

Welcome to the June 5, 2023, WDM Development & Planning Council Subcommittee

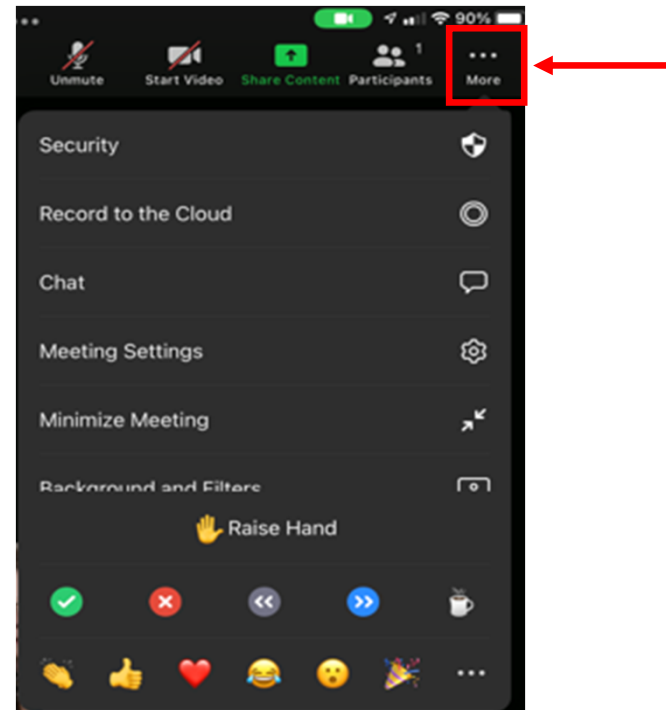
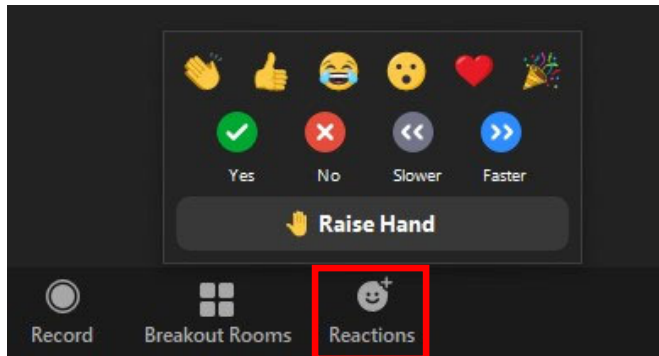
Here are a few housekeeping items before we get started:

- You will be muted by default when joining the meeting.
- If you would like to comment, please raise your hand to indicate you wish to speak. The Subcommittee Chair will then call on you and you will be unmuted.
- **If you are participating by phone, dial *9 to raise or lower your hand, dial *6 to unmute or mute**
- **If you are participating by computer or tablet:**



Raise Hand:

Depending on your device, Raise Hand can be found in the Reactions or the More (...) button on the Zoom toolbar:



2021 Building Code Update

To participate on this item:

- The Subcommittee Chair will first have staff present explain the project.
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Discussion Item #1: *Building Code Update*

- The proposed Ordinance updates the City's current regulations for building construction by adopting the 2021 edition of the International Building Code (IBC) and International Residential Code (IRC).
- This update continues the City's practical safeguarding of persons and property based on national standards developed through the International Code Council (ICC).
 - The ICC utilizes the combined expertise of the construction industry, design professionals, special focus groups, and code officials to develop and update the codes.
- Building Code editions are developed on a 3-year cycle. Adoption of the updated provisions typically occurs 1-2 years after the document is published.
 - This enables review of significant changes, staff training, and collaboration with other metro jurisdictions and the construction industry. Specifically, the Mid-Iowa Construction Code Committee (MICCC) and the Greater Des Moines Homebuilders Association.
- The Iowa Department of Public Safety has mandated Electrical and Energy Codes, and the Iowa Department of Public Health has mandated Mechanical, Plumbing, and Fuel Gas codes.
 - These State provisions are referenced documents in the adopting ordinance and are considered requirements of the West Des Moines Building Code, thus enabling City Code to remain in compliance with State mandates without amending our ordinance every time a State provision is amended.
 - This adoption approach maintains the integrity of the International Construction Codes that function together to cover all aspects of a building project, while including current State mandated provisions under our administrative and enforcement provisions. This approach has been utilized for several code cycles, and it.

Most of the amendments in this Ordinance are less restrictive than the ICC Code or are for clarification.

For example:

- The requirement for storm shelters in new schools became effective in the 2015 Code Edition.
 - In an effort to reduce the financial impact, this ordinance eliminates the storm shelter sections that would have required fire walls to separate the shelter from the rest of the building.
 - Most new designs tend to utilize a dual-purpose approach. For example, rather than constructing a separate shelter, they utilize areas of the school that take fewer upgrades to comply, like a wrestling room, a band room, restrooms, or hallways.
 - The proposal also eliminates the requirement for additional restrooms and similar long-term features in the actual storm shelter which reduces the cost and the square footage needed to meet the requirement and matches our current ordinance.
- The Building Code allows day care for five (5) or fewer persons in a dwelling unit to comply with the Residential Code, which means fire sprinklers and alarms are not required.
 - To enable existing day care facilities to continue, this ordinance allows day care for up to eight (8) persons, or up to 16 persons if the facility is registered with the Iowa Department of Human Services as a child development home. This provision matches our current ordinance.
- The Residential Code stipulates that the rise on a stairway cannot vary more than 3/8 of an inch. This ordinance provides an exception for the top and bottom riser to enable floor covering variables. This provision matches our current ordinance.

This Ordinance does include a few provisions which are more restrictive than the ICC Code. These requirements are not new -- they have been maintained from previous code cycles and have been readily accepted by the construction industry, specifically the Greater Des Moines Homebuilders Association (HBA). The following are examples:

- Dwelling-garage separations are still required to be 5/8-inch type X gypsum board, rather than 1/2 inch. This passive system has an established track record of providing additional safety levels from a fire in almost every situation and is accepted industry practice in the metro area.
- An additional smoke detector is required in residential movie/entertainment rooms because the design of these rooms tends to isolate them from the sound of other required smoke detectors in that area.
- The design criteria for ground snow load is 25 lb. according to the ICC snow load maps. However, structural engineers in our area have long established that the ground snow load should be 30 lb. This basic design criteria has been accepted and utilized in the metro area for more than 30 years.
- Additional security measures are required for apartments and condominiums including deadbolts, patio door foot bolts, and view ports for hallway doors. This supports the Crime Free Multi-housing initiative implemented by the Police Department.
- This proposal removes the ICC Code exception that eliminates all fencing requirements for in-ground pools equipped with a powered safety cover.
 - It is recognized that the safety cover provides adequate protection when it is closed, because they are actually designed to support the weight of an adult.
 - However, the intent of removing the exception is to provide some measure of safety for very young children in the neighborhood, who could inadvertently fall into the pool when the owner's family goes into the house for a few minutes without closing the safety cover.

Residential Single-Family Reduced Setbacks

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Discussion Item #2: Residential Single-Family Reduced Setbacks

| Required Standards | OS | RE | RS | | | | R-1 ³ | SF-CR | SF-VJ | VJHB |
|---|------|-----|---------------------------------------|------------------------------|------------------------------|------------------------------|------------------------------|-------|-------|------|
| | | | 5,000 To 7,999 Sq. Ft. ³ . | 8,000 To 9,999 Sq. Ft. | 10,000 To 14,999 Sq. Ft. | 15,000 Sq. Ft. Or Greater | | | | |
| Front yard setback ^{1,2} | 50' | 50' | 30' | 35' | 35' | 35' | 30' | 20' | 20' | 20' |
| Rear yard setback | 50' | 50' | 35' | 35' | 35' | 35' | 35' | 20' | 35' | 35' |
| Minimum side yard setback on any 1 side | 50' | 20' | 7' | 8' | 8' | 8' | 7' | 5' | 5' | 5' |
| Minimum sum of side yard setbacks | 100' | 40' | 14' | 20' | 20' | 20' | 14' | 10' | 10' | 10' |
| Street Side Yard (see Title 10, Chapter 3, Section 1) | | | 20' 25' to garage opening | 20' 25' to garage opening | 20' 25' to garage opening | 20' 25' to garage opening | 20' 25' to garage opening | | | |

Reduced Setback Provision:

- a. Reduced Setbacks may be designated within a subdivision if the lot meets all of the following criteria, without exception:
 1. Lot size ranges from 5,000 sq. ft. to 7,999 sq. ft. (up to 11,000 sq. ft. for a corner lot – due to requirement to be 25' wider)
 2. Lot width is a maximum of 50 feet wide at the building setback line (75 feet for one side of a corner lot)
 3. Lot has a minimum 40 feet of street frontage
- b. Reduced setbacks in lieu of the regular district required setbacks:
 - front yard – 25 feet (the average front yard setback regulation is waived in this case),
 - rear yard – 30 feet
 - side yard - 6 feet with a minimum total of minimum 12 feet combined side yard setbacks
- c. Lots with reduced setbacks must be identified with the setbacks noted on the subdivision documents/drawings

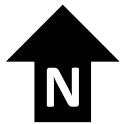
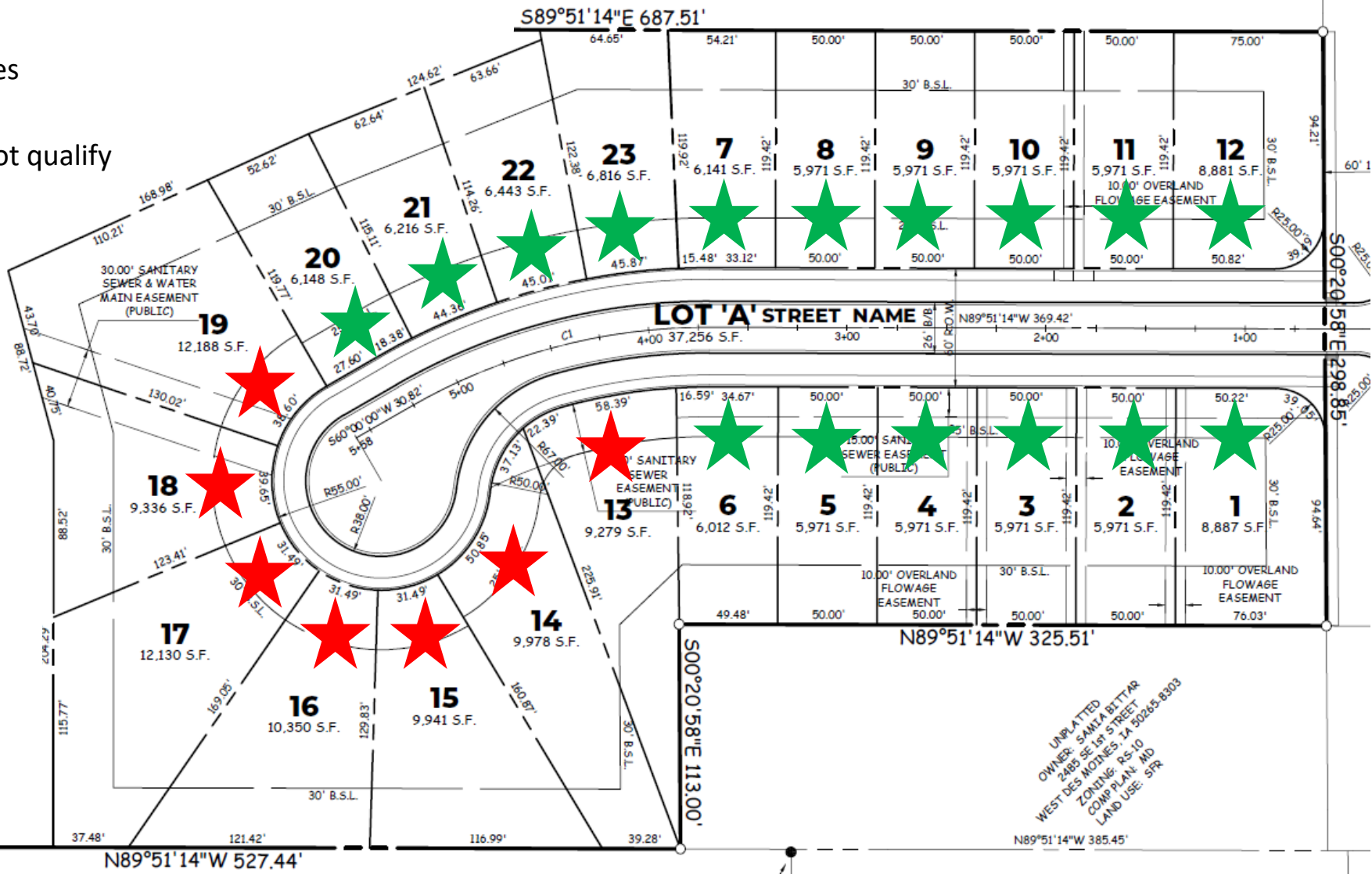
Average Front Yard Setback: In any existing platted property where the average front yard setback is different than that required for the specific zoning district, the front yard setback for the subject lot is equal to the average of the front yard depths of any existing immediate adjacent dwellings on the same side of the street including the existing dwelling of the subject property.



Lot qualifies



Lot does not qualify



Upcoming Projects

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Item a: Code Amendment for Internal Process Language

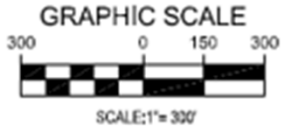
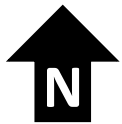
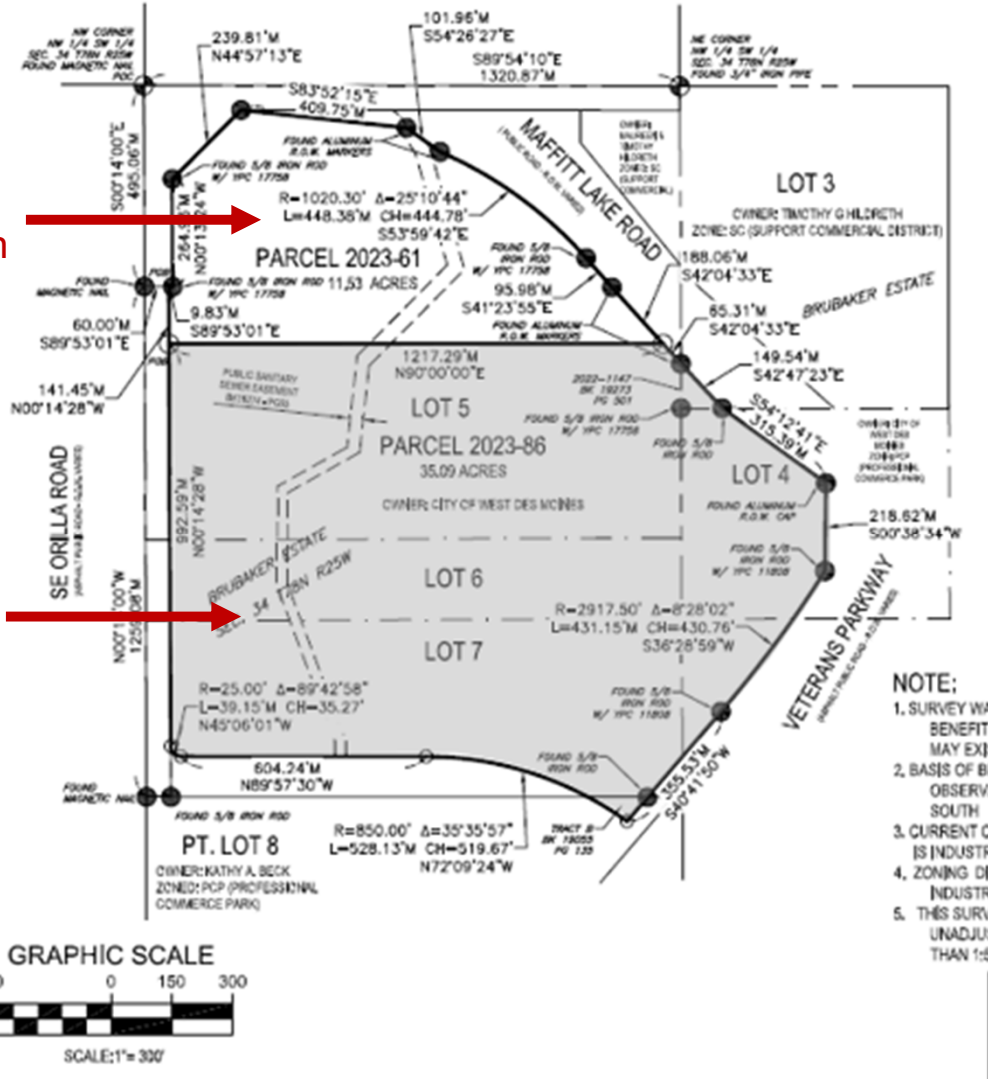
Amendment to multiple chapters in Title 9 (Zoning) to address internal processes language in code.

- Removes any language related to internal processing of city applications, submittal requirements for such applications, and procedure language
 - May have changed over time
 - Provides flexibility to staff to handle process as appropriate
- Removes requirements that are not consistent with the State of Iowa Code for application submittal, noticing requirements and appeals processes.

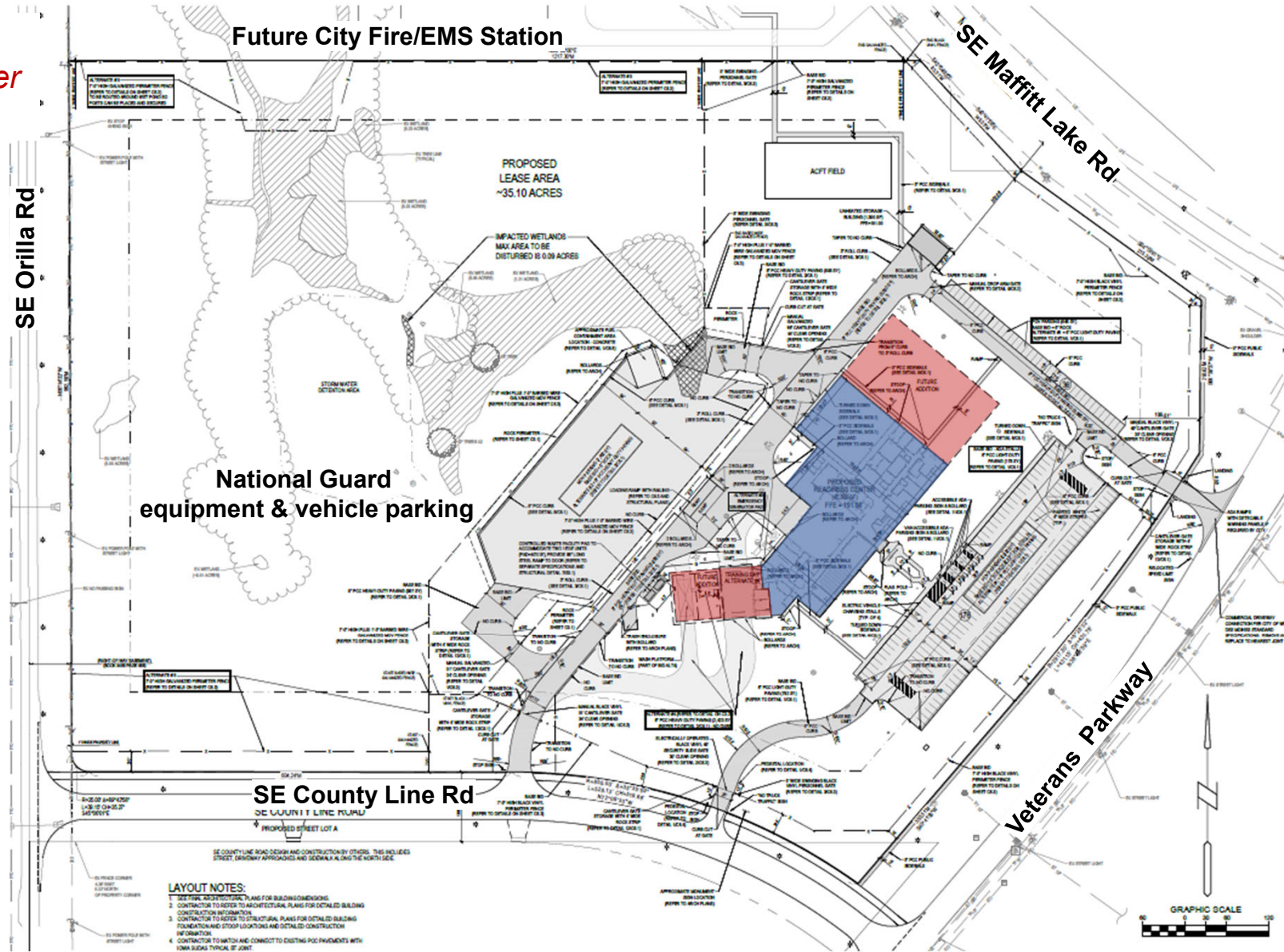
Item b: City Property Plat of Survey

Future City
Fire/EMS Station

National Guard
Lease Area



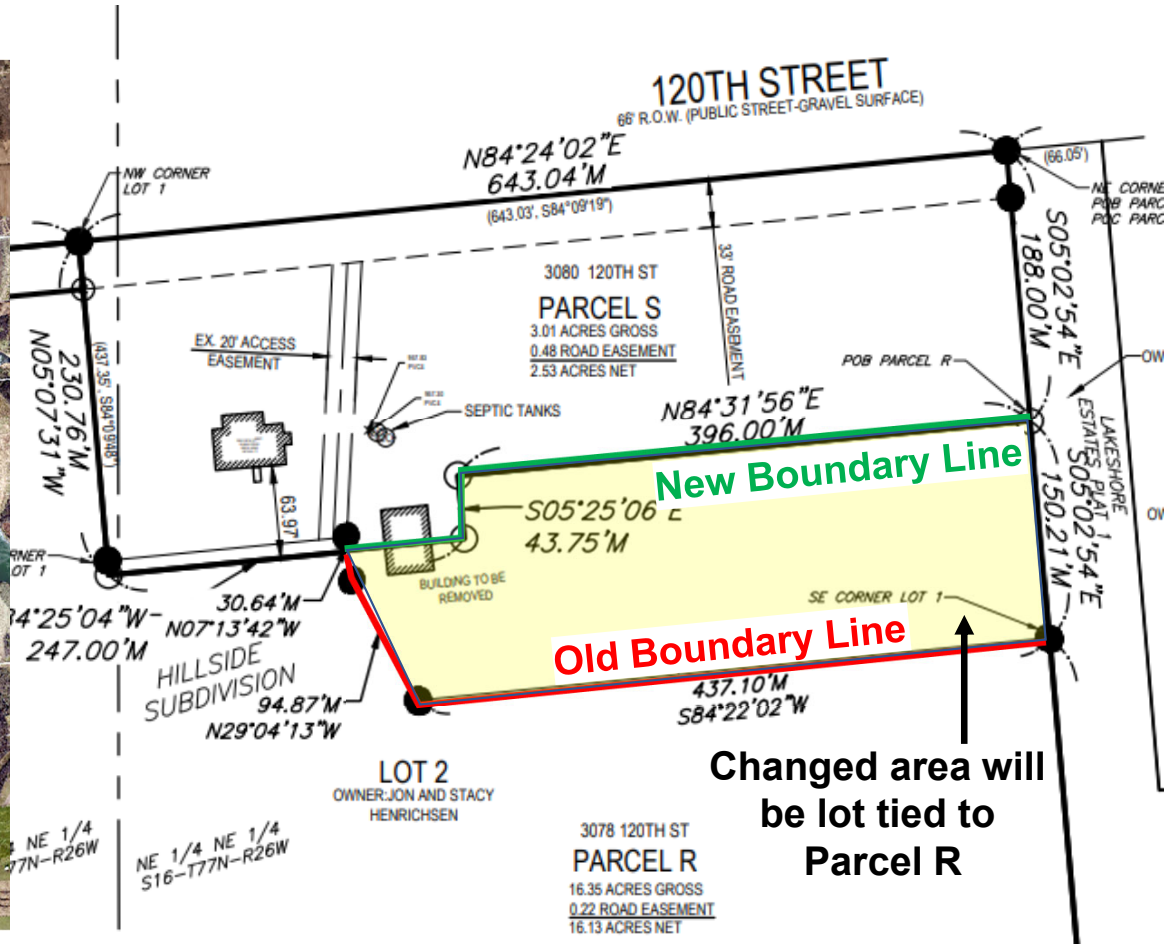
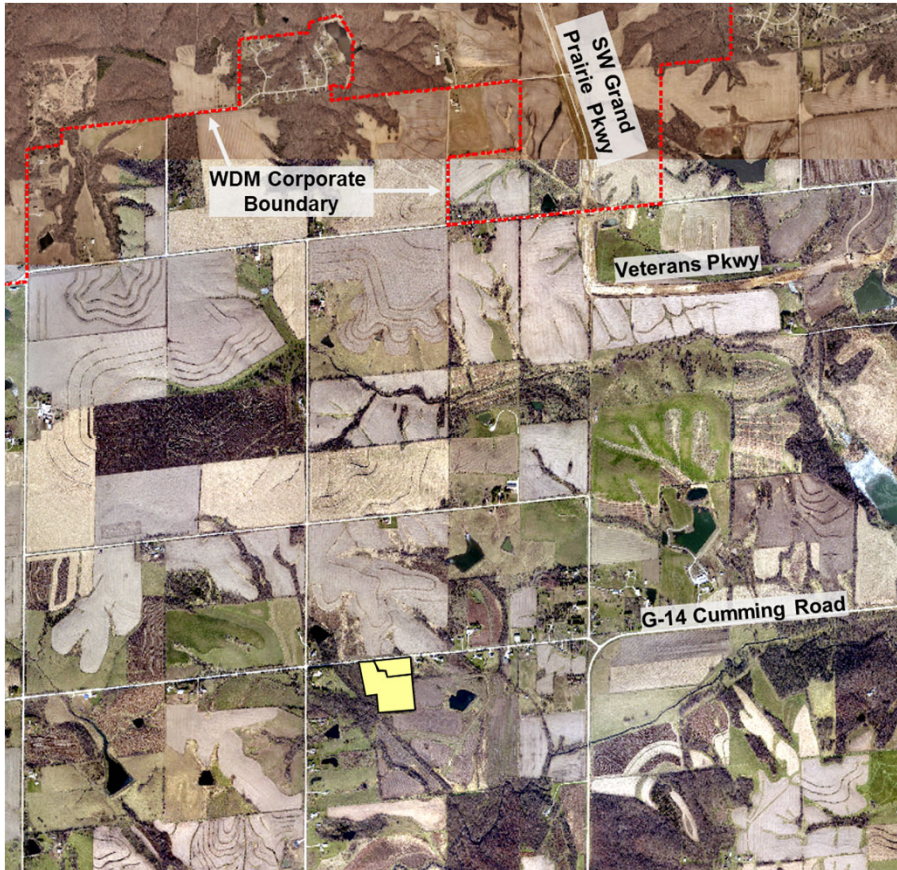
**Item c: National Guard
Readiness Center
Site Plan**



LAYOUT NOTES:

1. SEE THE NOTES, DIMENSIONS, AND FOR BUILDING DIMENSIONS
2. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION
3. CONTRACTOR TO REFER TO STRUCTURAL PLANS FOR DETAILED BUILDING FOUNDATION AND SToop LOADINGS AND DETAILED CONSTRUCTION INFORMATION
4. CONTRACTOR TO WATCH AND CONNECT TO EXISTING POC PAVEMENTS WITH LOW SIGNS TYPICAL OF JOINT

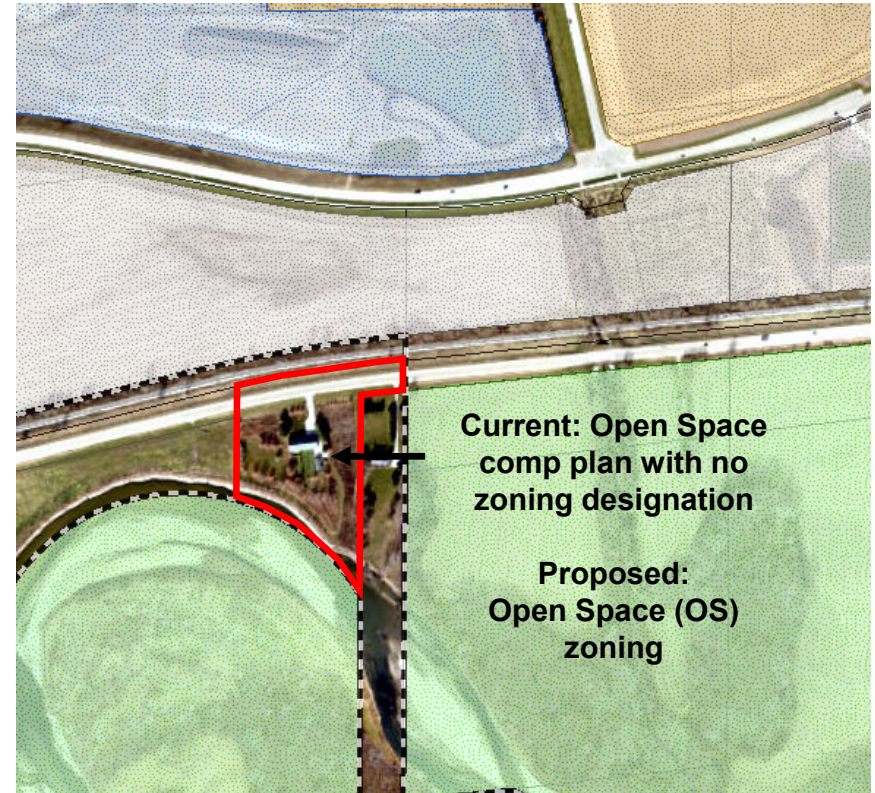
Item d: *Henrichson Plat of Survey*



Item e: *Bridge Lot Comprehensive Plan Land Use amendment and Consistency Rezoning*



Item f: *Raccoon River Kennels Consistency Zoning*

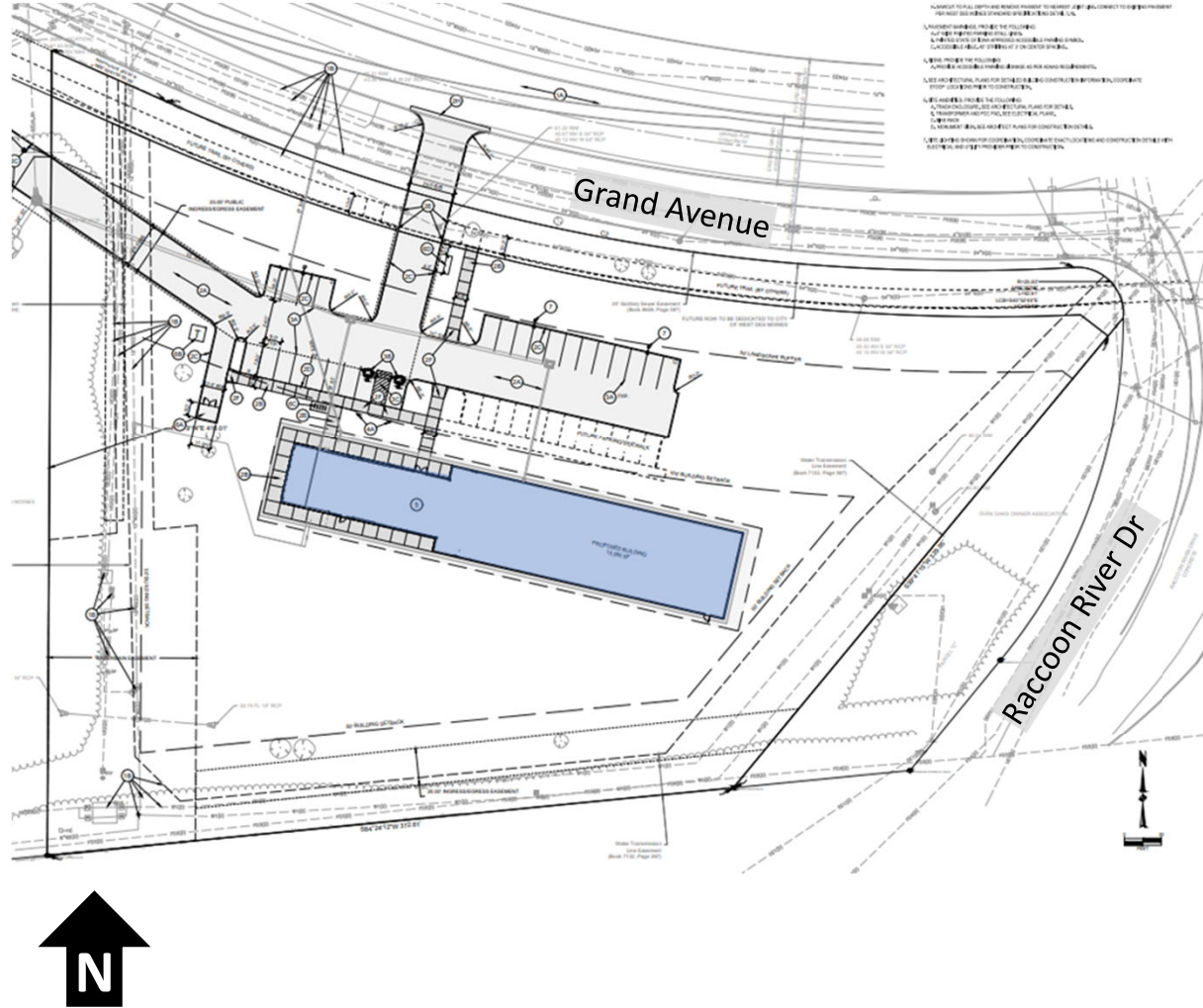


Item g: Bentley Center Phase 2



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

Item h: Legacy Bridge Private Family Offices



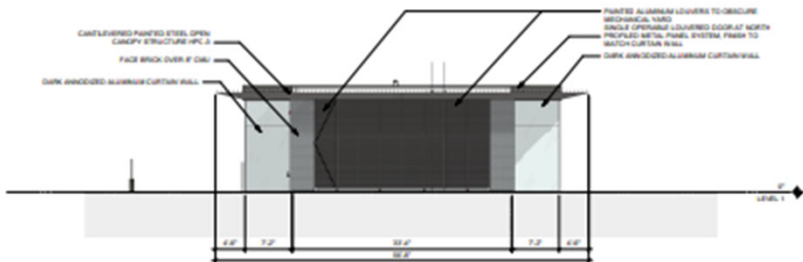
Item h: Legacy Bridge Private Family Offices



North



East



West



South

Item i: Jordan Ridge Plat 2

