

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: September 25, 2023

ITEM: High Point, Generally north and south of future Stagecoach Drive extension and between S. 81st Street and the future extension of S. 85th Street – Approve a Preliminary Plat to create 69 lots for Single Family Residential development, 5 Outlots and 4 Street Lots – High Point Group, LLC – PP-006103 -2023

Resolution: Approval of Preliminary Plat

Background: Jared Murray with Civil Design Advantage, on behalf of the applicant and property owner, High Point Group, LLC, requests approval of a Preliminary Plat for the approximately 76-acre property generally located north and south of future Stagecoach Drive extension and between S. 81st Street and the future extension of S. 85th Street. The applicant proposes to subdivide the property into sixty-nine (69) lots for Single Family residential development, two (2) outlots for future development, one (1) outlot for open space, one (1) outlot for storm water detention, one (1) outlot for Parkland Dedication and four (4) street lots to be dedicated to the city.

Staff Review & Comment:

- **Financial Impact:** As has been done with the balance of Stagecoach Drive, the developer and city have established an agreement for reimbursement of Stagecoach Drive construction costs through TIF.
- **Key Development Aspects:**
 1. **Street Connection to the West:** The subject property was purchased from James and Deborah Miller who retain ownership of the parcel immediately west of the site.

Master planning of the Superblock surrounding High Point began in 2021. The master plan included changes to the planned land uses and densities as well as significant changes to the ultimate roadway network. An extension of S. 85th St to Booneville Rd was eliminated, two east-west connections from S. 88th St to S. 81st St were eliminated, and Booneville Rd was relocated north to allow for development on both sides. To provide east-west connectivity, a collector street was shown from S. 88th St along the east side of the Miller's Pond tying into S. 85th St within High Point. These changes, while providing adequate level of service, resulted in fewer streets, meaning more traffic will be loaded onto those streets, thus, speeds will be increased, there will be more through traffic, and walkability/bikeability of the area is reduced. These consequences were outlined in the October 18, 2021, staff report for the Village at Sugar Creek comprehensive plan amendment and rezoning.

James Miller attended the August 7, 2023, Development and Planning Subcommittee meeting to express his concerns about the layout of the proposed High Point development and impacts to the future development potential of his property. The Subcommittee recommended High Point meet with the Millers to reach a mutually agreeable solution. High Point and the Millers have come to an agreement on a northern connection that will result in a road connection at S 88th Street at Sugar Creek Drive and continue east to tie into the northern cul-de-sac

shown on the High Point plat. High Point and the Millers have not been able to reach a mutually agreeable solution and are at an impasse over the need for a second connection to High Point at the southern end. The Miller's position is the minor collector east of the pond was infeasible to construct as a public street and adversely affected the developability of that area. From their perspective, a connection at the south end of High Point's western proposed cul-de-sac was necessary to provide adequate access. High Point contended the cul-de-sacs provide the most desirable lots and are integral to the financial viability of the development. (Development & Planning Subcommittee discussed this on September 18, 2023 – See discussion below)

Though not ideal layout for city circulation and connectivity, the proposed High Point development meets all applicable City requirements.

The Miller parcels will be challenging to develop regardless of how the property is accessed and Staff believes the Miller parcels have sufficient access from S. 88th St without a connection at the south end of High Point. However, depending on the ultimate land use on the Miller parcels, a connection to S. 88th St from High Point would be beneficial for overall circulation.

High Point desires to proceed with a preliminary plat so construction can start yet this year.

2. Residential Access to S. 81st Street: S. 81st Street is classified as a Major Collector and the only north-south roadway within the Superblock connecting anticipated Riverview Dr (new Booneville Rd) to Mills Civic Parkway. City Code 9-15-6.B.2, "prohibits the backing or backward movement of vehicles from a driveway... onto a major thoroughfare, including all thoroughfares designated as arterial or major collector streets." The anticipated traffic volumes, speeding of vehicles and both horizontal and vertical curves are safety concerns. Those lots fronting S. 81st Street will need to implement a house &/or driveway design in such a manner to allow drivers to utilize a forward movement when entering onto S. 81st Street. The developer has indicated that as part of the sale of a lot they will raise awareness of the forward only movement. Notes have been added to the plat drawing. Staff recommends a condition of approval to ensure awareness of this aspect.
3. Parkland Dedication: The High Point Development as submitted with 69 single family lots and 60 townhome units (within Outlot 'X'), requires dedication of a total of 1.83 acres of lands to satisfy the provisions of the Ordinance (consisting of 0.71 park acres and 1.12 greenway acres). The required dedication of 1.83 acres is less than the dedication of 3.27 acres (Outlot Y (Parkland) @ 2.74 acres + trail easements @ 0.53 acres) as illustrated on the High Point Preliminary Plat. The remaining balance of 1.44 acres may be applied toward the future high-density development intended within Outlot 'W'. Any remaining parkland dedication requirements for the high-density development above and beyond the credited 1.44 acres will be determined at the time of the Preliminary Plat/Site Plan review of that project.
4. Water Extensions: Water lines will be constructed in conjunction with the extensions of roads adjacent to the defined parcels and through the area. The looping of water from its existing location in S. 81st Street will be critical for appropriate flows for home sprinkler systems and adequate fire flows. Development of Outlot X (intended Amare Vita detached townhomes) will be

limited to footings and foundations only until such time that construction of the water lines adjacent to Stagecoach Dr and S. 85th Street from Stagecoach Dr to S. 81st Street is complete and the lines and hydrants operational. Additionally, any activity, including installation of footing and foundations on the single family lots will be prohibited until water lines are appropriately looped and operational to the Fire Marshal's satisfaction.

5. Temporary Grading Easement: The applicant is proposing construction grading that will occur on City owned property to the south of the High Point preliminary plat area. The City Attorney's office has prepared a temporary grading easement to allow this grading to occur. Assuming City Council agreement with the easement, it will be granted after the City Council's consideration of this plat.
- Traffic Impact Study Findings: The site is expected to generate slightly less traffic than what was previously assumed in the March 2023 High Point Comprehensive Plan Amendment Traffic Reanalysis. The planned roadway geometry is expected to have adequate capacity under full-build conditions. Lane configurations for the major roadways downstream of the site, as recommended in earlier traffic studies, remain adequate. Concerns with individual lot access onto S. 81st Street is noted above.
 - Developer Responsibilities: In conjunction with platting of the lots, the developer will be responsible for construction and/or installation of all required public and private infrastructure improvements necessary to support development. The following items are known improvements; additional improvements may be required in response to development proposals:
 1. Streets:
 - Stagecoach Drive from S. 81st Street to future S. 85th Street
 - S. 85th Street from the north property line to S. 81st Street
 - Temporary turnaround (including an easement) at the west terminus of the future extension of Stagecoach Drive. This turnaround is on the adjacent Sunset Company, LC property to the west.
 - All interior roadways
 - Development & Planning Subcommittee: The "superblock" area between S. Jordan Creek Parkway and S. 88th Street and between Booneville Road on the south and Stagecoach Drive on the north, which includes High Point (the subject development), and the proposed Village at Sugar Creek and Jordan Ridge developments were discussed at the Development & Planning Subcommittee meetings on June 7, 2021, and July 19, 2021. Residential types and density were the main points of discussion along with the question of entitlement of residential development for the area. Staff indicated a desire to ensure a wide range of housing types and price points would be developed within the area. At the July 19th meeting, staff provided a land use plan that met the needs of the pending developers while achieving a range of housing options. This proposed plat and intended dwelling types align with what was presented at that meeting,

September 18, 2023: Road connections to the Jim Miller property immediately to the west of High Point was discussed at the September 18, 2023, meeting. At the August 7, 2023, meeting, staff presented the proposed preliminary plat for informational purposes only as an Upcoming Project. Mr. Miller raised concerns with road connectivity between his property and the development. The Subcommittee requested staff facilitate a meeting between the property owners to resolve the matter. After a few meetings, High Point and the Millers were able to come to agreement with a road at the northern end that connects

S. 85th Street to S. 88th Street across the Miller property. A second Miller desired connection was discussed at the September 18, 2023, meeting. High Point's proposed street layout includes two North/South oriented cul-de-sacs to serve the proposed single-family lots. Jim Miller is requesting a street connection from the westernmost High Point cul-de-sac to his parcel to facilitate future development of his ground to the east and south of his existing pond. High Point is in disagreement with the connection and routing of potential high-density development traffic along what would otherwise be a quiet and desirable cul-de-sac. Staff indicated that multiple connections along S. 88th Street into the Miller's southern 13 acres is possible which could also provide access from the south to the Miller ground east of the pond. This in combination with an access off the northern agreed upon roadway makes the area east of the pond developable from an access standpoint. Staff noted that only one connection to the Miller property would be required by City Code which is being provided at the northern connection (noted as Sugar Creek Drive on the Preliminary Plat). The Council Members indicated they were supportive of High Point's street proposal as shown on the plat since it meets City Code requirements. The Subcommittee encouraged staff to ensure that as the High Gate property between the Miller property and Stagecoach Dr is brought through the review process to work to secure a roadway connection between Stagecoach Drive and Sugar Creek Drive for the Miller's.

- Conditions of Approval:

- Sanitary Sewer Capacity: The existing sanitary sewer that serves this larger "superblock" area was originally sized based on a large amount of low-density residential development within the area. In response to the relocation of Des Moines University (DMU) from the City of Des Moines to the property immediately to the south has resulted in a desire and need for changes in the previously planned land uses. A sanitary sewer capacity analysis identified multiple segments of sanitary sewer with insufficient capacity under the existing Comprehensive Plan density and proposed land uses of the larger "superblock" area. Proposed improvements have been identified to resolve the capacity deficiencies. These improvements can be deferred until development and density thresholds are met.

Staff believes that each property has entitlement to capacity based on the current adopted land uses and that the participation in costs to upsize should be based on the increase in waste based on their requested land use change(s). Since the proposed High Point development is proposed at a lesser density than that which would be allowed at maximum density under the currently assigned land uses, it is not anticipated that this development will have any contribution to sewer upgrades. However, until actual site development locks in the final land use and dwelling unit count for all of the High Point ground, staff recommends a condition of approval requiring the Applicant to acknowledge that any proposed land use changes that contribute to sanitary sewer loads exceeding those generated of the adopted 2010 comprehensive plan land uses may result in loads which are greater than the existing infrastructure can accommodate. The Applicant further acknowledging that capacity improvements may be necessary, and that the Applicant will be responsible for the proportionate share for the costs of said improvements for sewer loads which exceed the assigned 2010 Comprehensive Plan Land Uses.

- Plat Validity: Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final Plat consideration. It is the responsibility of the developer

to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: September 25, 2023

Vote:

Recommendation:

Recommendation: Approve the Preliminary Plat subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. Applicant/developer acknowledge that they will be responsible for their proportionate share of costs for sanitary sewer capacity improvements resulting from any proposed land use changes within the High Point development that contribute to sanitary sewer loads exceeding those that otherwise would be generated by development at maximum allowed density of the adopted 2010 Comprehensive Plan assigned land.
2. The applicant/developer acknowledging that the appropriate road network will need to be constructed to support intended development and unless responsibilities are otherwise defined in a development agreement with the City, that the applicant/developer will be responsible for the implementation of the necessary roadways to serve their development. Furthermore, the applicant/developer acknowledging that development of any parcel being created with platting, including the single-family lots, may be restricted until adequate road and water infrastructure are completed to the satisfaction of the City's Fire Marshal. The restriction includes prohibiting above ground construction until the Fire Marshal determines appropriate accesses and water flows are installed and useable.
3. The developer acknowledging that vehicles backing out onto S. 81st Street is prohibited. The developer agrees to inform and require buyers of lots that front to S. 81st Street that all turns onto S. 81st Street are a forward movement, and the developer shall implement measures during the sale of the lot and their approval of a dwelling's layout on the lot to be such to ensure that the design of the garage(s) and driveway are such that allow and promote vehicles to be able to orient for forward movement from the lot onto S. 81st Street.
4. The applicant acknowledging that the Parkland Dedication Agreement shall be executed with the approval of the first final plat for any ground within the High Point Preliminary Plat area.
5. The City Council granting a temporary construction grading easement to allow grading as shown on this approved Preliminary Plat to occur on City owned property to the south of the proposed preliminary plat area.

Lead Staff Member: Brian Portz

Approval Meeting Dates:

Planning and Zoning Commission	September 25, 2023
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

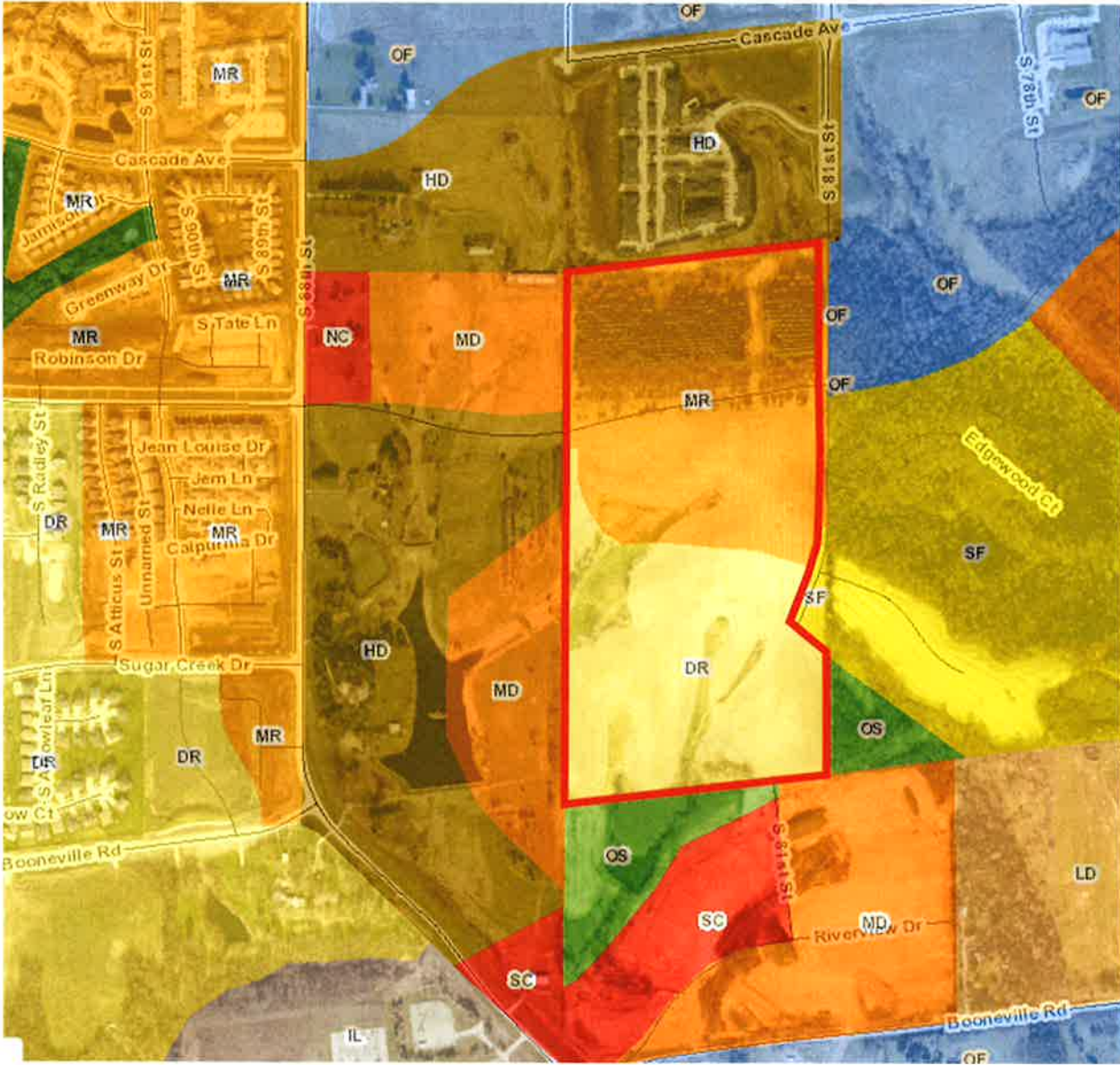
Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	6/7/2021, 7/19/ 2021, 8/7/ 2023, & 9/18/2023
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

Location Map



Current Land Use Map



PRELIMINARY PLAT FOR: HIGH POINT

WEST DES MOINES, IOWA

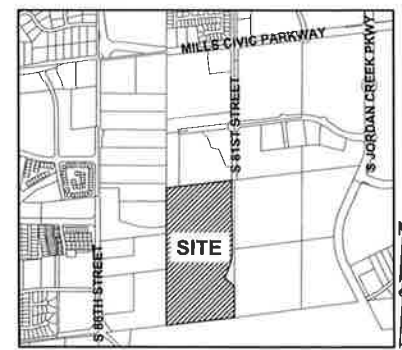
LEGEND

FEATURES	
PROPOSED	EXISTING
GROUND SURFACE CONTOUR	GROUND SURFACE CONTOUR
TYPE SW-501 STORM INTAKE	SANITARY MANHOLE
TYPE SW-502 STORM INTAKE	WATER VALVE BOX
TYPE SW-503 STORM INTAKE	FIRE HYDRANT
TYPE SW-505 STORM INTAKE	WATER CURB STOP
TYPE SW-506 STORM INTAKE	WELL
TYPE SW-512 STORM INTAKE	STORM SEWER MANHOLE
TYPE SW-513 STORM INTAKE	STORM SEWER SINGLE INTAKE
TYPE SW-401 STORM MANHOLE	STORM SEWER DOUBLE INTAKE
TYPE SW-402 STORM MANHOLE	FLARED END SECTION
FLARED END SECTION	DECIDUOUS TREE
TYPE SW-301 SANITARY MANHOLE	CONIFEROUS TREE
STORM/SANITARY CLEANOUT	DECIDUOUS SHRUB
WATER VALVE	CONIFEROUS SHRUB
FIRE HYDRANT ASSEMBLY	ELECTRIC POWER POLE
SIGN	GUY ANCHOR
DETECTABLE WARNING PANEL	STREET LIGHT
SANITARY SEWER WITH SIZE	POWER POLE W/ TRANSFORMER
STORM SEWER	UTILITY POLE W/ LIGHT
WATERMAIN WITH SIZE	ELECTRIC BOX
	ELECTRIC TRANSFORMER
	ELECTRIC MANHOLE OR VAULT
SURVEY	TRAFFIC SIGN
SECTION CORNER	TELEPHONE JUNCTION BOX
1/2" REBAR, YELLOW CAP #18880 (UNLESS OTHERWISE NOTED)	TELEPHONE MANHOLE/VAULT
ROW MARKER	TELEPHONE POLE
ROW RAIL	GAS VALVE BOX
PLATTED DISTANCE	CABLE TV JUNCTION BOX
MEASURED BEARING & DISTANCE	CABLE TV MANHOLE/VAULT
RECORDED AS	MAIL BOX
DEED DISTANCE	BENCHMARK
CALCULATED DISTANCE	SOIL BORING
CURVE ARC LENGTH	UNDERGROUND TV CABLE
MINIMUM 100 YEAR FLOOD	GAS MAIN
PROTECTION ELEVATION	FIBER OPTIC
CENTERLINE	UNDERGROUND TELEPHONE
SECTION LINE	OVERHEAD ELECTRIC
1/4 SECTION LINE	UNDERGROUND ELECTRIC
1/4 1/4 SECTION LINE	FIELD TILE
EASEMENT LINE	SANITARY SEWER W/ SIZE
LOT LINE	STORM SEWER W/ SIZE
RIGHT OF WAY	WATER MAIN W/ SIZE
BUILDING SETBACK	
PLAT BOUNDARY	

PROPERTY DESCRIPTION

THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN EXCEPT LOT 'A' AND OUTLOT 'W', FOREST POINTE PLAT 1, AN OFFICIAL PLAT AND EXCEPT LOT 'A', LOT 1 AND OUTLOT 'Z', FOREST POINTE PLAT 2, AN OFFICIAL PLAT, ALL IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.

VICINITY MAP



WEST DES MOINES, IOWA

OWNER/APPLICANT

HIGH POINT GROUP, LLC
CONTACT: JAKE RIED
6205 MILLS CIVIC PARKWAY, SUITE 200
PH: (515) 202-5690

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
CONTACT: JARED MURRAY
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH: (515) 369-4400

DATE OF SURVEY

JULY 29, 2022

ZONING

R-1: SINGLE-FAMILY RESIDENTIAL DISTRICT
RM-12: RESIDENTIAL MEDIUM DENSITY
RH-18: RESIDENTIAL HIGH DENSITY

COMPREHENSIVE LAND USE

DETACHED RESIDENTIAL

BULK REGULATIONS

R-1: SINGLE-FAMILY RESIDENTIAL DISTRICT

SETBACKS	
FRONT YARD	= 30 FT
REAR YARD	= 35 FT
SIDE YARD	= 7 FT (14 FT TOTAL)
MINIMUM LOT WIDTH	= 50 FT (ADDITIONAL 25 FT FOR CORNER LOTS)
MINIMUM LOT FRONTAGE	= 40 FT
MINIMUM LOT AREA	= 7,500 SF

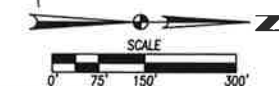
BENCHMARKS

WDM BM #87
3960± FEET WEST OF INTERSECTION OF SOUTH 88TH STREET AND 335TH STREET (DALLAS COUNTY), 3 FEET NORTH OF EAST/WEST FENCE, 10 FEET EAST OF NORTH/SOUTH FENCE, ON 335TH STREET ACROSS FROM THE HOUSE #3307 AND #3309. ELEVATION=167.68

WDM BM #99
410± FEET WEST OF INTERSECTION OF S. JORDAN CREEK PARKWAY AND BOONEVILLE ROAD, 2 FEET NORTH OF EAST/WEST FENCE, SOUTH SIDE OF BOONEVILLE ROAD. ELEVATION=81.57

DEVELOPMENT SUMMARY

TOTAL AREA OF SITE = 76.15 ACRES (3,317,089 SF)



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

JARED M. MURRAY, P.E. DATE
LICENSE NUMBER 23496 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023 PAGES OR SHEETS COVERED BY THIS SEAL:
ALL SHEETS

REVISIONS
FINAL SUBMITTAL
5TH SUBMITTAL
4TH SUBMITTAL
3RD SUBMITTAL
2ND SUBMITTAL
1ST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

TECH: JDS



CIVIL DESIGN ADVANTAGE
ENGINEER: JMM

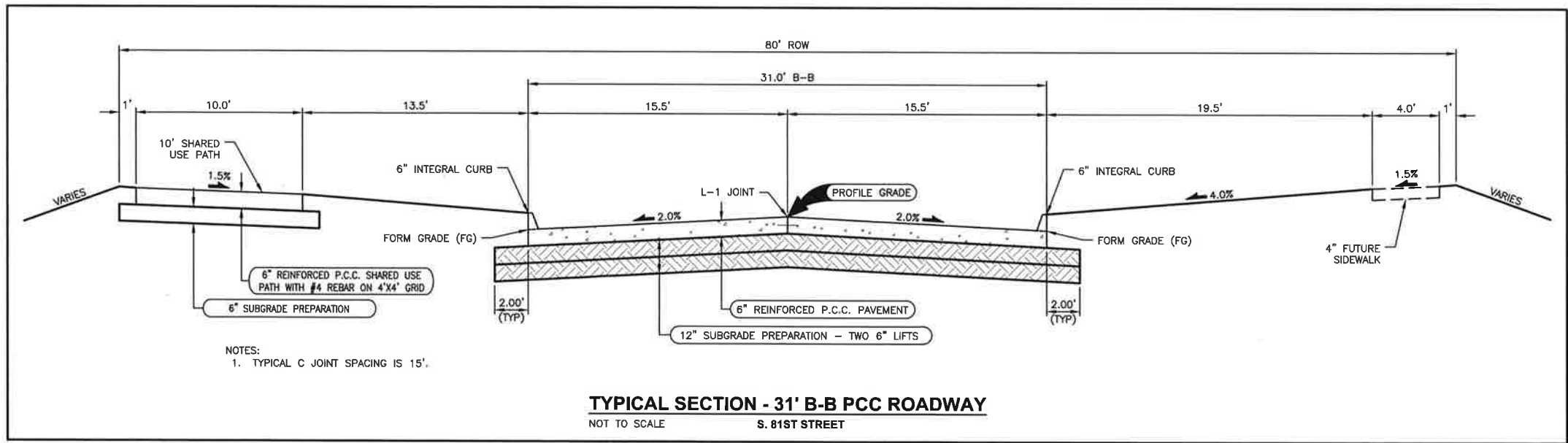
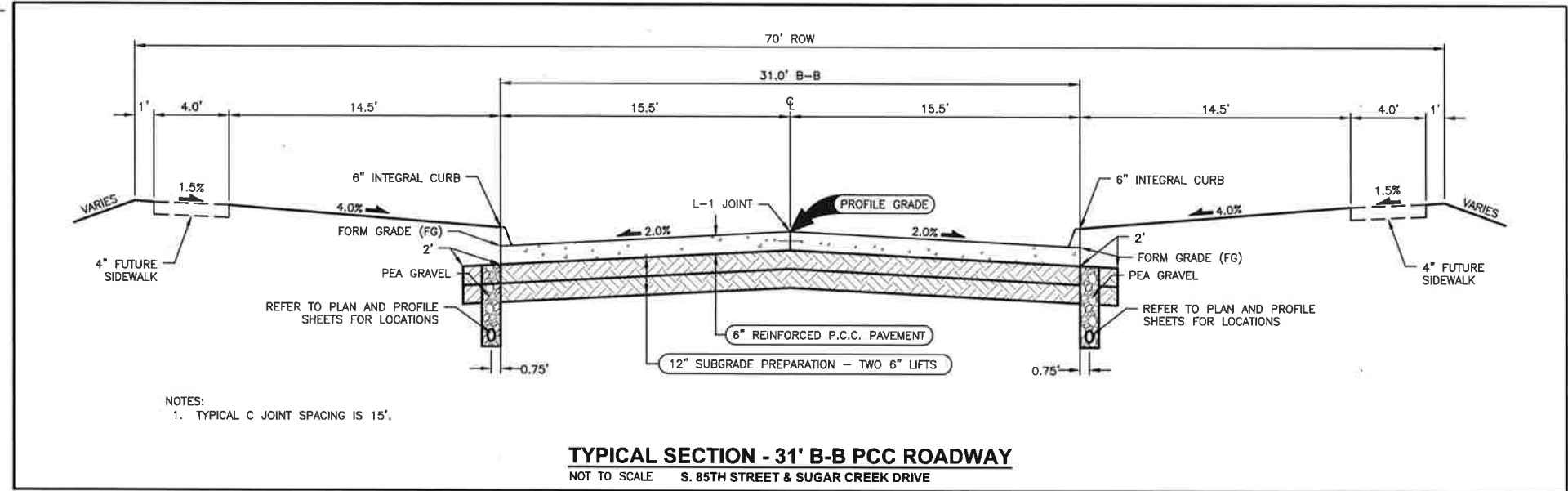
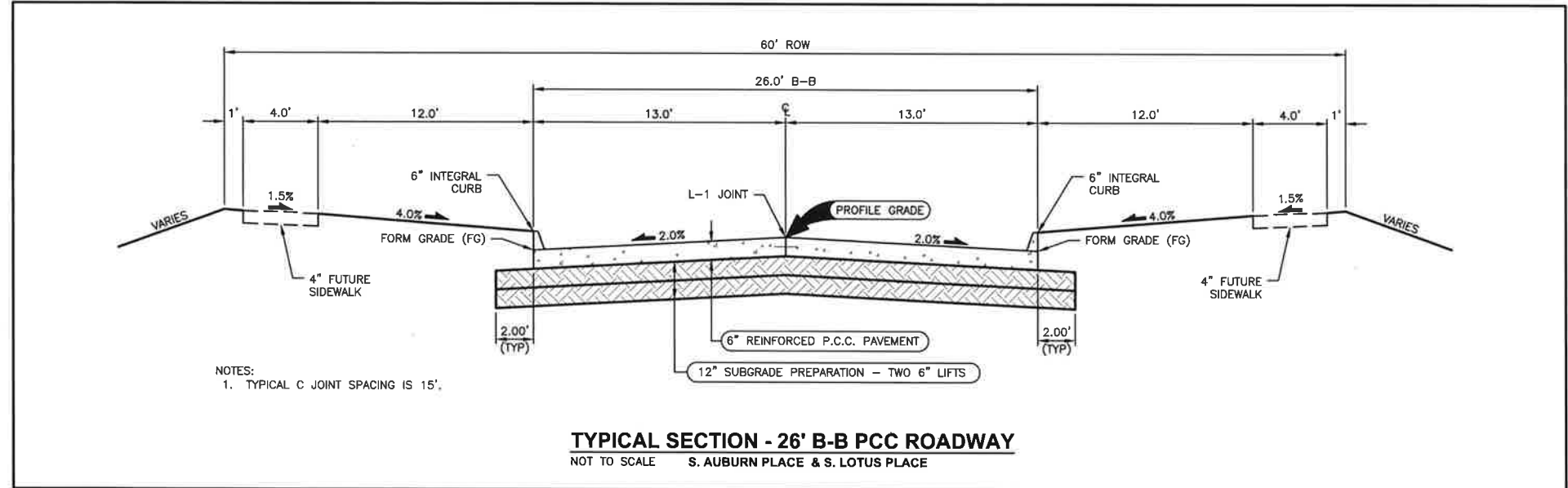
HIGH POINT PRELIMINARY PLAT

NOTES

1. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE 2023 EDITION OF WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
3. CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTIONS.
4. NO STRUCTURES, INCLUDING SHEDS, PLAY STRUCTURES, DECKS, GAZEBOS, ETC. MAY BE LOCATED WITHIN A BUFFER PARK.
5. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
6. ALL WATER MAIN, SANITARY SEWER AND STORM SEWER ARE PUBLIC UNLESS OTHERWISE NOTED.
7. ALL CONNECTIONS TO THE PUBLIC SEWERS SHALL BE CORE DRILLED.
8. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES (222-3475) TO SCHEDULE ANY REQUIRED INSPECTIONS. R.O.W. EXCAVATION PERMITS CAN BE OBTAINED AT THE PUBLIC SERVICES FACILITY (222-3480). IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
9. PRIOR TO CONSTRUCTION ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
10. PROPERTY OWNER/DEVELOPER(S) WILL BE RESPONSIBLE FOR THE INSTALLATION OF SIDEWALKS ADJACENT TO ALL PUBLIC STREETS BORDERING THE PROPERTY.
11. OUTLOTS ARE UNBUILDABLE AND WILL BE REPLATTED ONCE FUTURE DEVELOPMENT OCCURS.
12. DISCHARGES FROM DEWATERING ACTIVITIES, INCLUDING DISCHARGES FROM DEWATERING OF TRENCHES AND EXCAVATIONS, ARE PROHIBITED UNLESS MANAGED BY APPROPRIATE CONTROLS.
13. STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. IN DROUGHT-STRIKEN AREAS AND AREAS THAT HAVE RECENTLY RECEIVED SUCH HIGH AMOUNTS OF RAIN THAT SEEDING WITH FIELD EQUIPMENT IS IMPOSSIBLE AND INITIATING VEGETATIVE STABILIZATION IMMEDIATELY IS INFEASIBLE, ALTERNATIVE STABILIZATION MEASURES MUST BE EMPLOYED AS SPECIFIED BY THE DEPARTMENT. IN LIMITED CIRCUMSTANCES, STABILIZATION MAY NOT BE REQUIRED IF THE INTENDED FUNCTION OF A SPECIFIC AREA OF THE SITE NECESSITATES THAT IF REMAIN DISTURBED.
14. OFF-SITE VEHICLE TRACKING OF SEDIMENTS SHALL BE MINIMIZED.
15. BACKING ONTO STAGECOACH DRIVE, S. 85TH STREET NORTH OF STAGECOACH DRIVE, OR S. 81ST STREET IS NOT ALLOWED.
16. ANY MODIFICATIONS TO THE EXISTING 10' TRAIL ALONG OUTLOT 'X', OUTLOT 'W' AND LOTS 18-20 WILL NEED CONNECTIONS/REPAIRS REPLACED BACK TO WEST DES MOINES CITY STANDARDS.
17. CROSS SLOPES OF ALL TRAILS SHOULD NOT EXCEED 2%.

WEST DES MOINES WATER WORKS STANDARD NOTES:

1. ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
2. ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
3. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISIONS.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 1297, 54-1998. CONTRACTOR SHALL NOTIFY THEIR PROJECT'S WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND, WHERE REQUIRED BY THE CITY OF WEST DES MOINES PLUMBING CODE, SHALL INSTALL A PRESSURE REDUCING VALVE(S) WITH EXPANSION TANK(S). WHERE REQUIRED, PRESSURE REDUCING VALVE(S) AND TANK(S) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METER(S) AND BACKFLOW PREVENTION ASSEMBLY(IES) SERVING THE SITE.



FILE: R:\2023\100731\100731-1\PRELIMINARY PLATINGS
 DATE PLOTTED: 9/27/2023 10:10 AM
 PLOT DATE: 9/27/2023
 PLOT TIME: 10:10 AM

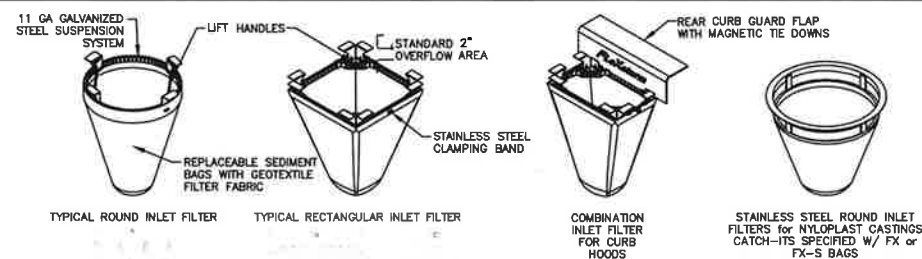
REVISIONS	DATE
FINAL SUBMITTAL	09/14/2023
5TH SUBMITTAL	08/30/2023
4TH SUBMITTAL	08/15/2023
3RD SUBMITTAL	08/07/2023
2ND SUBMITTAL	07/14/2023
1ST SUBMITTAL	06/23/2023

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CIVIL DESIGN ADVANTAGE
 WEST DES MOINES, IOWA

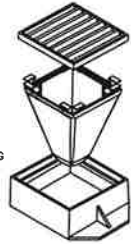
HIGH POINT
TYPICAL SECTIONS AND DETAILS



INLET FILTER	FRAMING TYPE AND SIZE	FRAMING SIZE
11 GA GALVANIZED STEEL SUSPENSION SYSTEM	11 GA GALVANIZED STEEL SUSPENSION SYSTEM	11 GA GALVANIZED STEEL SUSPENSION SYSTEM
TYPICAL ROUND INLET FILTER	TYPICAL ROUND INLET FILTER	TYPICAL ROUND INLET FILTER
TYPICAL RECTANGULAR INLET FILTER	TYPICAL RECTANGULAR INLET FILTER	TYPICAL RECTANGULAR INLET FILTER
COMBINATION INLET FILTER FOR CURB HOODS	COMBINATION INLET FILTER FOR CURB HOODS	COMBINATION INLET FILTER FOR CURB HOODS
STAINLESS STEEL ROUND INLET FILTERS	STAINLESS STEEL ROUND INLET FILTERS	STAINLESS STEEL ROUND INLET FILTERS

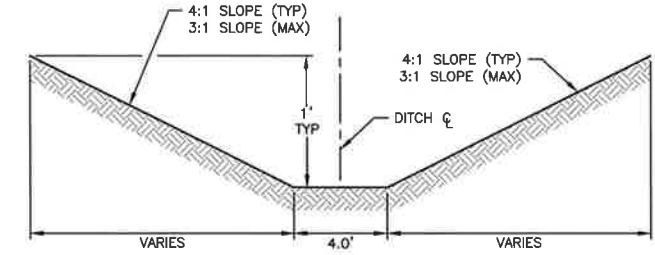
INLET FILTER	FRAMING TYPE AND SIZE	FRAMING SIZE
11 GA GALVANIZED STEEL SUSPENSION SYSTEM	11 GA GALVANIZED STEEL SUSPENSION SYSTEM	11 GA GALVANIZED STEEL SUSPENSION SYSTEM
TYPICAL ROUND INLET FILTER	TYPICAL ROUND INLET FILTER	TYPICAL ROUND INLET FILTER
TYPICAL RECTANGULAR INLET FILTER	TYPICAL RECTANGULAR INLET FILTER	TYPICAL RECTANGULAR INLET FILTER
COMBINATION INLET FILTER FOR CURB HOODS	COMBINATION INLET FILTER FOR CURB HOODS	COMBINATION INLET FILTER FOR CURB HOODS
STAINLESS STEEL ROUND INLET FILTERS	STAINLESS STEEL ROUND INLET FILTERS	STAINLESS STEEL ROUND INLET FILTERS

- NOTES:
- ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL (ZINC PLATED OR GALVANIZED) FOR 7 YEAR MINIMUM SERVICE LIFE.
 - UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
 - FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

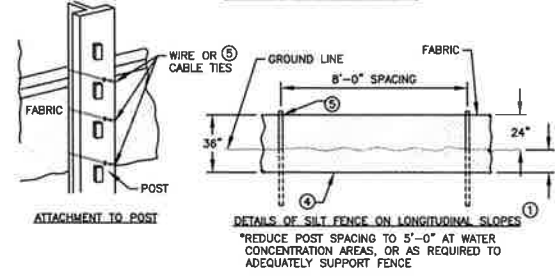
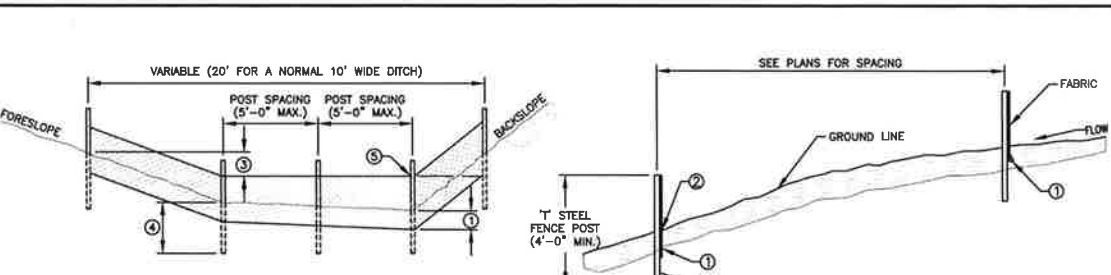


ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF AID, INC. WWW.INLETFILTERS.COM (866) 287-8655 PH (630) 293-9477 FX INFO@INLETFILTERS.COM

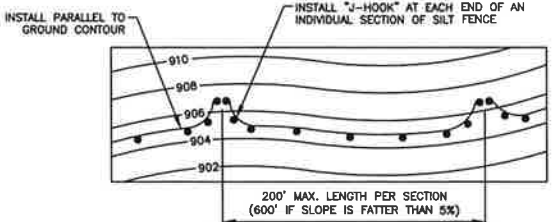
FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION PRODUCT SELECTION AND SPECIFICATION DRAWING
NOT TO SCALE



TYPICAL SWALE SECTION
NOT TO SCALE



TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES (PROFILE VIEW)

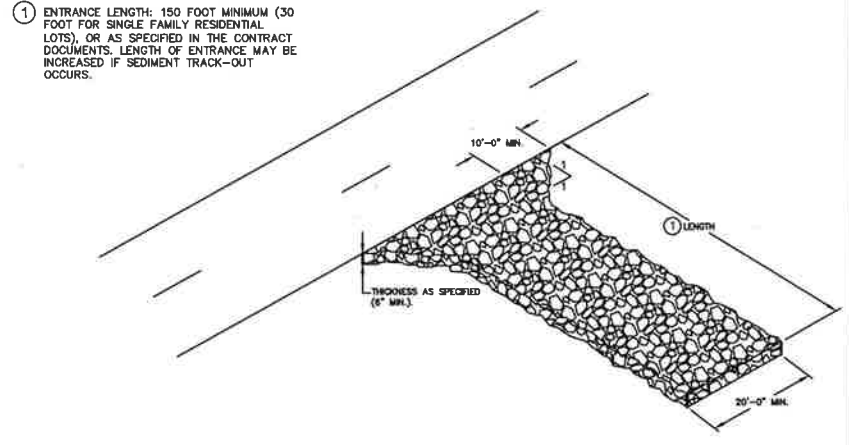


TYPICAL SILT FENCE INSTALLATION ON LONGITUDINAL SLOPES (PLAN VIEW)

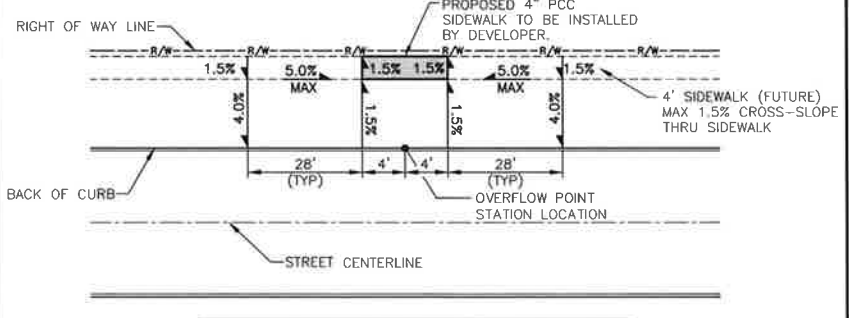
GENERAL NOTES:
INSTALL SILT FENCE ACCORDING TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS AND AT LOCATIONS SHOWN IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE JURISDICTIONAL ENGINEER.

- INSERT 12 IN. OF FABRIC A MINIMUM OF 6 IN. DEEP (FABRIC MAY BE FOLDED BELOW THE GROUND LINE)
- COMPACT GROUND BY DRIVING ALONG EACH SIDE OF THE SILT FENCE AS REQUIRED TO SUFFICIENTLY SECURE THE FABRIC IN THE TRENCH TO PREVENT PULLOUT AND FLOW UNDER THE FENCE.
- IN DITCHES, EXTEND SILT FENCE UP SIDE SLOPE SO THE BOTTOM ELEVATION AT THE END OF THE FENCE IS A MINIMUM OF 2 IN. HIGHER THAN THE TOP OF THE FENCE IN THE LOW POINT OF THE DITCH.
- STEEL POSTS TO BE EMBEDDED 20 IN. UNLESS OTHERWISE ALLOWED BY THE JURISDICTIONAL ENGINEER.
- SECURE TOP OF ENGINEERING FABRIC TO STEEL POSTS USING WIRE OR PLASTIC TIES (50 LB. MIN.). SEE DETAILS OF "ATTACHMENT TO POSTS."

SILT FENCE
NOT TO SCALE

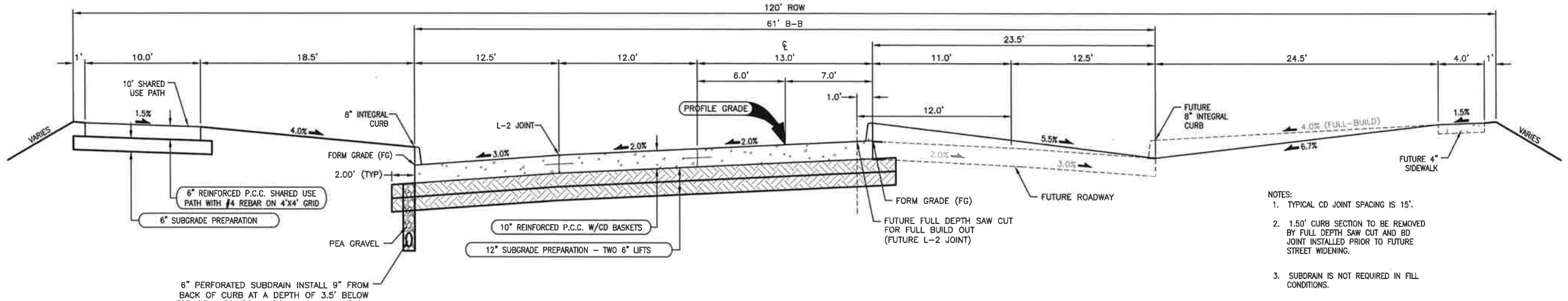


STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



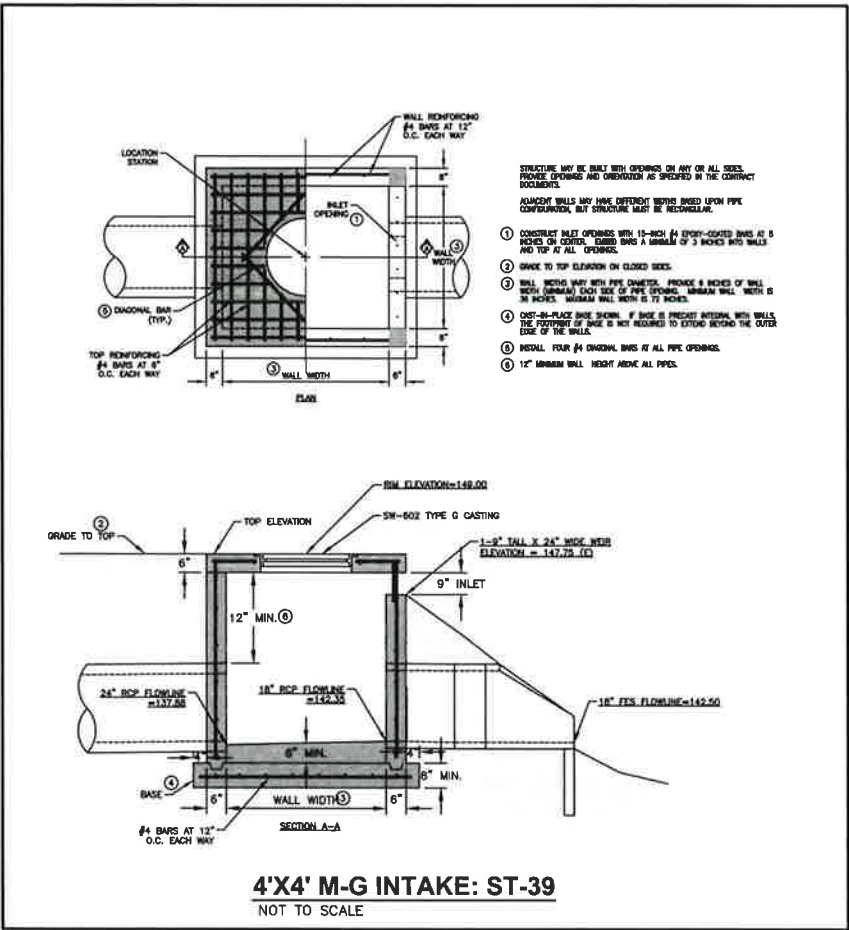
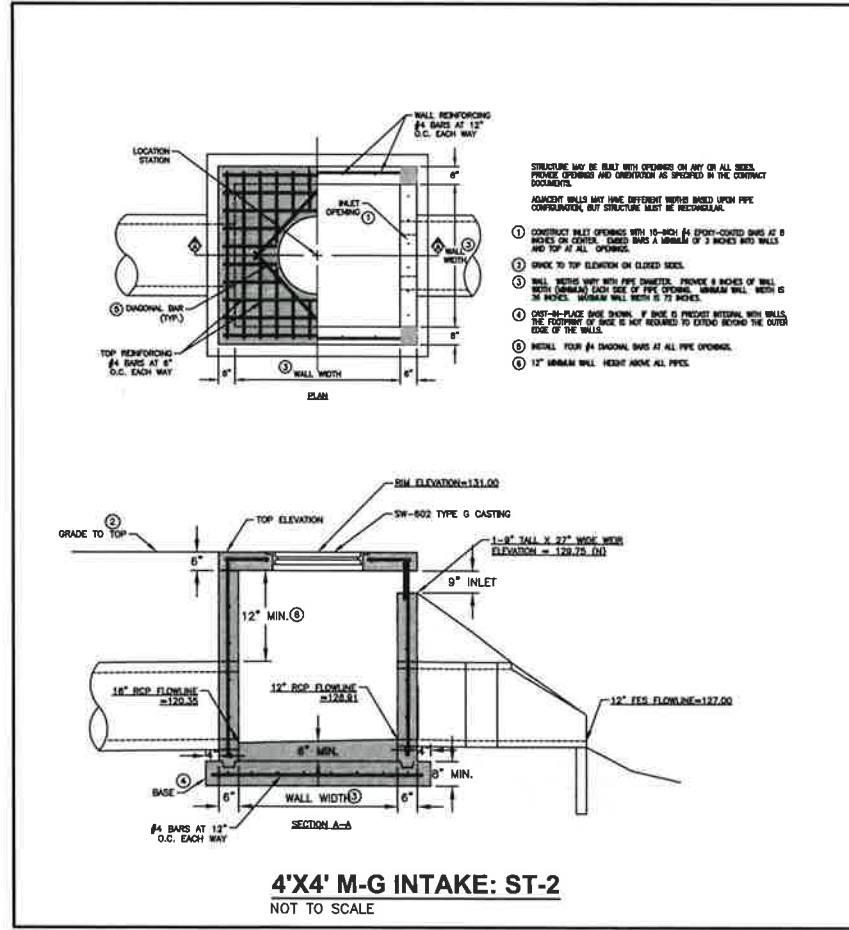
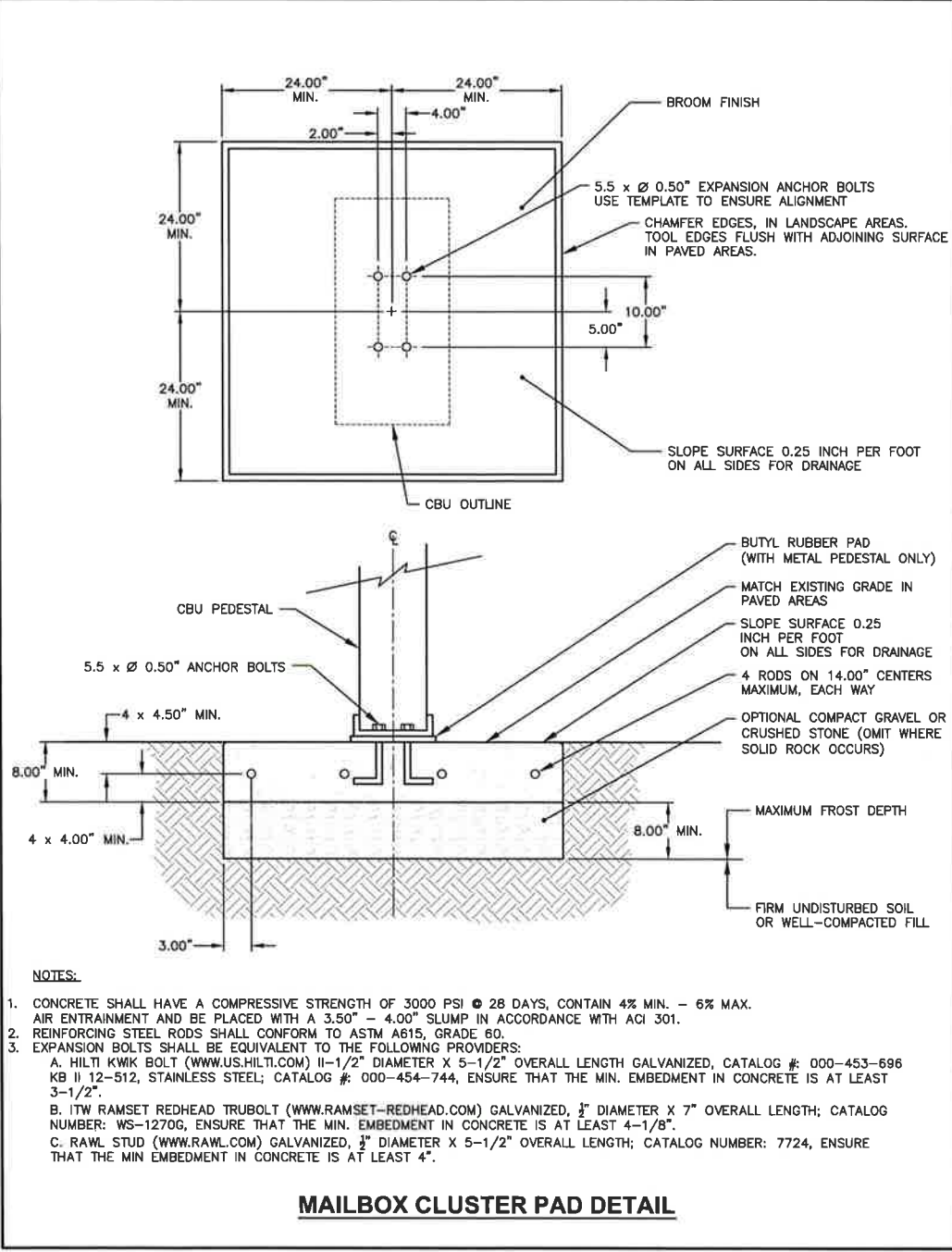
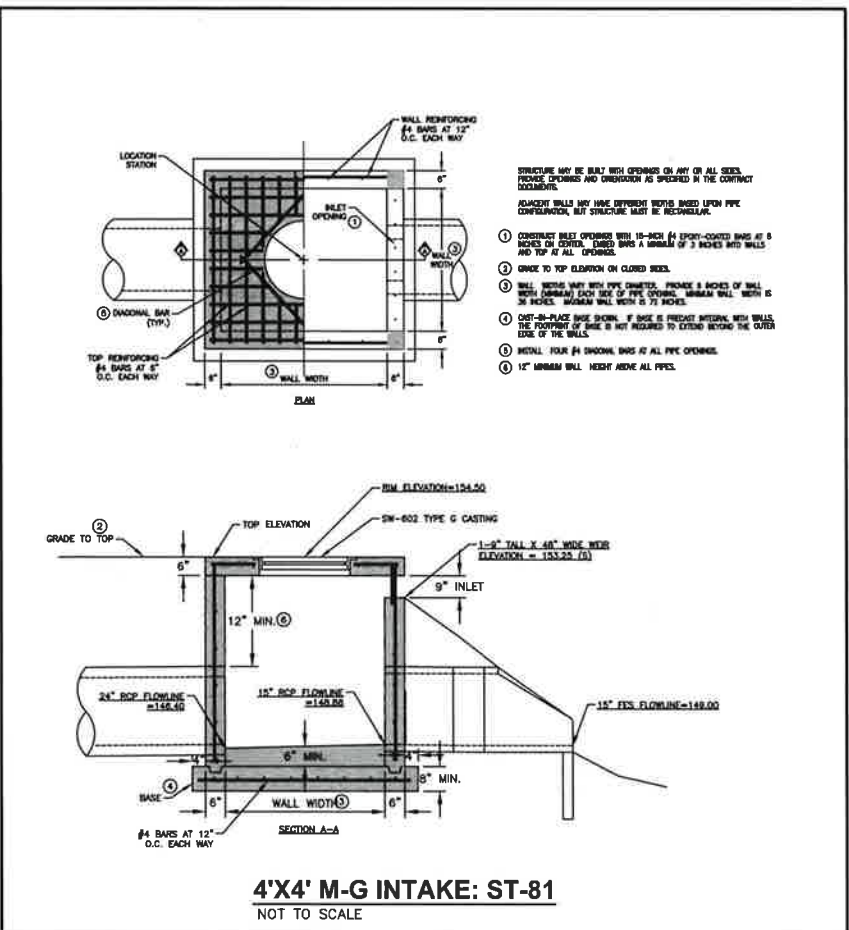
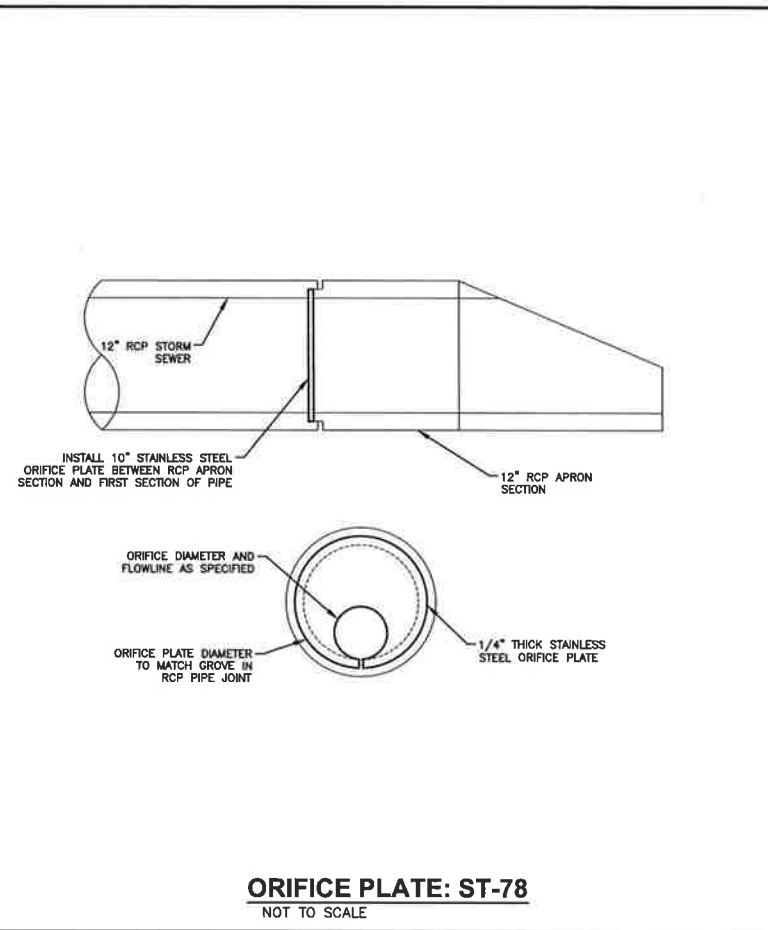
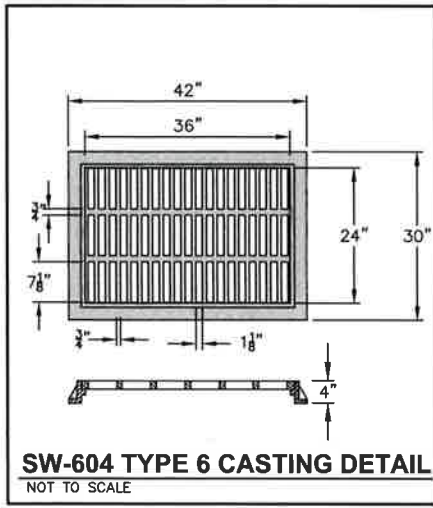
STREET	STATION	SIDE
S. AUBURN PLACE	252+64	RT
S. LOTUS PLACE	302+52	LT

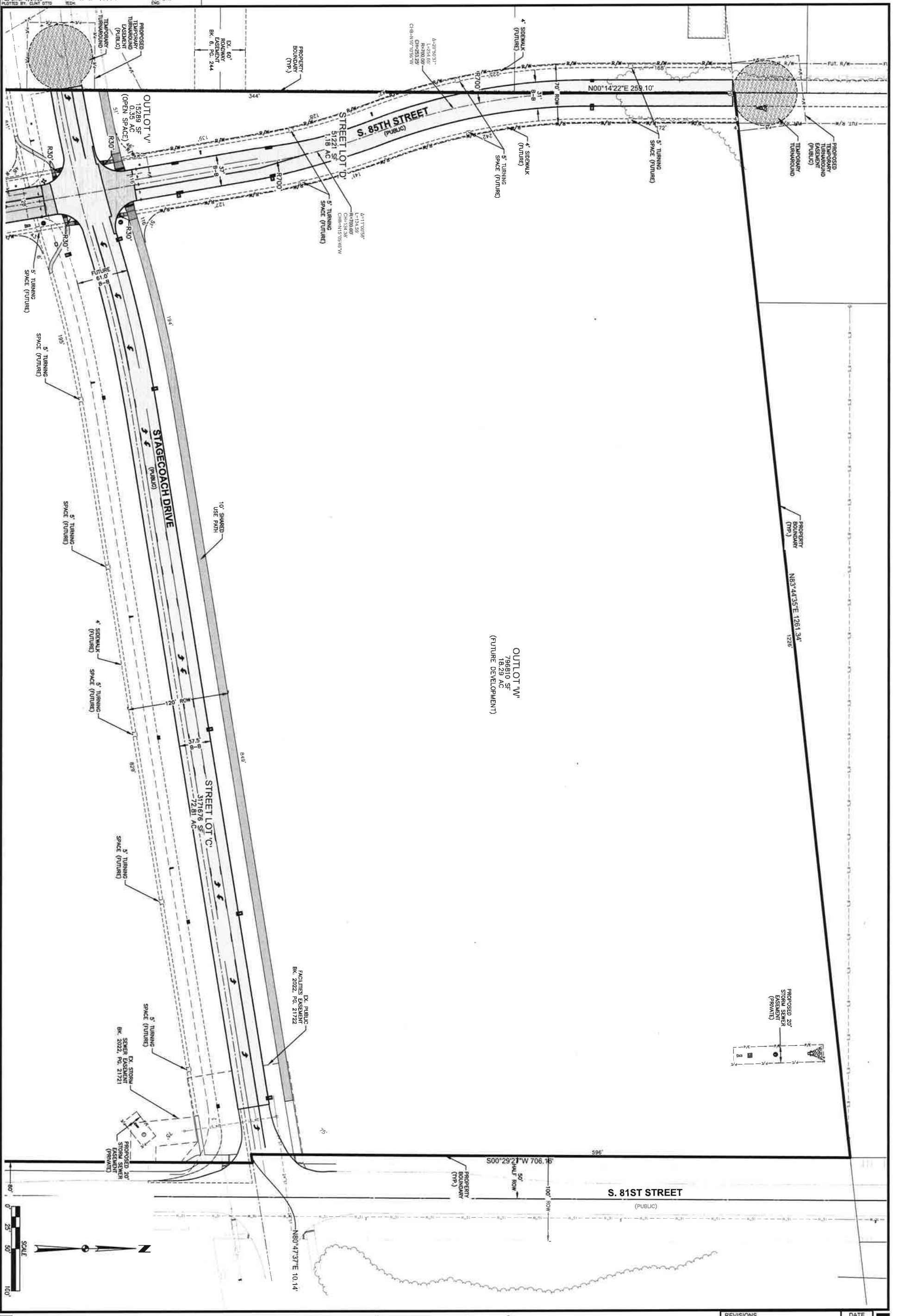
TYPICAL RIGHT OF WAY GRADING AT STORM WATER OVERFLOW POINTS
NOT TO SCALE



- NOTES:
- TYPICAL CD JOINT SPACING IS 15'.
 - 1.50' CURB SECTION TO BE REMOVED BY FULL DEPTH SAW CUT AND BD JOINT INSTALLED PRIOR TO FUTURE STREET WIDENING.
 - SUBDRAIN IS NOT REQUIRED IN FILL CONDITIONS.

TYPICAL SECTION - 61' B-B PCC ROADWAY - STAGECOACH DRIVE
NOT TO SCALE

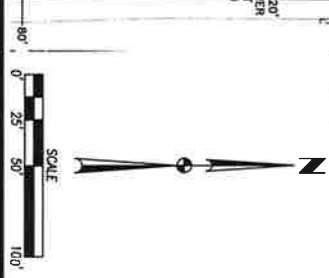
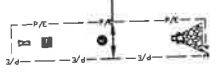




OUTLOT 'W'
 79680 SF
 18.29 AC
 (FUTURE DEVELOPMENT)

PROPERTY
 BK. 6, PC. 244
 N83°44'35\"/>

PROPOSED 20\"/>



5/13
 2109731

**HIGH POINT
 DIMENSION PLAN**

WEST DES MOINES, IOWA



CIVIL DESIGN ADVANTAGE

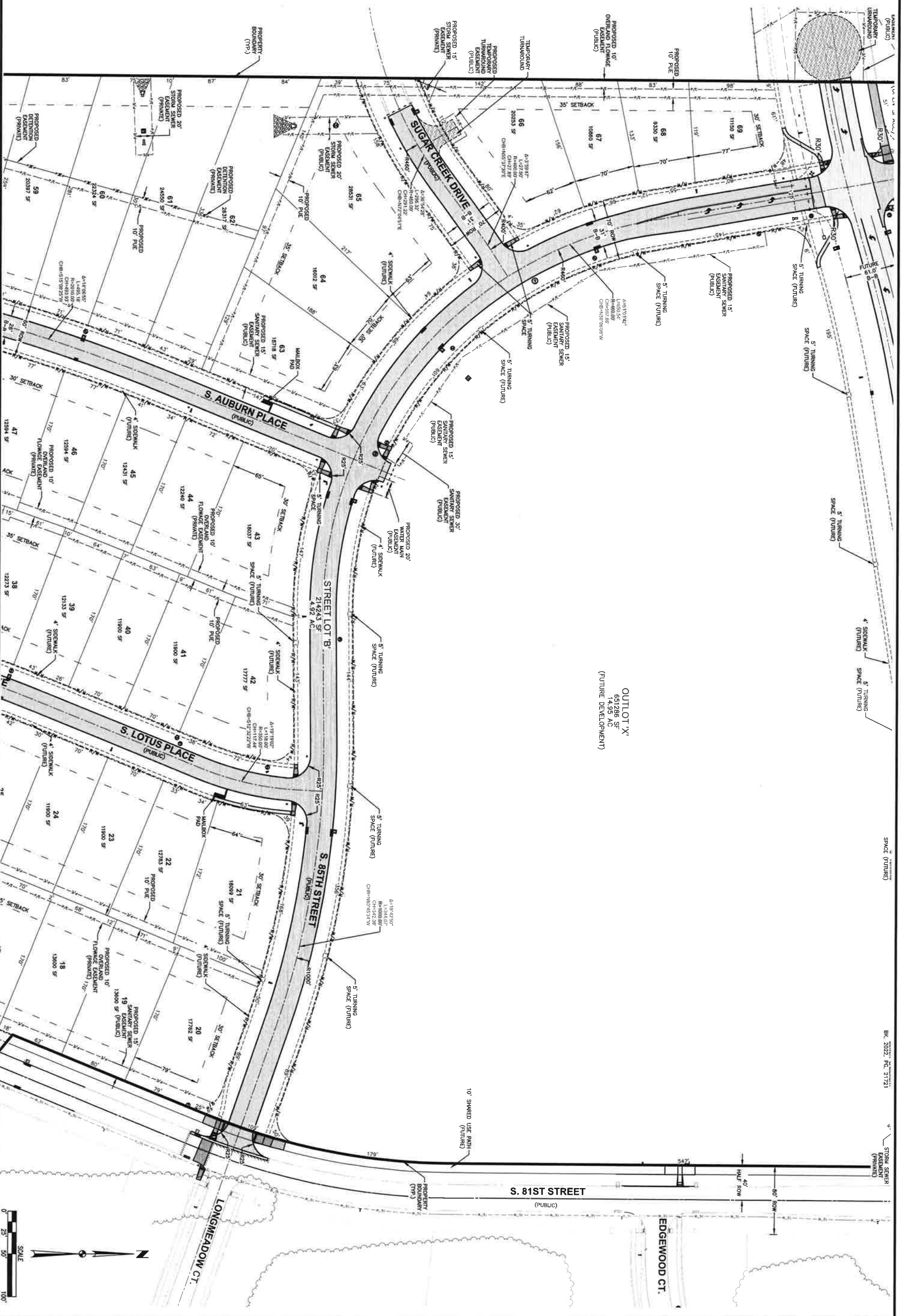
4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

ENGINEER: JMM

TECH: JDS

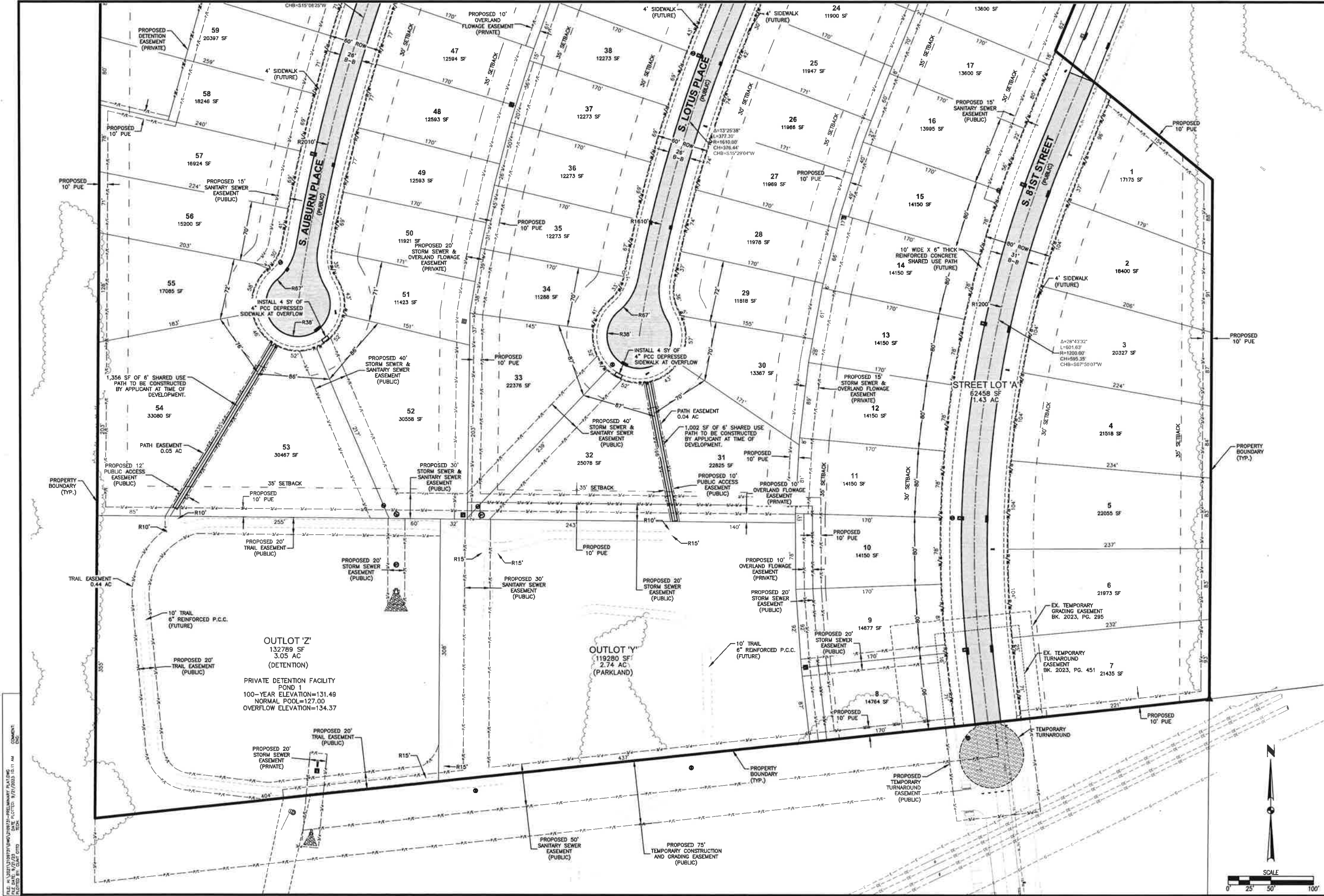
REVISIONS	DATE
FINAL SUBMITTAL	09/14/2023
5TH SUBMITTAL	08/30/2023
4TH SUBMITTAL	08/15/2023
3RD SUBMITTAL	06/07/2023
2ND SUBMITTAL	07/14/2023
1ST SUBMITTAL	06/23/2023





OUTLOT X
 651296 SF
 14.95 AC
 (FUTURE DEVELOPMENT)

REVISIONS	DATE
FINAL SUBMITTAL	09/14/2023
5TH SUBMITTAL	08/30/2023
4TH SUBMITTAL	08/15/2023
3RD SUBMITTAL	08/07/2023
2ND SUBMITTAL	07/14/2023
1ST SUBMITTAL	06/23/2023



FILE # 2109731.DWG - PRELIMINARY PLANNING
 DATE PLOTTED: 8/7/2023 10:11 AM
 DRAWN BY: JMM
 CHECKED BY: JMM

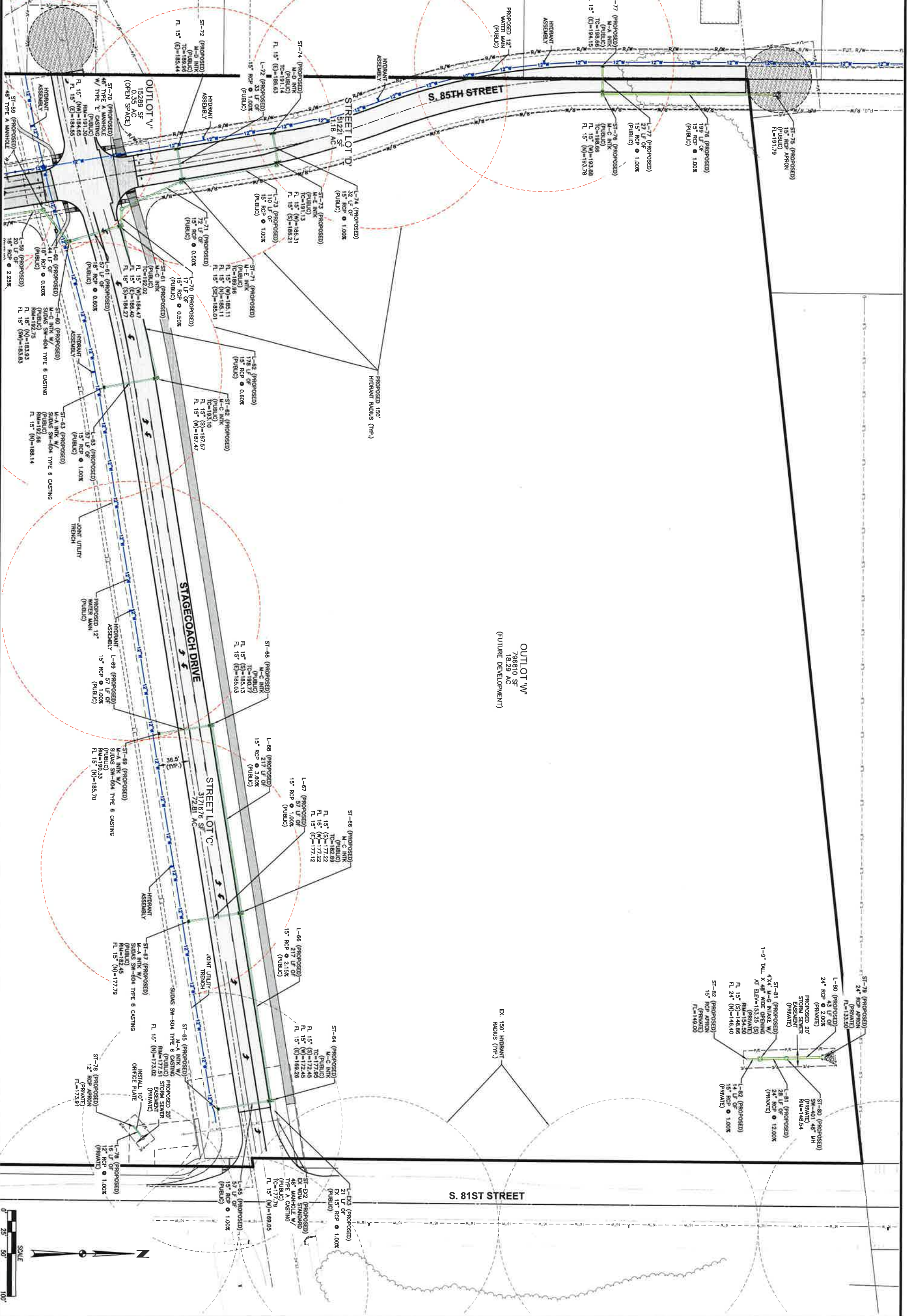
REVISIONS	DATE
1ST SUBMITTAL	06/23/2023
2ND SUBMITTAL	07/14/2023
3RD SUBMITTAL	08/07/2023
4TH SUBMITTAL	08/15/2023
5TH SUBMITTAL	08/30/2023
FINAL SUBMITTAL	09/14/2023

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

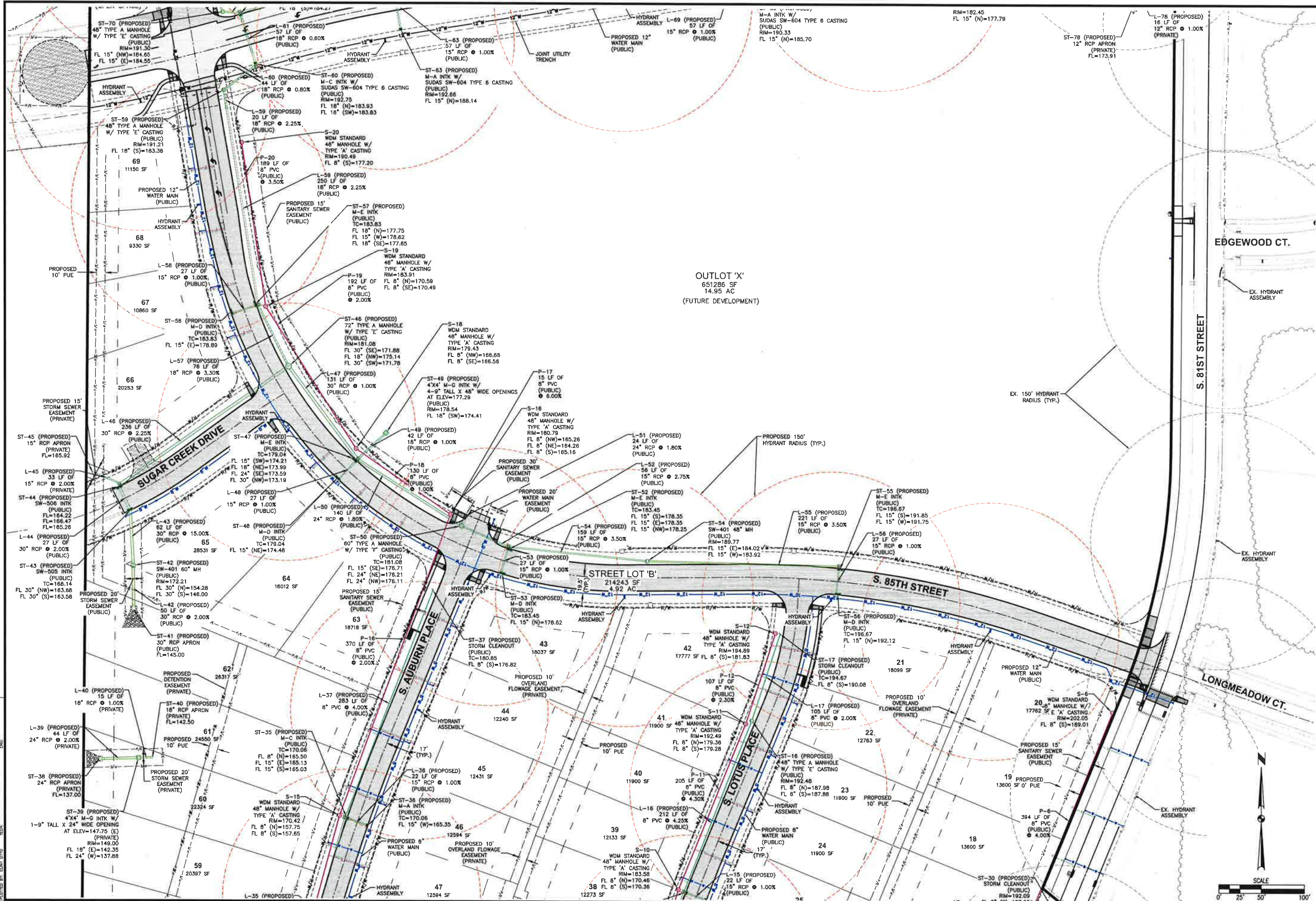


CIVIL DESIGN ADVANTAGE
 WEST DES MOINES, IOWA
 ENGINEER: JMM
 TECH: JDS

**HIGH POINT
 DIMENSION PLAN**



REVISIONS	DATE
FINAL SUBMITTAL	09/14/2023
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4TH SUBMITTAL	08/15/2023
3RD SUBMITTAL	08/07/2023
2ND SUBMITTAL	07/14/2023
1ST SUBMITTAL	06/23/2023



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3RD SUBMITTAL	08/07/2023
2ND SUBMITTAL	07/14/2023
1ST SUBMITTAL	06/29/2023

4121 NW URBANDALE DRIVE
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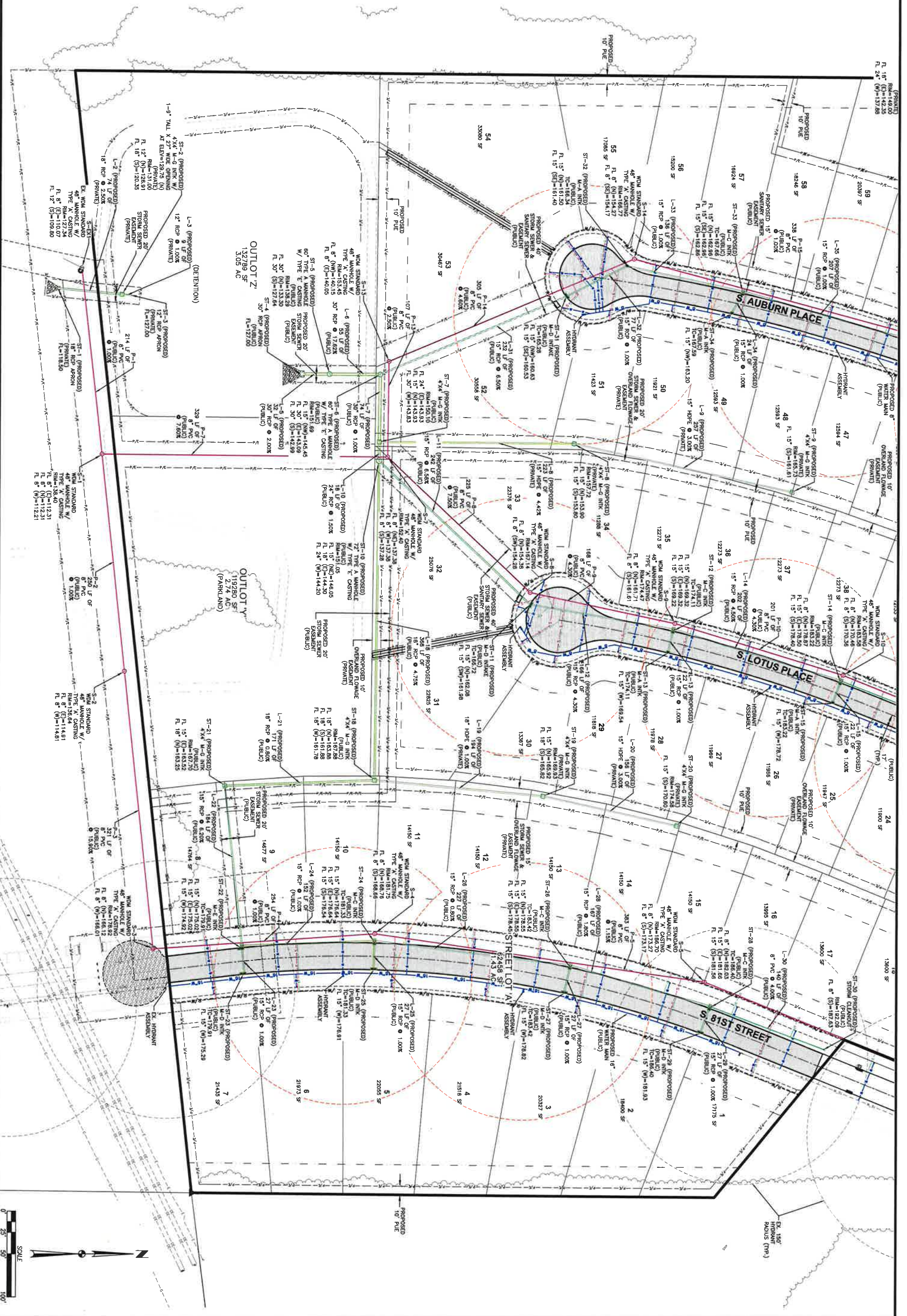
TECH: JDS
 ENGINEER: JMM



WEST DES MOINES, IOWA
 CIVIL DESIGN ADVANTAGE

HIGH POINT

UTILITY PLAN



2109.731
 10/13

HIGH POINT UTILITY PLAN

WEST DES MOINES, IOWA



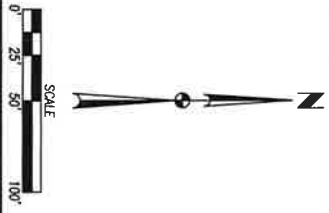
CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE
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 PHONE: (515) 369-4400

ENGINEER: JMM

TECH: JDS

REVISIONS	DATE
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4TH SUBMITTAL	08/15/2023
3RD SUBMITTAL	08/07/2023
2ND SUBMITTAL	07/14/2023
1ST SUBMITTAL	06/23/2023



11/13
2109.731

**HIGH POINT
GRADING PLAN**

WEST DES MOINES, IOWA



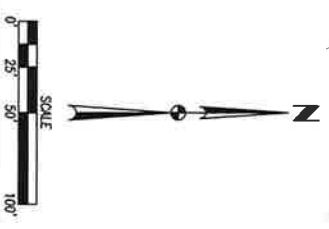
CIVIL DESIGN ADVANTAGE

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REVISIONS	DATE
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3RD SUBMITTAL	08/07/2023
2ND SUBMITTAL	07/14/2023
1ST SUBMITTAL	06/23/2023



12/13
2109.731

**HIGH POINT
GRADING PLAN**

WEST DES MOINES, IOWA



4121 NW URBANDALE DRIVE
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REVISIONS	DATE
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2ND SUBMITTAL	07/14/2023
1ST SUBMITTAL	06/23/2023

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION
NO. PZC-23-048

WHEREAS, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, the applicant and property owner, High Point Group, LLC, requests approval of the Preliminary Plat for the purpose of subdividing that approximately 76-acre property generally located north and south of future Stagecoach Drive extension and between S. 81st Street and the future extension of S. 85th Street as depicted on the location map included in the staff report. The applicant proposes the creation of into sixty-nine (69) lots for Single Family development, two (2) outlots for future development, one (1) outlot for open space, one (1) outlot for storm water detention, one (1) outlot for Parkland Dedication and four (4) street lots to be dedicated to the city; and

WHEREAS, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Preliminary Plat (PP-006103-2023) subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on September 25, 2023.

Andrew Conlin, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on September 25, 2023, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary