

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: May 22, 2023

ITEM: Iowa Army National Guard Readiness Center, 1625 SE County Line Road – Approve Site Plan to allow construction of a military readiness center – Iowa Army National Guard – SP-005770-2023

Resolution: Approval of Site Plan and Approval of Granting of Water Easement

Background: The Iowa Army National Guard (“National Guard”), with permission from the City of West Des Moines, the property owner, requests approval of the Site Plan for the approximately 35-acre property located at 1625 SE County Line Road. The applicant proposes to construct up to a 65,000 sq. ft. building with associated parking for personnel vehicles and military vehicles. Initial construction will be a 45,300 sq. ft. building with 2 possible additions in the future.

Staff Review & Comment:

- **Financial Impact:** The City has acquired land, is constructing SE County Line Road and adjacent sidewalk/trail, and installing sanitary sewer to accommodate this project, as well as to provide infrastructure for future development in the area. The City’s Legal Department is negotiating a 28E Agreement regarding other responsibilities of the National Guard and the City.
- **History:** The Comprehensive Plan Land Use designation of Professional Commerce Park was repealed in April 2023 as part of the 2022 Comprehensive Plan Update. A Comprehensive Plan Land Use amendment was approved in May 2023 to designate the parcel as Industrial High and a companion zone change also was approved in May 2023 to designate the parcel for General Industrial zoning.
- **Key Development Aspects:**
 1. **Shared Property:** The National Guard will be leasing ground from the city for their facility for a period of 20 years, with an option to renew for four additional successive 20-year terms. As part of the 28E that is being negotiated, the city will be allowed to utilize specific areas of the National Guard’s facility such as, Drill Hall/Gymnasium, classrooms, kitchen, and physical fitness rooms for community recreation and gathering purposes when the National Guard is not conducting training. Per the draft 28E Agreement, the National Guard shall be responsible for handling scheduling use of the shared areas.
 2. **Site Development:** Although the National Guard is exempt from abiding by City codes, including zoning, building and fire codes, the National Guard has voluntarily accommodated many of the City’s codes. Nonetheless, there are several aspects of the site plan that vary from code:
 - (a) The incorporation of landscape islands and tree pods with required trees within the privately owned vehicle (POV) parking field.
 - (b) Continuous 4” or taller curbing of the privately owned vehicle (POV) parking field – some portions will have shorter curbs and some areas will have no curbing to facilitate drainage.
 - (c) The use of 3” rolled curbs or no curbs along the drives that lead to the vehicle and equipment storage areas. (The edge of the vehicle storage parking field itself is indicated to have 6” curbing.)
 - (d) Implementation of the required minimum number of shrubs in the open space interior to the site and trees along the perimeter for security concerns.

- (e) Interim use of gravel for the “public” parking areas. The plans indicate gravel with a bid alternate for paving. The National Guard indicated that if paving is not done with the initial construction, it is their intent to pave the parking fields when funding is available.
- (f) Lack of doors on the trash enclosure. The enclosure opening is oriented such that there will not be views into the enclosure from the perimeter roads and earthen berming and/or landscape vegetation has been situated such to ensure blockage of views.

Due to personnel shortages in the State Fire Marshal's Office, the State Fire Marshal has turned over regulations and inspections to the City's Fire Department. Building inspections will also be done by the City. As it relates to both the Building and Fire Code, per the proposed 28E Agreement, if the National Guard disagrees with the City's direction or recommendations, a determination of applicability shall be made by the State authority having jurisdiction or by Federal officials.

The National Guard will be implementing a 7' tall, galvanized, chain link fence with an additional 1' of barb wire around the vehicle and equipment storage area. The same 7' galvanized fence without the barbed wire will be installed along the common boundary with the City's Fire Station area. A 7', black, vinyl coated chain link fence will be located at the perimeter of the National Guard's defined lease area adjacent to the surrounding public roadways.

3. *Balance of Property*: The larger property upon which the National Guard will be constructing the Readiness Center is approximately 48 acres in size. The National Guard will utilize approximately 35 of the acres and the balance of the property is intended to be the home of a future Fire Station.
 4. *Emergency Access Agreement*: To provide access rights, the National Guard and the West Des Moines Water Works (WDMWW) will be executing an Emergency Access Agreement that will allow WDMWW personnel to enter the site to make emergency repairs. This agreement will need to be executed prior to WDMWW turning on water for the site.
 5. *Plat of Survey*: Per the lease agreement, the National Guard is to submit a Plat of Survey to formally define the lease area. This Plat of Survey has been submitted and is currently in the City's review process. The Plat of Survey will be brought to the City Council for consideration at a future meeting.
- *Traffic Impact Study Findings*: The proposed land use is estimated to generate significantly less traffic than previously estimated for the site. Therefore, there is no additional loading on the planned roadway network and recommendations given in previous studies for major intersections downstream of the site remain adequate. These recommendations may change in the future as land uses in the area are modified in the next comprehensive plan update.
 - *Developer Responsibilities*: A 28E Agreement is being negotiated which will define the National Guard's responsibilities.

It is known that the National Guard will be responsible for the following:

- 18.33 acres of Sanitary Sewer Connection Fee District Fees (balance of acres paid by previous property owner).
- 35.10 acres of Water Connection Fee District Fees.
- Construction of sidewalks along the roadways of Veterans Parkway, SE Maffitt Lake Road and SE Orilla Road abutting the National Guard's lease area are the responsibility of the National Guard. The sidewalk along Veterans is to be installed in conjunction with site

development and prior to issuance of an occupancy permit, including Temporary Occupancy Permit for any of the National Guard's buildings. Sidewalks along SE Maffitt Lake Road and SE Orilla Road will need to be installed, or financial surety for their future construction provided to the City prior to the issuance of any occupancy permits. (The sidewalk/trail along SE County Line Road will be constructed by the City as part of the SE County Line Road improvement project. Sidewalks adjacent to the balance of the City's property outside of the National Guard's defined lease area will be the responsibility of the City.)

- Streetlights on all roads abutting the National Guard's defined lease area (Veterans Parkway, SE County Line Road, SE Maffitt Lake Rd and SE Orilla) are the responsibility of the National Guard. Written proof of payment or other agreement with MidAmerican Energy for the installation of the streetlights will need to be provided to the City prior to the issuance of an occupancy permit, including Temporary Occupancy Permit for any of the National Guard's buildings.
 - All internal site development aspects.
- Development & Planning Subcommittee: This project will be presented to the Development and Planning City Council Subcommittee on June 5, 2023, as an upcoming project.
 - Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues related to the site plan.

Planning and Zoning Commission Action:

Date:

Vote:

Recommendation:

Recommendation: Approve the Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. Prior to issuance of a building permit for above ground construction, the associated Plat of Survey defining the National Guard's lease area must be approved by the City Council.
2. Prior to issuance of a building permit for above ground construction, the 28E agreement must be executed.
3. Prior to issuance of a building permit for footing and foundations or above ground construction, all development application and building permit fees must be paid. Site grading and private utility work may proceed prior to payment of fees.
4. Prior to connection to either the sewer or water line, the Sanitary Sewer and Water Connection Fee District fees must be paid.
5. As part of site development and prior to issuance of an Occupancy Permit for any portion of the National Guard's building, including issuance of Temporary Occupancy Permits, the sidewalk along Veterans Parkway adjacent to the National Guard's lease area must be installed. Additionally, sidewalks along SE Maffitt Lake Road and SE Orilla Road will need to be constructed, or financial

surety for their future construction provided to the city prior to the issuance of any occupancy permits, temporary or final. (Sidewalks along SE County Line Road and adjacent to the balance of the City's property outside of the National Guard's defined lease area will be the responsibility of the City.)

6. As part of site development and prior to issuance of an Occupancy Permit for any portion of the National Guard's building, including issuance of Temporary Occupancy Permits, written proof of payment or other agreement with MidAmerican Energy for the installation of the streetlights along all roadways (Veterans Parkway, SE County Line Road, SE Maffitt Lake Road and SE Orilla Road) abutting the National Guard's defined lease area shall be provided to the City.
7. The City Council accepting those aspects within the site as outlined in this staff report that do not meet City Code requirements.

Lead Staff Member: Kara Tragesser

Approval Meeting Dates:

Planning and Zoning Commission	May 22, 2023
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	6/5/23 – Upcoming Project
Recommendation	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



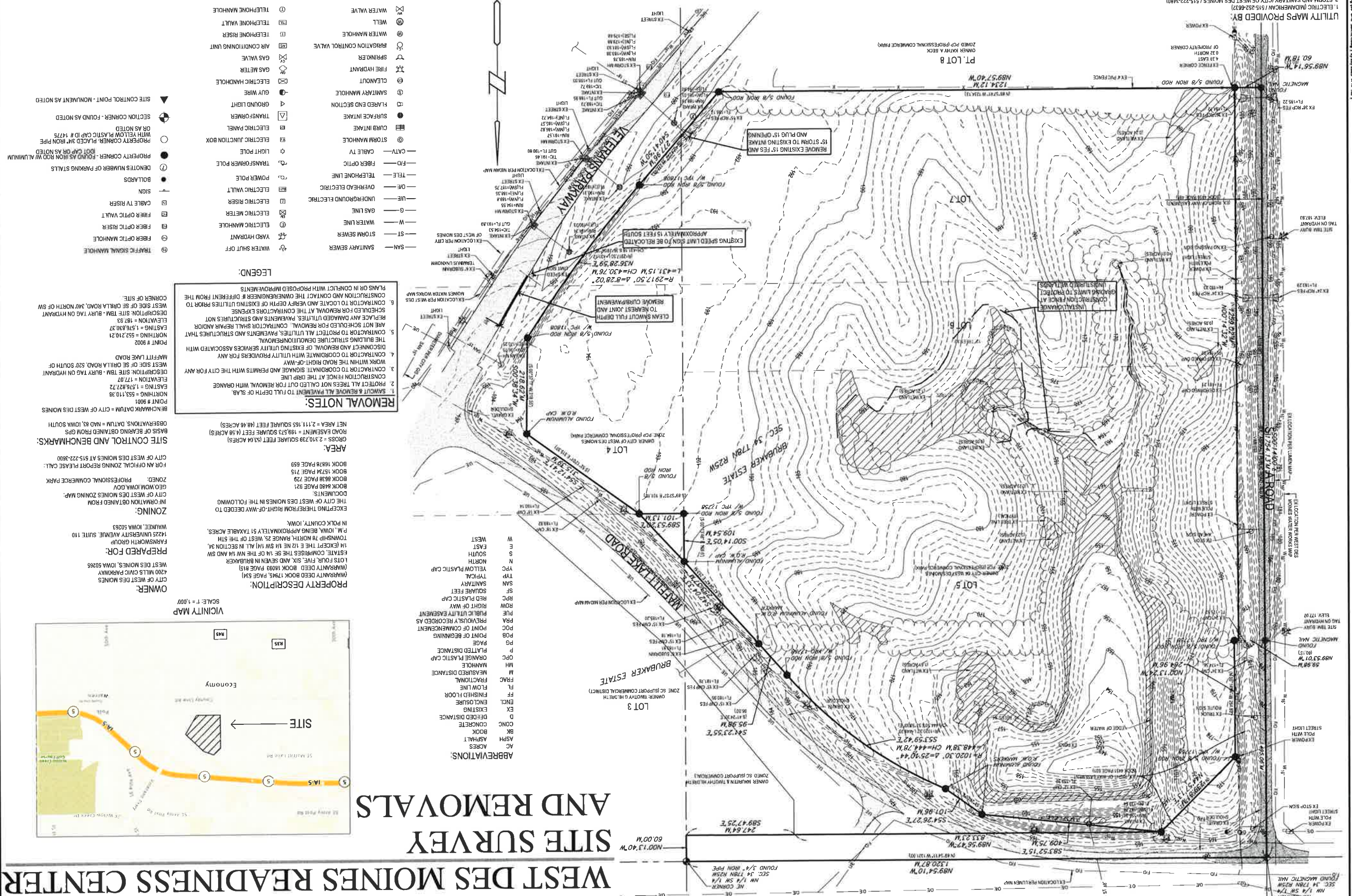
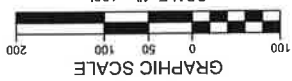
Vicinity Map – Land Uses



UTILITY MAPS PROVIDED BY:
 1. ELECTRIC (MIDAMERICAN / 515-252-6532)
 2. STORM AND SANITARY (CITY OF WEST DES MOINES / 515-222-3480)
 3. WATER (WEST DES MOINES WATER WORKS / 515-222-3510)
 4. FIBER OPTIC (CITY OF WEST DES MOINES / 515-222-3492)
 5. FIBER OPTIC (CENTURYLINK/LUMEN) / 918-547-0147

UTILITY NOTE:
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NOTES:
 1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM POK COUNTY ASSESSORS WEB PAGE.
 2. BEARINGS (I) DENOTES PREVIOUSLY RECORDED.
 3. COPYRIGHT 2021 BISHOP ENGINEERING. THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN MAY NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESS WRITTEN PERMISSION OF BISHOP ENGINEERING.



ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BOOK BOOK
- CONC CONCRETE
- EXIST EXISTING
- ENCL ENCLUSE
- FLOOR FINISHED FLOOR
- FRACTIONAL FRACTIONAL
- LINE FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OFC ORANGE PLASTIC CAP
- PAGE PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYPE TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

LEGEND:

- SWAY SANITARY SEWER
- ST STORM SEWER
- W WATER LINE
- G GAS LINE
- UE UNDERGROUND ELECTRIC
- OE OVERHEAD ELECTRIC
- TELE TELEPHONE LINE
- FO FIBER OPTIC
- CAV CABLE TV
- SI SURFACE INTAKE
- FI FLARED END SECTION
- SM SANITARY MANHOLE
- GM GAS METER
- AV AIR CONDITIONING UNIT
- TR TELEPHONE RISER
- WM WELL
- WV WATER VALVE
- EH ELECTRICAL HANDHOLE
- FW FIRE HYDRANT
- SP SPRINKLER
- RI RIRIGATION CONTROL VALVE
- TR TELEPHONE RISER
- TM TELEPHONE VAULT
- TM TELEPHONE MANHOLE

REMOVAL NOTES:

1. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH GRANGE.
2. CONSTRUCTION TO COORDINATE SIGNAGE AND PERMITS WITH THE CITY FOR ANY WORK WITHIN THE ROAD RIGHT-OF-WAY.
3. CONSTRUCTION TO COORDINATE WITH UTILITY PROVIDERS FOR ANY DISCONNECT AND REMOVAL OF EXISTING UTILITY SERVICES ASSOCIATED WITH THE BUILDING STRUCTURE DEMOLITION/REMOVAL.
4. CONTRACTOR SHALL REPAIR AND REPAIR AND STRUCTURES THAT ARE NOT SCHEDULED FOR REMOVAL. CONTRACTOR SHALL REPAIR AND REPAIR ANY DAMAGED UTILITIES, PAVEMENTS AND STRUCTURES NOT SCHEDULED FOR REMOVAL AT THE CONTRACTORS EXPENSE.
5. CONTRACTOR TO LOCATE AND VERIFY DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND CONTACT THE OWNERS/ENGINEER IF DIFFERENT FROM THE PLANS OR IN CONFLICT WITH PROPOSED IMPROVEMENTS.
6. SECURED FOR REMOVAL AT THE CONTRACTORS EXPENSE.
7. SCHEDULE FOR REMOVAL AT THE CONTRACTORS EXPENSE.
8. CONSTRUCTION TO LOCATE AND VERIFY DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND CONTACT THE OWNERS/ENGINEER IF DIFFERENT FROM THE CORNER OF SITE.

PROPERTY DESCRIPTION:
 (WARRANTY DEED BOOK 17965 PAGE 531)
 WEST DES MOINES, IOWA 50265
 4200 MILLS CIVIC PARKWAY
 CITY OF WEST DES MOINES

PREPARED FOR:
 WEST DES MOINES, IOWA 50265
 1425 UNIVERSITY AVENUE, SUITE 110
 FARMSWORTH GROUP
 WAUKEG, IOWA 50263

ZONING:
 INFORMATION OBTAINED FROM
 CITY OF WEST DES MOINES ZONING MAP.
 GEO IOWA GOV
 PROFESSIONAL COMMERCIAL PARK
 BOOK 868 PAGE 29
 BOOK 868 PAGE 715
 BOOK 1638 PAGE 659

SITE CONTROL AND BENCHMARKS:
 BASIS OF BEARING OBTAINED FROM GPS
 OBSERVATIONS, DATUM = NAD 83, IOWA SOUTH
 BENCHMARK DATUM = CITY OF WEST DES MOINES
 POINT # 9001
 ELEVATION = 553.1138
 NORTHING = 1,576,827.72
 EASTING = 1,171.07
 POINT # 9002
 ELEVATION = 552.2102
 NORTHING = 1,576,830.37
 EASTING = 1,576,830.37



DATE: 01/26/2023

CONTRACT #: C154W4094

PARANG PROJECT #: 190191

DESIGNED: DB & BK

DRAWN: BK & CT

REVIEWED: DB

FIELD BOOK NO.:

SHEET TITLE:

1625 SE County Line Road
 West Des Moines, IA

West Des Moines Readiness Center

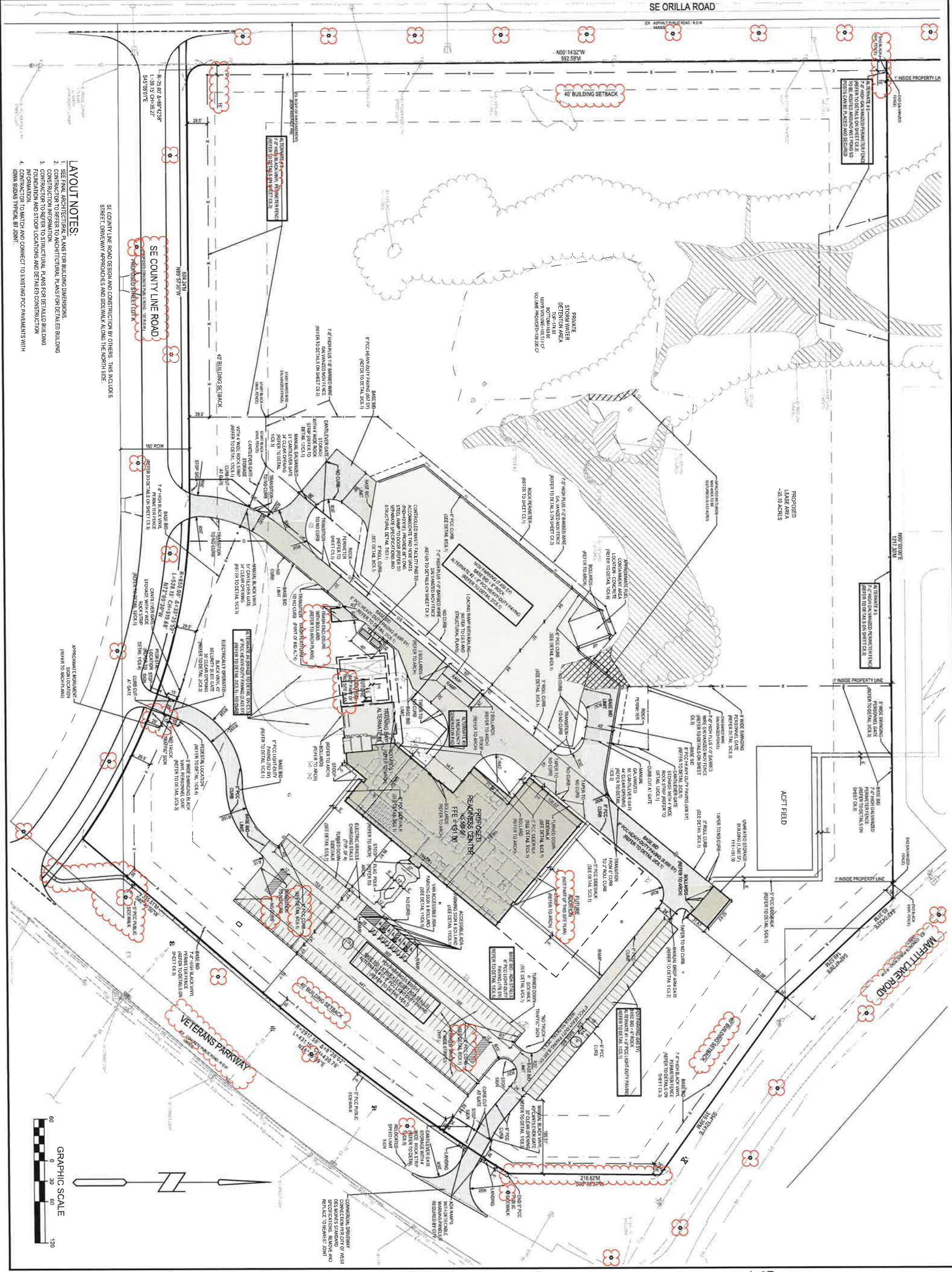
Iowa National Guard

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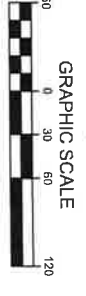
PROJECT NO.: 0210717.00

C1.1



- LAYOUT NOTES:**
1. SEE FINAL ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 2. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR DETAIL ED BUILDINGS.
 3. CONTRACTOR TO REFER TO STRUCTURAL PLANS FOR DETAIL ED BUILDING FOUNDATION AND STOOD LOCATIONS AND DETAILED CONSTRUCTION INFORMATION.
 4. CONTRACTOR TO MATCH AND CONNECT TO EXISTING PCC PAVEMENTS WITH DIMS TYPICAL BY 25MM.

SE COUNTY LINE ROAD DESIGN AND CONSTRUCTION BY OTHERS. THIS INCLUDES STREET OPENING APPROACHES AND SIDEWALK ALONG THE NORTH SIDE.





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 1425 UNIVERSITY AVENUE, SUITE 110
 WAUKEG, IOWA 50263
 (515) 225-3469 / info@f-w.com

www.f-w.com
 Engineers | Architects | Surveyors | Scientists

100% CONSTRUCTION SET
 01/26/2023

PROJECT: Iowa National Guard

West Des Moines Readiness Center

1625 SE County Line Road
 West Des Moines, IA

DATE: 01/26/2023
 CONTRACT #: C154W4094
 IAAING PROJECT #: 190191
 DESIGNED: DB & BK
 DRAWN: BK & CT
 REVIEWED: DB
 FIELD BOOK NO.:

LAYOUT PLAN

SHEET NUMBER:

C2.1

PROJECT NO.: 0210717.00



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ISSUE # DATE DESCRIPTION

02/27/2023 CITY SUBMITTAL

100% CONSTRUCTION SET
01/24/2023

PROJECT
Iowa National Guard

West Des Moines Readiness Center

1625 SE County Line Road
West Des Moines, IA

DATE: 01/26/2023

CONTRACT #: C154W4094

IAARNG PROJECT #: 190191

DESIGNED: DB & BK

DRAWN: BK & CT

REVIEWED: DB

FIELD BOOK NO.:

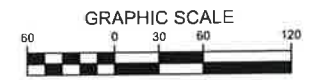
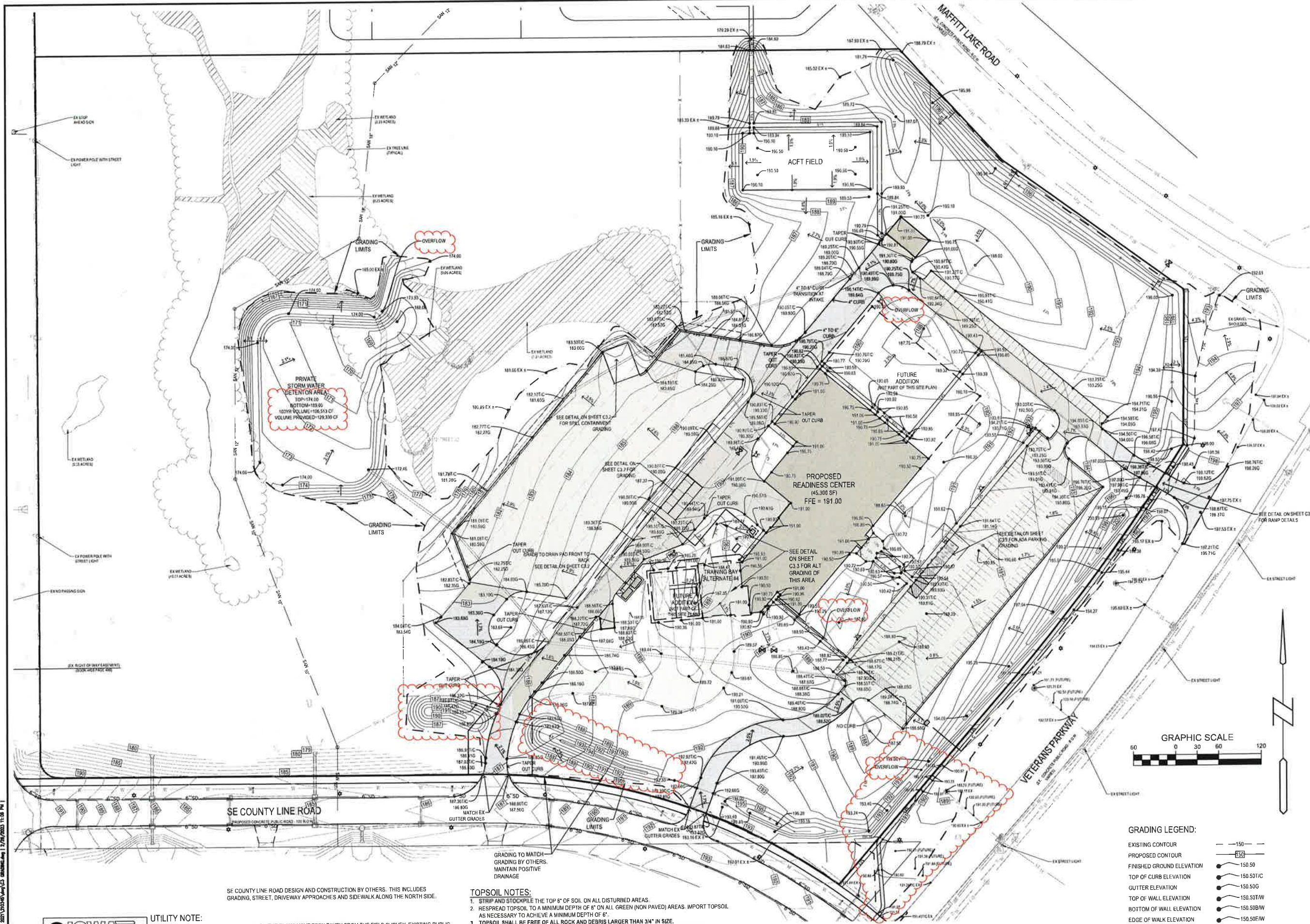
SHEET TITLE

GRADING PLAN

SHEET NUMBER

C3.1

PROJECT NO.: 0210717.00



GRADING LEGEND:

EXISTING CONTOUR	---
PROPOSED CONTOUR	---
FINISHED GROUND ELEVATION	● 150.50
TOP OF CURB ELEVATION	● 150.50TC
GUTTER ELEVATION	● 150.50G
TOP OF WALL ELEVATION	● 150.50TW
BOTTOM OF WALL ELEVATION	● 150.50BW
EDGE OF WALK ELEVATION	● 150.50EW
TOP OF STAIR ELEVATION	● 150.50TS
BOTTOM OF STAIR ELEVATION	● 150.50BS

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

- GRADING TO MATCH:**
GRADING BY OTHERS. MAINTAIN POSITIVE DRAINAGE.
- TOPSOIL NOTES:**
- STRIP AND STOCKPILE THE TOP 6" OF SOIL ON ALL DISTURBED AREAS.
 - RESREAD TOPSOIL TO A MINIMUM DEPTH OF 6" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
 - TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
 - TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS, REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER. ACIDITY RANGE (PH) OF 5.5 TO 7.5, CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

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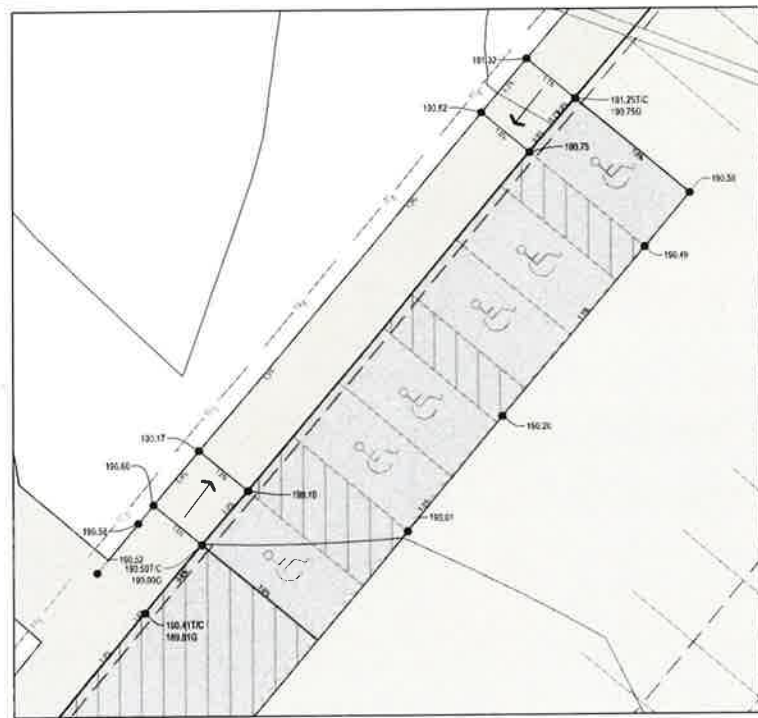
ISSUE # DATE: DESCRIPTION:
02/27/2023 CITY SUBMITTAL



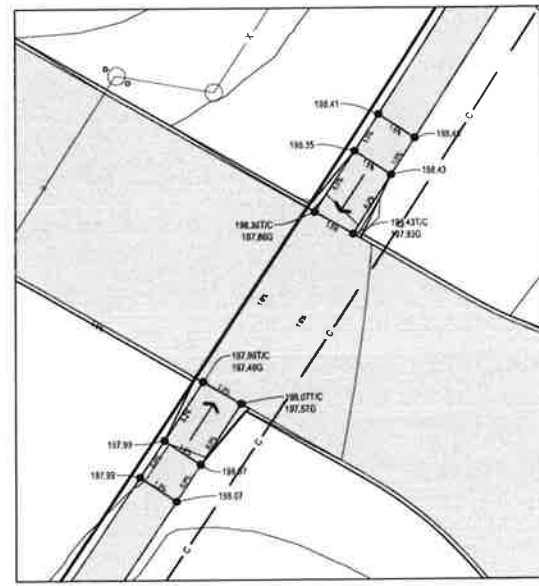
GRADING LEGEND:

EXISTING CONTOUR	---	150
PROPOSED CONTOUR	---	150
FINISHED GROUND ELEVATION	●	150.50
TOP OF CURB ELEVATION	●	150.50TC
GUTTER ELEVATION	●	150.50G
TOP OF WALL ELEVATION	●	150.50TAW
BOTTOM OF WALL ELEVATION	●	150.50BW
EDGE OF WALK ELEVATION	●	150.50E/W
TOP OF STAIR ELEVATION	●	150.50TS
BOTTOM OF STAIR ELEVATION	●	150.50BS

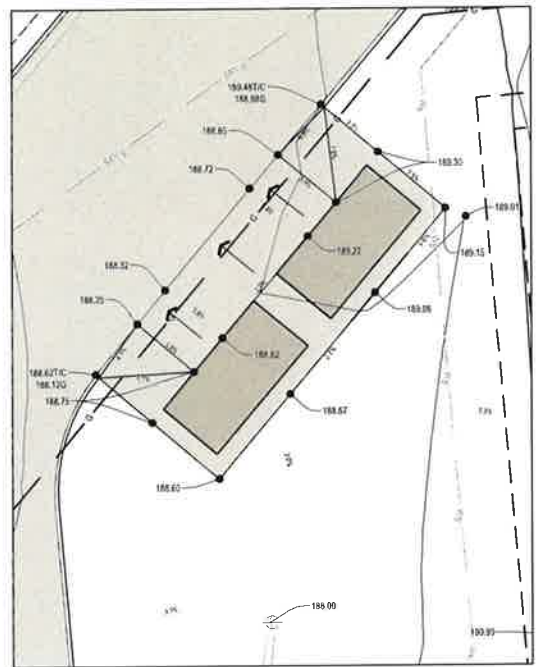
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ADA STALL DETAIL

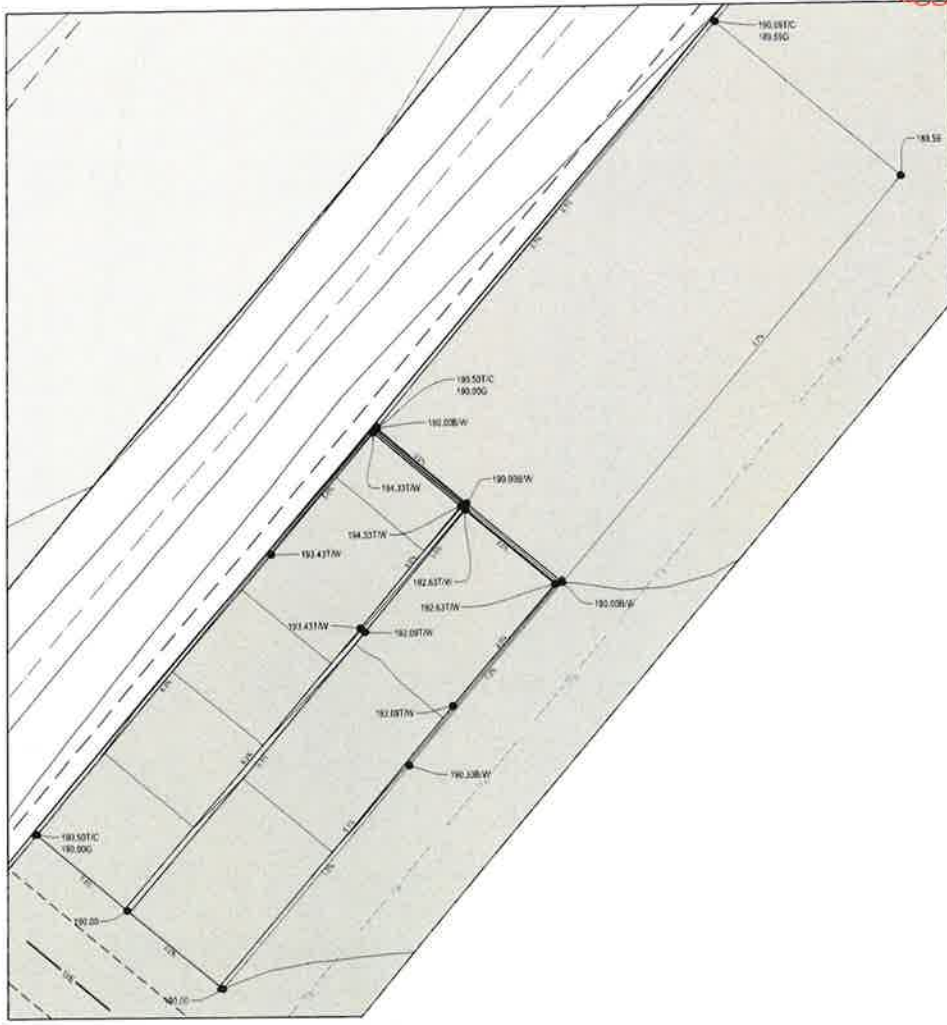


EAST DRIVEWAY DETAIL

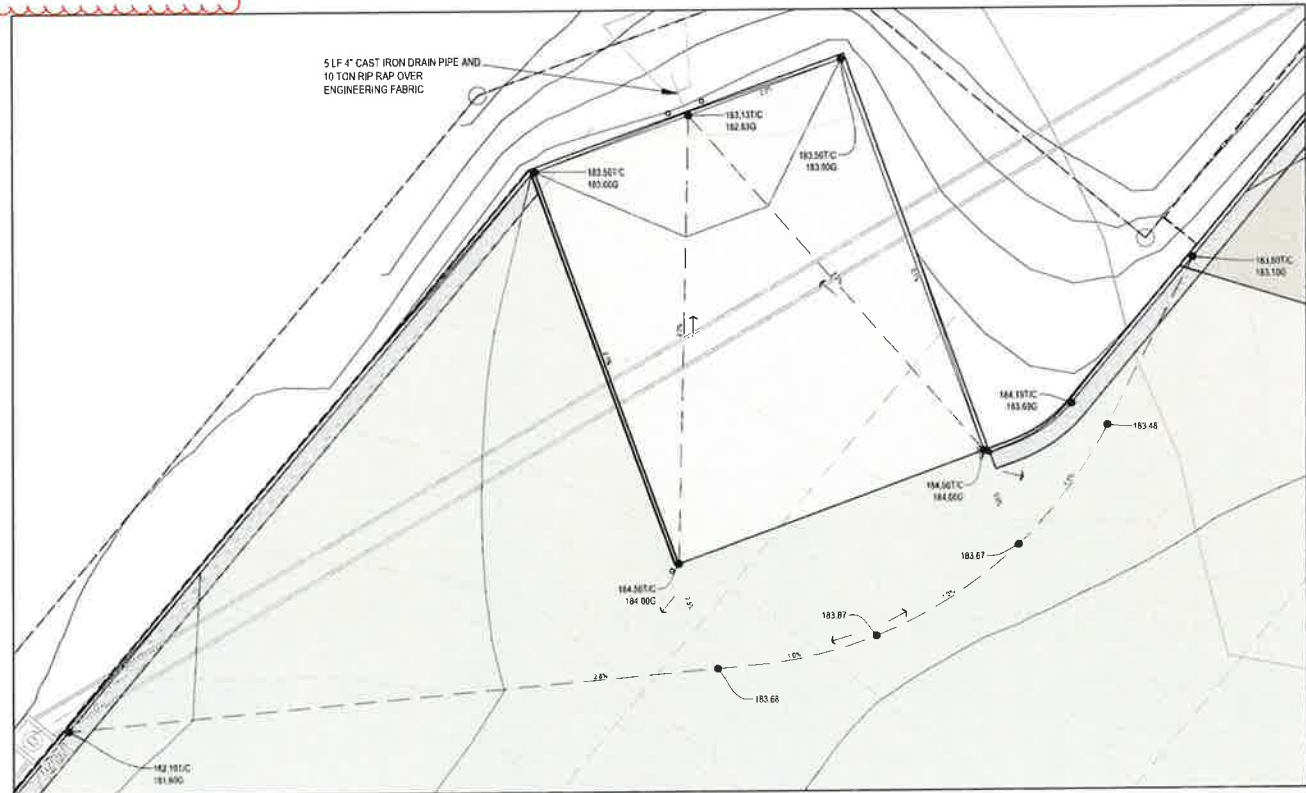


CONTROLLED WASTE FACILITY PAD DETAIL

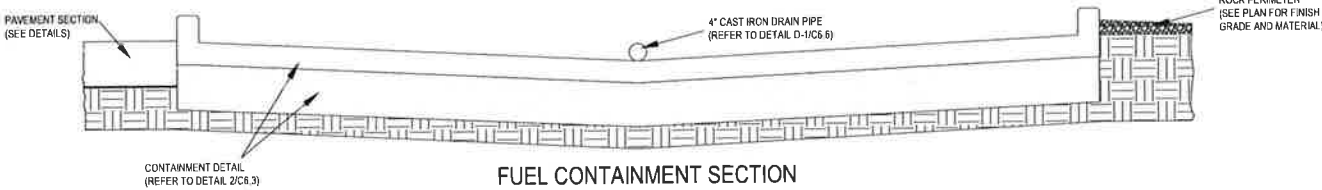
NOTE: ON-SITE INSPECTION SHALL BE REQUESTED WITH THE BUILDING DIVISION AT (515-227-3630), PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS



LOADING RAMP DETAIL



FUEL CONTAINMENT DETAIL



FUEL CONTAINMENT SECTION

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100% CONSTRUCTION SET
01/28/2023

PROJECT:
Iowa National Guard

West Des Moines Readiness Center

1625 SE County Line Road
West Des Moines, IA

DATE:	01/26/2023
CONTRACT #:	C154W4094
JAARNG PROJECT #:	190191
DESIGNED:	DB & BK
DRAWN:	BK & CT
REVIEWED:	DB
FIELD BOOK NO.:	-

GRADING PLAN

SHEET NUMBER

C3.2

PROJECT NO.: 0210717.00

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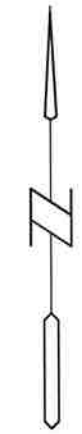


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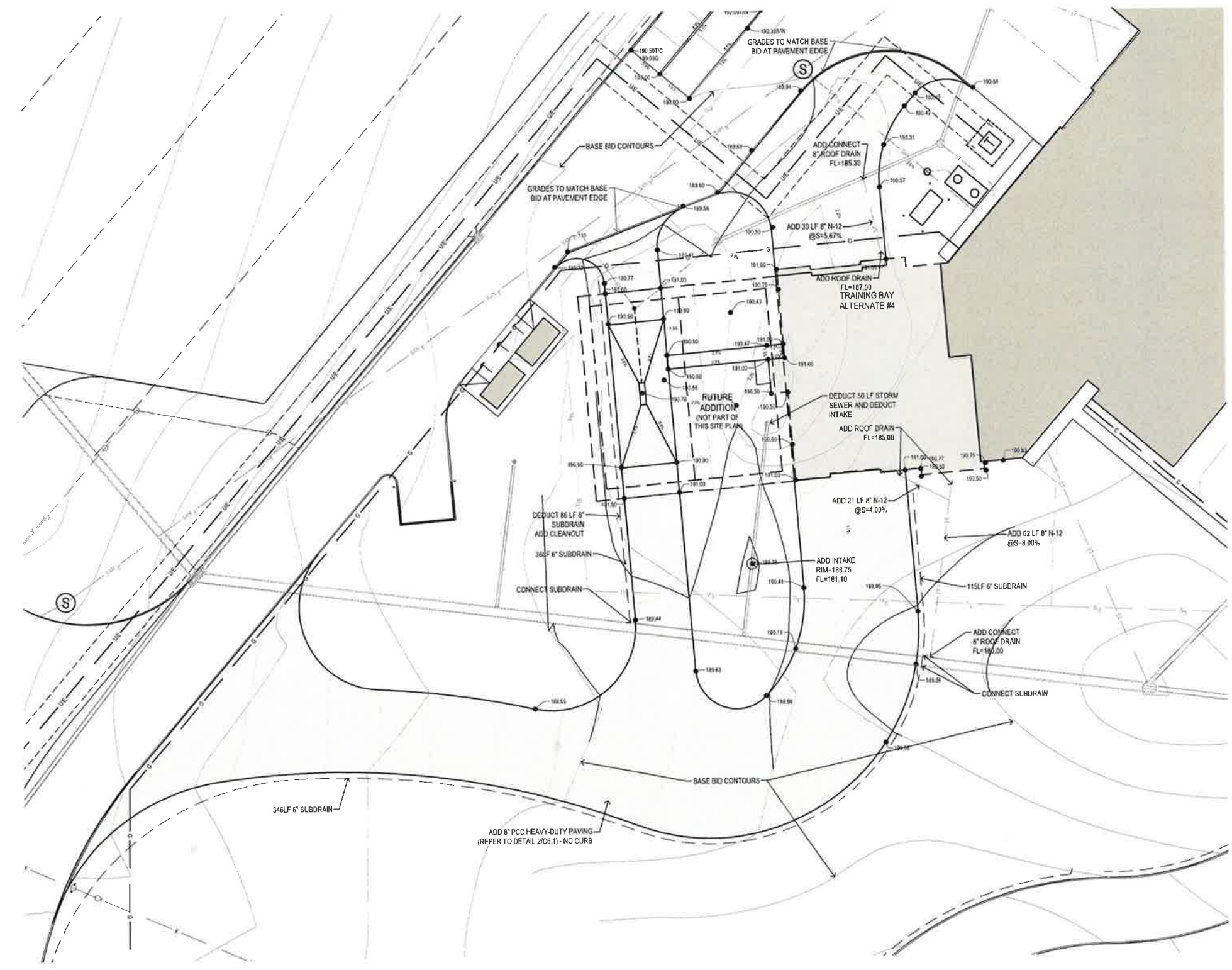


GRADING LEGEND:

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TOP OF STAIR ELEVATION	● 150.50TS
BOTTOM OF STAIR ELEVATION	● 150.50BS

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

- LAYOUT NOTES:**
- SEE FINAL ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 - CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.
 - CONTRACTOR TO REFER TO STRUCTURAL PLANS FOR DETAILED BUILDING FOUNDATION AND STOOD LOCATIONS AND DETAILED CONSTRUCTION INFORMATION.
 - CONTRACTOR TO MATCH AND CONNECT TO EXISTING PCC PAVEMENTS WITH IOWA SUDAS TYPICAL BT JOINT.



BID ALTERNATE #4 NOTES:

- INCLUDES ALL GRADING, PAVEMENT AND SUBDRAIN RELATED TO PAVEMENT FOR THE TRAINING BAY ADDITION AND WASH PLATFORM

UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.



100% CONSTRUCTION SET
01/26/2023

PROJECT: Iowa National Guard

West Des Moines Readiness Center

1625 SE County Line Road
West Des Moines, IA

DATE:	01/26/2023
CONTRACT #:	C154W4094
IAARNG PROJECT #:	190191
DESIGNED:	DB & BK
DRAWN:	BK & CT
REVIEWED:	DB
FIELD BOOK NO.:	-

BID ALTERNATE #4 LAYOUT AND GRADING PLAN

SHEET NUMBER

C3.3

PROJECT NO.: 0210717.00

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ISSUE #	DATE	DESCRIPTION
1	02/27/2023	CITY SUBMITTAL

100% CONSTRUCTION SET
01/26/2023

PROJECT:
Iowa National Guard

West Des Moines Readiness Center

1625 SE County Line Road
West Des Moines, IA

DATE: 01/26/2023

CONTRACT #: C154W4094

JAARNG PROJECT #: 190191

DESIGNED: DB & BK

DRAWN: BK & CT

REVIEWED: DB

FIELD BOOK NO.:

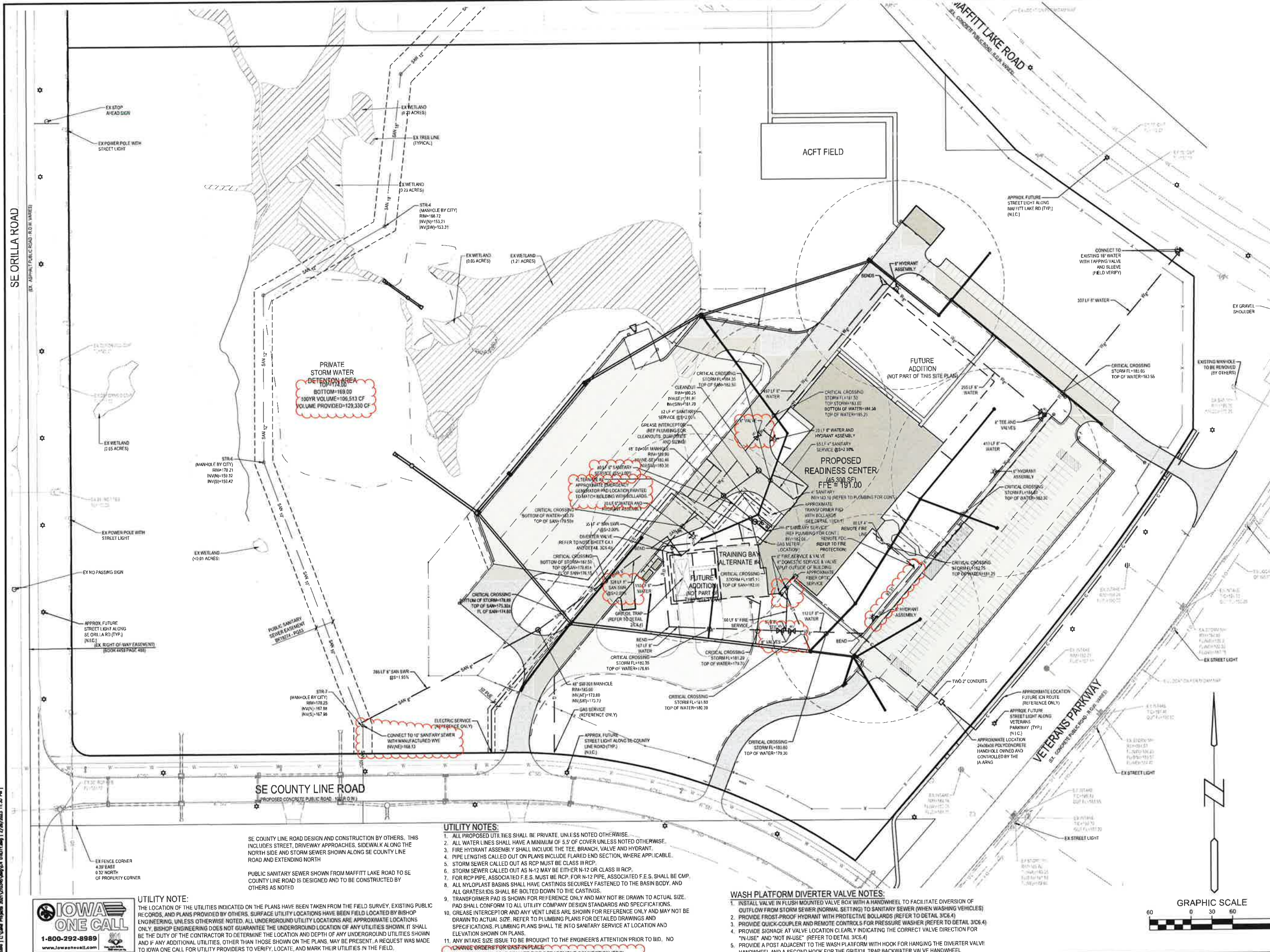
SHEET TITLE:

UTILITY PLAN - SANITARY SEWER AND WATER

SHEET NUMBER:

C4.1

PROJECT NO.: 0210717.00



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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100% CONSTRUCTION SET
01/20/2023

Product
Iowa National Guard

West Des Moines Readiness Center

1625 SE County Line Road
West Des Moines, IA

DATE: 12/08/2022

CONTRACT #: C154W4094

JAARNG PROJECT #: 190191

DESIGNED: DB & BK

DRAWN: BK & CT

REVIEWED: DB

FIELD BOOK NO.:

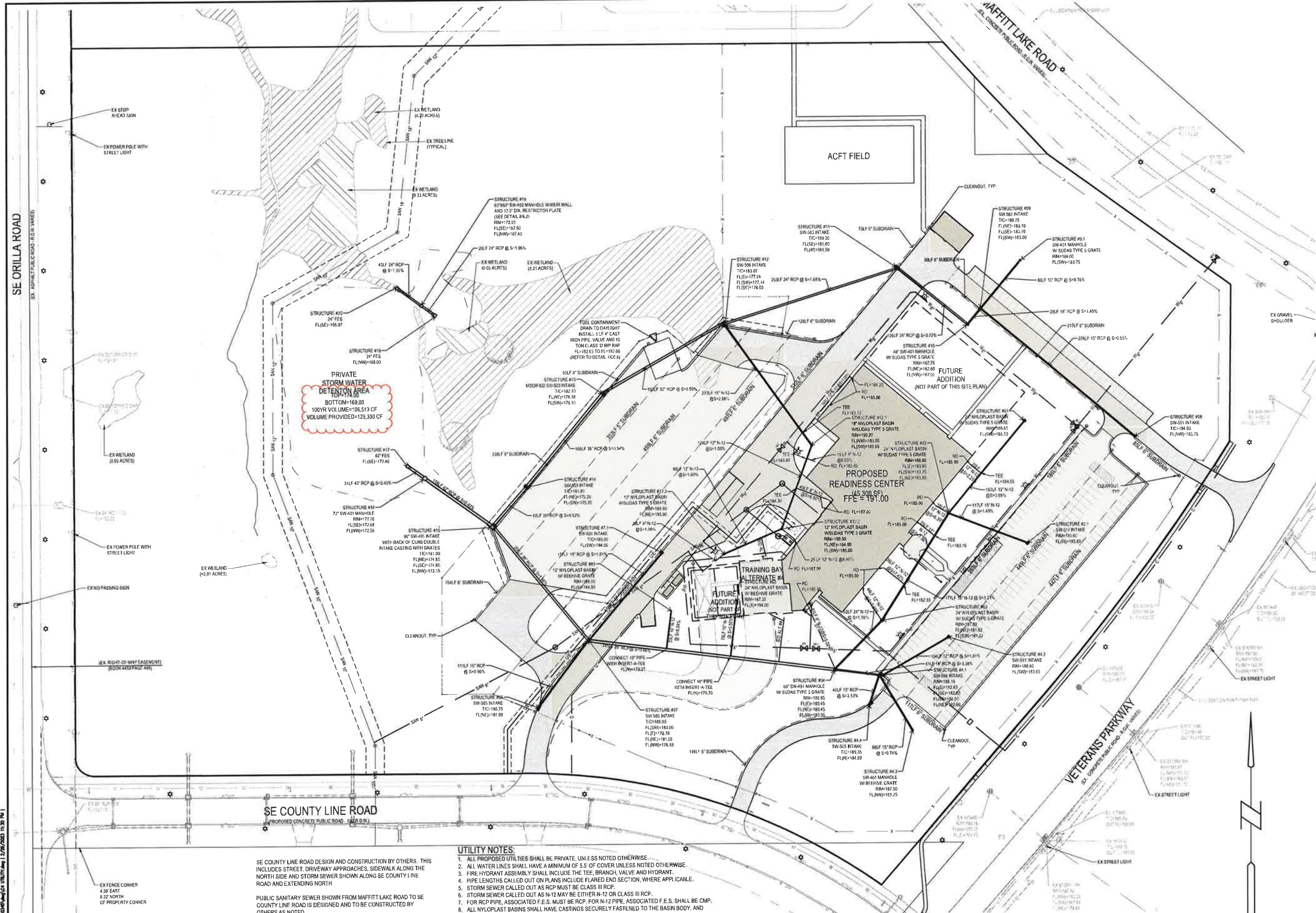
SHEET TITLE:

UTILITY PLAN - STORM SEWER

SHEET NUMBER:

C4.2

PROJECT NO.: 0210717.00



PRIVATE STORM WATER DETENTION AREA
BOTTOM=169.00
100YR VOLUME=106,513 CF
VOLUME PROVIDED=123,330 CF

ACFT FIELD

PROPOSED READINESS CENTER
45,300 SF
FFE = 19,100

TRAINING BAY ALTERNATE
FUTURE ADDITION (NOT PART OF THIS SITE PLAN)

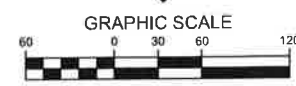
- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' 5" OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 8. ALL NYLOPLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES/LIDS SHALL BE BOLTED DOWN TO THE CASTINGS.
 9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
 10. GREASE INTERCEPTOR AND ANY VENT LINES ARE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. REFER TO PLUMBING PLANS FOR DETAILED DRAWINGS AND SPECIFICATIONS. PLUMBING PLANS SHALL TIE INTO SANITARY SERVICE AT LOCATION AND ELEVATION SHOWN ON PLANS.
 11. ANY INTAKE SIZE ISSUE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO BID, NO CHANGE ORDERS FOR CAST-IN-PLACE.
 12. CONTRACTOR TO TEST REMOTE FIRE DEPARTMENT CONNECTION (FDC).

- ROOF DRAIN NOTES:**
1. RD = ROOF DRAIN CONNECTION TO STORM SEWER (REFER TO DETAIL 6/05.2)

SE COUNTY LINE ROAD DESIGN AND CONSTRUCTION BY OTHERS. THIS INCLUDES STREET, DRIVEWAY APPROACHES, SIDEWALK ALONG THE NORTH SIDE AND STORM SEWER SHOWN ALONG SE COUNTY LINE ROAD AND EXTENDING NORTH.

PUBLIC SANITARY SEWER SHOWN FROM MAFFITT LAKE ROAD TO SE COUNTY LINE ROAD IS DESIGNED AND TO BE CONSTRUCTED BY OTHERS AS NOTED.

UTILITY NOTE:
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LANDSCAPE NOTES:

1. ALL SODDING/SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SODDED & ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES. SHOW ON PLAN AND FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAGE SOD ON ALL SLOPES 3 : 1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
6. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
7. FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
8. CONTINGUAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN DOMINANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
9. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND COBS ON ALL PLANT MATERIAL.

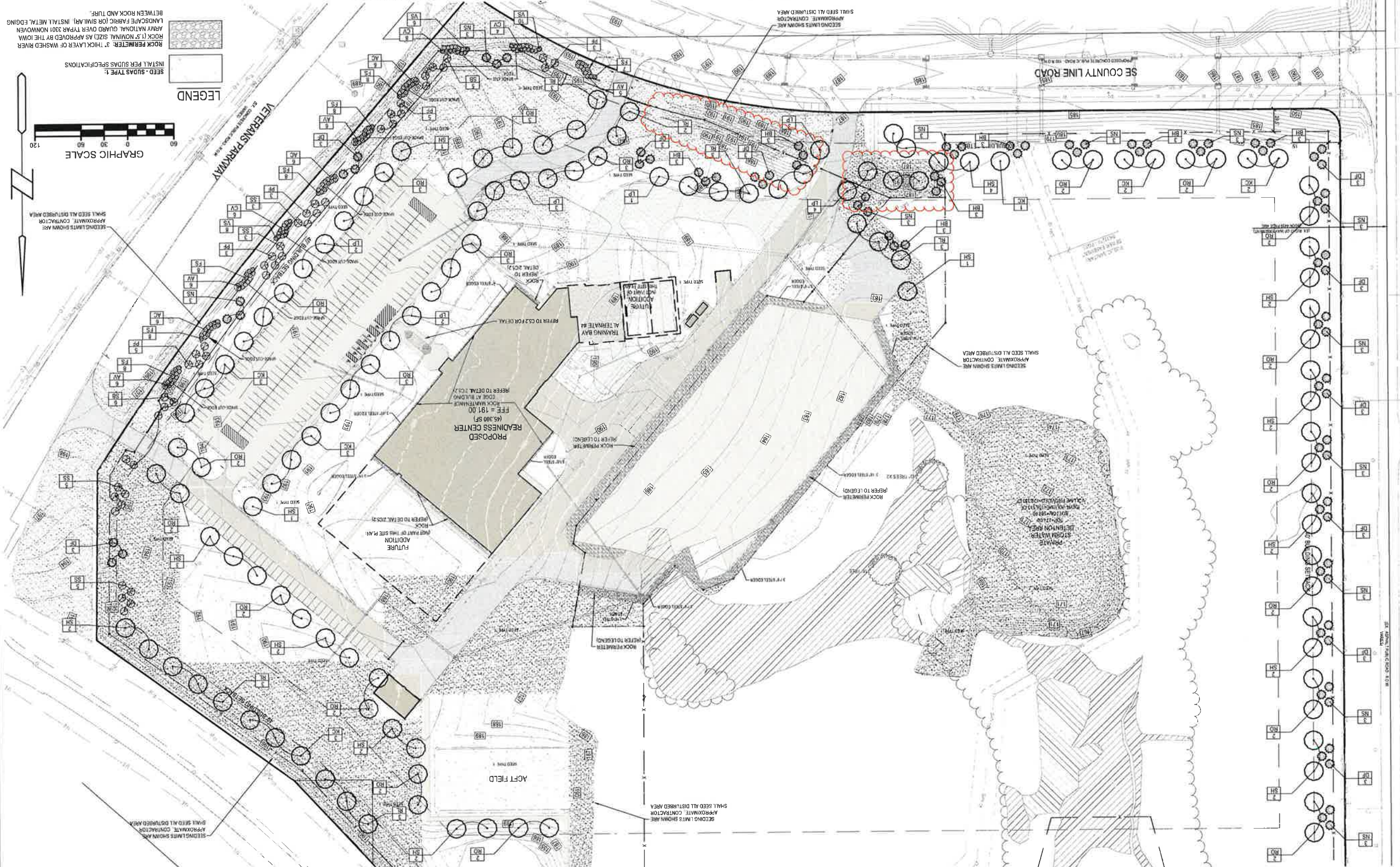
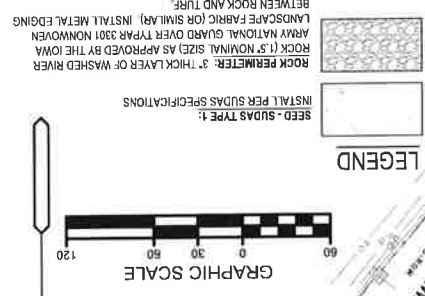
10. CONTRACTOR SHALL PLACE SHREDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
11. STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED. THROUGHOUT THE PLANT ESTABLISHMENT PERIOD, REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
12. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
13. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
14. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS UNTL SUBSTANTIAL COMPLETION.
15. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDED HARDWOOD MULCH (SMALL) AND 3" THICK LAYER OF WASHED RIVER ROCK (1.5" NOMINAL SIZE).
16. TOTAL LENGTH BUFFER (VETERANS PARKWAY) TOTAL ONSITE/REVEGETATION REQUIRED (PROVIDED) (1,735 LF) TOTAL ONSITE/REVEGETATION REQUIRED (PROVIDED) (2,95 LF) TOTAL SHRUBS REQUIRED (PROVIDED) (6 / 35 LF)

GENERAL LANDSCAPE REQUIREMENTS

- 1. PRIOR TO THE COMPLETION OF THE CONTRACT, IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- 2. TOTAL SQUARE FOOTAGE (READINESS CENTER) REQUIRED OPEN SPACE(35%) 553,810 SF
- 3. 1,524,880 SF
- 4. 326
- 5. 178
- 6. 125
- 7. 534
- 8. 203
- 9. 116
- 10. 87
- 11. 20
- 12. 29
- 13. 8
- 14. 18
- 15. 22
- 16. 27
- 17. 33
- 18. 40
- 19. 47
- 20. 54
- 21. 61
- 22. 68
- 23. 75
- 24. 82
- 25. 89
- 26. 96
- 27. 103
- 28. 110
- 29. 117
- 30. 124
- 31. 131
- 32. 138

PLANTING SCHEDULE

CODE	QUANT	COMMON NAME	Latin Name	SIZE	NOTES	HEIGHT
NS	28	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	27	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	26	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	25	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	24	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	23	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	22	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	21	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	20	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	19	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	18	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	17	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	16	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	15	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	14	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	13	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	12	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	11	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	10	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	9	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	8	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	7	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	6	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	5	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	4	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	3	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	2	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43
NS	1	WINTER HONEYSUCKLER	LONICERA MORGENA	2" C.A.	W/OT SPECIFICATIONS	43



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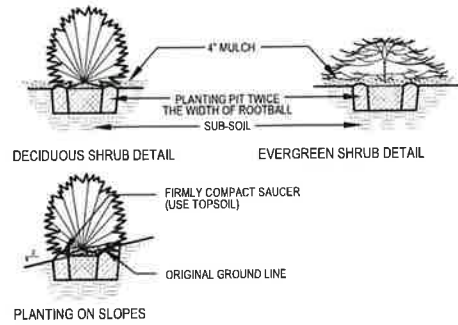
PROJECT: Iowa National Guard
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West Des Moines, IA

STAKING ORIENTATION
NORTH NORTH

2 STAKES - 3" CAL. & LESS
3 STAKES - GREATER THAN 3" CAL.

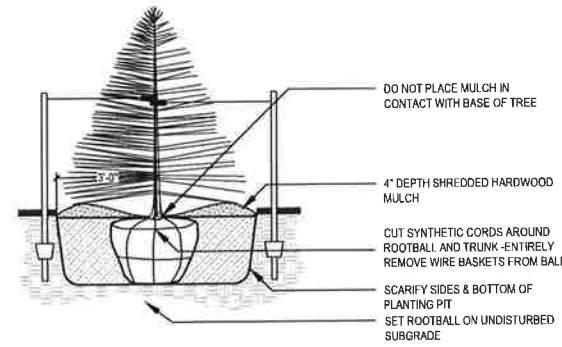
USE HOSE GUARDS AROUND TRUNK ON STAKING WIRE. TIE WIRE TO STEEL POSTS PLACED OUTSIDE PLANT PIT.

LEAVE STAKES IN PLACE NO MORE THAN 1 YEAR FROM INSTALLATION. CONTRACTOR RESPONSIBLE FOR REMOVAL.



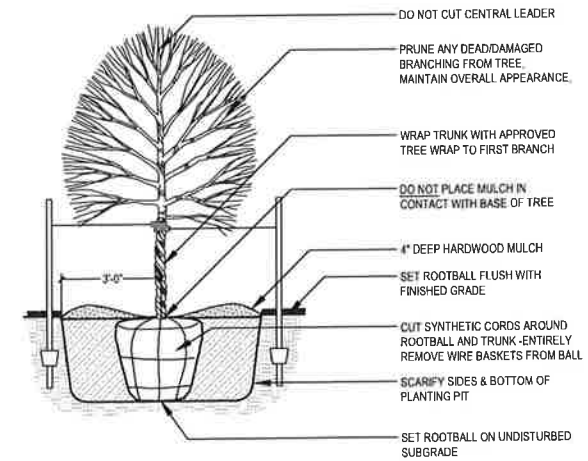
SHRUB PLANTING (TYP)

SCALE: NOT TO SCALE



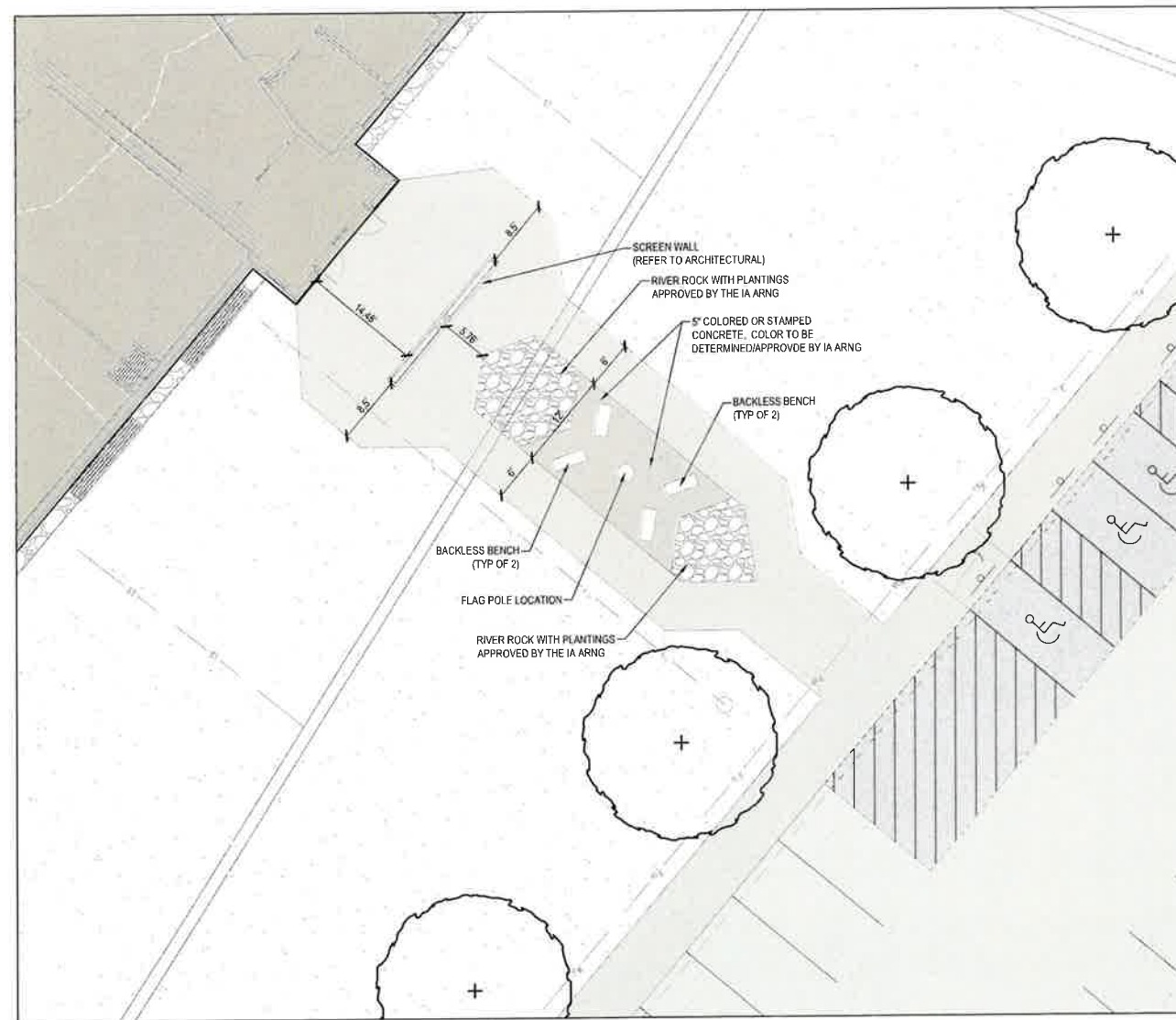
EVERGREEN TREE PLANTING (B&B)(TYP.)

SCALE: NOT TO SCALE



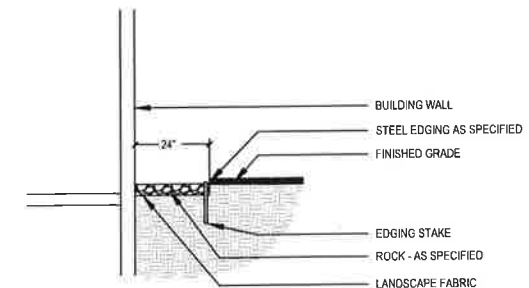
DECIDUOUS TREE PLANTING (TYP.)

SCALE: NOT TO SCALE



ENTRANCE DETAIL

SCALE: 1" = 10'



MAINTENANCE EDGE AT FOUNDATION

SCALE: NOT TO SCALE



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01/26/2023

PROJECT
Iowa National Guard

**West Des Moines
Readiness Center**

1625 SE County Line Road
West Des Moines, IA

DATE: 01/26/2023

CONTRACT #: C154W4094

IAARNG PROJECT #: 190191

DESIGNED: DB & BK

DRAWN: BK & CT

REVIEWED: DB

FIELD BOOK NO.:

SHEET TITLE

LANDSCAPE DETAILS

SHEET NUMBER

C5.2

PROJECT NO.: 0210717.00



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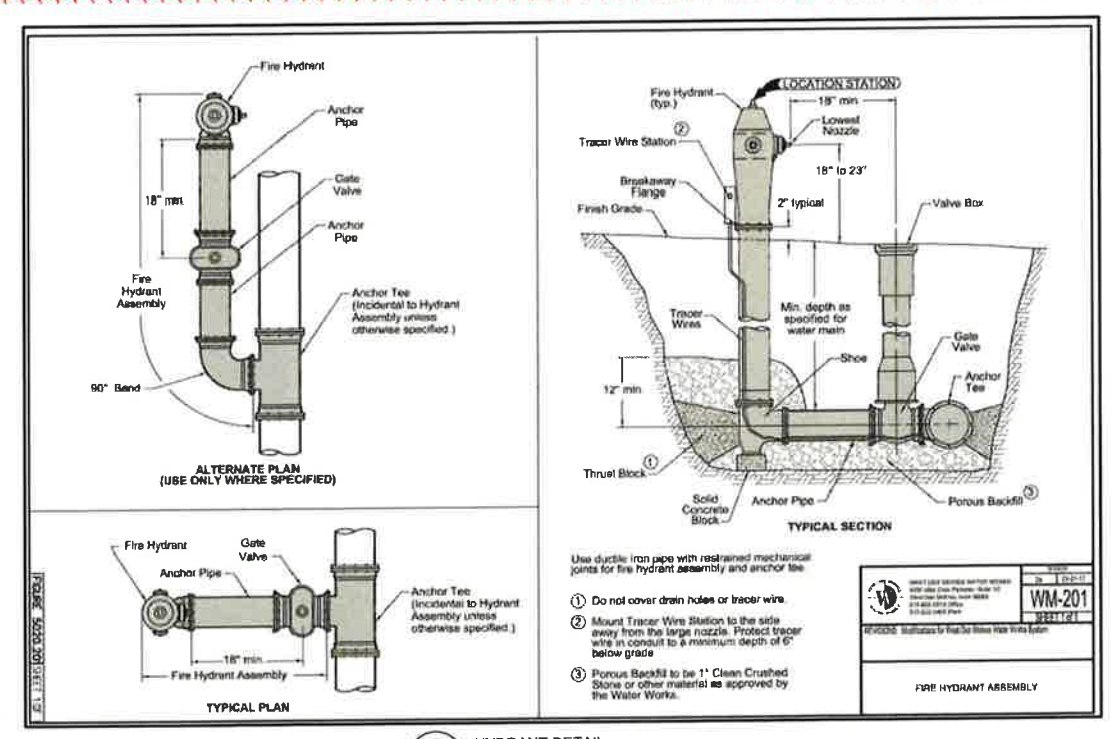
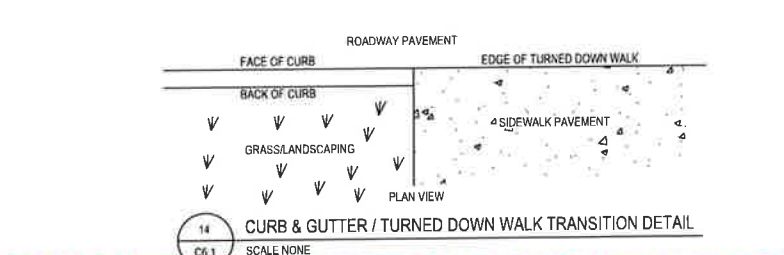
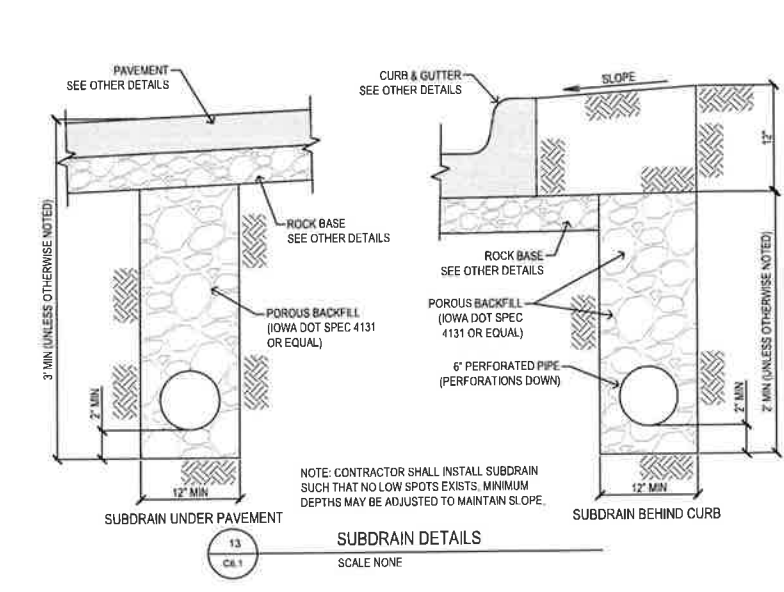
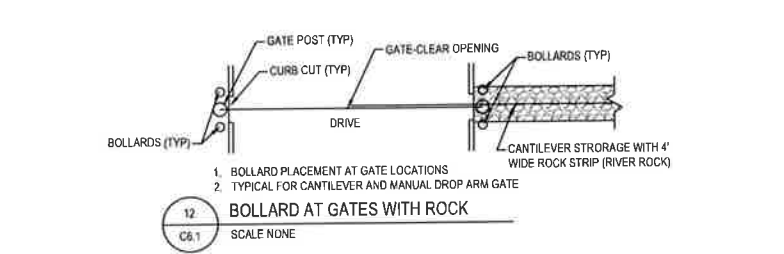
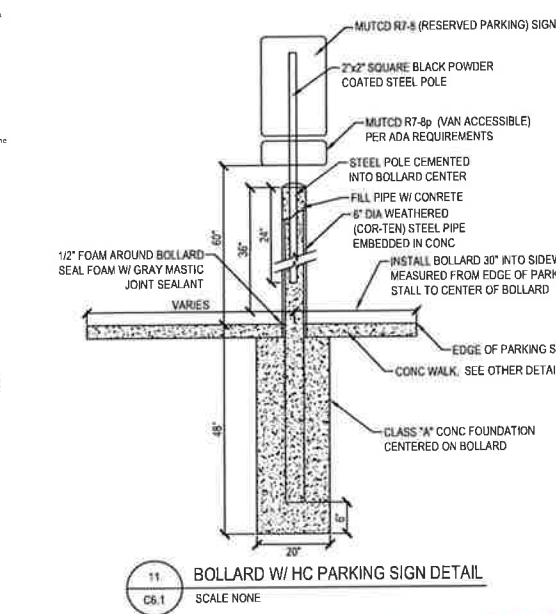
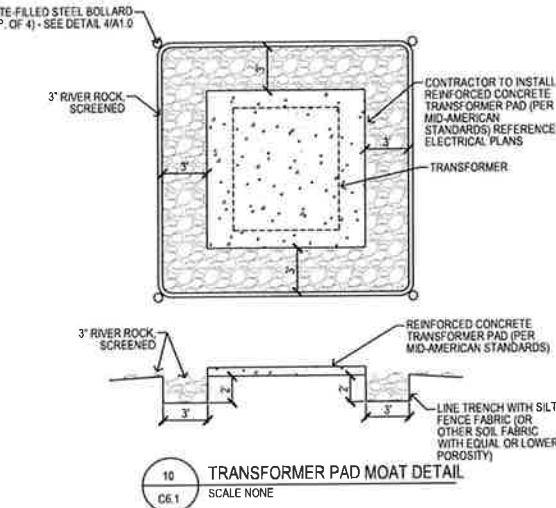
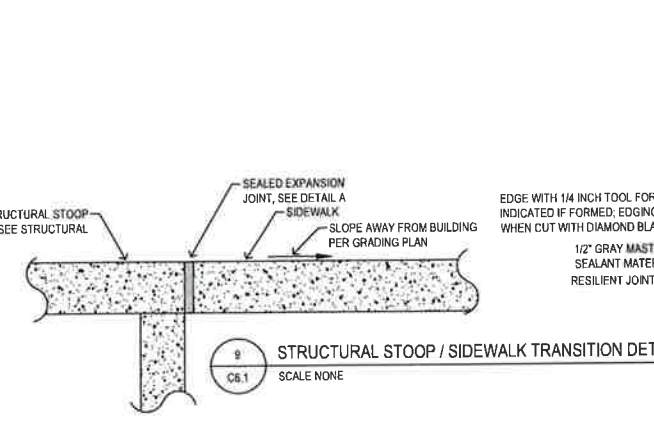
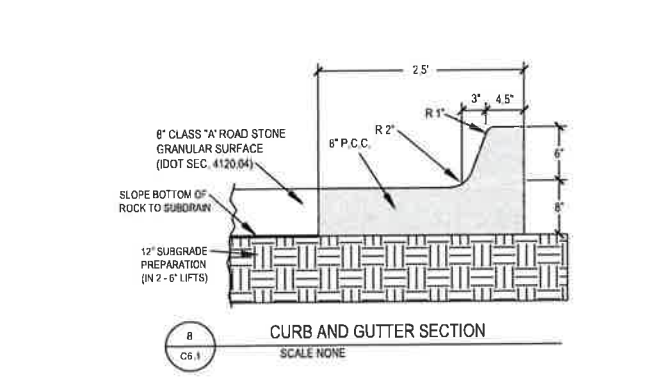
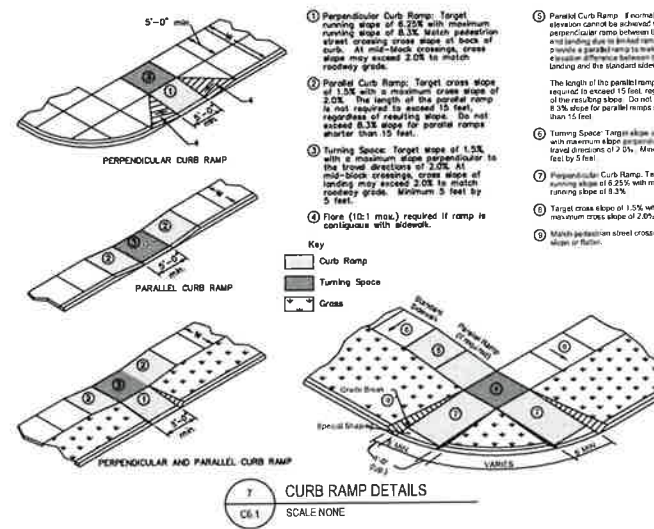
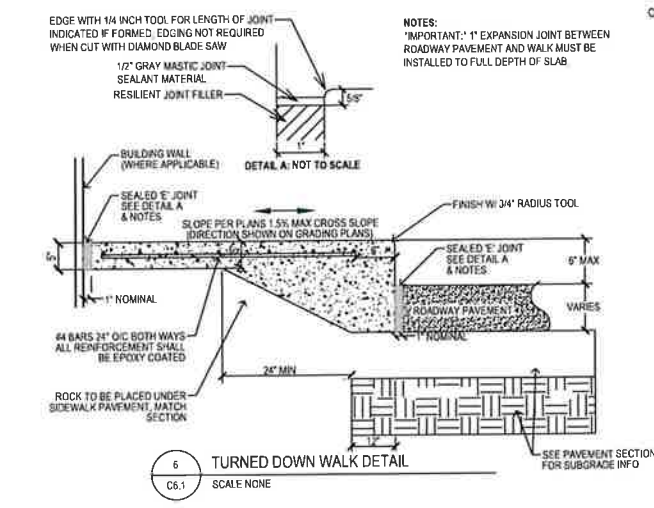
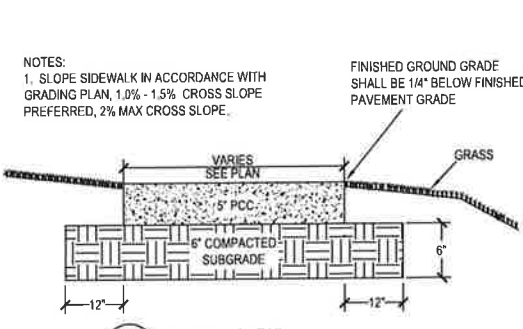
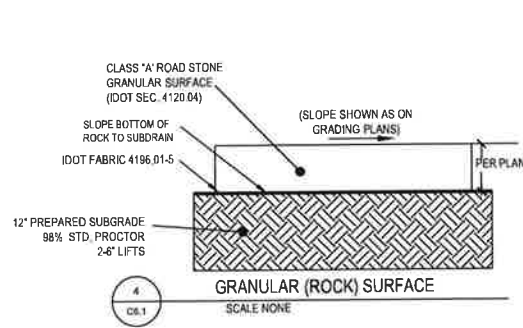
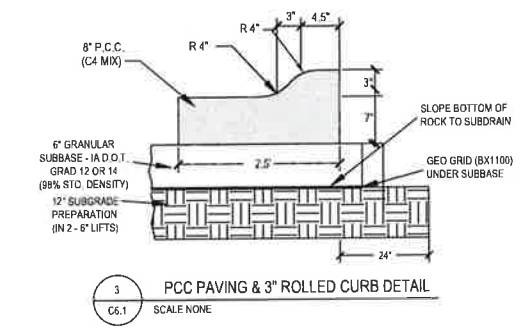
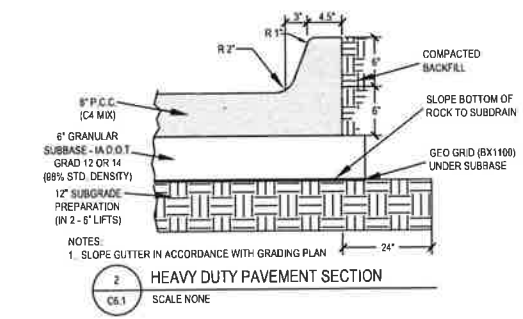
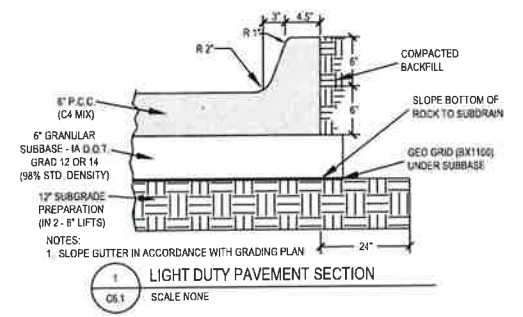
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REVIEWED:	DB
FIELD BOOK NO.:	

DETAILS

SHEET NUMBER

C6.1

PROJECT NO.: 0210717.00



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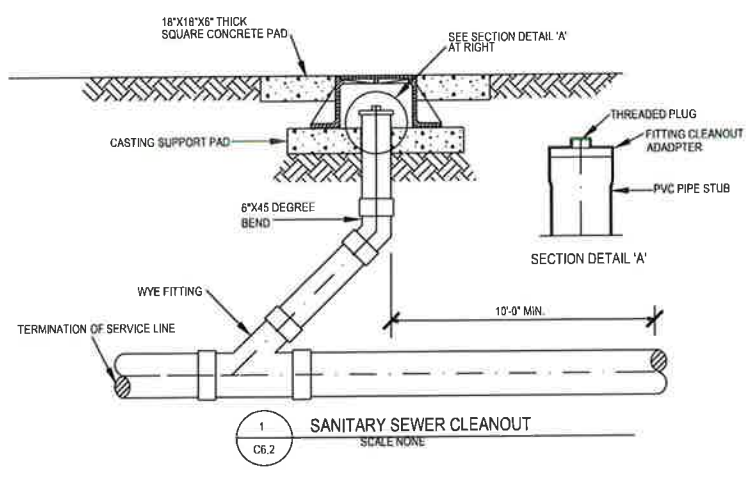
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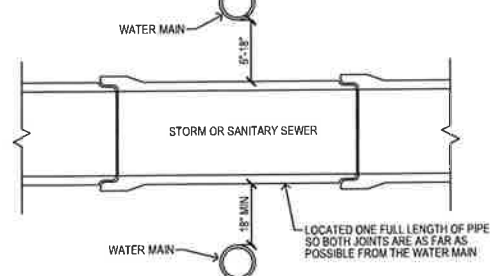
SHEET NUMBER:

C6.2

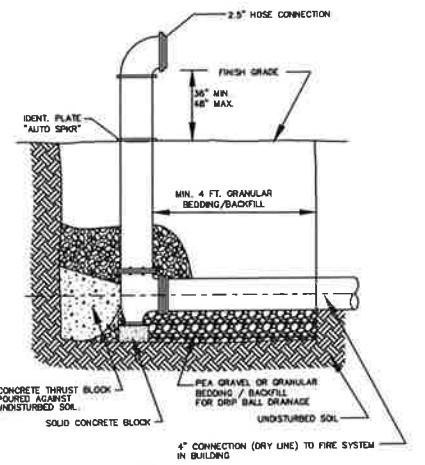
PROJECT NO.: 0210717.00



- NOTES:
1. THIS DETAIL SHALL APPLY ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18 INCHES BELOW A WATER MAIN.
2. WHEN WATER MAIN CROSSES UNDER STORM OR SANITARY SEWER THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18\"/>

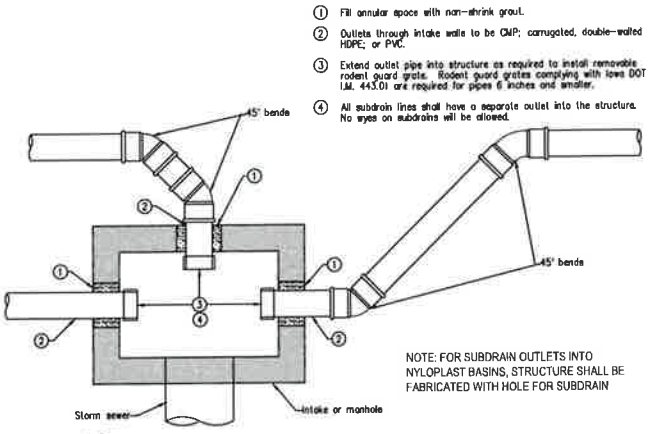


2 WATER MAIN & STORM OR SANITARY SEWER CROSSING DETAIL
SCALE NONE

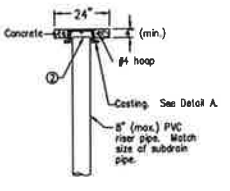


- NOTES:
1. APPLY POLYETHYLENE ENCASUREMENT ON PIPE, RISER PIPE AND FITTINGS. DO NOT BLOCK DRAIN.
2. CONNECTION TO CONSIST OF TWO (2) - 2.5\"/>

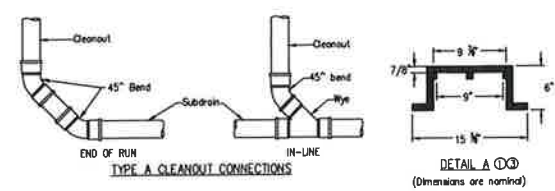
3 REMOTE FIRE DEPARTMENT CONNECTION
SCALE NONE



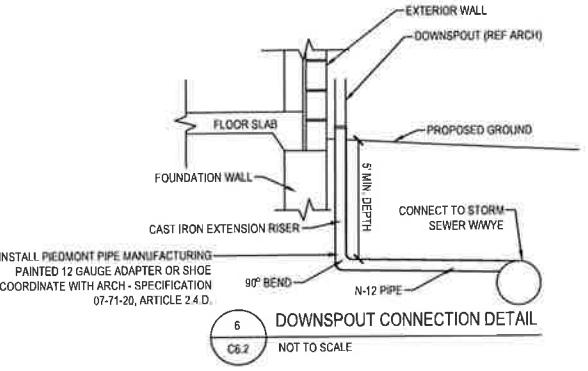
4 SUBDRAIN OUTLET INTO CONCRETE STRUCTURES DETAIL
SCALE NONE



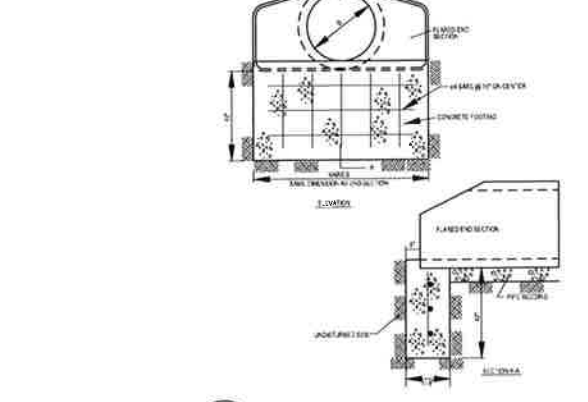
TYPE A-1 CLEANOUT



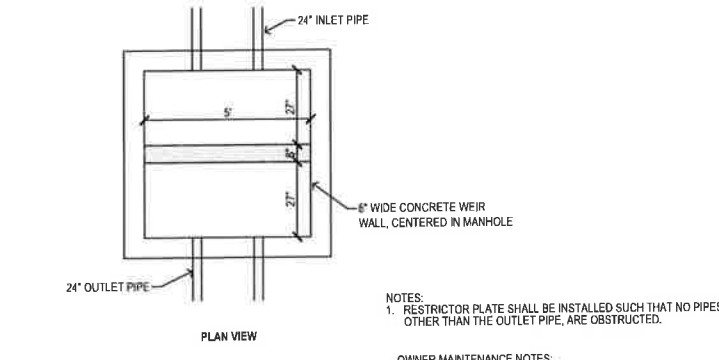
5 STORM CLEANOUT DETAIL
SCALE NONE



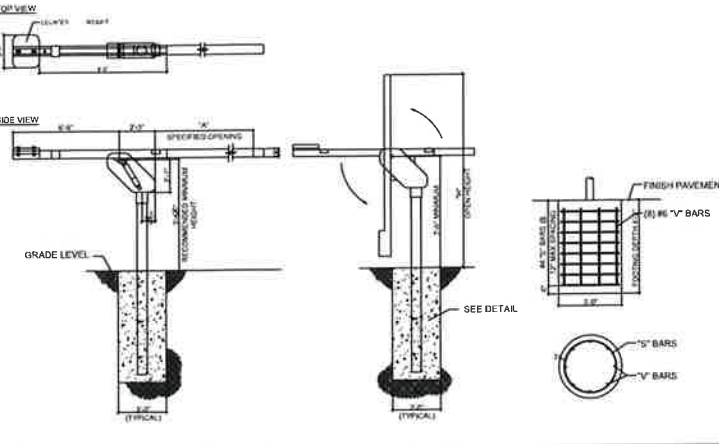
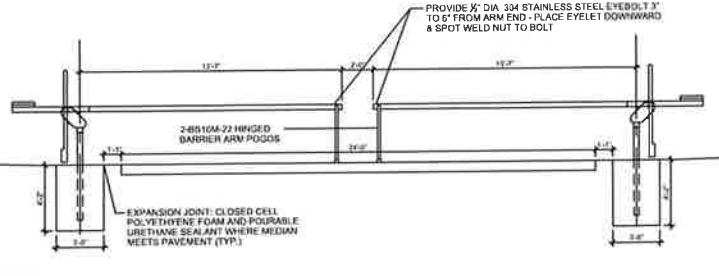
6 DOWNSPOUT CONNECTION DETAIL
NOT TO SCALE



7 FLARED END SECTION FOOTING DETAIL
SCALE NONE



8 STRUCTURE #18 RESTRICTION PLATE DETAIL
SCALE NONE



GATE ARM STOCK NO.	"A" CLEAR OPENING	TUBE LENGTH	"H" HEIGHT
MG-139-04	18 FOOT (54 INCHES)	248 INCHES	252 INCHES

- NOTES:
1. PROVIDE MANUAL OPERATED GATES AND FOOTINGS WHERE SHOWN ON PLANS.
2. THE MANUAL OPERATION GATES SHALL BE MODEL MG-139 AS MANUFACTURED BY DELTA SCIENTIFIC CORPORATION OR APPROVED EQUAL.
3. CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND FOOTING LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION FOR A SUCCESSFUL FUNCTION AND OPERATION ON SITE.
4. GATES SHALL BE LOCKABLE IN THE UP AND DOWN POSITIONS.
5. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

9 MANUAL DROP ARM GATE
SCALE NONE

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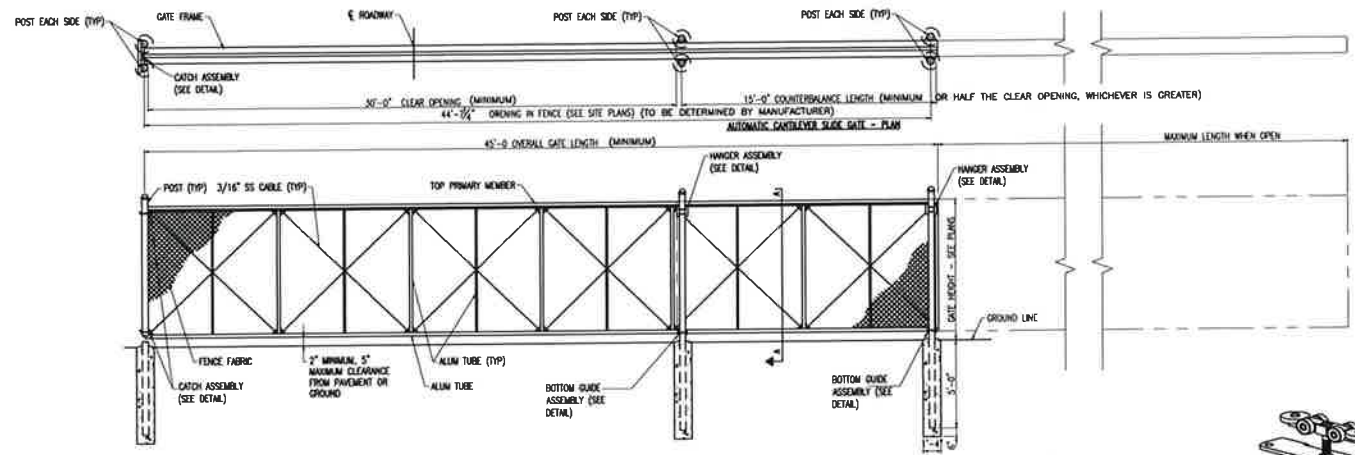
Farnsworth GROUP

14225 UNIVERSITY AVENUE, SUITE 110
WAUKEE, IOWA 50263
(515) 275-3169 / info@f-w.com

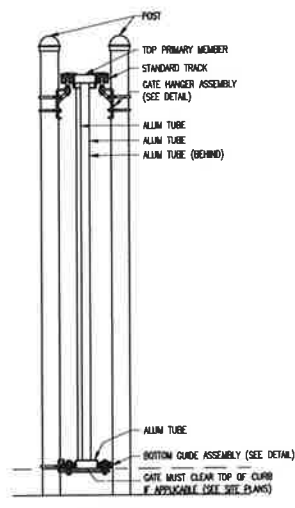
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DATE: DESCRIPTION:

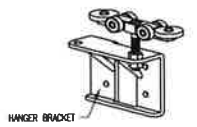
02/27/2023 CITY SUBMITTAL



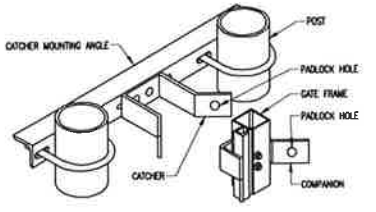
AUTOMATIC CANTILEVER SLIDE GATE - PLAN



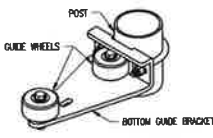
SECTION AA



GATE HANGER ASSEMBLY

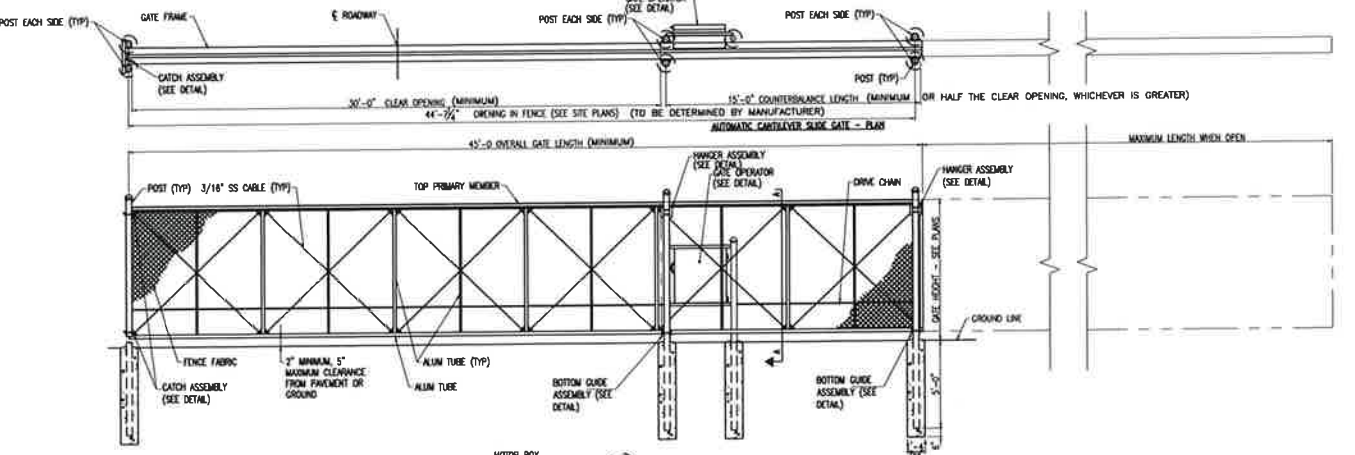


CATCH ASSEMBLY

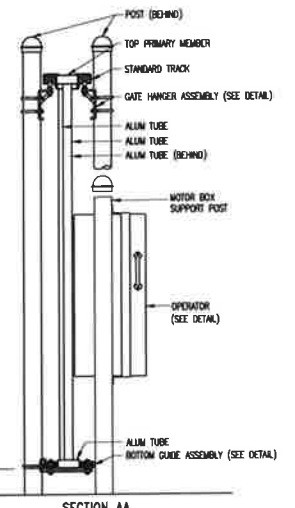


BOTTOM GUIDE ASSEMBLY

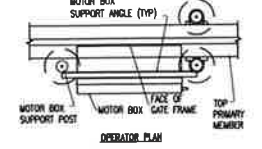
1 MANUAL CANTILEVER GATE AND ASSEMBLY
SCALE NONE



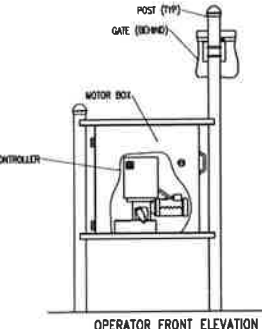
AUTOMATIC CANTILEVER SLIDE GATE - PLAN



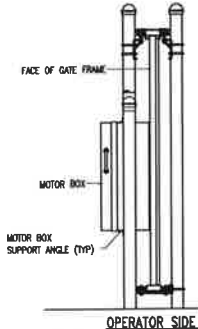
SECTION AA



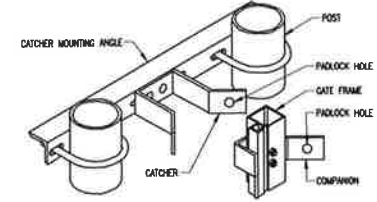
OPERATOR PLAN



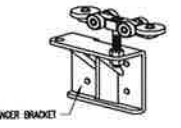
OPERATOR FRONT ELEVATION



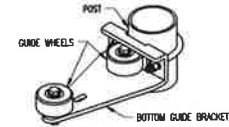
OPERATOR SIDE ELEVATION



CATCH ASSEMBLY

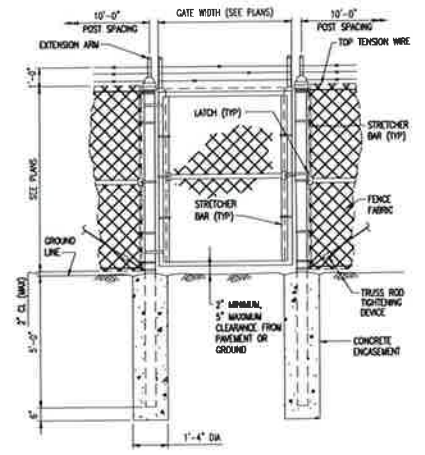


GATE HANGER ASSEMBLY

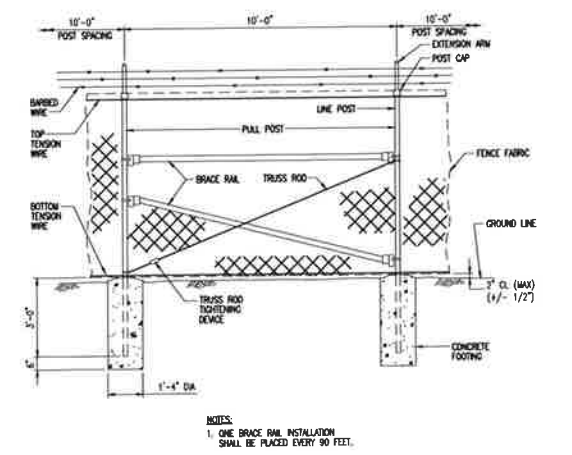


BOTTOM GUIDE ASSEMBLY

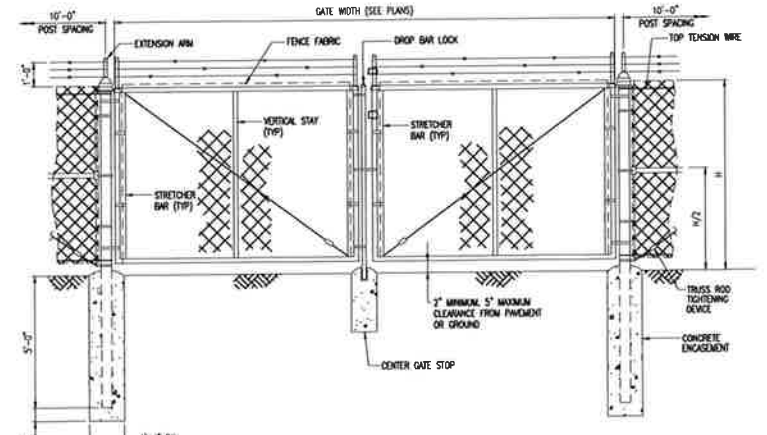
2 AUTOMATIC CANTILEVER GATE AND ASSEMBLY
SCALE NONE



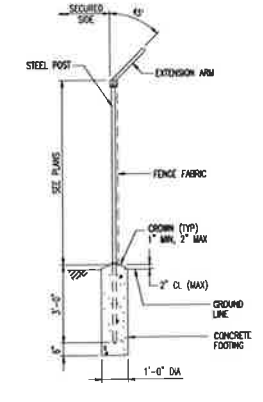
3 PERSONNEL GATE
SCALE NONE



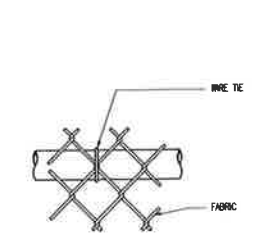
4 TYPICAL BRACE ASSEMBLY DETAIL
SCALE NONE



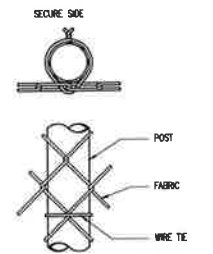
5 DOUBLE SWING GATE
SCALE NONE



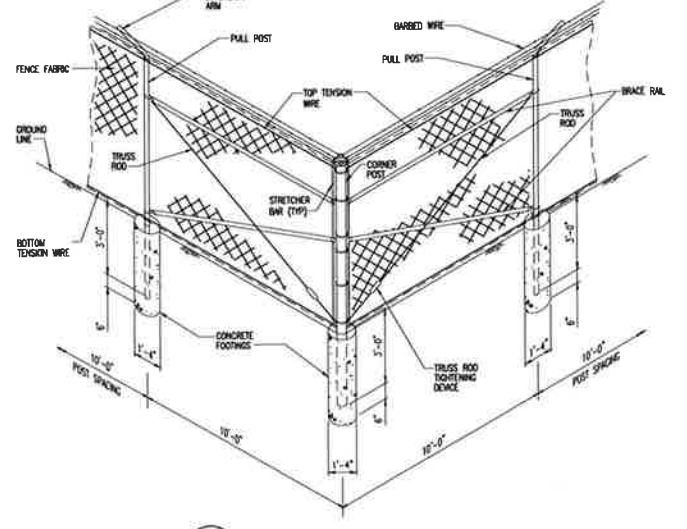
6 TYPICAL LINE POST DETAIL
SCALE NONE



TOP OR BRACE RAIL ATTACHMENT



POST ATTACHMENT



7 TYPICAL CORNER ASSEMBLY DETAIL
SCALE NONE

100% CONSTRUCTION SET
01/26/2023

PROJECT:
Iowa National Guard

West Des Moines Readiness Center

1625 SE County Line Road
West Des Moines, IA

DATE: 01/26/2023

CONTRACT #: C154W4094

IAARN PROJECT #: 190191

DESIGNED: DB & BK

DRAWN: BK & CT

REVIEWED: DB

FIELD BOOK NO.:

SHEET TITLE:

DETAILS

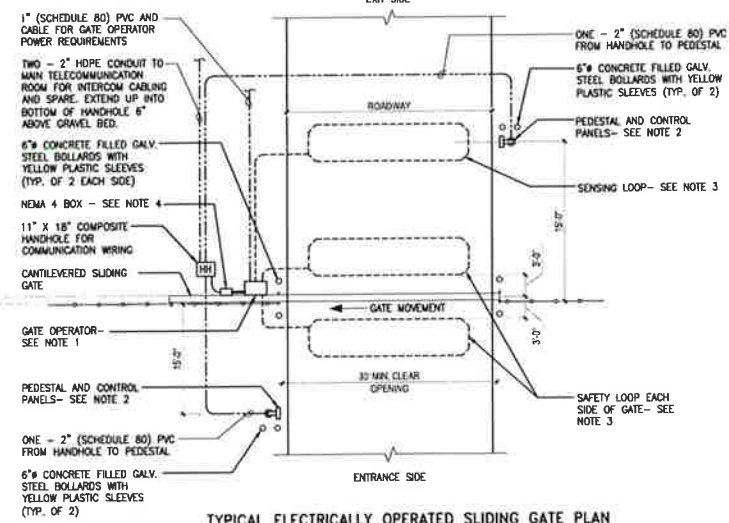
SHEET NUMBER

C6.3

PROJECT NO.: 0210717.00

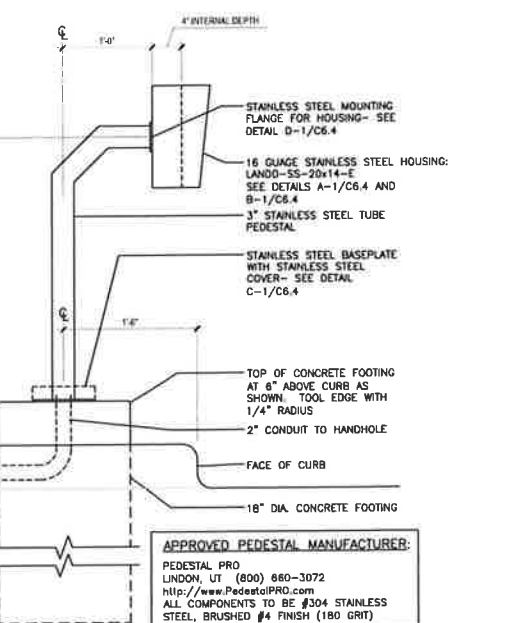
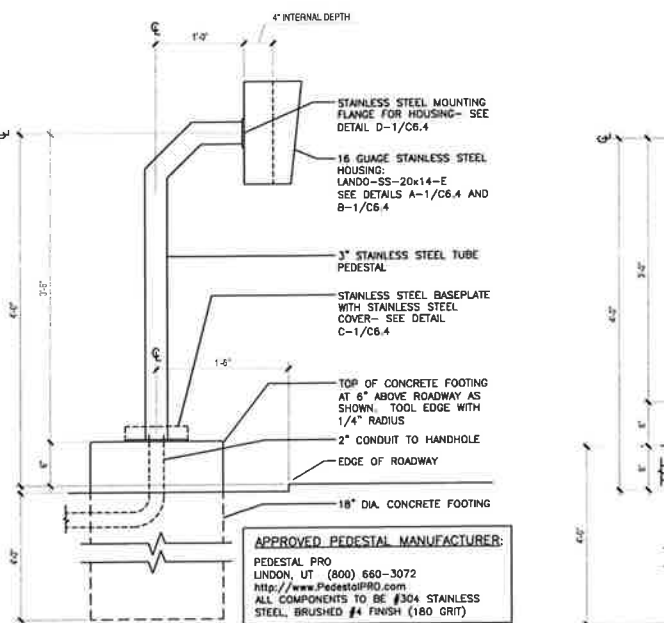
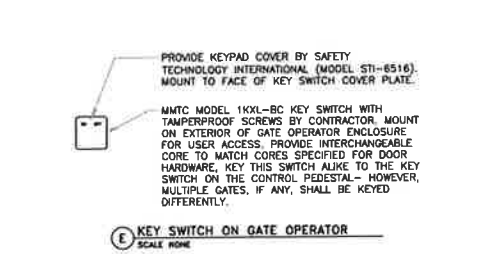
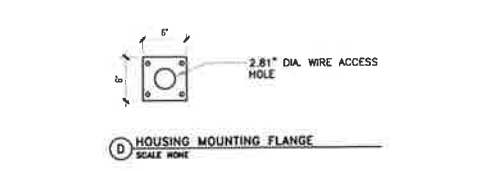
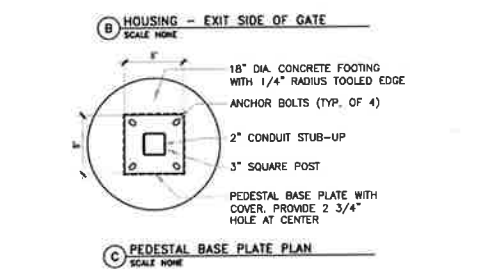
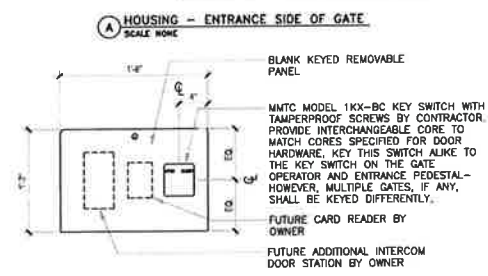
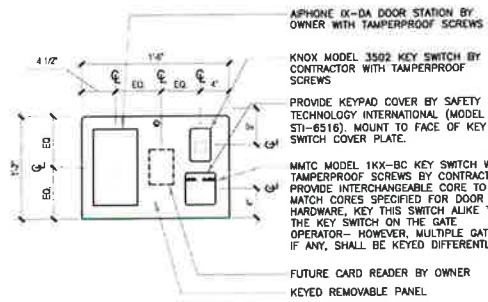
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ELECTRICALLY OPERATED SLIDING GATE STANDARDS



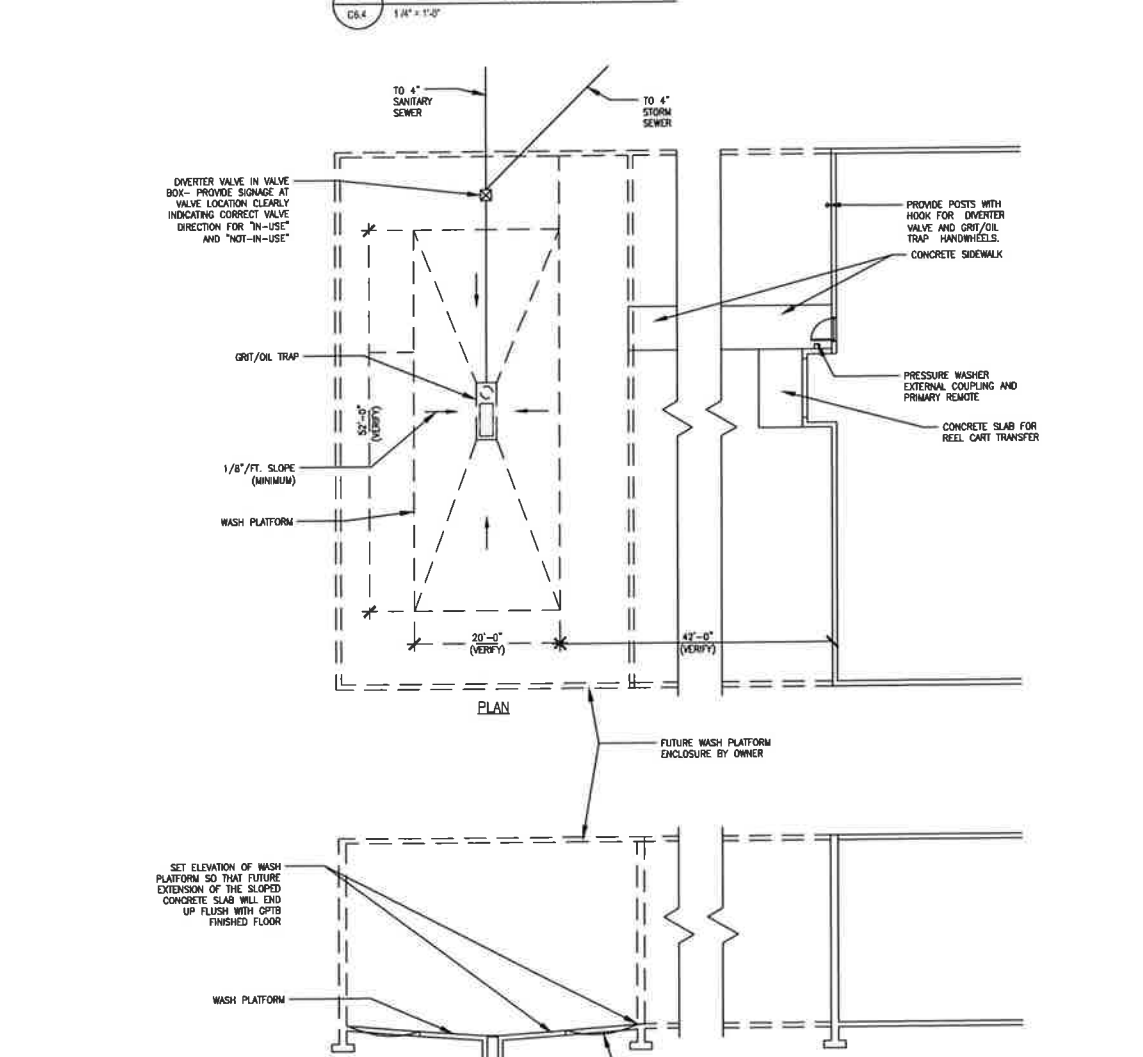
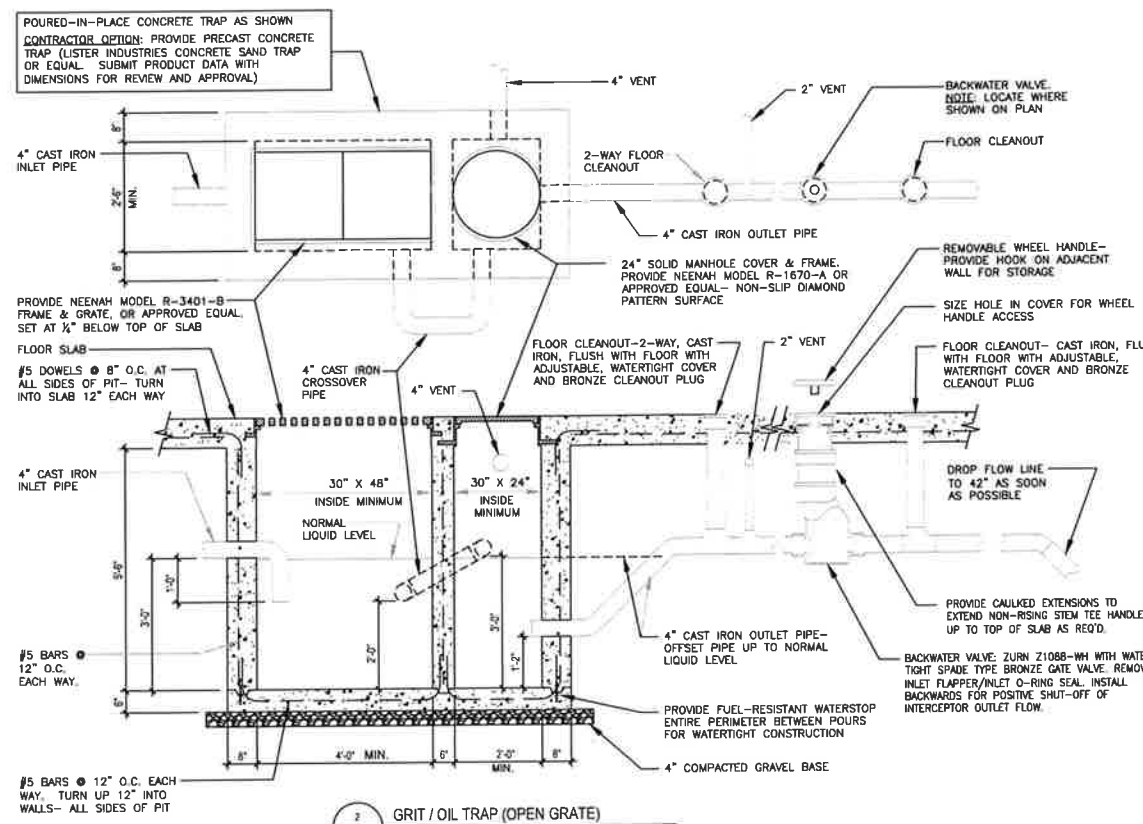
ELECTRICALLY OPERATED SLIDING GATE NOTES:

- GATE OPERATOR BY CONTRACTOR. GATE OPERATOR INSTALLATION TO BE COORDINATED FOR CONNECTION TO GATE WITH PROPER BRACKETS AND GUIDES. GATE OPERATOR POWER TO BE IN SEPARATE CONDUIT FROM COMMUNICATION CABLES AND CONDUITS AND MAY NOT BE RUN IN SAME HANDHOLES. PROVIDE CONCRETE BASE AS REQUIRED BY MANUFACTURER FOR OPERATOR. INSTALL A SINGLE GANG 120V, 20 AMP SERVICE RECEPTACLE INSIDE THE GATE OPERATOR ENCLOSURE.
 - PEDESTALS WITH CONCRETE FOOTINGS ON THE ENTRANCE AND EXIT SIDE OF GATES BY CONTRACTOR. GATE OPERATION TO BE CONTROLLED BY KEY SWITCH AND DOOR RELEASE, VIA INTERCOM SYSTEM. INTERCOM SYSTEM AND KEY SWITCHES TO BE PROVIDED AND INSTALLED BY CONTRACTOR AND INTERCOM SYSTEM TO BE PROVIDED AND INSTALLED BY OWNER. REFER TO PEDESTAL DETAILS FOR PEDESTAL REQUIREMENTS AND HOUSING HEIGHTS. VERIFY FINAL LOCATION OF PEDESTALS WITH OWNER.
 - SENSING LOOP AND SAFETY LOOPS SHALL BE APPROVED BY SENSOR MANUFACTURER AND MUST BE UL APPROVED AND MEET THE MINIMUM REQUIREMENTS OF INTERNATIONAL MUNICIPAL SIGNAL ASSOCIATION (IMSA) TYPE 51-3 CROSS-LINKED POLYETHYLENE INSULATED LOOP DETECTOR WIRE WITH TYPE 50-2 POLYETHYLENE INSULATED, POLYETHYLENE JACKETED, LOOP DETECTOR LEAD-IN CABLE. MAKE 3/8" WIDE SAW CUTS A MINIMUM OF 2" DEEP IN CLEAN, STRAIGHT LINES. INSTALL A MINIMUM OF THREE TURNS IN SAW CUTS WITH OVERLAPPING DOG-EARED CORNER CUTS. ENSURE CABLE IS INSTALLED AT THE BOTTOM OF THE SAW CUTS. USE SEALANT COMPLYING WITH IOWA DOT MATERIALS I.M. 491.18. INSTALL LEAD-IN CABLE IN PVC CONDUIT, WITH MINIMUM SIX TURNS PER FOOT. MAINTAIN TWISTS TO TERMINATION POINT AT SENSOR UNIT. VERIFY LAYOUT OF LOOPS WITH MANUFACTURER'S RECOMMENDATIONS FOR PROPER DETECTION AND OPERATION. PROVIDE SHOP DRAWINGS FOR OWNER REVIEW AND APPROVAL.
 - PROVIDE A 24" x 24" x 8" NEMA 4 WEATHERPROOF ENCLOSURE WITH LATCHING LID AND HASP FOR PADLOCK. MOUNT ADJACENT TO THE GATE OPERATOR FOR FUTURE OWNER PROVIDED CARD ACCESS EQUIPMENT. PROVIDE ONE - 2" PVC CONDUIT WITH PULL-STRINGS FROM ENCLOSURE TO GATE OPERATOR AND ONE - 2" (SCHEDULE 80) PVC CONDUIT WITH PULL-STRINGS FROM ENCLOSURE TO 11" x 18" HANDHOLE. INSTALL A SINGLE-GANG 120V, 20 AMP SERVICE RECEPTACLE INSIDE THE ENCLOSURE (EXTENDED FROM SERVICE RECEPTACLE IN GATE OPERATOR ENCLOSURE).
 - PROVIDE REQUIRED LOW VOLTAGE POWER SUPPLIES AS REQUIRED IN GATE OPERATOR FOR SENSING LOOP, SAFETY LOOPS, AND ANTI-ENTRAPMENT DEVICES. INTERCOM DOOR STATION IS TO BE POWERED FROM THE INSIDE STATION TRANSFORMER AND AMPLIFIER.
 - CONDUIT AND CABLES FOR CONTROLS SHALL BE RUN BACK TO THE MAIN TELECOMMUNICATION ROOM. PROVIDE APPROPRIATE LIGHTNING PROTECTION AND GROUNDING FOR EXTERIOR CIRCUITS ENTERING THE MAIN TELECOMMUNICATION ROOM.
 - ALL CONDUIT AND CABLES SHALL BE BY THE CONTRACTOR. PROVIDE PULL-STRINGS IN ALL CONDUITS (EXCEPT CONDUIT FOR GATE OPERATOR POWER).
 - MAXIMUM CABLEING DISTANCE SHALL BE 300 FEET (INCLUDING TERMINATION AT EQUIPMENT AND CABLEING WITHIN THE TELECOMMUNICATION ROOM). FOR ALL RUNS OVER 300 FEET, CONTRACTOR SHALL PROVIDE GROUND RATED CABLE DESIGNED FOR EXTENDED DISTANCES ("GAMECHANGERS" BY PAIR-DATA/COM SOLUTIONS OR APPROVED EQUAL). ALTERNATELY, CONTRACTOR MAY PROVIDE FIBER OPTIC CABLEING WITH REQUIRED SIGNAL CONVERTERS.
 - PROVIDE ADDITIONAL HANDHOLE(S) FOR DISTANCES EXCEEDING 300 FEET AND AT ANY SPLICE LOCATIONS.
 - INSTALL HANDHOLES FLUSH AND LEVEL WITH GRADE. INSTALL IN MINIMUM 10" CLEAN GRAVEL BED. INSTALL WIRE MESH (HARDWARE CLOTH) AT BOTTOM OF BOX TO DETER PEST ENTRY.
 - ALL ABOVE EQUIPMENT (EXCEPT WHERE INDICATED) AND FINAL ADJUSTMENTS TO BE PROVIDED BY THE CONTRACTOR FOR A COMPLETE AND OPERABLE SYSTEM.
 - SEE SPECIFICATIONS FOR GATE, OPERATOR, CONTROLS AND SUMMARY OF AUTOMATIC GATE OPERATIONS.
- REVISED 3/28/2022



APPROVED PEDESTAL MANUFACTURER:
PEDESTAL PRO
LONDON, UT (800) 660-3072
http://www.PedestalPRO.com
ALL COMPONENTS TO BE #304 STAINLESS STEEL, BRUSHED #4 FINISH (180 GRIT)

APPROVED PEDESTAL MANUFACTURER:
PEDESTAL PRO
LONDON, UT (800) 660-3072
http://www.PedestalPRO.com
ALL COMPONENTS TO BE #304 STAINLESS STEEL, BRUSHED #4 FINISH (180 GRIT)



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14225 UNIVERSITY AVENUE, SUITE 110
WAUKEE, IOWA 50263
(515) 225-3469 / info@f-w.com
www.f-w.com
Engineers | Architects | Surveyors | Scientists

#	DATE:	DESCRIPTION:
02/27/2023		CITY SUBMITTAL

100% CONSTRUCTION SET
01/26/2023

PROJECT:
Iowa National Guard

West Des Moines Readiness Center

1625 SE County Line Road
West Des Moines, IA

DATE:	01/26/2023
CONTRACT #:	C154W4094
IAARNG PROJECT #:	190191
DESIGNED:	DB & BK
DRAWN:	BK & CT
REVIEWED:	DB
FIELD BOOK NO.:	

DETAILS

SHEET NUMBER:
C6.4

PROJECT NO.: 0210717.00

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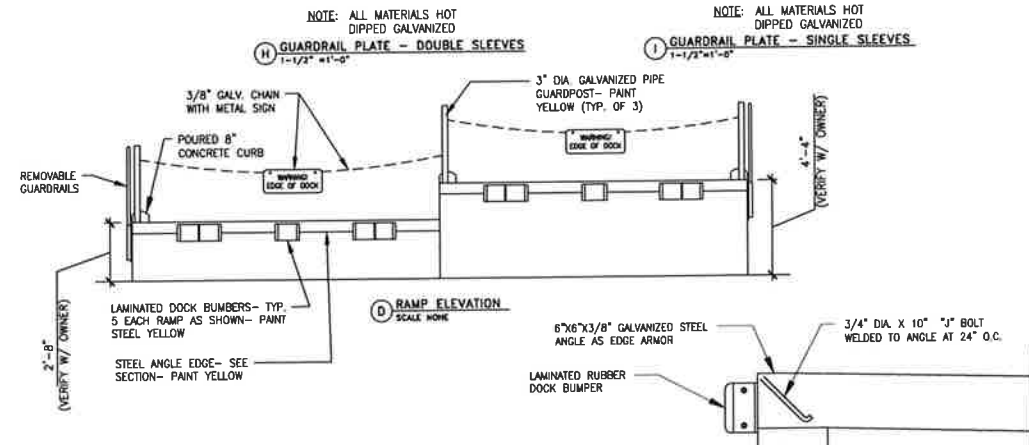
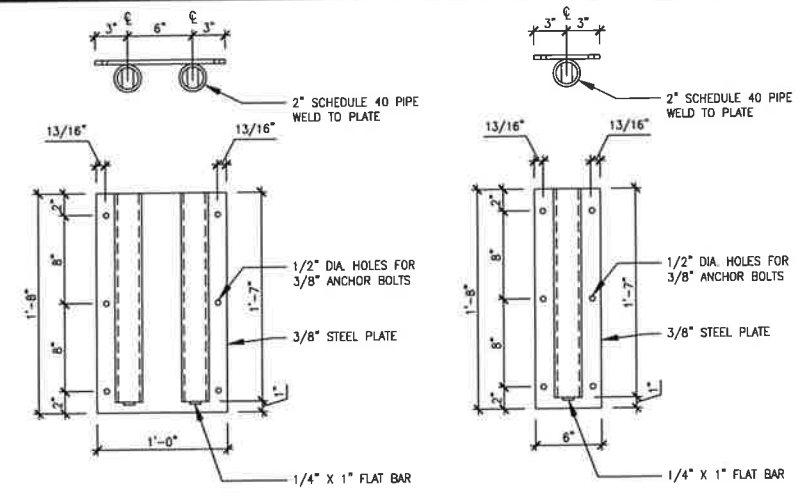
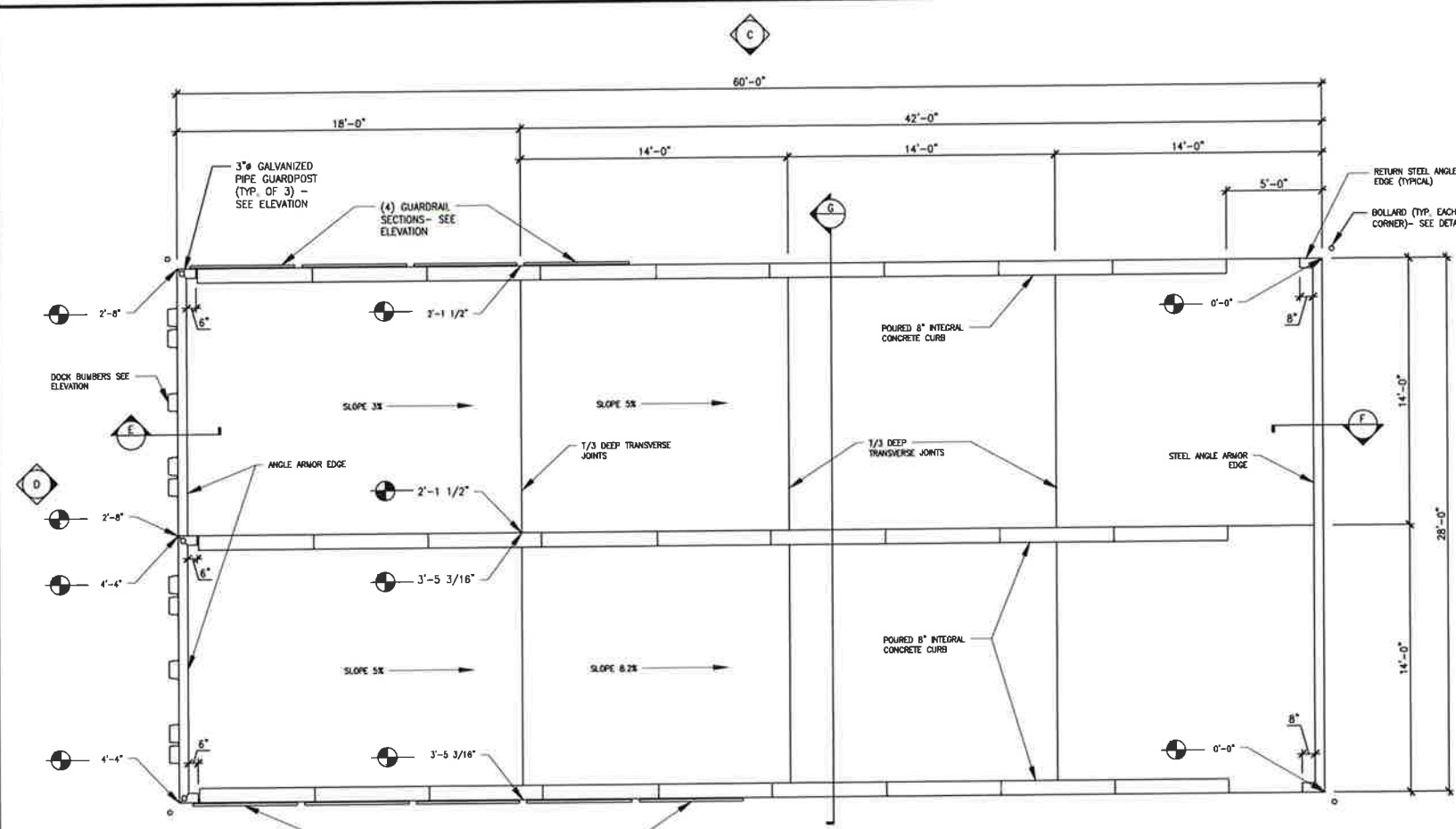
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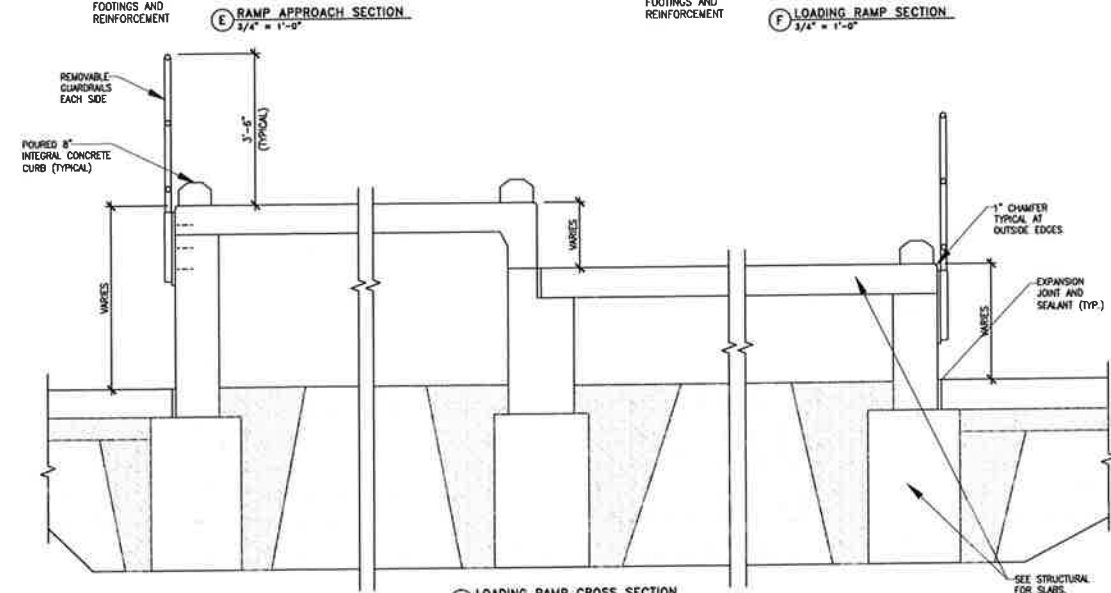
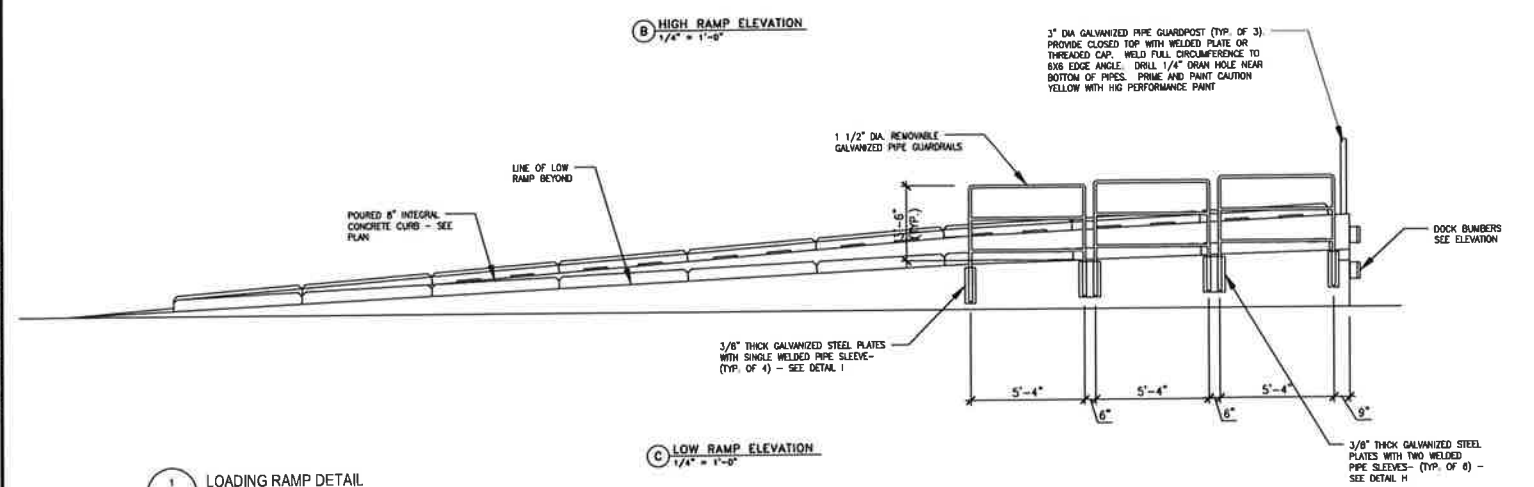
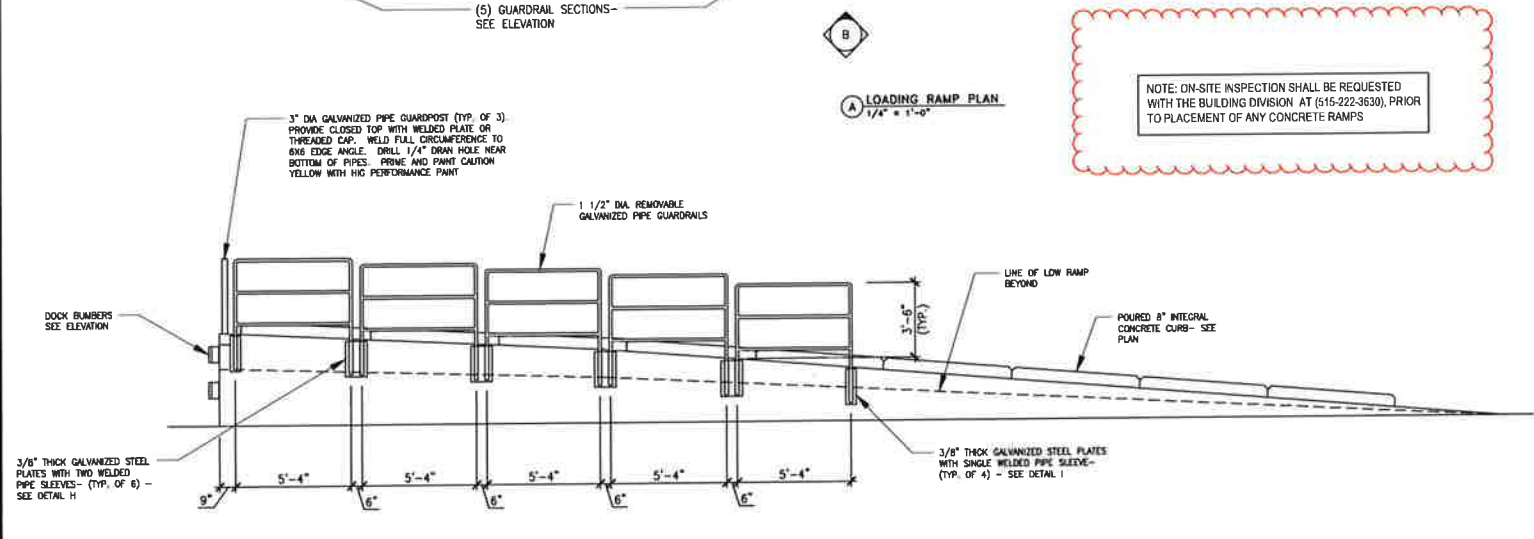
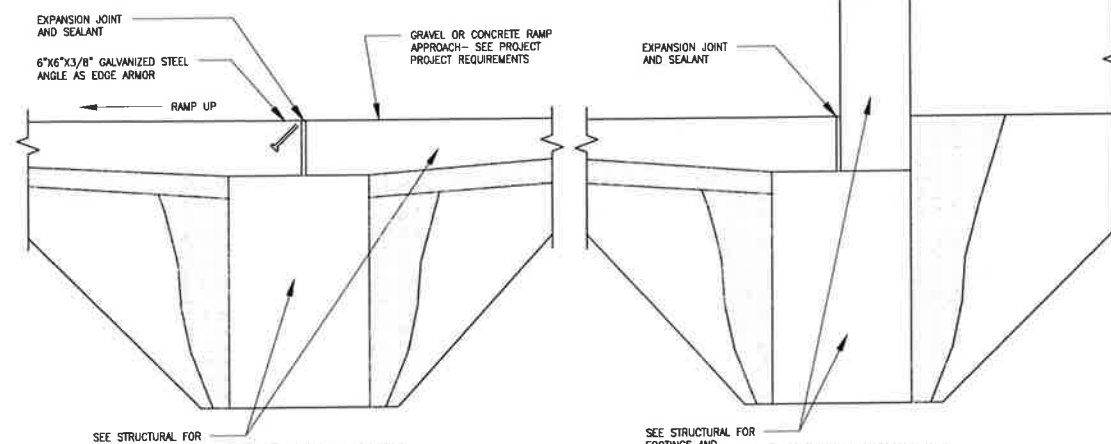
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DATE: DESCRIPTION:

02/26/2023 CITY SUBMITTAL



NOTE: ON-SITE INSPECTION SHALL BE REQUESTED WITH THE BUILDING DIVISION AT (515-223-3630), PRIOR TO PLACEMENT OF ANY CONCRETE RAMPS



100% CONSTRUCTION SET
01/26/2023

PROJECT
Iowa National Guard

West Des Moines Readiness Center

1625 SE County Line Road
West Des Moines, IA

DATE: 01/26/2023
CONTRACT #: C154W4094
IAARNG PROJECT #: 190191
DESIGNED: DB & BK
DRAWN: BK & CT
REVIEWED: DB
FIELD BOOK NO.:

DETAILS

SHEET NUMBER

C6.5

PROJECT NO.: 0210717.00

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STORM WATER POLLUTION PREVENTION PLAN

PROPERTY DESCRIPTION:

(WARRANTY DEED BOOK 17945, PAGE 534)
 LOTS FOUR, FIVE, SIX, AND SEVEN IN BRUBAKER
 ESTATE, COMPRISES THE SE 1/4 OF THE NW 1/4 AND SW
 1/4 (EXCEPT THE E 1/2 NE 1/4 SW 1/4) ALL IN SECTION 34,
 TOWNSHIP 78 NORTH, RANGE 25, WEST OF THE 5TH
 P.M., IOWA, BEING APPROXIMATELY 51 TAXABLE
 ACRES, IN POLK COUNTY, IOWA.

EXCEPTING THEREFROM RIGHT-OF-WAY DEEDED TO
 THE CITY OF WEST DES MOINES IN THE FOLLOWING
 DOCUMENTS:

BOOK 8480 PAGE 921
 BOOK 8638 PAGE 729
 BOOK 15734 PAGE 715
 BOOK 16878 PAGE 659

SITE AREA:

35.00 ACRES

DISTURBED AREA:

17.00 ACRES

OWNER:

CITY OF WEST DES MOINES
 4200 MILLS CIVIC PARKWAY
 WEST DES MOINES, IOWA 50265

PREPARED FOR:

FARNSWORTH GROUP
 14225 UNIVERSITY AVENUE, SUITE 110
 WAUKEE, IOWA 50263

LEGEND:

-120-	EXISTING CONTOUR	TELE	TELEPHONE LINE	SPRINKLER	ELECTRIC VAULT	GAS METER
-120-	PROPOSED CONTOUR	F/O	FIBER OPTIC	IRRIGATION CONTROL VALVE	POWER POLE	GAS VALVE
SF	SILT FENCE	CATV	CABLE TV	WATER MANHOLE	TRANSFORMER POLE	AIR CONDITIONING UNIT
SAN	SANITARY SEWER	SM	STORM MANHOLE	WATER VALVE	ELECTRIC JUNCTION BOX	TELEPHONE RISER
ST	STORM SEWER	CI	CURB INTAKE	WATER SHUT OFF	ELECTRIC PANEL	TELEPHONE VAULT
W	WATER LINE	FE	FLARED END SECTION	YARD HYDRANT	TRANSFORMER	TELEPHONE MANHOLE
G	GAS LINE	SM	SANITARY MANHOLE	ELECTRIC MANHOLE	GROUND LIGHT	TRAFFIC SIGNAL MANHOLE
UE	UNDERGROUND ELECTRIC	CN	CLEANOUT	ELECTRIC METER	GUY WIRE	FIBER OPTIC RISER
OE	OVERHEAD ELECTRIC	FR	FIRE HYDRANT	ELECTRIC RISER	ELECTRIC HANDHOLE	FIBER OPTIC FAULT
						CABLE TV RISER
						SIGN

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS
 OBSERVATIONS, DATUM = NAD 83, IOWA SOUTH

BENCHMARK DATUM = CITY OF WEST DES MOINES

POINT # 9001

NORTHING = 553,110.38

EASTING = 1,576,827.72

ELEVATION = 177.07

DESCRIPTION: SITE TBM - BURY TAG ON HYDRANT

WEST SIDE OF SE ORILLA ROAD, 520' SOUTH OF

MAFFITT LAKE ROAD

POINT # 9002

NORTHING = 552,210.21

EASTING = 1,576,830.37

ELEVATION = 187.93

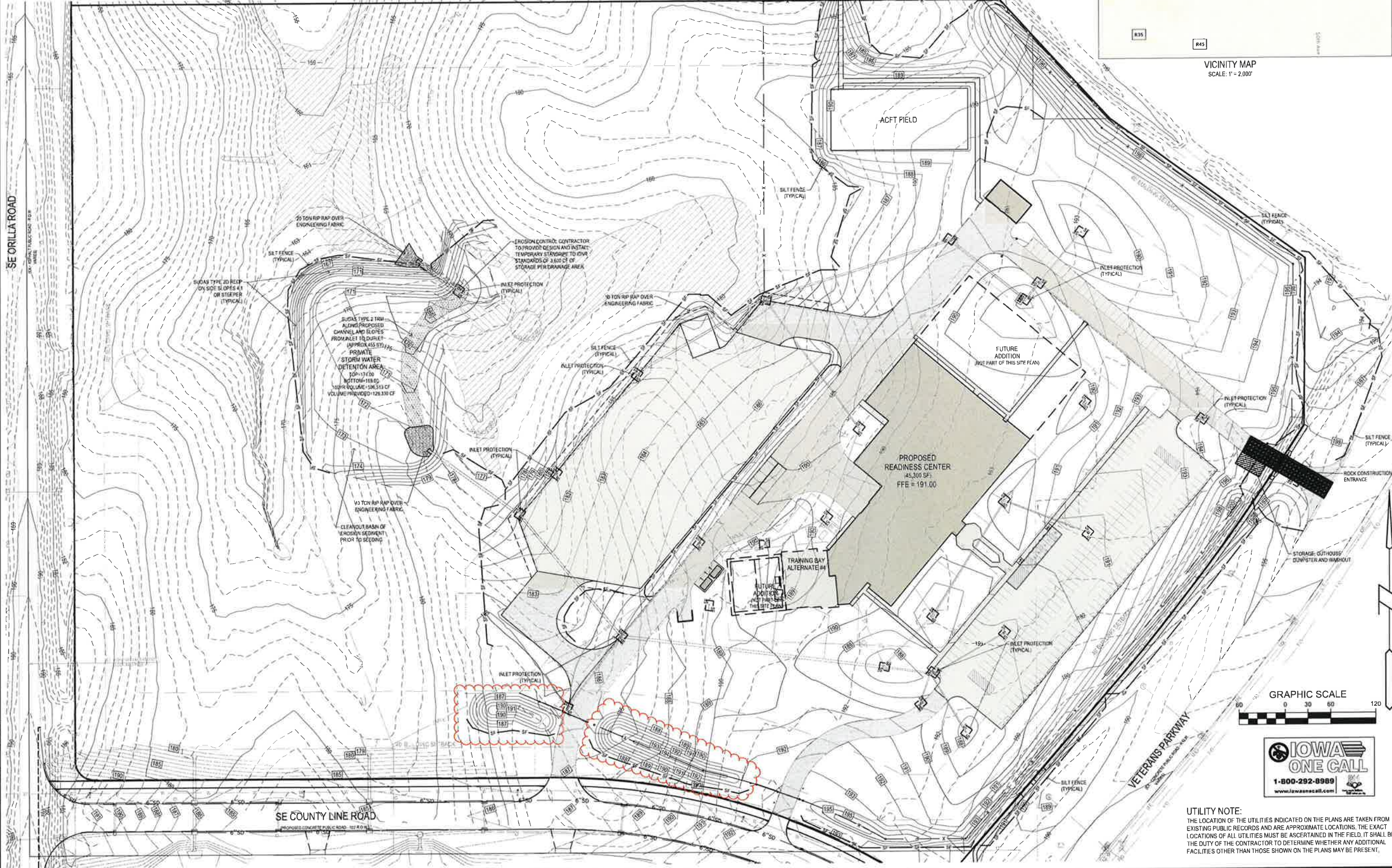
DESCRIPTION: SITE TBM - BURY TAG ON HYDRANT

WEST SIDE OF SE GRILLA ROAD, 340' NORTH OF SW

CORNER OF SITE



VICINITY MAP
 SCALE: 1" = 2,000'



100% CONSTRUCTION SET
 01/26/2023

PROJECT:
 Iowa National Guard

West Des Moines Readiness Center

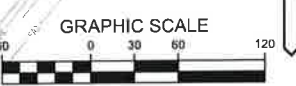
1625 SE County Line Road
 West Des Moines, IA

DATE:	01/26/2023
CONTRACT #:	C154W4094
JAARNG PROJECT #:	190191
DESIGNED:	DB & BK
DRAWN:	BK & CT
REVIEWED:	DB
FIELD BOOK NO.:	

SHEET TITLE:
SWPPP

SHEET NUMBER:
C7.1

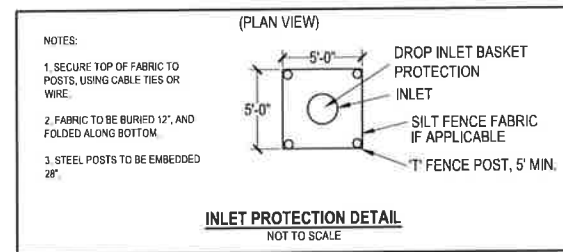
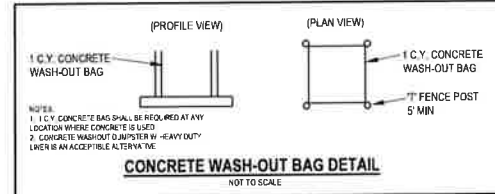
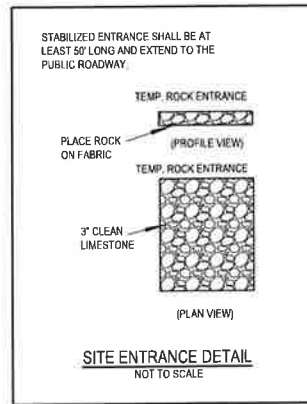
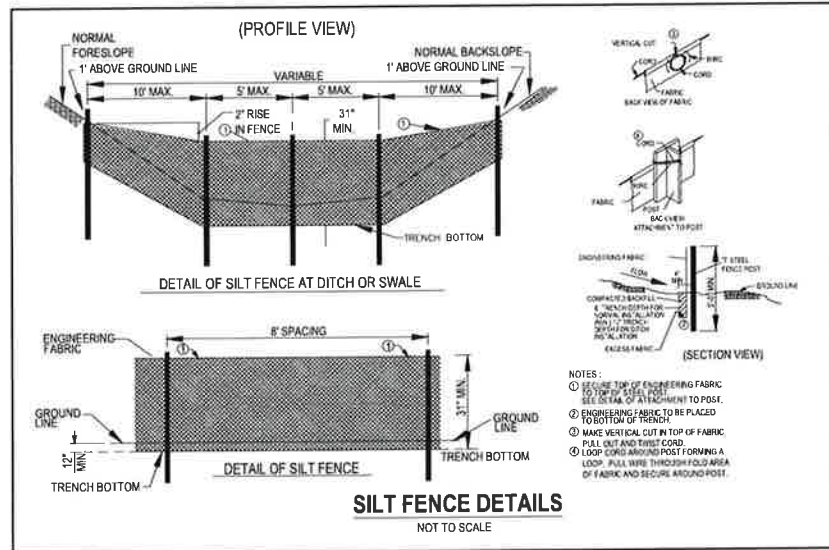
PROJECT NO.: 0210717.00



UTILITY NOTE:
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM
 EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT
 LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE
 THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL
 FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

I:\Market\Iowa\Projects\2023\0210717\SWPPP.dwg | 2/7/2023 6:25 PM |

STORM WATER POLLUTION PREVENTION PLAN



EROSION CONTROL NOTES:

- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

EROSION CONTROL REMOVAL NOTES:

- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

STORM WATER MANAGEMENT NOTES:

- STORM WATER DISCHARGE PERMIT
 - THIS PROJECT REQUIRES A STORM WATER POLLUTION PREVENTION PLAN, NOTICE OF INTENT AND NPDES GENERAL PERMIT NUMBER 2 FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. THESE DOCUMENTS WILL BE PROVIDED BY THE IOWA ARMY NATIONAL GUARD'S DIRECTOR OF INSTALLATION MANAGEMENT ENVIRONMENTAL BRANCH. THESE AND THE GENERAL CONTRACTOR'S PROJECT INSPECTION DIARY MUST BE KEPT ON-SITE AND PRESENTED TO FEDERAL STATE OR LOCAL ENVIRONMENTAL REGULATORY PERSONNEL AND THE OWNER WHEN REQUESTED.
 - THE GENERAL CONTRACTOR, AND EACH SUBCONTRACTOR THAT HAS A RESPONSIBILITY FOR A TASK DESCRIBED IN THE PLAN, WILL BE A CO-PERMITTEE WITH THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH AND FULFILLING ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NUMBER 2, THE STORM WATER POLLUTION PREVENTION PLAN AND REQUIREMENTS DESCRIBED IN THE PROJECT'S DRAWINGS AND SPECIFICATIONS.
 - THE OWNER WILL FILE A NOTICE OF DISCONTINUATION UPON FINAL STABILIZATION OF THE DISTURBED AREA. THE GENERAL CONTRACTOR WILL PROVIDE THE ORIGINAL PROJECT INSPECTION DIARY AND THE MARKED-UP COPY OF THE STORM WATER POLLUTION PREVENTION PLAN TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- STORM WATER POLLUTION PREVENTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE STORM WATER CONTROL MEASURES DESCRIBED HERE, THOSE DESCRIBED IN THE STORM WATER POLLUTION PREVENTION PLAN AND THOSE IN THE PROJECT'S DRAWINGS AND SPECIFICATIONS.
 - PROTECT ADJOINING PROPERTY INCLUDING PUBLIC UTILITIES, STORM AND SANITARY DRAINAGE SYSTEMS, AND STREETS FROM ANY DAMAGE RESULTING FROM STORM WATER MOVEMENT OF EARTH OR OTHER DEBRIS FROM THE PROJECT SITE. REPAIR ANY DAMAGE IMMEDIATELY AT NO ADDITIONAL COST.
 - PRIOR TO INITIATING SITE CLEARING OR GRADING OPERATIONS, INSTALL SILT FENCE DOWNSTREAM OF DISTURBING ACTIVITIES AS SHOWN ON THE PLANS. ADDITIONAL SILT FENCINGS WILL BE ADDED TO AREAS DEEMED NECESSARY DURING THE COURSE OF THE PROJECT.
 - PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND MINIMIZE THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.
 - WHEN SPECIFIED, CONSTRUCT A STORM WATER DETENTION BASIN AND ROUTE EXISTING STORM WATER FLOWS FROM THE CONSTRUCTION AREA TO THE BASIN.
 - PROVIDE TEMPORARY SEDIMENT BASINS AT THE RATE OF 3,600 CUBIC FEET OF STORAGE PER ACRE DISTURBED OVER 10 ACRES. IF NOT ATTAINABLE, A COMBINATION OF SILT FENCES, MULTIPLE SEDIMENT TRAPS OR EQUIVALENT CONTROLS ARE REQUIRED FOR SIDE SLOPES AND DOWN SLOPE BOUNDARIES OF THE DISTURBED AREA. FOR DISTURBED AREA LESS THAN 10 ACRES, THE SAME EROSION CONTROLS ARE REQUIRED ALTHOUGH CONSTRUCTION OF A SEDIMENT BASIN IS OPTIONAL.
 - PROVIDE STABILIZED CONSTRUCTION ENTRANCES WHERE THERE IS POTENTIAL FOR SEDIMENT TRACKING ONTO PUBLIC ROADWAYS, AND INSTALL CONCRETE WASHOUT AREA(S) THAT CAN CONTAIN ALL RINSEATE AND ARE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES OR SURFACE WATERS. PROTECT ADJACENT OR NEWLY CONSTRUCTED STORM SEWER INLETS WITH SILT BARRIERS, AND PROTECT SOIL STOCKPILES WITH TEMPORARY VEGETATION AND/OR SILT FENCING.
- PROVIDE TEMPORARY AND/OR PERMANENT SEEDING, AND ADDITIONAL SILT FENCE OR OTHER CONTROLS AS AREAS REACH THEIR FINAL GRADE. "FINAL STABILIZATION" MEANS ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE AND A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED AS DEFINED BY THE IOWA DNR NPDES GENERAL PERMIT NO. 2 AND/OR IN ACCORDANCE WITH CITY OR COUNTY REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
- IF ACTIVITY IN A DISTURBED AREA IS NOT PLANNED FOR 21 DAYS, THE AREA SHALL BE STABILIZED BY TEMPORARY EROSION CONTROLS WITHIN 14 DAYS OF CEASING CONSTRUCTION ACTIVITIES.
- MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACING AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEANING OF SILT CONTROL DEVICES SHALL BEGIN WHEN THEY HAVE REACHED 50 PERCENT OF THEIR CAPACITY.
- MAINTAIN A MINIMUM OF 4 INCHES OF TOPSOIL ON ALL AREAS NOT COVERED BY CONCRETE, ASPHALT, GRAVEL OR OTHER SUCH MATERIAL. AFTER SOIL DISTURBING ACTIVITIES ARE COMPLETED AND FINAL STABILIZATION IS ACHIEVED, ON AREAS WHERE LESS THAN 4 INCHES OF TOPSOIL EXISTS PRIOR TO INITIATING SOIL DISTURBING ACTIVITIES, THE MINIMUM DEPTH OF TOPSOIL SHALL BE EQUAL TO, OR GREATER THAN, THE DEPTH THAT EXISTED PRIOR TO BEGINNING THE PROJECT. SOIL DEPTHS LESS THAN 4 INCHES MUST BE DOCUMENTED BY A QUALIFIED PERSON AND WRITTEN INTO THE STORM WATER POLLUTION PREVENTION PLAN.
- PROVIDE AN INDIVIDUAL EXPERIENCED WITH STORM WATER POLLUTION PREVENTION PLANS AND TECHNIQUES TO INSPECT THE PROJECT AREA AND EROSION CONTROL MEASURES EVERY SEVEN DAYS AND AFTER RAINFALL EVENTS. AT THE TIME OF EACH INSPECTION, THE INSPECTOR WILL REVIEW THE PROJECT'S STORM WATER POLLUTION PREVENTION PLAN, VERIFY THAT EVERY ASPECT OF THE PLAN AND PROJECT DRAWINGS ARE IN PLACE, IDENTIFY ANY ADDITIONAL EROSION CONTROL REQUIRED, VERIFY SUBCONTRACTORS RESPONSIBLE FOR TASKS IN THE PLAN HAVE SIGNED ON AS CO-PERMITTEES, AND VERIFY THE PLAN HAS BEEN UPDATED WITH THE SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES AND CHANGES TO EROSION AND SEDIMENT CONTROLS, STAGING AREAS, CONCRETE WASHOUTS, STABILIZED ENTRANCES, ETC. THE INSPECTOR WILL PROVIDE AN ELECTRONIC COPY OF THE INSPECTION RESULTS, TO INCLUDE PHOTOGRAPHS OF ANY DEFICIENCIES, TO THE GENERAL CONTRACTOR AND PROVIDE A COPY TO THE OWNER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A COPY OF EACH INSPECTION REPORT IN THE PLAN.
- THE STORM WATER POLLUTION PREVENTION PLAN IS A LIVING DOCUMENT. AFTER INSTALLATION OF THE ENGINEER'S INITIAL EROSION CONTROL MEASURES IDENTIFIED ON THE PROJECT DRAWINGS, THE CONTRACTOR WILL REVIEW THE WEEKLY AND RAINFALL STORM WATER INSPECTION REPORTS AND ADDRESS ANY DEFICIENCIES WITHIN SEVEN DAYS. DEFICIENCIES MAY ALSO BE IDENTIFIED BY THE OWNER AT ANY TIME. CORRECTIVE ACTIONS MAY INCLUDE INSTALLATION OF ADDITIONAL EROSION CONTROLS AND/OR MAINTENANCE OF EXISTING CONTROLS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUING COMPLIANCE WITH ALL SWPPP REQUIREMENTS UNTIL FINAL STABILIZATION IS ACHIEVED REGARDLESS OF WHETHER SUBSTANTIAL COMPLETION HAS BEEN GRANTED OR THE OWNER HAS OCCUPIED ANY PORTION OF THE SITE OR FACILITY. SUCH PRACTICES SHALL INCLUDE, BUT NOT BE LIMITED TO, INSPECTIONS AND REPORTS AND MAINTENANCE OF EROSION CONTROL MEASURES AS DESCRIBED ABOVE.
- LOCAL ORDINANCES. THE GENERAL CONTRACTOR HAS THE RESPONSIBILITY TO IDENTIFY, OBTAIN AND IMPLEMENT ANY LOCAL GRADING OR STORM WATER MANAGEMENT PERMITS.



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001
DATE: DESCRIPTION:
0077003 CITY SUBMITTAL

100% CONSTRUCTION SET
01/26/2023

PROJECT:
Iowa National Guard

West Des Moines Readiness Center

1625 SE County Line Road
West Des Moines, IA

DATE: 01/26/2023

CONTRACT #: C154W4094

JAARNG PROJECT #: 190191

DESIGNED: DB & BK

DRAWN: BK & CT

REVIEWED: DB

FIELD BOOK NO.: -

SHEET TITLE:
SWPPP

SHEET NUMBER:

C7.2

PROJECT NO.: 0210717.00



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DATE: DESCRIPTION:

2 02/27/2023 ADDENDUM #2

100% CONSTRUCTION SET
01/28/2023

PROJECT
Iowa National Guard

**West Des Moines
Readiness Center**

1625 SE County Line Road
West Des Moines, IA

DATE: 01/26/2023

CONTRACT #: C154W4094

IAARNG PROJECT #: 190191

DESIGNED: LS

DRAWN: SD

REVIEWED: LS

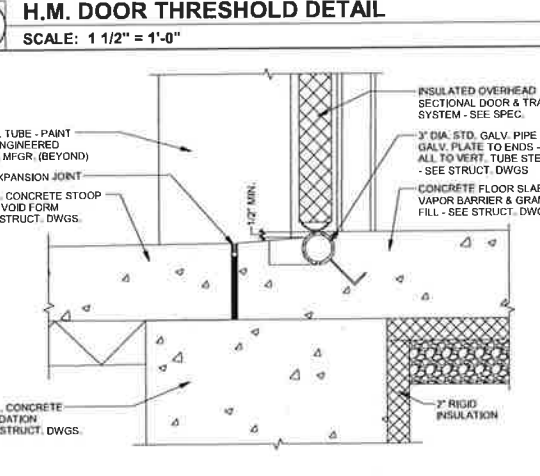
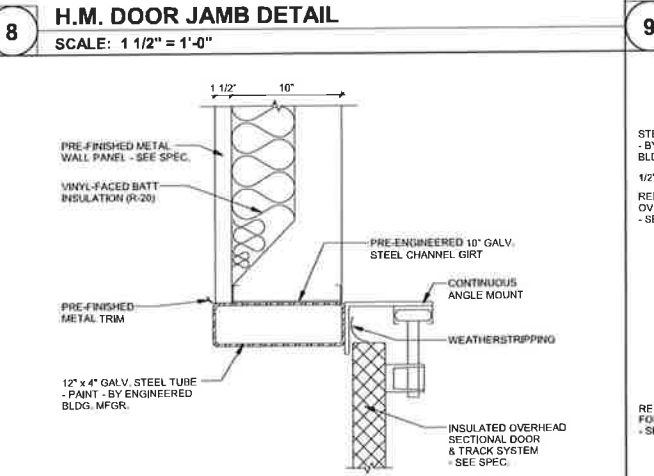
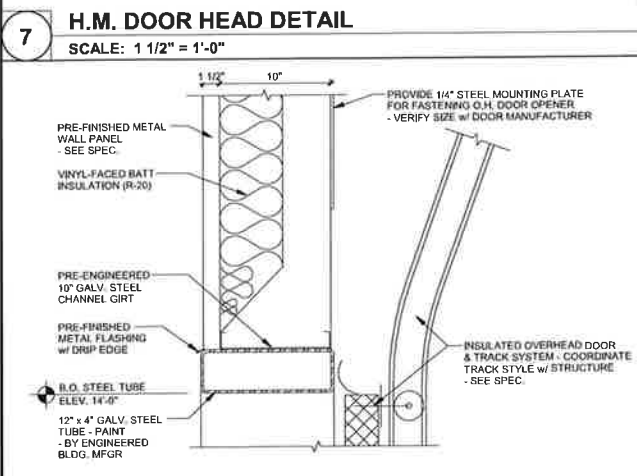
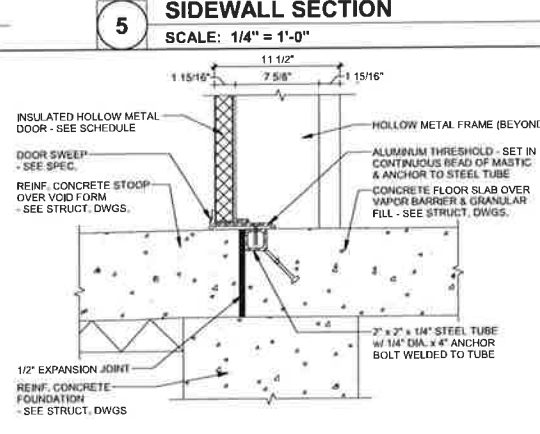
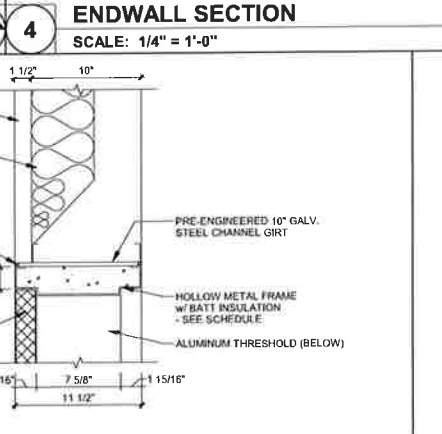
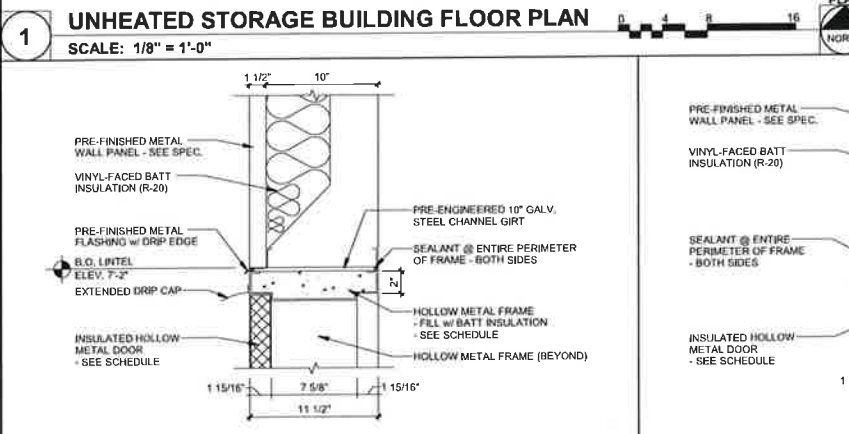
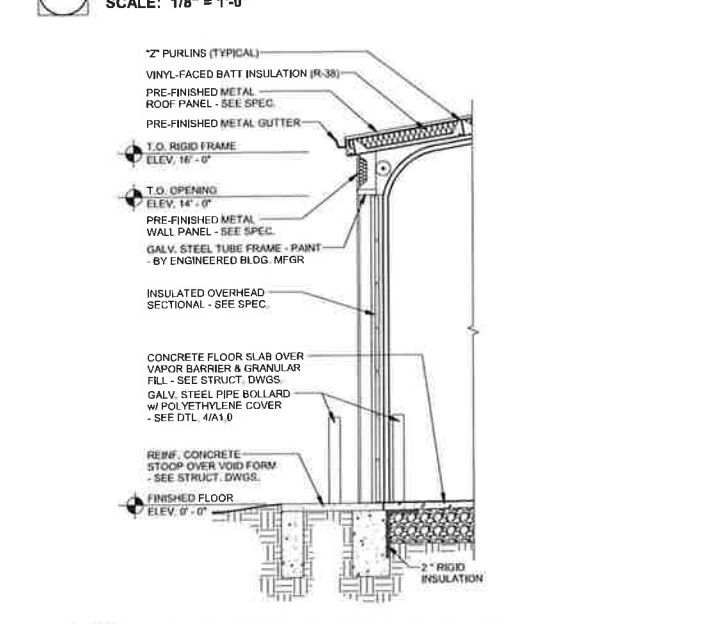
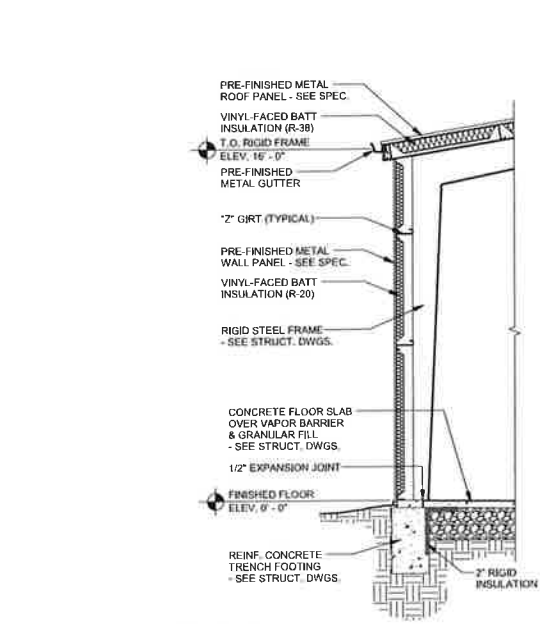
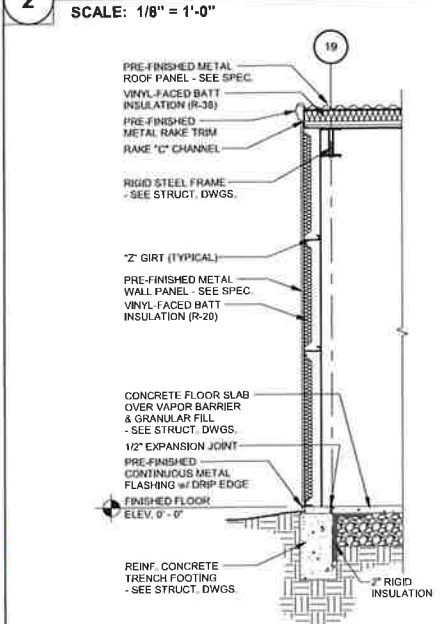
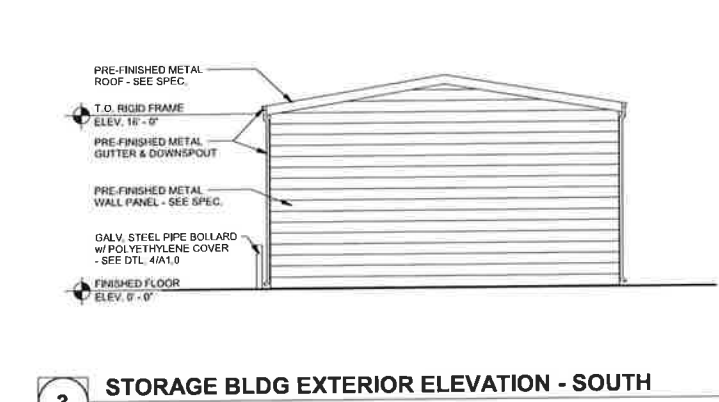
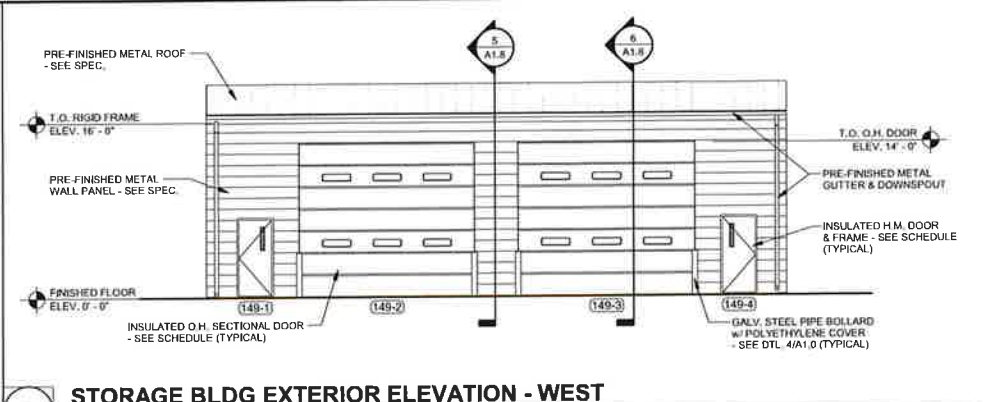
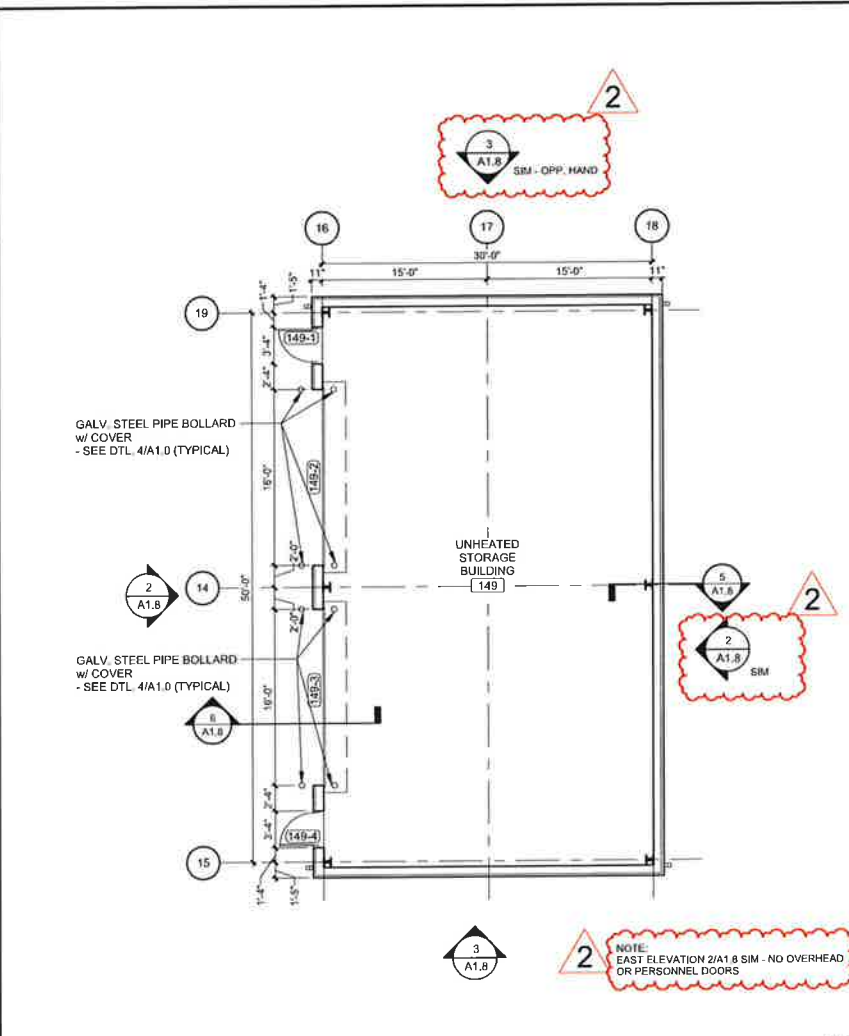
SHEET TITLE

**FLOOR PLAN -
STORAGE BUILDING**

SHEET NUMBER

A1.8

PROJECT NO.: 0210717.00



10 O.H. DOOR HEAD DETAIL
SCALE: 1 1/2" = 1'-0"

11 O.H. DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"

12 O.H. DOOR THRESHOLD DETAIL
SCALE: 1 1/2" = 1'-0"



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ISSUE #	DATE	DESCRIPTION
2	02/27/2023	ADDENDUM #2

ROOF GENERAL NOTES

- A. ALL ROOF SURFACES TO SLOPE AT A MINIMUM 1/4" PER FOOT UNLESS OTHERWISE NOTED OR SHOWN. PROVIDE TAPERED INSULATION WHERE INDICATED OR REQUIRED TO PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS AT A MINIMUM 1/4" PER FOOT. TAPERED INSULATION LAYOUT AS SHOWN IS TO COMMUNICATE GENERAL DRAIN STRATEGY - ACTUAL AMOUNT MAY VARY.
- B. ALL ROOF AREAS MUST HAVE POSITIVE DRAINAGE UNLESS SHOWN OTHERWISE. PONDING OF WATER IN ANY SPOT ON THE ROOF IS UNACCEPTABLE. PONDING SHALL BE DEFINED AS ANY WATER THAT REMAINS ON A ROOF SURFACE LONGER THAN 48 HOURS AFTER THE TERMINATION OF THE MOST RECENT RAIN EVENT. ALL INCIDENTS OF PONDING SHALL BE REPAIRED UNTIL PONDING IS ELIMINATED.
- C. COORDINATE ROOF DRAIN/SCUPPER LOCATIONS WITH PLUMBING DRAWING(S).
- D. COORDINATE ALL ROOF PENETRATION REQUIREMENTS, INCLUDING THOSE THAT MAY NOT BE SHOWN, WITH ROOFING CONTRACTOR, AND MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
- E. ALL ROOF PENETRATIONS TO BE IN COMPLIANCE WITH MANUFACTURER AND NRCA REQUIREMENTS.
- F. ROOFING COMPONENTS MAY VARY DEPENDING ON ROOFING MANUFACTURER. CONTRACTOR SHALL INSTALL A COMPLETE CODE COMPLIANT AND WARRANTED ROOFING SYSTEM BASED ON THE SPECIFIED ROOFING MANUFACTURERS WRITTEN INSTRUCTIONS AND INSTALLATION GUIDELINES.
- G. ROOFING INSULATION THERMAL LETTER-VALUE AND CORRESPONDING R-VALUE MAY VARY DEPENDING ON INSULATION MANUFACTURER. ROOFING CONTRACTOR TO CONSULT INSULATION MANUFACTURERS WRITTEN DOCUMENTATION AND PROVIDE A ROOF INSULATION THICKNESS TO MEET OR EXCEED THE IECC REQUIREMENT.
- H. PROVIDE MINIMUM 15'-0" CLEARANCE FROM ANY INTAKE FOR ALL EQUIPMENT AND VENT STACKS. ALERT DESIGN PROFESSIONAL OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- I. ONCE ROOF WORK BEGINS, THE CONTRACTOR IS ACCEPTING ALL CONDITIONS AND WILL BE RESPONSIBLE FOR ALL DEMOLITION AND NEW WORK REQUIRED TO PROVIDE A WATERTIGHT ROOF SYSTEM.
- J. THE CONTRACTOR SHALL ENSURE THAT UPON COMPLETION OF ROOF WORK, ALL GUTTERS, DOWNSPOUTS AND ROOF DRAINS ARE CLEAN AND CLEAR OF DEBRIS TO PROVIDE AN UNOBSTRUCTED, FREE FLOW OF WATER.
- K. COMPLIANCE WITH THE REQUIREMENTS OF UFC 4-010-01, DOD MINIMUM ANTITERRORISM STANDARDS FOR BUILDINGS. STANDARD 15 IS REQUIRED FOR THE ATTACHED SUN SHADES AS PROVIDED BY THE WINDOW MANUFACTURER.
 1. STANDARD 15: OVERHEAD MOUNTED ARCHITECTURAL FEATURES. OVERHEAD MOUNTED FEATURES WEIGHING 31 POUNDS OR MORE (EXCLUDING DISTRIBUTED SYSTEMS SUCH AS SUSPENDED CEILING) THAT COLLECTIVELY EXCEED THAT WEIGHT) ARE MOUNTED USING EITHER RIGID OR FLEXIBLE SYSTEMS TO MINIMIZE THE LIKELIHOOD THAT THEY WILL FALL AND INJURE BUILDING OCCUPANTS. MOUNT ALL SUCH SYSTEMS SO THAT THEY RESIST FORCES OF 0.5 TIMES THE COMPONENT WEIGHT IN ANY HORIZONTAL DIRECTION AND 1.5 TIMES THE COMPONENT WEIGHT IN THE DOWNWARD DIRECTION. THIS STANDARD DOES NOT PRECLUDE THE NEED TO DESIGN ARCHITECTURAL FEATURE MOUNTINGS FOR FORCES REQUIRED BY OTHER CRITERIA SUCH AS SEISMIC STANDARDS.

100% CONSTRUCTION SET
01/26/2023

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REVIEWED:	LS

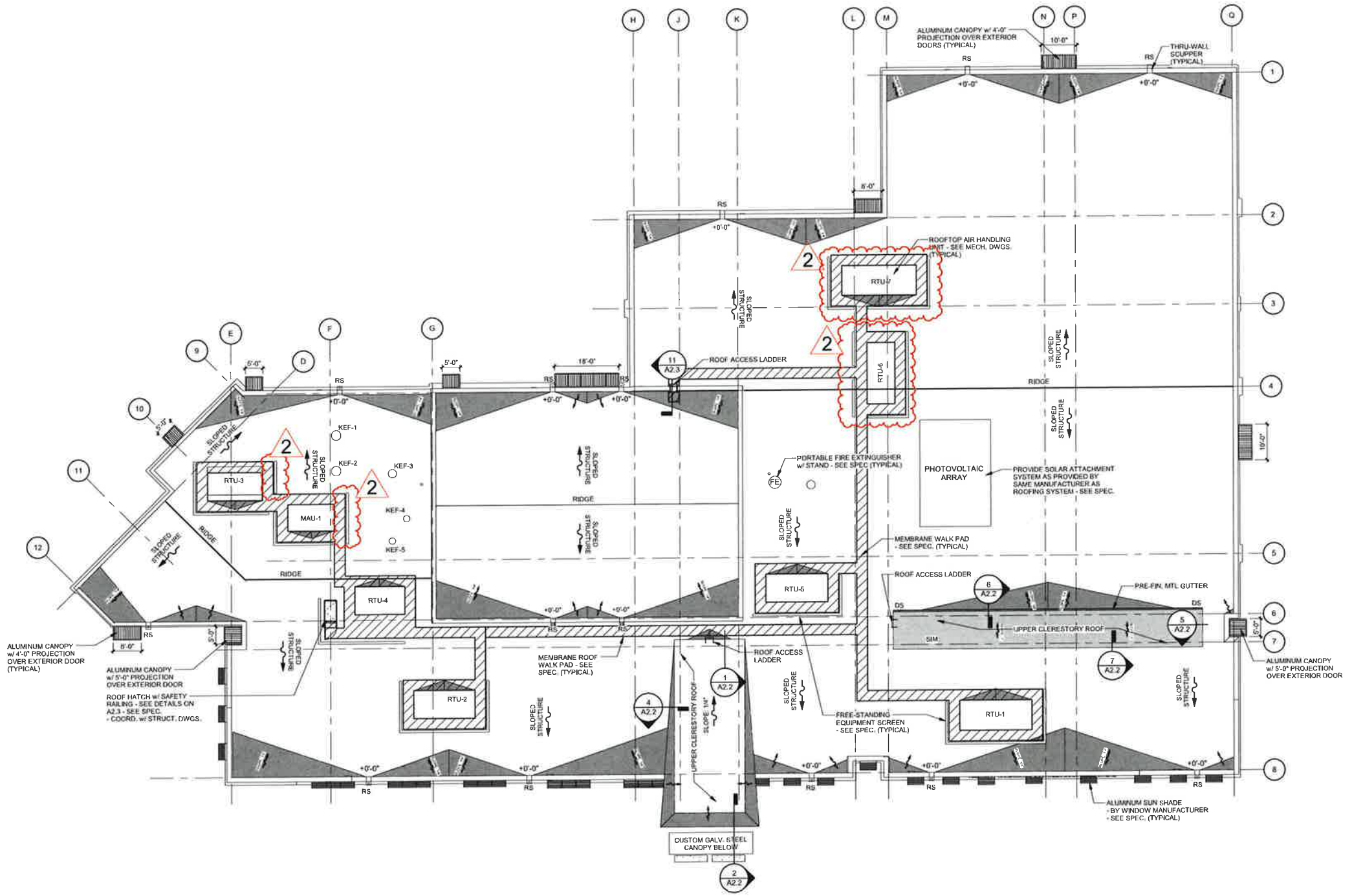
SHEET TITLE

**OVERALL ROOF
PLAN - BASE BID**

SHEET NUMBER

A2.0

PROJECT NO.: 0210717.00



ROOF PLAN LEGEND

- CRICKET/TAPERED INSULATION
- SLOPE 1/4" INDICATES ROOF SLOPE

1 ROOF FLOOR PLAN
SCALE: 1/16" = 1'-0"





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02/27/2023	ADDENDUM #2

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IAARNG PROJECT #:	190191
DESIGNED:	BR
DRAWN:	SD
REVIEWED:	LS

SHEET TITLE
ROOF PLAN REGION
A ALTERNATE No. 4

SHEET NUMBER

A2.1

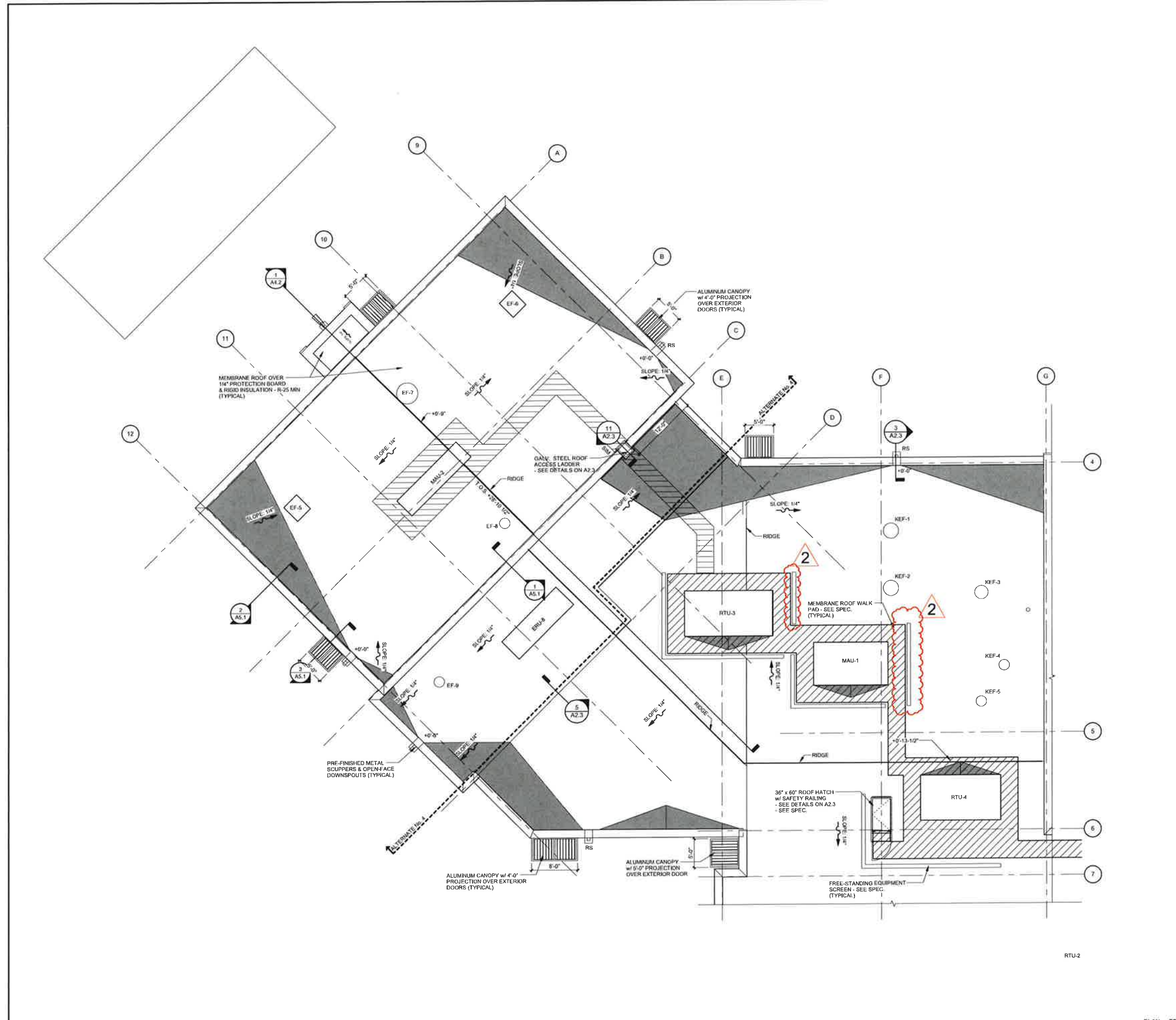
PROJECT NO.: 0210717.00

ROOF GENERAL NOTES

- A. ALL ROOF SURFACES TO SLOPE AT A MINIMUM 1/4" PER FOOT UNLESS OTHERWISE NOTED OR SHOWN. PROVIDE TAPERED INSULATION WHERE INDICATED OR REQUIRED TO PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS AT A MINIMUM 1/4" PER FOOT, TAPERED INSULATION LAYOUT AS SHOWN IS TO COMMUNICATE GENERAL DRAIN STRATEGY - ACTUAL AMOUNT MAY VARY.
 - B. ALL ROOF AREAS MUST HAVE POSITIVE DRAINAGE UNLESS SHOWN OTHERWISE. PONDING OF WATER IN ANY SPOT ON THE ROOF IS UNACCEPTABLE. PONDING SHALL BE DEFINED AS ANY WATER THAT REMAINS ON A ROOF SURFACE LONGER THAN 48 HOURS AFTER THE TERMINATION OF THE MOST RECENT RAIN EVENT. ALL INCIDENTS OF PONDING SHALL BE REPAIRED UNTIL PONDING IS ELIMINATED.
 - C. COORDINATE ROOF DRAIN/SCUPPER LOCATIONS WITH PLUMBING DRAWING(S).
 - D. COORDINATE ALL ROOF PENETRATION REQUIREMENTS, INCLUDING THOSE THAT MAY NOT BE SHOWN, WITH ROOFING CONTRACTOR, AND MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
 - E. ALL ROOF PENETRATIONS TO BE IN COMPLIANCE WITH MANUFACTURER AND NRCA REQUIREMENTS.
 - F. ROOFING COMPONENTS MAY VARY DEPENDING ON ROOFING MANUFACTURER. CONTRACTOR SHALL INSTALL A COMPLETE CODE COMPLIANT AND WARRANTED ROOFING SYSTEM BASED ON THE SPECIFIED ROOFING MANUFACTURERS WRITTEN INSTRUCTIONS AND INSTALLATION GUIDELINES.
 - G. ROOFING INSULATION THERMAL LETTER-VALUE AND CORRESPONDING R-VALUE MAY VARY DEPENDING ON INSULATION MANUFACTURER. ROOFING CONTRACTOR TO CONSULT INSULATION MANUFACTURERS WRITTEN DOCUMENTATION AND PROVIDE A ROOF INSULATION THICKNESS TO MEET OR EXCEED THE IECC REQUIREMENT.
 - H. PROVIDE MINIMUM 15'-0" CLEARANCE FROM ANY INTAKE FOR ALL EQUIPMENT AND VENT STACKS. ALERT DESIGN PROFESSIONAL OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
 - I. ONCE ROOF WORK BEGINS, THE CONTRACTOR IS ACCEPTING ALL CONDITIONS AND WILL BE RESPONSIBLE FOR ALL DEMOLITION AND NEW WORK REQUIRED TO PROVIDE A WATERTIGHT ROOF SYSTEM.
 - J. THE CONTRACTOR SHALL ENSURE THAT UPON COMPLETION OF ROOF WORK, ALL GUTTERS, DOWNSPOUTS AND ROOF DRAINS ARE CLEAN AND CLEAR OF DEBRIS TO PROVIDE AN UNOBSTRUCTED, FREE FLOW OF WATER.
 - K. COMPLIANCE WITH THE REQUIREMENTS OF UFC 4-010-01, DOD MINIMUM ANTI-TERRORISM STANDARDS FOR BUILDINGS. STANDARD 15 IS REQUIRED FOR THE ATTACHED SUN SHADES AS PROVIDED BY THE WINDOW MANUFACTURER.
1. STANDARD 15: OVERHEAD MOUNTED ARCHITECTURAL FEATURES, OVERHEAD MOUNTED FEATURES WEIGHING 31 POUNDS OR MORE (EXCLUDING DISTRIBUTED SYSTEMS SUCH AS SUSPENDED CEILING) THAT COLLECTIVELY EXCEED THAT WEIGHT ARE MOUNTED USING EITHER RIGID OR FLEXIBLE SYSTEMS TO MINIMIZE THE LIKELIHOOD THAT THEY WILL FALL AND INJURE BUILDING OCCUPANTS. MOUNT ALL SUCH SYSTEMS SO THAT THEY RESIST FORCES OF 0.5 TIMES THE COMPONENT WEIGHT IN ANY HORIZONTAL DIRECTION AND 1.5 TIMES THE COMPONENT WEIGHT IN THE DOWNWARD DIRECTION. THIS STANDARD DOES NOT PRECLUDE THE NEED TO DESIGN ARCHITECTURAL FEATURE MOUNTINGS FOR FORCES REQUIRED BY OTHER CRITERIA SUCH AS SEISMIC STANDARDS.

ROOF PLAN LEGEND

- CRICKET/TAPERED INSULATION
- INDICATES ROOF SLOPE



1 ROOF PLAN - REGION A - ALTERNATE No. 4
SCALE: 1/8" = 1'-0"



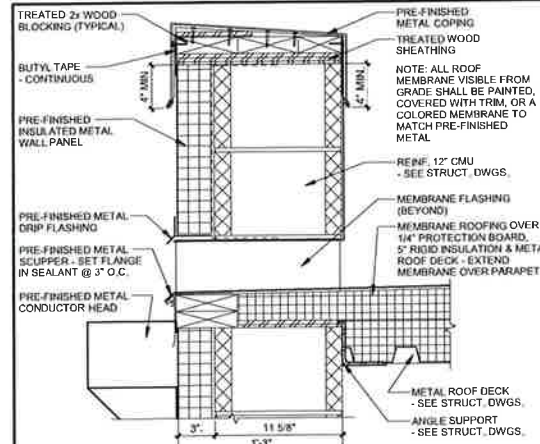


Farnsworth GROUP

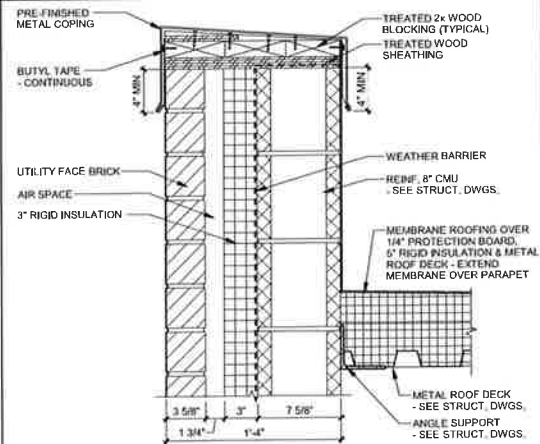
14225 UNIVERSITY AVENUE, SUITE 110
WALKER, IOWA 50263
(515) 225-3469 / info@f-w.com

www.f-w.com
Engineers | Architects | Surveyors | Scientists

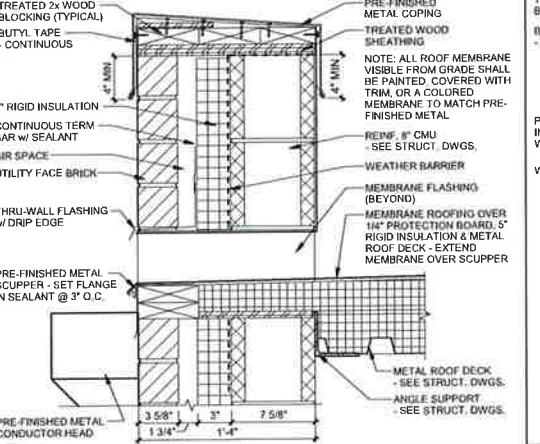
DATE: DESCRIPTION:
1 02/16/2023 ADDENDUM #1



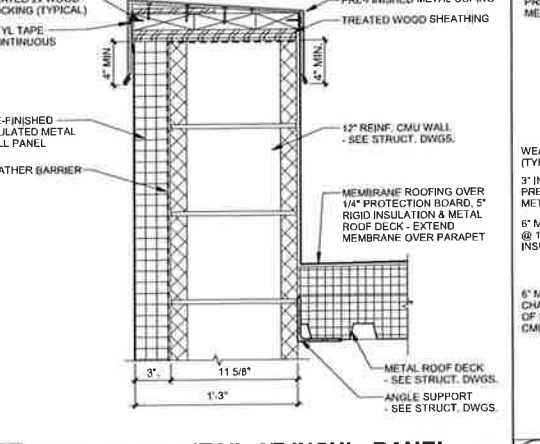
1 TYP. PARAPET SCUPPER AT MTL. PANEL
SCALE: 1 1/2" = 1'-0"



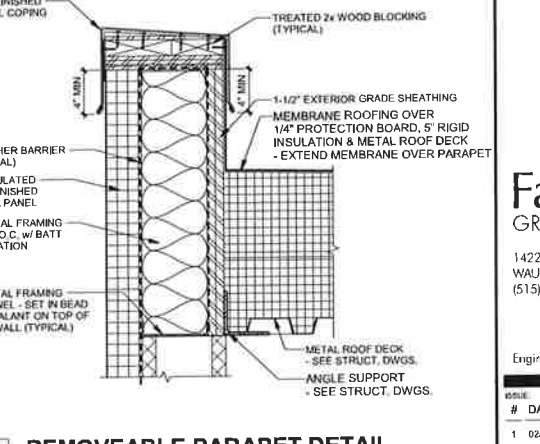
2 TYPICAL PARAPET DETAIL
SCALE: 1 1/2" = 1'-0"



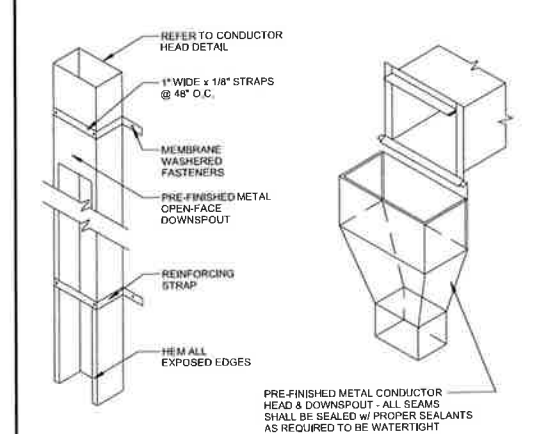
3 TYPICAL PARAPET SCUPPER DETAIL
SCALE: 1 1/2" = 1'-0"



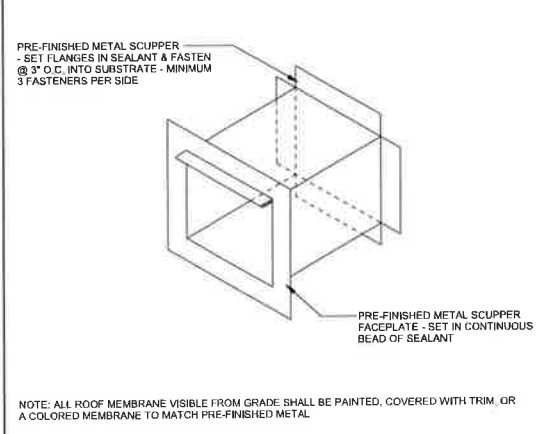
4 WALL CAP DETAIL AT INSUL. PANEL
SCALE: 1 1/2" = 1'-0"



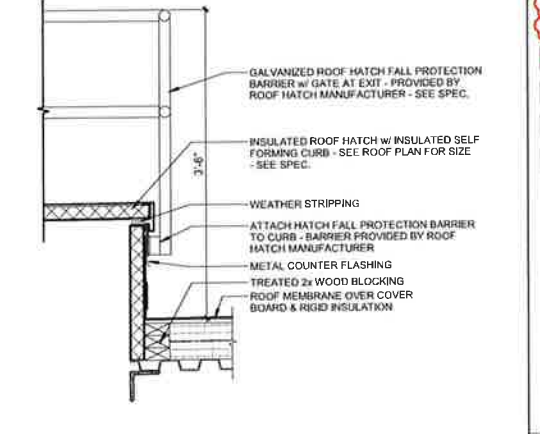
5 REMOVEABLE PARAPET DETAIL
SCALE: 1 1/2" = 1'-0"



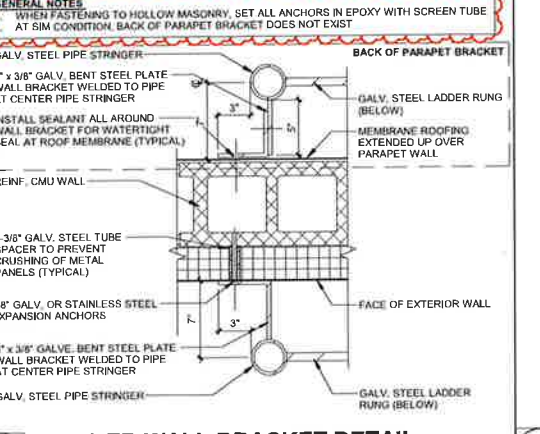
6 DOWNSPOUT & CONDUCTOR HEAD
SCALE: 1 1/2" = 1'-0"



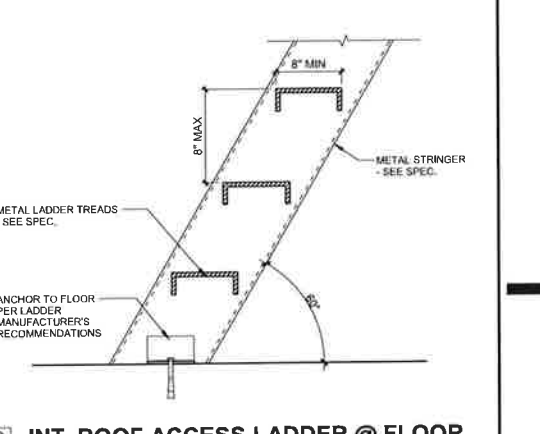
7 METAL SCUPPER DETAIL
SCALE: 1 1/2" = 1'-0"



8 ROOF ACCESS HATCH
SCALE: 1" = 1'-0"

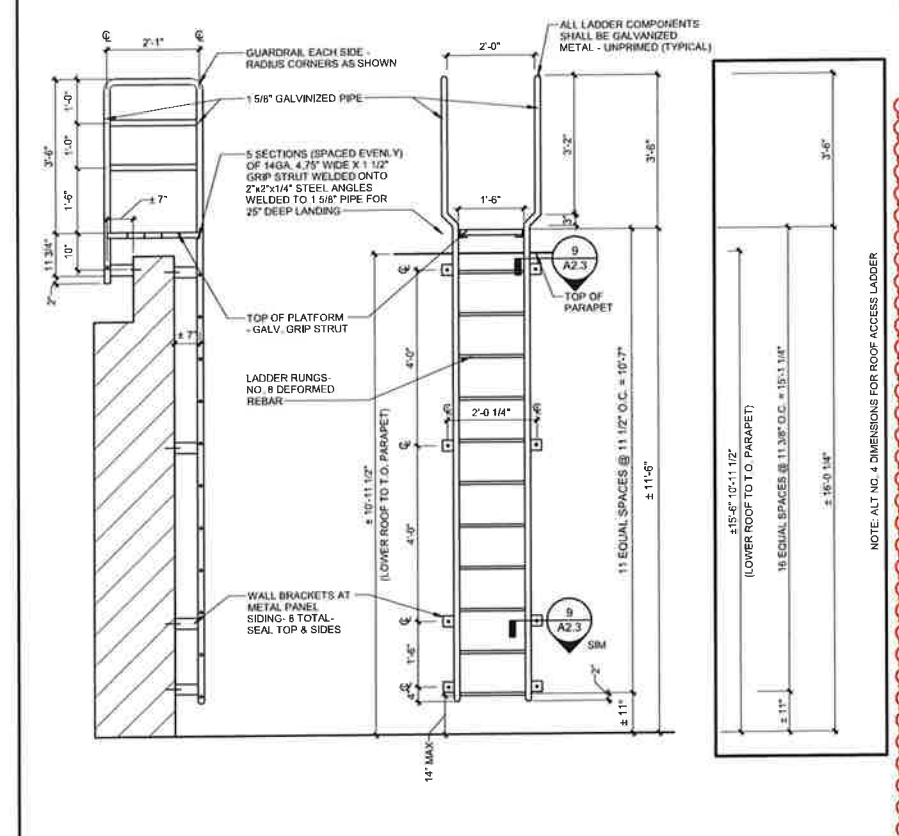


9 LADDER WALL BRACKET DETAIL
SCALE: 1 1/2" = 1'-0"



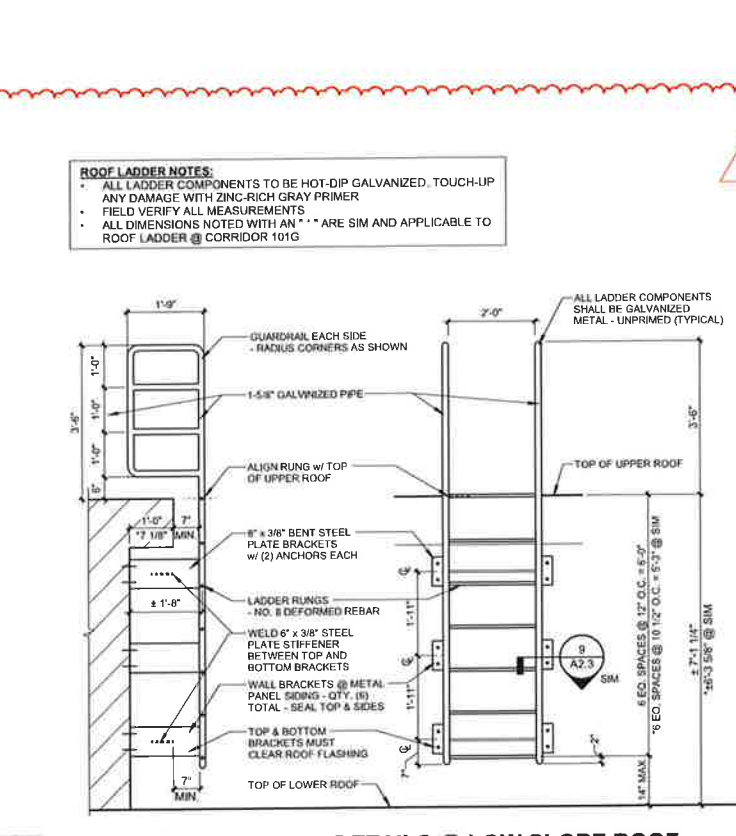
10 INT. ROOF ACCESS LADDER @ FLOOR
SCALE: 1 1/2" = 1'-0"

ROOF LADDER NOTES:
• ALL LADDER COMPONENTS TO BE HOT-DIP GALVANIZED, TOUCH-UP ANY DAMAGE WITH ZINC-RICH GRAY PRIMER
• FIELD VERIFY ALL MEASUREMENT

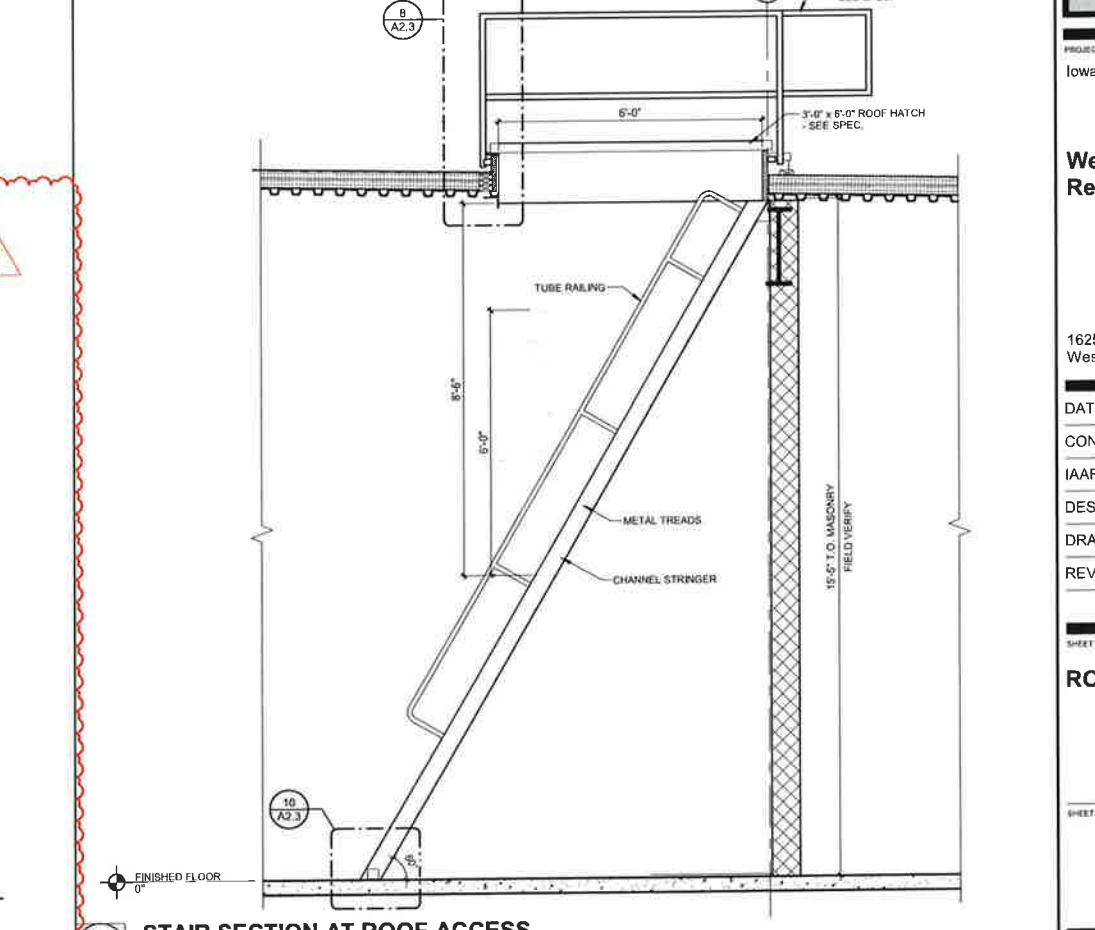


11 ROOF ACCESS LADDER DETAILS @ PARAPET
SCALE: 1/2" = 1'-0"

ROOF LADDER NOTES:
• ALL LADDER COMPONENTS TO BE HOT-DIP GALVANIZED, TOUCH-UP ANY DAMAGE WITH ZINC-RICH GRAY PRIMER
• FIELD VERIFY ALL MEASUREMENTS
• ALL DIMENSIONS NOTED WITH AN "*" ARE SIM AND APPLICABLE TO ROOF LADDER @ CORRIDOR 101G



12 ROOF ACCESS LADDER DETAILS @ LOW SLOPE ROOF
SCALE: 1/2" = 1'-0"



13 STAIR SECTION AT ROOF ACCESS
SCALE: 1/2" = 1'-0"

100% CONSTRUCTION SET
01/28/2023

PROJECT
Iowa National Guard

West Des Moines Readiness Center

1625 SE County Line Road
West Des Moines, IA

DATE: 01/26/2023
CONTRACT #: C154W4094
IAARRG PROJECT #: 190191
DESIGNED: LS
DRAWN: SD
REVIEWED: LS

ROOF DETAILS

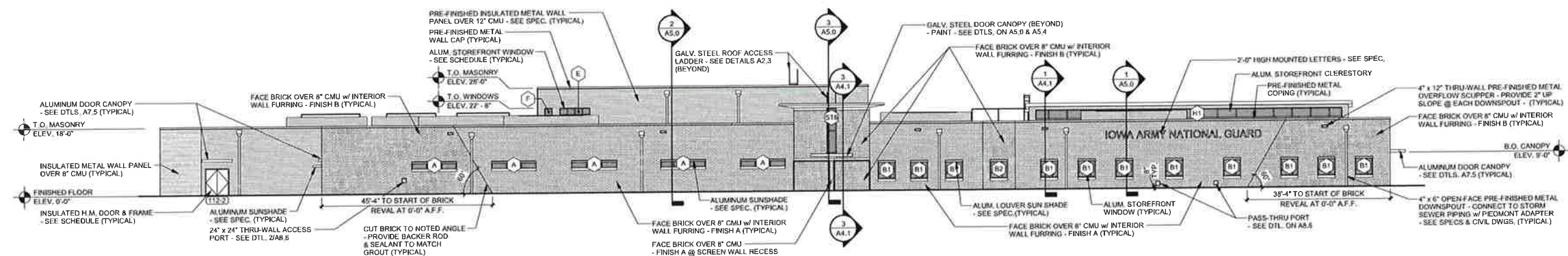
SHEET NUMBER

A2.3

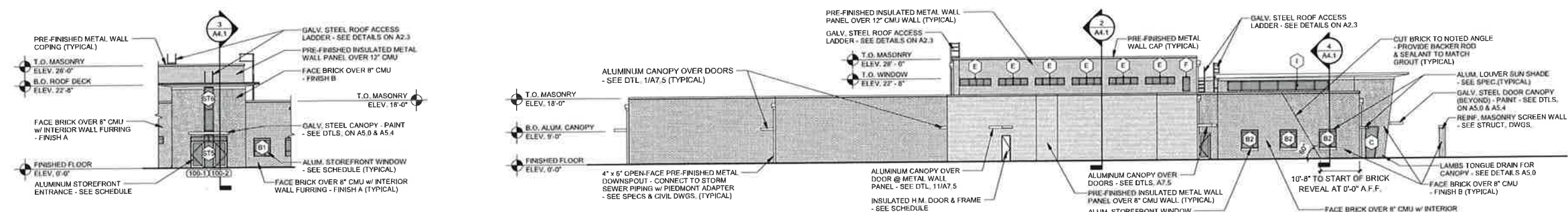
PROJECT NO.: 0210717.00



ISSUE #	DATE	DESCRIPTION
1	02/16/2023	ADDENDUM #1

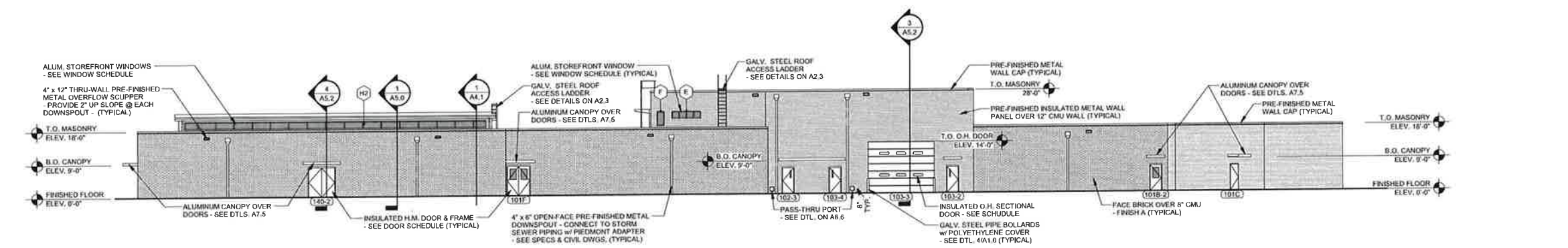


1 OVERALL - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

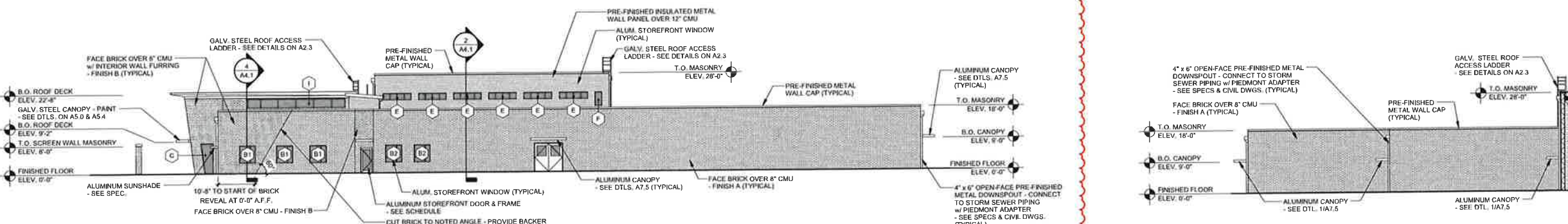


2 MAIN ENTRANCE
SCALE: 1/16" = 1'-0"

3 OVERALL - WEST ELEVATION
SCALE: 1/16" = 1'-0"



4 OVERALL - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



5 OVERALL - EAST ELEVATION
SCALE: 1/16" = 1'-0"

6 WEST CORNER - ELEVATION
SCALE: 1/16" = 1'-0"

100% CONSTRUCTION SET
01/26/2023

PROJECT
Iowa National Guard

**West Des Moines
Readiness Center**

1625 SE County Line Road
West Des Moines, IA

DATE:	01/26/2023
CONTRACT #:	C154W4094
IAARNG PROJECT #:	190191
DESIGNED:	SD
DRAWN:	SD
REVIEWED:	LS

SHEET TITLE
**OVERALL EXTERIOR
ELEVATIONS**

SHEET NUMBER

A3.0

PROJECT NO.: 0210717.00

Date: February 27, 2023
Project: West Des Moines Readiness Center
Subject: Exterior Material Page



West Des Moines Readiness Center Concept Rendering – Provided to reference proposed finish colors

EXTERIOR MATERIALS

BRICK

The majority of the building will have a smooth faced Utility brick (4" x 4" x 12" nominal). Utility brick was selected since the size is proportionate to the building scale. Basis of Design is Hanley Grey Klaycoats as manufactured by Glen Gery. The main field color "Finish A" shall be a light grey. The main entry, blast protection wall, building setbacks and diagonally cut building ends of the façade shall be a darker grey accent color noted as "Finish B. Contrasting dark and light brick is designed to create depth and to break up the linear façade.

Finish A – Light Grey Brick



Proposed Color – Stone Grey

Finish B – Dark Grey Brick



Proposed Color – Asphalt

MEMBRANE ROOFING

Roofing shall be a white fully adhered 60 mil PVC membrane to meet LEED requirements.

PREFINISHED METAL SOFFITS, FASCIAS AND COPINGS

Exposed prefinished metals at roof capping the main entry and copings along the top of brick walls shall be matte white with hue to blend with brick veneer. Trims and copings at metal panels shall be a medium grey to match panel.

ALUMINUM FRAMED STOREFRONTS, ENTRANCES AND WINDOWS

Aluminum framed storefronts and entry doors shall be thermally broken and will have a matte black anodized finish.



HOLLOW METAL DOORS AND FRAMES

Exterior hollow metal doors shall have a polyurethane core. Hollow metal frames and doors shall have a high-performance black painted finish.

METAL WALL PANELS



Metal building panels shall be corrugated and installed horizontally. Panels are factory-formed metallic steel sheets (Galvanized) with KYNAR 5000 finish. Panels are lapped and have concealed fasteners. Color shall be a medium grey selected from manufacturers standard color line to blend with brick veneer.

Prepared by FARNSWORTH GROUP, INC.

Robert Ridgway, AIA
Architectural Principal

RESOLUTION OF THE PLANNING AND ZONING COMMISSION

NO. PZC-23-032

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the Iowa Army National Guard, with permission from the City of West Des Moines, property owner, requests approval of the Site Plan for the approximately 35-acre property located at 1625 SE County Line Road as depicted on the location map included in the staff report. The applicant requests approval to construct up to a 65,000 sq. ft. military readiness center and associated site improvements; and

WHEREAS, the Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Site Plan (SP-005770-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on May 22, 2023.

Andrew Conlin, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on May 22, 2023, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary