

**CITY OF WEST DES MOINES
STAFF REPORT COMMUNICATION**

Meeting Date: October 23, 2023

ITEM: Bridge Lot, NW Corner of S 19th Street and Fuller Road – Approve Full Site Plan to allow construction of one 4-unit townhome building – Walnut Creek Community Church – SP-006086-2023

Resolution: Approval of Full Site Plan

Background: Ed Arp with Civil Engineering Consultants, on behalf of the applicant and property owner, Walnut Creek Community Church, requests approval of a Full Site Plan for the 0.65-acre property generally located at the northwest corner of S. 19th Street and Fuller Road. The applicant requests approval of a full site plan to allow construction of one 4-unit townhome building and associated site improvements.

Staff Review & Comment:

- **Financial Impact:** No City funding of the project. Staff time for processing of development application and inspections during construction.
- **History:** On November 10, 2003, the Nazarene Church Campground Planned Unit Development (PUD) was established, but repealed on April 30, 2018, and Open Space zoning was designated across the property. On July 20, 2020, a Plat-of-Survey was approved to create a 3-acre parcel (Parcel 2020-84) adjacent to the Jordan House for acquisition by the WDM Historical Society. By separate action, a 0.51-acre parcel (Parcel 2020-82) was created around the historic cemetery on the property and ownership transferred to the city. On August 17, 2020, the City Council approved the land use and zoning change for 6.3-acres on the north side of Jordan Creek to Residential Medium Density (RM-12). On November 21, 2022, the City Council approved a plat of survey to define Parcels 2021-46 and 2021-47 on each side of Jordan Creek for ownership transfer. On September 18, 2023, the City Council approved the Preliminary Plat to allow the subdivision of the site into two lots for development, two outlots for the Jordan Creek, and one street lot and approved the Bridge Lot Townhomes Phased Site Plan for footings, foundations and private utilities for one 4-unit townhome building.
- **Key Development Aspects:**
 1. **Architecture:** The townhome building form is similar to the surrounding multifamily buildings and includes a mix of siding types (board and batten and lap siding) to add visual interest. Material colors include brown and off white siding, gray stone and roofing and black iron railings, which are compatible with the surrounding building materials.
 2. **Park Land Dedication:** The applicant is meeting parkland dedication requirements by providing private greenway land (Outlot 1A and Outlot X) within the development in accordance with the Master Parks and Trails Plan.
- **Traffic Impact Study Findings:** The crash history does not indicate a need for traffic safety improvements at this time. The existing 2-lane geometry is expected to have adequate capacity to accommodate the proposed project. As the site further develops and future subdivision is indicated, more analysis will be necessary.
- **Developer Responsibilities:** In conjunction with site development or platting of the lots, whichever occurs first, the developer will be responsible for construction and/or installation of all required public and private infrastructure improvements necessary to support development. Two streetlights are identified along the west side of S. 19th Street adjacent to this project, the cost of which will be the responsibility of the developer.

- Conditions of Approval: Per the Fire Code, no combustible materials may be onsite, and no above ground construction may occur until such time that water for fire flows as outlined in the International Fire Code is available within the site, as well as adequately located and spaced hydrants are available to serve the site. Staff is recommending a condition of approval prohibiting building permit issuance for above ground construction of the buildings themselves, as well as prohibiting the outdoor storage of any items or materials, including combustible construction materials on the site until such time that water is available onsite to address fire protection requirements of the fire code.
- Vesting of Entitlement: Per City Code, entitlement (approval to construct or implement) shall remain in effect so long as substantial site work has progressed beyond grading and completion of structural foundations and twenty-five percent (25%) of the total building area has occurred above grade within twenty-four (24) months of the effective date of the approval, unless a greater time period is authorized at time of the original entitlement, or by approval of an extension of the original entitlement. It is the responsibility of the developer to be aware of this deadline and request an extension of the approval prior to the expiration date.

Outstanding Issues: There are no outstanding issues.

Planning and Zoning Commission Action:

Date: October 23, 2023

Vote:

Recommendation:

Recommendation: Approve the Full Site Plan request, subject to the applicant meeting all City Code requirements, and the following conditions of approval:

1. No combustible materials are to be stored on site until water infrastructure is in place.
2. Proof of payment to MidAmerican Energy for two streetlights to be submitted to the City prior to the full site plan approval by the City Council.

Lead Staff Member: Kara Tragesser

Approval Meeting Dates:

Planning and Zoning Commission	October 23, 2023
City Council	

Staff Report Reviews:

Planning & Zoning Commission	<input checked="" type="checkbox"/> Development Coordinator (or) <input checked="" type="checkbox"/> Director	<input checked="" type="checkbox"/> Legal Department
City Council	<input type="checkbox"/> Director <input type="checkbox"/> Appropriations/Finance	<input type="checkbox"/> Legal Department <input type="checkbox"/> Agenda Acceptance

Publications (if applicable)

Published In:	Des Moines Register Community Section
Date(s) Published	n/a
Date(s) of Mailed Notices	n/a

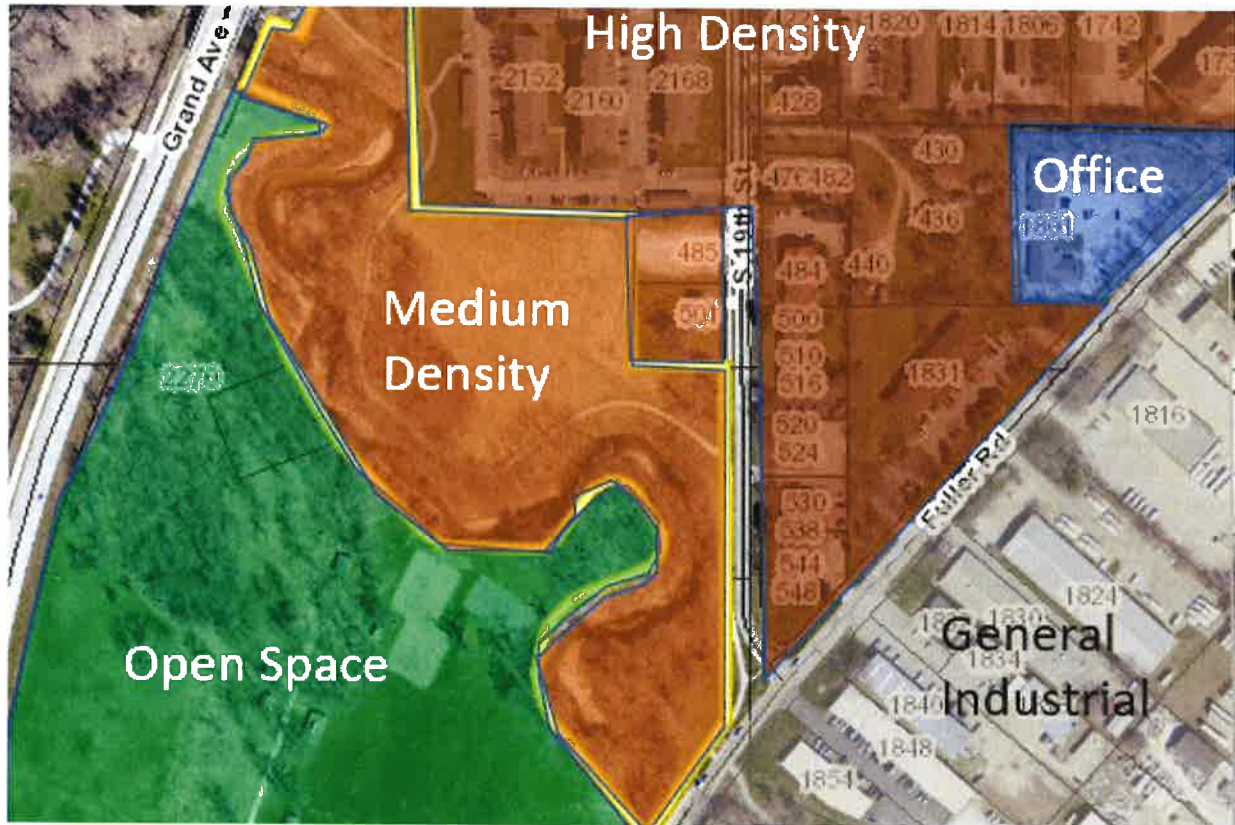
Council Subcommittee Review (if applicable)

Subcommittee	Development & Planning
Date Reviewed	8/7/23 as upcoming project
Recommendation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Split <input type="checkbox"/> No Discussion

Location Map



Vicinity Map – Land Uses



RESOLUTION OF THE PLANNING AND ZONING COMMISSION
NO. PZC-23-055

WHEREAS, pursuant to the provisions of Title 9, Zoning of the West Des Moines Municipal Code, the applicant, and property owner, Walnut Creek Community Church, requests approval of the Site Plan for the 0.65-acre property generally located at the northwest corner of S. 19th Street and Fuller Road as depicted on the location map included in the staff report. The applicant requests approval to construct one 4-unit townhome building and associated site improvements; and

WHEREAS, the Full Bridge Lot Townhomes Site Plan request complies with the findings stated in the applicable provisions of Title 9, the Comprehensive Plan and City Code.

NOW THEREFORE, the Planning and Zoning Commission of the City of West Des Moines recommends the City Council approve the Full Bridge Lot Site Plan (SP-006068-2023), subject to compliance with all the conditions of approval as stated in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A", if applicable.

PASSED AND ADOPTED on October 23, 2023.

Andrew Conlin, Chair
Planning and Zoning Commission

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Planning and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting on October 23, 2023, by the following vote:

AYES:

NAYS:

ABSTENTIONS:

ABSENT:

ATTEST:

Recording Secretary

Prepared by: Kara Tragesser, City of West Des Moines Development Services Dept., PO Box 65320, West Des Moines, Iowa
50265-0320 515-222-3620

When Recorded, Return to: City Clerk, City of West Des Moines, PO Box 65320, West Des Moines, IA 50265-0320

RESOLUTION

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WEST DES MOINES, APPROVING A FULL SITE PLAN TO CONSTRUCT ONE 4-UNIT TOWNHOME BUILDING

WHEREAS, pursuant to the provisions of Title 9, Zoning, of the West Des Moines Municipal Code, the applicant and property owner, Walnut Creek Community Church, requests approval of Full Bridge Lot Townhomes Site Plan for that property generally located at northwest corner of S. 19th and Fuller Road and legally described in attached Exhibit "B" for the purpose of constructing one 4-unit townhome building; and

WHEREAS, studies and investigations were made, and staff reports, and recommendations were submitted which is made a part of this record and herein incorporated by reference; and

WHEREAS, the Full Bridge Lot Townhomes Site Plan complies with findings stated in the applicable provisions of Title 9, Chapter 1, Subsection 8, the Comprehensive Plan and City Code; and

WHEREAS, on October 23, 2023, the Planning and Zoning Commission recommended to the City Council, by a **X-X** vote, for approval of the Site Plan; and

WHEREAS, on this day the City Council held a duly noticed meeting to consider the application for the Full Bridge Lot Site Plan; and

WHEREAS, the City Council does approve and accept the Parkland Dedication Agreement for the Full Bridge Lot Site Plan.

NOW, THEREFORE, The City Council does approve the Bridge Lot Full Site Plan (SP-006086-2023), subject to compliance with all of the conditions of approval, including any conditions added at the meeting, attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on November 6, 2023.

Russ Trimble, Mayor

ATTEST:

Ryan Jacobson, City Clerk

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the City Council of the City of West Des Moines, Iowa, at a regular meeting held on November 6, 2023, by the following vote.

Exhibit A: Conditions of Approval

1. No combustible materials are to be stored on site until water infrastructure is in place.
2. Proof of payment to MidAmerican Energy for two streetlights to be submitted to the City prior to the full site plan approval by the City Council.

Exhibit B: Legal Descriptions

PARCEL 2021-47 OF BRAY FARM, AN OFFICIAL PARCEL RECORDED IN BOOK 19417, PAGE 677
AT THE POLK COUNTY RECORDER'S OFFICE, CITY OF WEST DES MOINES, POLK COUNTY,
IOWA.

SITE PLAN OF BRIDGE LOT TOWNHOMES WEST DES MOINES, IA 50265

PLANS INCLUDED ARE FOR ILLUSTRATIVE PURPOSES ONLY – APPROVED PLANS ON FILE WITH THE CITY

GENERAL LEGEND

- PROPOSED**
- PLAT BOUNDARY
 - SECTION LINE
 - LOT LINE
 - CENTERLINE
 - EASEMENT LINE
 - FLARED END SECTION
 - DRAIN BASIN OR SEDIMENT RISER
 - DRAIN BASIN WITH SOLID GRATE
 - WATER VALVE
 - FIRE HYDRANT ASSEMBLY
 - BLOW-OFF HYDRANT
 - SCOUR STOP MAT
 - TURF REINFORCEMENT MAT
 - STORM SEWER WITH SIZE
 - WATER SEWER WITH SIZE
 - WATER SERVICE
 - PROPOSED CONTOUR
 - SILT FENCE
 - ADDRESS
 - RIPRAP

EXISTING

- LOT LINE
- SANITARY/STORM MANHOLE
- WATER VALVE
- FIRE HYDRANT
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- STORM SEWER ROUND INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB
- POWER POLE
- STREET LIGHT
- GUY ANCHOR
- ELECTRIC TRANSFORMER
- GAS METER
- TELEPHONE RISER
- SIGN
- CATV --- UNDERGROUND TELEVISION
- UGE --- UNDERGROUND ELECTRIC
- G --- UNDERGROUND GAS
- UGFO --- UNDERGROUND FIBER OPTIC
- UGT --- UNDERGROUND TELEPHONE
- OHM --- OVERHEAD ELECTRIC
- SAN --- SANITARY SEWER WITH SIZE
- SW --- STORM SEWER WITH SIZE
- WM --- WATER MAIN WITH SIZE
- 926 EXISTING CONTOUR
- TREELINE
- B.S.L. BUILDING SETBACK LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- M.O.E. MINIMUM OPENING ELEVATION



VICINITY SKETCH



Sheet Number	Sheet Title
1	COVER
2	DIMENSION AND DEMO PLAN
3	GRADING PLAN
4	GRADING DETAIL
5	UTILITY PLAN
6	LANDSCAPE PLAN
7	EROSION CONTROL NOTES
8	EROSION CONTROL PLAN
9	EROSION CONTROL DETAILS

GRADING NOTES

- STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO RECEIVE STRUCTURAL FILL.
- ALL AREAS TO RECEIVE FILL TO BE BENCHED.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISCS TO A DEPTH OF 6-INCHES.
- ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR. THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL MATCH URBAN STANDARD.
- MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
- FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE, ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
- STRIP TOPSOIL AND RESPREAD (4" MINIMUM)
- ADDITIONAL SILT FENCING MAY BE REQUIRED BY THE CITY AFTER FIELD INSPECTION.

PROPERTY OWNERS:

WALNUT CREEK COMMUNITY CHURCH
900 64TH STREET
WINDSOR HEIGHTS, IA 50324-1011
PHONE: (515)250-5488

AFFILIANT:

WALNUT CREEK COMMUNITY CHURCH
900 64TH STREET
WINDSOR HEIGHTS, IA 50324-1011
PHONE: (515)250-5488

PROJECT MANAGER:

CIVIL ENGINEERING CONSULTANTS
ATTN: ED ARP
2400 86TH STREET, SUITE #12
URBANDALE, IA 50322
PHONE: 515-276-4884 EXT 213
EMAIL: ARP@CECLAC.COM

LEGAL DESCRIPTION:

LOT 1, BRIDGE LOT PLAT I, AN OFFICIAL PLAT, CONTAINING 0.65 ACRES, CITY OF WEST DES MOINES, POLK COUNTY, IOWA.

WEST DES MOINES WATER WORKS STANDARD NOTES

- ALL WATER WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH WEST DES MOINES WATER WORKS STANDARD SPECIFICATIONS, AVAILABLE AT WEST DES MOINES WATER WORKS SPECIFICATIONS (<https://www.westdesmoines.com/specs.aspx>).
- ANY WATER USE FROM A HYDRANT, PUBLIC OR PRIVATE, REQUIRES THE USE OF A WEST DES MOINES WATER WORKS HYDRANT METER. CALL 515-222-3465 TO RESERVE A METER.
- CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS (515-222-3465) AT LEAST ONE WEEK PRIOR TO BUILDING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL / CONTAINMENT PROVISIONS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 12174-1980. CONTRACTOR SHALL NOTIFY THEIR PROJECT'S WEST DES MOINES WATER WORKS ENGINEERING TECHNICIAN (515-222-3465) MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING STATIC WATER PRESSURE AND, WHERE REQUIRED, PRESSURE REDUCING VALVE(S) AND TANK(S) SHALL BE INSTALLED DOWNSTREAM OF THE WATER METER(S) AND BACKFLOW ASSEMBLY(IES) SERVING THE SITE.

GENERAL NOTES:

- CONTRACTOR SHALL ARRANGE FOR TESTING AND INSPECTION AND NOTIFY THE FOLLOWING AT LEAST ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - CITY OF WEST DES MOINES ENGINEERING SERVICES
 - WEST DES MOINES WATER WORKS
 - BOYL NEW ENGLAND, INC.
 - CIVIL ENGINEERING CONSULTANTS, INC. PHONE: 515.276.4884
 - IOWA ONE-CALL
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LEASES NEEDED TO CONSTRUCT THIS PROJECT.
- ALL ELEVATIONS ARE PROPOSED FINISHED GRADE AT CENTERLINE UNLESS OTHERWISE NOTED.
- THE LOCATION OF EXISTING FACILITIES AND APPURTENANCES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE INFORMATION WITHOUT INGROSSING AND MEASURING TO DETERMINE EXACT FACILITIES LOCATIONS. CIVIL ENGINEERING CONSULTANTS, INC. DOES NOT GUARANTEE THE LOCATION OF EXISTING FACILITIES AS SHOWN, OR THAT ALL EXISTING FACILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL PUBLIC AND PRIVATE UTILITY PROVIDERS SERVING THIS AREA, AND IOWA ONE CALL, TO DETERMINE THE EXTENT AND PRECISE LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION BEGINS.
- THE CONTRACTOR SHALL PROTECT EXISTING ON-SITE FACILITIES FROM DAMAGE RESULTING FROM THE CONTRACTOR'S WORK. IF DAMAGE, BREAKAGE, INTERRUPTION OF SERVICE, ETC. OF EXISTING FACILITIES DOES OCCUR THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE UTILITY'S OWNER.
- THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE INTERCEPTED DURING CONSTRUCTION.
- CIVIL ENGINEERING CONSULTANTS, INC. IS NOT A GEOTECHNICAL ENGINEER.
- IF THERE IS A DISCREPANCY BETWEEN THE DETAILED PLANS AND QUANTITIES SUMMARY PLEASE CONTACT CIVIL ENGINEERING CONSULTANTS, INC.
- ALL TRENCH BACKFILL SHALL BE 95% STANDARD PROCTOR DENSITY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR INSPECTIONS AS NEEDED.
- ALL SIGNING AND STRIPING SHALL CONFORM TO THE (MUTCD) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (FEDERAL HIGHWAY ADMINISTRATION, 2004 EDITION)
- PRIOR TO CONSTRUCTION OF ANY PUBLIC IMPROVEMENTS ASSOCIATED WITH THIS SUBDIVISION, CONSTRUCTION PLANS FOR SAID IMPROVEMENTS NEED TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER.
- ALL CONSTRUCTION WITHIN PUBLIC R.O./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WITH ADDENDA.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM ENGINEERING SERVICES (222-3475) TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- ALL CONNECTIONS TO PUBLIC SEWERS OR STRUCTURES NEED TO BE CORE DRILLED.
- PAVEMENT REMOVAL SHOULD BE BETWEEN EXISTING JOINTS (FULL PANEL REMOVAL) IN ACCORDANCE WITH WDM STANDARD CONSTRUCTION SPECIFICATIONS, LANE PERMIT AND STREET EXCAVATION PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- REMOVAL LIMITS FOR THE PROPOSED DRIVEWAY APPROACH SHALL BE 15FT FROM BACK OF CURB AND TO THE NEAREST TRAVERSE JOINT ON EITHER END OF THE RADIUS.
- OVER-STORY TREES (DECIDUOUS OR CONIFEROUS), PRIVATE STRUCTURES AND PRIVATE STREET LIGHTS NEED TO BE LOCATED OUTSIDE OF PUBLIC SEWER EASEMENTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTACT BUILDING INSPECTION AT (515)222-3630 A MINIMUM OF A 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSTALLATION INSPECTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE WEST DES MOINES WATER WORKS AND THE CITY'S CROSS CONNECTION CONTROL/CONTAINMENT PROVISION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF AN APPROVED BACKFLOW PREVENTION ASSEMBLY(IES) FOR CONTAINMENT IN ALL NEW CONSTRUCTION. BACKFLOW PREVENTION TO BE INSTALLED PER CITY ORDINANCE 12174-1980. CONTRACTOR SHALL NOTIFY WEST DES MOINES WATER WORKS, RALPH RENTERIA, ENGINEERING TECHNICIAN (515-222-3465) A MINIMUM OF 24 HOURS AFTER INSTALLATION AND TESTING OF ALL BACKFLOW DEVICES TO SCHEDULE FINAL INSPECTION.

NPDES/SWPPP

- THE OWNER AND/OR CONTRACTOR ARE REQUIRED TO OBTAIN A NPDES PERMIT AND FOLLOW THE REQUIREMENTS OF THE ASSOCIATED STORM WATER POLLUTION PREVENTION PLAN PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.

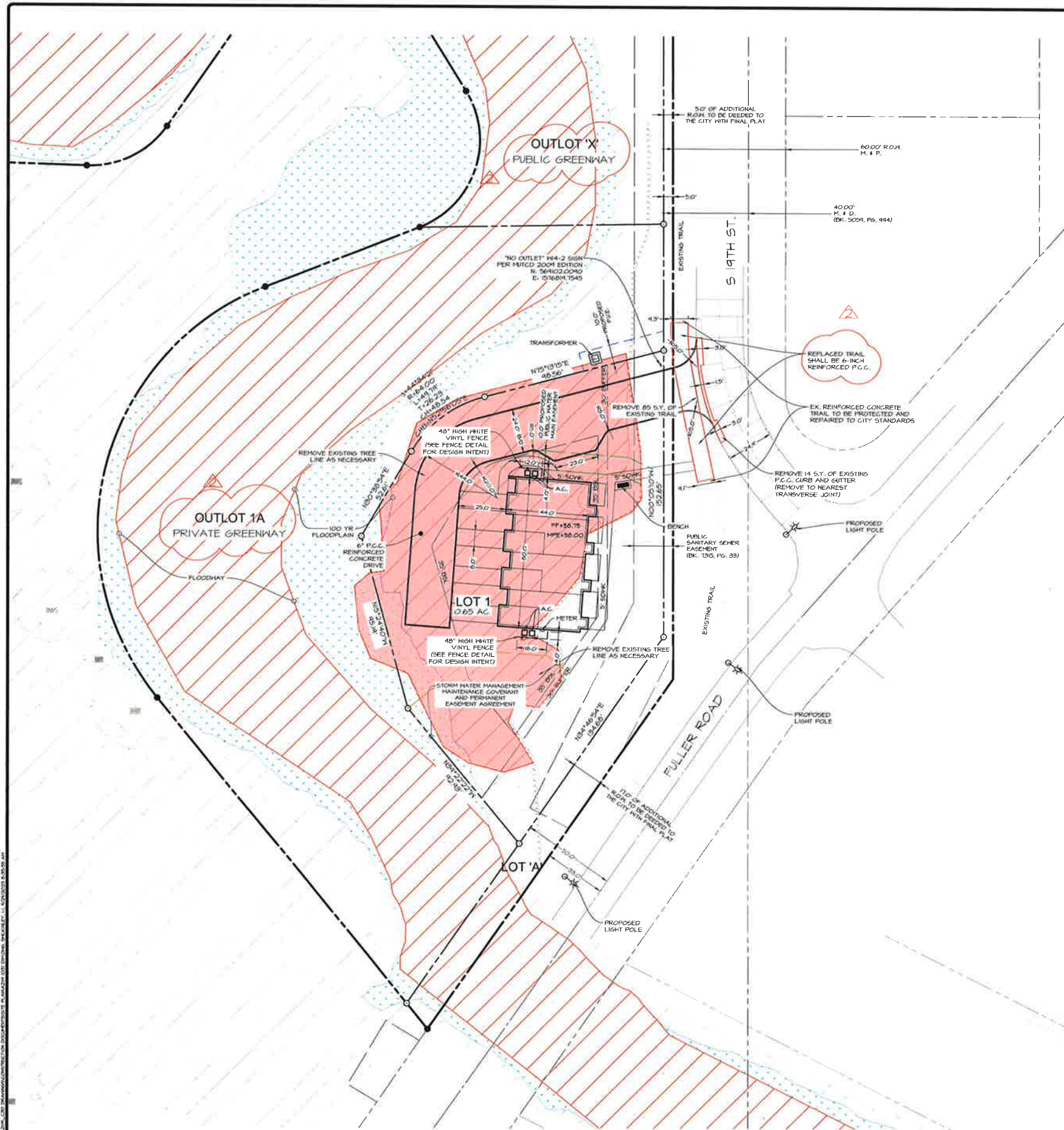
WATER MAIN QUANTITIES (PRIVATE):

- | | |
|--------|-----------------------------------|
| 90 LF. | 8-INCH WATER MAIN |
| 1 EA. | HYDRANT, REDUCER, 4 6-INCH VALVE |
| 1 L.S. | SERVICE, TEE, 4 VALVE (BY OTHERS) |
| 2 EA. | 8-INCH 22.5' BEND |
| 1 EA. | 8"x8"x8" TAPPING TEE 4 VALVE |

CERTIFICATIONS

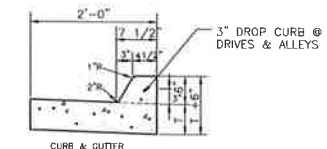
	<p>I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.</p> <p>CODY T. WEAVER, IOWA LIC. NO. 25085 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024 PAGES OR SHEETS COVERED BY THIS SEAL.</p>
	<p>I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.</p> <p>BY: _____ DATE: _____ EDWARD H. ARP, IOWA REG. NO. 250 MY LICENSE RENEWAL DATE IS: JUNE 30, 2024 PAGES OR SHEETS COVERED BY THIS SEAL.</p>





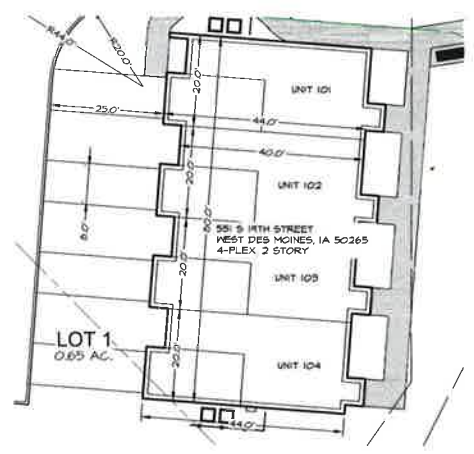
4' WHITE VINYL FENCE CONCEPT

NO SCALE



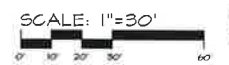
CURB DETAILS FOR CONCRETE PAVING

NO SCALE



BUILDING DETAIL

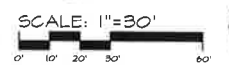
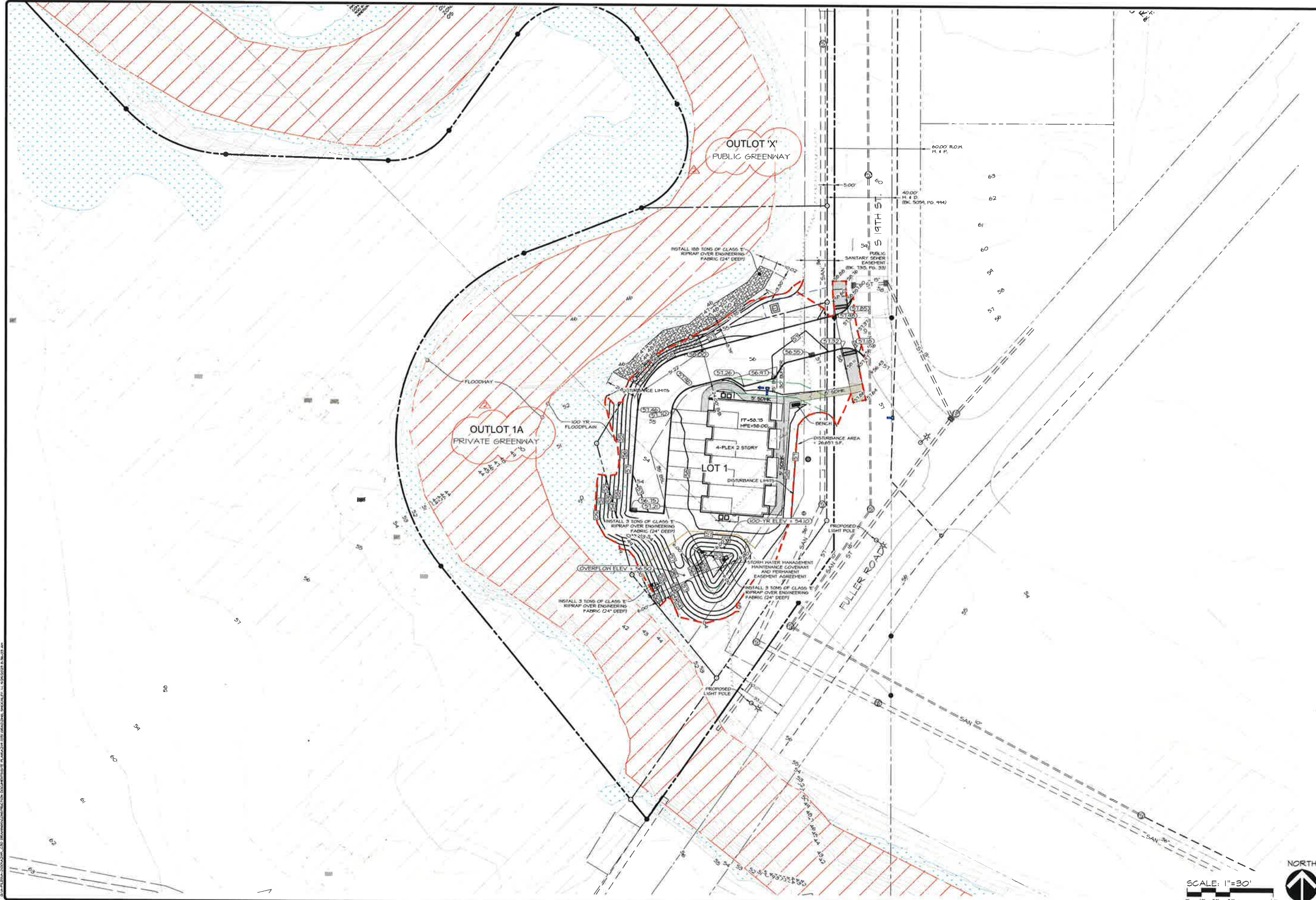
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DATE:	REV #2 04-28-2023
REV #1 04-21-2023	
FINAL SUB 04-14-2023	
5TH SUB 04-12-2023	
DATE OF SURVEY:	MAR. 20, 2023
DESIGNED BY:	BYA
DRAWN BY:	JAG

BRIDGE LOT TOWNHOMES
 FULLER ROAD, WEST DES MOINES, IA 50265
DIMENSION AND DEMO PLAN

Q:\A-FILES\A-2100\A2119_CSD Drawings\Construction Documents\Site Plan\A2119 (03) GRAD.dwg, 9/29/2023 8:36:01 AM, amckimlcy, 1:1



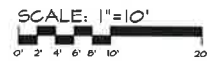
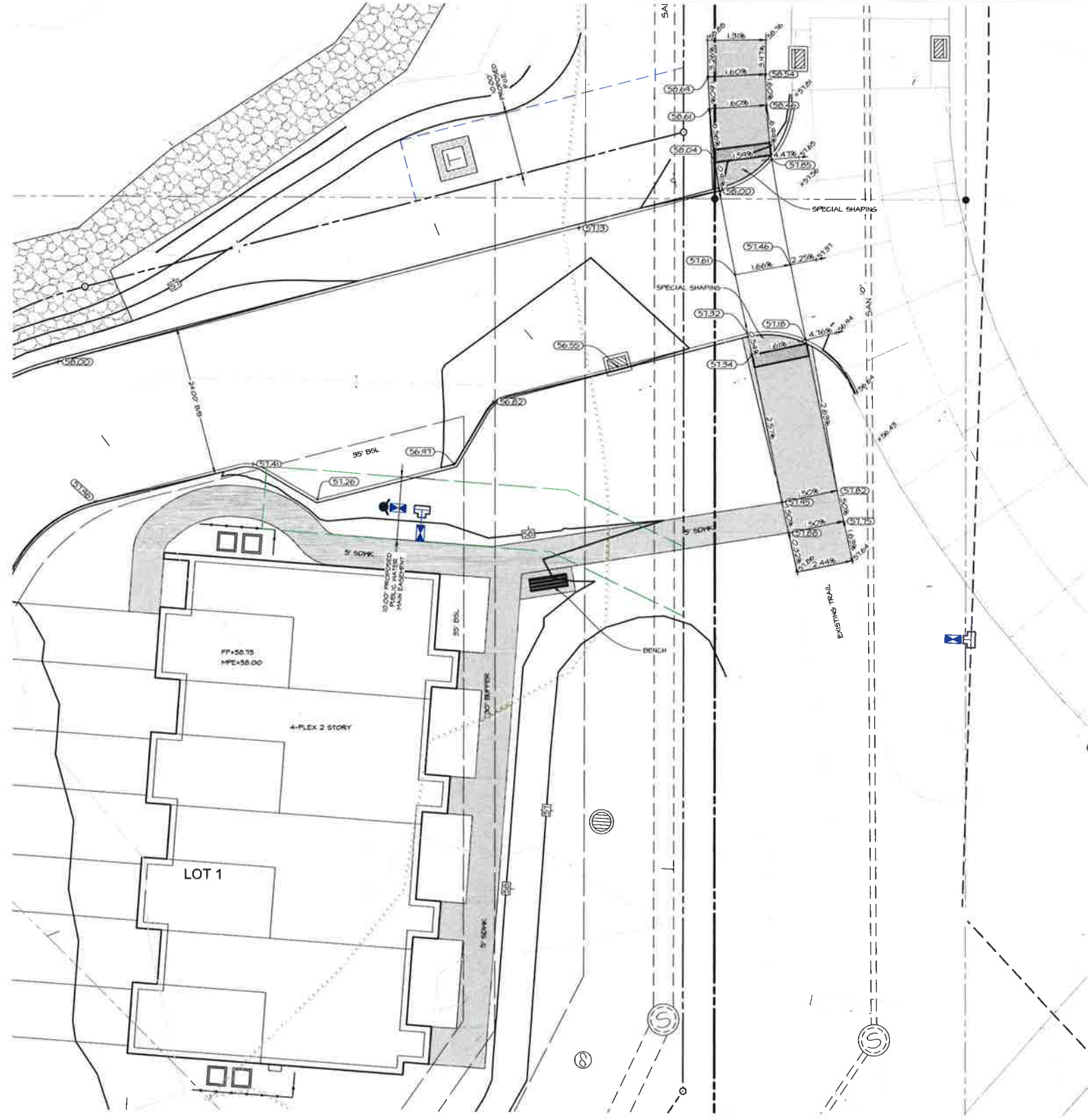
DATE:	REV #2 04-29-2023
DESIGNED BY:	REV #1 04-21-2023
DRAWN BY:	FINAL SUB 04-14-2023
	5TH SUB 04-12-2023
	MAR 20 2023
	DESIGNED BY: EIA
	DRAWN BY: JAG

CEC Civil Engineering Consultants, Inc.
 2400 86th Street, Unit 12 Des Moines, Iowa 50322
 515.276.4884 | mail@ceclac.com

BRIDGE LOT TOWNHOMES
 FULLER ROAD, WEST DES MOINES, IA 50265

GRADING PLAN

SHEET
 OF 6
 A-2119



BRIDGE LOT TOWNHOMES
FULLER ROAD, WEST DES MOINES, IA 50265

GRADING DETAIL

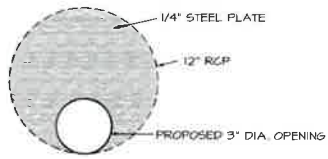
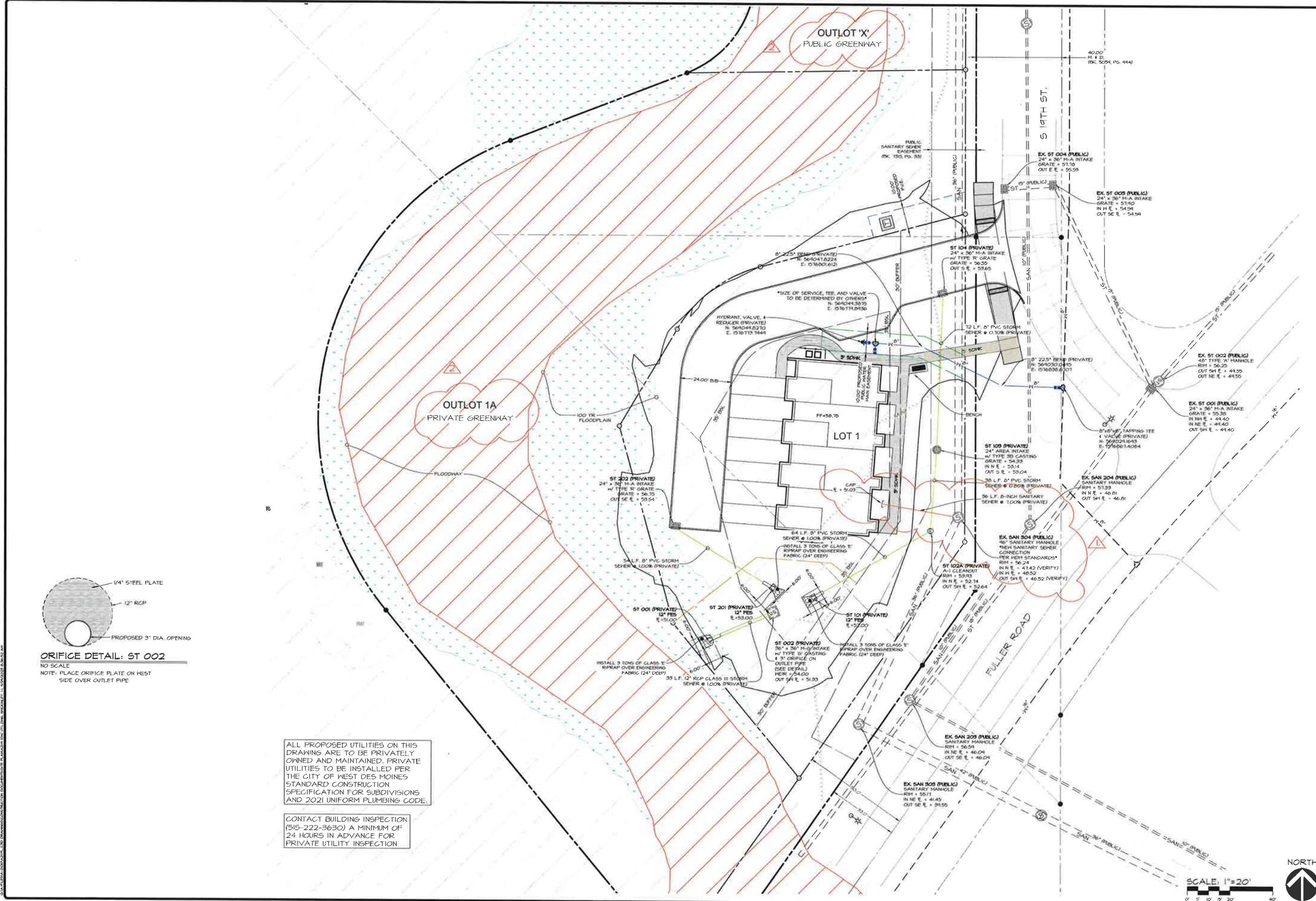
SHEET
4
OF
6

DATE:	REV #2 04-24-2023
	REV #1 04-21-2023
	FINAL 5/8 04-14-2023
DATE OF SURVEY:	5TH 5/8 04-12-2023
DESIGNED BY:	MAR 20 2023
DRAWN BY:	BNA
	JMG



Civil Engineering Consultants, Inc.
2400 86th Street, Unit 12 · Des Moines, Iowa 50322
515.276.4884 · mail@cecinc.com

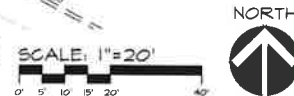
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ORIFICE DETAIL: ST 002
 NO SCALE
 NOTE: PLACE ORIFICE PLATE ON WEST SIDE OVER OUTLET PIPE

ALL PROPOSED UTILITIES ON THIS DRAWING ARE TO BE PRIVATELY OWNED AND MAINTAINED. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATION FOR SUBDIVISIONS AND 2021 UNIFORM PLUMBING CODE.

CONTACT BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR PRIVATE UTILITY INSPECTION



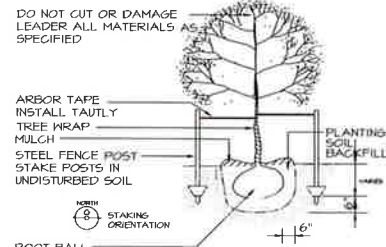
CEC		Civil Engineering Consultants, Inc. 2400 86th Street, Unit 12, Des Moines, Iowa 50322 515.276.4884 mail@cecinc.com	
REV #2	04-24-2023	DATE	
REV #1	04-21-2023	REV #1	04-21-2023
FINAL SUB	04-19-2023	FINAL SUB	04-19-2023
5TH SUB	04-12-2023	5TH SUB	04-12-2023
DATE OF SURVEY	MAR. 20, 2023	DATE OF SURVEY	MAR. 20, 2023
DESIGNED BY	ERA	DESIGNED BY	ERA
DRAWN BY	JAG	DRAWN BY	JAG

BRIDGE LOT TOWNHOMES
 FULLER ROAD, WEST DES MOINES, IA 50265

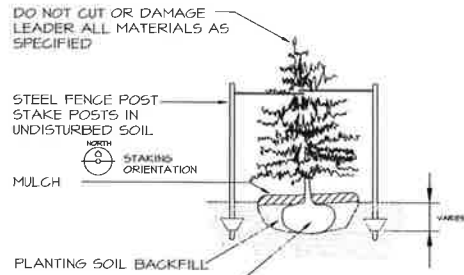
UTILITY PLAN

SHEET	A-2119
OF	6

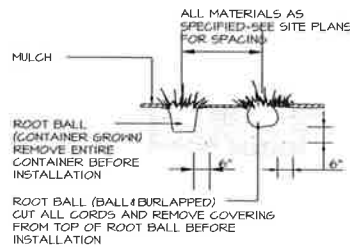
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DECIDUOUS TREE PLANTING AND STAKING DETAIL
NO SCALE



EVERGREEN TREE PLANTING AND STAKING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

PLANT SCHEDULE

MARK	Botanical name	QUAN.	SIZE	ROOT	COMMENTS
AS	Acer saccharum subsp. Nigrum 'Green Column'	5	2" CAL.	B&B	MATCHED, SPECIMEN
	GREEN COLUMN MAPLE				
CA	Cornus sanguinea 'Ebb'	7	1.5" CAL.	B&B	MATCHED, SPECIMEN
	ARCTIC SUN DOGWOOD				
CE	Cornus sericea 'Variegata'	30	5 GAL.	CONT.	MATCHED, SPECIMEN
	ARCTIC FIRE DOGWOOD				
ET	Liriodendron tulipifera '55 G'	4	1.5" CAL.	B&B	MATCHED, SPECIMEN, 10' OC
	EMERALD CITY TULIPTREE				
MH	Malus 'Hozom'	8	1.5" CAL.	CONT.	MATCHED, SPECIMEN
	HOLIDAY GOLD CRABAPPLE				
MS	Malus 'Sargolom'	8	2" HT.	B&B	MATCHED, SPECIMEN
	SUGAR TIME CRABAPPLE				
PO	Physocarpus opulifolius 'Willy Spier'	30	2" HT.	B&B	MATCHED, SPECIMEN
	RUBY SPICE NINEBARK				
PV	Pinus strobus 'Vanderweerd's Pyramid'	5	2" HT.	B&B	MATCHED, SPECIMEN
	VANDERWEERD'S PYRAMID LUMBER PINE				
VD	Viburnum dentatum 'T.J. Jay'	15	1.5" CAL.	CONT.	MATCHED, SPECIMEN
	LS. ICE VIBURNUM				
VP	Viburnum plicatum 'Niveum'	15	1.5" CAL.	CONT.	MATCHED, SPECIMEN
	NEWPORT VIBURNUM				

30' BUFFER REQUIREMENTS
REQUIRED PLANTINGS PER 35 LF:
280 LF / 35 = 8
- 1 OVERSTORY TREE = 8 OVERSTORY TREES
- 2 ORNAMENTAL TREES = 16 ORNAMENTAL TREES
- 6 SHRUBS = 48 SHRUBS

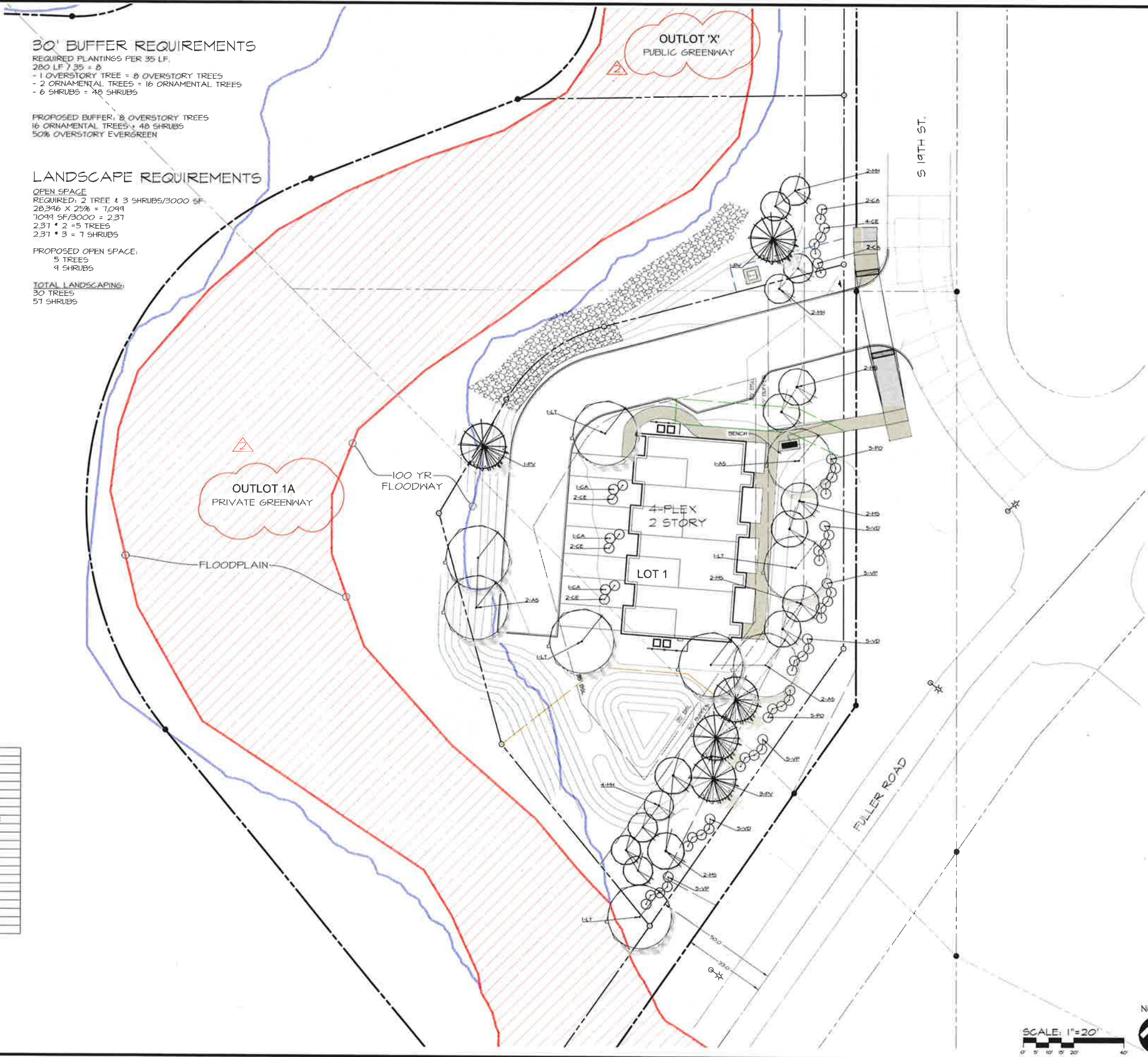
PROPOSED BUFFER: 8 OVERSTORY TREES
16 ORNAMENTAL TREES + 48 SHRUBS
50% OVERSTORY EVERGREEN

LANDSCAPE REQUIREMENTS

OPEN SPACE
REQUIRED: 2 TREE + 3 SHRUBS/3000 SF
28,346 X 25% = 7,091
7,091 SF/3000 = 2.37
2.37 * 2 = 5 TREES
2.37 * 3 = 7 SHRUBS

PROPOSED OPEN SPACE:
5 TREES
9 SHRUBS

TOTAL LANDSCAPING:
30 TREES
57 SHRUBS



CEC Civil Engineering Consultants, Inc.
 2400 86th Street, Unit 12, Des Moines, Iowa 50322
 515.276.4884 mail@cecctac.com
 DATE: REV #2 04-20-2023
 REV #1 04-21-2023
 FINAL SUB. 04-19-2023
 5TH SUB. 04-12-2023
 DATE OF SURVEY: MAR. 20, 2023
 DESIGNED BY: BHA
 DRAWN BY: JAG

BRIDGE LOT TOWNHOMES
 FULLER ROAD, WEST DES MOINES, IA 50265
LANDSCAPE PLAN

EROSION CONTROL PLAN

PART IV D 1 SITE DESCRIPTION/APPLICANT/SCHEDULE
OWNER/APPLICANT: HANCOCK CREEK COMMUNITY CHURCH
1900 64TH STREET, WINDSOR HEIGHTS, IA 50241-0011

- 2A1 STABILIZATION PRACTICES
2A2 MINIMIZE DISTURBANCE OF STEEP SLOPES
2A3 EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND STABILIZE DISTURBED AREAS

PART IV D 2 CONTRACTORS
GENERAL CONTRACTOR SHALL HAVE PRIMARY RESPONSIBILITY OF IMPLEMENTING MEASURES CONTAINED IN PLAN.

Table with 3 columns: NAME, ADDRESS, PHONE. Lists individuals responsible for implementation and maintenance.

PART IV D 3 IMPLEMENTATION / MAINTENANCE
MAINTAIN EFFECTIVE OPERATING CONDITIONS OF ALL PROTECTIVE MEASURES IDENTIFIED ON PLAN
PRIOR TO INITIAL GRADING, INSTALL PERIMETER SILT FENCE TO PROTECT UNDISTURBED AREAS.

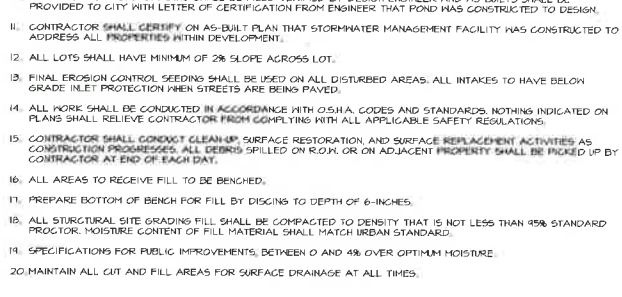
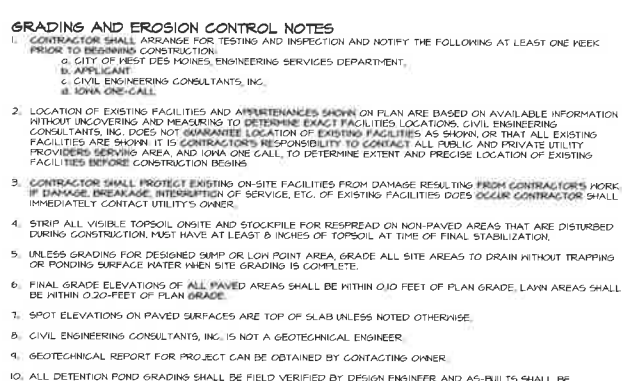
PART IV D 4 PART V B PERMITTEE MUST AMEND PLAN WHEN THERE IS CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE HAVING SIGNIFICANT EFFECT ON POTENTIAL FOR DISCHARGE OF POLLUTANTS TO WATERS OF THE STATE.

SEQUENCE OF MAJOR ACTIVITIES
1. PRE-CONSTRUCTION: SILT FENCE SHALL BE PLACED BY CONTRACTOR PRIOR TO BEGINNING GRADING OR CLEARING AND GRUBBING OPERATIONS ALONG PERIMETER OF PROJECT.

BRIDGE LOT TOWNHOMES
FULLER ROAD, WEST DES MOINES, IA 50265
EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL QUANTITIES
642 LF SILT FENCE
9 EA INLET FILTER BASKETS
1 EA CONSTRUCTION ENTRANCE
TEMPORARY SEEDINGS (AS NEEDED)
SEEDING TYPE 2 (PERMANENT)
AREA OF DISTURBANCE
0.80 ACRES

S.D.A.S. REFERENCES
1. SILT FENCE: S.D.A.S. FIGURE 4040.10
2. SEDIMENTATION LOSS: S.D.A.S. FIGURE 4040.10
3. STABILIZED CONSTRUCTION ENTRANCE: S.D.A.S. FIGURE 4040.10



EROSION CONTROL PLAN - NOTES
BRIDGE LOT TOWNHOMES
WEST DES MOINES, IOWA
SHEET 1 OF 3

OWNER'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE AS PART OF THIS CERTIFICATION.

GENERAL CONTRACTOR
NAME / TITLE:
COMPANY: DATE:
TELEPHONE NUMBER:

SUBCONTRACTOR
NAME / TITLE:
COMPANY: DATE:
TELEPHONE NUMBER:

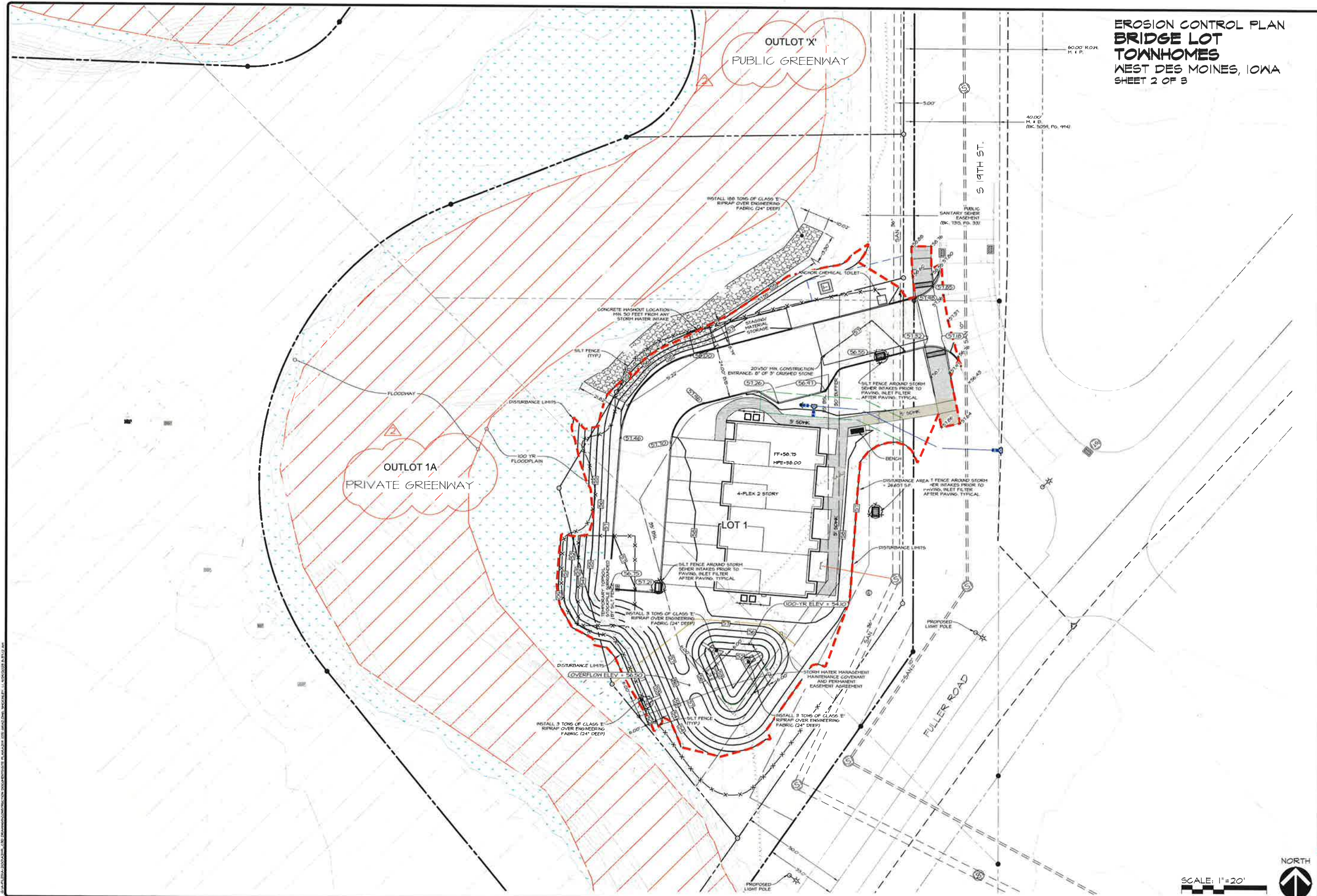
OTHER
NAME / TITLE:
COMPANY: DATE:
TELEPHONE NUMBER:

NPDES PERMIT DISCHARGE
AUTHORIZATION NUMBER
CITY OF WEST DES MOINES GRADING
PERMIT NUMBER XXXXX-XXXX

REV. 12-08-2023
REV. 01-21-2023
FINAL SUB. 04-14-2023
DATE OF SURVEY: 5TH SUB. 04-12-2023
DESIGNED BY: MAR. 20. 2023
DRAWN BY: EHA

SHEET
OF 3
A-21H

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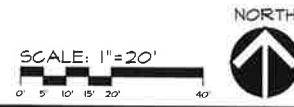
EROSION CONTROL PLAN
BRIDGE LOT TOWNHOMES
 WEST DES MOINES, IOWA
 SHEET 2 OF 3

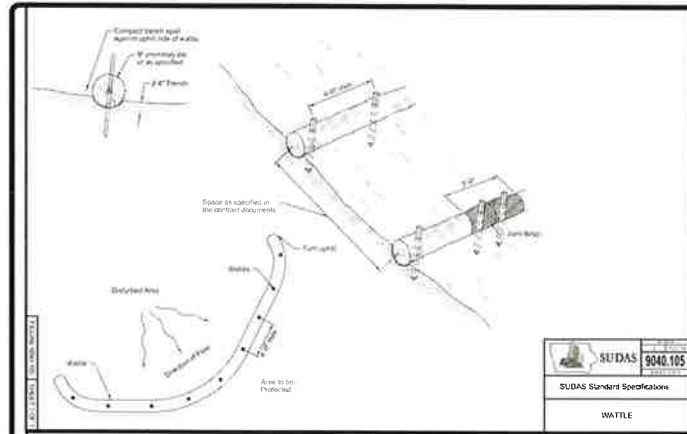
NPDES PERMIT DISCHARGE
 AUTHORIZATION NUMBER
 CITY OF WEST DES MOINES GRADING
 PERMIT NUMBER XXXXX-XXXX

REV #2 09-29-2023
 REV #1 09-21-2023
 FINAL SIB 09-19-2023
 5TH SIB 09-12-2023
 DATE OF SURVEY: MAR. 20, 2023
 DESIGNED BY: BNA
 DRAWN BY: JAG

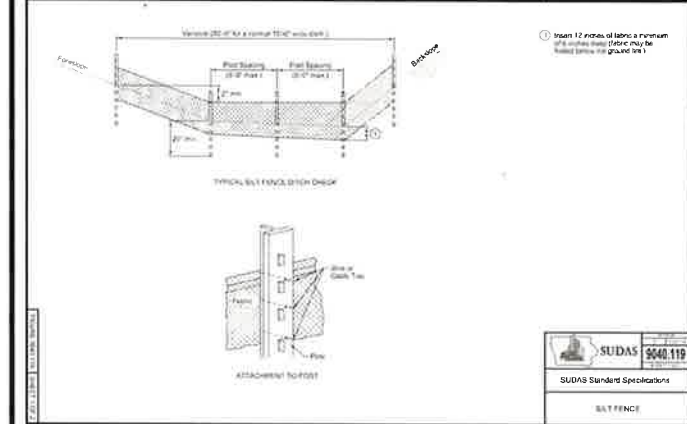
BRIDGE LOT TOWNHOMES
 FULLER ROAD, WEST DES MOINES, IA 50265
EROSION CONTROL PLAN

SHEET
 9 OF 3
 A-2119

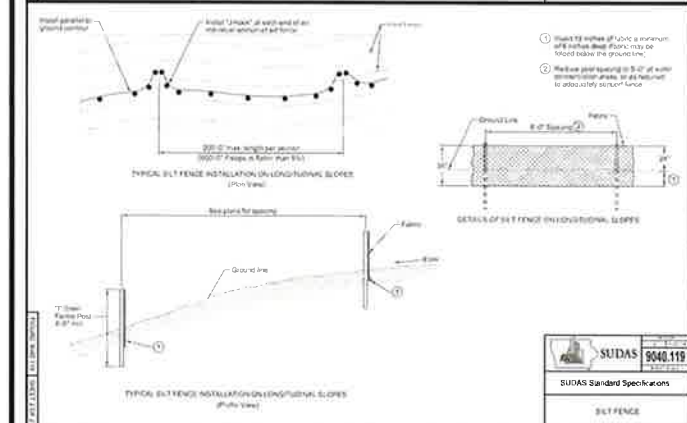




SUDAS 9040.105
SUDAS Standard Specifications
WATTLE



SUDAS 9040.119
SUDAS Standard Specifications
SILT FENCE



SUDAS 9040.119
SUDAS Standard Specifications
SILT FENCE

FLEXSTORM CATCH-IT LITE

Diagram of the Flexstorm Catch-It Lite filter unit. It shows a rectangular frame with a woven geotextile filter bag. Labels include '12 GAUGE CORROSION-RESISTANT RIGID STEEL FRAME', 'LIFTING HOLES', 'OPTIONAL REAR CURB FLAP TO PROTECT CURB OPENING', 'ULTIMATE BYPASS AREA', and 'WOVEN GEOTEXTILE FILTER BAG - 200 GPM/SQFT FLOW RATE, 82% FILTRATION EFFICIENCY PER ASTM D 7351'.

Meets ASTM D8057 standards

Product Features:
- Rigid frame and removable geosynthetic bag
- Sized to meet treatment flow rate
- Bag maintains shape to be extracted when completely filled with sediment
- Rigid frame capable of supporting full load of sediment without deforming
- Does not interfere or elevate grate by more than 1/8"
- Bypass flow exceeds design flow of drainage location
- Filter bag achieves +80% gross removal efficiency per ASTM D7351

Installation Instructions:
1. Remove grate from the drainage structure.
2. Clean stone and dirt from ledge (top) of drainage structure.
3. Drop the FLEXSTORM inlet filter through the clear opening such that the hangers rest firmly on the lip of the structure.
4. Replace the grate and confirm it is not elevated more than 1/8", the thickness of the steel hangers.

FLEXSTORM CATCH IT LITE ASTM D8057

FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING

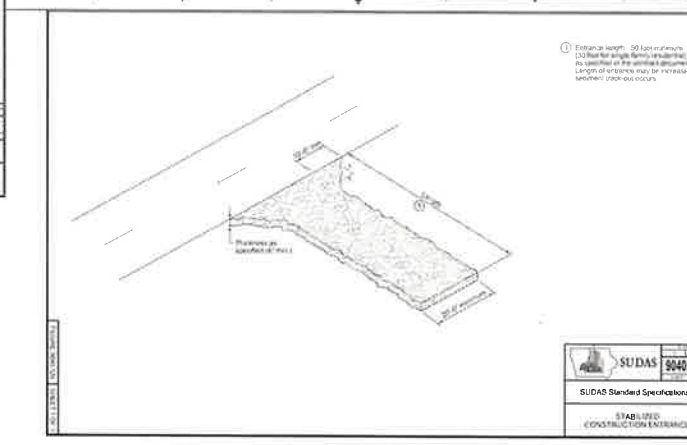
Diagram showing various sizes and types of Flexstorm Catch-It filters. It includes a table of specifications and a list of notes.

Model	Flow Rate (GPM)	Flow Rate (MGD)	Flow Rate (MGD)	Flow Rate (MGD)
1	10	0.0001	0.0001	0.0001
2	20	0.0002	0.0002	0.0002
3	30	0.0003	0.0003	0.0003
4	40	0.0004	0.0004	0.0004
5	50	0.0005	0.0005	0.0005
6	60	0.0006	0.0006	0.0006
7	70	0.0007	0.0007	0.0007
8	80	0.0008	0.0008	0.0008
9	90	0.0009	0.0009	0.0009
10	100	0.0010	0.0010	0.0010

NOTES:
1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL 12GZC PLATE OR GALVANNEED FOR 7 YEAR MINIMUM SERVICE LIFE.
2. UPON ORDERING, CONFIRMATION OF THE JOB CALLS, PRECAST OR CASTING MAKE AND MODEL OR RETAILED DIMENSIONAL TOWNS MUST BE PROVIDED TO CONFIRM AND ASSEMBLE YOUR CUSTOMER FLEXSTORM INLET FILTER PART NUMBER ALONE IS NOT SUFFICIENT.
3. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

INSTALLATION:
1. REMOVE GRATE.
2. DROP FLEXSTORM INLET FILTER INTO LEAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE.
3. REPLACE GRATE.

FLEXSTORM CATCH IT



EROSION CONTROL PLAN - DETAILS
BRIDGE LOT TOWNHOMES
WEST DES MOINES, IOWA
SHEET 3 OF 3

BRIDGE LOT TOWNHOMES
FULLER ROAD, WEST DES MOINES, IA 50265

EROSION CONTROL DETAILS

NPDES PERMIT DISCHARGE AUTHORIZATION NUMBER
CITY OF WEST DES MOINES GRADING
PERMIT NUMBER XXXXX-XXXX

DATE: REV #2 09-24-2023
REV #1 09-21-2023
FINAL SUB 09-19-2023
5TH SUB 09-12-2023
MAR 20, 2023

DESIGNED BY: EHA
DRAWN BY: JAG

SHEET
3
A-211R



REAR ELEVATION

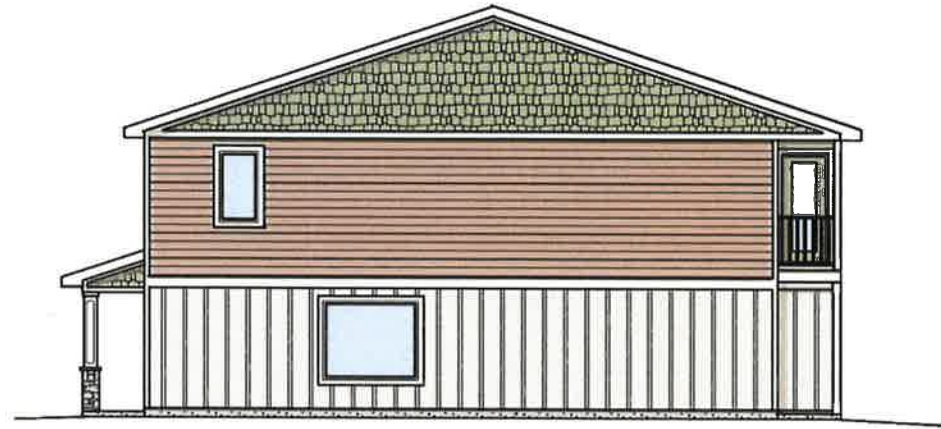


FRONT ELEVATION





4' corner trim
and window trim

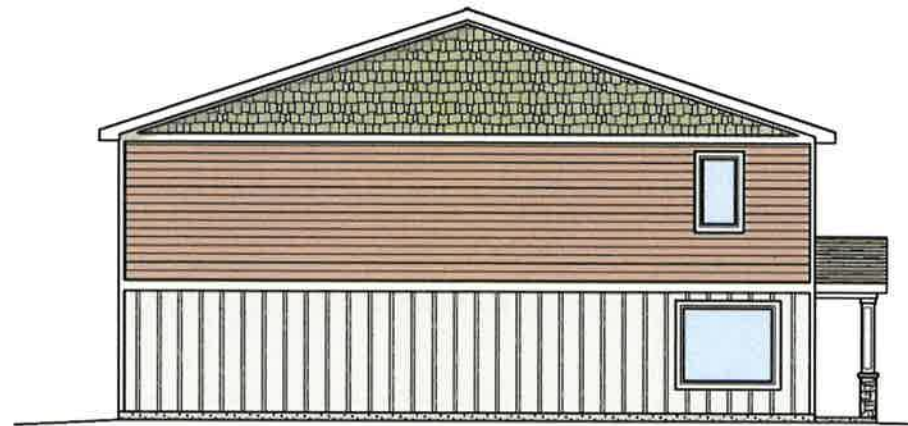
- PORTSMOUTH SHAKE, COLOR: TREE MOSS
- VINYL BOARD AND BATTEN SIDING, COLOR: LINEN
- VINYL LAP SIDING, COLOR: BROWNSTONES
- CENTURIAN STONE, COLOR: LEDGE DOVE

<p>VP Design & Drafting, Inc. 915-249-1134</p>	<p>SCALE: 1/4" = 1'-0" DRAWN BY: TYP APPROVED:</p>	<p>DATE: 8-3-10 REVISED:</p>	<p>PLAN # R5036 SHEET 1 of 5</p>
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<p>4 Plex</p>			

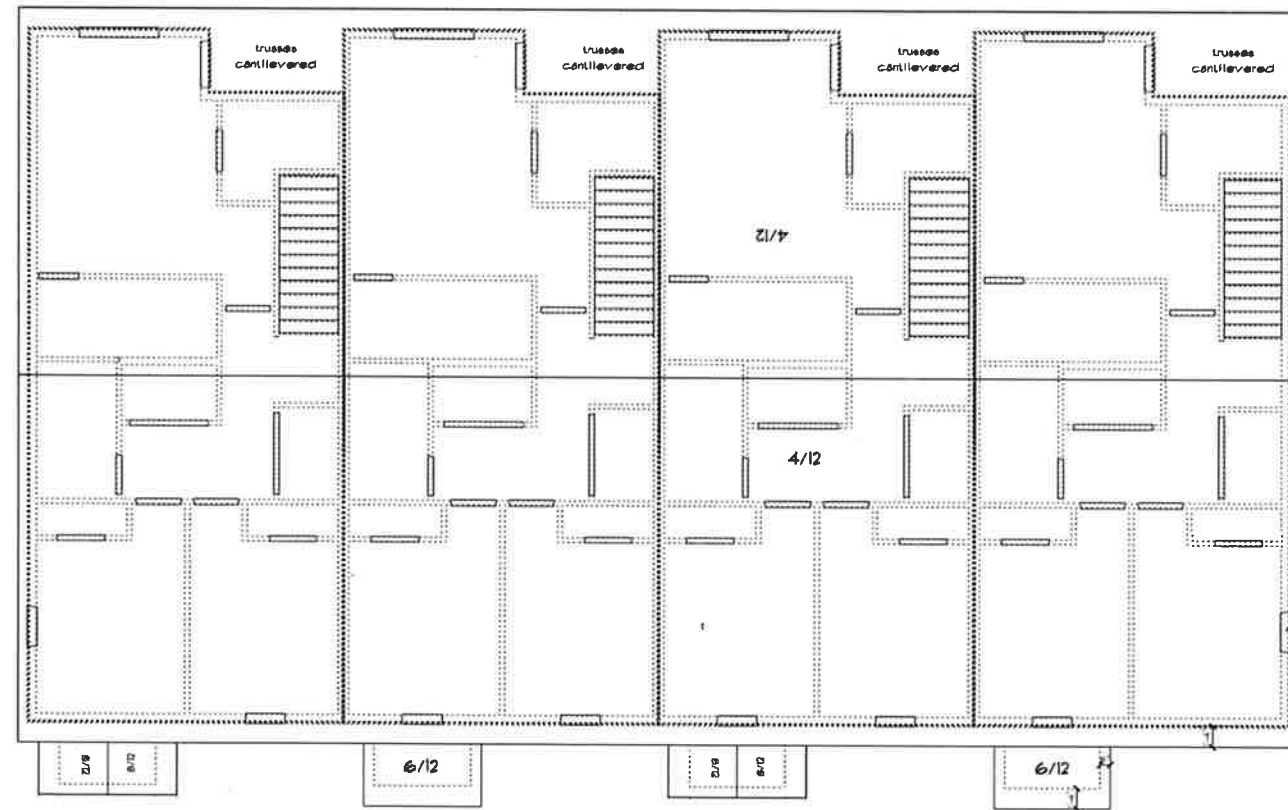


RIGHT ELEVATION

-  PORTSMOUTH SHAKE, COLOR: TREE MOSS
-  VINYL BOARD AND BATTEN SIDING, COLOR: LINEN
-  VINYL LAP SIDING, COLOR: BROWNSTONES
-  CENTURIAN STONE, COLOR: LEDGE DOVE



LEFT ELEVATION



BIRD'S EYE PLAN

VP Design & Drafting, Inc.
515-249-1134

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SCALE	3/16" = 1'	DRAWN BY	TYP	APPROVED	
DATE	8-2-2023	REVISED			
PLAN #	123036	SHEET	5 of 5		



REAR ELEVATION

Material Details:

- Shingles: GAF Timberline HD, Color: Weathered Wood
- Siding: Royal Building Solutions
 1. Shake: Portsmouth Shake by Royal, Color: Tree Moss
 2. Horizontal: Royal Residential Vinyl, Color: Brownstones
 3. B&B: Royal Vinyl B&B, Color: Linen
 4. Trim: Royal Sureedge, Color: White
- Natural Stone: Centurion Stone, Color: Dove
- Windows: White Vinyl, Manufacturer TBD
- Deck Railing: Aluminum, Color: Black
- Overhead Doors: C.H.I. Insulated 4 Panel Doors, Color: White
- Screening Wall: Vinyl, Color: White



FRONT ELEVATION

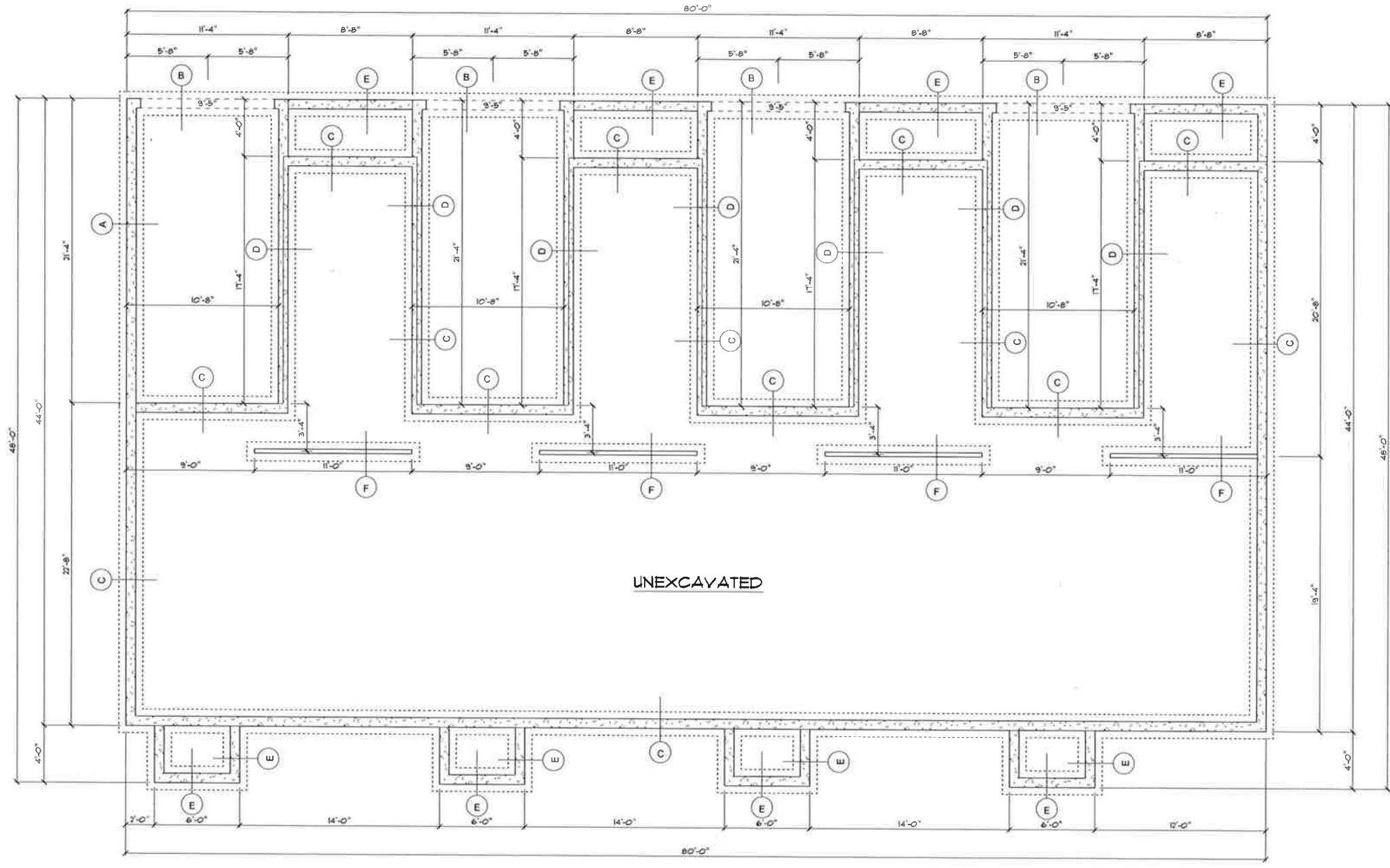
4" corner trim
and window trim

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	DRAWN BY	TVP	REVISED		SHEET	1 of 5
VP Design & Drafting, Inc.		515-249-1134		4 Plex		

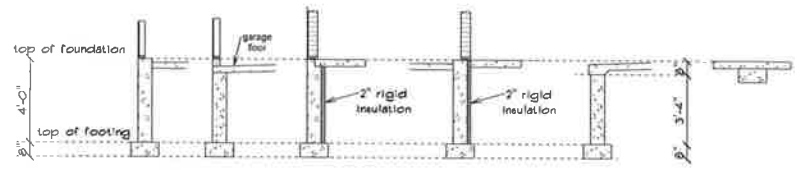
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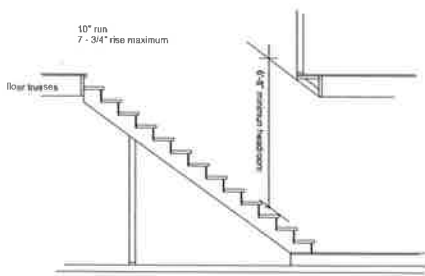
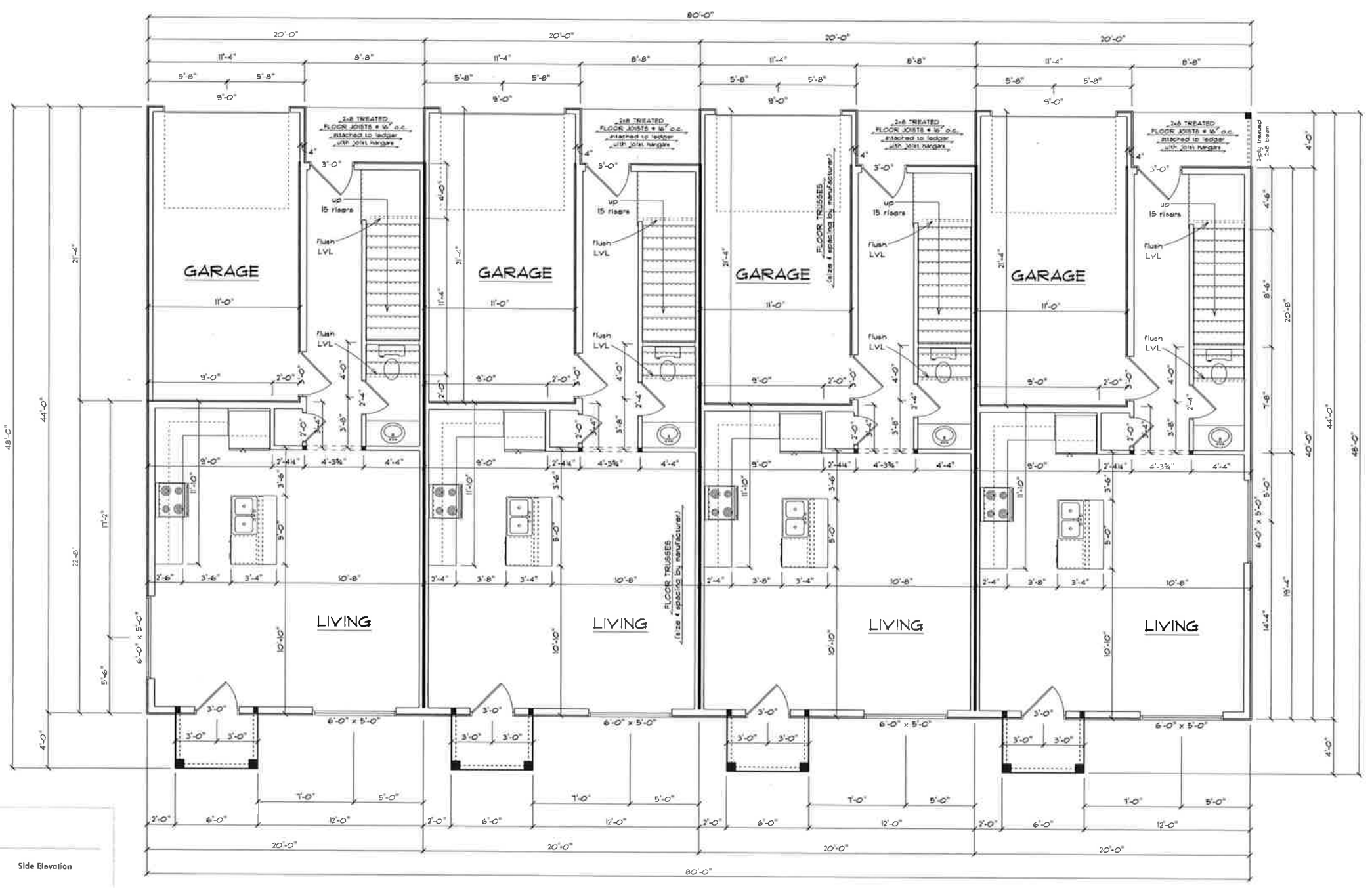
FOUNDATION PLAN



FOUNDATION SECTIONS

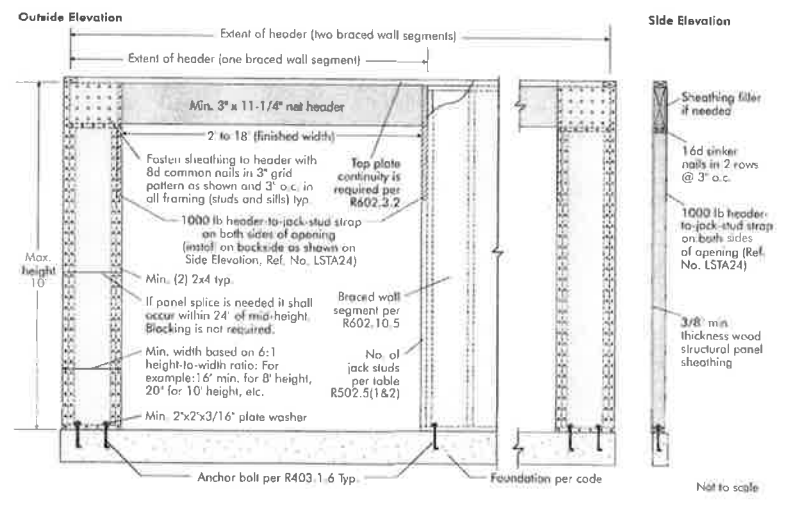
General Notes

- Verify local frost depth requirements
- All footings designed for 2000 PSF soil bearing capacity
- 8" poured concrete foundation walls w/ 16"x8" concrete footings w/ (2) #4 rerods continuous
- 2-2x12 headers over all exterior openings unless noted otherwise
- truss manufacturer to size members and set spacing of all floor and roof trusses (max spacing 24" o.c.)
- bedroom windows and basement egress windows to meet or exceed egress requirements
- verify all rough opening sizes
- place smoke detectors as required by local building codes
- follow manufacturer's instructions for installation of all components
- insulate and sheath behind all bathtubs and fireplaces on exterior walls

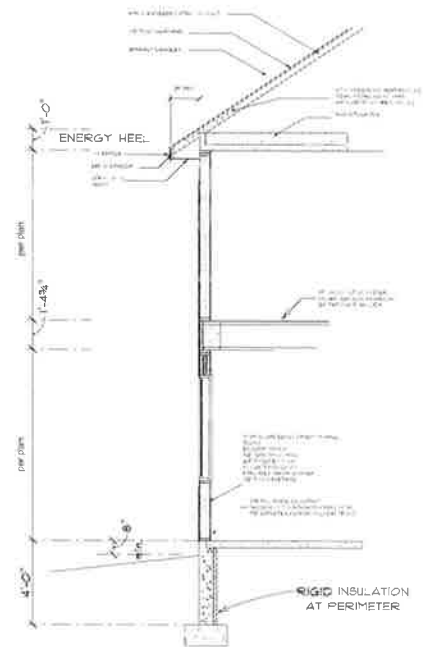


Stair Section

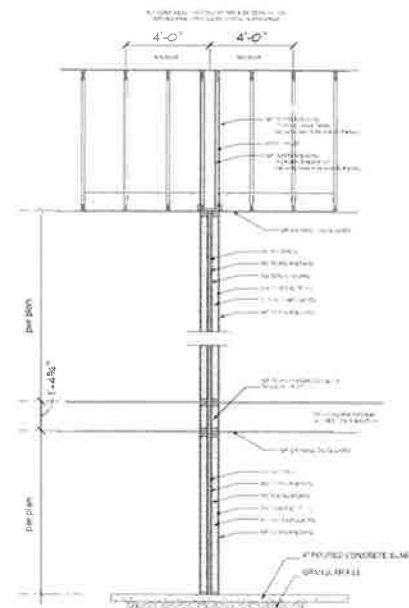
FIGURE 1
NARROW WALL OVER CONCRETE OR MASONRY BLOCK FOUNDATION



MAIN FLOOR PLAN
610 SF
1410 SF total
each unit



Wall Section



Common Wall Detail



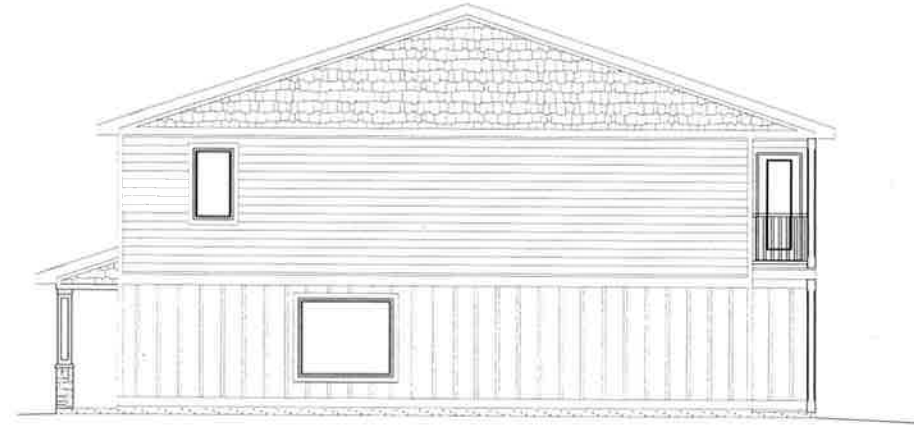
SECOND FLOOR PLAN
800 SF
each unit

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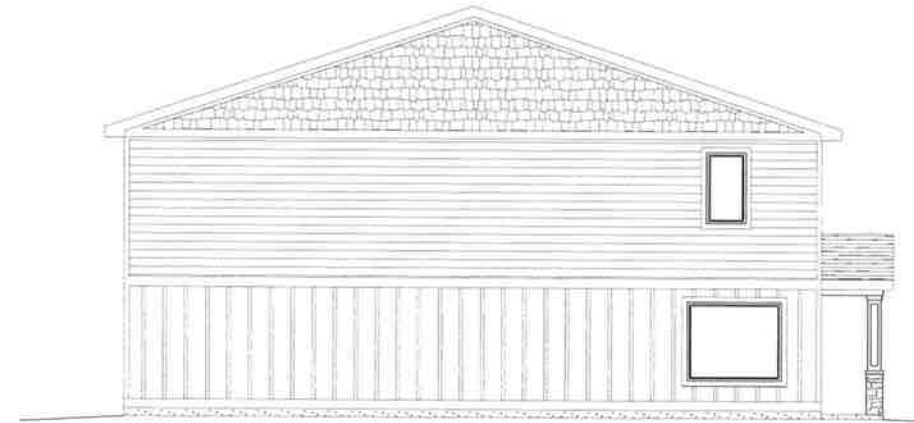
4 Plex

SCALE	1/4" = 1'	PLAN #	125036
DRAWN BY	TYP	DATE	8-21-2023
APPROVED		REVIEWED	
		SHEET	4 of 5

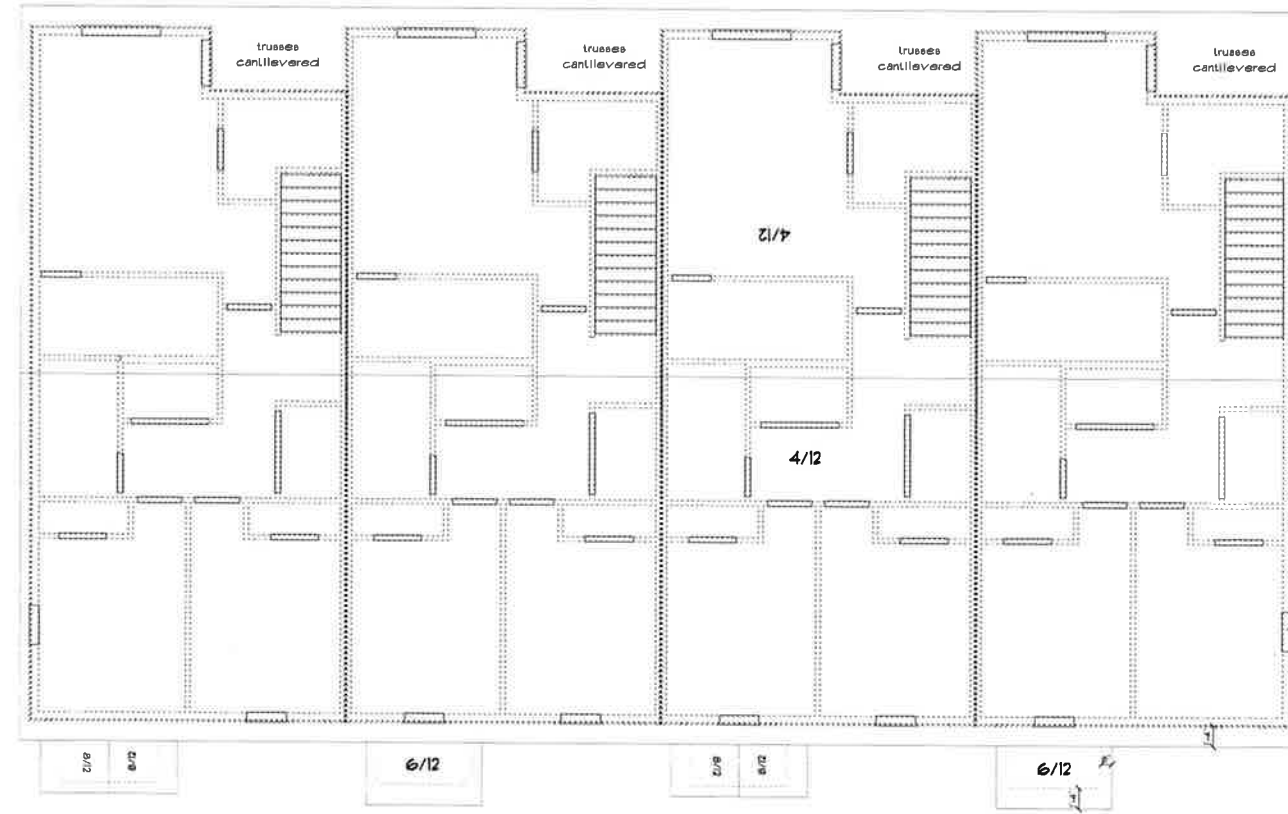
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RIGHT ELEVATION



LEFT ELEVATION



BIRD'S EYE PLAN

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SCALE	3/16" = 1'	DATE	8-21-2023	PLAN #	123036
DRAWN BY	TYP	REVISIONS		SHEET	5 of 5
APPROVED					