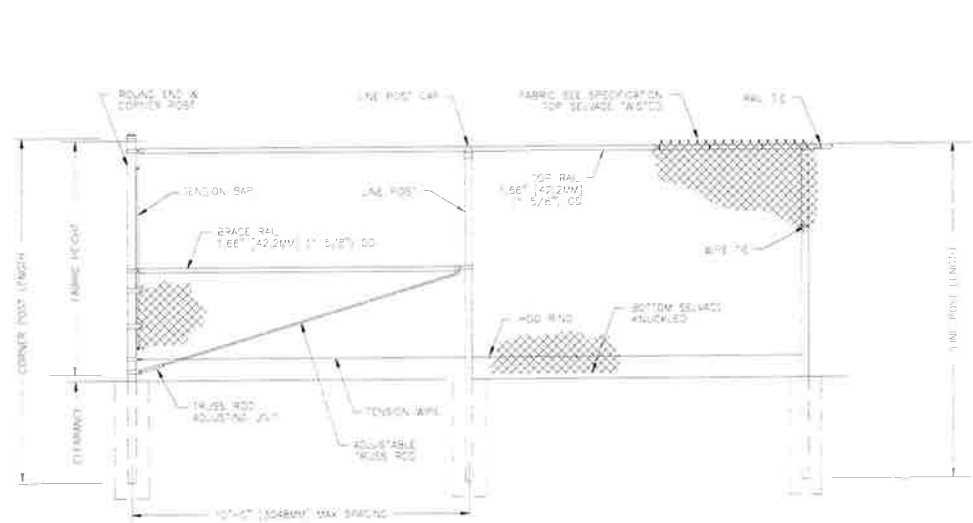


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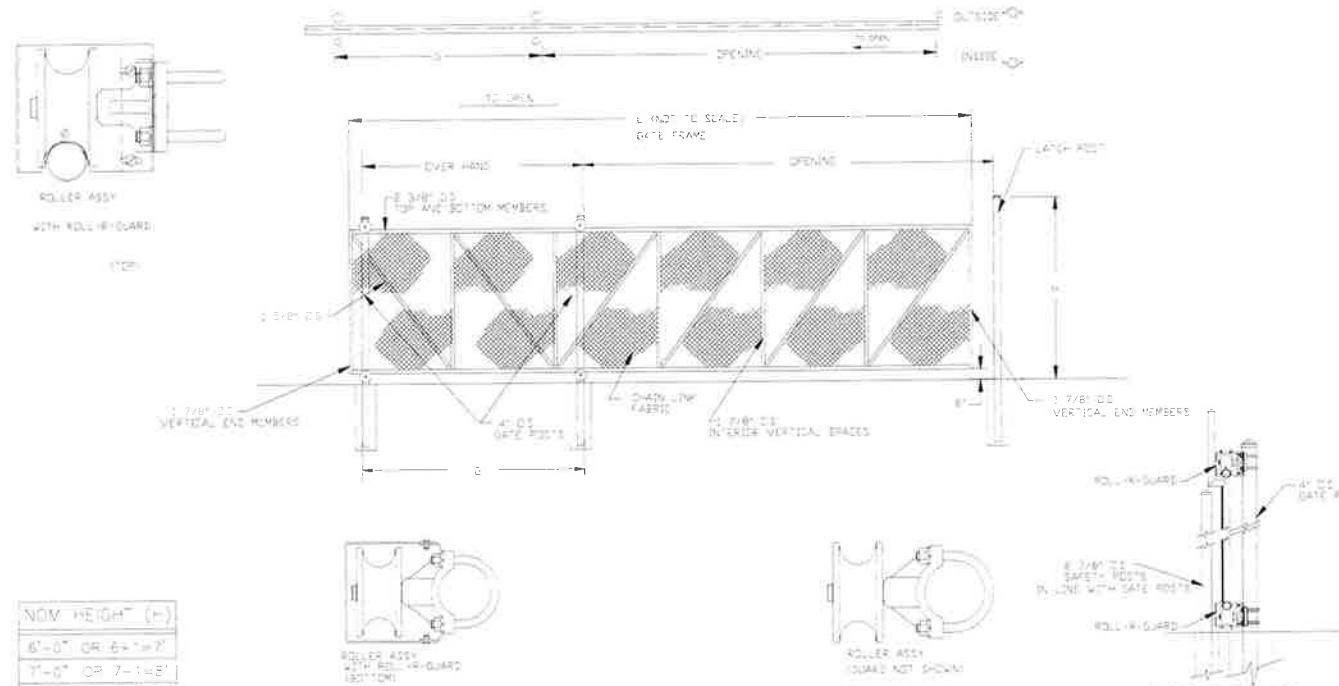
DATE: DESCRIPTION:
1 03/10/2023 CITY OF WDM COMMENTS



TYPICAL FENCE ELEVATION / SECTION

TOP RAIL / TRUSSED BRACE RAIL
BOTTOM TENSION WIRE

NOTES:
DESIGN AND SPECIFICATION SUBJECT TO CHANGE
FOOTING AND POSTS AS REQUIRED BY SITE CONDITIONS & CODES



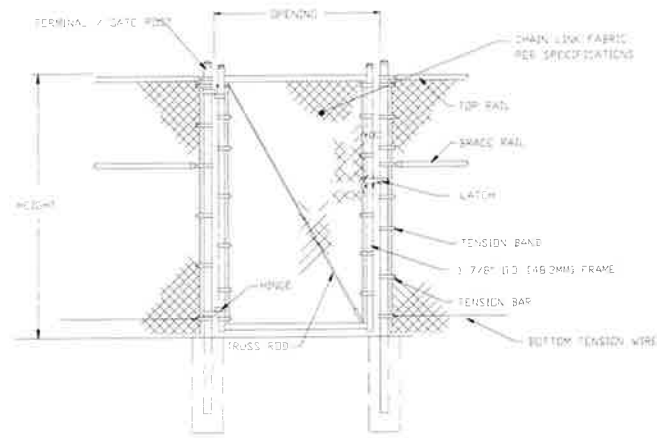
SINGLE CANTILEVERED SLIDE GATE ELEVATION / SECTION

TYPE 31 CLASS 1 EXTERNAL ROLLERS

NOM HEIGHT (H)
6'-0" OR 6'-11/8"
7'-0" OR 7'-1/8"
8'-0" OR 8'-1/8"

NOTES:
DESIGN AND SPECIFICATION SUBJECT TO CHANGE
FOOTING AND POSTS AS REQUIRED BY SITE CONDITIONS & CODES

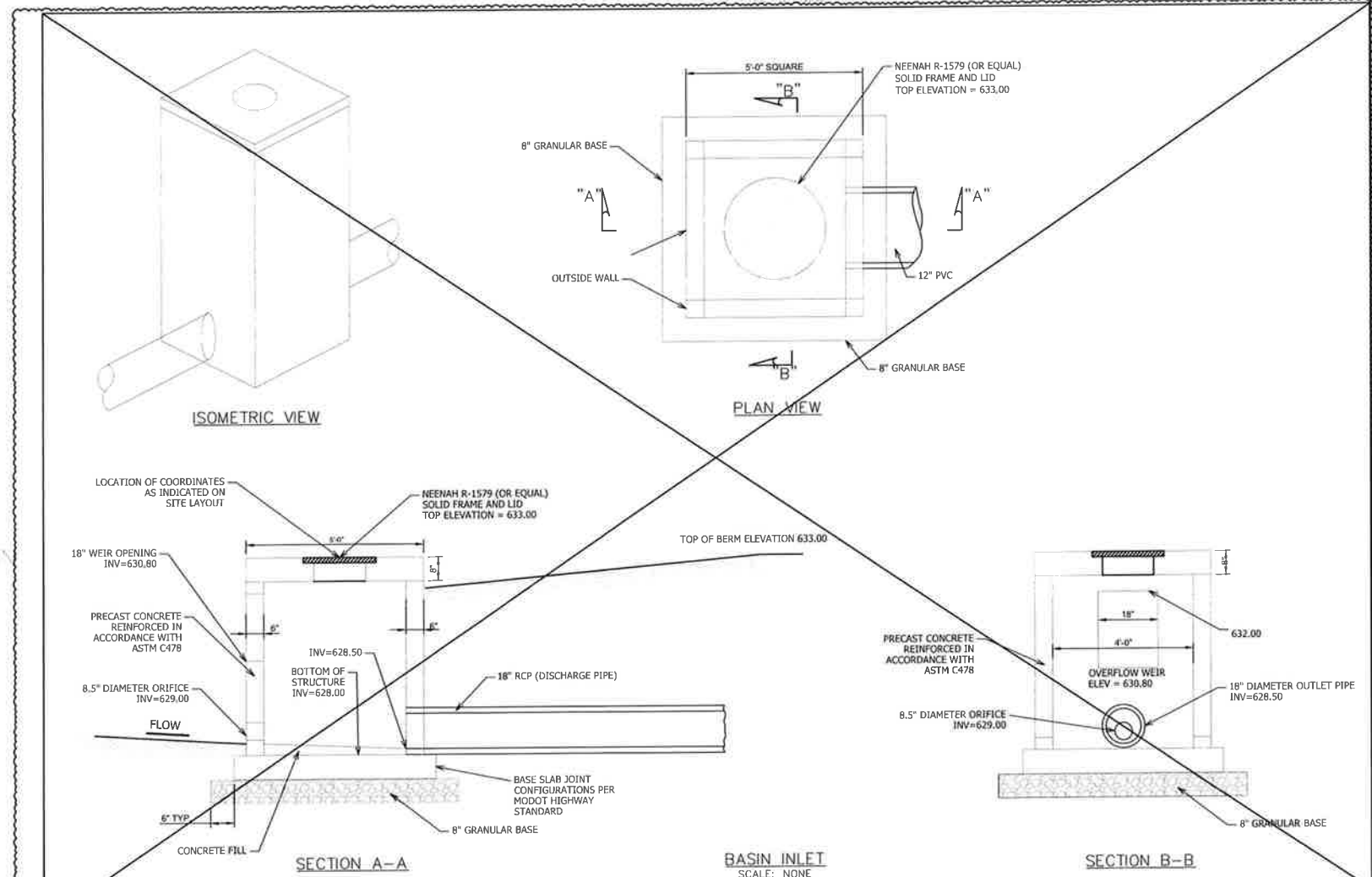
NOTE: FENCE TO BE 6' HIGH, BLACK VINYL COATED STEEL CHAIN LINK FENCE.



TYPICAL SINGLE SWING GATE ELEVATION / SECTION

TOP RAIL / TRUSSED BRACE RAIL
BOTTOM TENSION WIRE

NOTES:
DESIGN AND SPECIFICATION SUBJECT TO CHANGE
VERTICAL & HORIZONTAL MEMBERS MAXIMUM 8' O.C
FOOTING AND POSTS AS REQUIRED BY SITE CONDITIONS & CODES



DETENTION BASIN OUTLET STRUCTURE

BASIN INLET
SCALE: NONE

SECTION B-B

**MAJOR MODIFICATION
(REVISED SITE PLAN)**

PROJECT
City of West Des Moines

**Law Enforcement
Center Garage
Conversion & HVAC
Improvements**

250 Mills Civic Pkwy
West Des Moines, IA 50265

DATE: 01/19/2023

DESIGNED: TWA

DRAWN: TWA

REVIEWED: TWA

FIELD BOOK NO.:

SHEET TITLE

SITE DETAILS

SHEET NUMBER

C3.3

PROJECT NO.: 0221006.00

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1 CHAIN LINK FENCE DETAIL
SCALE: NOT TO SCALE

1 DETENTION BASIN OUTLET STRUCTURE
SCALE: NOT TO SCALE



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#	DATE:	DESCRIPTION:
1	4/08/23	CITY OF WDM COMMENTS #2



410 E GRAND AVENUE, SUITE 101
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Phone: 515-281-0100
Email: Des Moines@bolton-menk.com
www.bolton-menk.com

MAJOR MODIFICATION (REVISED SITE PLAN)

PROJECT:
City of West Des Moines

Law Enforcement Center Garage Conversion & HVAC Improvements

250 Mills Civic Pkwy
West Des Moines, IA 50265

DATE: 03/10/2023

DESIGNED: NW

DRAWN: NW

REVIEWED: SK

FIELD BOOK NO.:

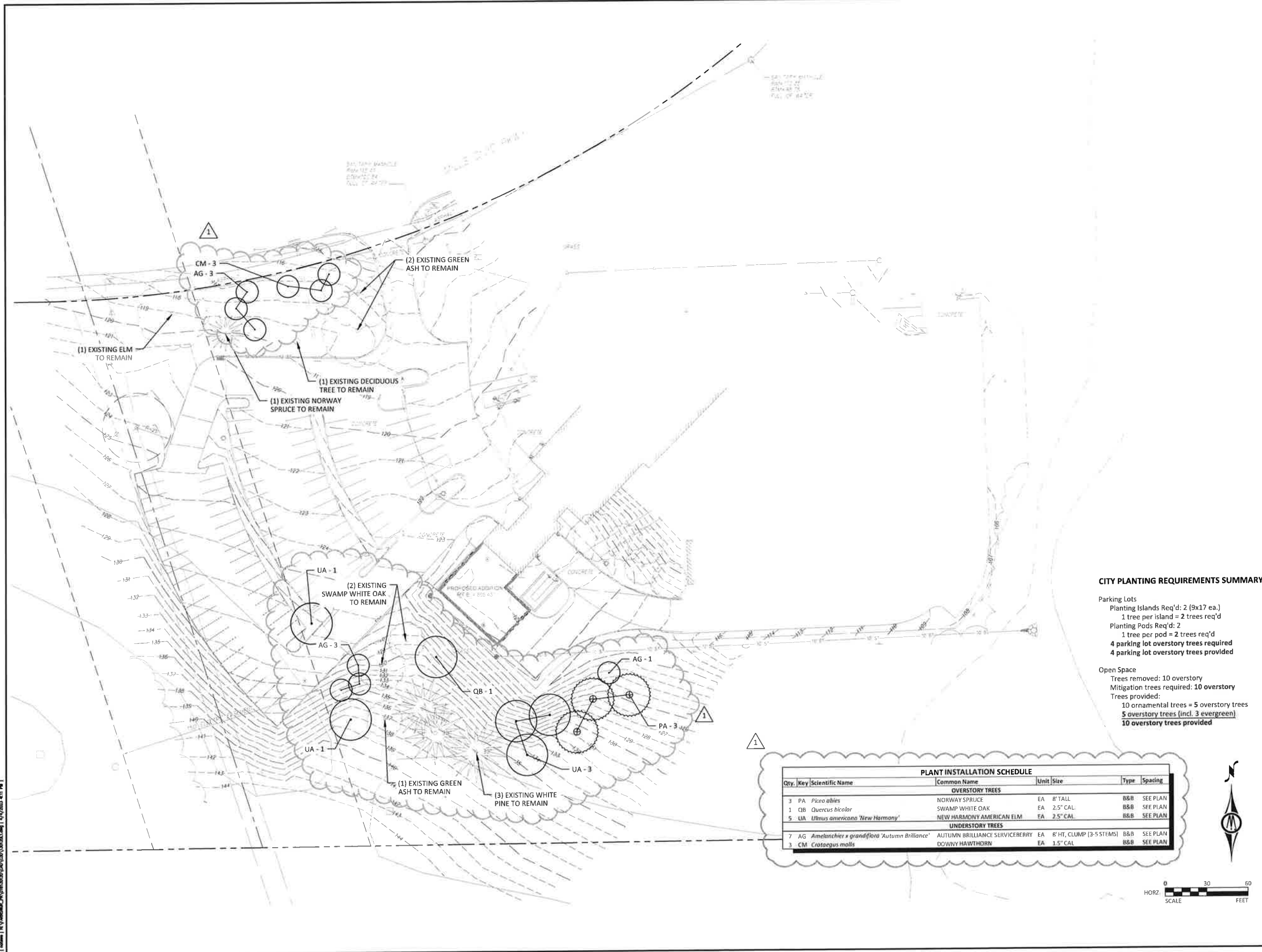
SHEET TITLE

PLANTING PLAN

SHEET NUMBER

L1.1

PROJECT NO.: 0221006.00

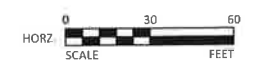


CITY PLANTING REQUIREMENTS SUMMARY

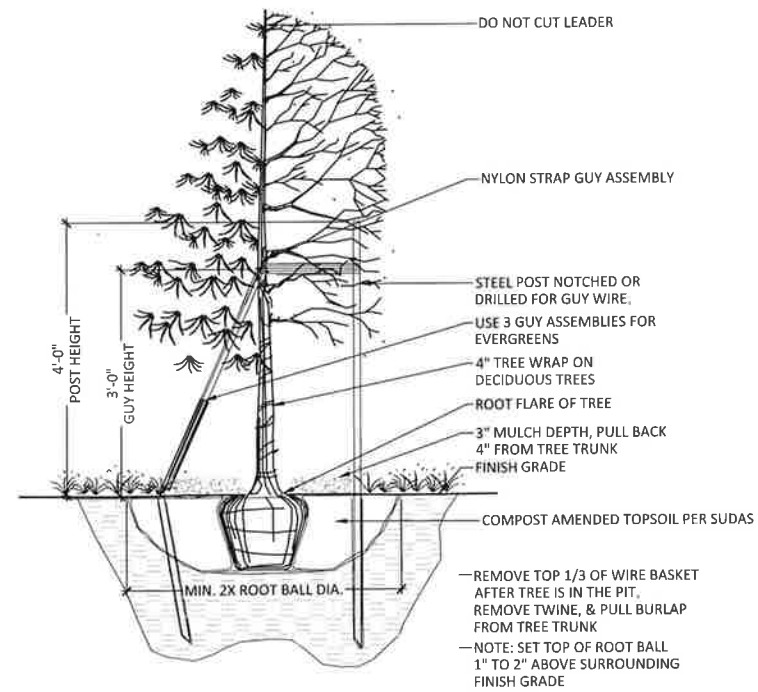
Parking Lots
 Planting Islands Req'd: 2 (9x17 ea.)
 1 tree per island = 2 trees req'd
 Planting Pads Req'd: 2
 1 tree per pad = 2 trees req'd
4 parking lot overstory trees required
4 parking lot overstory trees provided

Open Space
 Trees removed: 10 overstory
 Mitigation trees required: **10 overstory**
 Trees provided:
 10 ornamental trees = 5 overstory trees
5 overstory trees (incl. 3 evergreen)
10 overstory trees provided

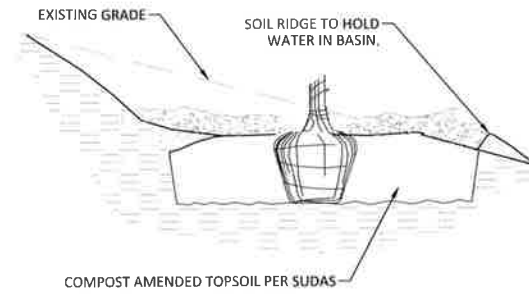
Qty.	Key	Scientific Name	Common Name	Unit	Size	Type	Spacing
OVERSTORY TREES							
3	PA	<i>Picea abies</i>	NORWAY SPRUCE	EA	8' TALL	B&B	SEE PLAN
1	QB	<i>Quercus bicolor</i>	SWAMP WHITE OAK	EA	2.5" CAL	B&B	SEE PLAN
5	UA	<i>Ulmus americana 'New Harmony'</i>	NEW HARMONY AMERICAN ELM	EA	2.5" CAL	B&B	SEE PLAN
UNDERSTORY TREES							
7	AG	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	AUTUMN BRILLIANCE SERVICEBERRY	EA	8' HT, CLUMP (3-5 STEMS)	B&B	SEE PLAN
3	CM	<i>Crotaegus mollis</i>	DOWNY HAWTHORN	EA	1.5" CAL	B&B	SEE PLAN



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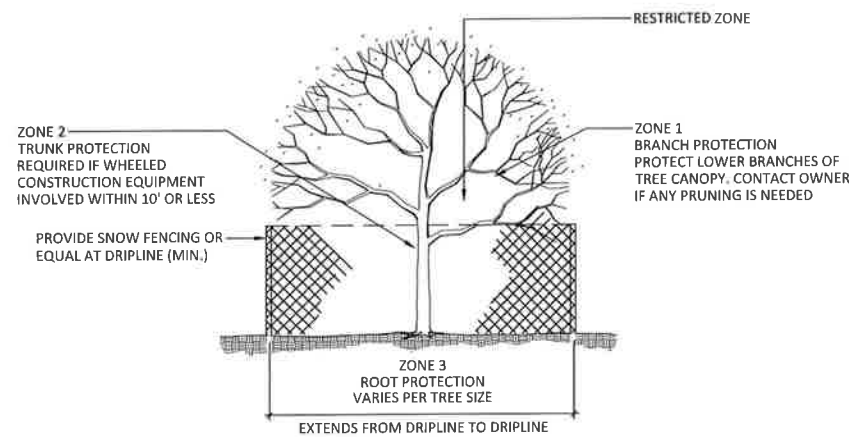


1 TREE PLANTING
SCALE: N.T.S.



— ON 2:1 SLOPES OR GREATER, DO NOT CONSTRUCT THE UPHILL HALF OF THE WATERING BASIN.

2 TREE PLANTING ON SLOPES
SCALE: N.T.S.



3 EXISTING TREE PROTECTION
SCALE: N.T.S.

GENERAL NOTES: LANDSCAPE PLANTING

1. ALL PLANTINGS TO FOLLOW 2023 IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS).
2. MASTER PLANT SCHEDULE: ALL TREES ARE LISTED IN THE MASTER PLANT SCHEDULE. IF THERE IS A CONFLICT BETWEEN THE QUANTITIES SHOWN ON THE DRAWINGS AND THE QUANTITIES SHOWN IN THE PLANT SCHEDULE, THE PLAN QUANTITIES SHALL PREVAIL.
3. PLANTING LAYOUT: STAKE ALL TREE LOCATIONS AND OBTAIN APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
4. TREES LOCATED IN TURF AREAS SHALL BE MULCHED TO 18 INCHES FROM TRUNK (36" DIA RING) IN ALL DIRECTIONS AND INSTALLED TO A DEPTH OF 3".
5. SEE NOTES ON CO.1 REGARDING TURF RESTORATION REQUIREMENTS.

TREE PROTECTION NOTES

1. ALL TREES TO BE PROTECTED AND PRESERVED SHALL BE PER DETAIL. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
2. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE.
3. TO PREVENT TREE ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN A TREE DRIP LINE OR WITHIN 15 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.
4. TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
5. TRENCHES SHALL BE HAND DUG WITHIN THE DRIP LINE IN AREAS WHERE ROOTS TWO INCHES IN DIAMETER AND GREATER ARE PRESENT, OR WHEN IN CLOSE PROXIMITY TO LOW BRANCHING TREES. WHENEVER POSSIBLE, ROOTS TWO INCHES OR GREATER IN DIAMETER SHALL BE TUNNELED OR BORED UNDER AND SHALL BE COVERED TO PREVENT DEHYDRATION.
6. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, TREE ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, WHEN ROOT ENERGY SUPPLIES ARE HIGH AND CONDITIONS ARE LEAST FAVORABLE FOR DISEASE CAUSING AGENTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST.
7. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
8. AUGER TUNNELING RATHER THAN TRENCHING SHOULD BE USED FOR UTILITY PLACEMENT WITHIN DRIP LINE OF TREE.
9. FENCING MATERIAL SHALL ENCIRCLE ANY TREE WHOSE OUTER DRIP LINE EDGE IS WITHIN 20 FEET OF ANY CONSTRUCTION ACTIVITIES.
10. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
11. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
12. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.



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#	DATE	DESCRIPTION



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MAJOR MODIFICATION
(REVISED SITE PLAN)

PROJECT
City of West Des Moines

**Law Enforcement
Center Garage
Conversion & HVAC
Improvements**

250 Mills Civic Pkwy
West Des Moines, IA 50265

DATE: 03/10/2023

DESIGNED: NW

DRAWN: NW

REVIEWED: SK

FIELD BOOK NO.:

SHEET TITLE

PLANTING DETAILS

SHEET NUMBER

L2.1

PROJECT NO.: 0221006.00

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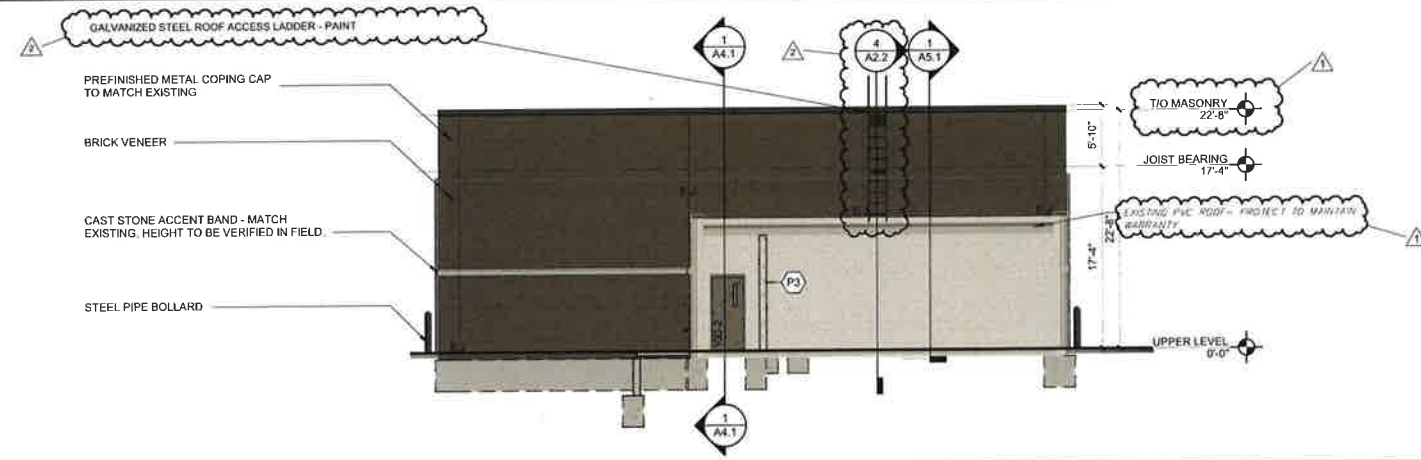


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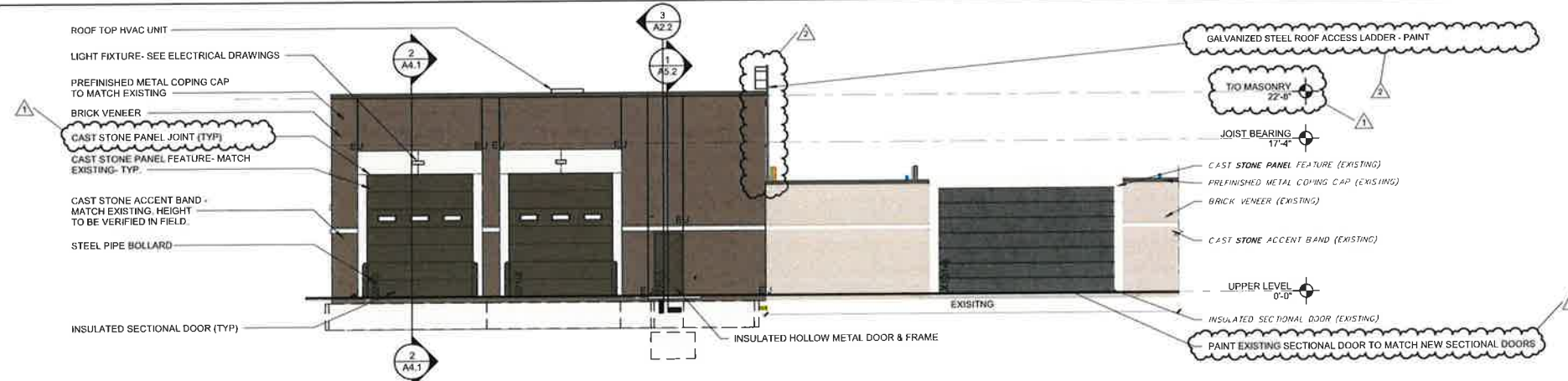
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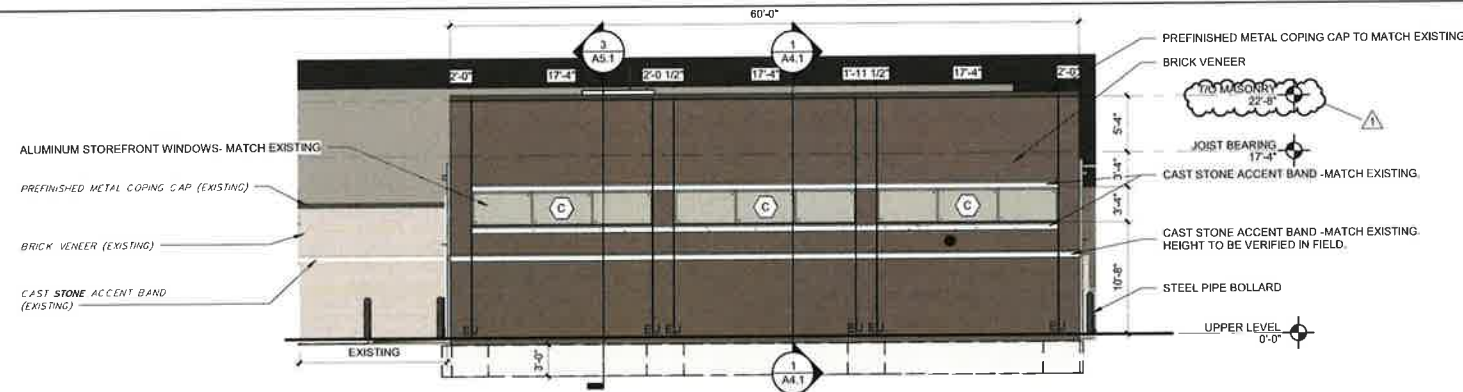
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1	03/10/2023	MAJOR MODIFICATION REVISIONS
2	05/10/2023	MAJOR MODIFICATION REVISIONS



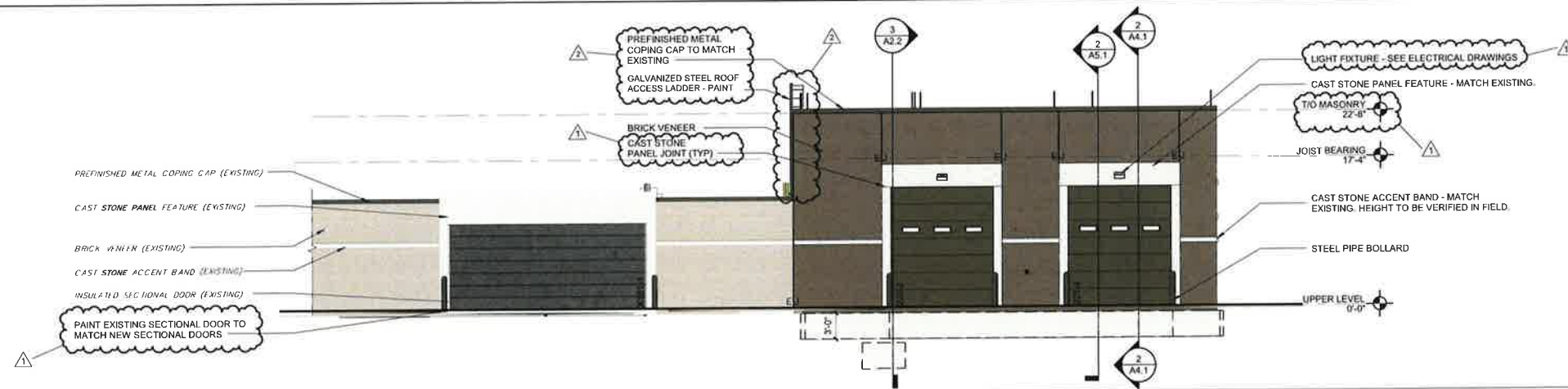
4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MAJOR MODIFICATION
(REVISED SITE PLAN)

PROJECT
City of West Des Moines
(0510-027-2022)

**Law Enforcement
Center Garage
Conversion & HVAC
Improvements**

250 Mills Civic Pkwy
West Des Moines, IA 50265

DATE:	01/19/2023
DESIGNED:	KO
DRAWN:	KG
REVIEWED:	KO

SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A3.1

PROJECT NO.: 0221006.00