

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Item 4a

Meeting Date: September 11, 2023

ITEM: Bridge Lot, NW Corner of S. 19th Street and Fuller Road – Approve Preliminary Plat to allow subdivision into two lots for development, two outlots for the Jordan Creek, and one street lot and approve the Bridge Lot Townhomes Phased Site Plan for footings, foundations and private utilities for one 4-unit townhome building – Walnut Creek Community Church – PP-006118-2023/SP-006086-2023

Resolution: Approval of Preliminary Plat and Phased Site Plan

Background: Ed Arp with Civil Engineering Consultants, on behalf of the applicant and property owner, Walnut Creek Community Church, requests approval of a Preliminary Plat for the approximately 11.9-acre property and a Phased Site Plan for the approximately 0.65-acre property generally located at the northwest corner of S. 19th Street and Fuller Road. The applicant proposes to subdivide the parcel into two lots for development, two outlots for Jordan Creek, and one street lot. The applicant requests approval of a site plan to allow installation of footings, foundations, and private utilities for one 4-unit townhome building.

Staff Review & Comment:

- **History:** On November 10, 2003, the Nazarene Church Campground Planned Unit Development (PUD) was established, but repealed on April 30, 2018, and Open Space zoning was designated across the property. On July 20, 2020, a Plat-of-Survey was approved to create a 3-acre parcel (Parcel 2020-84) adjacent to the Jordan House for acquisition by the WDM Historical Society. By separate action, a 0.51-acre parcel (Parcel 2020-82) was created around the historic cemetery on the property and ownership transferred to the city. On August 17, 2020, the City Council approved the land use and zoning change for 6.3-acres on the north side of Jordan Creek to Residential Medium Density (RM-12). On November 21, 2022, the City Council approved a plat of survey to define Parcels 2021-46 and 2021-47 on each side of Jordan Creek for ownership transfer.
- **Traffic Impact Study Findings:** The crash history does not indicate a need for traffic safety improvements at this time. The existing 2-lane geometry is expected to have adequate capacity to accommodate the proposed project. As the site further develops and future subdivision is indicated, more analysis will be necessary.
- **Developer Responsibilities:** In conjunction with site development or platting of the lots, whichever occurs first, the developer will be responsible for construction and/or installation of all required public and private infrastructure improvements necessary to support development. Two streetlights are identified along the west side of S. 19th Street adjacent to this project, the cost of which will be the responsibility of the developer.
- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: September 11, 2023

Vote:

Recommendation:

Recommendation: Approve the Preliminary Plat and the Phased Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. No building permit for above ground construction will be issued until the full site plan is approved.
2. No combustible materials are to be stored on site until water infrastructure is in place and the full site plan is approved.
3. Proof of payment to MidAmerican Energy for two streetlights in submitted to the City prior to the full site plan approval.

Lead Staff Member: Kara Tragesser

Approval Meeting Dates:

Planning and Zoning Commission	September 11, 2023
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

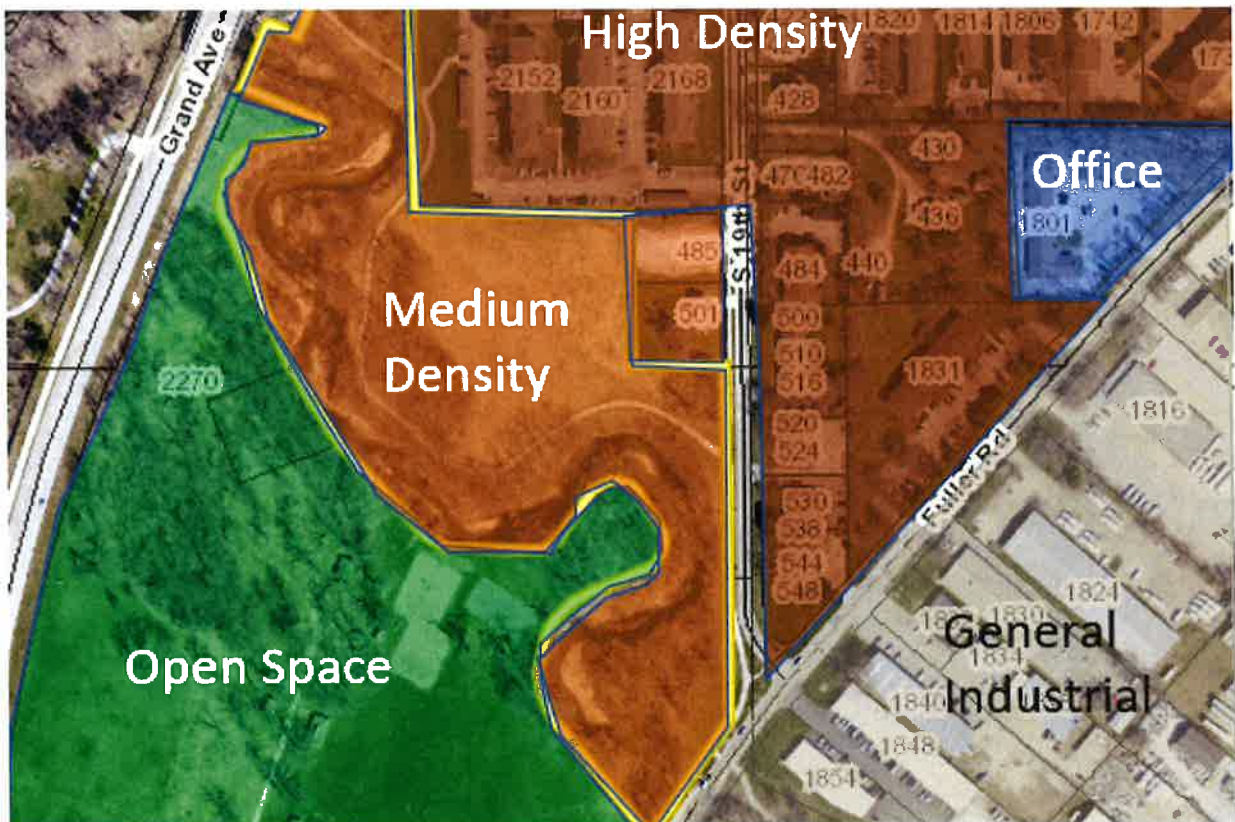
Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	8/7/23 as upcoming project
Recommendation	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



Vicinity Map – Land Uses



RESOLUTION OF THE PLANNING AND ZONING COMMISSION
NO. PZC-23-043

WHEREAS, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations, of the West Des Moines Municipal Code, the applicant and property owner, Walnut Creek Community Church, requests approval of the Bridge Lot Preliminary Plat for that property generally located at the northwest corner of S. 19th Street and Fuller Road for the purpose of subdividing the 11.9-acre property into two lots for future development, two outlots for the Jordan Creek, and one street lot for dedication to the City; and

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant, and property owner, Walnut Creek Community Church, requests approval of the Phased Site Plan for the approximately 0.65-acre property generally located at the northeast corner of S. 19th Street and Fuller Road as depicted on the location map included in the staff report. The applicant requests approval to install footings, foundations, and private utilities for one 4-unit townhome building; and

WHEREAS, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

WHEREAS, the Phased Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Preliminary Plat (PP-006118-2023) and Phased Site Plan (SP-006068-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on September 11, 2023.

Andrew Conlin, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on September 11, 2023, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary

Prepared by: Kara Tragesser, City of West Des Moines Development Services Dept., PO Box 65320, West Des Moines, Iowa
50265-0320 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING A PRELIMINARY PLAT TO CREATE TWO LOTS FOR RESIDENTIAL DEVELOPMENT, TWO OUTLOTS FOR JORDAN CREEK AND ONE STREET LOT AND APPROVE A PHASED SITE PLAN TO ALLOW INSTALLATION OF FOOTINGS, FOUNDATIONS, AND PRIVATE UTILITIES FOR ONE 4-UNIT TOWNHOME BUILDING

WHEREAS, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, and Title 10, Subdivision Regulations, of the West Des Moines Municipal Code, the applicant and property owner, Walnut Creek Community Church, requests approval of a preliminary plat for that property generally located at the northwest corner of S. 19th Street and Fuller Road and legally described in attached Exhibit 'B' to subdivide the property into two lots for development, two outlots for Jordan Creek and one street lot; and

WHEREAS, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, the applicant and property owner, Walnut Creek Community Church, requests approval of Site Plat for that property generally located at northwest corner of S. 19th and Fuller road and legally described in attached Exhibit 'B' for the purpose of constructing one 4-unit townhome building; and

WHEREAS, studies and investigations were made, and staff reports, and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

WHEREAS, the Phased Site Plan complies with findings stated in the applicable provisions of Title 9, Chapter 1, Subsection 8, the Comprehensive Plan and City Code.

WHEREAS, on September 11, 2023, the Planning and Zoning Commission recommended to the City Council, by a X-X vote, approval of the Preliminary Plat and Phased Site Plan; and

WHEREAS, on this day the City Council held a duly noticed meeting to consider the application for the Preliminary Plat and Phased Site Plan.

NOW, THEREFORE, The City Council does approve the Bridge Lot Preliminary Plat (PP-006118-2023) and the Bridge Lot Townhomes phased Site Plan (SP-006086-2023), subject to compliance with all of the conditions of approval, including any conditions added at the meeting, attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on September 18, 2023.

Russ Trimble, Mayor

ATTEST:

Ryan Jacobson, City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on September 18, 2023, by the following vote.

Exhibit A: Conditions of Approval

1. No building permit for above ground construction will be issued until the full site plan is approved.
2. No combustible materials are to be stored on site until water infrastructure is in place and the full site plan is approved.
3. Proof of payment to MidAmerican Energy for two streetlights in submitted to the City prior to the full site plan approval.

Exhibit B: Legal Descriptions

For the Site Plan:

Parcel 2021-47 of Bray Farm, and official parcel recorded in Book 19417, Page 677 at the Polk County Recorder's Office, City of West Des Moines, Polk County, Iowa.

For the Preliminary Plat:

Parcel 2021-47 of Bray Farm, and official parcel recorded in Book 19417, Page 677 at the Polk County Recorder's Office, City of West Des Moines, Polk County, Iowa.

And

Lot 1, Church of Nazarene Plat 1, an Official Plat recorded in Book 12794, Page 60 at the Polk County Recorder's Office, City of West Des Moines, Polk County, Iowa.

PRELIMINARY PLAT OF BRIDGE LOT WEST DES MOINES, IOWA

PLANS INCLUDED ARE FOR ILLUSTRATIVE
PURPOSES ONLY – APPROVED PLANS ON FILE
WITH THE CITY

- GENERAL LEGEND**
- LOT LINE
 - PROPOSED**
 - PLAT BOUNDARY
 - SECTION LINE
 - LOT LINE
 - CENTERLINE
 - EASEMENT LINE
 - FLARED END SECTION
 - DRAIN BASIN OR SEDIMENT RISER
 - DRAIN BASIN WITH SOLID GRATE
 - WATER VALVE
 - FIRE HYDRANT ASSEMBLY
 - BLOW-OFF HYDRANT
 - SCOUR STOP MAT
 - TURF REINFORCEMENT MAT
 - STORM SEWER WITH SIZE
 - WATER SEWER WITH SIZE
 - WATER SERVICE
 - PROPOSED CONTOUR
 - SILT FENCE
 - RIPIRAP

- EXISTING**
- SANITARY/STORM MANHOLE
 - WATER VALVE
 - FIRE HYDRANT
 - STORM SEWER SINGLE INTAKE
 - STORM SEWER DOUBLE INTAKE
 - STORM SEWER ROUND INTAKE
 - FLARED END SECTION
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - SPRINKLER
 - POWER POLE
 - STREET LIGHT
 - GUY ANCHOR
 - ELECTRIC TRANSFORMER
 - GAS METER
 - TELEPHONE RISER
 - SIGN
 - UNDERGROUND TELEVISION
 - UNDERGROUND ELECTRIC
 - UNDERGROUND GAS
 - UNDERGROUND FIBER OPTIC
 - UNDERGROUND TELEPHONE
 - OVERHEAD ELECTRIC
 - SANITARY SEWER WITH SIZE
 - STORM SEWER WITH SIZE
 - WATER MAIN WITH SIZE
 - EXISTING CONTOUR
 - TREELINE
 - BUILDING SETBACK LINE
 - P.U.E.
 - M.O.E.

PROPERTY OWNERS:
WALNUT CREEK COMMUNITY CHURCH
400 84TH STREET
WINDSOR HEIGHTS, IA 50324-1017
PHONE: (515)250-3600

APPLICANT:
WALNUT CREEK COMMUNITY CHURCH
400 84TH STREET
WINDSOR HEIGHTS, IA 50324-1017
PHONE: (515)250-3600

PROJECT MANAGER:
CIVIL ENGINEERING CONSULTANTS
ATTN: ED ARP
2400 26TH STREET, SUITE #12
URBANSALAIE, IA 50322
PHONE: 515-276-4084 EXT. 210
EMAIL: ARP@CECLL.COM

FEMA FIRM CLASSIFICATION
THIS PARCEL LIES WITHIN FLOOD ZONE X1-X1 (SHADED) AND THE JORDAN CREEK REGULATORY FLOODWAY ALL BEING IDENTIFIED ON FEMA FLOOD INSURANCE RATE MAP NO. 18156C0340P WITH EFFECTIVE DATE OF FEBRUARY 1, 2017 AND FEMA FLOOD INSURANCE RATE MAP NO. 18156C0328P WITH EFFECTIVE DATE OF FEBRUARY 1, 2016.

CONTRACT	NUMBER	DATE	STATUS
* CITY OF DES MOINES	40231	03/40/0328	F
* CITY OF WEST DES MOINES	16023	03/40/0328	F
* POLK COUNTY	16400	03/40/0328	F

FEMA MAPS ARE SUBJECT TO CHANGE
PLEASE SEE FEMA FLOOD MAP SERVICE CENTER FOR CURRENT MAPS.
WEB: FEMA.FEMA.GOV
MAIL: FEMA REGION VII, 4230 PARKWAY, KANSAS CITY, MO 64141
PHONE: 1-817-326-2621
EMAIL: FEMA@FEMA.DHS.GOV; FEMA@FEMA.DS.COM

Sheet List Table

Sheet Number	Sheet Title
1	COVER
2	DIMENSION PLAN - OVERVIEW
3	DIMENSION PLAN - SOUTH
4	DIMENSION PLAN - NORTH
5	GRADES PLAN - SOUTH
6	UTILITY PLAN - NORTH
7	UTILITY PLAN - SOUTH



- GENERAL NOTES:**
- CONTRACTOR SHALL ARRANGE FOR TESTING AND INSPECTION AND NOTIFY THE FOLLOWING AT LEAST ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
a. CITY OF WEST DES MOINES ENGINEERING SERVICES (CONTACT: BEN HANSLER, PHONE: 515-223-3475)
b. WEST DES MOINES WATER WORKS
c. POLK COUNTY
d. CIVIL ENGINEERS CONSULTANTS, INC. (PHONE: 515-276-4084)
e. IOWA ONE-CALL
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LEASES NEEDED TO CONSTRUCT THIS PROJECT.
a. ALL ELEVATIONS ARE INDICATED FINISHED GRADES AT CENTERLINE UNLESS OTHERWISE NOTED
b. THE LOCATION OF EXISTING FACILITIES AND APPURTENANCES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE INFORMATION WITHOUT UNDERGOING AND HEARING TO DETERMINE EXACT FACILITIES LOCATIONS. CIVIL ENGINEERS CONSULTANTS, INC. DOES NOT GUARANTEE THE LOCATION OF EXISTING FACILITIES AS SHOWN OR THAT ALL EXISTING FACILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL PUBLIC AND PRIVATE UTILITY PROVIDERS SERVING THIS AREA AND IOWA ONE CALL TO DETERMINE THE EXACT AND PRECISE LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION BEGINS.
 - CONTRACTOR SHALL VERIFY LOCATION AND PROTECT UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY CONTRACTOR TO SATISFACTION OF OWNER OR UTILITIES.
 - THE CONTRACTOR SHALL RESUBMIT ALL FIELD FILE INTERFERED DRAINING CONNECTIONS.
 - CIVIL ENGINEERS CONSULTANTS, INC. IS NOT A GEOLOGICAL ENGINEER.
 - GEOTECHNICAL REPORT IS AVAILABLE BY CONTACTING ENGINEER, CONTRACTOR AND BIDDERS SHALL REFER TO AND FOLLOW RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY ASA PK, INC. DATED JAN 15, 2024.
 - THERE IS A DISCREPANCY BETWEEN THE DETAILED PLAN AND QUANTITIES SHEET PLEASE CONTACT CIVIL ENGINEERS CONSULTANTS, INC.
 - ALL FINISH BACKFILL SHALL BE 95% STANDARD PROCTOR DENSITY.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR INSPECTIONS AS NEEDED.
 - ALL SIBING AND STREETS SHALL CONFORM TO THE INTERIOR MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (FEDERAL HIGHWAY ADMINISTRATION 2009 EDITION).
 - PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
 - ALL CONNECTION WITHIN PUBLIC ROW REQUIREMENTS AND/OR ANY CONNECTION TO PUBLIC SERVICES AND STREETS SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS WITHIN DES MOINES STANDARD AND IOWA ONE CALL AND IOWA ONE CALL.
 - AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SERVICES AND STREETS, THE CONTRACTOR SHALL CONTACT THE IOWA ENGINEERS SERVICES (222-3475) TO SCHEDULE ANY REQUIRED INSPECTIONS IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
 - ALL CONNECTIONS TO EXISTING PUBLIC SERVICES SHALL BE CORE DRILLED.
 - PAVEMENT PROTECTION SHOULD BE BETWEEN EXISTING JOINTS (PULL PANEL REMOVAL) IN ACCORDANCE WITH IOWA STANDARD CONSTRUCTION SPECIFICATIONS. LAND PERMIT AND STREET EXCAVATION PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
 - REMOVAL LIMITS FOR THE PROPOSED DRIVEWAY APPROACH SHALL BE 120" HIGH BACK OF CURB AND TO THE NEAREST TRANSVERSE JOINT ON EITHER END OF THE DRIVEWAY.
 - CONVERTER/ TRUSS (CROSSINGS OR CONVERSIONS) PRIVATE STRUCTURES AND PRIVATE STREET LIGHTS NEED TO BE LOCATED OUTSIDE OF PUBLIC SEWER EASEMENTS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF HORSE OF ALL SUBCONTRACTORS INVOLVED IN THE PROJECT.
 - CONTACT BUILDING INSPECTION AT 282-223-5630 A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION DEVICE(S) FOR CONTAINER IN ALL NEW CONSTRUCTION BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 101L. 34-HMM CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, BLMR, BENTLEY ENGINEERING TECHNICIAN (222-3460) WITHIN 24 HOURS OF 24 HOUR AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
 - LOT "A" SHALL BE PERMANENTLY DECEASED AND TIED TO LOT "A" AND SHALL NOT BE DRAINABLE. CATCHMENT "A" IS INTENDED TO ENCOMPASS THE JORDAN CREEK FEMA FLOODWAY AS SHOWN IN THE DRAWING. AT THE TIME OF SURVEY, ANY SEPARATION OF CATCHMENT "A" AND CITY OF WEST DES MOINES APPROVAL.
 - WALNUT CREEK COMMUNITY CHURCH IS RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING A POLLUTION PREVENTION PLAN CONSISTENT WITH AND CITY OF WEST DES MOINES APPROVAL.
 - WALNUT CREEK COMMUNITY CHURCH IS RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING A POLLUTION PREVENTION PLAN CONSISTENT WITH AND CITY OF WEST DES MOINES APPROVAL.
 - WALNUT CREEK COMMUNITY CHURCH IS RESPONSIBLE FOR COMPLETING A NOTICE OF INTENT TO THE IOWA DEPARTMENT OF NATURAL RESOURCES AND RECEIVING A LETTER OF AUTHORIZATION.

COMPREHENSIVE LAND USE
05 - OPEN SPACE
H2 - RESIDENTIAL/RESIDENTIAL

ZONING DISTRICT
R14 - RESIDENTIAL MEDIUM DENSITY
05 - OPEN SPACE/AGRICULTURAL

LEGAL DESCRIPTION:
PARCEL 2023-11 OF FRUIT FARM AN OFFICIAL PARCEL RECORDED IN BOOK 18417 PAGE 871 AT THE POLK COUNTY RECORDERS OFFICE CITY OF WEST DES MOINES, POLK COUNTY, IOWA.

LOT 1 (ARCH OF SASRAGE PLAT) IS AN OFFICIAL PLAT RECORDED IN BOOK 12794 PAGE 601 AT THE POLK COUNTY RECORDERS OFFICE CITY OF WEST DES MOINES, POLK COUNTY, IOWA.

LAND AREA:
142.8 ACRES
49,636 SF

- MAINTAIN ALL CUT AND FILL AREAS FOR 30 DAYS AFTER CONSTRUCTION. ALL AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
 - FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE. ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
 - UNFIT TOPSOIL AND RESURFID (4" MINIMUM)
 - ADDITIONAL SILT FENCING MAY BE REQUIRED BY THE CITY AFTER FIELD INSPECTION.
- SANITARY NOTES:**
- ALL CONNECTIONS TO EXISTING PUBLIC STRUCTURES SHALL BE CORE DRILLED.
 - EXISTING PIPES WITH NEW SERVICES INSTALLED SHALL BE TELEVIEWED AS PART OF FINAL INSPECTION.
 - SANITARY MANHOLES (CONNECTIONS) SHALL BE ROTATED TO AVOID PLACING CASTING IN SIDEWALK OR TRAILS.
 - ROAD OR FACILITY CONNECTIONS ARE REQUIRED WHEN NEW PIPES IS REQUIRED TO CONNECT TO EXISTING SANITARY SEWER.
 - ALL SANITARY MANHOLES SHALL BE WITH STANDARD.
 - SANITARY JOINTS GREATER THAN 20 FEET IN DEPTH SHALL BE APPROVED GRANULAR MATERIAL TO WITHIN 10 FEET OF PROPOSED GRADE.
 - ALL NEW SANITARY CONNECTIONS AS PART OF PLAT SHALL BE VIDEO INSPECTED BY THE DEVELOPER AFTER PAVING AND PRIOR TO ACCEPTANCE OF THE IMPROVEMENTS. VIDEO INSPECTIONS SHALL BE PROVIDED TO THE CITY IN PDF & O FORMAT OR LATER ON DVD. FLASH DRIVE OR CLOUD STORAGE (OTHER FORMATS WILL NOT BE ACCEPTED). IMPROVEMENTS SHALL NOT BE ACCEPTED BY THE CITY COUNCIL UNTIL VIDEO INSPECTION IS DELIVERED AND REVIEWED. CONTACT JOSH REYNOLDS (515-222-3475) TO OBTAIN CITY PIPE AND STRUCTURE LOG PRIOR TO VIDEO INSPECTION.
- STORM NOTES:**
- ALL STORM SEWER CONNECTIONS SHALL BE BUILT IN ACCORDANCE WITH WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
 - ALL PIPES TO BE BUILT IN ACCORDANCE WITH CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS INCLUDING: a. PIPES WITHIN 24 HOURS OF 24 HOURS PRIOR TO PLACEMENT. THE CONTRACTOR SHALL USE THE SAME MINIMUM FOR A MINIMUM OF 300 SQUARE YARDS OF CONTIGUOUS PAVING.
 - VIDEO INSPECTION FOR HORIZONTAL AT INTERSECTIONS. CHECK QUALITY FOR SCHEDULES SHALL MEET ASIA REQUIREMENTS.
 - IF ADDITIONAL PAVEMENT IS REQUIRED OTHER THAN STANDARD BOX-OUT FULL PANEL REMOVAL WILL BE REQUIRED IN ORDER TO FULLY PANEL REMOVAL WILL BE REQUIRED.
 - ALL PROPOSED SLEAVES TO BE INSTALLED AS PART OF PROJECT SHALL HAVE APPROPRIATE DETAIL AND FINISHES (INDICATED) ONSES. NECESSARY TO PREVENT SLURRY FROM SINKING OPERATIONS FROM ENTERING STORM SEWERS.
 - USE APPROPRIATE HEADGATES TO PREVENT SLURRY FROM SINKING OPERATIONS FROM ENTERING STORM SEWERS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH WEST DES MOINES WATER WORKS AND CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH WEST DES MOINES WATER WORKS AT 310-223-3465.
 - PIPE ENDS, MANHOLES, WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWER AND STORM SEWER MAINS BY AT LEAST 18 INCHES VERTICAL DISTANCE. AT LEAST 12 INCHES HORIZONTAL DISTANCE. ALL JOINTS SHALL BE LEAD TO PROVIDE MINIMUM VERTICAL DISTANCE OF AT LEAST 18 INCHES BETWEEN OUTSIDE OF WATER MAIN AND OUTSIDE OF SEWER MAIN. THESE JOINTS SHALL BE PROTECTED BY THE PUBLIC ROW. PROTECT ALL JOINTS WITH FLANGES OR GASKETS. JOINTS (GASKETS) MANUFACTURED IN ACCORDANCE WITH ASHRAE 90.1. ALL JOINTS SHALL BE PROTECTED BY THE PUBLIC ROW. PROTECT ALL JOINTS WITH FLANGES OR GASKETS. JOINTS (GASKETS) MANUFACTURED IN ACCORDANCE WITH ASHRAE 90.1.
 - WEST DES MOINES WATER WORKS RECOMMENDS AGAINST PLANTING TREES AND OTHER LANDSCAPING OVER PRIVATE WATER MAINS.
 - COORDINATE WITH WEST DES MOINES WATER WORKS FOR ANY GRADING NEAR TRANSMISSION TOWER.
- PAVING NOTES:**
- FOR PAVED PAVING, THE CONTRACTOR SHALL SUBMIT THE PCD HAS SOURCES TO THE WEST DES MOINES ENGINEERING DEPARTMENT 222-3475 A MINIMUM OF 24 HOURS PRIOR TO PLACEMENT. THE CONTRACTOR SHALL USE THE SAME MINIMUM FOR A MINIMUM OF 300 SQUARE YARDS OF CONTIGUOUS PAVING.
 - VIDEO INSPECTION FOR HORIZONTAL AT INTERSECTIONS. CHECK QUALITY FOR SCHEDULES SHALL MEET ASIA REQUIREMENTS.
 - IF ADDITIONAL PAVEMENT IS REQUIRED OTHER THAN STANDARD BOX-OUT FULL PANEL REMOVAL WILL BE REQUIRED IN ORDER TO FULLY PANEL REMOVAL WILL BE REQUIRED.
 - ALL PROPOSED SLEAVES TO BE INSTALLED AS PART OF PROJECT SHALL HAVE APPROPRIATE DETAIL AND FINISHES (INDICATED) ONSES. NECESSARY TO PREVENT SLURRY FROM SINKING OPERATIONS FROM ENTERING STORM SEWERS.
 - USE APPROPRIATE HEADGATES TO PREVENT SLURRY FROM SINKING OPERATIONS FROM ENTERING STORM SEWERS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH WEST DES MOINES WATER WORKS AND CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH WEST DES MOINES WATER WORKS AT 310-223-3465.
 - PIPE ENDS, MANHOLES, WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWER AND STORM SEWER MAINS BY AT LEAST 18 INCHES VERTICAL DISTANCE. AT LEAST 12 INCHES HORIZONTAL DISTANCE. ALL JOINTS SHALL BE LEAD TO PROVIDE MINIMUM VERTICAL DISTANCE OF AT LEAST 18 INCHES BETWEEN OUTSIDE OF WATER MAIN AND OUTSIDE OF SEWER MAIN. THESE JOINTS SHALL BE PROTECTED BY THE PUBLIC ROW. PROTECT ALL JOINTS WITH FLANGES OR GASKETS. JOINTS (GASKETS) MANUFACTURED IN ACCORDANCE WITH ASHRAE 90.1. ALL JOINTS SHALL BE PROTECTED BY THE PUBLIC ROW. PROTECT ALL JOINTS WITH FLANGES OR GASKETS. JOINTS (GASKETS) MANUFACTURED IN ACCORDANCE WITH ASHRAE 90.1.
 - WEST DES MOINES WATER WORKS RECOMMENDS AGAINST PLANTING TREES AND OTHER LANDSCAPING OVER PRIVATE WATER MAINS.
 - COORDINATE WITH WEST DES MOINES WATER WORKS FOR ANY GRADING NEAR TRANSMISSION TOWER.
- WEST DES MOINES WATER WORKS STANDARD NOTES**
- ALL WATER MAIN, PUBLIC OR PRIVATE SHALL BE BORED IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS AVAILABLE AT WEST DES MOINES WATER WORKS SPECIFICATIONS (HTTP://WWW.DESMOINESWATERWORKS.COM).
 - ANY WATER USE FROM A TYPICAL PUBLIC OR PRIVATE REQUIRE AT LEAST ONE WEEK PRIOR TO BUILDING CONNECTION.
 - CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONNECTION.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION DEVICES FOR CONTAINER IN ALL NEW CONSTRUCTION BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 101L. 34-HMM CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (222-3465) WITHIN 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND THESE REQUIRED PRESSURE REQUIREMENTS AND TANKS SHALL BE INSTALLED DOWNSTREAM OF THE WATER METERS AND BACKFLOW PREVENTERS SERVING THE SITE.

CERTIFICATIONS

<p>I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA</p> <p style="text-align: center;">PRELIMINARY</p> <p>COOY T. WEAVER, IOWA LIC. NO. 28093 DATE: MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024 PHONE NO. 515-276-4084 EXT. 210</p>	<p>I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA</p> <p style="text-align: center;">PRELIMINARY</p> <p>JEFFREY R. GADDIS, IOWA LICENSE NO. 12330 DATE: MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024</p>
SHEET 1 OF 1	

IOWA
THE IOWA CALL
1-800-272-4887



SCALE: 1"=100'
NORTH

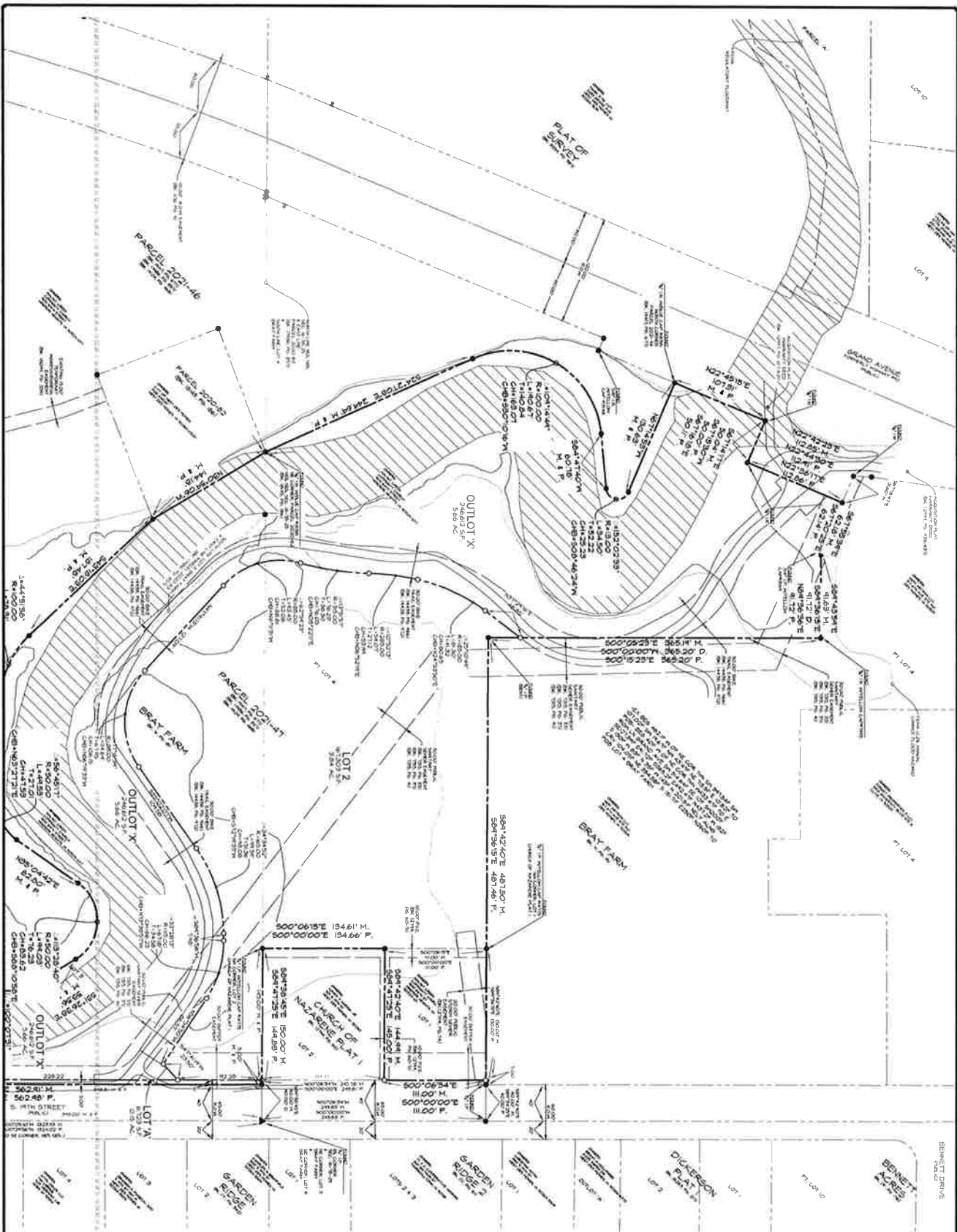
PRELIMINARY - NOT FOR CONSTRUCTION

BRIDGE LOT
WEST DES MOINES, IOWA
DIMENSION PLAN - OVERVIEW

DATE:	2023-04-01 - THIRD SUBMITTAL
	2023-06-11 - SECOND SUBMITTAL
	2023-07-18 - FIRST SUBMITTAL
DATE OF SURVEY:	2023-06-29
DESIGNED BY:	EVA
DRAWN BY:	TRM



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515.276.4884 - mail@ceclac.com



PRELIMINARY - NOT FOR CONSTRUCTION

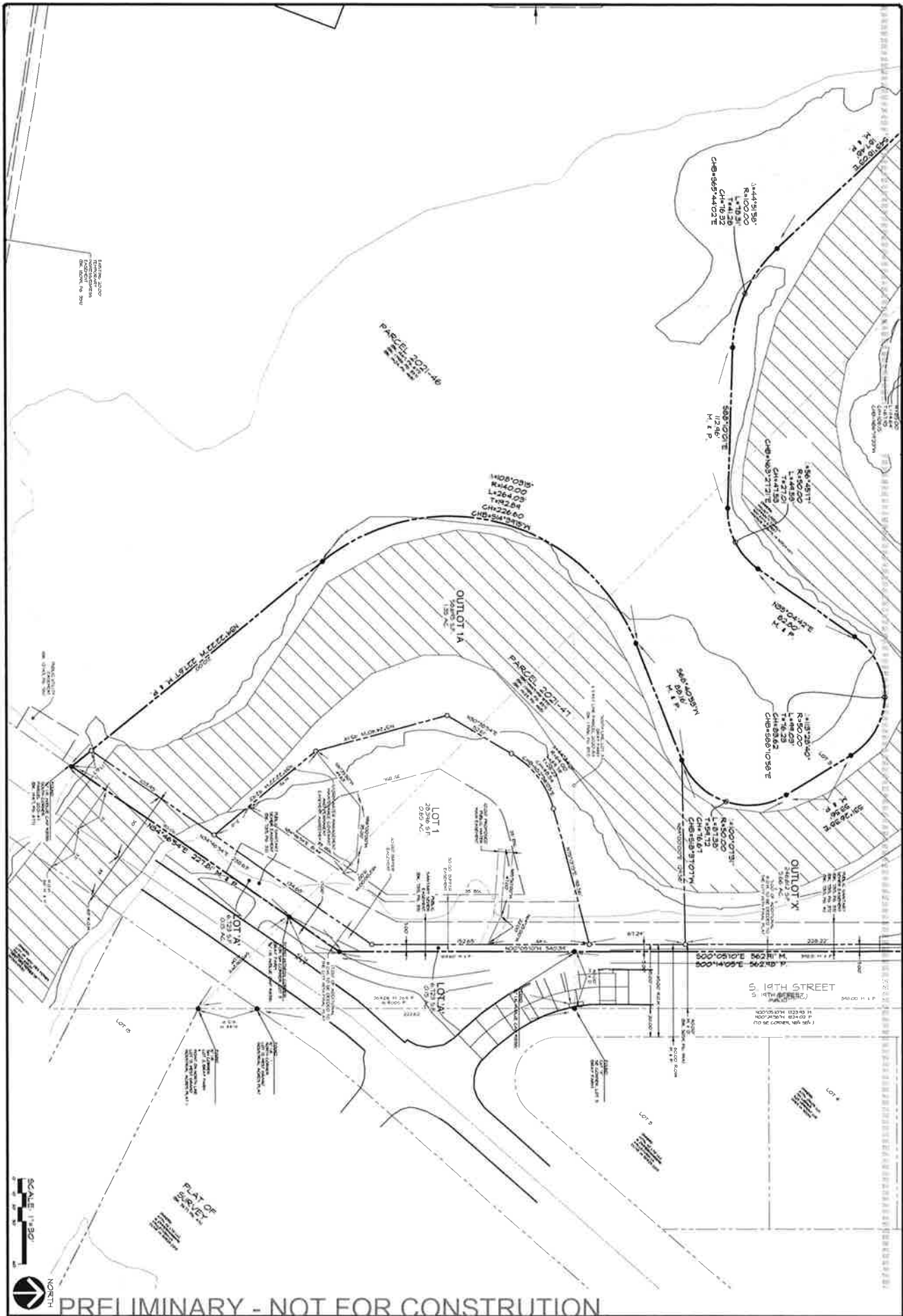
BRIDGE LOT
NEST DES MOINES, IOWA

DIMENSION PLAN - NORTH

DATE:	2023-01-01 - THIRD SUBMITTAL
	2023-06-11 - SECOND SUBMITTAL
	2023-01-14 - FIRST SUBMITTAL
DATE OF SURVEY:	2023-06-24
DESIGNED BY:	EM
DRAWN BY:	EM



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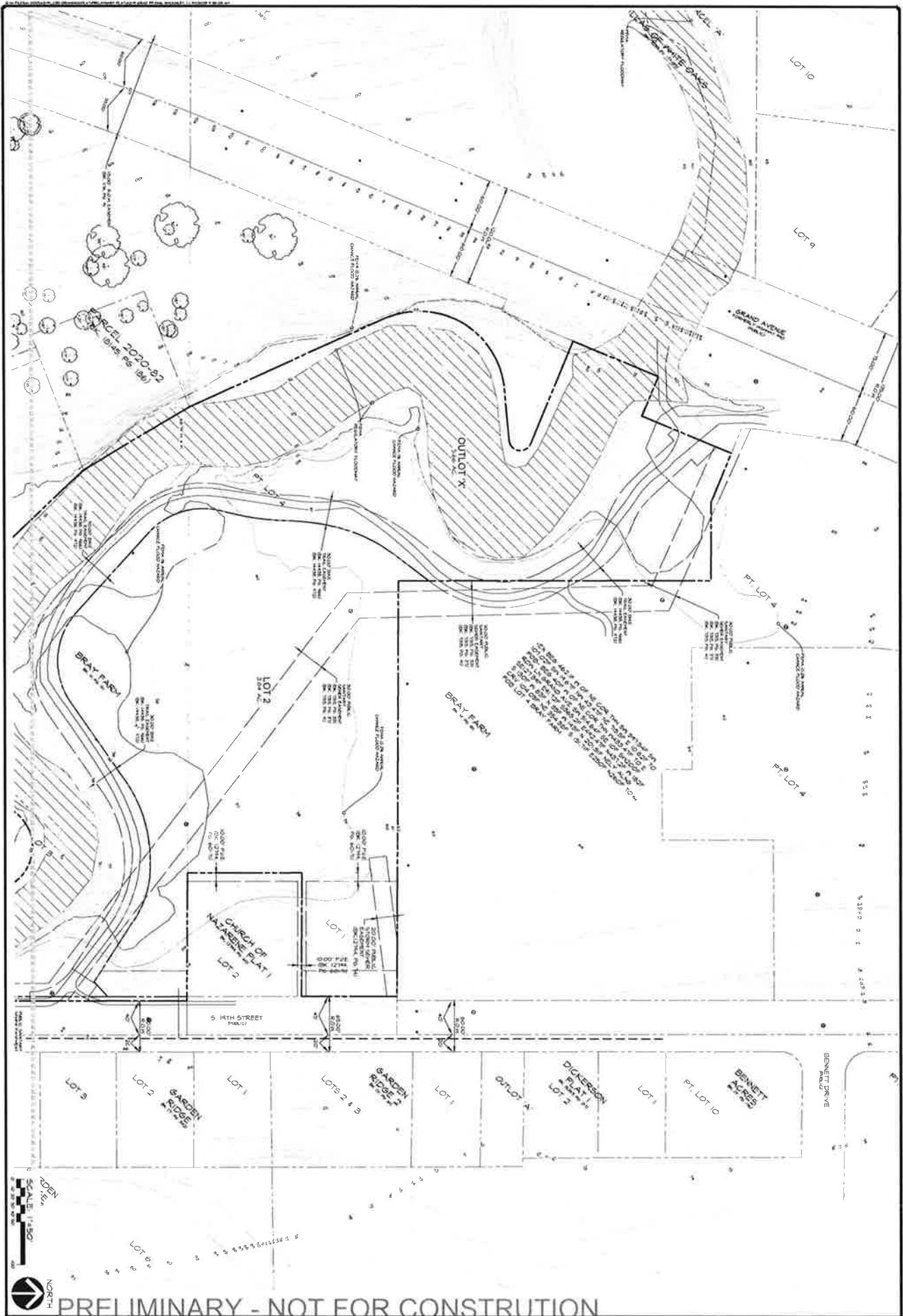
BRIDGE LOT
 NEST DES MOINES, IOWA
 DIMENSION PLAN - SOUTH

DATE:	2023-08-01 - THIRD SUBMITTAL
	2023-08-11 - SECOND SUBMITTAL
	2023-07-14 - FIRST SUBMITTAL
DATE OF SURVEY:	2023-06-24
DESIGNED BY:	EM
DRAWN BY:	EM



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SCALE: 1/8" = 1'-0"
 NORTH
 SHEET 4 OF 6



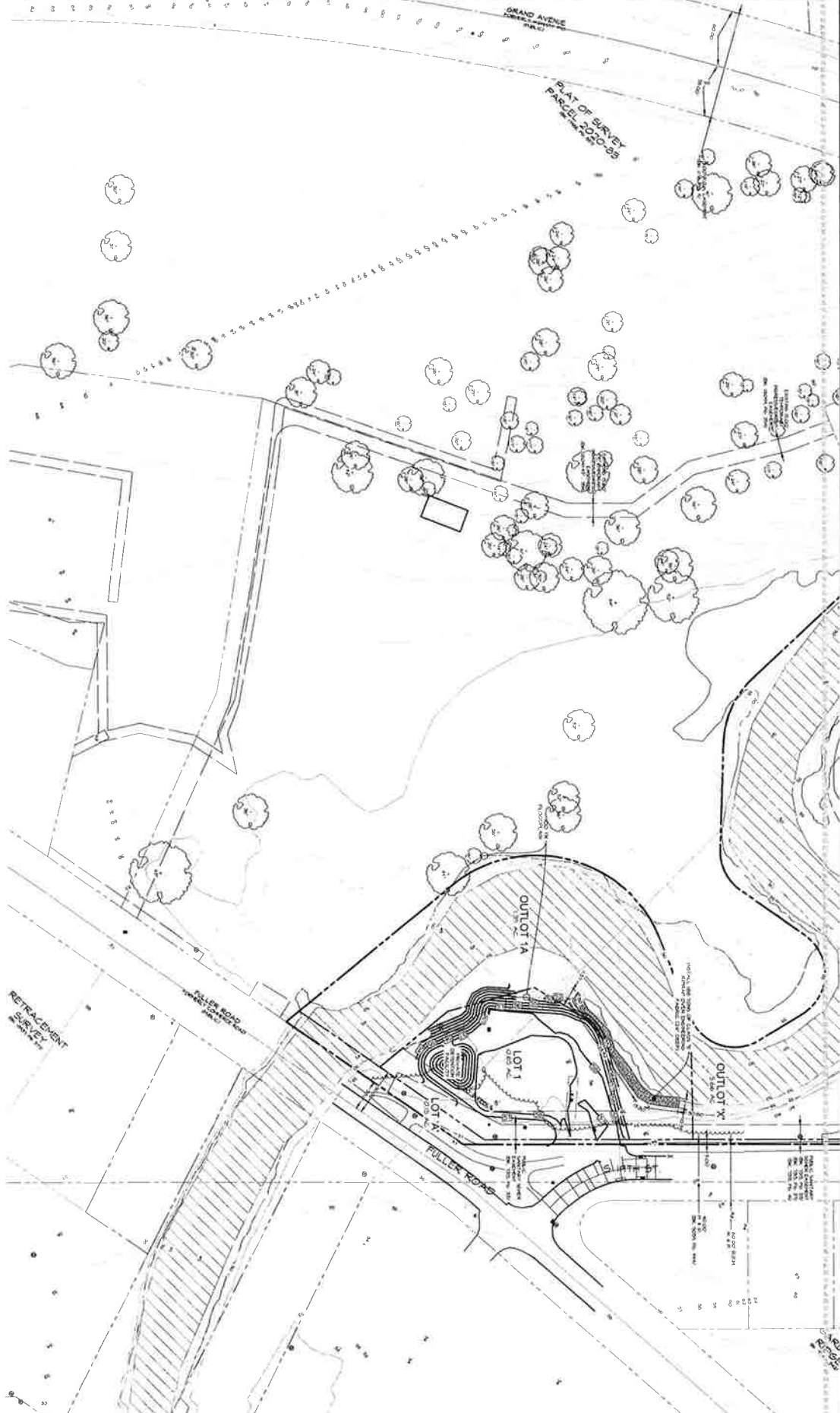
PRELIMINARY - NOT FOR CONSTRUCTION

NORTH
 SCALE 1/4" = 10'
 SHEET 6 OF 6
BRIDGE LOT
 WEST DES MOINES, IOWA
GRADING PLAN- NORTH

DATE	2023-04-01 - THIRD SUBMITTAL
	2023-06-14 - SECOND SUBMITTAL
	2023-07-14 - FIRST SUBMITTAL
DATE OF SURVEY	2023-06-24
DESIGNED BY	FAH
DRAWN BY	FAH



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PRELIMINARY - NOT FOR CONSTRUCTION

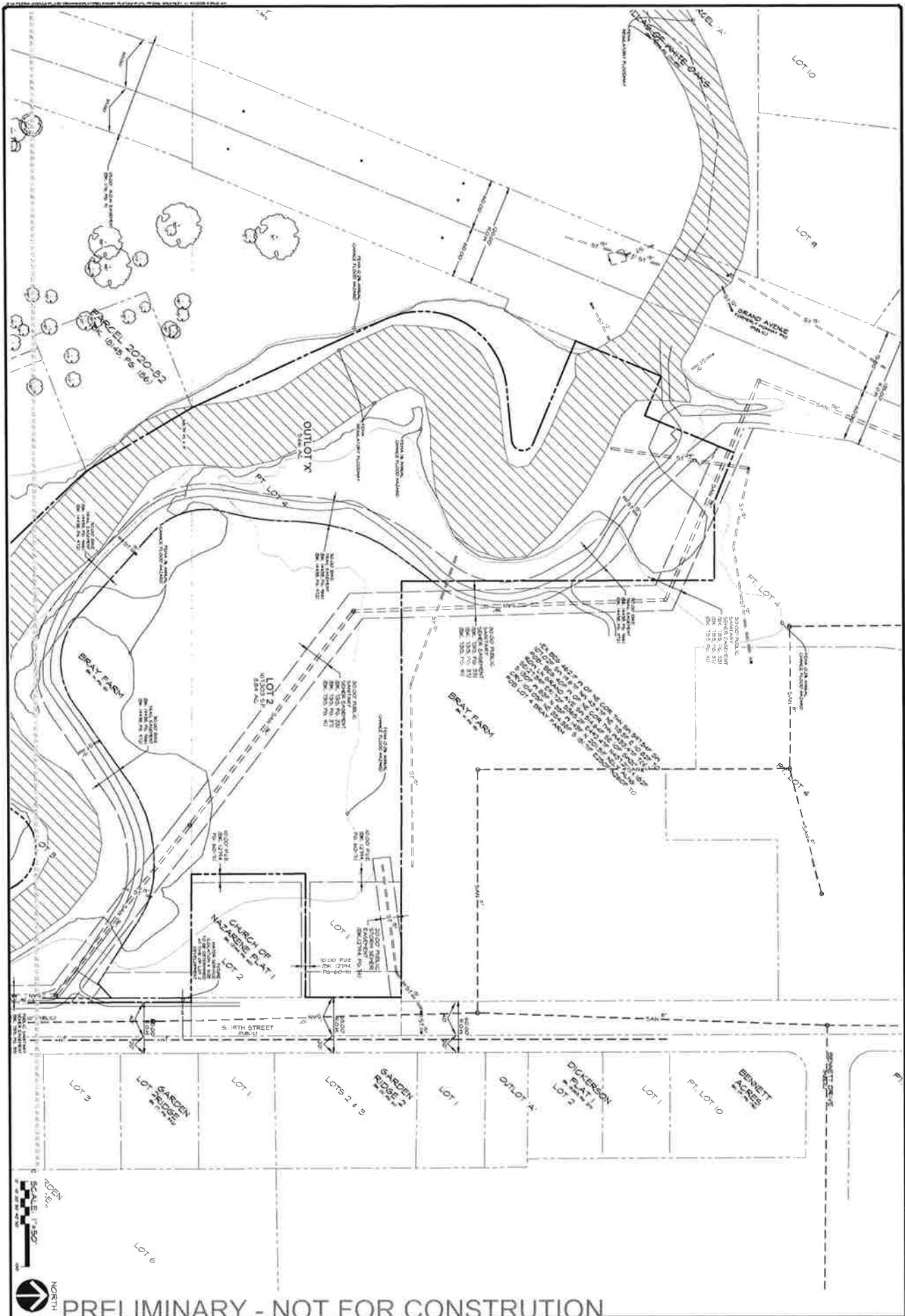


BRIDGE LOT
WEST DES MOINES, IOWA
GRADING PLAN- SOUTH

DATE	2023-04-01 - THIRD SUBMITTAL
	2023-06-08 - SECOND SUBMITTAL
	2023-07-14 - FIRST SUBMITTAL
DATE OF SURVEY	2023-06-27
DESIGNED BY	DHA
DRAWN BY	***



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PRELIMINARY - NOT FOR CONSTRUCTION

BRIDGE LOT
WEST DES MOINES, IOWA
UTILITY PLAN - NORTH

DATE:	2023-01-02 - THIRD SUBMITTAL
	2023-01-11 - SECOND SUBMITTAL
	2023-01-14 - FIRST SUBMITTAL
DATE OF SURVEY:	2023-06-21
DESIGNED BY:	EHA
CHECKED BY:	



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PRELIMINARY - NOT FOR CONSTRUCTION

BRIDGE LOT
 WEST DES MOINES, IOWA
UTILITY PLAN - SOUTH

DATE	2023-04-05 - THIRD SUBMITTAL
	2023-06-11 - SECOND SUBMITTAL
	2023-07-14 - FIRST SUBMITTAL
DATE OF SURVEY	2023-06-29
DESIGNED BY:	EMA
DRAWN BY:	EMA



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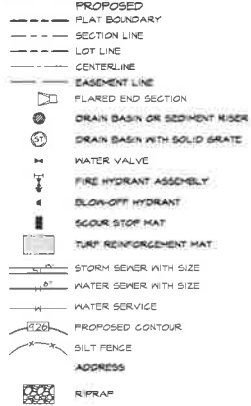
SCALE 1"=50'
 SHEET 5 OF 6

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY - APPROVED PLANS ON FILE WITH THE CITY

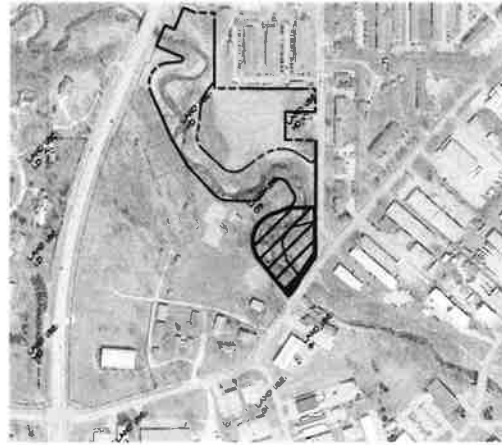
SITE PLAN OF BRIDGE LOT TOWNHOMES

WEST DES MOINES, IA 50265

GENERAL LEGEND



EXISTING



VICINITY SKETCH

Sheet Number	Sheet Title
1	COVER
2	DIMENSION AND DEMO PLAN
3	GRADING PLAN
4	GRADING DETAIL
5	UTILITY PLAN
6	LANDSCAPE PLAN
7	EROSION CONTROL PLAN
8	EROSION CONTROL DETAILS

GRADING NOTES

- STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO RECEIVE STRUCTURAL FILL.
- ALL AREAS TO RECEIVE FILL TO BE BENCHED.
- PREPARE BOTTOM OF BENCH FOR FILL BY DRIVING TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR. THE FUTURE CONTENT OF THE FILL MATERIAL SHALL MATCH ABAQ STANDARD.
- MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
- FINAL GRADABLE WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF FINISHED GRADE. ALL OTHER AREAS TO BE WITHIN 0.2' OF FINISHED GRADE.
- STRIP TOPSOIL AND REUSE (4" MINIMUM).
- ADDITIONAL SILT BENCHING MAY BE REQUIRED BY THE CITY AFTER FIELD INSPECTION.

FEMA F.I.R.M. CLASSIFICATION

THIS PARCEL LIES WITHIN FLOOD ZONE X-1 (SHADES) AND THE ZONING CARRIER REGULATORY FLOORWAY ALL BEING DEFINED ON FEMA FLOOD INSURANCE RATE MAP NO. 48060G004P WITH EFFECTIVE DATE OF FEBRUARY 1, 2014.

CATEGORY	NUMBER	DATE	AREA
1	CITY OF DES MOINES	10/22/11	0340
2	CITY OF WEST DES MOINES	10/20/11	0240
3	POLK COUNTY	10/23/11	0340

*** FEMA MAPS ARE SUBJECT TO CHANGE ***
PLEASE SEE FEMA FLOOD MAP SERVICE CENTER FOR CURRENT MAPS.
HEAD: FIRM.FEMA.GOV
MAIL: FEMA REGION VII, 523 HARO PARKWAY, KANSAS CITY, MO 64144
PHONE: 1-811-338-2827
EMAIL: FEMAHELP@FEMA.GOV

EXISTING COMPREHENSIVE LAND USE

PROPOSED: HO - MEDIUM DENSITY RESIDENTIAL - MULTIFAMILY

EXISTING ZONING DISTRICT

PROPOSED: RPH-2 RESIDENTIAL, MEDIUM-DENSITY

BUILDING SETBACKS

FRONT YARD SETBACK: 50 FEET
SIDE YARD SETBACK: 50 FEET
REAR YARD SETBACK: 25 FEET

SITE AREAS (UNDER THIS DEVELOPMENT)

BUILDING	320'x 51'	12,738
DRIVEWAY AREA	320'x 51'	28,389
PERVIOUS AREA	10,213 SF	36,298
IMPERVIOUS AREA	17,923 SF	64,718
TOTAL SITE AREA	28,394 SF	100,008

PROPERTY OWNERS:

HUNT CREEK COMMUNITY CHURCH
600 84TH STREET
WEST DES MOINES, IA 50324-1011
PHONE: 515-250-9188

APPLICANT:

HUNT CREEK COMMUNITY CHURCH
600 84TH STREET
WEST DES MOINES, IA 50324-1011
PHONE: 515-250-9188

PROJECT MANAGER:

CIVIL ENGINEERING CONSULTANTS
ATTN: ED ASP
2400 BATH STREET, SUITE #12
DES MOINES, IA 50313
PHONE: 515-278-4884 EXT. 213
EMAIL: ARF@CECLAC.COM

LEGAL DESCRIPTION:

LOT 1, BRIDGE LOT FLAT 1, AN OFFICIAL FLAT, CONTAINING 0.45 ACRES, CITY OF WEST DES MOINES, POLK COUNTY, IOWA.

WEST DES MOINES WATER WORKS STANDARD NOTES

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS AVAILABLE AT WEST DES MOINES WATER WORKS SPECIFICATIONS (HTTP://WWW.WDMWW.COM/FILES/STANDARD%20SPECIFICATIONS.PDF).
- ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER CALL. 50' 222 3465 TO RESERVE A METER.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515 222 3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION CONNECTION CONTROL / CONTAINMENT PROVISIONS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY FOR CONTAINMENT IN ALL NEW CONSTRUCTION (BACKFLOW PREVENTION TO BE RATED FOR CITY ORDINANCE 18114-498). CONTRACTOR SHALL NOTIFY THEIR PROJECT'S WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (515 222 3465) MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATE WATER PRESSURE AND WHERE REQUIRED, PRESSURE REGULATING VALVES AND TANKS) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METERS AND BACKFLOW ASSEMBLIES SERVING THE SITE.

GENERAL NOTES:

- CONTRACTOR SHALL ARRANGE FOR TESTING AND INSPECTION AND NOTIFY THE FOLLOWING AT LEAST ONE WEEK PRIOR TO BEGINNING CONSTRUCTION:
 - CITY OF WEST DES MOINES ENGINEERING SERVICES
 - CITY OF WEST DES MOINES WATER WORKS
 - ECOL NEW ENGLAND INC.
 - CIVIL ENGINEERING CONSULTANTS, INC. (PHONE: 515-278-4884)
 - IOWA ONE-CALL
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LEASES NEEDED TO CONSTRUCT THIS PROJECT.
- ALL ELEVATIONS ARE PROPOSED FINISHED GRADE AT CENTERLINE UNLESS OTHERWISE NOTED.
- THE LOCATION OF EXISTING FACILITIES AND APPROPRIANCES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE INFORMATION WITHOUT UNDERGOING AND MEASURING TO DETERMINE EXACT FACILITIES LOCATIONS. CIVIL ENGINEERING CONSULTANTS, INC. DOES NOT GUARANTEE THE LOCATION OF EXISTING FACILITIES AS SHOWN OR THAT ALL EXISTING FACILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL PUBLIC AND PRIVATE UTILITY PROVIDERS SERVING THIS AREA, AND IOWA ONE CALL, TO DETERMINE THE EXTENT AND PRECISE LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION BEGINS.
- THE CONTRACTOR SHALL PROTECT EXISTING ON-SITE FACILITIES FROM DAMAGE RESULTING FROM THE CONTRACTOR'S WORK. IF DAMAGE, DISRUPTION, INTERRUPTION OF SERVICE, ETC. OF EXISTING FACILITIES DOES OCCUR, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE UTILITY'S OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE DETAILED PLANS AND QUANTITIES SUMMARY PLEASE CONTACT CIVIL ENGINEERING CONSULTANTS, INC.
- ALL TRENCH BACKFILL SHALL BE 90% STANDARD PROCTOR DENSITY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR INSPECTIONS AS NEEDED.
- ALL SIGNS AND STRIPS SHALL CONFORM TO THE MUTCD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (FEDERAL HIGHWAY ADMINISTRATION 2006 EDITION).
- PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, OPEN METRO DESIGN STANDARDS AND PERM ADDENDA.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY, PERMITS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WEST DES MOINES ENGINEERING SERVICES (222-3475) TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY ENGINEERING STANDARDS AND APPLICABLE PERMITS.
- ALL CONNECTIONS TO PUBLIC SEWERS OR UTILITIES NEED TO BE DONE ONLINE.
- PAVEMENT REMOVAL SHALL FOLLOW EXISTING CONTROL PANEL REMOVAL IN ACCORDANCE WITH IOWA STANDARD CONSTRUCTION SPECIFICATIONS, LANE PERMIT AND STREET CLOSURE PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- REMOVAL LIMITS FOR THE PROPOSED DRIVEWAY APPROACH WILL BE 10' FROM BACK OF CURB AND TO THE NEAREST TRANSVERSE ADJUT ON EITHER END OF THE DRIVEWAY.
- OVER-SHIRT TREES (DEVELOPED OR CONSERVED), PRIVATE STRUCTURES AND PRIVATE STREET LIGHTS NEED TO BE LOCATED OUTSIDE OF PUBLIC STREET EASEMENT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION AT 515-222-3630 A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY FOR CONTAINMENT IN ALL NEW CONSTRUCTION (BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 18114-498). CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH B. RENTIERA, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.

NPDES/SWPPP

- THE OWNER AND/OR CONTRACTOR AND REQUIRED TO OBTAIN A NPDES PERMIT AND FOLLOW THE REQUIREMENTS OF THE ASSOCIATED STORM WATER POLLUTION PREVENTION PLAN PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.

WATER MAIN QUANTITIES (PRIVATE):

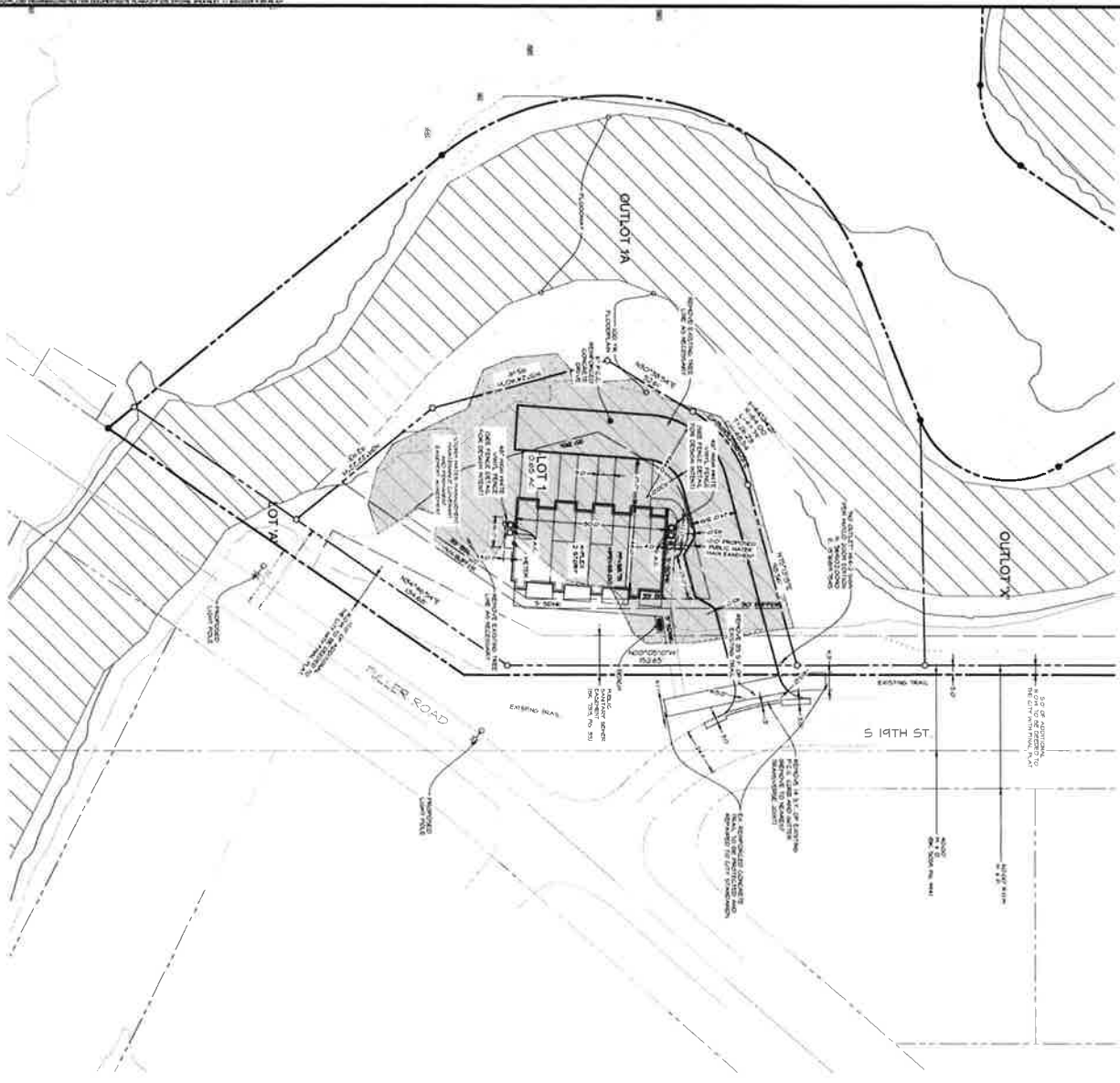
9.0 D.I.P.	8" INCH WATER MAIN
1.0 A.	HYDRANT REDUCER # 4" INCH VALVE
1.0 A.	SERVICE TEE # VALVE 8" OR GREATER
3.0 A.	8" INCH 225' 2" BEND
1.0 A.	8" 45° TURNING TEE # VALVE

CERTIFICATIONS

<p>I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.</p> <p style="text-align: center;">PRELIMINARY</p> <p>COPY # HEAVY IOWA REG. NO. 2505 DATE OF LICENSE RENEWAL DATE: 15 DECEMBER 31, 2024 PAGES OR SHEETS COVERED BY THIS SEAL: _____</p>
<p>I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.</p> <p style="text-align: center;">PRELIMINARY</p> <p>BY: EDWARD M. ASP DATE: _____ IOWA REG. NO. 250 MY LICENSE RENEWAL DATE: 31 JUNE 30, 2024 PAGES OR SHEETS COVERED BY THIS SEAL: _____</p>



PRELIMINARY - NOT FOR CONSTRUCTION
 BRIDGE LOT TOWNHOMES
 FULLER ROAD, WEST DES MOINES, IA 50265
 COVER
 SHEET _____ OF _____
 A-218
 Civil Engineering Consultants
 2400 84th Street - Unit 12 - Des Moines, IA 50312
 515.278.4884
 mail@cec.com
 CEC
 417-540-0010
 417-540-0011
 417-540-0012
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4' WHITE VINYL FENCE CONCEPT
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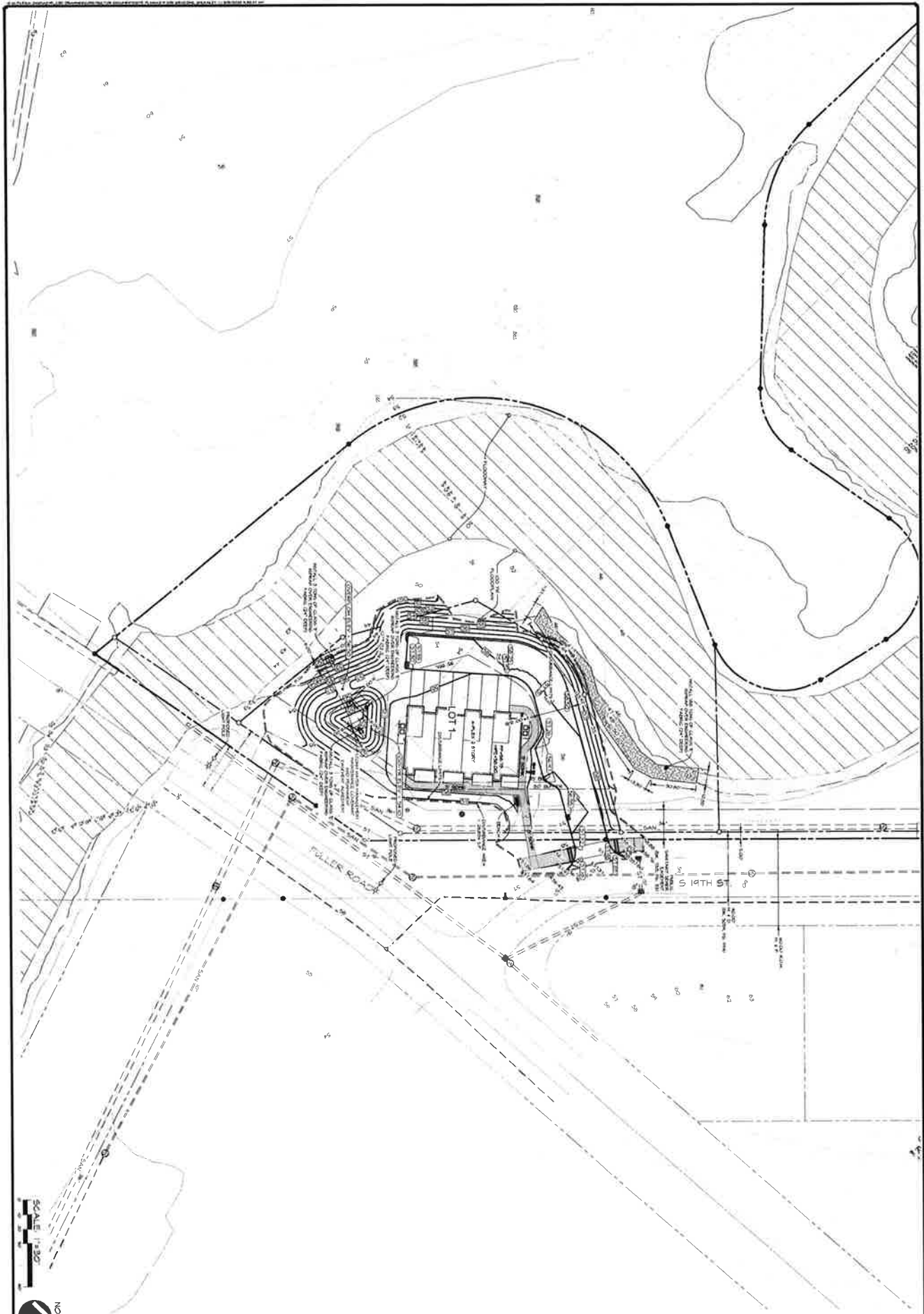
PRELIMINARY - NOT FOR CONSTRUCTION

BRIDGE LOT TOWNHOMES
FULLER ROAD, WEST DES MOINES, IA 50265
DIMENSION AND DEMO PLAN

DATE:	4TH SURV. 06-30-2023
DESIGNED BY:	BRD SURV. 08-10-2023
CHECKED BY:	2ND SURV. 07-11-2023
DATE OF SURVEY:	5TH SURV. 06-09-2023
DESIGNED BY:	HAM 20 2023
DATE OF SURVEY:	EHA
DESIGNED BY:	SAK



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SCALE 1"=30'
SHEET 3 OF 6

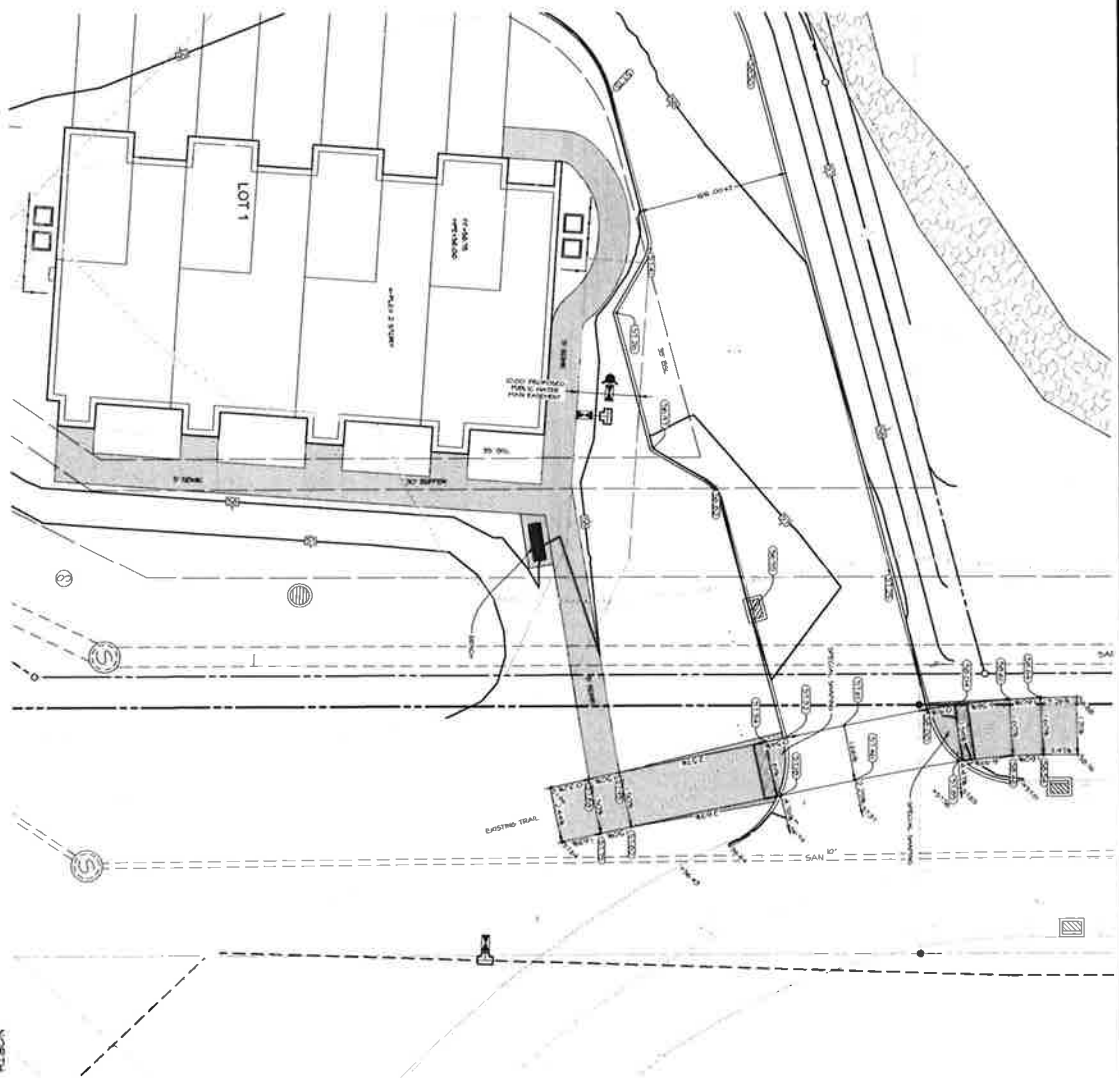
PRELIMINARY - NOT FOR CONSTRUCTION

BRIDGE LOT TOWNHOMES
FULLER ROAD, WEST DES MOINES, IA 50265
GRADING PLAN

DATE	4TH SUB. 08-31-2023
	3RD SUB. 08-01-2023
	2ND SUB. 01-11-2023
	1ST SUB. 06-04-2023
DATE OF SURVEY	MAR. 20, 2023
DESIGNED BY	EHA
DRAWN BY	



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PRELIMINARY - NOT FOR CONSTRUCTION

BRIDGE LOT TOWNHOMES
 FULLER ROAD, WEST DES MOINES, IA 50265
GRADING DETAIL

DATE	4TH MAR 08-31-2023
	3RD MAR 08-31-2023
	2ND MAR 07-11-2023
	1ST MAR 06-04-2023
DATE OF SURVEY	MAR 20, 2023
DESIGNED BY	EM
DRAWN BY	EM

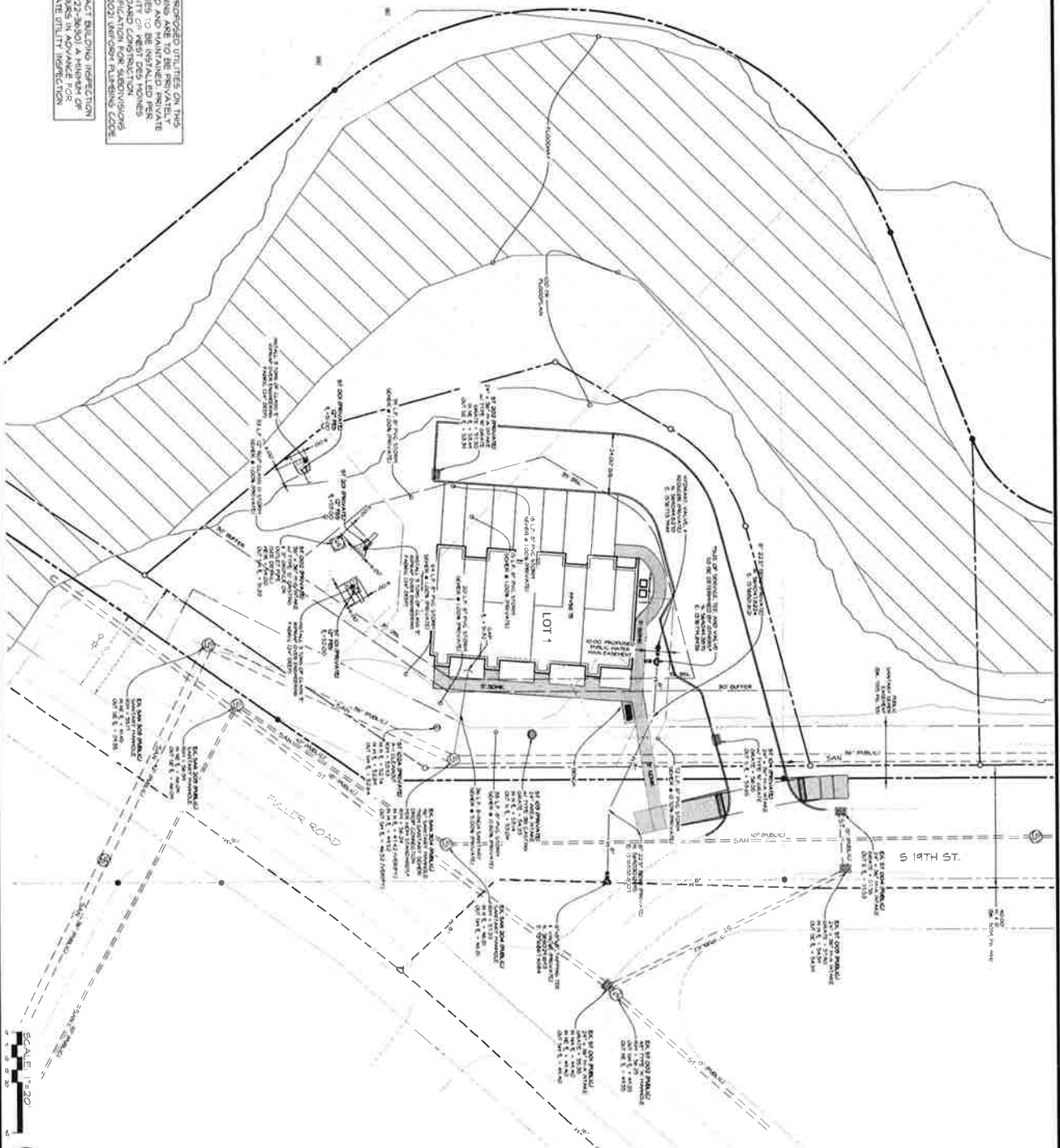


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 515-276-4884 - mail@ceclac.com

4 OF 6 SHEETS

OFFICE DETAIL: ST 002
 DATE: 03/20/2023
 DESIGNED BY: EHA

ALL PROPOSED UTILITIES ON THIS PLAN ARE TO BE INSTALLED BY THE OWNER AND MAINTAINED BY THE OWNER. THE CITY OF WEST DES MOINES SPECIFICATION FOR SUBDIVISIONS AND 2021 WATER MAINS CODE AND 2021 WATER MAINS CODE SHALL APPLY TO ALL UTILITIES. CONTACT BRIDGE INSPECTION FOR A LIST OF APPROVED CONTRACTORS. 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSPECTION.



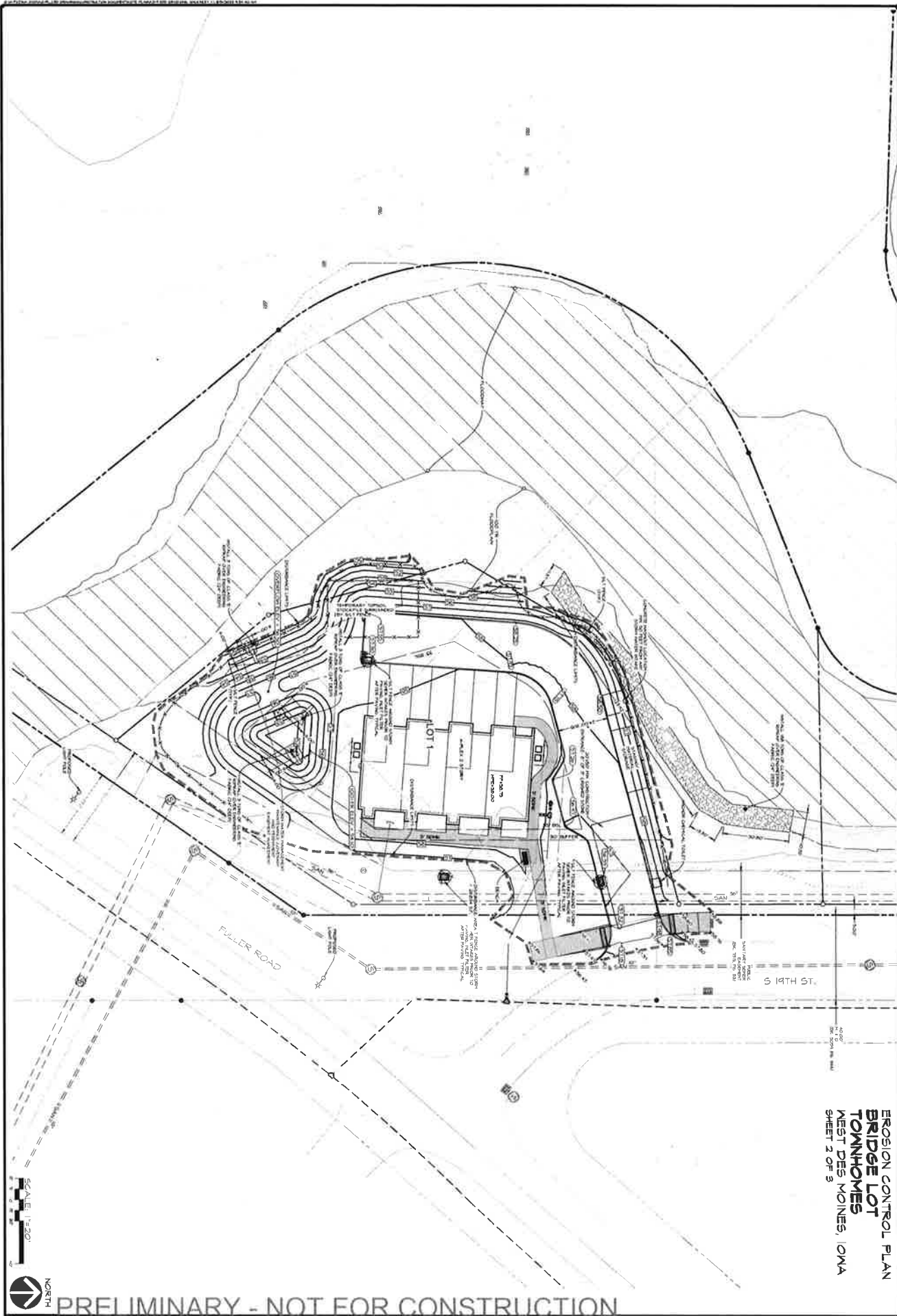
PRELIMINARY - NOT FOR CONSTRUCTION

BRIDGE LOT TOWNHOMES
 FULLER ROAD, WEST DES MOINES, IA 50265
 UTILITY PLAN

DATE:	4TH SUB: 08-31-2023
DATE OF SURVEY:	3RD SUB: 08-10-2023
DESIGNED BY:	2ND SUB: 01-11-2023
	1ST SUB: 06-04-2023
	MAR. 20, 2023
	EHA



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 2400 86th Street - Unit 12 - Des Moines, Iowa 50322
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EROSION CONTROL PLAN
 BRIDGE LOT
 TOWNHOMES
 WEST DES MOINES, IOWA
 SHEET 2 OF 3

PRELIMINARY - NOT FOR CONSTRUCTION

BRIDGE LOT TOWNHOMES
 FULLER ROAD, WEST DES MOINES, IA 50265
 EROSION CONTROL PLAN

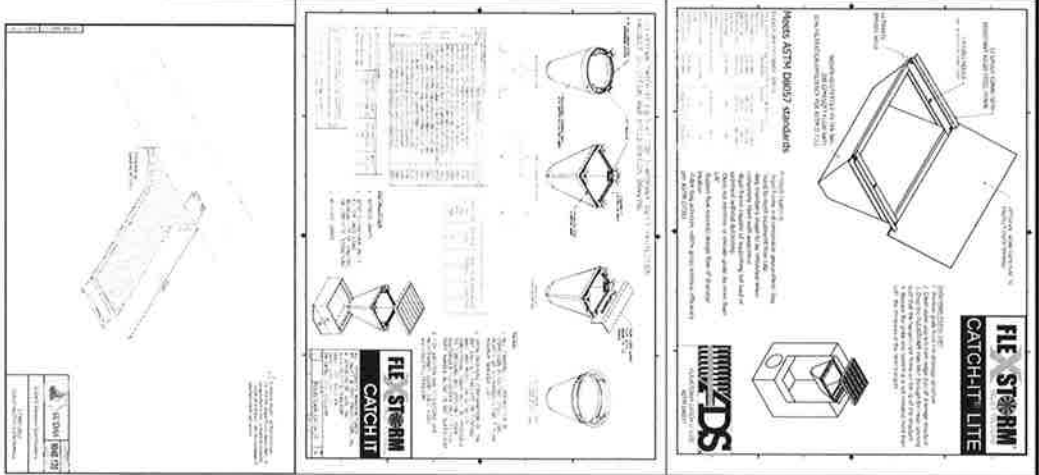
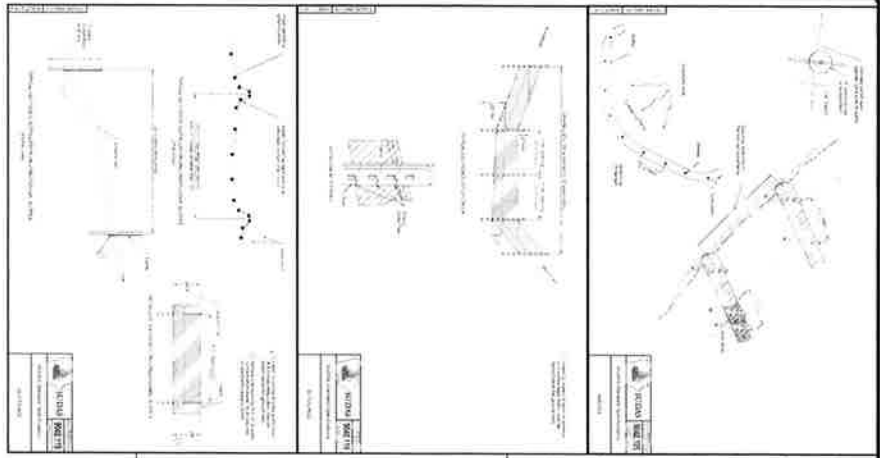
DATE:	4TH SUB. 08-31-2023
	1800 SUB. 08-11-2023
	2ND SUB. 07-11-2023
	01 SUB. 08-08-2023
DATE OF SURVEY:	MAY 20, 2023
DESIGNED BY:	ENR
DRAWN BY:	HW

NPDES PERMIT DISCHARGE
 AUTHORIZATION NUMBER
 CITY OF WEST DES MOINES GRADING
 PERMIT NUMBER XXXX-XXXX



SHEET
 2
 OF
 3

EROSION CONTROL PLAN - DETAILS
 BRIDGE LOT
 TOWNHOMES
 WEST DES MOINES, IOWA
 SHEET 3 OF 3



PRELIMINARY - NOT FOR CONSTRUCTION

BRIDGE LOT TOWNHOMES
 FULLER ROAD, WEST DES MOINES, IA 50265
 EROSION CONTROL DETAILS

DATE: 4TH SUB 06-30-2021
 3RD SUB 08-10-2021
 2ND SUB 07-11-2021
 1ST SUB 06-09-2021
 DATE OF SURVEY: MAR. 20, 2021
 DESIGNED BY: EHA
 DRAWN BY: EHA

NPDES PERMIT DISCHARGE
 AUTHORIZATION NUMBER
 CITY OF WEST DES MOINES GRADING
 PERMIT NUMBER XXXXX-XXXXX

3
 OF
 5
 AZ-21



REAR ELEVATION



FRONT ELEVATION

4" corner trim
and window trim

-  PORTSMOUTH SHAKE, COLOR: TREE MOSS
-  VINYL BOARD AND BATTEN SIDING, COLOR: LINEN
-  VINYL LAP SIDING, COLOR: BROWNSTONES
-  CENTURIAN STONE, COLOR: LEDGE DOVE

SCALE	1/4" = 1'
DATE	8-20-08
PROJECT	4 PLEX
DESIGNED BY	VP
DRAWN BY	VP

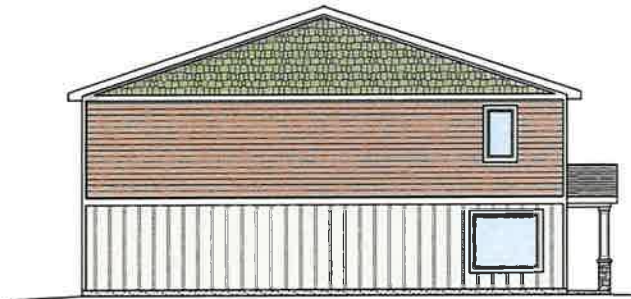
VP Design & Drafting, Inc.
515-243-1134

4 PLEX

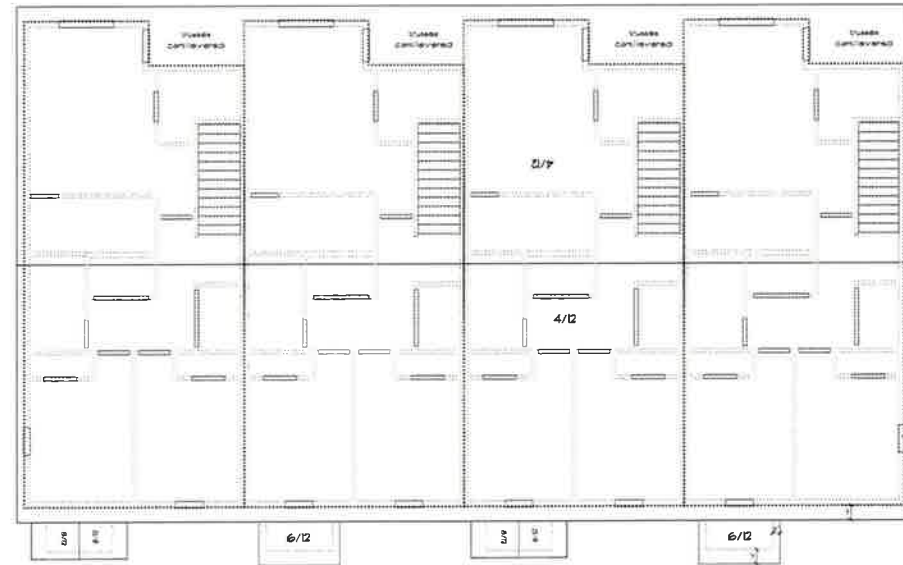


RIGHT ELEVATION

- PORTSMOUTH SHAKE, COLOR: TREE MOSS
- VINYL BOARD AND BATTEN SIDING, COLOR: LINEN
- VINYL LAP SIDING, COLOR: BROWNSTONES
- CENTURIAN STONE, COLOR: LEDGE DOVE



LEFT ELEVATION



BIRD'S EYE PLAN