

**CITY OF WEST DES MOINES  
STAFF REPORT COMMUNICATION**

**Meeting Date:** October 9, 2023

**ITEM:** Amare Vita at High Pointe, Southwest corner of the future intersection of Stagecoach Drive and S. 81<sup>st</sup> Street – Approve a Preliminary Plat to create 60 footprint lots for Multi-Family Residential development and Approve a Site Plan to allow construction of 60 detached townhomes – MavenCrux Development – PPSP-006132-2023

**Resolution: Approval of Preliminary Plat and Site Plan**

**Background:** Jared Murray with Civil Design Advantage, on behalf of the applicant, MavenCrux Development, and property owner, High Point Group, LLC, requests approval of a Preliminary Plat for the approximately 14.9-acre property generally located at the southwest corner of the future intersection of Stagecoach Drive and S. 81<sup>st</sup> Street. The applicant proposes to subdivide the property into sixty (60) footprint lots and one (1) outlot for common areas. Additionally, the applicant request approval of a Site Plan to allow the construction of sixty (60) detached townhome units, a clubhouse with amenities, and associated site improvements.

**Staff Review & Comment:**

- **Financial Impact:** As has been done with the balance of Stagecoach Drive, the property owner, High Point Group, LLC, and city have established an agreement for reimbursement of Stagecoach Drive construction costs through TIF.
- **History:** The preliminary plat for the larger High Point development of which Amare Vita at High Pointe is part of was approved by the City Council on October 2, 2023. That preliminary plat designated this property as Outlot X.

- **Key Development Aspects:**

1. **Interior Sidewalks and Perimeter Setbacks:** Staff recently discussed with Development & Planning Subcommittee an issue that staff has been having with multi-family developments regarding the placement of interior sidewalks immediately adjacent to rolled curbs, if sidewalks are even provided at all. To promote walkability, staff is proposing a City Code amendment that will require the implementation of sidewalks a minimum of five feet (5') from the back of a standard 4" vertical curb along the interior private streets within the development. To help offset the additional building setback for the sidewalks, staff is proposing a reduction in the perimeter setback from 35' to 30'. The proposed amendment will be applicable to all multi-family developments across the city.

The Amare Vita at High Pointe site is planned with a thirty-foot (30') perimeter building setback along all four public streets adjacent to the site. Interior sidewalks are planned for one side of the private interior roadways located the five feet (5') from the curb consistent with the intended city code amendment.

- **Developer Responsibilities:** In conjunction with High Point development, the developer will be responsible for construction and/or installation of all required public and private infrastructure improvements necessary to support development. The following items are known improvements; additional improvements may be required in response to development proposals:

1. **Street Extensions:**

- **Stagecoach Dr & S 85<sup>th</sup> Street:** The city is currently constructing Stagecoach Dr from its current terminus at S 78<sup>th</sup> Street to S 81<sup>st</sup> Street. The developer, High Point Group, LLC, will be constructing Stagecoach Dr from S 81<sup>st</sup> St to S 85<sup>th</sup> Street, as

well as constructing S 85<sup>th</sup> Street from Stagecoach Dr along the south boundary of the Amare Vita at High Pointe development and tying into S 81<sup>st</sup> Street. These roads need to be constructed and open to emergency response before above ground construction can occur.

- Water Extensions: Water lines will be constructed in conjunction with the extensions of roads adjacent to the defined parcels and through the area. The looping of water from its existing location in S. 81<sup>st</sup> Street will be critical for appropriate flows for home sprinkler systems and adequate fire flows. Construction of the townhomes will be limited to footings and foundations only until such time that construction of the water lines adjacent to Stagecoach Dr and S. 85<sup>th</sup> Street from Stagecoach Dr to S. 81<sup>st</sup> Street is complete and the lines and hydrants operational.

The applicant is working on a legal description for an easement to allow access to the public watermain. Water Works staff has prepared the easement document for execution and recording. The applicant will not be provided access to public water until the water main easement is recorded.

2. Building Architecture: The applicant has identified 6 ranch models for the proposed detached townhomes, with each model providing an alternate front elevation with some variation in building materials, including masonry, but only on the optional facades if desired by a potential buyer. Five of the six models also provide for an alternate partial basement with walk out option. The buildings use a farmhouse style front façade design using a black, white and gray color scheme. The exterior cladding is primarily composite material in three patterns. Black or white board and batten siding is used on the front façades of all six base models, with the side and rear facades being clad with a horizontal lap siding pattern. Gray shingle siding will be used in limited areas as an accent material. The optional front facades for each model, if chosen by the homebuyer, will provide masonry as an option for portions of the board and batten siding.

Staff has worked with the applicant to try to get the models to provide some best practice design and detailing elements used throughout the city on all other multifamily projects to provide consistency in quality and character of design desired by the city. The following items were discussed with the applicant:

- Use of Masonry: Masonry is typically used as a secondary or accent material on all multifamily projects in the city to provide a visual element of permanency to the structures. Being these units appear as single family detached dwellings, a more limited use has been acceptable when used in appropriate public view areas of the building. The applicant has chosen to only provide masonry on the alternate façade options, if/when chosen by the homebuyer. Staff has some concern that very limited, if any, masonry may be present when the development is completed. The applicant has noted they anticipate 50% of homebuyers will choose to provide the masonry elements; however, there is no guarantee. As an alternate to providing masonry on the base models staff has requested that enhanced trim and detailing be provided on facades without masonry to enhance the perception of quality design and to provide a finished edge to the siding along the foundations. The applicant has provided window and door trim and trim along the gable ends, however, band boards at the base of wall facades has only been provided along the front facades without continuing to side or rear facades.
- Areas for change of materials on the building: A design detail that staff has requested in all developments throughout the city is the starting and stopping of materials at appropriate areas of the building, such as changes in building footprint,

at inside corners, or where there is an architectural element or change in roof form to both provide authenticity to the material and to help enhance the view of that area of the building as a three-dimensional element, not just a faux facade. Staff has discussed with the applicant areas of the building models where there are changes in materials that do not meet the intent of typical design review for the city, such as at the front facades where the board and batten material is proposed to change to horizontal siding on the side facades, or the stopping of trim at the front corners. Staff would suggest finding appropriate opportunities to change materials, such as inside corners, change in roof form, with an engaged column or corner element, or minor shift or projection of the façade to provide an architectural element to warrant a change in materials.

- Public View Facades: During design review staff looks for buildings to provide more detail such as, additional openings, variation in materials or colors, or enhanced façade elements on sides of the buildings which provide public views into or within the development. Facades with more limited views such as sides between buildings or limited visibility rear façade can be reduced in architectural detailing. The applicant has provided alternate public view elevations for the 5 lots at the entries to the development, however, staff would consider enhanced public view facades be provided on additional lots within development that would also be viewed as public facades. Staff would suggest, in addition to the 5 lots identified by the applicant, lots 1, 16, 17, 26, and 60 on the outer ring of the development, and lots 36, 40, 41, 43, 44, and 55 on the inner ring of the development also provide public view facades.

Staff is recommending a condition of approval requiring the resolution to the satisfaction of staff or as otherwise directed by the Commission and Council of these design elements. Additionally, staff is recommending a condition of approval requiring and agreeing to the identified public view facades and submitting a drawing specifically identifying all facades that are to be enhanced.

3. Development Phasing: The homes on this site will be owner occupied detached townhomes. There will be 6 different home designs that will be constructed on the site. To ensure compliance with footprint lot setbacks, the specific location of each design type has already been determined. Three phases of construction and occupancy are proposed.
  4. Parkland Dedication: The High Point development has been submitted with 69 single family lots and 60 townhome units (within Outlot 'X'), which results in the dedication of a total of 1.83 acres of ground to satisfy the provisions of the City's Parkland Dedication Ordinance. The High Point developers are dedicating 2.74 acres of park ground and 0.53 acres of trail easements for a total of 3.27 acres (Outlot Y). High Point's required dedication of 1.83 acres is less than the dedication they are providing of 3.27 acres. The developer will have the option of applying the 1.44-acre difference toward the requirements of the future high-density development intended within Outlot 'W' (property north of Amare Vita at High Pointe).
- Traffic Impact Study Findings: The site is expected to generate slightly more traffic than what was previously assumed in the March 2023 High Point CPA Traffic Reanalysis. The planned roadway geometry is expected to have adequate capacity under full-build conditions. Lane configurations for the major roadways downstream of the site, as recommended in earlier traffic studies, remain adequate.
  - Plat Validity: Per City Code, the associated Final Plat must be presented to the City Council for approval within 12 months of the approval of this Preliminary Plat if surety is being posted for Public Improvements; or, within 18 months if Public Improvements are being constructed prior to Final

Plat consideration. It is the responsibility of the developer to be aware of these deadlines and request an extension of the Preliminary Plat approval prior to the Preliminary Plat expiration date.

- **Vesting of Entitlement:** Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

**Outstanding Issues:** There are no outstanding issues.

**Planning and Zoning Commission Action:**

Date: October 9, 2023

Vote:

Recommendation:

**Recommendation:** Approve the Preliminary Plat and Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. The applicant/developer acknowledging that the appropriate road network will need to be constructed to support intended development and unless responsibilities are otherwise defined in a development agreement with the City, that the applicant/developer will be responsible for the implementation of the necessary roadways to serve their development. Furthermore, the applicant/developer acknowledging that development of any parcel being created with platting may be restricted until adequate road and water infrastructure are completed to the satisfaction of the City's Fire Marshal. The restriction includes prohibiting above ground construction until the Fire Marshal determines appropriate accesses and water flows are installed and useable.
2. The applicant/developer acknowledging that no public water will be provided to the development until such time that the applicant submits a legal description of the water main easement area to West Des Moines Water Works and the easement is executed and recorded with the Dallas County Recorder's office.
3. Prior to issuance of a building permit for above ground construction of any unit within the development, the applicant agreeing to provide enhance facades for those units identified within the staff report and providing a drawing that clearly indicates the units which are to have enhanced public view facades and architectural plans demonstrating the additional details and elements to be incorporated for each of the buildings.
4. Prior to issuance of a building permit for above ground construction of any unit within the development, the applicant providing architectural plans that resolve remaining architecture material and design issues as discussed above to the satisfaction of City Staff.

**Lead Staff Member: Brian Portz**

**Approval Meeting Dates:**

Planning and Zoning Commission	October 9, 2023
City Council	

**Staff Report Reviews:**

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

**Publications (if applicable)**

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

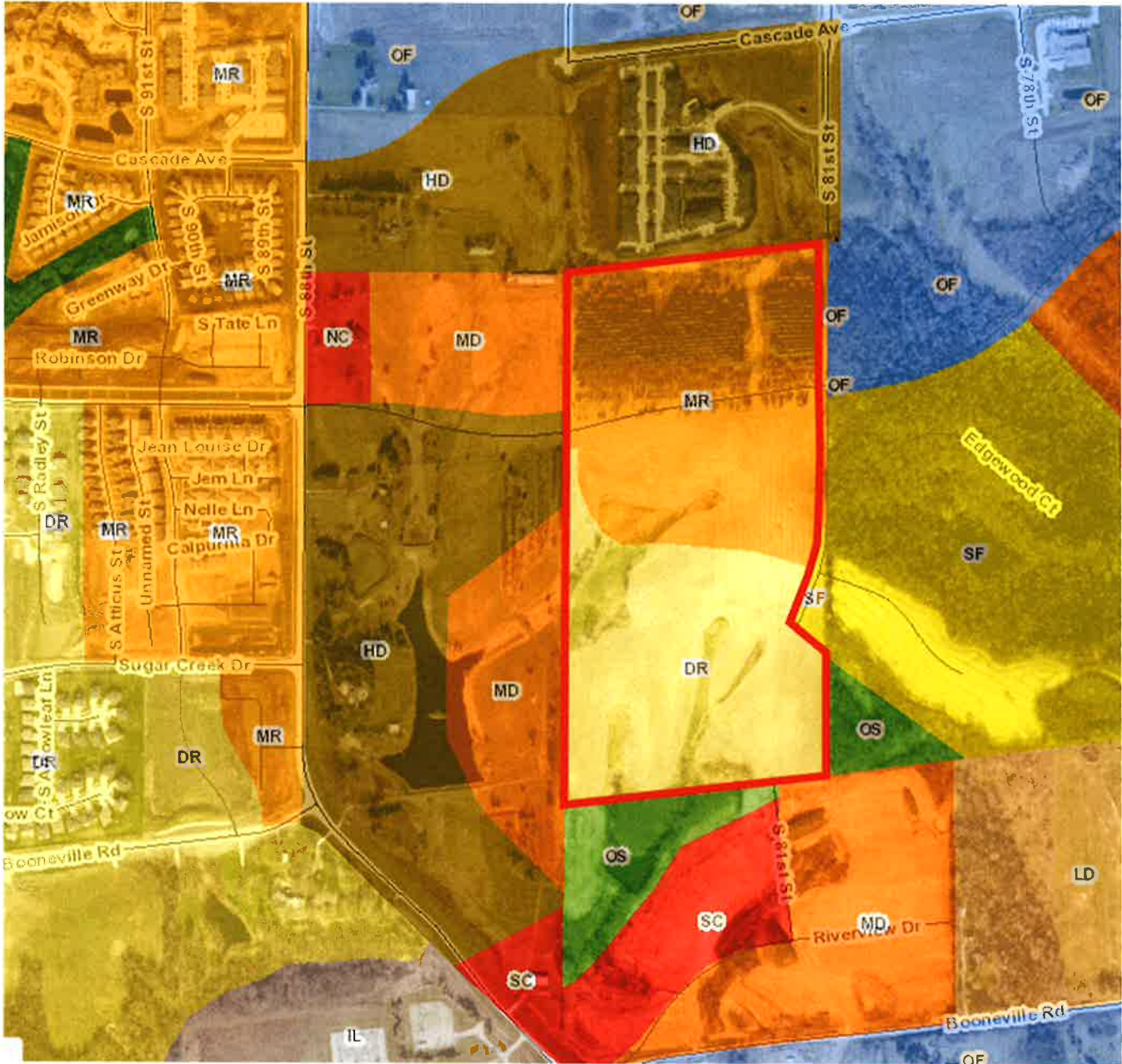
**Council Subcommittee Review (if applicable)**

Subcommittee	Development & Planning
Date Reviewed	8/7/23
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split

**Location Map**



### Current Land Use Map



# AMARE VITA AT HIGH POINTE

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY – APPROVED PLANS ON FILE WITH THE CITY

## CLIVE, IOWA

### DRAWING INDEX

## SITE PLAN

10/03/2023

#### CLUBHOUSE

- A101 CLUBHOUSE FLOOR PLAN
- A200 EXTERIOR RENDERING
- A201 EXTERIOR ELEVATIONS
- A202 EXTERIOR ELEVATIONS

#### VILLA A

- A4.0A EXTERIOR RENDERINGS
- A4.1A EXTERIOR ELEVATIONS
- A4.2A EXTERIOR ELEVATIONS
- A4.3A EXTERIOR ELEVATIONS - OPTION B

#### VILLA B

- A4.0B EXTERIOR RENDERINGS
- A4.1B EXTERIOR ELEVATIONS
- A4.2B EXTERIOR ELEVATIONS
- A4.3B EXTERIOR ELEVATIONS - OPTION B

#### VILLA C1

- A4.0C EXTERIOR RENDERINGS
- A4.1C1 EXTERIOR ELEVATIONS
- A4.2C1 EXTERIOR ELEVATIONS
- A4.3C1 EXTERIOR ELEVATIONS - OPTION B

#### VILLA C2

- A4.1C2 EXTERIOR ELEVATIONS
- A4.2C2 EXTERIOR ELEVATIONS

#### VILLA D1

- A4.0D1 EXTERIOR RENDERINGS
- A4.1D1 EXTERIOR ELEVATIONS
- A4.2D1 EXTERIOR ELEVATIONS
- A4.3D1 EXTERIOR ELEVATIONS - OPTION B

#### VILLA E

- A4.0E EXTERIOR RENDERINGS
- A4.1E EXTERIOR ELEVATIONS
- A4.2E EXTERIOR ELEVATIONS
- A4.3E EXTERIOR ELEVATIONS - OPTION B

#### VILLA F

- A4.0F EXTERIOR RENDERINGS
- A4.1F EXTERIOR ELEVATIONS
- A4.2F EXTERIOR ELEVATIONS
- A4.3F EXTERIOR ELEVATIONS - OPTION B

#### SITE PLAN

- A4.0 SITE PLAN VILLA LOCATIONS
- A4.1 EXTERIOR ELEVATIONS - PUBLIC VIEW

#### VILLA B - PARTIAL BASEMENT

- A4.1B EXTERIOR ELEVATIONS
- A4.2B EXTERIOR ELEVATIONS

#### VILLA C1 - PARTIAL BASEMENT

- A4.1C1 EXTERIOR ELEVATIONS
- A4.2C1 EXTERIOR ELEVATIONS

#### VILLA C2 - PARTIAL BASEMENT

- A4.1C2 EXTERIOR ELEVATIONS
- A4.2C2 EXTERIOR ELEVATIONS

#### VILLA D1 - PARTIAL BASEMENT

- A4.1D1 EXTERIOR ELEVATIONS
- A4.2D1 EXTERIOR ELEVATIONS

#### VILLA E - PARTIAL BASEMENT

- A4.1E EXTERIOR ELEVATIONS
- A4.2E EXTERIOR ELEVATIONS

#### VILLA F - PARTIAL BASEMENT

- A4.1F EXTERIOR ELEVATIONS
- A4.2F EXTERIOR ELEVATIONS

### VILLA AND CLUBHOUSE EXTERIOR MATERIALS PALLETTE

ASPHALT ROOF SHINGLE



GENERAL NOTE:

- 1. WHITE - COLOR #1 IS THE DEFAULT COLOR SELECTION UNLESS OTHERWISE NOTED FOR ALL CEMENT BOARDING SIDING TYPES.

CULTURED STONE VENEER



CEMENT BOARD PANEL SIDING W/ BATTENS (BLACK - COLOR #3 AND WHITE - COLOR #1)



CEMENT BOARD SHINGLE SIDING (GREY - COLOR #2)



CEMENT BOARD LAP SIDING (WHITE - COLOR #1)



WHITE WASH BRICK



DESIGNED:	ISSUE DATE:	REVISIONS:	DATE:	BY:	DESCRIPTION:
Author	9/21/2023	No.			
Checker					

SITE PLAN

**SCHEMMER**  
Design with Purpose. Build with Confidence.

AMARE VITA AT HIGH POINTE

CLIVE, IOWA

COVER SHEET

PROJECT NO.: 08937.001

A0

Project Number: 08937.001 - 2- EXTERIOR RENDERINGS



**AMARE VITA AT HIGH POINT**  
 CLIVE, IOWA  
 EXTERIOR RENDERINGS

PROJECT NO.: 08937.001

**A200**

**SCHEMMER**  
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**SITE PLAN**

DESIGNED:	Designer	ISSUE DATE:	08/30/2023			
DRAWN:	Author	REVISIONS:	No.:	DATE:	BY:	DESCRIPTION:
CHECKED:	Checker					
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Project Number: 08937.001 - 2-EXTERIOR RENDERINGS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
A	B	C	D	E	F	G	H	I	J	K	L			



VILLA - B



VILLA - B OPTION

STONE AND BRICK MASONRY OPTIONS ARE CONSUMER DRIVEN. BASED ON PREVIOUS PROJECT THE DEVELOPERS BELIEVE APPROX. 50% OF CONSUMERS WILL SELECT THE UPGRADE TO STONE OR BRICK MASONRY VENEER.

DESIGNED:	Designer	ISSUE DATE:	08/30/2023
DRAWN:	Author	REVISIONS:	
CHECKED:	Checker	No.:	DATE:
		BY:	DESCRIPTION:

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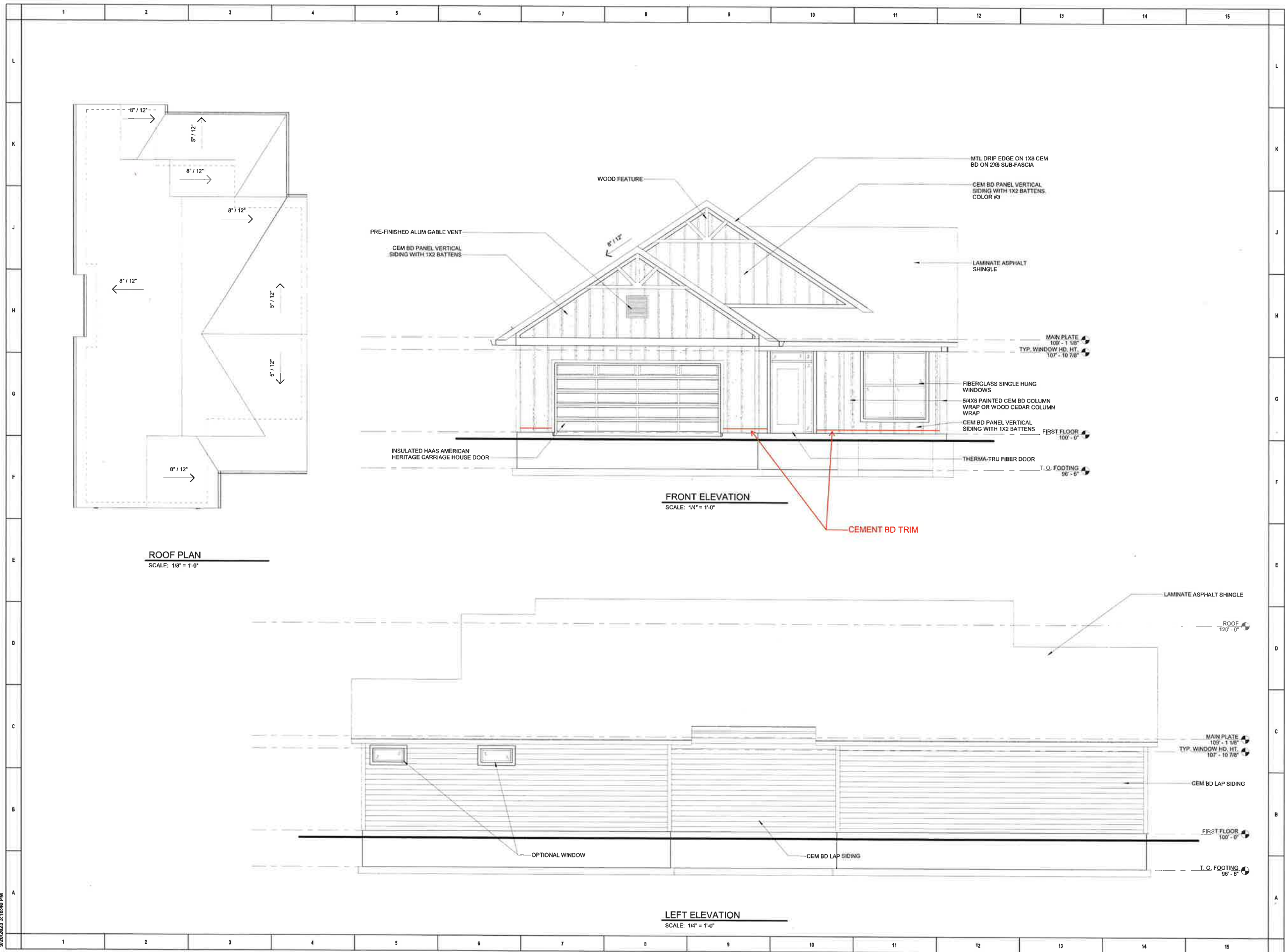
**SITE PLAN**

**SCHEMMER**  
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**AMARE VITA AT HIGH POINTE**  
CLIVE, IOWA  
**EXTERIOR RENDERINGS**

PROJECT NO.: 08937.001  
**A4.0B**

C:\Users\blbloom\Documents\VILLA-B\_R20\_WDM\_Flat\_Bloom@schemmer.com.rvt  
9/20/2023 3:18:40 PM



DESIGNED: Designer ISSUE DATE: 9/12/23  
 REVISIONS: No. DATE BY DESCRIPTION  
 DRAWN: Author  
 CHECKED: Checker

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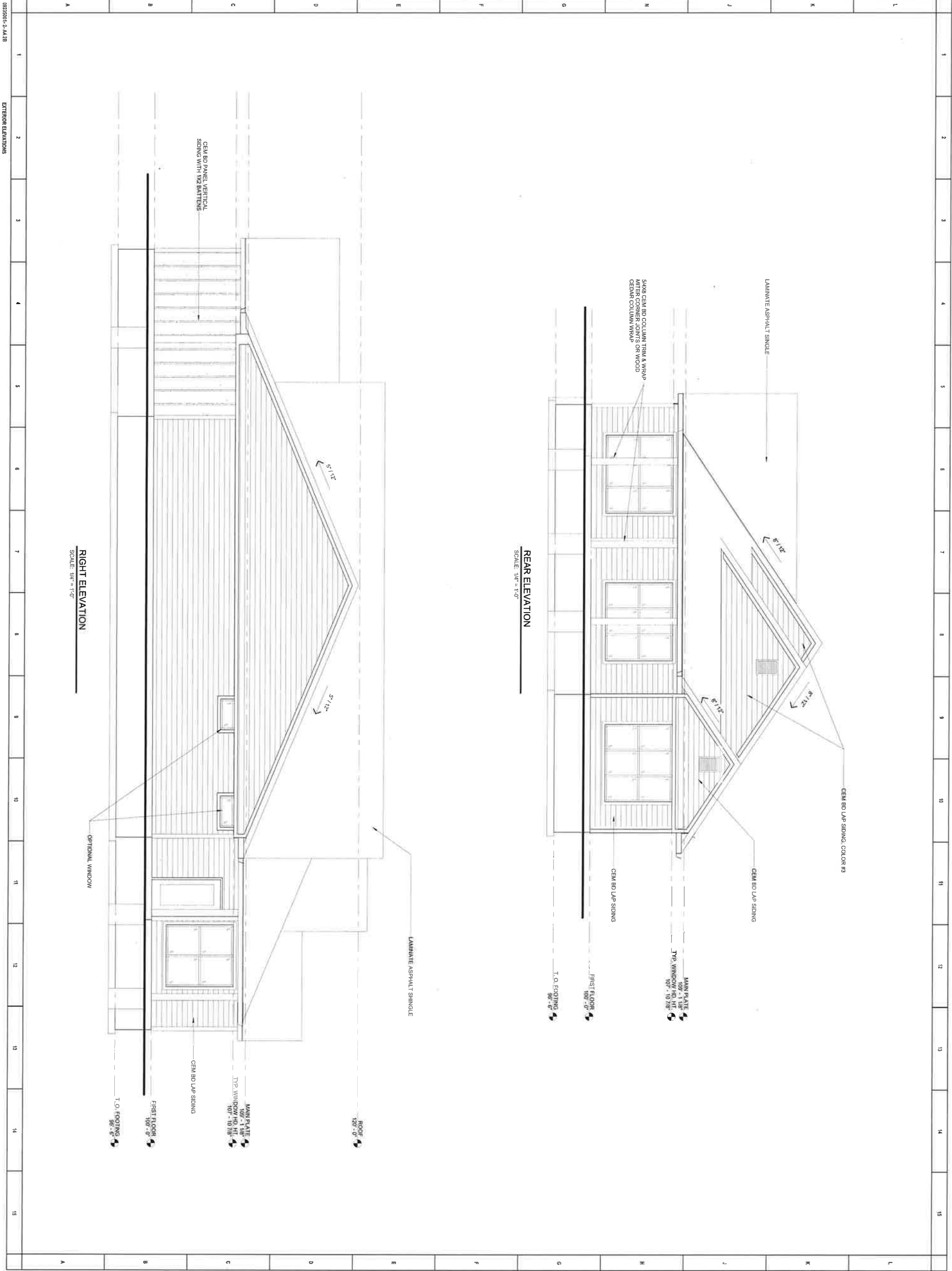
PROGRESS SET

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AMARE VITA HIGH POINTE  
VILLA - B  
WEST DES MOINES, IOWA  
EXTERIOR ELEVATIONS

PROJECT NO.: 09235.001

**A4.1B**



**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"

**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

DESIGNED:	Designer	ISSUE DATE:	9/13/2023			
DRAWN:	Author	REVISIONS:	No.:	DATE:	BY:	DESCRIPTION:
CHECKED:	Checker					

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**PROGRESS SET**



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**AMARE VITA HIGH POINTE**  
**VILLA - B**  
**WEST DES MOINES, IOWA**  
**EXTERIOR ELEVATIONS**

PROJECT NO.: 09235.001

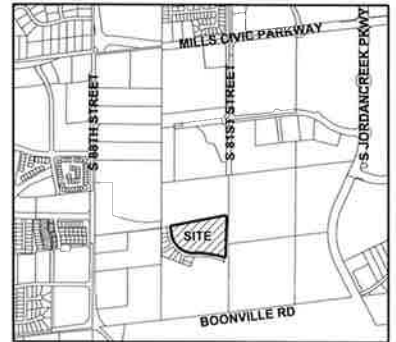
**A4.2B**

# PRELIMINARY PLAT AND SITE PLAN FOR: AMARE VITA AT HIGH POINTE

## WEST DES MOINES, IOWA

### VICINITY MAP

NOT TO SCALE



WEST DES MOINES, IOWA

### OWNER

HIGH POINT GROUP, LLC  
CONTACT: JAKE RIED  
6205 MILLS CIVIC PARKWAY, SUITE 200  
WEST DES MOINES, IOWA 50266  
PH: (515) 202-5690  
EMAIL: JAKE@NEIGHBORHOODBUILDER.COM

### APPLICANT

MAVENCURX DEVELOPMENT  
CONTACT: BRYAN SCHNURR  
16852 AURORA COURT  
CLIVE, IOWA 50325  
PH: (515) 988-7449  
EMAIL: BSCHNURR@MAVENCURX.COM

### ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE  
CONTACT: JARED MURRAY  
4121 NW URBAN DALE DRIVE  
URBAN DALE, IOWA 50322  
PH: (515) 369-4400  
EMAIL: JARED@CDA-ENG.COM

### DATE OF SURVEY

JULY 29, 2022

### ZONING

RM-12: MEDIUM DENSITY RESIDENTIAL

### COMPREHENSIVE PLAN LAND USE

MIXED RESIDENTIAL

### BENCHMARKS

**WDM BM #87**  
3960± FEET WEST OF INTERSECTION OF SOUTH 88TH STREET AND 335TH STREET (DALLAS COUNTY), 3 FEET NORTH OF EAST/WEST FENCE, 10 FEET EAST OF NORTH/SOUTH FENCE, ON 335TH STREET ACROSS FROM THE HOUSE #3307 AND #3309.  
ELEVATION=167.68

**WDM BM #99**  
410± FEET WEST OF INTERSECTION OF S. JORDAN CREEK PARKWAY AND BOONEVILLE ROAD, 2 FEET NORTH OF EAST/WEST FENCE, SOUTH SIDE OF BOONEVILLE ROAD.  
ELEVATION=81.57

### SUBMITTAL DATES

FIRST SUBMITTAL	07/14/2023
SECOND SUBMITTAL	08/07/2023
THIRD SUBMITTAL	09/01/2023
FOURTH SUBMITTAL	09/22/2023
FINAL SUBMITTAL	10/03/2023

### BULK REGULATIONS

AREA: 14.95 ACRES (651,286 SF)

#### SETBACKS (DETACHED DWELLINGS ON FOOTPRINT LOTS)

INTERNAL (FROM DWELLING FOUNDATION):

MINIMUM FOR ANY YARD = 7 FT

MAXIMUM FOR ONE SIDE YARD OR THE REAR YARD = 15 FT

MAXIMUM FOR ALL OTHER YARDS FOR FOOTPRINT LOTS = 10 FT

EXTERNAL:

PERIMETER = 30 FT

MIN. PRINCIPLE BUILDING SEPARATION = 14 FT

#### OPEN SPACE CALCULATION:

TOTAL SITE	= 651,286 SF
BUILDINGS	= 179,146 SF
PRIVATE STREETS	= 62,511 SF
DRIVEWAYS	= 41,140 SF
OPEN SPACE PROVIDED	= 368,471 SF (56.6%)

**IMPERVIOUS AREA** = 298,010 SF (45.8%)  
(SIDEWALK = 15,213 SF)

#### UNITS:

60 UNITS (4.01 UNITS / ACRE) (12 MAX)

#### PARKING REQUIRED:

2 SPACES / UNIT	= 120 SPACES
1 VISITOR SPACE / 10 UNITS	= 6 SPACES
TOTAL REQUIRED	= 126 SPACES
TOTAL PROVIDED	= 140 SPACES

### CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = FALL 2023  
ANTICIPATED FINISH DATE = FALL 2024

### UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

### LEGAL DESCRIPTION

PARCEL 23-85 AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ BEING A PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND A PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, ALL IN SECTION 23, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF WEST DES MOINES, DALLAS COUNTY, IOWA.

THE PROPERTY CONTAINS 14.95 ACRES (651,286 SQUARE FEET) AND IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

### INDEX OF SHEETS

NO.	DESCRIPTION
1.0	COVER SHEET
2.0-2.1	TYPICAL SECTIONS AND DETAILS
3.0-3.1	OVERALL LAYOUTS AND HYDRANT COVERAGE PLAN
4.0-4.4	DIMENSION PLAN
5.0-5.5	GRADING PLAN
6.0-6.1	EROSION AND SEDIMENT CONTROL PLAN
7.0-7.4	UTILITY PLAN
L1.0	LANDSCAPE PLAN

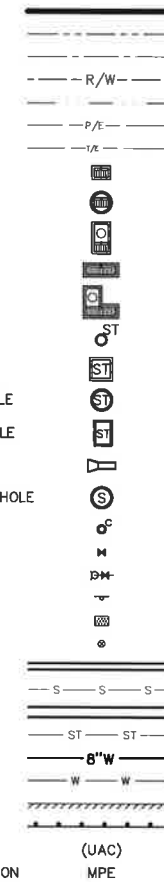
### NOTES

- EROSION CONTROL MEASURES WILL BE INSTALLED AND MONITORED BY OTHERS.
- PRIVATE UTILITIES TO BE INSTALLED PER SUDAS SPECIFICATIONS.
- ALL CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND DSM METRO DESIGN STANDARDS.
- CONTACT WEST DES MOINES WATER WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
- ALL SIDEWALK CROSS SLOPES SHALL NOT EXCEED 1.5%.
- CONSTRUCTION CANNOT BEGIN ON THE HOMES UNTIL A FINAL PLAT HAS BEEN REVIEWED AND APPROVED BY THE CITY COUNCIL.
- ALL LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5%.
- PRIVATE STREETS AND UTILITIES SHALL BE MAINTAINED BY THE OWNER, TO INCLUDE:
  - DETENTION POND AND APPURTENANCES
  - PRIVATE STORM SEWER
  - PRIVATE WATER MAIN AND SERVICES
  - ALL INTERNAL CIRCULATION ROADS
- PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES 222-3475 TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- SIGNS, OVER STORY TREES, CONIFEROUS TREES, PRIVATE STREETLIGHT ETC. ARE NOT ALLOWED IN THE PUBLIC EASEMENTS.
- WEST DES MOINES WATER WORKS RECOMMENDS AGAINST PLANTING TREES AND OTHER LANDSCAPING OVER PRIVATE WATER MAIN INFRASTRUCTURE.
- WALLS CONSTRUCTED AT FOUR FEET IN HEIGHT OR OVER REQUIRE ENGINEERED DRAWINGS AND A BUILDING PERMIT SEPARATE FROM THE RESIDENTIAL BUILDING PERMIT.
- THE BUILDING SETBACK FOR PRINCIPAL STRUCTURES AND DECKS SHALL BE A MINIMUM OF SEVEN FEET (7') FROM THE FOOTPRINT LOT BOUNDARY.
- PROTECT THE EXISTING PUBLIC 10' SHARED USE PATH ALONG SOUTH 81ST STREET AND REPAIR AS NEEDED TO WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.

### GENERAL LEGEND

#### PROPOSED

- PROPERTY BOUNDARY
- SECTION LINE
- CENTER LINE
- RIGHT OF WAY
- BUILDING SETBACK
- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- TYPE SW-501 STORM INTAKE
- TYPE SW-502 STORM INTAKE
- TYPE SW-503 STORM INTAKE
- TYPE SW-505 STORM INTAKE
- TYPE SW-506 STORM INTAKE
- TYPE SW-512 STORM INTAKE
- TYPE SW-513 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-402 STORM MANHOLE
- FLARED END SECTION
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- SIGN
- DETECTABLE WARNING PANEL
- WATER CURB STOP
- SANITARY SEWER
- SANITARY SERVICE
- STORM SEWER
- STORM SERVICE
- WATERMAIN WITH SIZE
- WATER SERVICE
- SAWCUT (FULL DEPTH)
- SILT FENCE
- USE AS CONSTRUCTED
- MINIMUM PROTECTION ELEVATION



#### EXISTING

- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- WELL
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- MAIL BOX
- BENCHMARK
- SOIL BORING
- UNDERGROUND TV CABLE
- GAS MAIN
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- FIELD TILE
- SANITARY SEWER W/ SIZE
- STORM SEWER W/ SIZE
- WATER MAIN W/ SIZE



THIS PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND A CITY OF WEST DES MOINES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM SEWER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, THE SUDAS STANDARD SPECIFICATIONS DIVISION 5: WATER MAINS AND APPURTENANCES, AND THE WEST DES MOINES WATER WORKS GENERAL SUPPLEMENTAL SPECIFICATIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.



**CIVIL DESIGN ADVANTAGE**  
4121 NW URBAN DALE DRIVE, URBAN DALE, IA 50322  
PH: (515) 369-4400  
PROJECT NO. 2306.400  
WEST DES MOINES PROJECT NO. PPSP-006132-2023



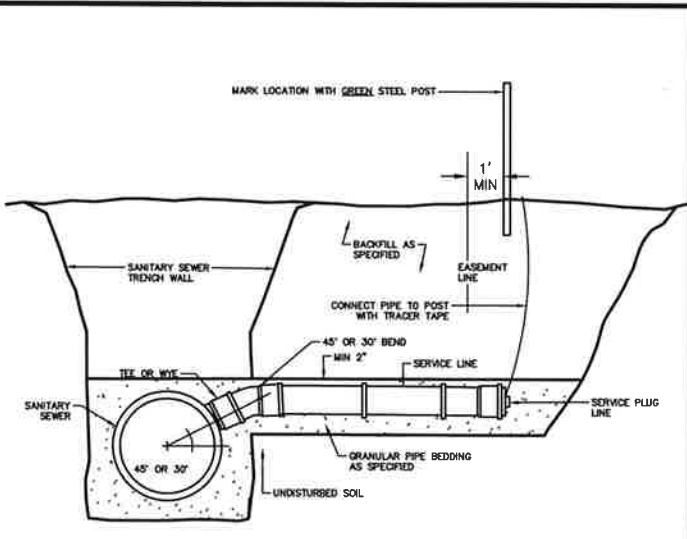
1-800-292-8989  
www.iowaonecall.com



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

JARED M. MURRAY, P.E. \_\_\_\_\_ DATE \_\_\_\_\_  
LICENSE NUMBER 23496  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023  
PAGES OR SHEETS COVERED BY THIS SEAL:  
SHEETS 1.0-7.4

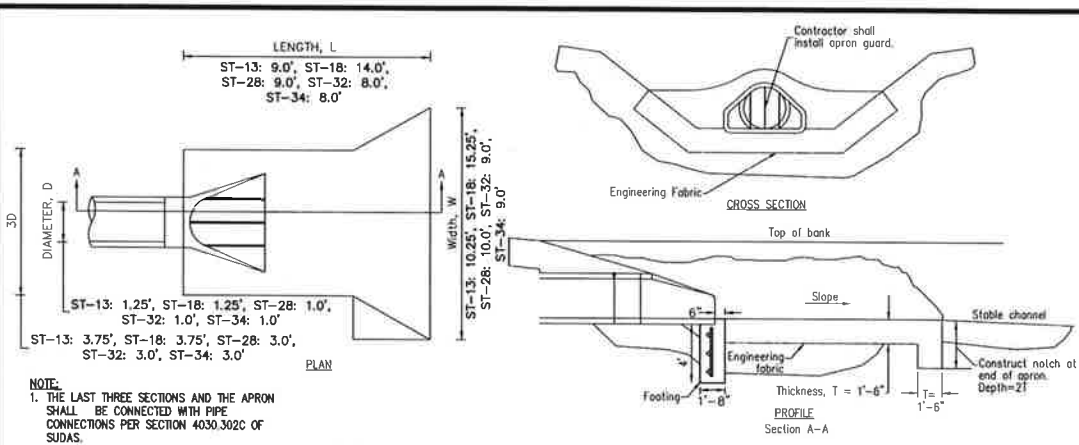
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DRAWN BY: JARED MURRAY  
CHECKED BY: JARED MURRAY



NOTE:  
1. USE FOR SERVICE CONNECTION WHEN SANITARY SEWER DEPTH IS 12.0' OR LESS OR WHEN REQUIRED TO SERVE ADJACENT PROPERTY.

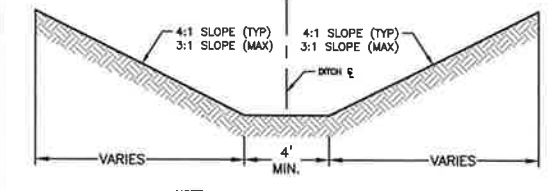
**SANITARY SEWER SERVICE**

NOT TO SCALE  
CITY OF WEST DES MOINES DETAIL 4.5



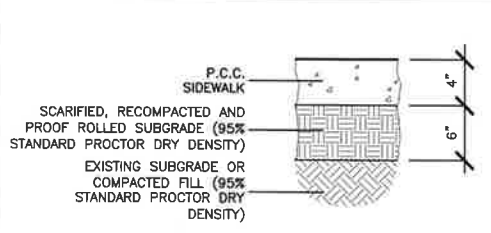
NOTE:  
1. THE LAST THREE SECTIONS AND THE APRON SHALL BE CONNECTED WITH PIPE CONNECTIONS PER SECTION 4030.302C OF SUDAS.  
2. INSTALL A 3" CLAY WATERSTOP AT ALL STORM SEWER OUTLETS.

**ROCK APRON FOR PIPE OUTLET**  
NOT TO SCALE

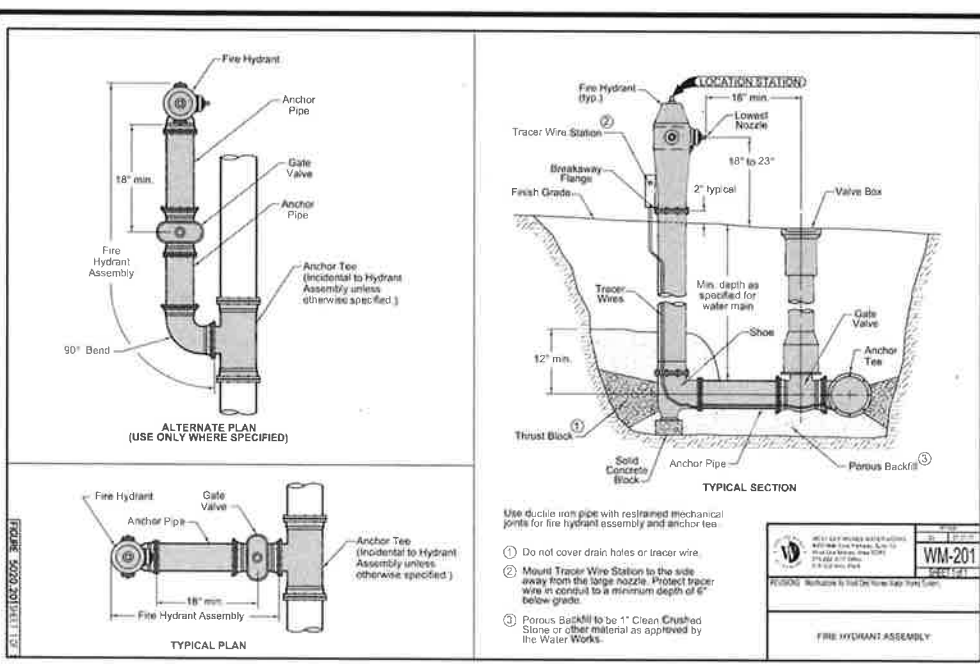


NOTE:  
SEE SWPPP FOR EROSION CONTROLS AND STABILIZATION PRIOR TO SEEDING. SEED WITH TYPE 4 MIX (SUDAS).

**TYPICAL SWALE DETAIL**  
NOT TO SCALE



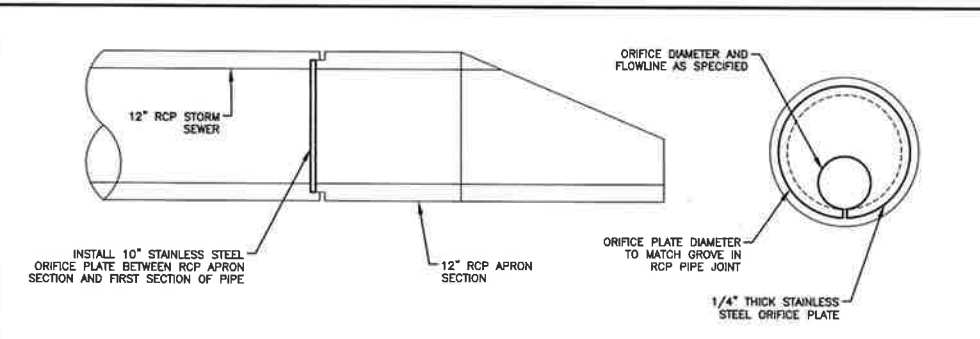
**P.C.C. SIDEWALK DETAIL**  
NOT TO SCALE



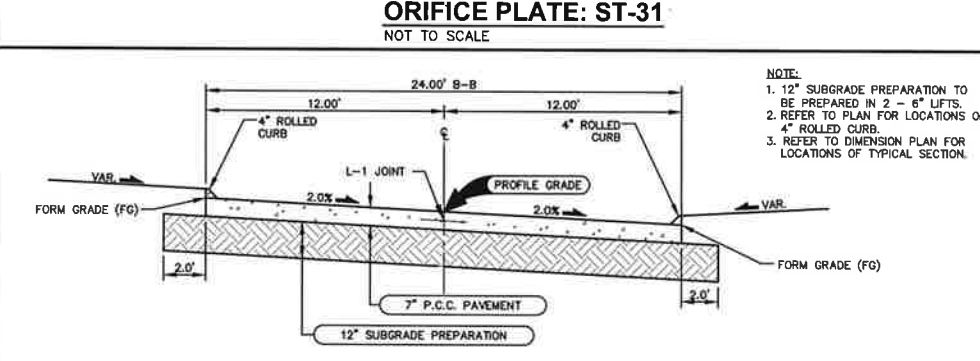
Use 6" dia. iron pipe with restrained mechanical joints for fire hydrant assembly and anchor tee.

1. Do not cover drain holes or tracer wire.  
2. Mount Tracer Wire Station to the side away from the large nozzle. Protect tracer wire in conduit to a minimum depth of 6" below grade.  
3. Porous Backfill to be 1" Clean Crushed Stone or other material as approved by the Water Works.

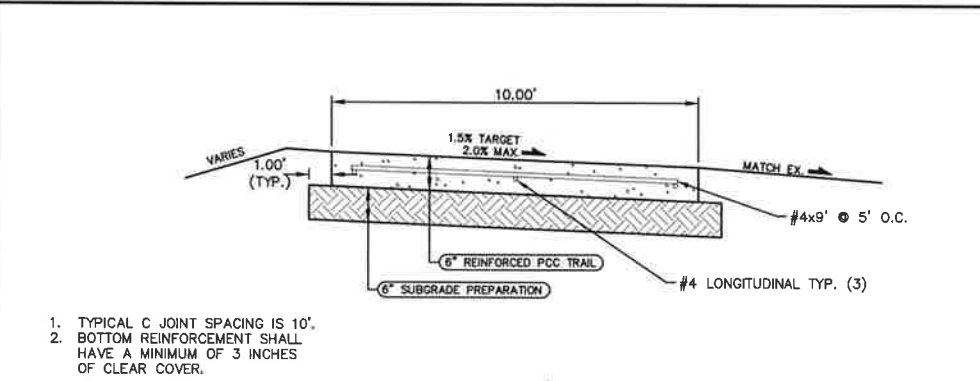
**FIRE HYDRANT ASSEMBLY**



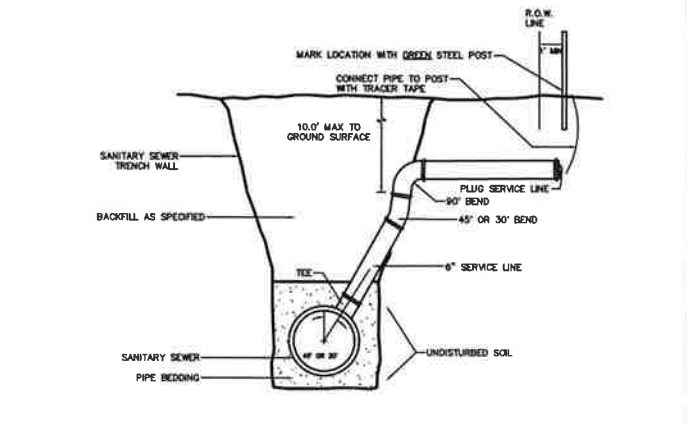
**ORIFICE PLATE: ST-31**  
NOT TO SCALE



**TYPICAL SECTION - 24' P.C.C. ROADWAY**  
NOT TO SCALE

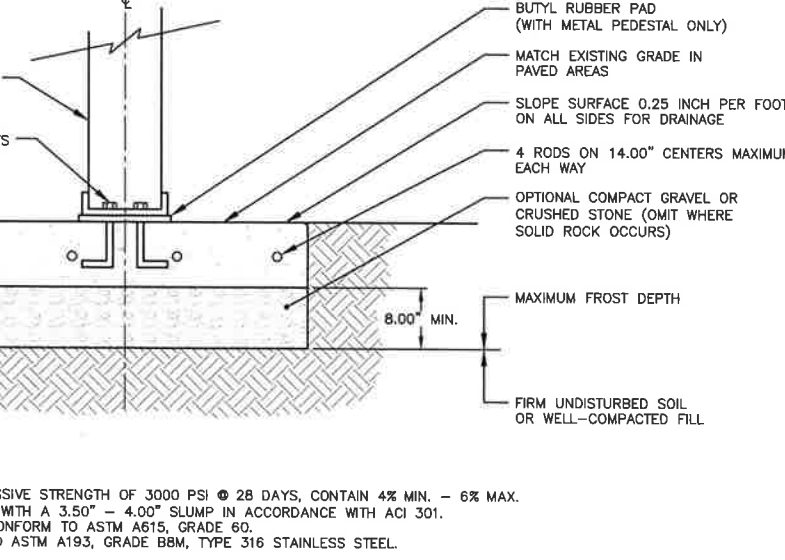
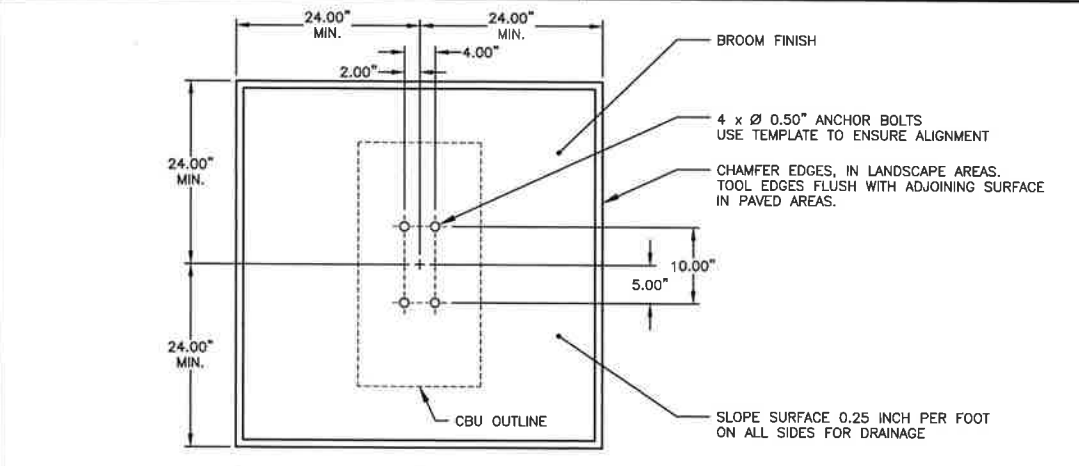


**REINFORCED PCC TRAIL**  
NOT TO SCALE



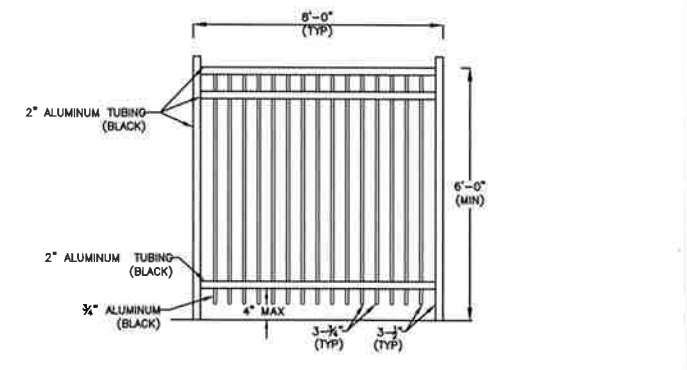
NOTE:  
1. USE FOR SERVICE CONNECTION WHEN SANITARY SEWER DEPTH IS 12.0' OR UNLESS ADDITIONAL DEPTH IS NECESSARY TO SERVE ADJACENT PROPERTY.

**SANITARY SEWER SERVICE RISER**  
NOT TO SCALE  
CITY OF WEST DES MOINES DETAIL 4.6



NOTES:  
1. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, CONTAIN 4% MIN. - 6% MAX. AIR ENTRAINMENT AND BE PLACED WITH A 3.50" - 4.00" SLUMP IN ACCORDANCE WITH ACI 301.  
2. REINFORCING STEEL RODS SHALL CONFORM TO ASTM A615, GRADE 60.  
3. ANCHOR BOLTS SHALL CONFORM TO ASTM A193, GRADE 888, TYPE 316 STAINLESS STEEL.

**MAILBOX CLUSTER PAD DETAIL**  
NOT TO SCALE



**POOL FENCE DETAIL**  
NOT TO SCALE

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 PLOTTED BY: JARED MURRAY

REVISIONS	DATE
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2ND SUBMITTAL	03/01/2023
3RD SUBMITTAL	06/22/2023
4TH SUBMITTAL	06/22/2023
FINAL SUBMITTAL	10/03/2023

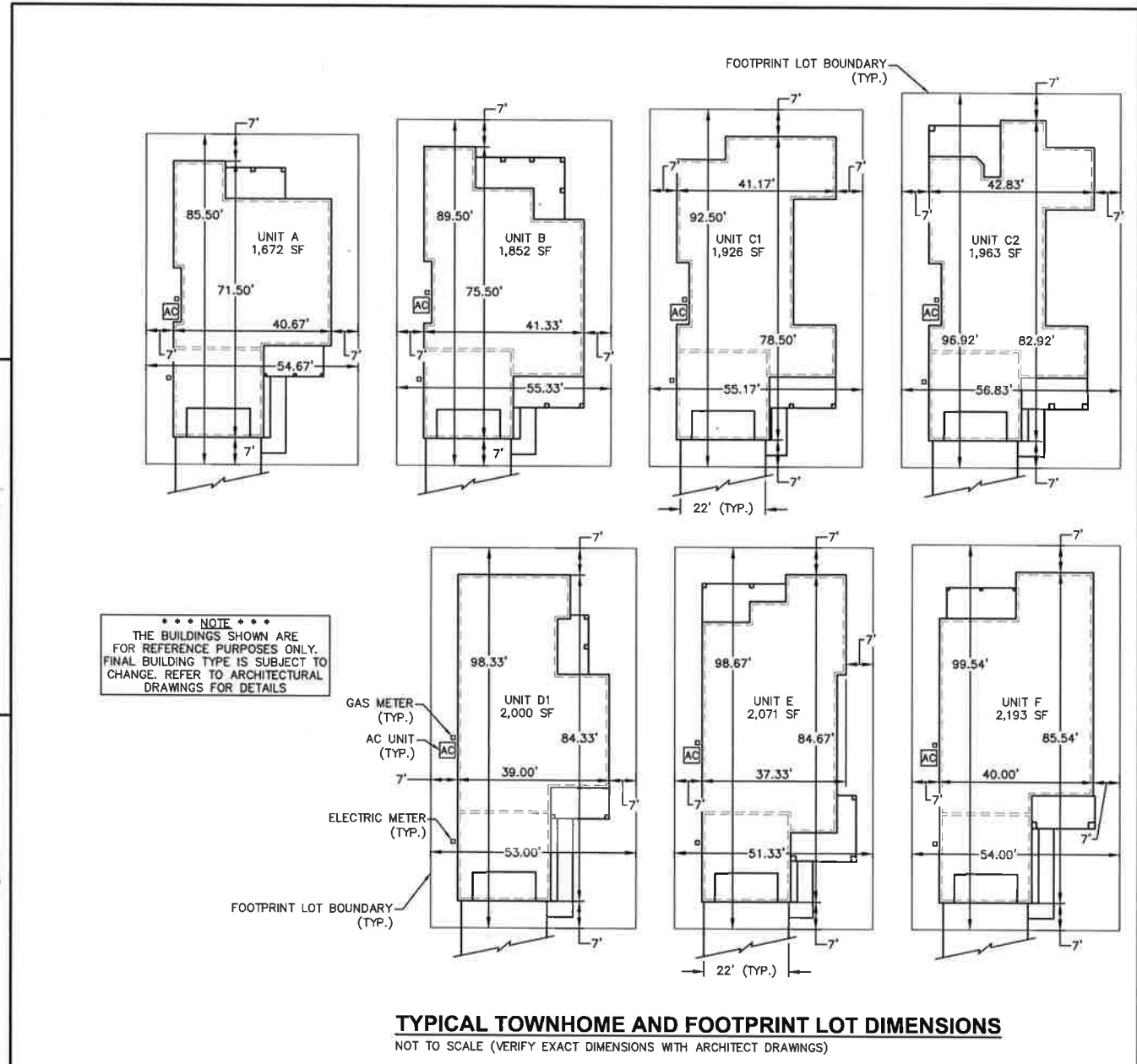
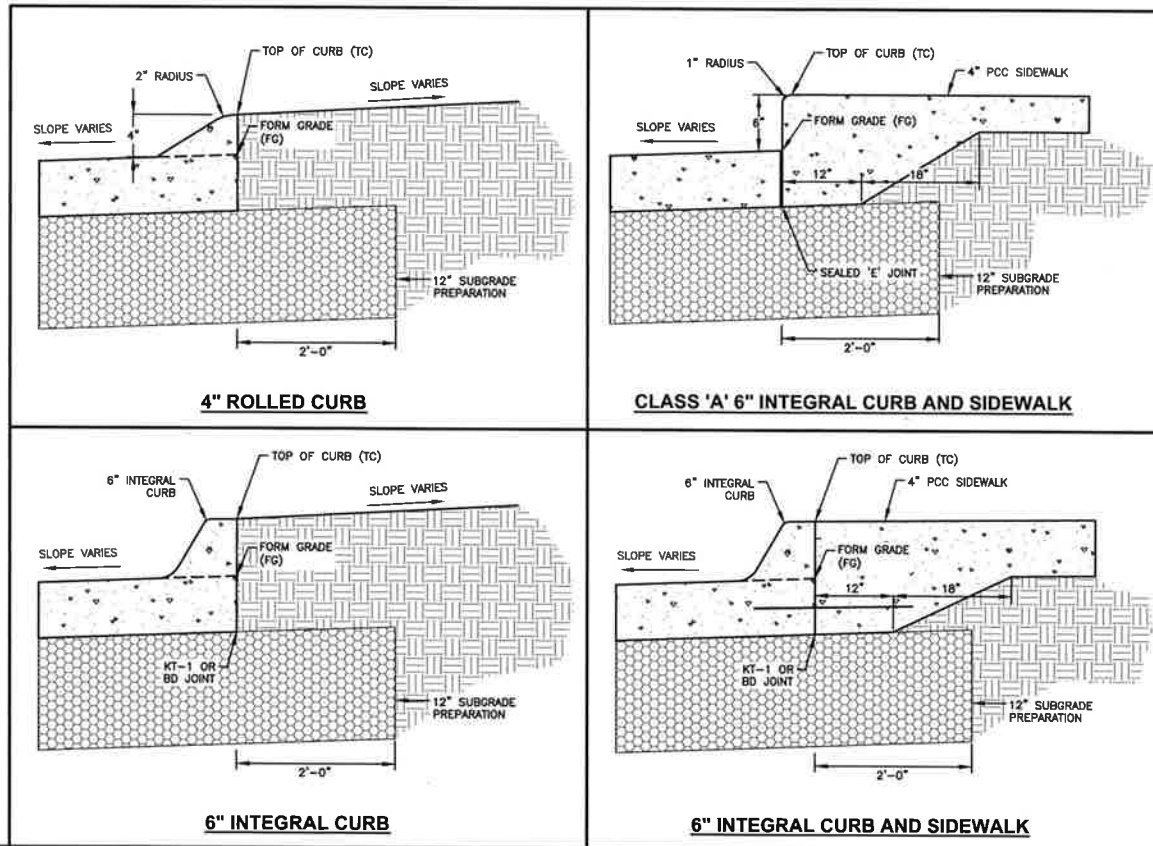
4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400

TECH: CWO/JDS  
ENGINEER: JMM



**AMARE VITA AT HIGH POINTE**  
TYPICAL SECTIONS AND DETAILS  
WEST DES MOINES, IOWA

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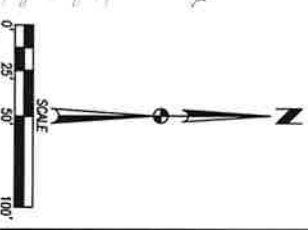
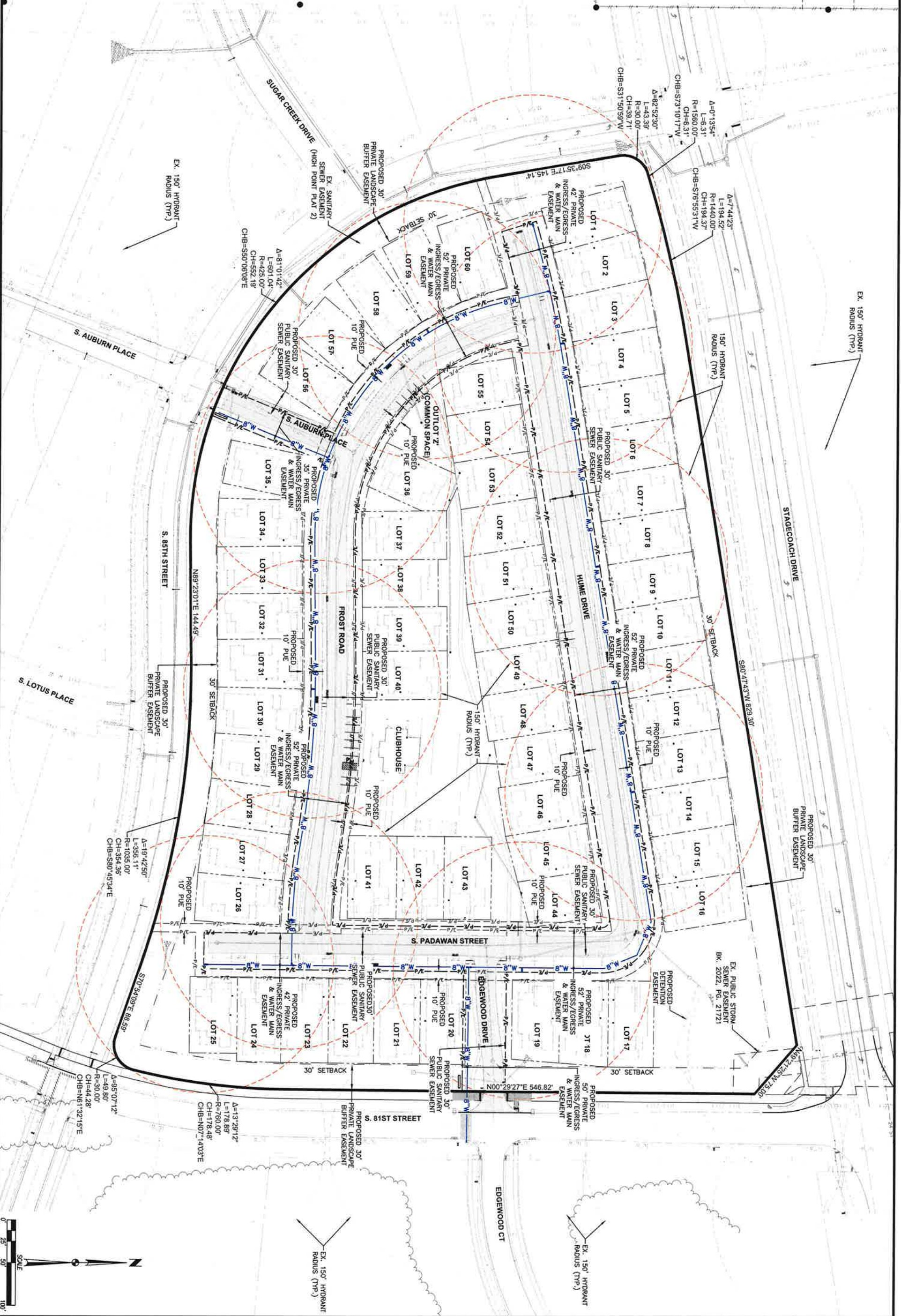
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3RD SUBMITTAL	09/01/2023
2ND SUBMITTAL	08/07/2023
1ST SUBMITTAL	07/14/2023

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400



**AMARE VITA AT HIGH POINTE**  
 TYPICAL SECTIONS AND DETAILS  
 WEST DES MOINES, IOWA

TECH: CWO/JDS  
 ENGINEER: JMM





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 PLOTTED BY: JAMES MURRAY

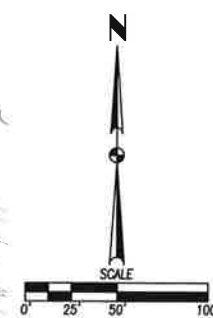
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3RD SUBMITTAL	09/01/2023
2ND SUBMITTAL	08/07/2023
1ST SUBMITTAL	07/14/2023

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 PHONE: (515) 369-4400

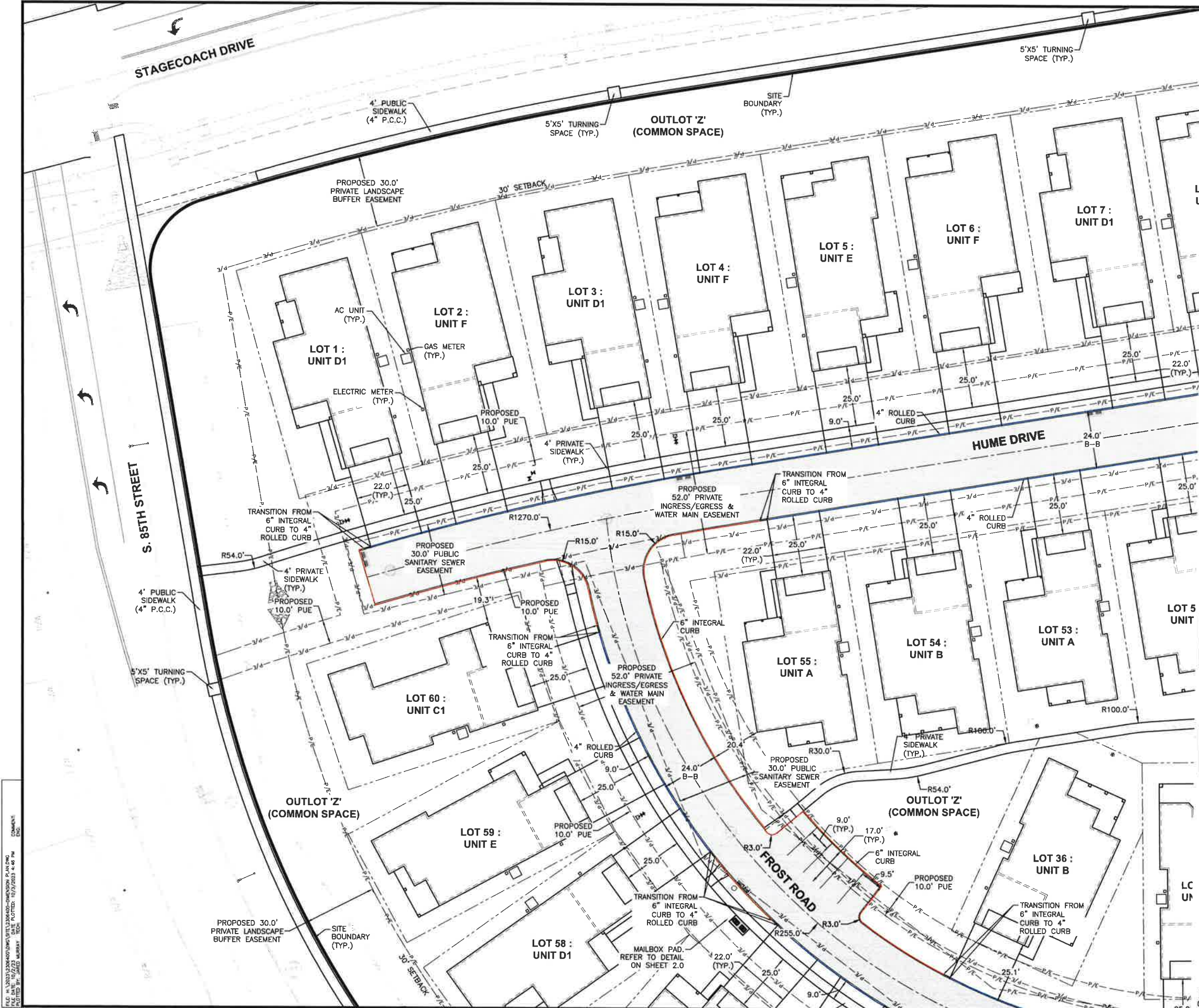
TECH: CWO/JDS  
 ENGINEER: JMM



**AMARE VITA AT HIGH POINTE**  
 OVERALL LOT LAYOUT







**GENERAL NOTES**

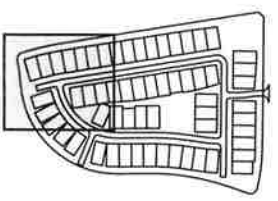
1. THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS AND THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS FOR SUBDIVISIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT ENGINEERING SERVICES (222-3475) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 1/2" INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
18. THE MONUMENT SIGNS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. SIGNS ARE NOT APPROVED AS PART OF THE SITE PLAN REVIEW.
19. INDIVIDUAL GARBAGE TOTES ARE TO BE USED AND STORED IN GARAGE.

**TRAFFIC CONTROL NOTES**

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK/PATH CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES, SIGNAGE AND TEMPORARY PEDESTRIAN ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION 202. AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING, STRIPING AND OTHER TRAFFIC CONTROL DEVICES ON THE DRIVEWAY APPROACHES TO THE PUBLIC STREETS SHOULD CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FEDERAL HIGHWAY ADMINISTRATION 2009 EDITION).

**PAVEMENT THICKNESS (NON-REINFORCED)**

1. SIDEWALKS 4" P.C.C.
2. SIDEWALK RAMPS 6" P.C.C.
3. PRIVATE STREETS 7" P.C.C.
4. PARKING SPACES 7" P.C.C.

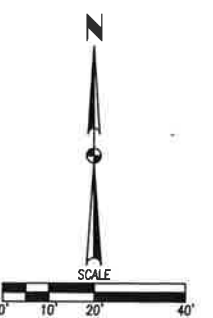


**SHEET INDEX**

\*\*\*\*\* NOTE \*\*\*\*\*  
 THE BUILDINGS SHOWN ARE FOR REFERENCE PURPOSES ONLY. FINAL BUILDING TYPE IS SUBJECT TO CHANGE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.

**CURB LEGEND**

- 6" STANDARD CURB
- 4" ROLLED CURB



DATE	REVISIONS
10/02/2023	FINAL SUBMITTAL
09/22/2023	4TH SUBMITTAL
09/01/2023	3RD SUBMITTAL
08/07/2023	2ND SUBMITTAL
07/14/2023	1ST SUBMITTAL

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400

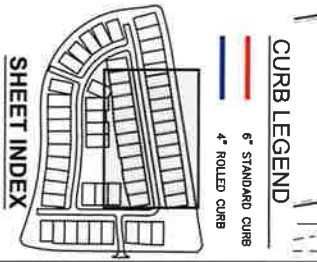
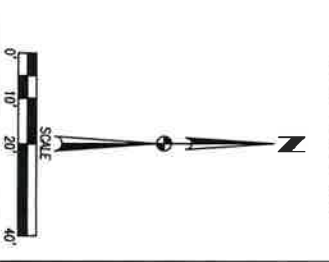
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 ENGINEER: JMM



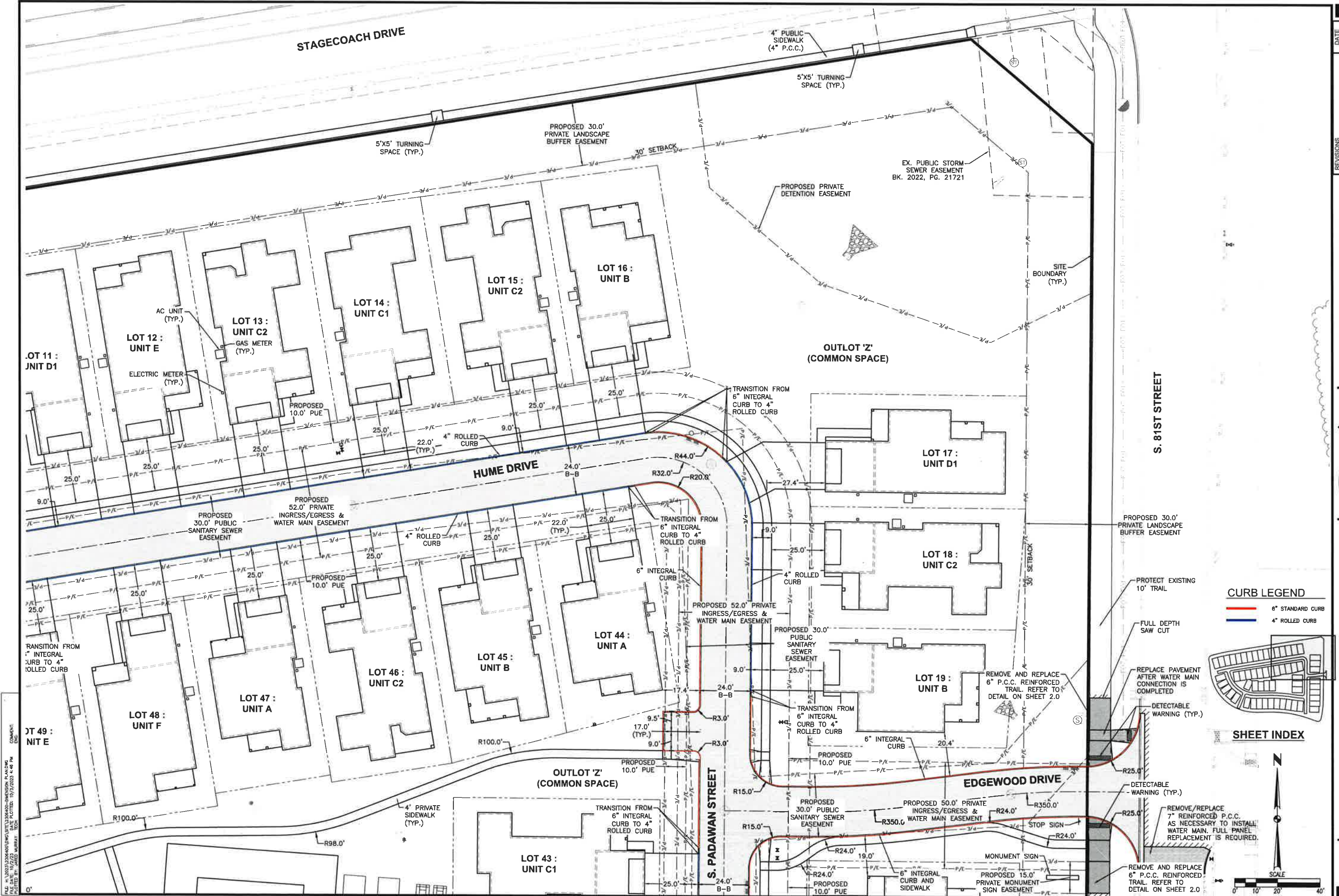
CIVIL DESIGN ADVANTAGE  
 WEST DES MOINES, IOWA

**AMARE VITA AT HIGH POINTE**  
 DIMENSION PLAN

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 DESIGNED BY: JAZED MURRAY  
 CHECKED BY: JAZED MURRAY



REVISIONS	DATE
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4TH SUBMITTAL	09/22/2023
3RD SUBMITTAL	09/01/2023
2ND SUBMITTAL	08/07/2023
1ST SUBMITTAL	07/14/2023



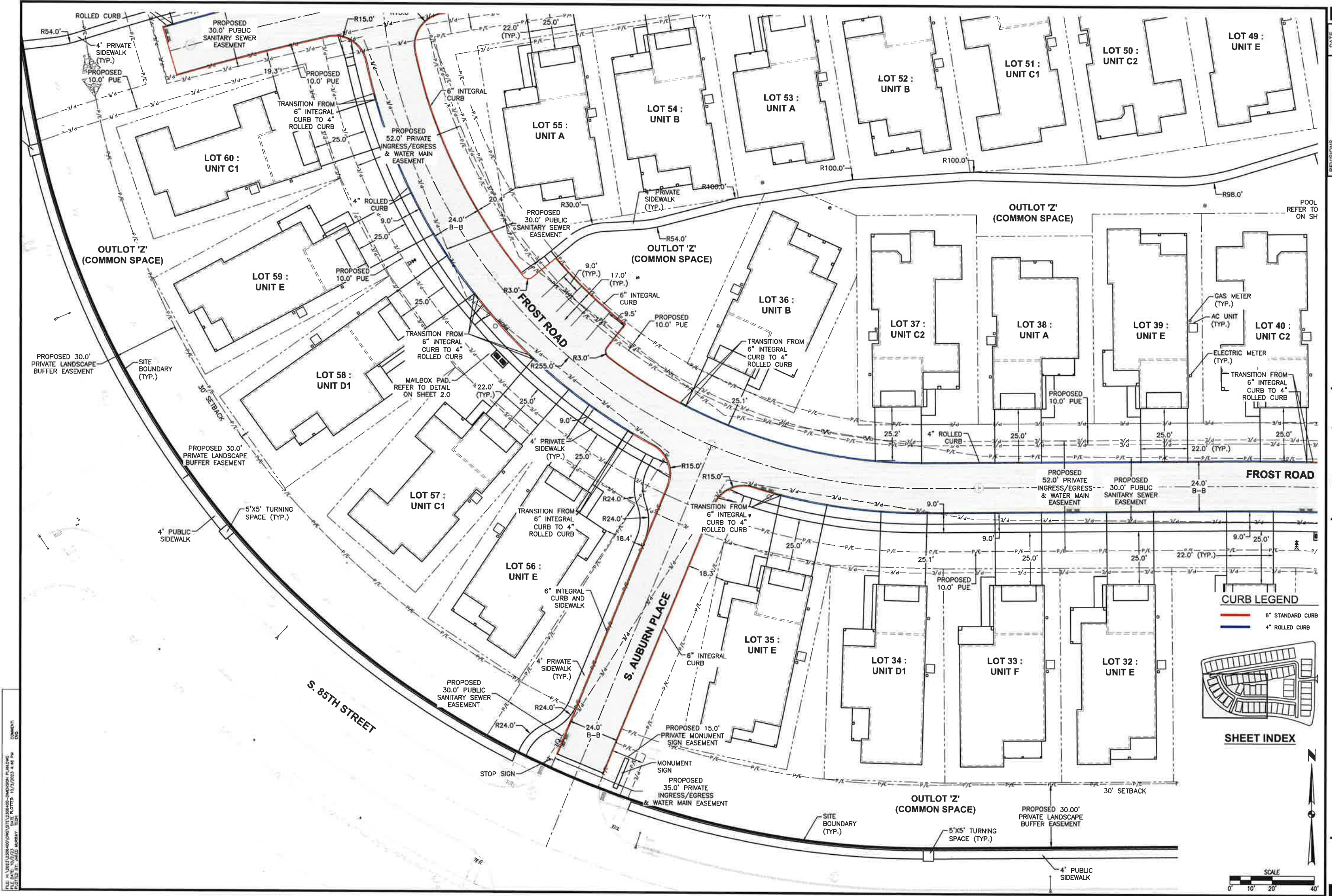
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2ND SUBMITTAL	08/07/2023
1ST SUBMITTAL	07/14/2023

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400



WEST DES MOINES, IOWA  
 CIVIL DESIGN ADVANTAGE  
 ENGINEER: JMM

**AMARE VITA AT HIGH POINTE**  
 DIMENSION PLAN



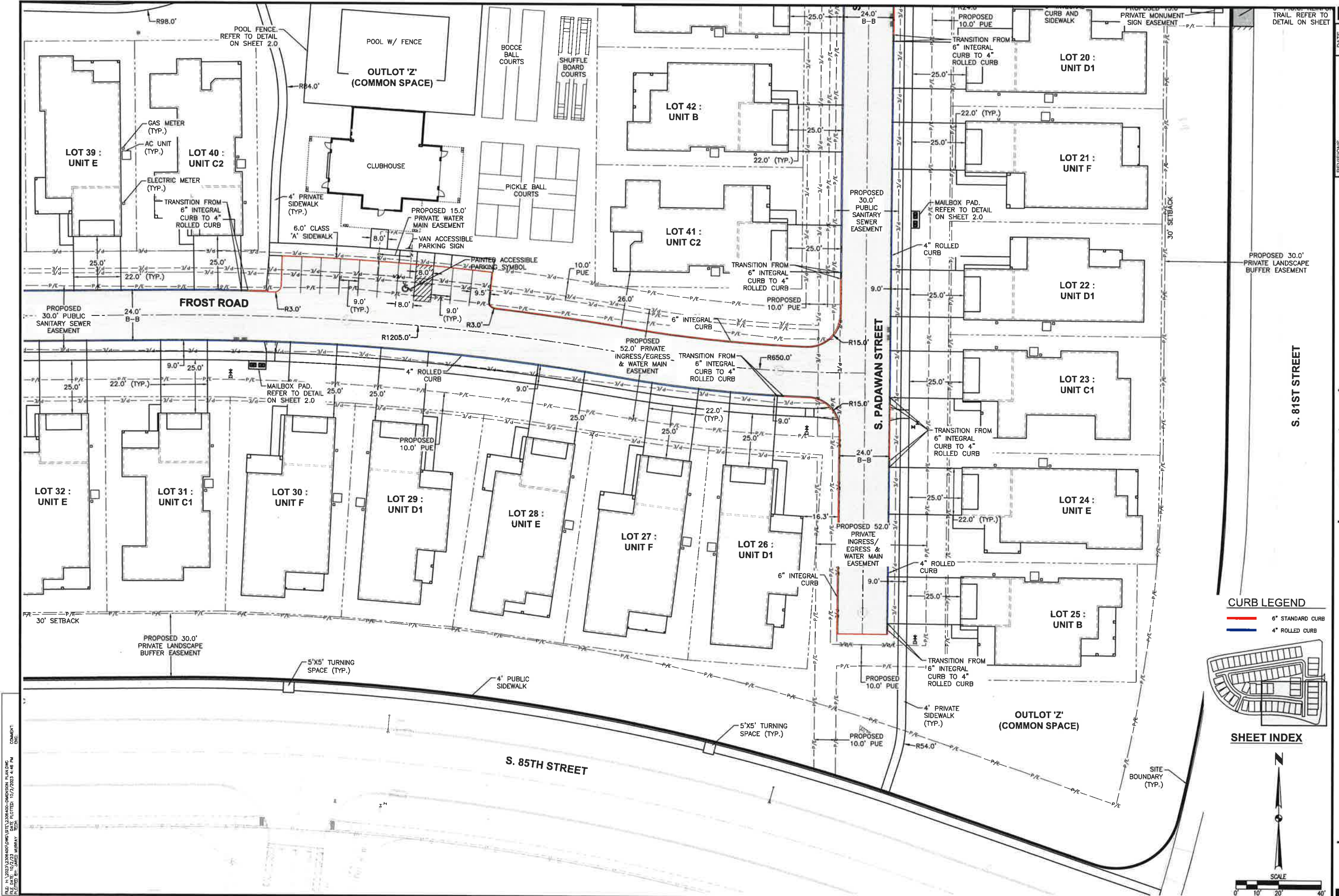
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4TH SUBMITTAL	09/22/2023
3RD SUBMITTAL	09/01/2023
2ND SUBMITTAL	08/07/2023
1ST SUBMITTAL	07/14/2023

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400  
 TECH: CWO/JDS  
 ENGINEER: JMM



**AMARE VITA AT HIGH POINTE**  
 DIMENSION PLAN

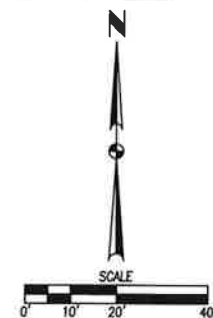


**CURB LEGEND**

	6" STANDARD CURB
	4" ROLLED CURB



**SHEET INDEX**



REVISIONS	DATE
FINAL SUBMITTAL	10/03/2023
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1ST SUBMITTAL	03/14/2023

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400



WEST DES MOINES, IOWA  
 CIVIL DESIGN ADVANTAGE

**AMARE VITA AT HIGH POINTE**  
 DIMENSION PLAN

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 CHECKED BY: JMM

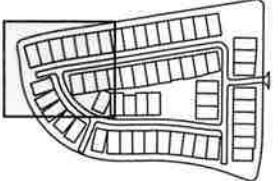


- ### GRADING NOTES
- CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPIRED AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
  - MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
  - ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP-OF-CURB (TC) UNLESS OTHERWISE NOTED.
  - SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
  - ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 2.00%.
  - SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
  - THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
  - REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
  - FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
  - SIDEWALKS: MAINTAIN A 5.0% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 1.5% TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
  - ANY WALLS 4' IN HEIGHT AND OVER WILL BE REQUIRED TO BE DESIGNED BY A STRUCTURAL ENGINEER. A SEPARATE BUILDING PERMIT WILL BE REQUIRED FOR CONSTRUCTION.
  - BELOW IS THE CONTACT INFORMATION FOR THE INDIVIDUAL RESPONSIBLE FOR EROSION CONTROL ISSUES AND ENSURING MUD AND ROCK ARE CLEARED OFF THE STREETS.  
GREG SCHULTE  
PH: 515-988-0067
  - KEEP PROJECT SOLUTIONS WILL BE RESPONSIBLE FOR COORDINATING INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES.  
GREG SCHULTE  
PH: 515-988-0067

### LEGEND

STORM WATER OVERFLOW ROUTE → → → → →

G.F.E. = FINISHED GRADE AT THE FRONT OF THE GARAGE.  
REFER TO ARCHITECTURAL DRAWINGS FOR ANY ELEVATION CHANGE WITHIN THE BUILDING.



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4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400

TECH: CWOJDS  
ENGINEER: JMM

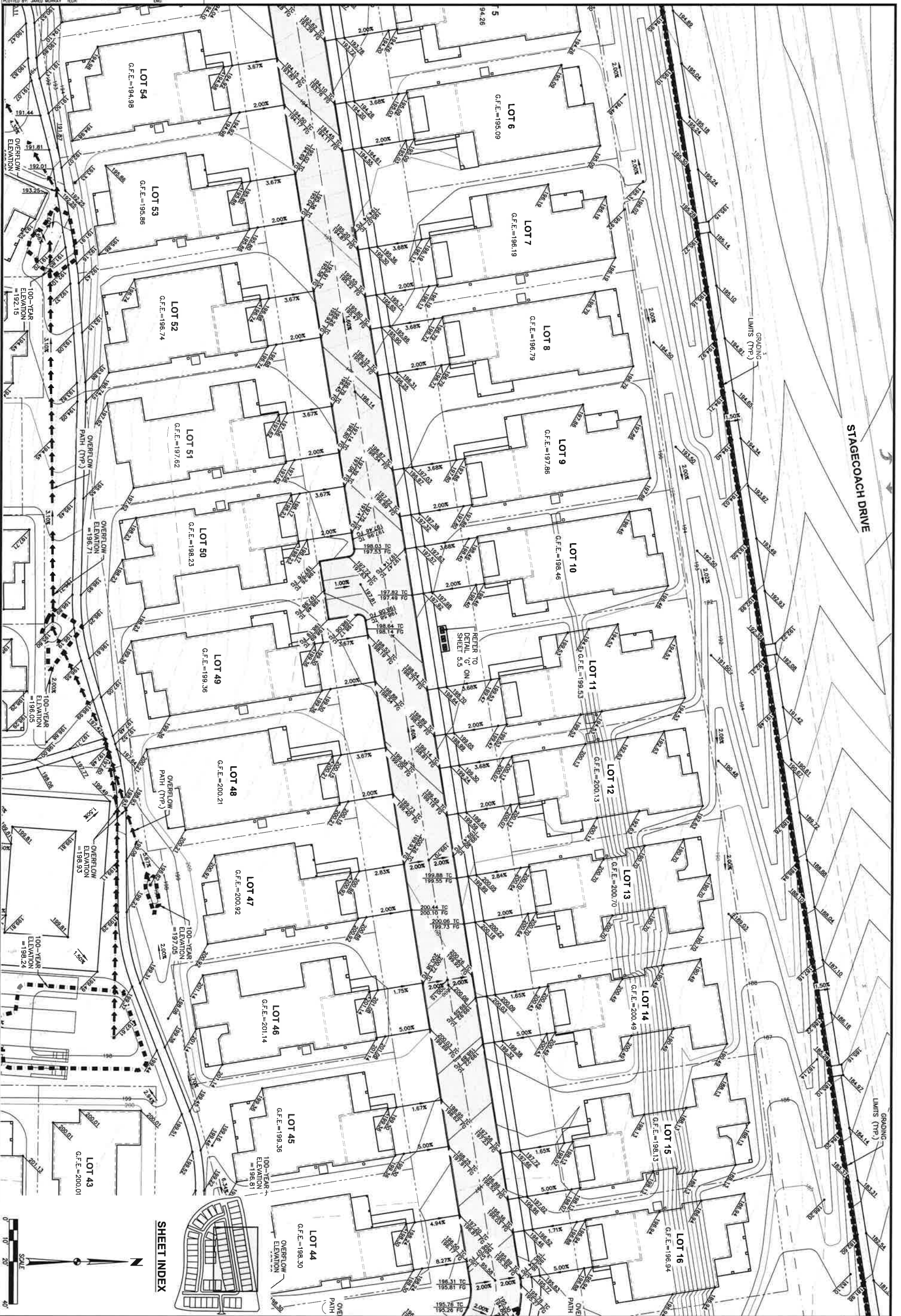


CIVIL DESIGN ADVANTAGE  
WEST DES MOINES, IOWA

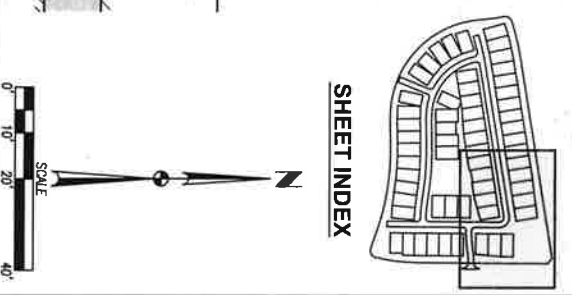
AMARE VITA AT HIGH POINTE  
GRADING PLAN

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**AMARE VITA AT HIGH POINTE**  
 GRADING PLAN

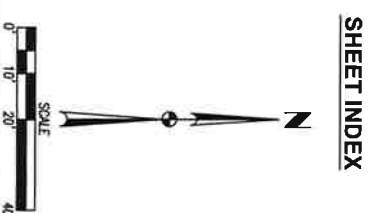
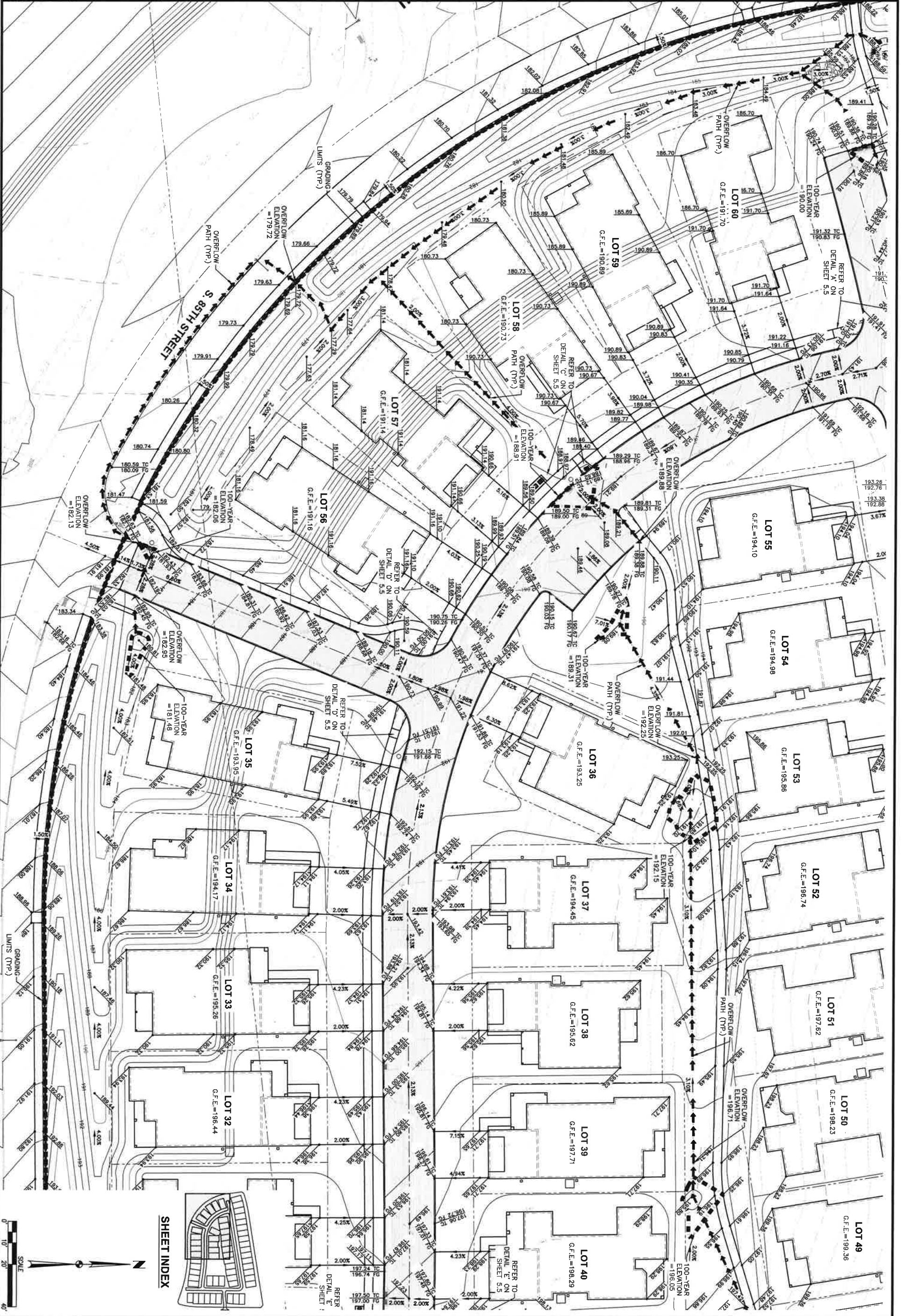


WEST DES MOINES, IOWA

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**AMARE VITA AT HIGH POINT**  
GRADING PLAN

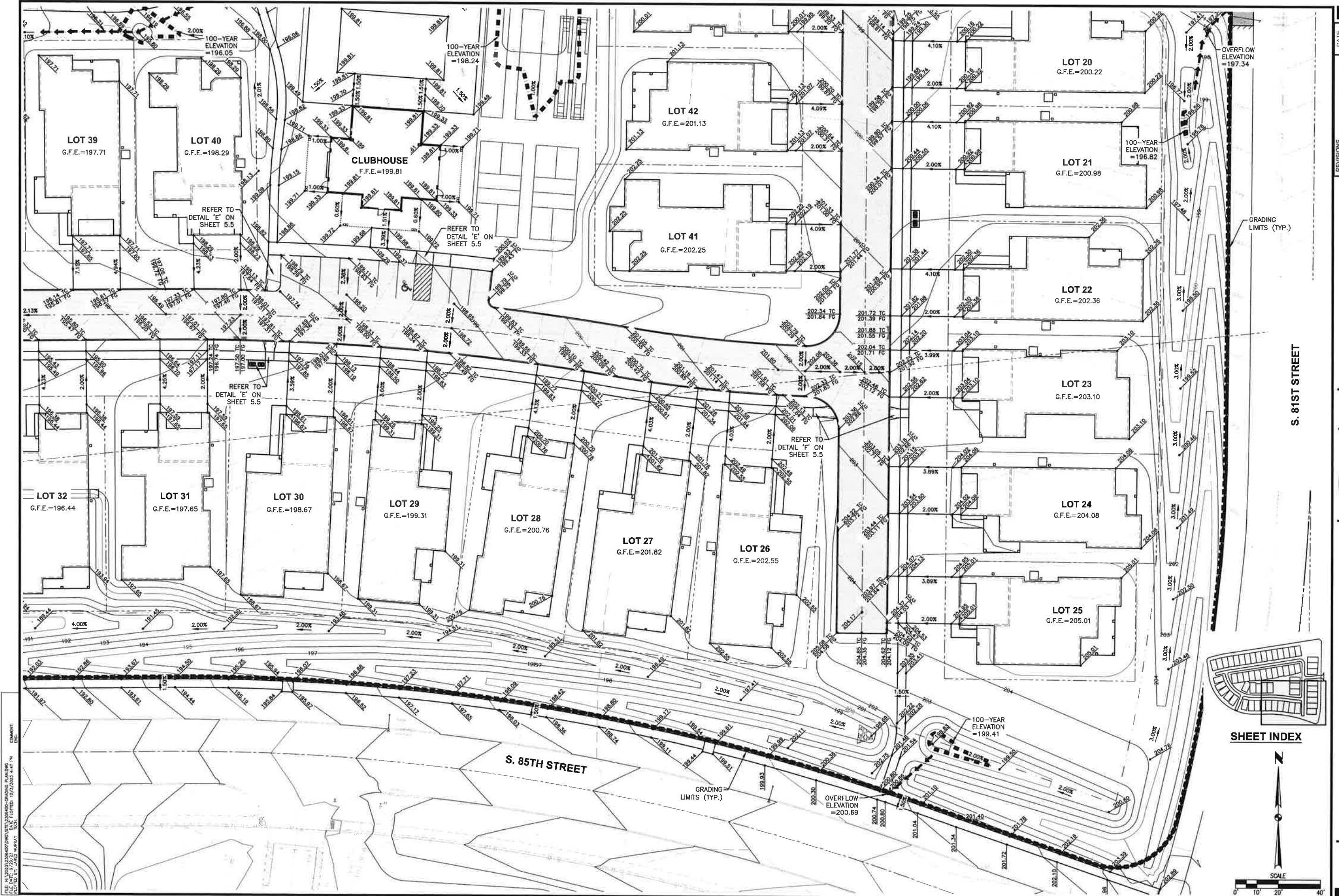


WEST DES MOINES, IOWA

CIVIL DESIGN ADVANTAGE

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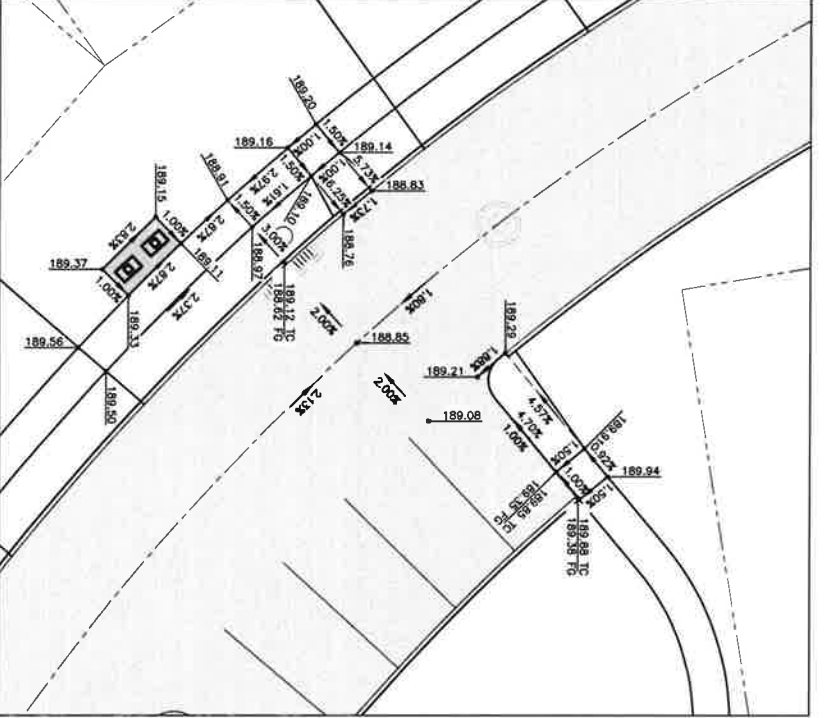
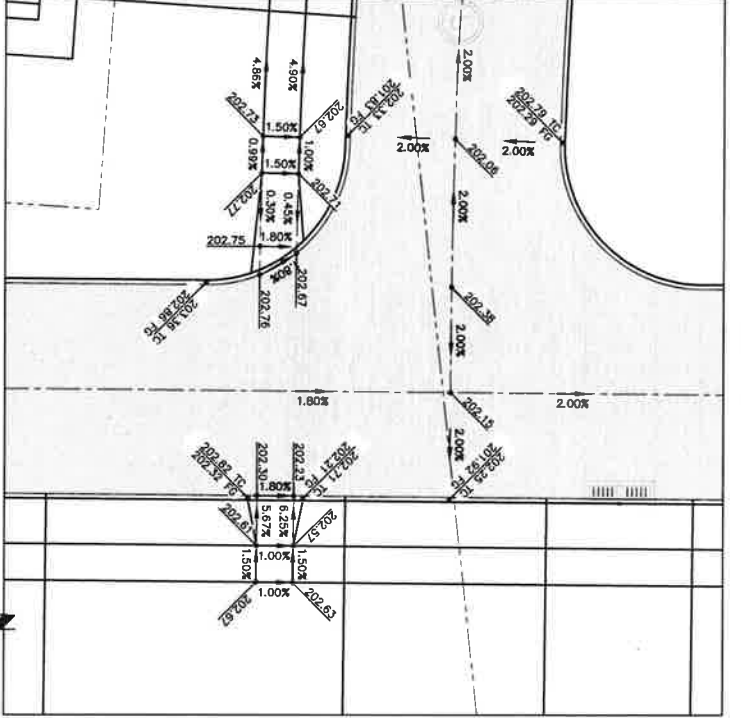
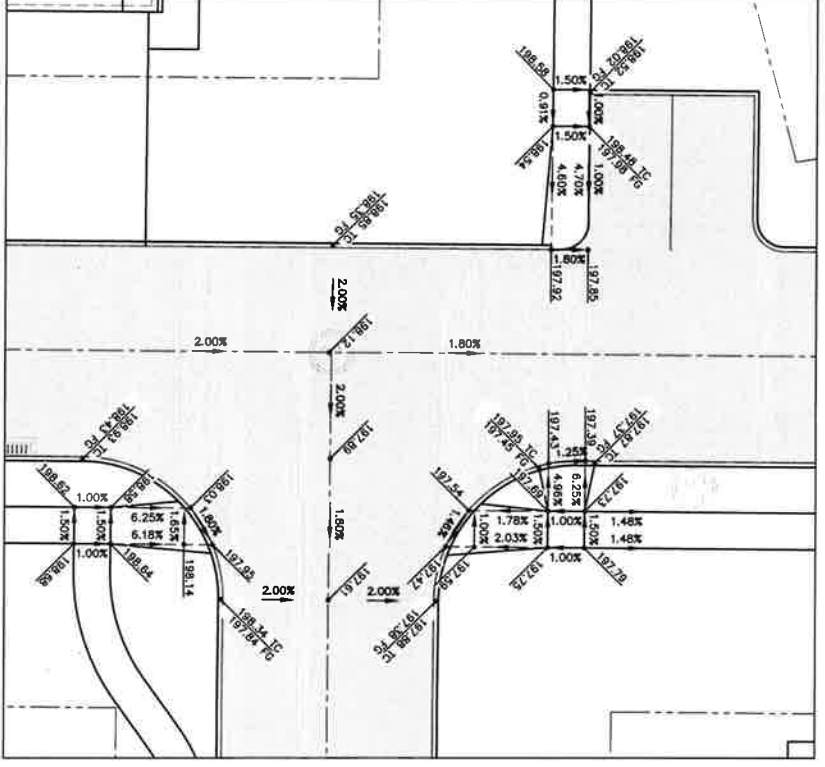
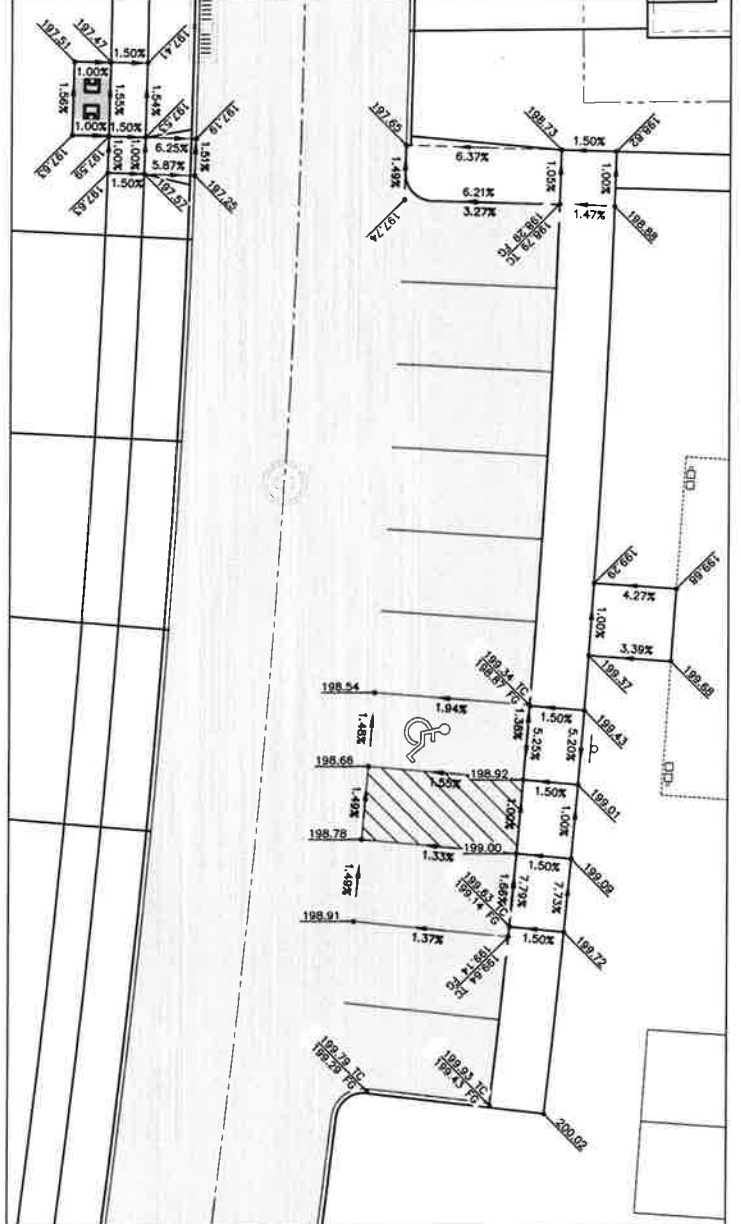
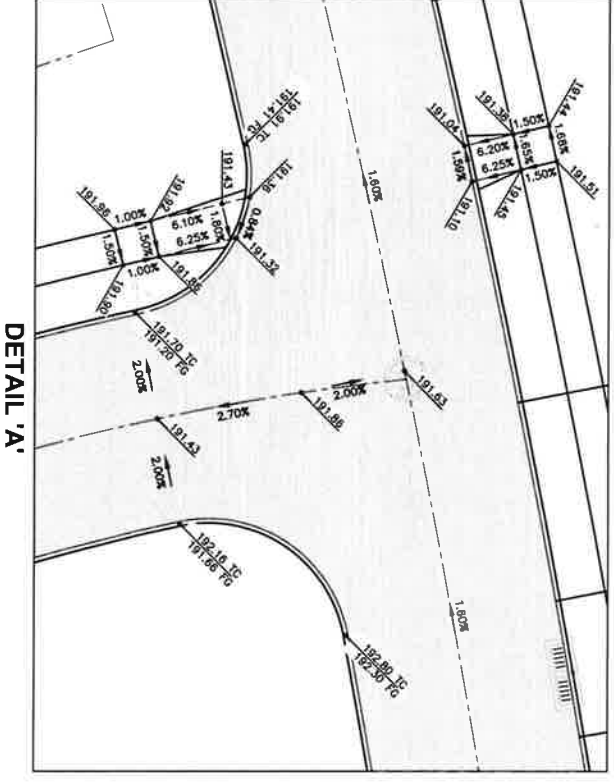
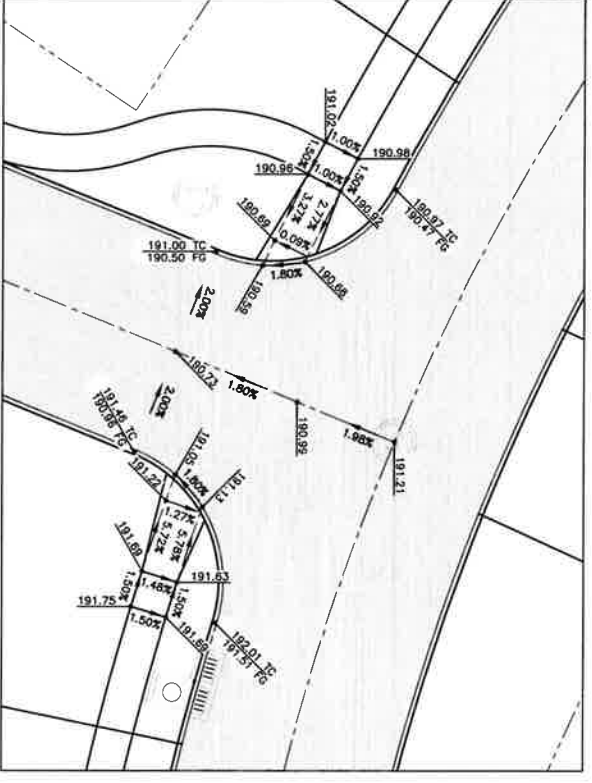
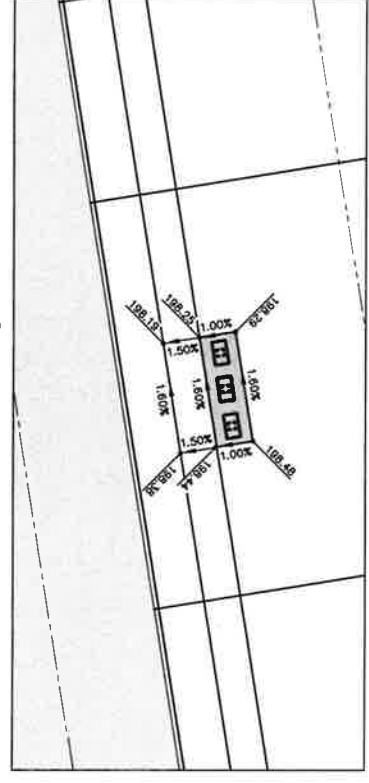
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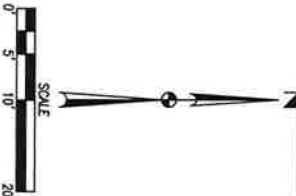
TECH: CWOJDS  
 ENGINEER: JMM



**AMARE VITA AT HIGH POINTE**  
 GRADING PLAN



\*\*\* NOTE \*\*\*  
 ALL SIDEWALKS SHOWN IN DETAILS ARE PRIVATE. PROJECT  
 THE EXISTING PUBLIC IS SHARED USE PATH AND  
 CONSTRUCTION SPECIFICATIONS SHALL BE STANDARD  
 DSM METRO DESIGN STANDARDS AND MDW ADDENDUMS.



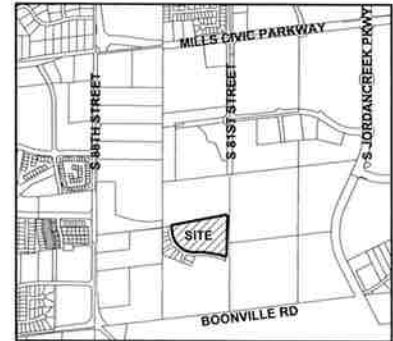
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# AMARE VITA AT HIGH POINTE

## EROSION AND SEDIMENT CONTROL PLAN

### VICINITY MAP

NOT TO SCALE



WEST DES MOINES, IOWA

### NOTES:

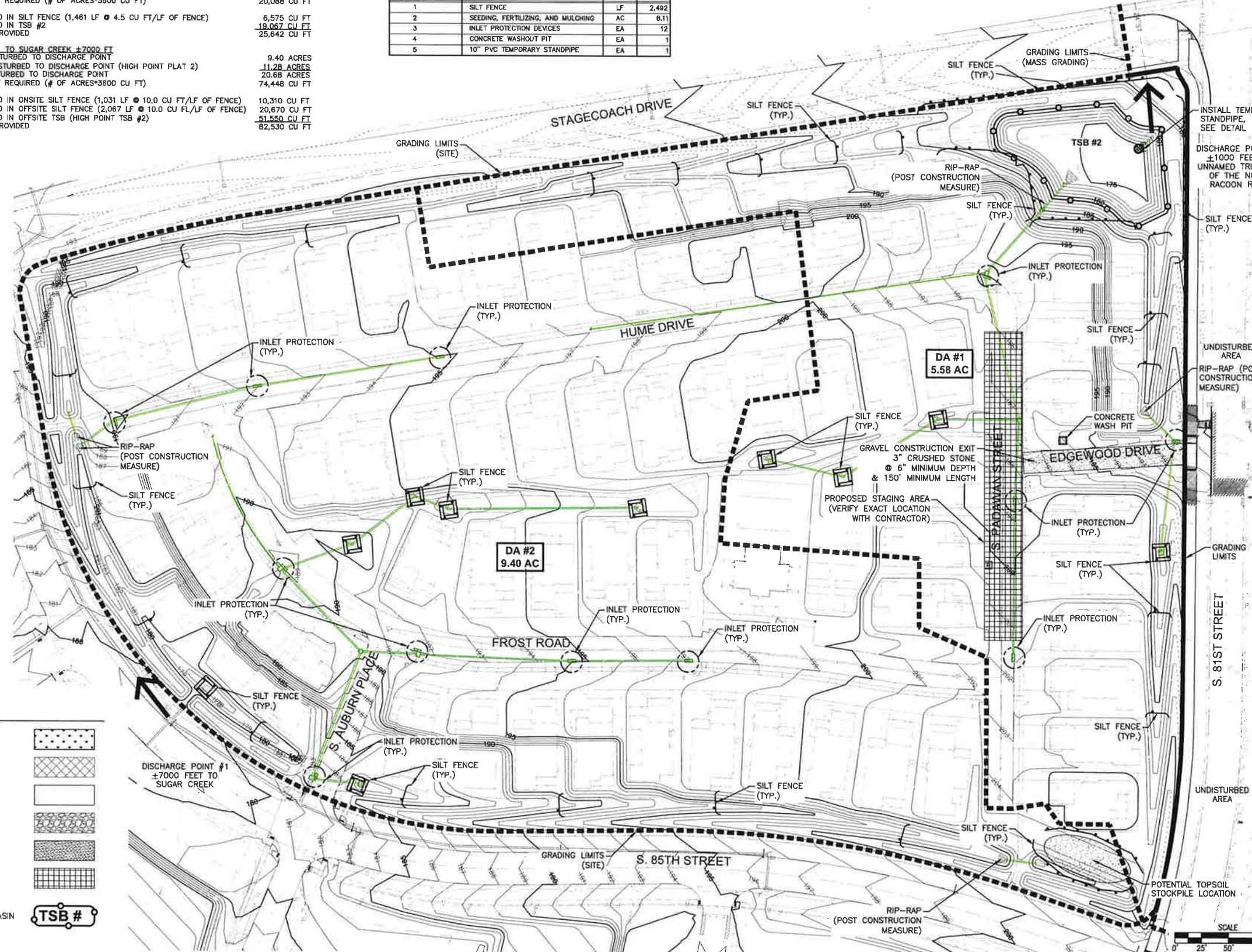
- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENTS.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED PRIOR TO THE SITE SHUTTING DOWN FOR WINTER CONDITIONS.
- PREPARATION OF SEED-BED:
  - AREAS ACCESSIBLE TO MACHINERY: AREAS ACCESSIBLE TO FIELD MACHINERY SHALL BE THOROUGHLY WORKED TO A DEPTH OF NOT LESS THAN THREE INCHES. THE SOIL SHALL BE BROUGHT TO A LOOSE, FRIABLE CONDITION, AND SHALL BE PICKED FREE OF ROCKS AND CONCRETE CHUNKS IN EXCESS OF ONE INCH DIAMETER WHERE WEED GROWTH HAS DEVELOPED EXTENSIVELY. THE USE OF A DISK WILL BE ALLOWED TO DISK THESE WEEDS INTO THE GROUND IF WEEDS CAN BE COMPLETELY COVERED BY THIS METHOD.
  - AREAS INACCESSIBLE TO MACHINERY: AREAS INACCESSIBLE TO FIELD MACHINERY SHALL BE PREPARED BY HAND TO A DEPTH OF NOT LESS THAN ONE AND ONE-HALF INCHES. THE SOIL SHALL BE BROUGHT TO A LOOSE FRIABLE CONDITION.
  - THE SEEDBED SHALL BE INSPECTED AND APPROVED BY THE CITY ENGINEER PRIOR TO SEEDING.
- KEEN PROJECT SOLUTIONS WILL BE RESPONSIBLE FOR COORDINATING INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES.  
GREG SCHULTE  
PH: 515-988-0067
- A STABILIZED ROCK CONSTRUCTION ENTRANCE IS PROVIDED TO HELP KEEP MUD AND DEBRIS FROM ENTERING THE PUBLIC R.O.W. MAINTENANCE DEVELOPMENT IS RESPONSIBLE FOR CLEANUP OF ANY VEHICLE TRACKING FROM THIS PROPERTY.
- REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
- STORM SEWER AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
- BELOW IS THE CONTACT INFORMATION FOR THE INDIVIDUAL RESPONSIBLE FOR EROSION CONTROL ISSUES AND ENSURING MUD AND ROCK ARE CLEARED OFF THE STREETS.  
GREG SCHULTE  
PH: 515-988-0067
- STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. IN DROUGHT-STRIKEN AREAS AND AREAS THAT HAVE RECENTLY RECEIVED SUCH HIGH AMOUNTS OF RAIN THAT SEEDING WITH FIELD EQUIPMENT IS IMPOSSIBLE AND INITIATING VEGETATIVE STABILIZATION IMMEDIATELY IS INFEASIBLE, ALTERNATIVE STABILIZATION MEASURES MUST BE EMPLOYED AS SPECIFIED BY THE DEPARTMENT. IN LIMITED CIRCUMSTANCES, STABILIZATION MAY NOT BE REQUIRED IF THE INTENDED FUNCTION OF A SPECIFIC AREA OF THE SITE NECESSITATES THAT IF REMAIN DISTURBED.

### DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO UNNAMED TRIBUTARY OF THE NORTH RACON RIVER ±1000 FT	5.58 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	20,088 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN SILT FENCE (1,461 LF @ 4.5 CU FT/LF OF FENCE)	6,575 CU FT
VOLUME PROVIDED IN TSB #2	12,067 CU FT
TOTAL VOLUME PROVIDED	25,642 CU FT
DISCHARGE POINT #2 TO SUGAR CREEK ±7000 FT	9.40 ACRES
ONSITE AREA DISTURBED TO DISCHARGE POINT	11.28 ACRES
OFFSITE AREA DISTURBED TO DISCHARGE POINT (HIGH POINT PLAT 2)	20.68 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	74,448 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN ONSITE SILT FENCE (1,031 LF @ 10.0 CU FT/LF OF FENCE)	10,310 CU FT
VOLUME PROVIDED IN OFFSITE SILT FENCE (2,067 LF @ 10.0 CU FT/LF OF FENCE)	20,670 CU FT
VOLUME PROVIDED IN OFFSITE TSB (HIGH POINT TSB #2)	51,550 CU FT
TOTAL VOLUME PROVIDED	82,530 CU FT

### STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	2,492
2	SEEDING, FERTILIZING, AND MULCHING	AC	8.11
3	INLET PROTECTION DEVICES	EA	12
4	CONCRETE WASHOUT PIT	EA	1
5	10" PVC TEMPORARY STANDPIPE	EA	1



### SWPPP LEGEND

DRAINAGE ARROW	← X.XX %	AREA TO BE SEEDED	[Pattern]
GRADING LIMITS	---	STRAW MAT	[Pattern]
FILTER SOCK	[Symbol]	UNDISTURBED AREA	[Pattern]
SILT FENCE	[Symbol]	RIP-RAP	[Pattern]
DITCH CHECK	[Symbol]	GRAVEL ENTRANCE	[Pattern]
INLET PROTECTION	[Symbol]	STAGING AREA	[Pattern]
PORTABLE RESTROOM	[R]	TEMPORARY SEDIMENT BASIN	[TSB #]
TEMPORARY STANDPIPE	[Symbol]		
CONCRETE WASHOUT PIT	[Symbol]		

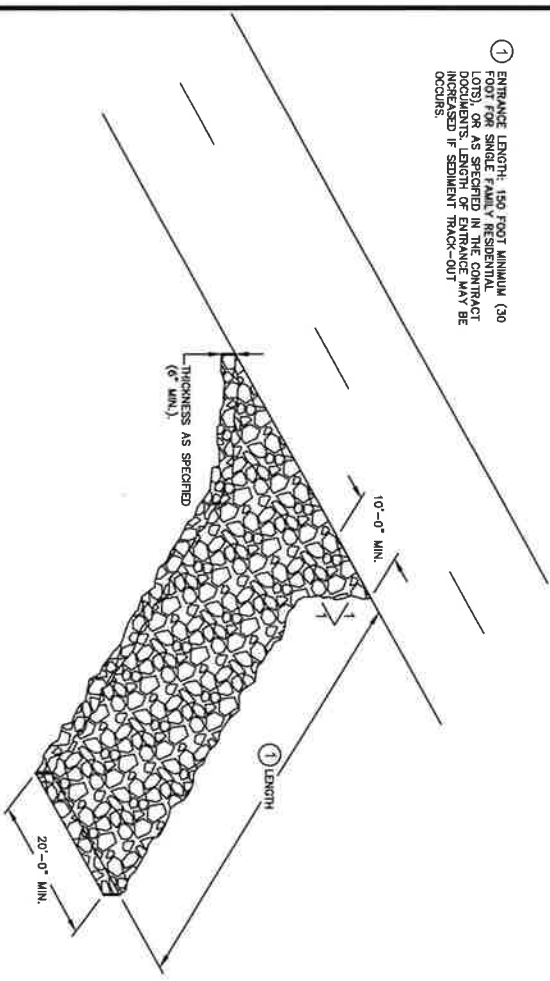
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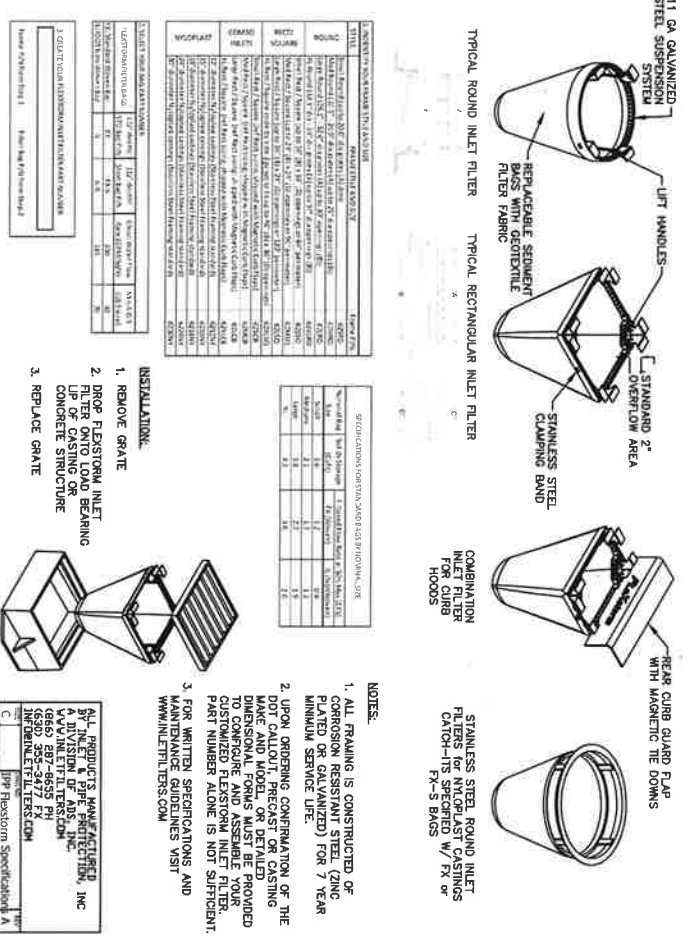
**AMARE VITA AT HIGH POINTE**  
EROSION AND SEDIMENT CONTROL PLAN  
WEST DES MOINES, IOWA

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① ENTRANCE LENGTH: 150' FOOT MINIMUM (30' FROM START OF A RESIDENTIAL LOT), OR AS SPECIFIED IN THE CONTRACT DOCUMENTS. LENGTH OF ENTRANCE MAY BE INCREASED IF SEDIMENT TRACK-OUT OCCURS.

STABILIZED CONSTRUCTION ENTRANCE  
 NOT TO SCALE



- INSTALLATION:**
1. REMOVE GRATE
  2. BRAP FLEXSTORM INLET UP OF CASTING OR CONCRETE STRUCTURE
  3. REPLACE GRATE

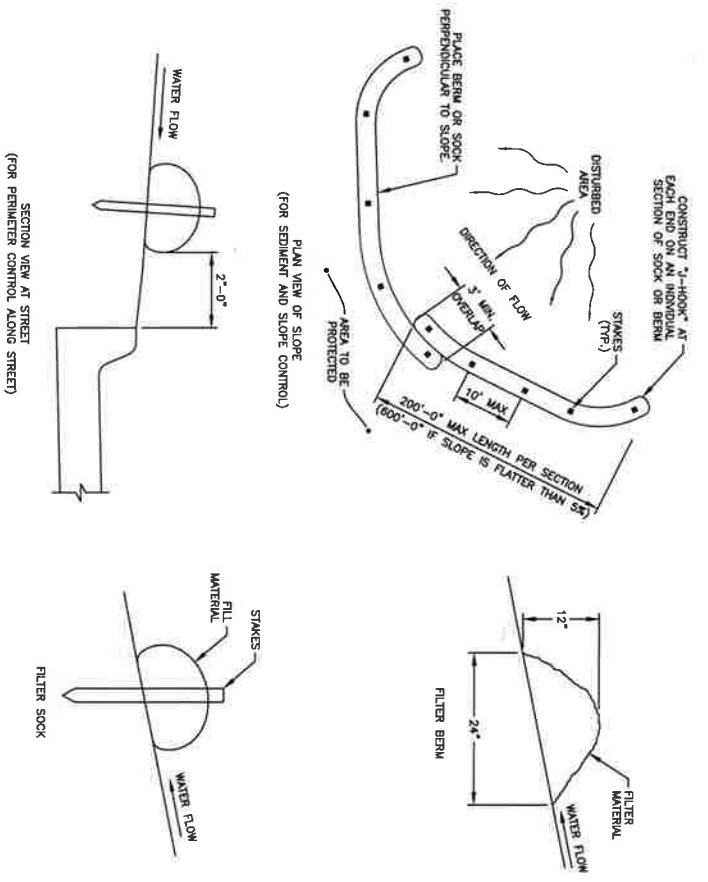
FLEXSTORM CATCH-T FILTERS FOR TEMPORARY INLET PROTECTION PRODUCT SELECTION AND SPECIFICATION DRAWING  
 NOT TO SCALE

**NOTES:**

1. ALL FRAMING IS CONSTRUCTED OF PLATED OR GALVANIZED FOR 1 YEAR MINIMUM SERVICE LIFE.
2. UPON OBTAINING PERMISSION OF THE MAKE AND MODEL, PRECAST OR CASTING DIMENSIONAL FINISH MUST BE PROVIDED. CUSTOMIZED FLEXSTORM INLET FILTER PART NUMBER ALONE IS NOT SUFFICIENT.
3. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

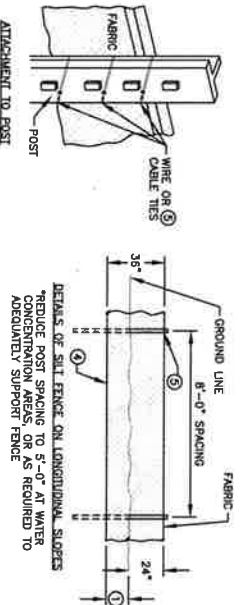
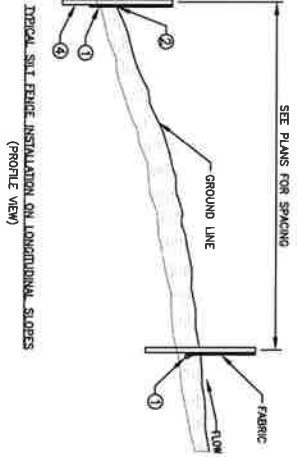
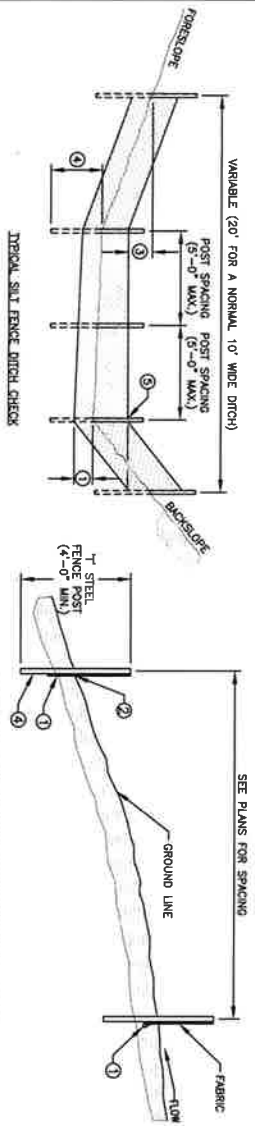
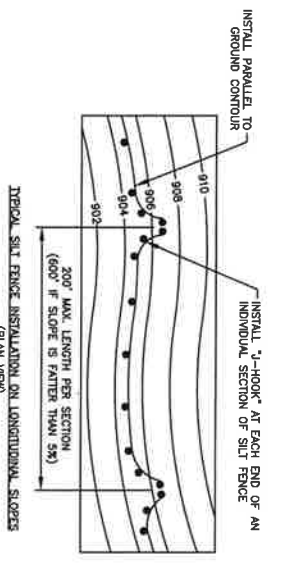
INLET FILTER MANUFACTURER INFORMATION

Model	Length (ft)	Width (ft)	Height (ft)	Weight (lb)
FX-1	150	10	12	1500
FX-2	100	10	12	1000
FX-3	75	10	12	750
FX-4	50	10	12	500
FX-5	25	10	12	250

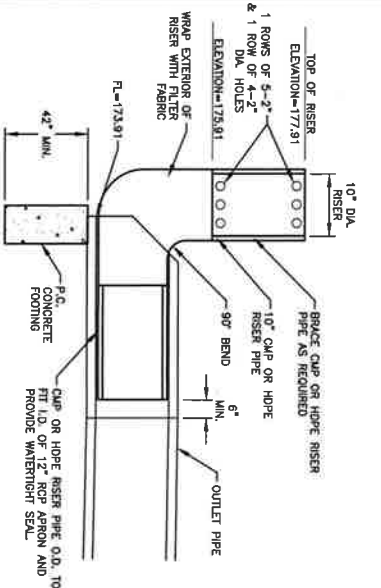


TYPICAL PLACEMENT OF FILTER BERM OF SOCK  
 NOT TO SCALE

- GENERAL NOTES:**
1. INSTALL SILT FENCE ACCORDING TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS AND AT LOCATIONS SHOWN IN JURISDICTIONAL ENGINEERS' OR AS DIRECTED BY THE JURISDICTIONAL ENGINEER.
  2. COMPACT GROUND BY DRIVING ALONG EACH SIDE OF THE SILT FENCE TO PREVENT PULLOUT AND FLOW UNDER THE FENCE.
  3. IN DITCHES, EXTEND SILT FENCE UP SIDE SLOPE SO THE BOTTOM ELEVATION AT THE END OF THE FENCE IS A MINIMUM OF 12 IN. ABOVE THE DITCH.
  4. STEEL POSTS TO BE EMERGED 10 IN. UNLESS OTHERWISE ALLOWED BY THE JURISDICTIONAL ENGINEER.
  5. SECURE TOP OF ENGINEERING FABRIC TO STEEL POSTS USING WIRE OR PLASTIC TIES (50 LB. MIN.). SEE DETAILS OF ATTACHMENT TO POSTS.



SILT FENCE  
 NOT TO SCALE



TEMPORARY STAND PIPE DETAIL: TSB #1 (ST-31)  
 NOT TO SCALE

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**UTILITY NOTES**

1. FIELD SURVEY, EXISTING AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
3. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WEST DES MOINES PLUMBING CODE.
4. MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES: 18"
5. MINIMUM VERTICAL CLEARANCE BETWEEN WATER MAIN AND SANITARY SEWER PIPES: 18"
6. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
7. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN STORM SEWER LINES AND WATER MAINS.
8. WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY PROVIDER OF ANY ENCOUNTERS AND TO OBTAIN NECESSARY PERMISSIONS AND SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN LOCATED FROM AVAILABLE RECORDS, FIELD SURVEY AND OTHER SOURCES. LOCATIONS MAY BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT UNDETECTED UTILITIES OR FEATURES MAY BE ENCOUNTERED AT ANY LOCATION AND TO AVOID DAMAGE, THEREFO NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE MADE FOR UNEXPECTED ENCOUNTERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMISSIONS AND SERVICES PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL UTILITIES TO BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2021 UNIFORM PLUMBING CODE. CONTACT THE CITY OF WEST DES MOINES FOR MORE INFORMATION.
10. PRIVATE UTILITIES TO BE MAINTAINED BY THE CONTRACTOR SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHALL BE CLEAR AT NO COST TO THE OWNER. INSTALL DELI FIBRE AT ALL PERMANENT STORM SEWER INLETS.
11. ALL STORM SEWER APRONS SHALL HAVE ROOTINGS AND APRON GUARDS.
12. ALL STORM SEWER APRONS SHALL HAVE ROOTINGS AND APRON GUARDS.
13. ALL STORM SEWER APRONS SHALL HAVE ROOTINGS AND APRON GUARDS.
14. CARG STOP STEERS ARE REQUIRED FOR ALL CARG STOP IN DRIVEWAYS.

**WEST DES MOINES WATER WORKS STANDARD NOTES**

1. ALL WATER WORKS, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS, AVAILABLE AT WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS.
2. WATER WORKS THROUGHT METERS, CALL 515-282-3465 TO RESERVE A METER.
3. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
4. WATER WORKS AND METER INSTALLATION SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS FOR CONTAMINANT IN ALL NEW CONSTRUCTION.
5. APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAMINANT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 12971, 24-198R. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TAPPING STATION WATER PRESSURE AND WATER MAINS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TAPPING STATION WATER PRESSURE AND WATER MAINS (TAPS) WITH EXPANSION TANKS, WHERE REQUIRED. PRESSURE REDUCING VALVE(IES) AND ASSEMBLY(IES) SERVING THE SITE.

**LIGHTING NOTES:**

1. SEE LIGHTING PLAN (PHOTOMETRIC PLAN) FOR MORE INFORMATION.
2. ALL LIGHTING MUST BE DOWN-CAST CUT-OFF TRIM FIXTURES. WALL PACK LIGHT FIXTURES ARE PROHIBITED TO SHED LIGHT DOWN TO ITS INTENDED TARGET AREA.

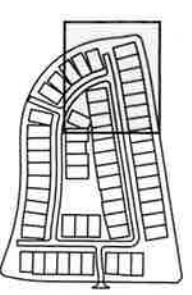
**NOTE:**  
 REFER TO THE APPROVED PUBLIC IMPROVEMENT PLANS FOR CONSTRUCTION OF THE PUBLIC SANITARY SEWER.

**NOTE:**  
 CONTRACTOR SHALL COORDINATE ALL TRANSFORMER PAD INSTALLATION WITH THE CITY OF WEST DES MOINES ENERGY PRIOR TO TRANSFORMER PAD CONSTRUCTION.

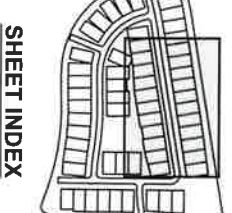
**PRIVATE WATER MAIN QUANTITIES**

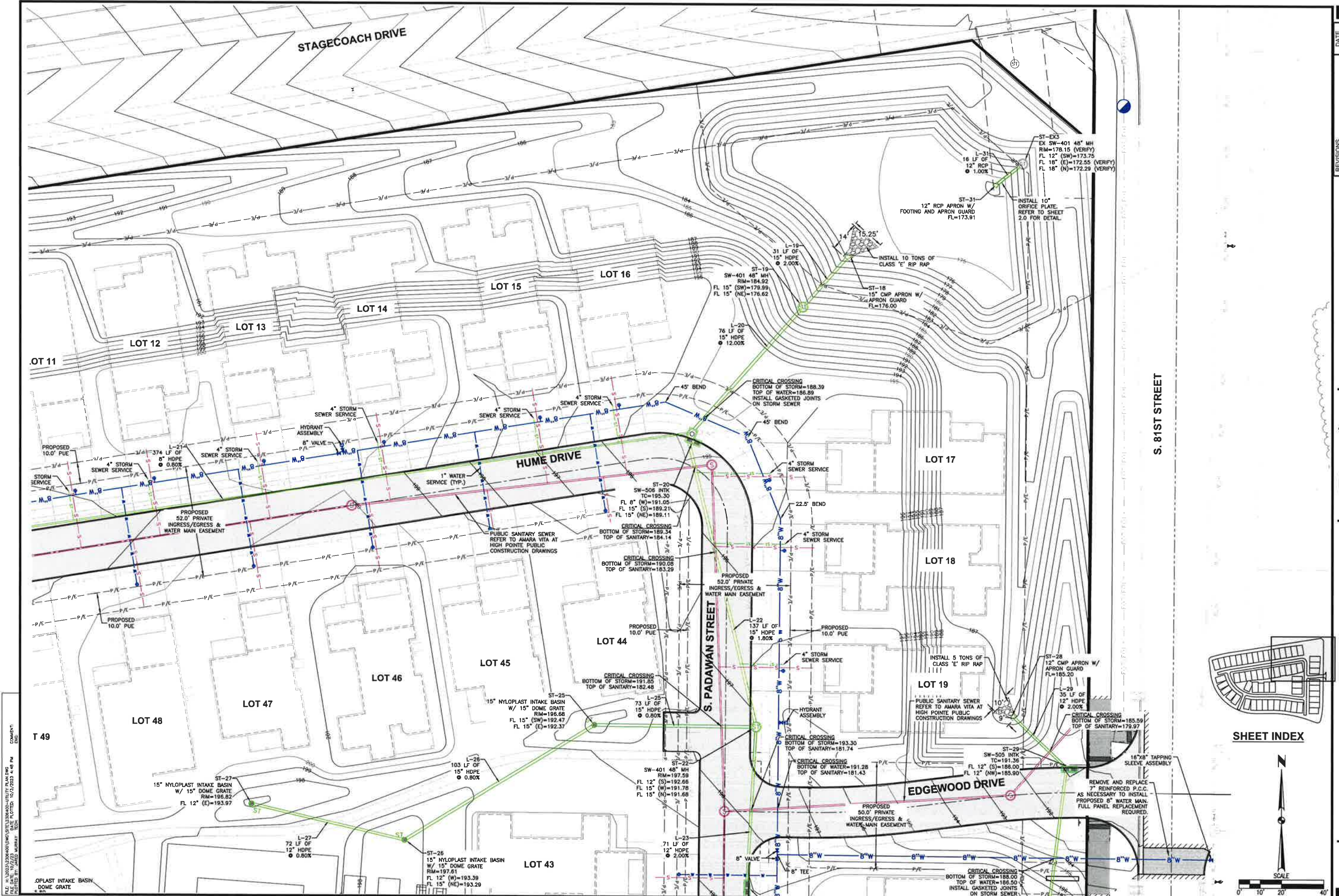
- HYDRANT ASSEMBLY 10 EA
- 16" TAPPING SLEEVE ASSEMBLY 9 EA
- 8" VALVE 2 ASST LF
- 8" WATER MAIN 2 ASST LF

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REVISIONS	DATE
FINAL SUBMITTAL	10/23/2023
4TH SUBMITTAL	09/22/2023
3RD SUBMITTAL	09/01/2023
2ND SUBMITTAL	08/07/2023
1ST SUBMITTAL	07/14/2023

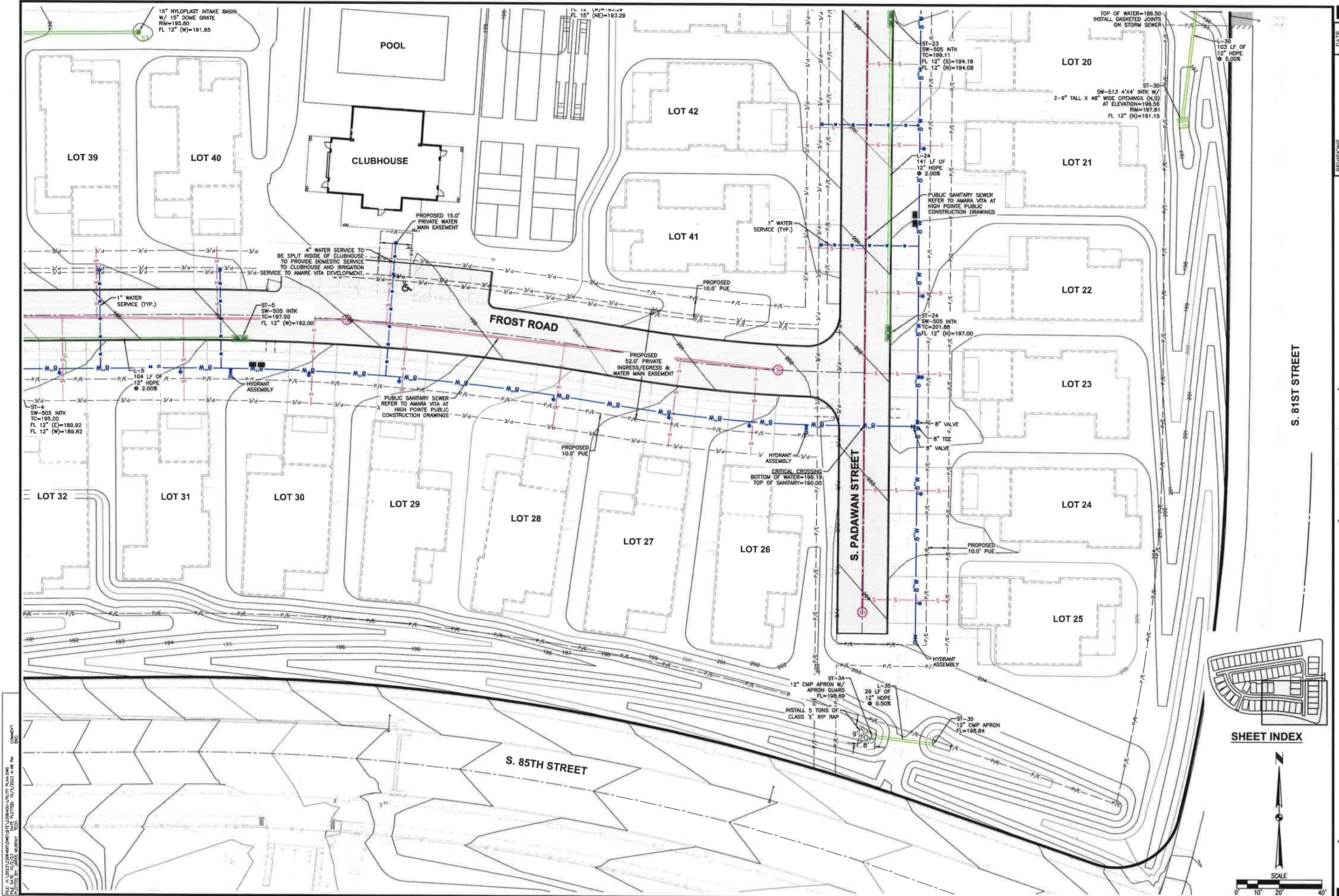
4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400  
 TECH: CWOJDS  
 ENGINEER: JMM



**AMARE VITA AT HIGH POINTE**  
 UTILITY PLAN  
 WEST DES MOINES, IOWA  
 7.2  
 2306.400







REVISIONS	DATE
FINAL SUBMITTAL	10/03/2023
4TH SUBMITTAL	09/22/2023
3RD SUBMITTAL	09/01/2023
2ND SUBMITTAL	08/07/2023
1ST SUBMITTAL	07/14/2023

4121 NW URBANDALE DRIVE  
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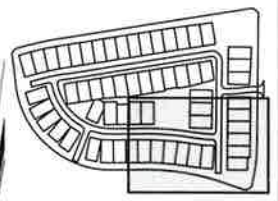
TECH: CWOJDS  
ENGINEER: JMM



AMARE VITA AT HIGH POINTE  
UTILITY PLAN

WEST DES MOINES, IOWA

7.4  
2306.400



SHEET INDEX



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DATE PLOTTED: 10/27/2023 4:48 PM  
PLOTTER: HP DesignJet 2550

**PLANT SCHEDULE OPEN SPACE/ STREETScape**

TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AC	24	White Fir	Abies concolor	B&B, 6" HEIGHT
BN	3	River Birch Multi-Trunk	Betula nigra	B&B, 6" HEIGHT, MULTI-STEM
CM	6	Crimson King Maple	Acer platanoides 'Crimson King'	B&B, 2" CALIPER
GS	9	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	B&B, 2" CALIPER
PG	36	Colorado Blue Spruce	Picea pungens 'Glauca'	B&B, 6" HEIGHT
PGZ	19	Cateley Pear	Pyrus calleryana 'Glen's Form' TM	B&B, 2" CALIPER
QB	8	Swamp White Oak	Quercus bicolor	B&B, 2" CALIPER
QR	14	Red Oak	Quercus rubra	B&B, 2" CALIPER

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BA	26	Japanese Barberry	Berberis thunbergii 'Aurea'	24" HT.
BW	61	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'	15" HT.
JB	32	Blue Star Juniper	Juniperus squamata 'Blue Star'	15" HT.
JS	31	Spartan Juniper	Juniperus chinensis 'Spartan'	36" HEIGHT

**PLANT SCHEDULE EAST BUFFER**

TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AC	9	White Fir	Abies concolor	B&B, 6" HEIGHT
CE	9	Eastern Redbud Multi-trunk	Cercis canadensis	B&B, 1.5" CALIPER
MP	13	Prairie Fire Crab Apple	Malus x 'Prairie Fire'	B&B, 1.5" CALIPER
MS	15	Spring Snow Crab Apple	Malus x 'Spring Snow'	B&B, 1.5" CALIPER
PG	9	Colorado Blue Spruce	Picea pungens 'Glauca'	B&B, 6" HEIGHT
PH	9	Newport Flowering Plum	Prunus caroliniana 'Newport'	B&B, 1.5" CALIPER
QB	5	Swamp White Oak	Quercus bicolor	B&B, 2" CALIPER

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BA	7	Japanese Barberry	Berberis thunbergii 'Aurea'	24" HT.
BW	24	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'	15" HT.
EC	37	Compact Burning Bush	Euonymus alatus 'Compactus'	24" HT.
JF	28	Sea Green Juniper	Juniperus chinensis 'Sea Green'	24" HT.
SK	17	Miss Kim Korean Lilac	Syringa pubescens 'Miss Kim'	24" HT.
VL	7	Honeyberry	Viburnum lentago	36" HT.

**PLANT SCHEDULE SOUTH & WEST BUFFER**

TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AC	17	White Fir	Abies concolor	B&B, 6" HEIGHT
CE	18	Eastern Redbud Multi-trunk	Cercis canadensis	B&B, 1.5" CALIPER
MP	20	Prairie Fire Crab Apple	Malus x 'Prairie Fire'	B&B, 1.5" CALIPER
MS	20	Spring Snow Crab Apple	Malus x 'Spring Snow'	B&B, 1.5" CALIPER
PG	22	Colorado Blue Spruce	Picea pungens 'Glauca'	B&B, 6" HEIGHT
PH	20	Newport Flowering Plum	Prunus caroliniana 'Newport'	B&B, 1.5" CALIPER
QB	4	Swamp White Oak	Quercus bicolor	B&B, 2" CALIPER

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BA	7	Japanese Barberry	Berberis thunbergii 'Aurea'	24" HT.
BW	22	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'	15" HT.
CE	24	Compact Burning Bush	Euonymus alatus 'Compactus'	24" HT.
JF	60	Sea Green Juniper	Juniperus chinensis 'Sea Green'	24" HT.
SK	4	Miss Kim Korean Lilac	Syringa pubescens 'Miss Kim'	24" HT.

**PLANT SCHEDULE NORTH BUFFER**

TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AC	15	White Fir	Abies concolor	B&B, 6" HEIGHT
CE	12	Eastern Redbud Multi-trunk	Cercis canadensis	B&B, 1.5" CALIPER
MP	12	Prairie Fire Crab Apple	Malus x 'Prairie Fire'	B&B, 1.5" CALIPER
MS	18	Spring Snow Crab Apple	Malus x 'Spring Snow'	B&B, 1.5" CALIPER
PG	15	Colorado Blue Spruce	Picea pungens 'Glauca'	B&B, 6" HEIGHT
PH	18	Newport Flowering Plum	Prunus caroliniana 'Newport'	B&B, 1.5" CALIPER

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BA	7	Japanese Barberry	Berberis thunbergii 'Aurea'	24" HT.
BW	50	Compact Burning Bush	Euonymus alatus 'Compactus'	24" HT.
JF	95	Sea Green Juniper	Juniperus chinensis 'Sea Green'	24" HT.

**LANDSCAPE NOTES**

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR SHRUBBERY STOCK ANS Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SOD ALL AREAS ADJACENT TO BUILDINGS, SEED (TYPE 1) OR SOD ALL OTHER DISTURBED AREAS AS DIRECTED BY OWNER
- BACKFILL TO TOP OF CURB, (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER/PRE-EMERGENT SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3". ALL GROUPS OF MORE THAN ONE SHRUB SHALL BE MULCHED IN A CONTINUOUS BED.
- ALL EDGING SHALL BE 3/16" STEEL EDGING.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- NO OVERSTORY TREES SHALL BE PLANTED IN ANY CITY OF WEST DES MOINES PUBLIC UTILITY EASEMENT.

**SCREENING**

ALL MECHANICAL UNITS VISIBLE FROM A PUBLIC STREET SHALL BE SCREENED FROM PUBLIC VIEW  
 ALL PARKING AREAS ADJACENT TO PUBLIC RIGHTS OF WAY ARE SCREENED BY VEGETATION TO A MINIMUM HEIGHT OF 3'.

**MINIMUM PLANT SIZES**

DECIDUOUS OVERSTORY TREES	=2" CAL
DECIDUOUS OVERSTORY TREES (CLUMP)	=1" CAL
EVERGREEN TREES	=6" HEIGHT
ORNAMENTAL TREES	=1.5" CAL
DECIDUOUS SHRUBS (5'+)	=36" HEIGHT
DECIDUOUS SHRUBS (3'-5')	=24" HEIGHT
DECIDUOUS SHRUBS (0-3')	=15" HEIGHT

**PLANT SUBSTITUTIONS**

- (2) ORNAMENTAL TREES = (1) OVERSTORY TREE OR EVERGREEN
- (10) SHRUBS = (1) OVERSTORY TREE
- NO MORE THAN 50% OF THE REQUIRED PLANT TYPE MAY BE SUBSTITUTED.
- AT LEAST 35% OF TREES REQUIRED ON SITE SHALL BE EVERGREEN.
- TOTAL TREES REQUIRED = 412
- EVERGREENS REQUIRED = 145 (35%)
- EVERGREENS PROVIDED = 147

**OPEN SPACE LANDSCAPE REQUIREMENTS**

- (2) TREES PER 3000 SF OF REQUIRED OPEN SPACE
- (3) SHRUBS PER 3000 SF OF REQUIRED OPEN SPACE
- SITE AREA = 652,103 SF
- OPEN SPACE REQUIRED = 163,026 SF (25%)
- OPEN SPACE PROVIDED = (REFER TO SHEET 1.0)
- TREES REQUIRED = 109
- TREES PROVIDED = 119
- SHRUBS REQUIRED = 163
- SHRUBS PROVIDED = 170

**30' BUFFER REQUIREMENTS**

A LANDSCAPED AND BERMED AREA OF NOT LESS THAN THIRTY FEET (30') IN WIDTH COMPRISED OF LANDSCAPE PLANTINGS.  
 THE EQUIVALENT OF ONE OVERSTORY TREE OR UPRIGHT EVERGREEN TREE, TWO (2) UNDERSTORY TREES AND SIX (6) SHRUBS SHALL BE PROVIDED PER THIRTY FIVE (35) LINEAR FEET OF THE BUFFER PARK.

**EAST BUFFER**

REQUIRED	PROVIDED
OVERSTORY OR EVERGREEN TREES =23	OVERSTORY OR EVERGREEN TREES =23
UNDERSTORY TREES =46	UNDERSTORY TREES =46
SHRUBS =138	SHRUBS =140

**SOUTH & WEST BUFFER**

REQUIRED	PROVIDED
OVERSTORY OR EVERGREEN TREES =38	OVERSTORY OR EVERGREEN TREES =43
UNDERSTORY TREES =76	UNDERSTORY TREES =79
SHRUBS =228	SHRUBS =228

**NORTH BUFFER**

REQUIRED	PROVIDED
OVERSTORY OR EVERGREEN TREES =30	OVERSTORY OR EVERGREEN TREES =30
UNDERSTORY TREES =60	UNDERSTORY TREES =60
SHRUBS =180	SHRUBS =180



DATE: 10/03/2023, 09/22/2022, 09/10/2022, 08/07/2022, 07/14/2022

REVISIONS: FINAL SUBMITTAL, 4TH SUBMITTAL, 3RD SUBMITTAL, 2ND SUBMITTAL, 1ST SUBMITTAL

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400

TECH: CWO/JDS

ENGINEER: JMM

CIVIL DESIGN ADVANTAGE

WEST DES MOINES, IOWA

**AMARE VITA AT HIGH POINTE**

**LANDSCAPE PLAN**

**L1.0**

2306.400

SCALE: 0' 25' 50' 100'

FILE: H:\2023\23064000\AMARE\_VITA\_LANDSCAPE.DWG  
 PLOTTER: HP PLOTTER 10/23/2023 4:46 PM  
 COMMENT: END

**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION**  
**NO. PZC-23-049**

**WHEREAS**, pursuant to the provisions of Title 9, Zoning and Title 10, Subdivision Regulations of the West Des Moines Municipal Code, the applicant MavenCruz Development, in conjunction with the property owner, High Point Group, LLC, requests approval of a Preliminary Plat for the purpose of subdividing that approximately 14.9-acre property located at the southwest corner of the future intersection of Stagecoach Drive and S. 81<sup>st</sup> Street as depicted on the location map included in the staff report. The applicant proposes the creation of sixty (60) footprint lots for multi-family residential development, and one (1) outlot for common areas; and

**WHEREAS**, additionally, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant MavenCruz Development, in conjunction with the property owner, High Point Group, LLC, requests approval of the Site Plan for the approximately 14.9-acre property located at the southwest corner of the future intersection of Stagecoach Drive and S. 81<sup>st</sup> Street for the purpose of constructing sixty (60) detached townhome units, a clubhouse with amenities, and associated site improvements; and

**WHEREAS**, the Preliminary Plat complies with Iowa Code Chapters 354 and 414, the Comprehensive Plan and City Code; and

**WHEREAS**, the Site Plan complies with the findings stated in the applicable provisions of Title 9, Chapter 1, the Comprehensive Plan and City Code.

**NOW THEREFORE**, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Preliminary Plat and Site Plan (PPSP-006132-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

**PASSED AND ADOPTED** on October 9, 2023.

\_\_\_\_\_  
Andrew Conlin, Chair  
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on October 9, 2023, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

\_\_\_\_\_  
Recording Secretary